



Department of Doing
Planning Division
PO Box 490, Station 11
Gainesville, FL 32602-0490

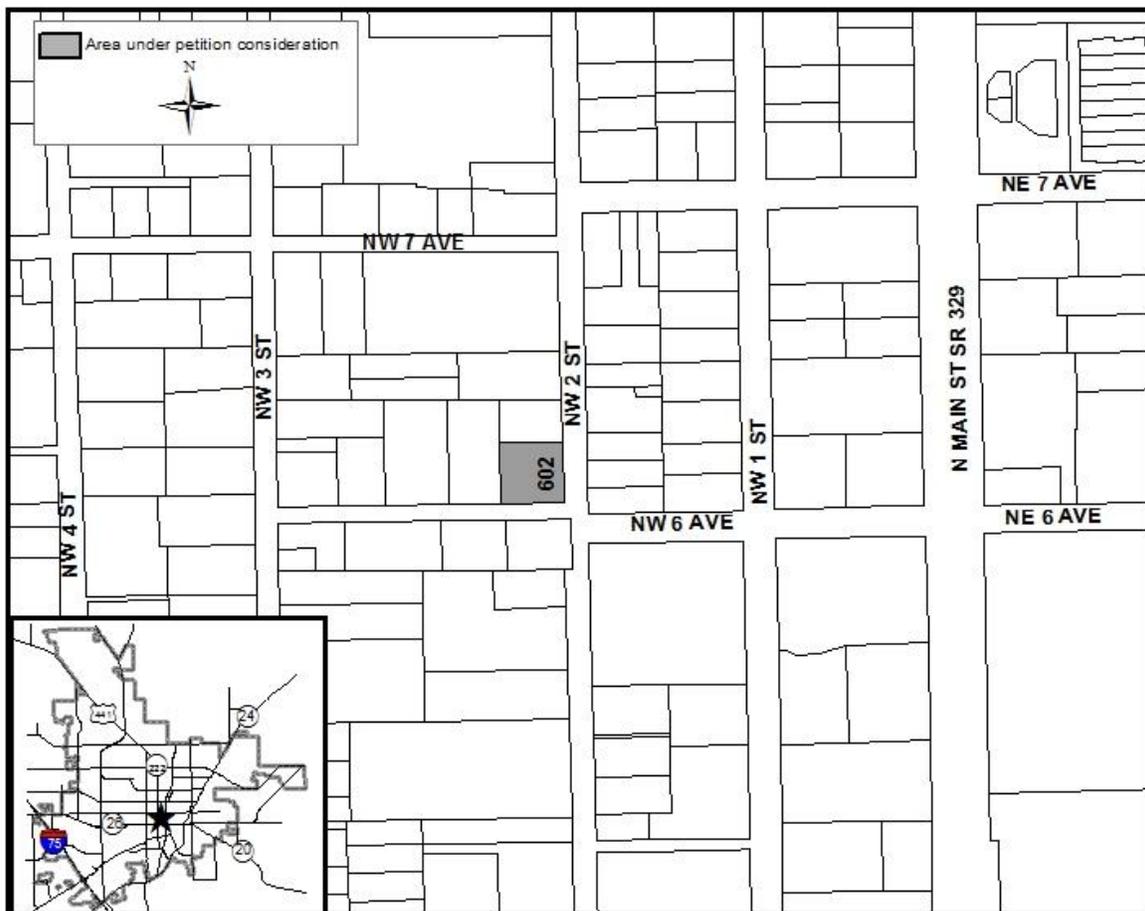
306 N.E. 6th Avenue
P: (352) 334-5022
P: (352) 334-5023
F: (352) 334-2648

TO: Historic Preservation Board
FROM: Department of Doing, Planning Staff
SUBJECT: Petition HP-18-01. Thomas Hawkins and Sara Nash, owners. Application for Certificate of Appropriateness for new construction of a single-family residential house on an empty parcel. Application for modification of front setback. Located at 602 NW 2nd Street. The property will be non-contributing to the Pleasant Street Historic District.

Item Number: 1
DATE: March 6, 2018

Recommendation

Staff recommends approval of Petition HP-18-01.



Project Description

The property is located at 602 NW 2nd Street in a newly formed “minor subdivision” in Pleasant Street, with four empty lots (refer to Exhibit 3). The applicant owns Lots C & D (parcel #14308-000-000). Lot D is approximately .08 acres and is located on the corner of NW 6th Avenue and NW 2nd Street; Lot C is approximately .07 acres and is located north of Lot D and south of an existing house. The applicant proposes to build a single-family residence on Lot D and use Lot C as a side yard. The proposed single-family dwelling will be a non-contributing structure to the Pleasant Street Historic District. (Refer to Exhibit 3 Boundary Survey)

The applicant is requesting to build a new two-story, four-square style house facing NW 2nd Street. The house will be approximately 2,300 square feet, not including a porch on the front and a screened porch on the rear. The house will have a concrete block foundation, fiber-cement siding, wood-clad windows with 3/1 simulated-divided lights, wood doors and architectural shingles on the hip roof. (Refer to Exhibit 5 Drawings)

The property is zoned RC (Residential Conservation); refer to Exhibit 2 for the required setback chart. Setbacks for the house on Lot D are proposed and required as follows: Street Side 8’ (none required), Interior Side 5’ (5’ required), rear approximately 24’ (20’ required). The applicants are requesting a front setback/ porch encroachment modification of 2’.

Project Review

Pleasant Street Historic District- Development Pattern (Guidelines Ch. 6)

There are two distinct historic areas of development in the Pleasant Street Historic District, identified as zone A and B, which date between 1875 and 1935. The first area, Zone A, includes all but a small enclave in the southeast corner of the district. This portion is a historically African-American residential neighborhood. The second area, Zone B, is a traditionally white neighborhood that developed during the same period in conjunction with the downtown commercial area.

This proposal is sited within Zone A. In general in the neighborhood, the majority of two-story residences in the Pleasant Street Historic District are located in Zone B, or at the north border of the district (such as 730 NW 2nd Street) with very few two-story houses throughout Zone A.

However, NW 2nd Street is one of the main through-streets that runs continuously from University Avenue to NW 8th Avenue. Historically, it contained commercial and religious buildings, as well as residential. The two-story houses along NW 2nd Street are located on the corners (Refer to Exhibit 6 photos). These houses occur at: NW 3rd Avenue (Qty. 1) and NW 4th Avenue (Qty. 3). Corners are also typically locations for institutional, religious or commercial structures, such as Friendship Baptist Church (NW 4th Pl.), Refuge Church/ former one-story commercial structure (NW 6th Avenue), Mt. Pleasant United Methodist Church (NW 7th Avenue). There are also currently many empty lots along the intersections of NW 2nd Street: SW corner of NW 5th Avenue, SW corner of NW 6th Avenue, Rosa B. Williams/ Police Department parking on SE corner of NW 6th Avenue, Mt. Pleasant UMC Parking on two corners of NW 7th Avenue.

Historically on this site was a two-story commercial structure, circa 1926. The Guidelines note other groceries historically located at: 701 NW 2nd Street and 713 NW 2nd Street. This street was a main artery for the neighborhood and an example that historic patterns of development included a diversity of uses, building types and scales. This larger context of NW 2nd Street will be strongly considered during review of the proposed house.



Grocery Building, originally on-site (photo circa 1980)

General Physical Character of the Pleasant Street Historic District (Guidelines Ch. 6)

The house forms and styles of the Pleasant Street Historic District are representative of those of many American communities affected by the rapid growth of the nation's railroads during the 1850 to 1890 period.

The majority of the residences in both zones are wood frame vernacular structures that reflect the six distinctive varieties of house shapes that dominated American domestic construction for almost the first five decades of the twentieth century: gable front, gable front and wing, hall and parlor, I-house, side gable and pyramidal. The district also contains a number of Bungalows and residences reflecting the Queen Anne and Colonial Revival traditions.

Gable front houses appear to be the most common types in the district. These include the shotgun houses and bungalows and variations on the type found in the district.

Setting

- *Entrances: facing all primary streets.*
- *Streetscape features: minimal sidewalks, some fence lined properties, concrete curbing, and no walls.*
- *Subdivision layout: rectangular lots and blocks flanking the primary streets.*
- *Facade lines, front and side setbacks: detached residences with minimal front setbacks and minimal side setbacks.*
- *Lot size and density of development: small lot size and low to medium density.*
- *Block patterns: Commercial: 300 feet in length on east and west and 400-600 feet on their north and south ends. Residential: rectangular 300 feet in length on east and west and 300 feet on their north and south ends.*
- *Patterns of vacant lots and open spaces: vacant lots throughout*

Building Characteristics

- *Height: number of stories: Primarily single story. Range of 1-2.*
- *Width: number of bays or vertical divisions: one.*
- *Types: residential, commercial, institutional*
- *Predominant architectural styles and design influences: Frame.*
- *Massing or overall form: single rectangular structures.*
- *Orientation: both compass orientation and horizontal or vertical orientation.*
- *Foundations: Residential elevated wood frame on brick piers or masonry piers. Commercial: continuous brick or masonry perimeter wall and slab on grade.*
- *Roofs: primary and secondary roof structures: gable, hip with standard pitch.*
- *Materials: Primarily wood frame*
- *Windows: Primarily wood frame double hung sash in 6/6, 2/2, or 1/1 light pattern.*
- *Repetitive features: Porches and detached outbuildings*
- *Decoration: Minimal. Religious: brick corbeling. Stained glass. Residential: minimal wood millwork such as brackets, fretwork, spindles.*
- *Predominate Architectural Styles: Wood Frame Vernacular, Queen Anne and Eastlake influence, Romanesque Revival*

Materials

Wood frame and siding is the primary and traditional construction material within the district. Weatherboard and drop siding types are prominent.

Building Styles

Wood frame vernacular houses represent the largest building category in the district with 123 examples. Bungalows are the second largest category style with 91 examples. The buildings are traditionally wood frame residences raised on brick or concrete piers ranging in size, form and style. On the small scale are Shotgun and hall and parlor vernacular structures to the larger structures of two-story I- houses and Queen Anne residences with large porches and verandahs.

Plans

The floor plans of the smaller houses are generally simple rectangular plans with a small rear ell, or are variations of the L-plan. Few residences have garages or other outbuildings on the same property.

The proposal is consistent with the general physical character of the historic district. The proposal has minimal setback, on an average size lot. The building faces the primary street (NW 2nd Street), is wood frame, with singular massing, low-sloped hip roof, raised foundation, and minimal decoration. The windows will be Andersen 400 series.

Basis for Review – Design Guidelines for New Construction using the General Physical Character of the Pleasant Street Historic District (Guidelines Ch. 6)

1. Rhythm of the Street.

In the Pleasant Street Historic District, the subdivision layout is mostly rectangular lots and blocks flanking the primary streets. Lot sizes are typically small with low to medium density. Repetitive features are porches.

The proposal complies with the existing rhythm of the street, though in the immediate vicinity of the proposal, there are many vacant lots. The proposed location and size of the porch complements the existing repetitive feature of the district and the front porches in the immediate vicinity.

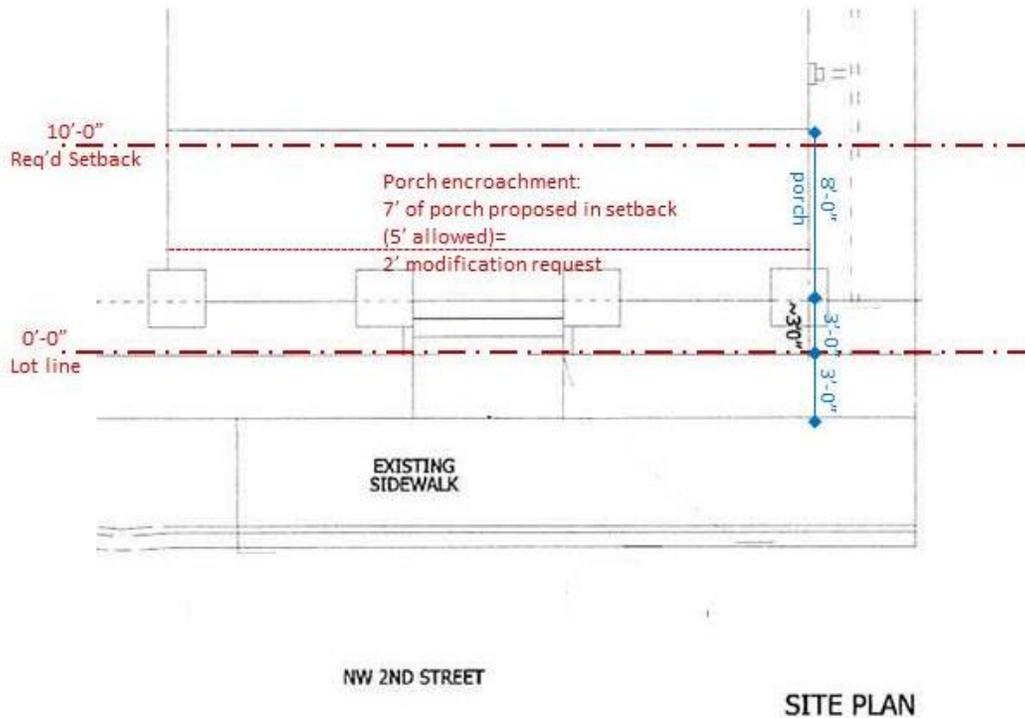
2. Setbacks.

In the Pleasant Street Historic District, building setbacks vary considerably, with some buildings sited at the front property line while others are sited at a depth ranging from 10 to 15 feet or more. The district is comprised of all or portions of 15 rectangular blocks of varying size, which are laid out on an irregular grid pattern. The blocks contain lots ranging in size from 40' x 60' to 100' by 200'.

The proposal complies with the side setbacks and the rear setback but is requesting zoning modification for the front setback porch encroachment. The house meets the front setback requirements, as 10' is required and the front wall of the house is 11' back from the lot line. RC zoning allows a porch encroachment into the setback by 5', but 7' of the porch is encroaching into the front setback. This results in a 2' modification request for the porch encroachment.

Staff finds all setbacks, including the porch encroachment, compatible with the historic district. The porch is an open structure, not a solid wall, in the front setback, and will allow views of the neighborhood through it. Using the Land Development Code requirements as an additional basis for review, the modification "will not affect the public safety, health, or welfare of abutting property owners or the district;" the proposed change is "consistent with historic development, design patterns or themes in the historic district," as the front setbacks vary, most of the houses in the district have porches and the previous building on site was located right on the sidewalk; "the proposal reflects a particular theme or design pattern that will advance the development pattern of the historic district," and "the proposed complies with

utility, stormwater, access requirements and other requirements related to site design in the land development code.”



3. Height.

In the Pleasant Street Historic District, the buildings are primarily single story with one bay in width. Zone A is primarily one-story residences.

The proposal is a two-story residence, with a total height of almost 28', but a building façade height (not including the roof height) of 21', which is taller than the nearby one-story houses. RC zoning allows three-story, up to 36'. The design of the house has purposefully included a square proportion, hip roof and smaller, tapered columns as details that minimize the height of the house. The proposal is also on the corner, similar to other two-story houses on NW 2nd Street, and therefore has some space around the house so that it doesn't tower over one-story neighbors. Lastly, the grocery store building that was on the site previously was a two-story building, located with minimal setback. Though it is not required to build back what was historically on-site, the presence of a two-story structure on the corner will continue a historic development pattern of taller structures at the intersections of NW 2nd Street.

4. Roof Forms.

In the Pleasant Street Historic District, the roofs represented are either side or front gable roofs with v-crimp metal sheeting or asphalt shingles. There are a few low hip roof forms.

Though a hip roof form is not as common in the historic district, the form of this roof is appropriate for the four-square plan of the building, and provides a less visible form than a gable roof on a two-story structure would. The proposal for shingle roofing is appropriate.

5. Rhythm of Entrances and Porches.

In the Pleasant Street Historic District, entrances face all primary streets and repetitive features are porches.

The proposal complies as it faces NW 2nd Street and provides a front porch.

6. Walls of Continuity.

In the Pleasant Street Historic District, streetscape feature are minimal sidewalks, fence lined properties, concrete curbing, and no walls. In the vicinity of the proposal, there are no fences or walls of continuity. Some residences have low fences, but many of the lots are empty.

The proposal complies as there is no element that creates a wall of continuity.

7. Scale of Building.

Scale is defined as relative size and composition of openings, roof forms and details to the building mass and its configuration.

In the Pleasant Street Historic District, Zone A, the building scale is relatively small, with one-story residences, low pitch roofs, regular openings and details that keep the scale small. The openings, roof forms and details of the buildings relate proportionally to the overall design of the building. The proposal shows many of these same qualities, as the openings are regular and rhythmic, and materials and details are shown in a manner consistent in modulating the larger scale of the proposed building to be more consistent with the existing historic scale. In addition, comparing the proposal to other two-story houses along NW 2nd Street shows a design that is sympathetic with historic scale of details on those buildings.

8. Directional Expression.

In the Pleasant Street Historic District, orientation is both compass orientation and horizontal or vertical orientation. Massing or overall form is typically single rectangular structures.

In the vicinity of the proposal, there are many single rectangular forms, such as bungalows and shotguns, which are more horizontal, or square in expression, and also some gable-end-and-wing-forms, which are more vertical in expression. Similarly, the two-story houses are a variety of vertical and square forms. The horizontal and square expressions of the proposed side and front facades are compatible with the district.

9. Proportion of the Front Facade.

The width of the building, structure, or object to the height of the front elevation in relationship to its immediate context. The height to width ratios establish a pattern of proportions that follow closely from building to building despite differences in height and style. This ratio test can be applied to the facade of any building to check its relationship to structures along the street and block.

Similar to the directional expression, there are a variety of proportional relationships in the historic district. The proportions of the front façade of the house are 28'x30' (height:width), lending a square proportion to the building, and providing a compatibility to the district.

10. Proportion of Openings.

The width and height relationship of the windows and doors in a building or structure to the principle facade. The relationship of the width of the windows in a building, structure or object shall be visually compatible with buildings and places to which the building, structure or object is visually related.

In the Pleasant Street Historic District, there are both vertical, square and horizontal proportions of windows. In the vicinity of the proposal, there are more vertically-proportioned windows than horizontal or square. The proposal contains windows and doors that are vertically oriented, and are visually compatible with the building and the district.

11. Rhythm of Solids to Voids.

The relationship of the width of the windows in a building, structure or object should be visually compatible with the context of the district block and street. The rhythm and ratio of solids (walls) and voids (windows and doors) of new construction buildings should relate to and be compatible with facades (i.e., expressed in terms of proportion of wall area to void area) on adjacent historic buildings.

The rhythm of solids to voids is appropriate for the historic district, as there is more wall surface than window surface.

Respectfully submitted,



Andrew Persons
Interim Principal Planner

Prepared by:



Cleary Larkin, AIA
Planner

List of Exhibits

- Exhibit 1** COA Application
- Exhibit 2** *Application for Modification Existing Zoning Reqs*
- Exhibit 3** Boundary Survey and Minor Subdivision
- Exhibit 4** Land Development Code, Art. IV, Section 30-4.17 Dimensional Standards
- Exhibit 5** Drawings A1 & A2
- Exhibit 6** Photos
- Exhibit 7** Andersen Windows 400 Series



CERTIFICATE OF APPROPRIATENESS APPLICATION

Planning & Development Services 306 N.E. 6th Avenue
Gainesville, Florida 32601
352.334.5022 Fax 352.334.3259
www.cityofgainesville.org/planningdepartment

REQUIREMENTS

CONTACT THE HISTORIC PRESERVATION OFFICE FOR A PRE-APPLICATION CONFERENCE 334.5022

REVIEW THE CHECKLIST FOR A COMPLETE SUBMITTAL (If all requirements are not submitted it could delay your approval.)

PLEASE PROVIDE ONE (1) DISK OR USB FLASH DRIVE CONTAINING ALL OF THE FOLLOWING:

1 ORIGINAL SET OF PLANS TO SCALE SHOWING ALL DIMENSIONS AND SETBACKS.

LIST IN DETAIL YOUR PROPOSED REPAIR AND/OR RENOVATION

A SITE PLAN OR CERTIFIED SURVEY

PHOTOGRAPHS OF EXISTING CONDITIONS

ANY ADDITIONAL BACKUP MATERIALS AS NECESSARY

AFTER THE PRE-CONFERENCE, TURN IN YOUR COMPLETED COA APPLICATION TO THE PLANNING OFFICE (RM 210, THOMAS CENTER-B), PAY APPROPRIATE FEES, AND PICK UP PUBLIC NOTICE SIGN TO BE POSTED 10 DAYS IN ADVANCE OF THE MEETING.

MAKE SURE YOUR APPLICATION HAS ALL THE REQUIREMENTS.

FAILURE TO COMPLETE THE APPLICATION AND SUBMIT THE NECESSARY DOCUMENTATION WILL RESULT IN DEFERRAL OF YOUR PETITION TO THE NEXT MONTHLY

RECEIVED

STAMP

PROJECT TYPE: Addition Alteration Demolition New Construction Relocation
Repair Fence Re-roof Other

PROJECT LOCATION:

Historic District: Pleasant Street Historic District
Site Address: 602 NW 2nd Street
Tax Parcel # 14308-000-000

OWNER	APPLICANT OR AGENT
Owner(s) Name Thomas Hawkins, Sara Nash	Applicant Name N/A
Corporation or Company	Corporation or Company
Street Address 408 NW 4th Avenue	Street Address
City State Zip Gainesville, Florida 32601	City State Zip
Home Telephone Number	Home Telephone Number
Cell Phone Number 352-377-3141	Cell Phone Number
Fax Number	Fax Number
E-Mail Address wthomashawkins@gmail.com	E-Mail Address

TO BE COMPLETED BY CITY STAFF

(PRIOR TO SUBMITTAL)

Fee: \$ _____
EZ Fee: \$ _____

HP # _____

Contributing Y ___ N ___

Zoning _____

Pre-Conference Y ___ N ___

Application Complete Y ___ N ___

Enterprise Zone Y ___ N ___

Request for Modification of Setbacks
Y ___ N ___

Received By _____

Date Received _____

- Staff Approval—No Fee (HP Planner initial _____)
- Single-Family requiring Board approval (See Fee Schedule)
- Multi-Family requiring Board approval (See Fee Schedule)
- Ad Valorem Tax Exemption (See Fee Schedule)
- After-The-Fact Certificate of Appropriateness (See Fee Schedule)
- Account No. 001-660-6680-3405
- Account No. 001-660-6680-1124 (Enterprise Zone)
- Account No. 001-660-6680-1125 (Enterprise—Credit)

OVERVIEW

DID YOU REMEMBER?

CHECK YOUR ZONING AND SETBACKS FOR COMPLIANCE

REVIEW THE HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES

REVIEW THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION

CHECK TO SEE IF YOU WOULD BE ELIGIBLE FOR A TAX EXEMPTION FOR REHABILITATION OF A HISTORIC PROPERTY

THE HPB MEETINGS ARE HELD MONTHLY AT CITY HALL, 200 EAST UNIVERSITY AVE, GAINESVILLE, FL 32601, CITY HALL AUDITORIUM AT 5:30PM. THE SCHEDULE OF MEETINGS IS AVAILABLE ON THE PLANNING DEPARTMENT WEBSITE.

THE HISTORIC PRESERVATION OFFICE STAFF CAN PROVIDE ASSISTANCE AND GUIDANCE ON THE HP BOARD'S REVIEW PROCESS, AND ARE AVAILABLE TO MEET WITH PROPERTY OWNERS OR AGENTS. IF YOU NEED ASSISTANCE, PLEASE CONTACT THE HISTORIC PRESERVATION PLANNER AT (352) 334-5022 OR (352) 334-5023.

PERSONS WITH DISABILITIES AND CONTACT INFORMATION

PERSONS WITH DISABILITIES WHO REQUIRE ASSISTANCE TO PARTICIPATE IN THE MEETING ARE REQUESTED TO NOTIFY THE EQUAL OPPORTUNITY DEPARTMENT AT 334-5051 (TDD 334-2069) AT LEAST 48 HOURS PRIOR TO THE MEETING DATE. FOR ADDITIONAL INFORMATION, PLEASE CALL 334-5022.

The Historic Preservation Board (HPB) is an advisory board to the City of Gainesville's Commission composed of citizens who voluntarily, without compensation commit their time and expertise to the stewardship of historic resources in our community.

The HPB approval is a procedure which occurs for alterations, construction, restorations, or other significant changes to the appearance of an structure in Gainesville's Historic Districts which have an impact on the significant historical, architectural, or cultural materials of the structure and/or the district. The City's historic review guidelines are available online at www.cityofgainesville.org/planningdepartment and within the Land Development Code, Section 30-112.

After submission of an application, the Historic Preservation Planner prepares a written recommendation for the board meeting which addresses whether the proposed changes are compatible with the criteria of the SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION and the City of Gainesville's HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES. Once staff has prepared and completed the staff report, an Agenda of the proposed meeting and the staff report will be posted online approximately 5 to 7 days prior to the HPB meeting and can be found at www.cityofgainesville.org/planningdepartment – Citizen Advisory Boards – Historic Preservation Board.

Public notice signage is required to be posted at the property by the applicant no later than 10 days prior to the scheduled Historic Preservation Board meeting. The notarized *Public Notice Signage Affidavit* must be submitted once the sign is posted.

The applicant and/or owner of the property should be present at the Historic Preservation Board meeting and be prepared to address inquiries from the board members and/or the general public. The HPB meeting is a quasi-judicial public hearing with procedural requirements. The review body may approve, approve with conditions, or deny projects. It is not necessary for owners to be present at the HPB meeting if your COA has been staff approved.

In addition to a Certificate of Appropriateness (COA), a building permit may be required for construction from the Building Department. This is a separate process with submittal requirements. Building permits will not be issued without proof of a COA and the Historic Preservation Planner signing the building permit. After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

CERTIFICATION

BY SIGNING BELOW, I CERTIFY THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AT THE TIME OF THE APPLICATION. I ACKNOWLEDGE THAT I UNDERSTAND AND HAVE COMPLIED WITH ALL OF THE SUBMITTAL REQUIREMENTS AND PROCEDURES AND THAT THIS APPLICATION IS A COMPLETE SUBMITTAL. I FURTHER UNDERSTAND THAT AN INCOMPLETE APPLICATION SUBMITTAL MAY CAUSE MY APPLICATION TO BE DEFERRED TO THE NEXT POSED DEADLINE DATE.

1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Planning and Development Services Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that Certificates of Appropriateness are only valid for one year from issuance.
4. It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.
5. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
6. Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).

SIGNATURES

Owner William Thomas
Applicant or Agent _____

Date December 30, 2017
Date _____

PROJECT DESCRIPTION FOR 602 NW 2ND STREET

1. Describe the existing conditions and materials

The project site is the former location of Cue's Grocery, 602 NW 2nd Street. That business was originally known as Mulphur's Grocery and operated from a commercial building constructed at the project site in 1923. The project site is currently vacant. The project site is labeled "Lot D" on the attached "Boundary Survey and Minor Subdivision."

2. Describe the proposed project and materials

The proposed project is a two-story house fronting on NW 2nd Street with minimal front and side setbacks. The proposed house has an asphalt-shingled hip roof, deep front and rear porches, and tapered square wooden columns atop brick piers supporting the front porch. The proposed windows are 3 over 1. The proposed siding is fiber-cement lap siding with a 5" reveal.

Demolitions and relocations

None.

Modifications of existing zoning requirements.

The city of Gainesville Land Development Code designates the project site with the Residential Conservation zoning district. Section 30-4.17 of the Land Development Code provides the following minimum setbacks for development in the Residential Conservation district:

- Front: 10 feet,
- Side (street): no setback required,
- Side (interior): 5 feet, and
- Rear: 20 feet.

In addition, at footnote 4, Section 30-4.17 allows encroachments into the front setback as follows "Attached stoops or porches meeting the standards in Sections 30-4.13 and 30-4.14 are permitted to encroach up to 5 feet into the minimum front yard setback."

As shown on the attached "Site plan for new construction at 602 NW 2nd Street" exclusive of eaves or steps, the proposed structure meets the setback requirements that Section 30-4.17 provides. However, the front eaves and steps encroach more than five feet into the front setback. Applicant requests a modification of existing setback requirements so that eaves and steps may encroach into the required front setback beyond the edge of the porch.

STATE OF NEW YORK

IN SENATE

January 11, 1911.

REPORT

OF THE

COMMISSIONERS

OF THE

LAND OFFICE

FOR THE YEAR 1910.

ALBANY:

1911.

WHELAN & COMPANY,

PRINTERS.

ALBANY: WHELAN & COMPANY, PRINTERS, 1911.

APPLICATION FOR ADMINISTRATIVE MODIFICATION
Planning & Development Services Department

OFFICE USE ONLY	
Petition No. _____	Hearing Date: _____

CHECK ONE: **Historic District:** Pleasant Street Historic District _____ **Individual Listing**

Owner(s) of Record (please print)	Agent Authorized to Act on Owner Behalf
Name: Thomas Hawkins, Sara Nash	Name:
Address: 408 NW 4th Avenue	Address:
Gainesville, Florida 32601	
E-mail Address: wthomashawkins@gmail.com	E-mail Address:
Phone: 352-377-3141	Phone:
Fax:	Fax:

PROPERTY INFORMATION:	
Street address:	602 NW 2nd Street, Gainesville, Florida 32601
Tax parcel no(s):	14308-000-000
Legal description (may be attached):	See attached
Existing Zoning: Residential Conservation	Lot size: 3,665 square feet
Present use: vacant	Proposed use: single family residential home
Present structures (type) and improvements upon the land:	none

SURROUNDING PROPERTY INFORMATION: (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.)			
	Zoning	Land Use	Existing Use
North	RC	Residential Low	Vacant
South	RC	Residential Low	Vacant
East	RC	Residential Low	Refuge Church of Our Lord Jesus Christ of the Apostolic Faith, Inc.
West	RC	Residential Low	Vacant

The requested modification will change the following zoning or building requirement in this manner:

(select only those that apply)

	Required	Existing	Proposed
<input checked="" type="checkbox"/> Front, Side, Or Rear Building Setback Line	10'	N/A	8'
<input type="checkbox"/> Building Height			
<input type="checkbox"/> Building Separation			
<input type="checkbox"/> Floor Area Ratio			
<input type="checkbox"/> Maximum Lot Coverage			

Certified Cashier's Receipt

The following information must be collected to demonstrate the foundation for the requested modification as specifically required by the Land Development Regulations. As the applicant, you bear the burden of proving the administrative modification criteria.

- 1. Document that the proposed modification(s) will not impact the public safety, health, or welfare of the abutting property owners or the historic district.

See attached

- 2. Describe the neighboring building patterns or historic development conditions that are consistent with the proposed modification(s).

See attached

- 3. What particular design elements or composition of the proposed modification(s) contribute to the existing building patterns or historic development of the historic district?

See attached

- 4. Affirm that applicable site design requirements such as utilities, stormwater, and access, as per the Land Development Code of the proposed development are in compliance.

See attached

Please continue on additional pages as needed

SIGNATURES

- 1. (a) I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
(b) I authorize staff from the Planning and Development Services Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
- 2. I/We understand that this petition becomes a part of the permanent records of the Planning Division. I/We hereby certify that the above statements and the statements or showings made in any document or plans submitted herewith are true and correct to the best of my/our knowledge.

Property Owner Signature:

William Hawkins

Date:

2/8/2018

STATE OF FLORIDA
COUNTY OF ALACHUA

Sworn to and subscribed before me this 8th day of February 2018
by (Name) WIT HAWKINS

Scott Wright
Signature Notary Public



Personally Known OR Produced Identification (Type)

**ATTACHMENT TO APPLICATION FOR ADMINISTRATIVE MODIFICATION
602 NW 2ND STREET**

Legal description

See legal description for Lot D in Minor Subdivision Book 34 Page 10 attached.

Foundation for the requested modification

Applicable code provision

Gainesville Land Development Code Section 30-4.17 provides a 10' front setback for development on land with the Residential Conservation zoning designation. Additionally, that code section provides for porches to encroach up to 5' into the minimum front yard setback.

Proposed development

I propose constructing a single family residence with a front porch which is 8' deep and which is set back 3' from the property line. The porch would encroach 7' into the required 10' minimum setback. The principle structure (not counting the porch) would be setback 11' from the property line.

Note that the property line is 3' from the back of sidewalk. Therefore, the distance between the existing sidewalk and the proposed porch would be 6'. The distance between the existing sidewalk and the principle structure (not counting the porch) would be 14'.

Requested modification

I request modifying the setback from 10' to 8'. The home I propose would meet this standard.

Building patterns

Generally, "minimal front setbacks and minimal side setbacks" characterize the Pleasant Street Historic District. CITY OF GAINESVILLE COMMUNITY DEVELOPMENT DEPARTMENT, HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES, 64. Specifically, "[b]uilding setbacks vary considerably with some buildings sited at the front property line while others are sited at a depth ranging from 10 to 15 feet or more." *Id.* At 66.

- The closest house to 602 NW 2nd Street on the same side of NW 2nd Street is 614 NW 2nd Street. The distance between that structure and the back of the sidewalk is 15' 8". This is a non-contributing structure.
- The closest house facing 602 NW 2nd Street across NW 2nd Street is 623 NW 2nd Street. The distance between that structure and the back of the sidewalk is 1' 9". This is a contributing structure.
- The closest two-story house to 602 NW 2nd Street on NW 2nd Street is 318 NW 2nd Street. The distance between that structure and the back of the sidewalk is 4' 8". This is a contributing structure.

The following table compares these building patterns with the proposed setback.

	Distance between back of sidewalk and structure
Generally in neighborhood	Minimal
Specifically in neighborhood	0' to 15' or more
Closest house on same side of street (non-contributing)	15' 8"
Closest house on opposite side of street (contributing)	1'9"
Closest two-story house (contributing)	4' 8"
Proposed house	6'

The requested modification provides a building setback which is comparable to existing building patterns and historic development of the historic district

Affirmation regarding other applicable site design requirements

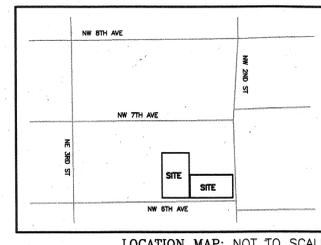
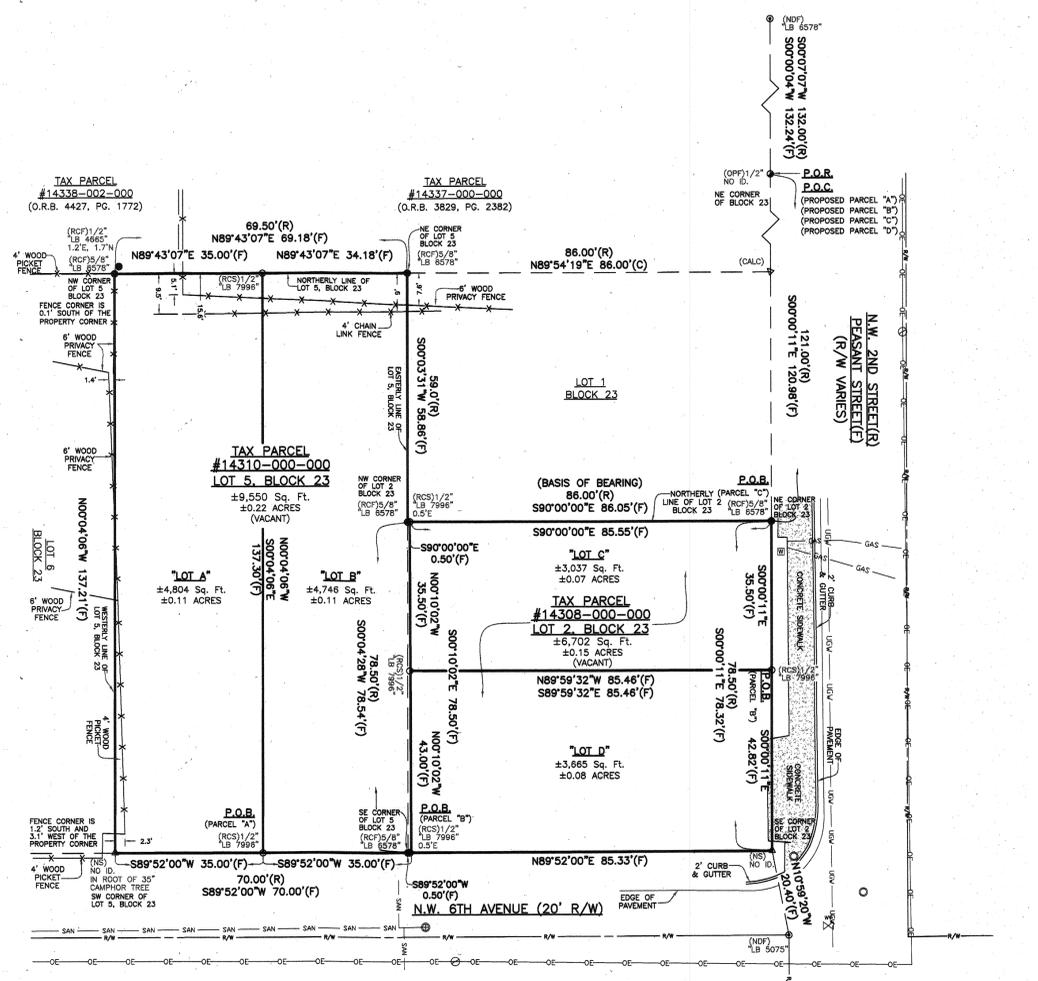
I affirm that applicable site design requirements such as utilities, stormwater, and access, as per the Land Development Code of the proposed development are in compliance.

TAX PARCEL #14308-000-000 & TAX PARCEL #14310-000-000 602 N.W. 2ND STREET GAINESVILLE, FL 32601

THIS IS NOT A RECORD PLAT

RECORDED IN OFFICE INSTRUMENT # 308922 December 04, 2017 Book 34 Page 16 J.K. "Jess" Irby, CLU ALACHUA COUNTY, FLORIDA

SECTION 05, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA



LAND DESCRIPTION: (LOT 2, BLOCK 23) OFFICIAL RECORDS BOOK 4483, PAGE 2186 (PARENT PARCEL) LOT 2, ANNIE H. THOMAS RESURVEY OF BLOCK 23 BRUSH'S ADDITION TO GAINESVILLE, FLA. ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 136, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

LAND DESCRIPTION: (LOT 5, BLOCK 23) OFFICIAL RECORDS BOOK 2241, PAGE 589 (PARENT PARCEL) BRUSH ADDN DB 0-218 BK 23 ANNIE H THOMAS S/D PB A-136 LOT 5, SEC 5 TWP 10 RGE 20, ALACHUA COUNTY, FLORIDA.

LAND DESCRIPTION: (PROPOSED LOT "A") (AS PREPARED BY THIS FIRM) A PORTION OF LOT 5 OF THE ANNIE H. THOMAS RESURVEY OF BLOCK 23 BRUSH'S ADDITION TO GAINESVILLE, FLA. ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 136, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID PORTION OF LAND BEING SITUATED IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT A 1/2" OPEN PIPE (NO IDENTIFICATION), MARKING THE NORTHEAST CORNER OF SAID BLOCK 23, SAID OPEN PIPE ALSO LYING AND BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF N.W. 2ND STREET (PLEASANT STREET); THENCE RUN S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 120.98 FEET TO A 5/8" REBAR & CAP (LB 6578), SAID REBAR & CAP MARKING THE NORTHEAST CORNER OF LOT 2, BLOCK 23; THENCE CONTINUE S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 78.32 FEET TO A NAIL (NO IDENTIFICATION), SAID NAIL MARKING THE SOUTHEAST CORNER OF LOT 2, BLOCK 23, SAID NAIL ALSO LYING AND BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. 6TH AVENUE; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, RUN S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 85.16 FEET TO A 5/8" REBAR & CAP (LB 6578), SAID REBAR & CAP MARKING THE SOUTHEAST CORNER OF LOT 5, BLOCK 23; THENCE CONTINUE S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 34.50 FEET TO A 1/2" REBAR & CAP (LB 7996), SAID REBAR & CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 35.00 FEET TO A NAIL (NO IDENTIFICATION) IN THE ROOT OF A 35' CAMPBOR TREE, SAID NAIL MARKING THE SOUTHWEST CORNER OF LOT 5, BLOCK 23; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, RUN N00°04'06"W, ON THE WESTERLY LINE OF LOT 5, BLOCK 23, A DISTANCE OF 137.21 FEET TO A 5/8" REBAR & CAP (LB 6578), SAID REBAR & CAP MARKING THE NORTHWEST CORNER OF LOT 5, BLOCK 23; THENCE DEPARTING SAID WESTERLY LINE, RUN N89°43'07"E, ON THE NORTHERLY LINE OF SAID LOT 5, BLOCK 23, A DISTANCE OF 35.00 FEET TO A 1/2" REBAR & CAP (LB 7996); THENCE DEPARTING SAID NORTHERLY LINE, RUN S00°04'06"E, A DISTANCE OF 137.30 FEET TO THE POINT OF BEGINNING, CONTAINING 4,804 SQUARE FEET (0.11 ACRES) OF LAND, MORE OR LESS.

LAND DESCRIPTION: (PROPOSED LOT "B") (AS PREPARED BY THIS FIRM) A PORTION OF LOT 5 OF THE ANNIE H. THOMAS RESURVEY OF BLOCK 23 BRUSH'S ADDITION TO GAINESVILLE, FLA. ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 136, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID PORTION OF LAND BEING SITUATED IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT A 1/2" OPEN PIPE (NO IDENTIFICATION), MARKING THE NORTHEAST CORNER OF SAID BLOCK 23, SAID OPEN PIPE ALSO LYING AND BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF N.W. 2ND STREET (PLEASANT STREET); THENCE RUN S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 120.98 FEET TO A 5/8" REBAR & CAP (LB 6578), SAID REBAR & CAP MARKING THE NORTHEAST CORNER OF LOT 2, BLOCK 23; THENCE CONTINUE S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 78.32 FEET TO A NAIL (NO IDENTIFICATION), SAID NAIL MARKING THE SOUTHEAST CORNER OF LOT 2, BLOCK 23, SAID NAIL ALSO LYING AND BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. 6TH AVENUE; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, RUN S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 85.33 FEET TO A 1/2" REBAR & CAP (LB 7996), SAID REBAR & CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 35.00 FEET TO A 1/2" REBAR AND CAP (LB 7996); THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN N00°04'06"W, A DISTANCE OF 137.30 FEET TO A 1/2" REBAR & CAP (LB 7996), SAID REBAR & CAP LYING AND BEING ON THE NORTHERLY LINE OF LOT 5, BLOCK 23; THENCE RUN N89°43'07"E, ON THE NORTHERLY LINE OF SAID LOT 5, BLOCK 23, A DISTANCE OF 34.18 FEET TO A 5/8" REBAR & CAP (LB 6578) MARKING THE NORTHWEST CORNER OF LOT 2, BLOCK 23; THENCE DEPARTING SAID WESTERLY LINE, RUN S00°03'31"W, ON THE EASTERLY LINE OF LOT 5, BLOCK 23, A DISTANCE OF 58.86 FEET TO A 5/8" REBAR AND CAP (LB 6578) MARKING THE NORTHWEST CORNER OF LOT 2, BLOCK 23; THENCE DEPARTING SAID WESTERLY LINE, RUN SOUTH S00°00'00" EAST, ON THE NORTHERLY LINE OF LOT 2, BLOCK 23, A DISTANCE OF 0.50 FEET TO A 1/2" REBAR AND CAP (LB 7996); THENCE DEPARTING SAID NORTHERLY LINE, RUN SOUTH S00°10'02"E, A DISTANCE OF 78.50 FEET TO THE POINT OF BEGINNING, CONTAINING 4,748 SQUARE FEET (0.11 ACRES) OF LAND, MORE OR LESS.

LAND DESCRIPTION: (PROPOSED LOT "C") (AS PREPARED BY THIS FIRM) A PORTION OF LOT 5 OF THE ANNIE H. THOMAS RESURVEY OF BLOCK 23 BRUSH'S ADDITION TO GAINESVILLE, FLA. ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 136, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID PORTION OF LAND BEING SITUATED IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT A 1/2" OPEN PIPE (NO IDENTIFICATION), MARKING THE NORTHEAST CORNER OF SAID BLOCK 23, SAID OPEN PIPE ALSO LYING AND BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF N.W. 2ND STREET (PLEASANT STREET); THENCE RUN S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 120.98 FEET TO A 5/8" REBAR & CAP (LB 6578), SAID REBAR & CAP MARKING THE NORTHEAST CORNER OF LOT 2, BLOCK 23, SAID REBAR & CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 35.50 FEET TO A 1/2" REBAR AND CAP (LB 7996), SAID REBAR & CAP BEING THE POINT OF BEGINNING; THENCE CONTINUE S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 42.82 FEET TO A NAIL (NO IDENTIFICATION) MARKING THE SOUTHEAST CORNER OF LOT 2, BLOCK 23, SAID NAIL ALSO LYING AND BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. 6TH AVENUE; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, RUN S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 85.33 FEET TO A 1/2" REBAR & CAP (LB 7996); THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN N00°10'02"W, A DISTANCE OF 43.00 FEET TO A 1/2" REBAR AND CAP (LB 7996); THENCE RUN S 89°59'32"E, A DISTANCE OF 85.46 FEET TO THE POINT OF BEGINNING, CONTAINING 3,685 SQUARE FEET (0.08 ACRES) OF LAND, MORE OR LESS.

LAND DESCRIPTION: (PROPOSED LOT "D") (AS PREPARED BY THIS FIRM) A PORTION OF LOT 5 OF THE ANNIE H. THOMAS RESURVEY OF BLOCK 23 BRUSH'S ADDITION TO GAINESVILLE, FLA. ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 136, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID PORTION OF LAND BEING SITUATED IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT A 1/2" OPEN PIPE (NO IDENTIFICATION), MARKING THE NORTHEAST CORNER OF SAID BLOCK 23, SAID OPEN PIPE ALSO LYING AND BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF N.W. 2ND STREET (PLEASANT STREET); THENCE RUN S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 120.98 FEET TO A 5/8" REBAR & CAP (LB 6578), SAID REBAR & CAP MARKING THE NORTHEAST CORNER OF LOT 2, BLOCK 23; THENCE CONTINUE S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 35.50 FEET TO A 1/2" REBAR AND CAP (LB 7996), SAID REBAR AND CAP BEING THE POINT OF BEGINNING; THENCE CONTINUE S00°00'11"E, ON SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 42.82 FEET TO A NAIL (NO IDENTIFICATION) MARKING THE SOUTHEAST CORNER OF LOT 2, BLOCK 23, SAID NAIL ALSO LYING AND BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. 6TH AVENUE; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, RUN S89°52'00"W, ON SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 85.33 FEET TO A 1/2" REBAR & CAP (LB 7996); THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, RUN N00°10'02"W, A DISTANCE OF 43.00 FEET TO A 1/2" REBAR AND CAP (LB 7996); THENCE RUN S 89°59'32"E, A DISTANCE OF 85.46 FEET TO THE POINT OF BEGINNING, CONTAINING 3,685 SQUARE FEET (0.08 ACRES) OF LAND, MORE OR LESS.

FLOOD ZONE: IT IS THE OPINION OF THIS LAND SURVEYOR BASED ON AN INTERPRETATION OF F.I.R.M. PANEL No. 312 OF 640, COMMUNITY PANEL No. 125107 0312 OF THAT THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), MAP EFFECTIVE DATE JUNE 16, 2006.

SURVEYOR'S NOTES: 1. SURVEY BASED ON MONUMENTATION FOUND AND ACCEPTED AND ON "ANNIE H. THOMAS RESURVEY OF BLOCK 23, BRUSH'S ADDITION TO GAINESVILLE, FLA." AS RECORDED IN PLAT BOOK "A", PAGE 136 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. 2. BEARINGS ARE BASED ON AN ASSUMED BEARING OF S90°00'00"E FOR THE NORTHERLY LINE OF LOT 2, BLOCK 23. 3. DESCRIPTION OF RECORD AS PER OFFICIAL RECORDS BOOK 4483, PAGE 2186 AND OFFICIAL RECORDS BOOK 2241, PAGE 589. 4. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LAND SURVEYOR IN RESPONSIBLE CHARGE. 5. UNLESS NOTED, NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED FOR THIS SURVEY. 6. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAYS, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN. 7. ONLY ABOVE GROUND UTILITIES WERE LOCATED FOR THIS SURVEY. 8. NORTH ARROW IS BASED ON BEARING STRUCTURE. 9. CERTIFICATION IS NOT TRANSFERABLE. 10. COPIES AND ELECTRONIC FILES OF THIS SURVEY ARE ONLY AVAILABLE TO THE CLIENT FOR 90 DAYS FROM THE DATE OF SIGNATURE. AFTER 90 DAYS, A MINIMUM FEE OF 50% OF THE ORIGINAL SURVEY COST WILL BE ASSESSED. 11. THE PURPOSE OF THIS SURVEY IS TO SHOW BOUNDARY INFORMATION AND IMPROVEMENTS. IT IS NOT TO BE USED FOR ARCHITECTURAL, ENGINEERING, DESIGN OR CONSTRUCTION PURPOSES. 12. FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL CLARIFICATION PURPOSES AND MAY NOT NECESSARILY BE SHOWN TO SCALE. 13. THIS SURVEY COMPLIES WITH THE FLORIDA STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES. 14. UTILITIES AS SHOWN HEREON AS MARKED BY OTHERS. 15. THIS PROPERTY IS SERVED BY CITY WATER AND SANITARY WATER. 16. ALL UTILITY SERVICE SHALL BE INSTALLED BENEATH THE SURFACE OF THE GROUND IN ACCORDANCE WITH SECTION 30-345. 17. THIS SURVEY WAS PREPARED WITHOUT THE PRIVILEGE OF TITLE OR OWNERSHIP INFORMATION, AND AS SUCH IS SUBJECT TO ANY AND ALL LAND RIGHTS THAT AN ACCURATE TITLE SEARCH WILL REVEAL. THIS SURVEYOR IS NOT LIABLE FOR ANY ERRORS CAUSED BY LACK OF THIS INFORMATION OR OMISSIONS FROM THIS SURVEY THAT SAID TITLE RESEARCH WOULD REVEAL.

OWNERS CERTIFICATION AND DEDICATION WE, THE UNDERSIGNED, DO HEREBY CERTIFY TO BE THE OWNER OF THE HEREON DESCRIBED LANDS AND DO HER CONSENT TO THIS MINOR SUBDIVISION.

Signatures of William T. Hawkins, Sara C. Nash, and Jason A. Straw with witness signatures.

ACKNOWLEDGEMENT - STATE OF FLORIDA, COUNTY OF ALACHUA I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, W. T. Irby, SC, Notary Public, State of Florida, KNOWN TO BE THE PERSONS HEREIN DESCRIBED AND ACKNOWLEDGED THAT THEY EXECUTED THIS INSTRUMENT AS THEIR FREE AND VOLUNTARY ACT AND DEED.

WITNESS MY HAND & OFFICIAL SEAL THIS 21 DAY OF November, A.D. 2017. NOTARY PUBLIC - STATE OF FLORIDA MY COMMISSION EXPIRES: 4/15/21

CERTIFICATE OF APPROVAL BY THE CITY OF GAINESVILLE, FLORIDA WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THIS MINOR SUBDIVISION CONFORMS TO THE REQUIREMENTS OF THE CITY OF GAINESVILLE ORDINANCES AND REGULATIONS.

Signatures of Lead Planner, Director of Public Works, and General Manager, Gainesville Regional Utilities with dates.

CERTIFICATE OF CLERK OF THE COURT RECEIVED AND FILED FOR RECORD AS AN UNRECORDED MAP IN ACCORDANCE WITH SECTION 177.132, FLORIDA STATUTES.

Signatures of J.K. "Jess" Irby and Karen Sahli with dates.

CERTIFICATE OF SURVEYOR I DO HEREBY CERTIFY THAT THIS MINOR SUBDIVISION IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE BY ME OR UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, AND THAT SAID MINOR SUBDIVISION AND SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

Signature of Kris Ann Gath P.S.M. with date 11-07-2017 and Florida Certificate No. 5339.

Scale: 1" = 20'. Page 1 of 1. Survey by: W. T. Irby, Professional Surveyor & Mapper Fla. Cert. 5339. Job No. 17437. Acad File: 17437-MSB-R. Kris Ann Gath P.S.M. 4605 N.W. 6th Street, Suite H Gainesville, Florida 32609. Phone: (352) 331-0010. Fax: (352) 336-3363. Deren Land Surveying.

Section 30-4.17. Dimensional Standards.

The following tables contain the dimensional standards for the various uses allowed in each district.
 Table V - 5: Residential Districts Dimensional Standards.

	RSF-1	RSF-2	RSF-3	RSF-4	RC	MH	RMF-5	RMF-6	RMF-7	RMF-8
DENSITY/INTENSITY										
Residential density (units/acre)										
Min	None	None	None	None	None	None	None	8 ¹	8 ¹	8 ¹
Max by right	3.5	4.6	5.8	8	12	12	12	10	14	20
With density bonus points	-	-	-	-	-	-	-	See Table V-6	See Table V-6	See Table V-6
Nonresidential building coverage	35%	35%	40%	40%	50%	50%	50%	50%	50%	50%
LOT STANDARDS										
Min lot area (sq. ft.)	8,500	7,500	6,000	4,300	3,000	3,000	3500	None	None	None
Min lot width (ft.)										
Single-family	85	75	60	50	35	35	40	40	40	40
Two-family ²	NA	NA	NA	NA	70	NA	75	75	75	75
Other uses	85	75	60	50	35	35	85	85	85	85
Min lot depth (ft.)	90 ³	90 ³	90 ³	80 ³	None	None	90	90	90	90
MIN SETBACKS (ft.)										
Front	20 ³	20 ³	20 ³	20 ³	10 ⁴	15	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max
Side (street)	10	10	7.5	7.5	NA	NA	15	15	15	15
Side (interior) ^{5,6}	7.5	7.5	7.5	7.5	5	5	10	10	10	10
Rear ^{6,7}	20	20	15	10	20	15	10	10	10	10
Rear, accessory	7.5	7.5	5	5	5	5	5	5	5	5
MAXIMUM BUILDING HEIGHT (stories)										
By right	3	3	3	3	3	3	3	3	3	3
With building height bonus	NA	NA	NA	NA	NA	NA	NA	5	5	5

LEGEND:

- 1 = Parcels 0.5 acres or smaller existing on November 13, 1991, are exempt from minimum density requirements.
- 2 = Assumes both units on one lot. Lot may not be split, unless each individual lot meets minimum lot width requirement for single-family.
- 3 = Lots abutting a collector or arterial street shall have a minimum depth of 150 feet and a minimum building setback of 50 feet along that street.

- 1 4 = Attached stoops or porches meeting the standards in Sections 30-4.13 and 30-4.14 are permitted to
2 encroach up to 5 feet into the minimum front yard setback.
- 3 5 = Except where the units are separated by a common wall on the property line of two adjoining lots. In
4 such instances, only the side yard setback for the end unit is required.
- 5 6 = Accessory pre-engineered or pre-manufactured structures of 100 square feet or less and one story in
6 height may be erected in the rear or side yard as long as the structure has a minimum yard setback
7 of three feet from the rear or side property line, is properly anchored to the ground, and is
8 separated from neighboring properties by a fence or wall that is at least 75% opaque.
- 9 7 = Accessory screened enclosure structures, whether or not attached to the principal structure, may be
10 erected in the rear yard as long as the enclosure has a minimum yard setback of three feet from the
11 rear property line. The maximum height of the enclosure at the setback line shall not exceed eight
12 feet. The roof and all sides of the enclosure not attached to the principal structure shall be made of
13 screening material.

K. STRAUSS HOMES

True Livable Homes

352.494.4719

kstraushomes@gmail.com

P.O. BOX 6154

GAINESVILLE, FL 32627

PREPARED BY:

KURT STRAUSS
LIC# CBC1255801

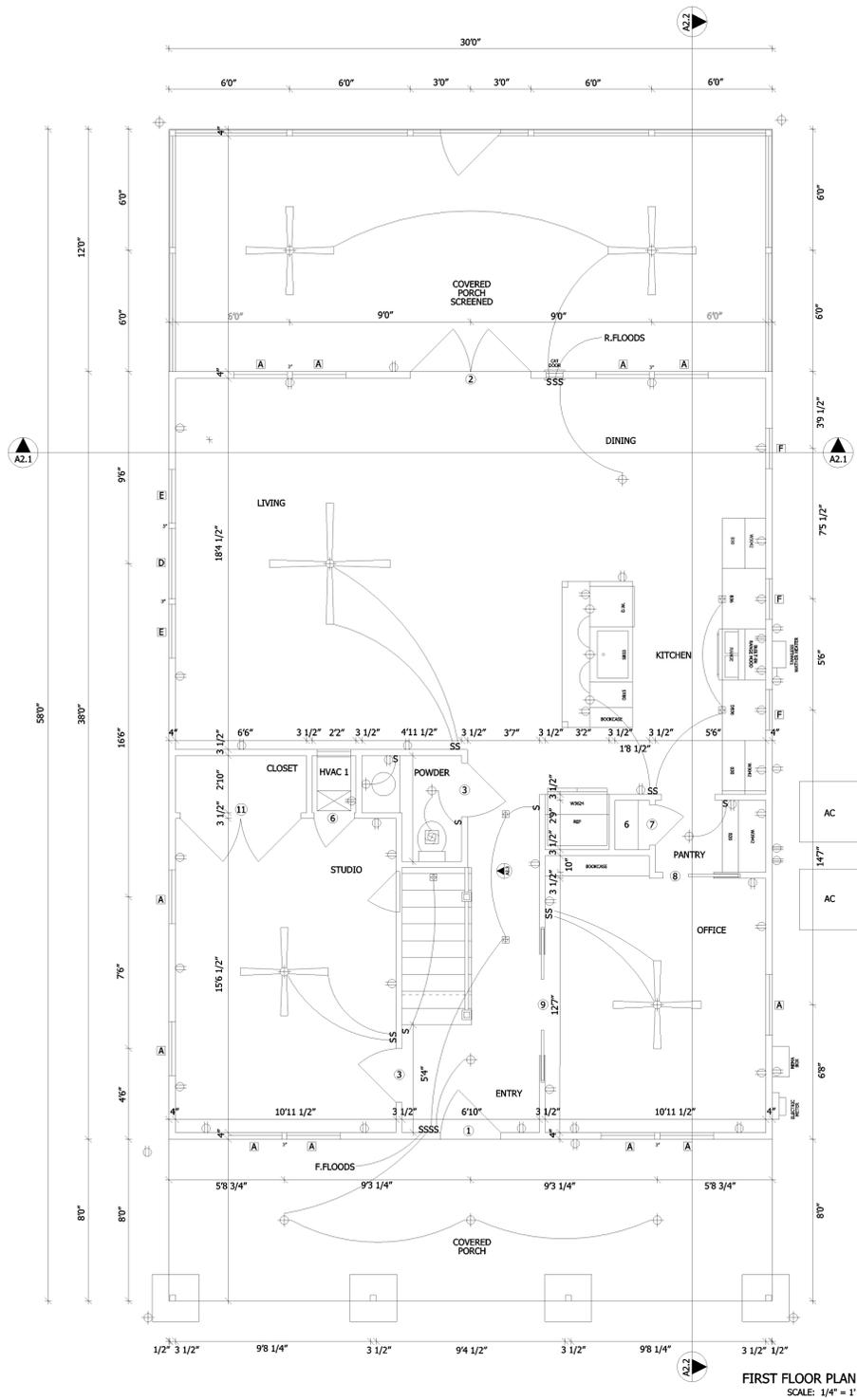
OWNERS
THOMAS HAWKINS & SARA NASH

ADDRESS
602 NW 2ND STREET
GAINESVILLE, FL 32601

3 BEDROOMS
2 1/2 BATHS
W/STUDIO & STUDIO

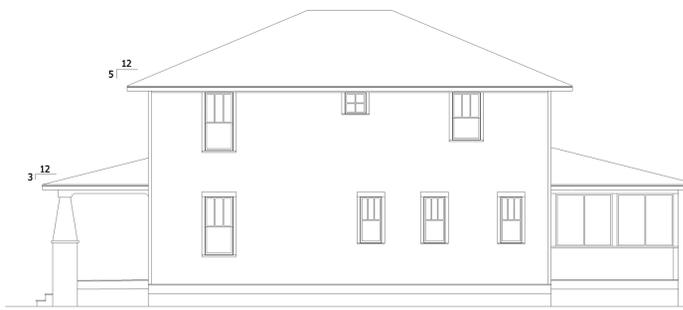
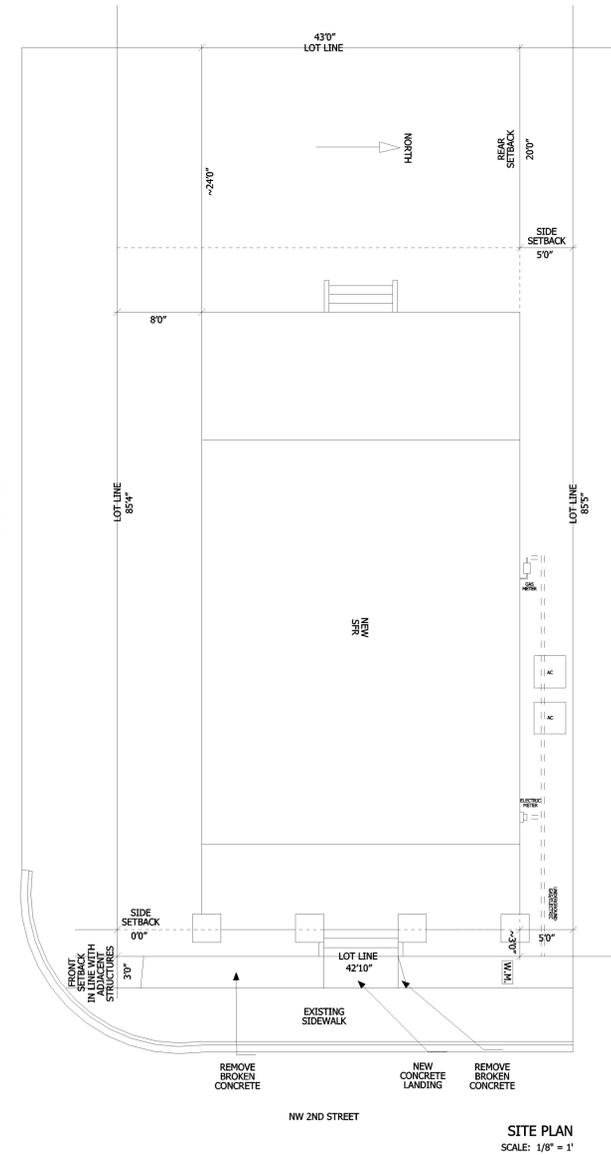
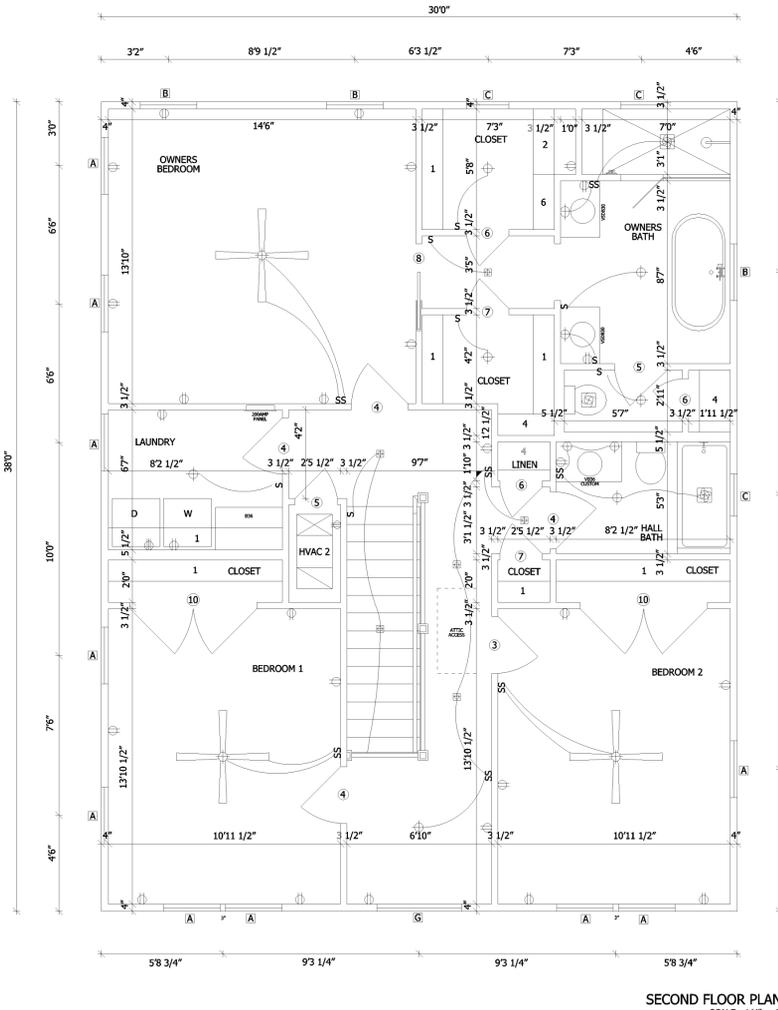
LIVING SFT 2280
PORCHES SFT 600
TOTAL SFT 2880

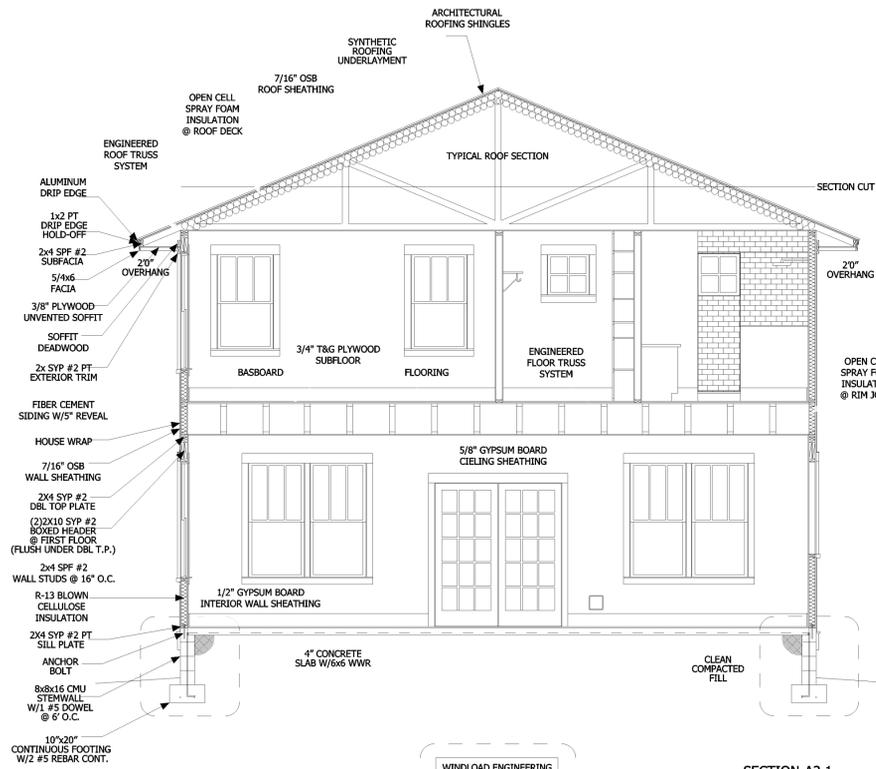
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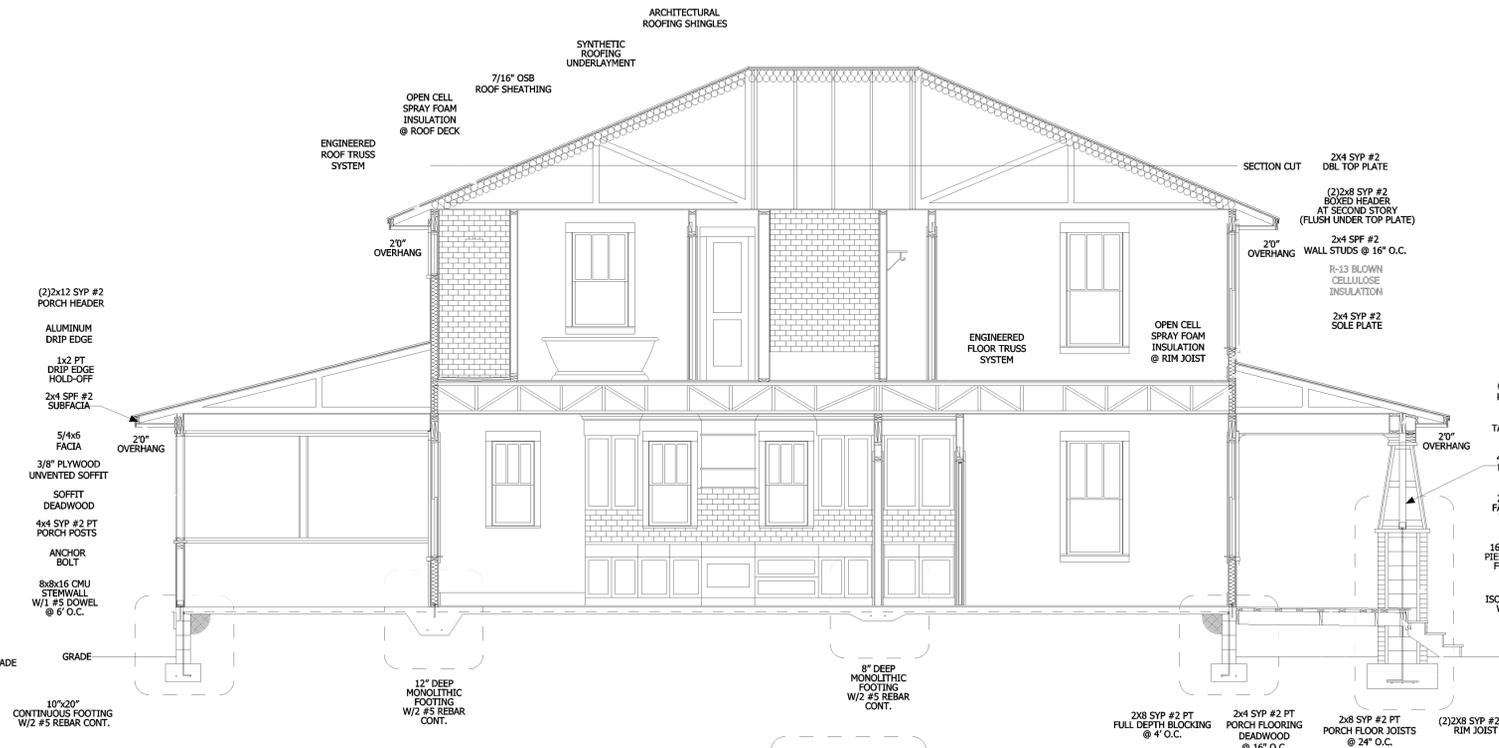
DOOR SCHEDULE				
DOOR	DESCRIPTION	SIZE/SWING	TYPE	QUANTITY
1	EXTERIOR	3068 LHIS	WOOD 6 PANEL W/12" TRANSOM	1
2	EXTERIOR	6068 DBL	WOOD 15 LITE DBL	1
3	INTERIOR	2868 LH	HERITAGE SERIES H.C.	4
4	INTERIOR	2868 RH	HERITAGE SERIES H.C.	2
5	INTERIOR	2068 LH	HERITAGE SERIES H.C.	3
6	INTERIOR	2068 RH	HERITAGE SERIES H.C.	3
7	INTERIOR	2868 POCKET	HERITAGE SERIES H.C.	2
8	INTERIOR	5068 POCKET DBL	HERITAGE SERIES H.C.	2
9	INTERIOR	6068 DBL	HERITAGE SERIES H.C.	2
10	INTERIOR	6068 DBL	HERITAGE SERIES H.C.	1
11	INTERIOR	6068 DBL	HERITAGE SERIES H.C.	1

WINDOW SCHEDULE				
WINDOW	DESCRIPTION	SIZE	SPECIFICATIONS	QUANTITY
A	ANDERSEN 400 SERIES DOUBLE HUNG	2855	WOOD/CLAD; 3/1 GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	22
B	ANDERSEN 400 SERIES DOUBLE HUNG	2845	WOOD/CLAD; 3/1 GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	1
C	ANDERSEN 100 SERIES FIXED	2020	WOOD/CLAD; 4 LITE GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	3
D	ANDERSEN 400 SERIES DOUBLE HUNG	3565	WOOD/CLAD; 3/1 GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	2
E	ANDERSEN 400 SERIES DOUBLE HUNG	3265	WOOD/CLAD; 3/1 GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	3
F	ANDERSEN 400 SERIES CASEMENT	2040	WOOD/CLAD; 3/1 GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	3
G	ANDERSEN 400 SERIES FIXED	4030	WOOD/CLAD; 8 LITE GRID; 3/4 SD; DBL PANE LOW-E W/ARGON; CLEAR	1

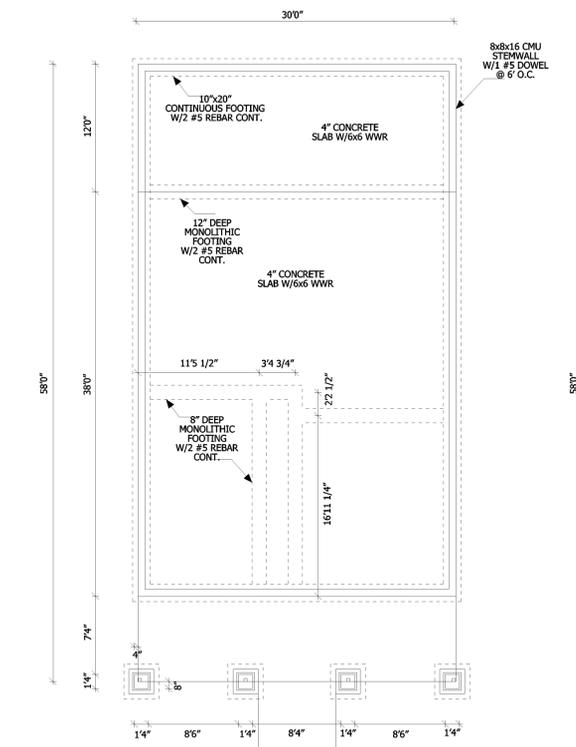




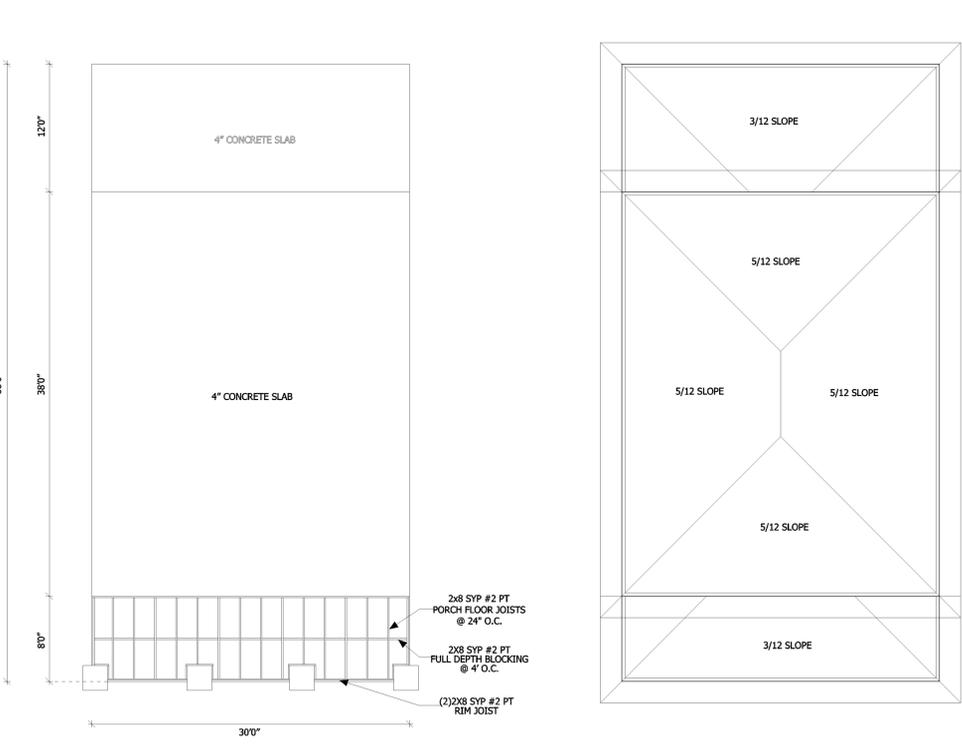
SECTION A2.1
SCALE: 1/4" = 1'



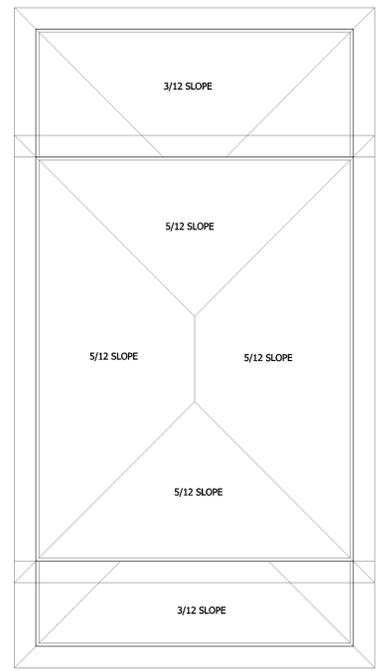
SECTION A2.2
SCALE: 1/4" = 1'



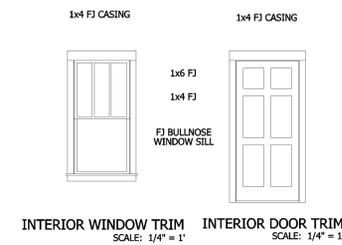
FOUNDATION PLAN
SCALE: 1/8" = 1'



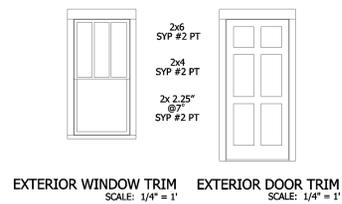
FLOOR FRAMING PLAN
SCALE: 1/8" = 1'



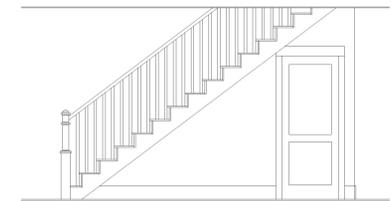
ROOF PLAN
SCALE: 1/8" = 1'



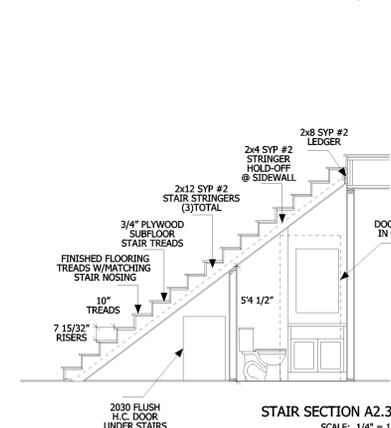
INTERIOR WINDOW TRIM SCALE: 1/4" = 1'
INTERIOR DOOR TRIM SCALE: 1/4" = 1'



EXTERIOR WINDOW TRIM SCALE: 1/4" = 1'
EXTERIOR DOOR TRIM SCALE: 1/4" = 1'



STAIR ELEVATION A2.3
SCALE: 1/4" = 1'



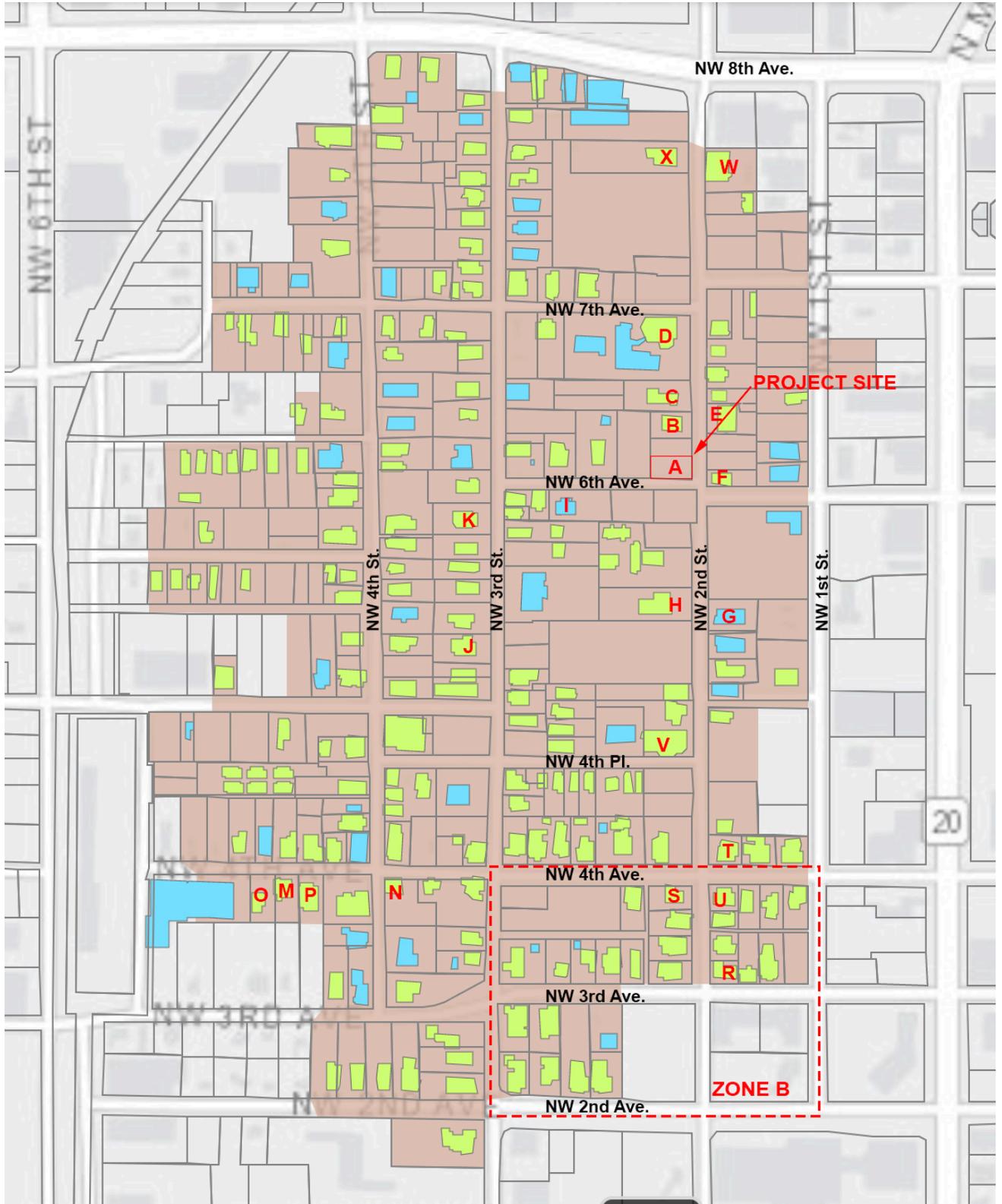
STAIR SECTION A2.3
SCALE: 1/4" = 1'

OWNERS
THOMAS HAWKINS & SARA NASH
ADDRESS
602 NW 2ND STREET
GAINESVILLE, FL 32601

3 BEDROOMS
2 1/2 BATHS
W/STUDIO & STUDIO

LIVING SFT 2280
PORCHES SFT 600
TOTAL SFT 2880

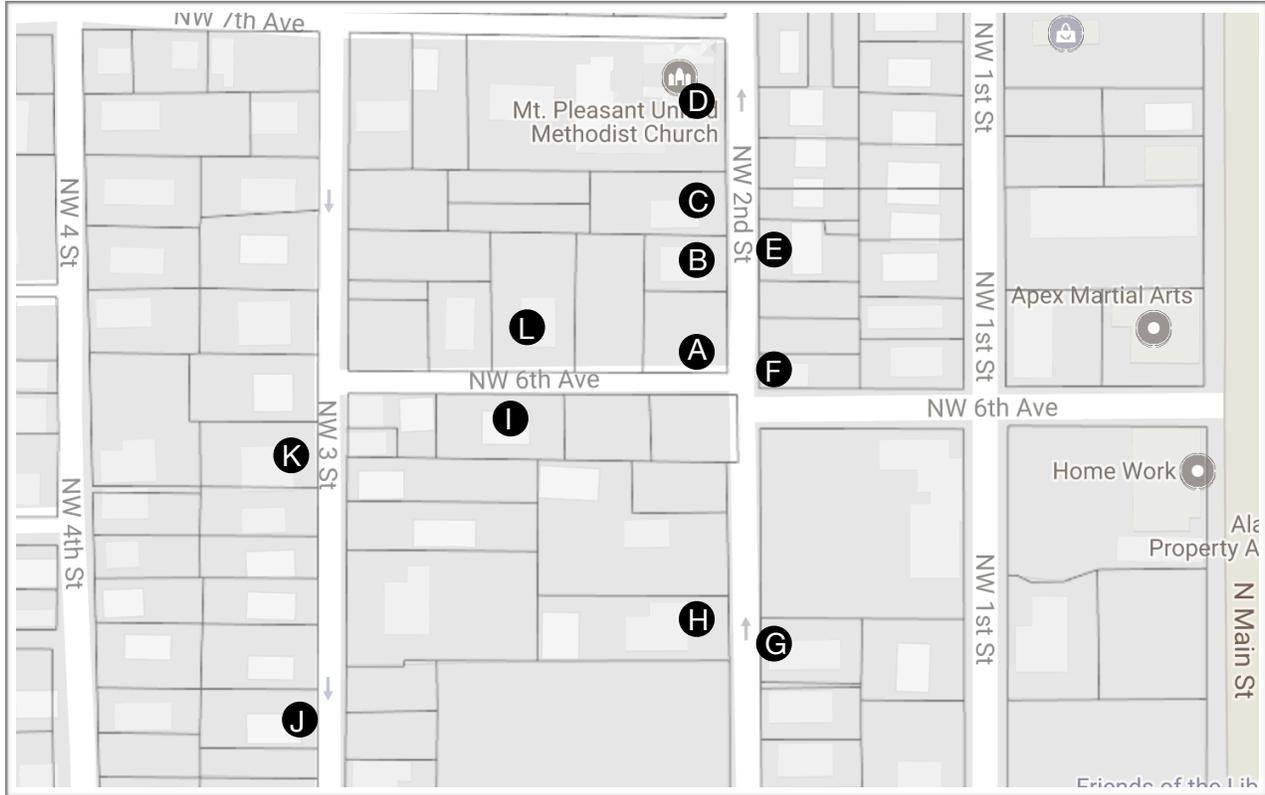
A2



Map of Pleasant Street Historic District and photo locations

IMAGES

Map of project site, identified as **Location A**, and surrounding area.



Location A. View of project site from the southeast



Location B Home with 3 over 1 windows at 614 NW 2nd Street



Location C Home at 618 NW 2nd Street



Location D Mt. Pleasant United Methodist Church



Location E Home at 623 NW 2nd Street



Location F Refuge Church of Our Lord Jesus Christ of the Apostolic Faith, Inc.



Location G Home with tapered square wooden columns atop brick piers at 517 NW 2nd Street



Location H Home with tapered square wooden columns atop brick piers and 3 over 1 windows at 518 NW 2nd Street



Location I Home at 219 NW 6th Avenue



Location J Home with hip roof and asphalt shingles at 506 NW 3rd Street



Location K Home with tapered square wooden columns atop brick piers and 3 over 1 windows at 538 NW 3rd Street



Location L Home at 220 NW 6th Avenue



Example of home with two stories, hip roof and asphalt shingles at 419 NW 4th Avenue (not **Location M**)



Example of home with two stories, hip roof, asphalt shingles and tapered square wooden columns atop brick piers at 319 NW 4th Avenue

Location N



Example of home with hip roof, asphalt shingles, tapered square wooden columns atop brick piers, and 3 over 1 windows at 506 NW 3rd Street

Location O



Example of home with two stories at 413 NW 4th Avenue

Location P



Example of home with tapered square wooden columns atop brick piers at 426 NW 4th Avenue
(not identified on map)



EXHIBIT 6



Two-story house at NW 2nd Street and NW 3rd Avenue. (Location R)



Two-story house at NW 2nd Street and NW 4th Avenue. (Location S)



One-and-a-half-story house at NW 2nd Street and NW 4th Avenue. (Location T)



Two-story house at NW 2nd Street and NW 4th Avenue. (Location U)



Friendship Baptist Church at NW 2nd Street and NW 4th Place. (Location V)



Funeral Home at NW 2nd Street near 8th Avenue. (Location W)



Two-story house at NW 2nd Street near 8th Avenue. (Location X)



Andersen Windows - Abbreviated Quote Report



Project Name: 602 400s

Quote #: 5

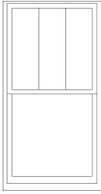
Print Date: 02/03/2018

Quote Date: 02/02/2018

iQ Version: 17.2

Dealer:	Customer: Strauss
Sales Rep: Administrator - DO NOT REMOVE	Billing Address:
Created By:	Phone: Fax:
	Contact: Trade ID: Promotion Code:

Item	Qty	Item Size (Operation)	Location
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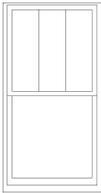


0001 10 TW2852 (AA)
RO Size = 2' 10 1/8" W x 5' 4 7/8" H Unit Size = 2' 9 5/8" W x 5' 4 7/8" H

400 Series
 Unit, Equal Sash, White/PI White, (Top Sash) High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 3w1h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White (Bottom Sash) High Performance Low-E4 Glass, White Window Opening Control Device (Factory Applied)
 Insect Screen, White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Certified: No



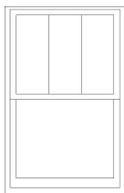
0002 12 TW2852 (AA)
RO Size = 2' 10 1/8" W x 5' 4 7/8" H Unit Size = 2' 9 5/8" W x 5' 4 7/8" H

400 Series
 Unit, Equal Sash, White/PI White, (Top Sash) High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 3w1h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White (Bottom Sash) High Performance Low-E4 Glass
 Insect Screen, White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Certified: No

Item Qty Item Size (Operation) Location

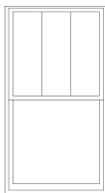


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RO Size = 2' 10 1/8" W x 4' 4 7/8" H Unit Size = 2' 9 5/8" W x 4' 4 7/8" H

400 Series
 Unit, Equal Sash, White/PI White, (Top Sash) High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 3w1h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White (Bottom Sash) High Performance Low-E4 Glass, White Window Opening Control Device (Factory Applied)
 Insect Screen, White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Certified: No



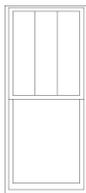
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RO Size = 3' 6 1/8" W x 6' 4 7/8" H Unit Size = 3' 5 5/8" W x 6' 4 7/8" H

400 Series
 Unit, Equal Sash, White/PI White, (Top Sash) High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 3w1h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White (Bottom Sash) High Performance Low-E4 Glass
 Insect Screen, White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Certified: No

Item Qty Item Size (Operation) Location

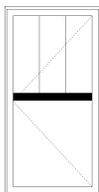


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RO Size = 2' 10 1/8" W x 6' 4 7/8" H Unit Size = 2' 9 5/8" W x 6' 4 7/8" H

400 Series
 Unit, Equal Sash, White/PI White, (Top Sash) High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 3w1h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White (Bottom Sash) High Performance Low-E4 Glass
 Insect Screen, White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Certified: No



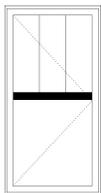
0006 2 C14 (L)
RO Size = 2' 0 5/8" W x 4' 0 1/2" H Unit Size = 2' 0 1/8" W x 4' 0" H

400 Series
 Unit, White/White - Factory Painted, L Handing, High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite Fractional with Check Rail, 4 lites, 3w1h, Center Bottom Horizontal Placement, 3/4" with 2 1/4" Check Rail, Ext Grille - White, Int Grille - Prefinished White (Includes 4 9/16" Factory Applied White - Painted Complete Unit Extension Jambs)
 Insect Screen, White
 Hardware Pack, PSC, Contemporary Folding - White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.28, SHGC: 0.26, ENERGY STAR® Certified: No

Item Qty Item Size (Operation) Location

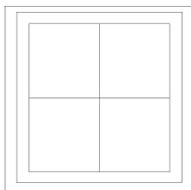


0007 1 C14 (R)
RO Size = 2' 0 5/8" W x 4' 0 1/2" H Unit Size = 2' 0 1/8" W x 4' 0" H

400 Series
 Unit, White/White - Factory Painted, R Handing, High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite Fractional with Check Rail, 4 lites, 3w1h, Center Bottom Horizontal Placement, 3/4" with 2 1/4" Check Rail, Ext Grille - White, Int Grille - Prefinished White (Includes 4 9/16" Factory Applied White - Painted Complete Unit Extension Jambs)
 Insect Screen, White
 Hardware Pack, PSC, Contemporary Folding - White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.28, SHGC: 0.26, ENERGY STAR® Certified: No

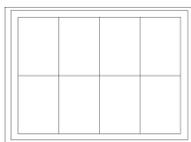


0008 3 TWT20111 (F)
RO Size = 2' 2 1/8" W x 2' 1 7/8" H Unit Size = 2' 1 5/8" W x 2' 1 5/16" H

400 Series
 Unit, White/PI White, High Performance Low-E4 Glass, Divided Light without Spacer, Specified Equal Lite, 2w2h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.27, SHGC: 0.29, ENERGY STAR® Certified: No



0009 1 TWT3827 (F)
RO Size = 3' 10 1/8" W x 2' 9 7/8" H Unit Size = 3' 9 5/8" W x 2' 9 5/16" H

400 Series
 Unit, White/PI White, High Performance Low-E4 Glass, Divided Light with Spacer, Specified Equal Lite, 4w2h, 3/4", High Definition Chamfer, Chamfer, Ext Grille - White, Int Grille - Prefinished White

Viewed from Exterior

Zone: Southern
 U-Factor: 0.28, SHGC: 0.29, ENERGY STAR® Certified: No

Customer Signature

Total Load Factor

8.216

Dealer Signature

**** All graphics viewed from the exterior**

**** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.**



Ask to see if all of the products you purchase can be upgraded to be ENERGY STAR® certified.



This image indicates that the product selected is certified in the US ENERGY STAR® climate zone that you have selected.

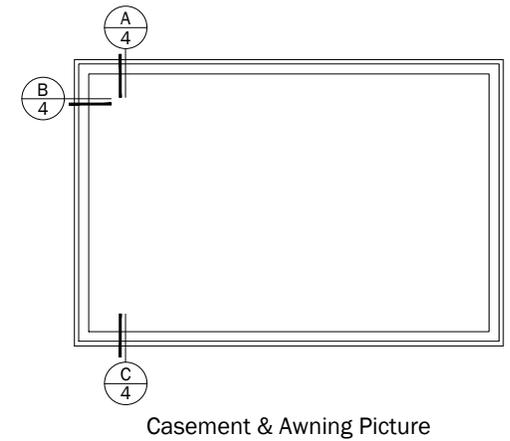
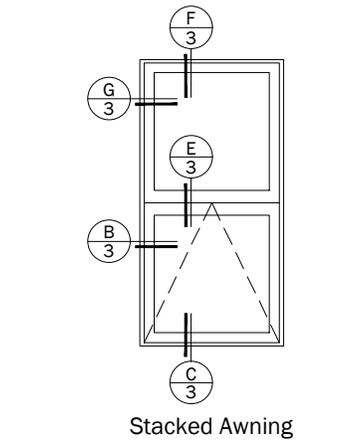
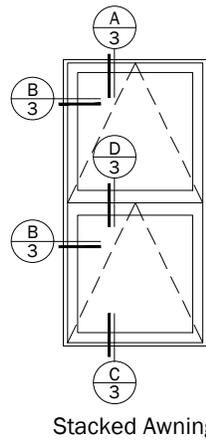
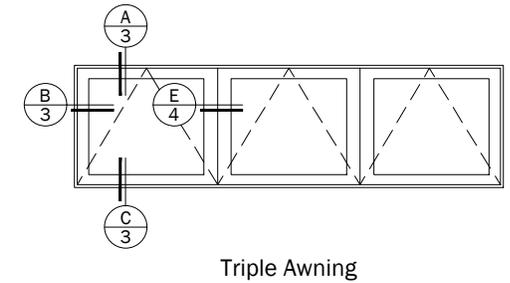
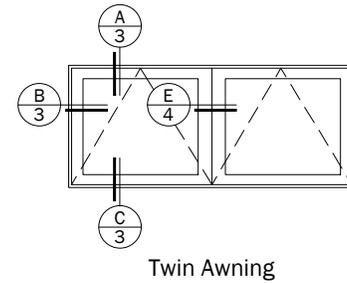
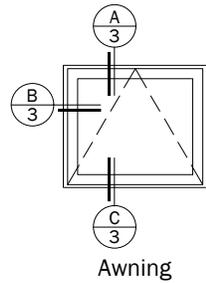
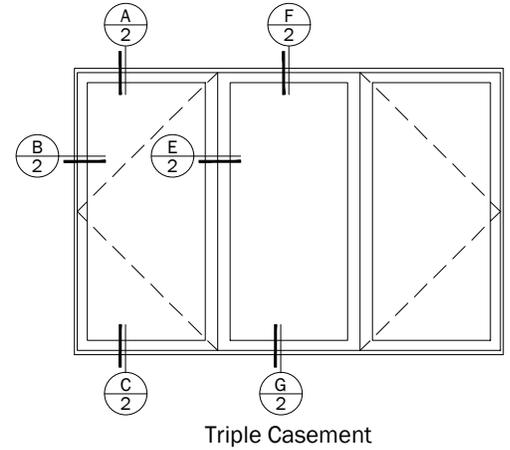
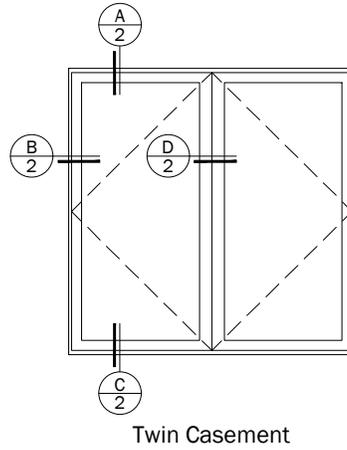
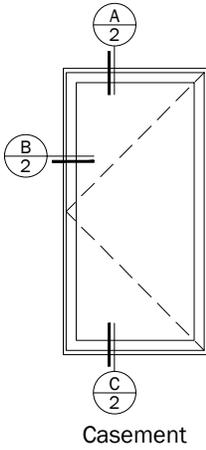
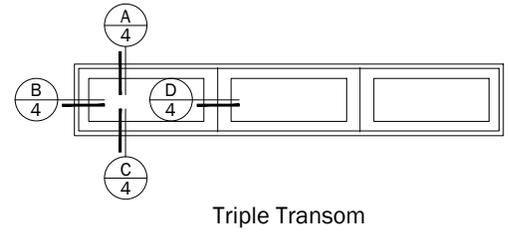
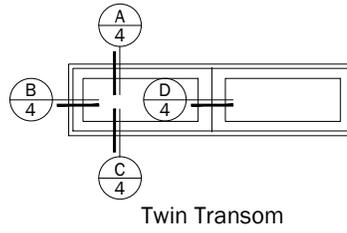
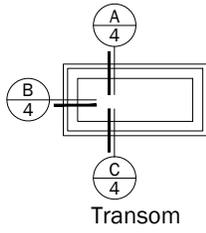
Data is current as of May 2017. This data may change over time due to ongoing product changes or updated test results or requirements. Ratings for all sizes are specified by NFRC for testing and certification. Ratings may vary depending on the use of tempered glass or different grille options or glass for high altitudes etc.

Nexia is a registered trademark of Ingersoll Rand Inc.

Project Comments:

400 SERIES

Casement & Awning Windows



Notes:

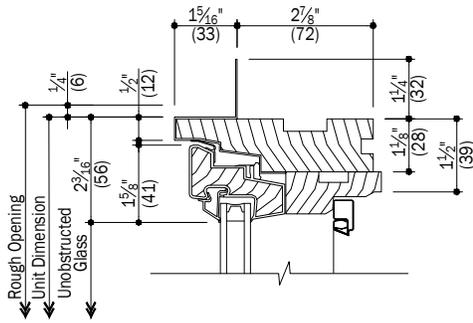
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See Pages 5 & 6 for Accessories

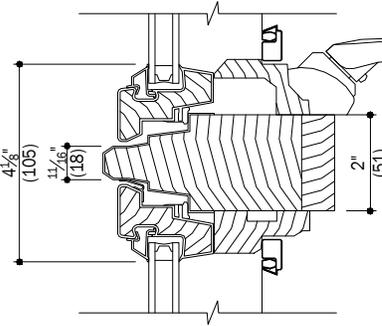
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400 SERIES

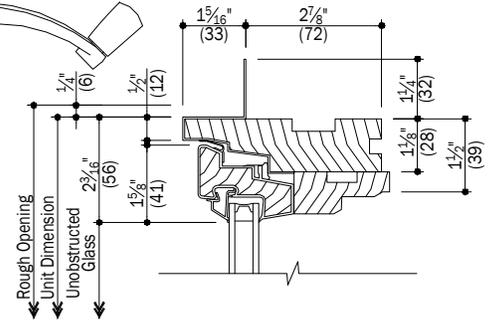
Casement & Awning Windows



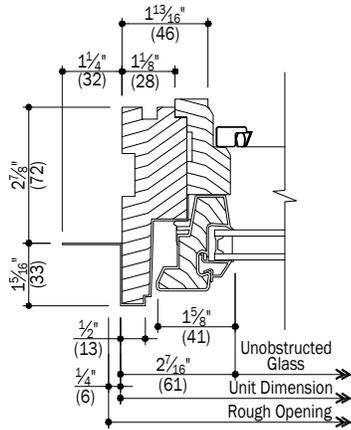
A Head
3 Operating Awning



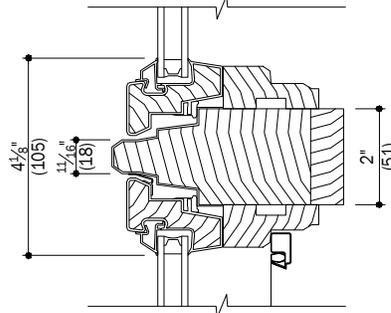
D Horizontal Integral Join
3 Operating Awn/Operating Awn



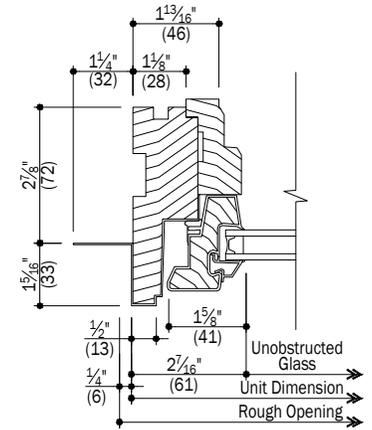
F Head
3 Stationary Awning



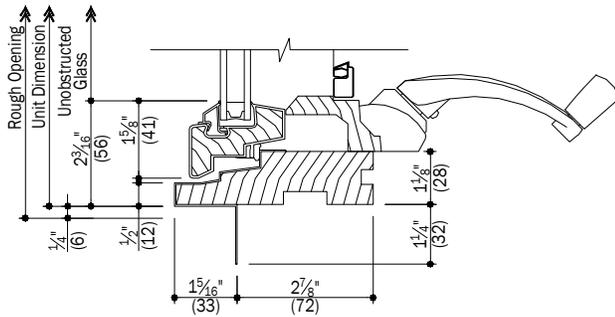
B Jamb
3 Operating Awning



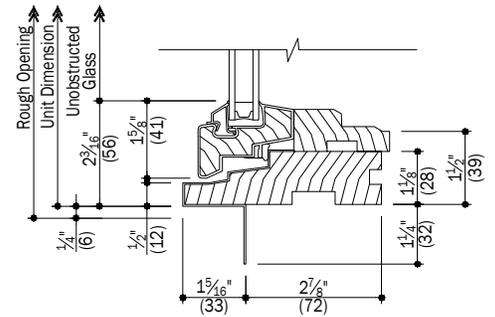
E Horizontal Integral Join
3 Stationary Awn/Operating Awn



G Jamb
3 Stationary Awning



C Sill
3 Operating Awning



H Sill
3 Stationary Awning

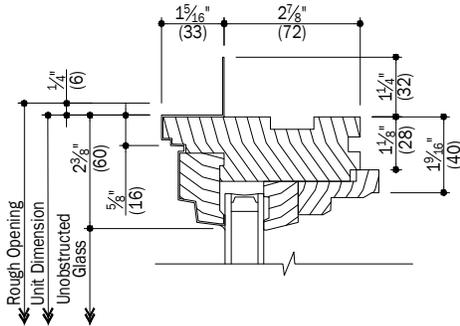
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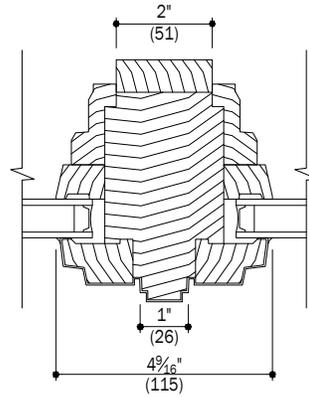
See Pages 5 & 6 for Accessories

400 SERIES

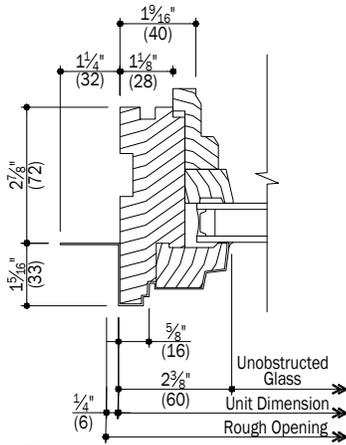
Casement & Awning Windows



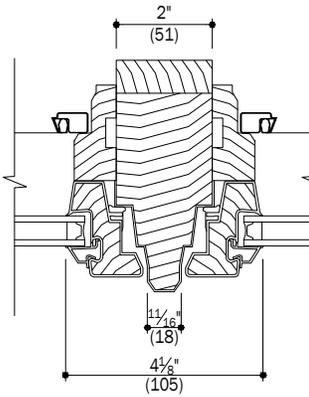
(A) Head
(4) Fixed



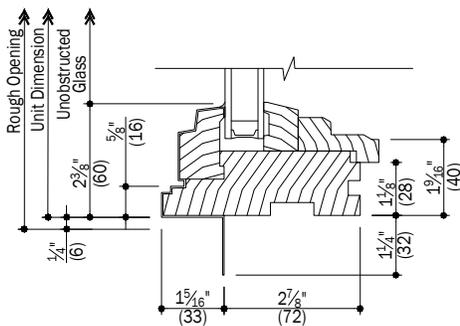
(D) Vertical Integral Join
(4) Fixed/Fixed



(B) Jamb
(4) Fixed



(E) Vertical Integral Join
(4) Operating Awn/Operating Awn



(C) Sill
(4) Fixed

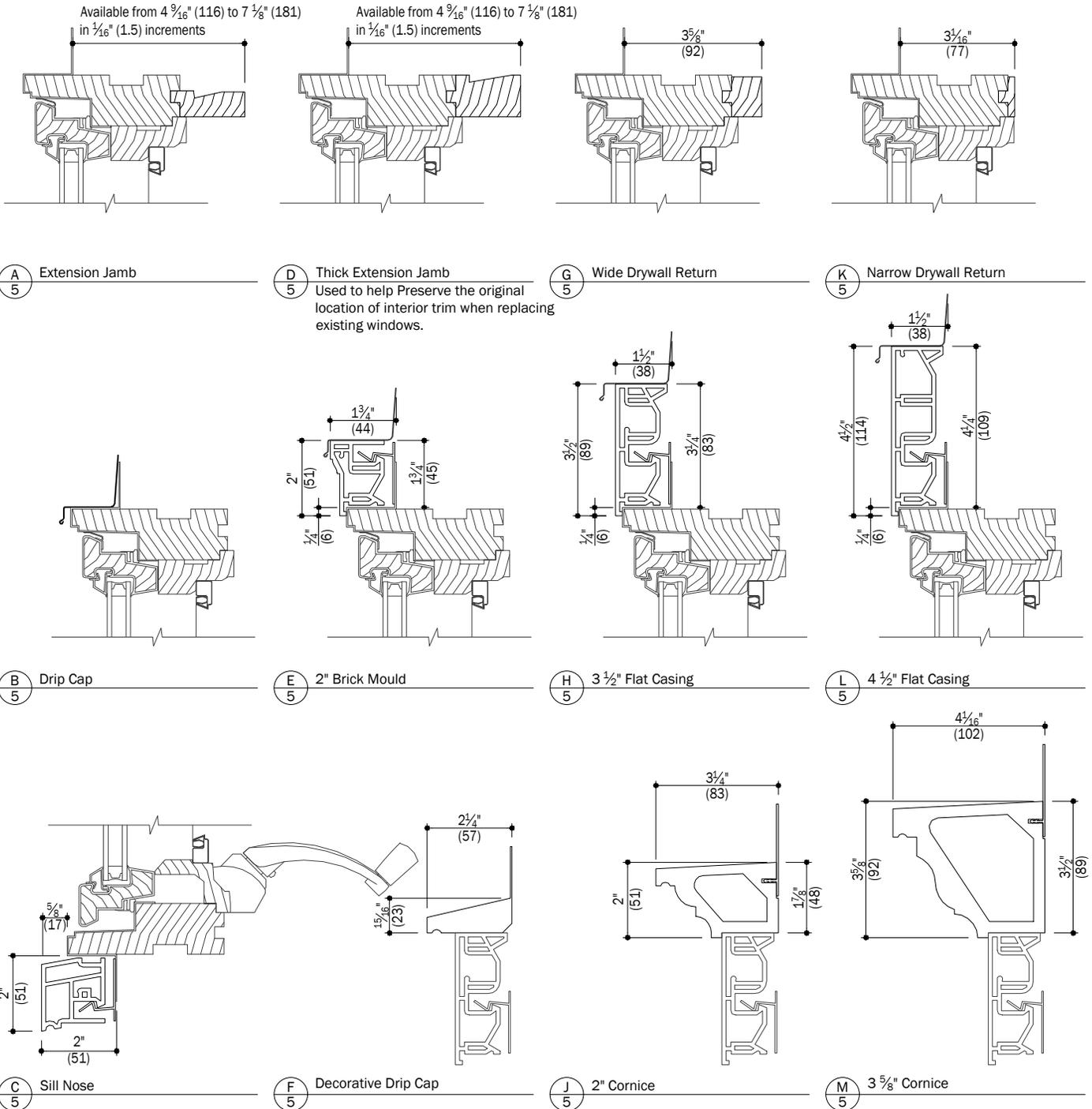
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See Pages 5 & 6 for Accessories

400 SERIES

Casement & Awning Windows Accessories

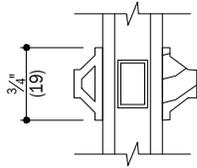


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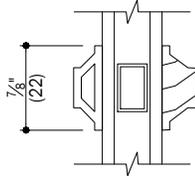
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400 SERIES

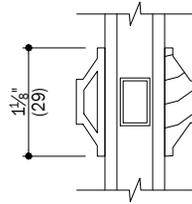
Casement & Awning Windows Accessories



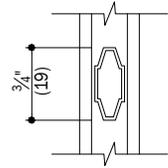
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 6 $\frac{3}{4}$ " Full Divided Light



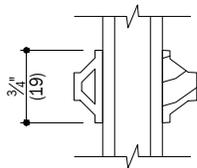
E
 6 $\frac{7}{8}$ " Full Divided Light



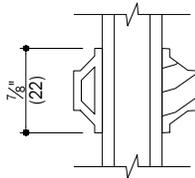
J
 6 $1\frac{1}{8}$ " Full Divided Light



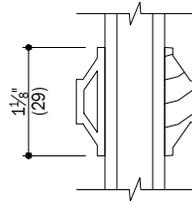
M
 6 $\frac{3}{4}$ " Finelight



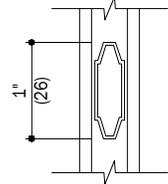
B
 6 $\frac{3}{4}$ " Simulated Divided Light
 Removable interior is available



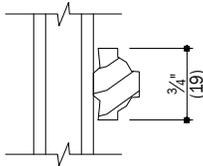
F
 6 $\frac{7}{8}$ " Simulated Divided Light
 Removable interior is available



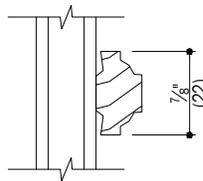
K
 6 $1\frac{1}{8}$ " Simulated Divided Light
 Removable interior is available



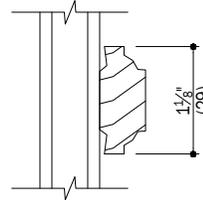
N
 6 1" Finelight



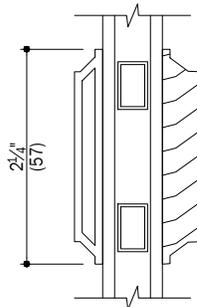
C
 6 $\frac{3}{4}$ " Removable Interior Grille



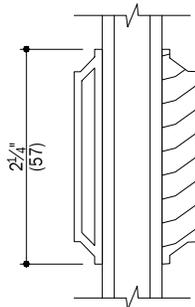
G
 6 $\frac{7}{8}$ " Removable Interior Grille



L
 6 $1\frac{1}{8}$ " Removable Interior Grille



D
 6 $2\frac{1}{4}$ " Full Divided Light
 Simulated check rail



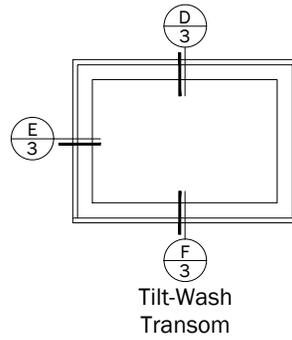
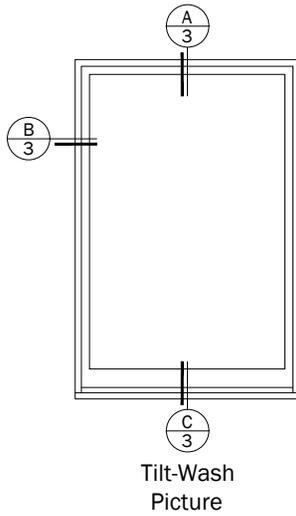
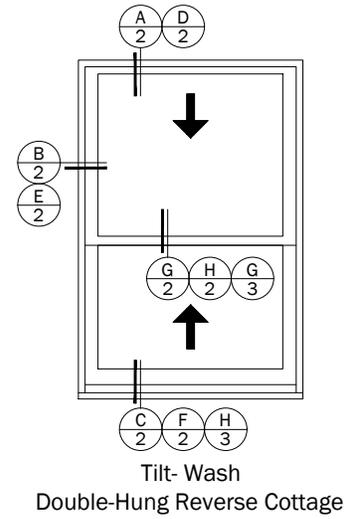
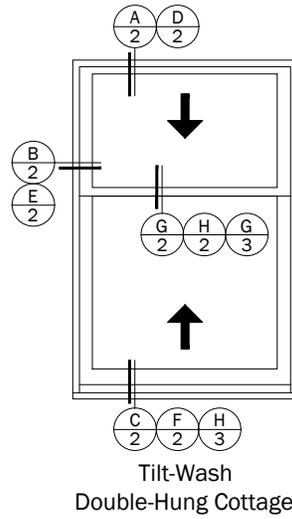
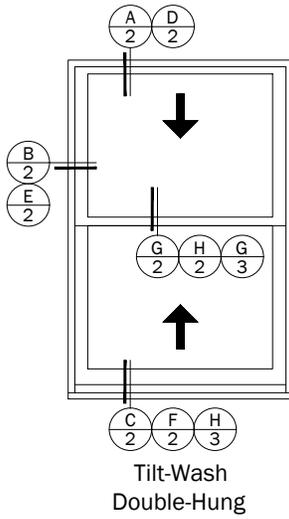
H
 6 $2\frac{1}{4}$ " Simulated Divided Light
 Simulated check rail

Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

400 SERIES

Tilt-Wash Double-Hung Full-Frame Windows



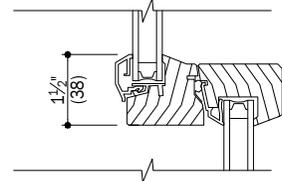
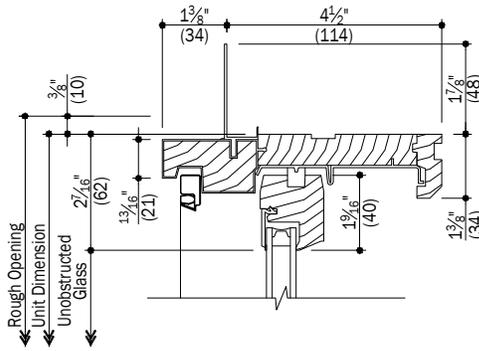
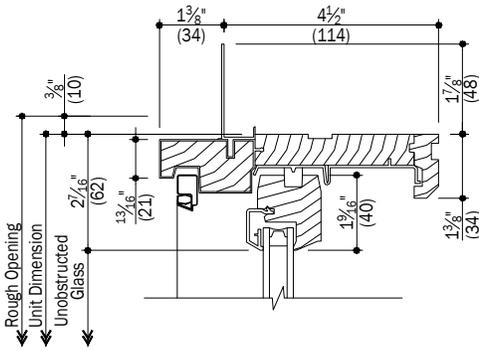
Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

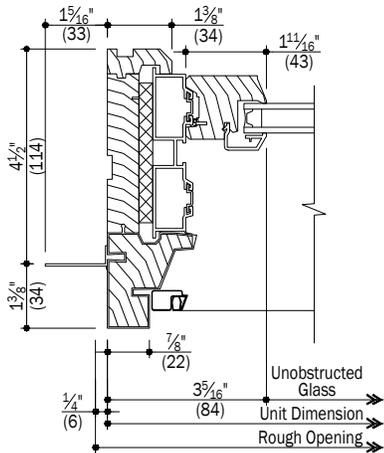
See Pages 4 Thru 6 for Accessories

400 SERIES

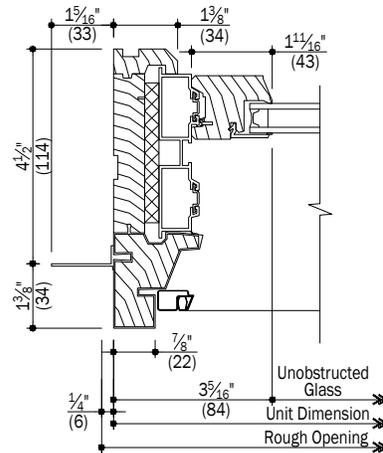
Tilt-Wash Double-Hung Full-Frame Windows



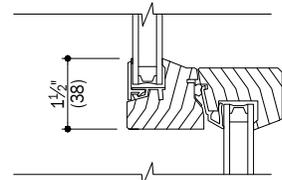
(A) Head - High Definition Chamfer
(2) Operating



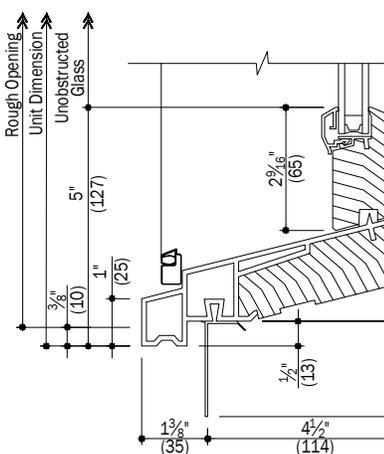
(D) Head
(2) Operating



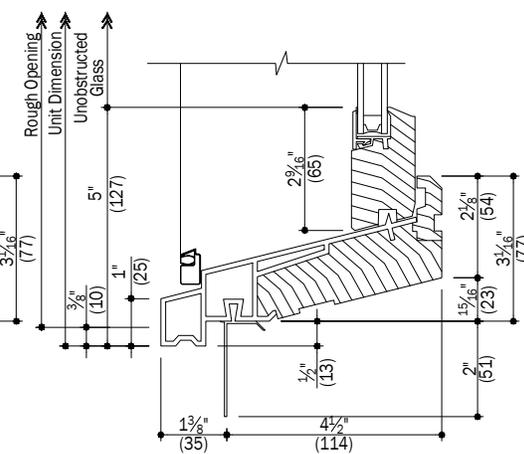
(G) Check Rail - High Definition Chamfer
(2)



(B) Jamb - High Definition Chamfer
(2) Operating



(E) Jamb
(2) Operating



(H) Check Rail
(2)

(C) Sill - High Definition Chamfer
(2) Operating

(F) Sill
(2) Operating

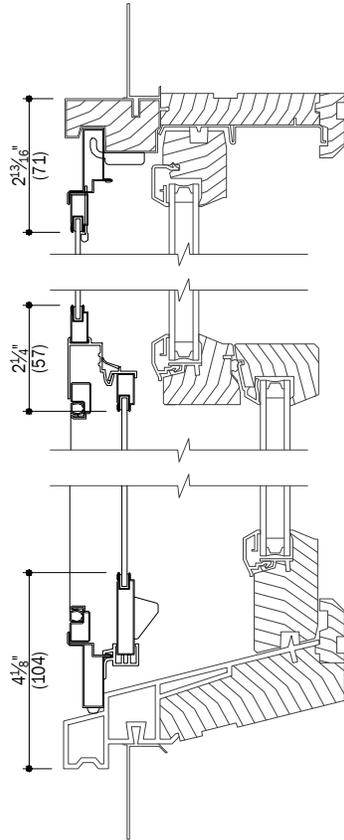
Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

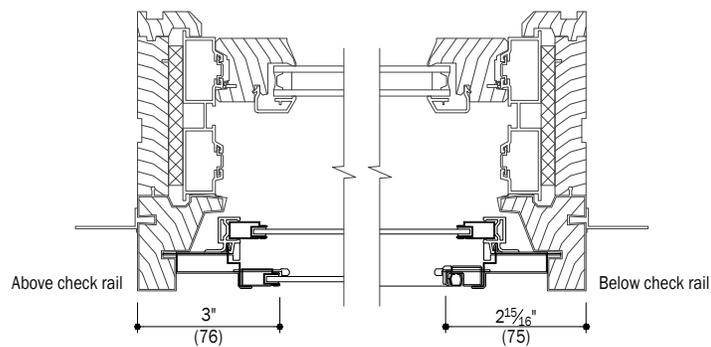
See Pages 4 Thru 6 for Accessories

400 SERIES

Tilt-Wash Double-Hung Full-Frame Windows Accessories



A
 Storm/Insect Screen Combination Unit



B
 Storm/Insect Screen Combination Unit

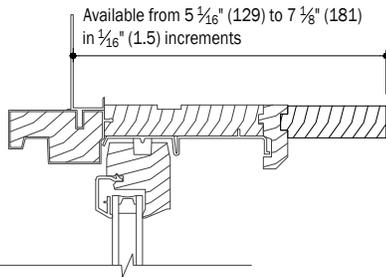
Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.
 Dimensions in parentheses are in millimeters.

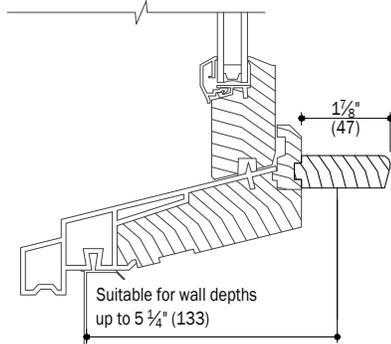
Date: 10/04/16
 Scale: 3" (76) = 1' (305)

400 SERIES

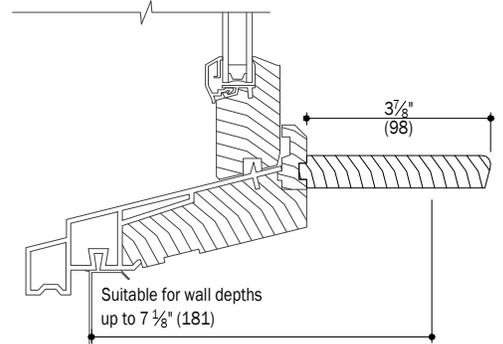
Tilt-Wash Double-Hung Full-Frame Windows Accessories



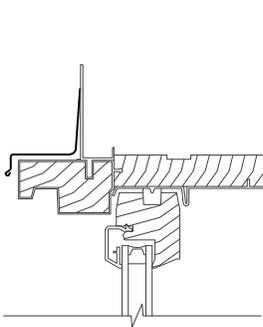
A
 5 Extension Jamb



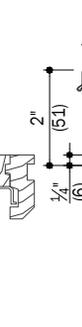
D
 5 4 9/16" Stool



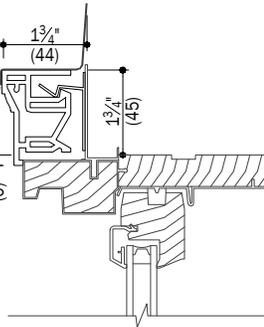
J
 5 6 9/16" Stool



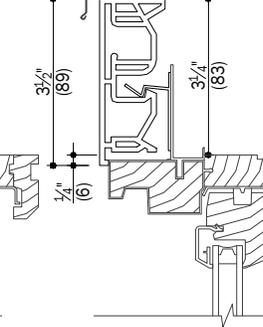
B
 5 Drip Cap



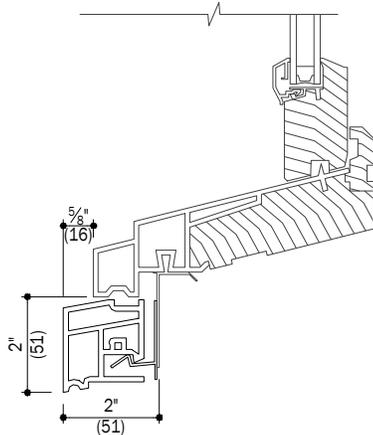
E
 5 2" Brick Mould



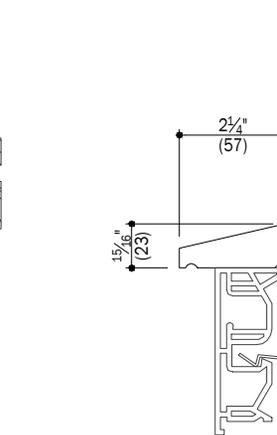
G
 5 3 1/2" Flat Casing



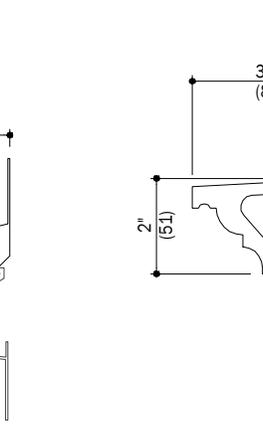
K
 5 4 1/2" Flat Casing



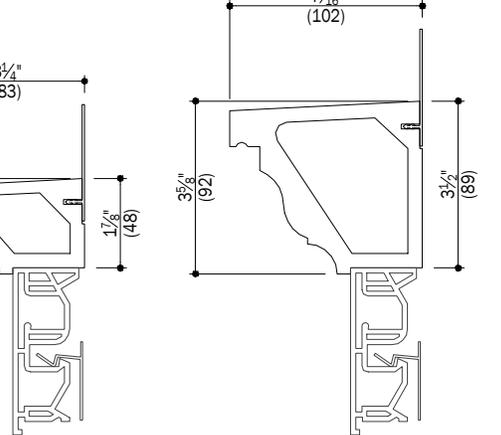
C
 5 Sill Nose



F
 5 Decorative Drip Cap



H
 5 2" Cornice



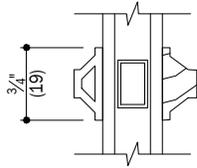
L
 5 3 5/8" Cornice

Notes:

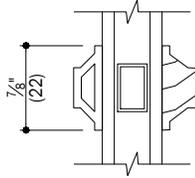
Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

400 SERIES

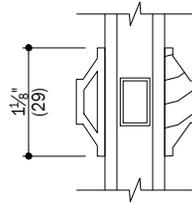
Tilt-Wash Double-Hung Full-Frame Windows Accessories



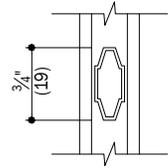
A
6 3/4" Full Divided Light



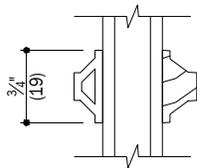
E
6 7/8" Full Divided Light



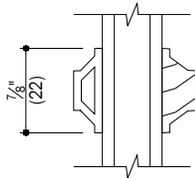
J
6 1 1/8" Full Divided Light



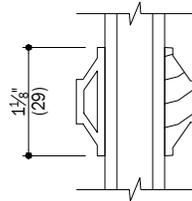
M
6 3/4" Finelight



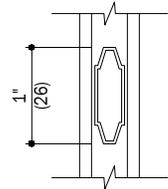
B
6 3/4" Simulated Divided Light
Removable interior is available



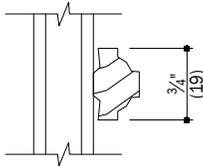
F
6 7/8" Simulated Divided Light
Removable interior is available



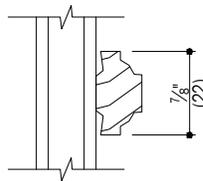
K
6 1 1/8" Simulated Divided Light
Removable interior is available



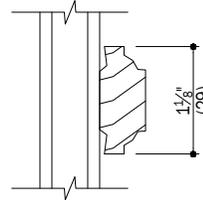
N
6 1" Finelight



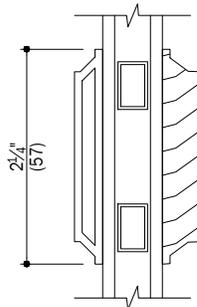
C
6 3/4" Removable Interior Grille



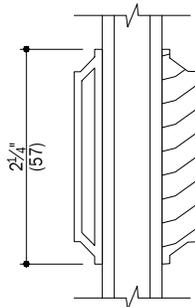
G
6 7/8" Removable Interior Grille



L
6 1 1/8" Removable Interior Grille



D
6 2 1/4" Full Divided Light
Simulated check rail
Only available on picture units



H
6 2 1/4" Simulated Divided Light
Simulated check rail
Only available on picture units

Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.