



Department of Doing
Planning Division
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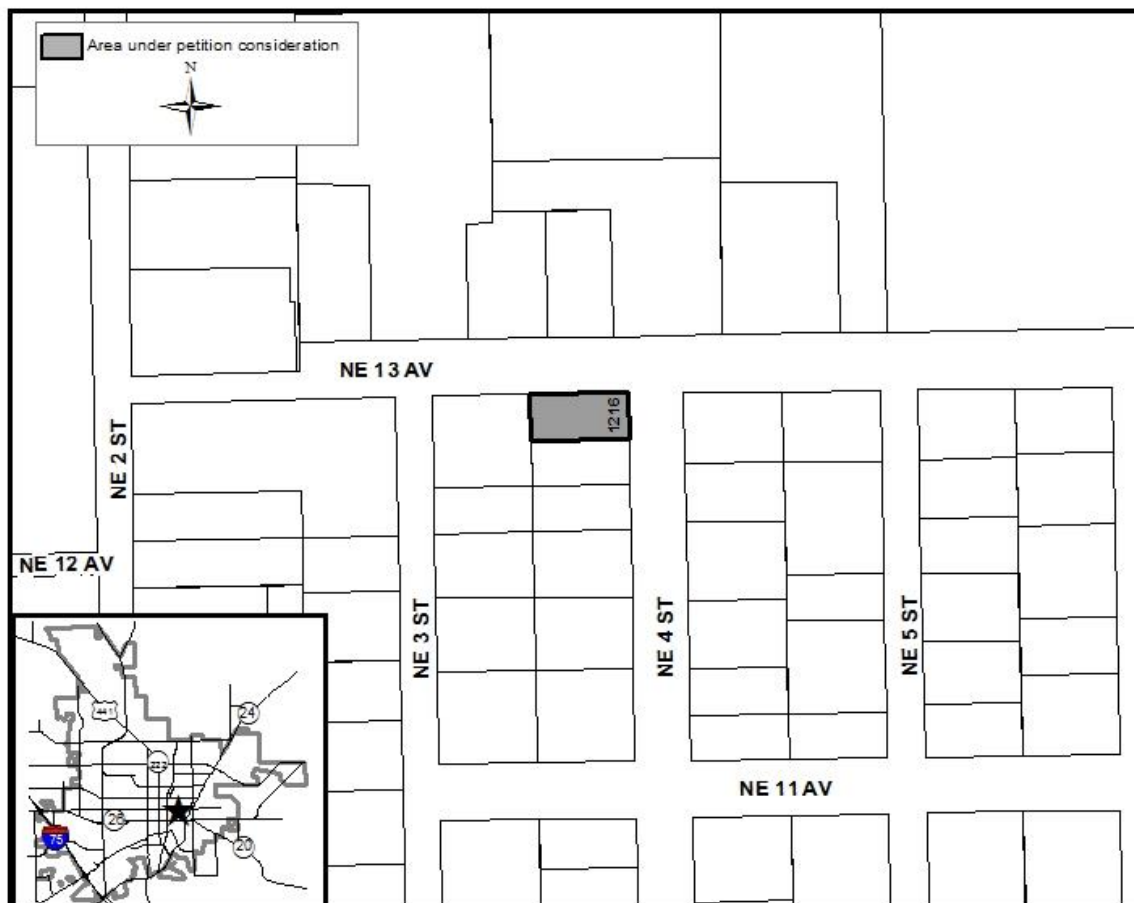
TO: City Plan Board
FROM: Department of Doing, Planning Staff

Item Number: 4
DATE: April 27, 2017

SUBJECT: **Petition PB-17-33 MSC** Kurt & Renee Strauss, owners. Amend the Northeast Residential Historic District map to change the status of the house from a non-contributing structure to a contributing structure and show the new accessory structure as non-contributing. Located at 1216 NE 4th Street.

Recommendation:

Staff recommends approval of Petition PB-17-33 MSC for Tax parcel 10274-000-000.



Description

On March 07, 2017, the Historic Preservation Board approved Petition HP-17-06a and b, which made a finding that the proposed rehabilitation of the existing building at 1216 NE 4th Street met criteria for contributing structures in the Northeast Residential Historic District and that the proposed replacement of an existing, non-historic accessory structure would meet criteria for a non-contributing structure. In addition, the Historic Preservation Board included in its approval of the petition a recommendation that the item be referred to the City Plan Board to amend the NE Residential Historic District map to show the buildings as contributing and non-contributing structures, respectively. This procedure is specified in Section 30-112 (d) (3) 5 of the Land Development Code. Per the Code, this process is handled as a rezoning by the Plan Board.

The parcel (10274-000-000) is approximately 0.12 acres in size and is zoned RSF-3, single-family housing. The house is currently empty and the Owners propose to rehabilitate the property in order to restore its status as contributing to the Northeast Historic District and make use of the Ad Valorem Tax Exemption for rehabilitation of contributing structures. The house will be used as a single-family residence. The new accessory structure will be used as a workshop, guest room and bathroom.

Basis for Recommendation

The house was constructed circa 1925 as one of a group of Mediterranean Revival style houses, the first in the new Highland Heights area. Over the following decades, the house was modified, including enclosure of the original carport for a family room, the addition of a master bedroom, the replacement of doors and windows, and the covering of the original exterior stucco with vinyl siding. The alterations damaged the architectural integrity of the building to the point that when the Northeast Historic District expansion occurred in 1997, the building was designated as non-contributing.

As the building still maintains its original footprint and overall structural integrity, and as the building's proposed rehabilitation meets the criteria for appropriateness for a contributing structure as listed in the *Secretary of the Interior's Standards for Rehabilitation* (SOIS) and the City of Gainesville's *Historic Preservation Rehabilitation & Design Guidelines*, the HPB determined that the rehabilitated structure could be changed to a contributing status. The HPB determined the new accessory structure will be non-contributing, as it will not contribute to the historic significance of the district.

Respectfully submitted,



Andrew Persons
Interim Principal Planner

Petition PB-17-33 MSC
April 27, 2017

Prepared by:

A handwritten signature in black ink that reads "Cleary Larkin". The signature is written in a cursive style and is positioned above a light gray rectangular background.

Cleary Larkin, AIA
Planner

List of Exhibits

- Exhibit 1 City Plan Board Application**
- Exhibit 2 Map showing proposed designation of property**
- Exhibit 3 Petition 17-06a**
- Exhibit 4 Petition 17-06b**



APPLICATION—CITY PLAN BOARD
Planning & Development Services

OFFICE USE ONLY	
Petition No. <u>PB-17-33 MSC</u>	Fee: \$ <u>NA Gov't</u>
1 st Step Mtg Date: _____	EZ Fee: \$ _____
Tax Map No. _____	Receipt No. _____
Account No. 001-660-6680-3401 []	
Account No. 001-660-6680-1124 (Enterprise Zone) []	
Account No. 001-660-6680-1125 (Enterprise Zone Credit) []	

Owner(s) of Record (please print)	
Name: <u>Kurt & Renee Strauss</u>	
Address: <u>517 NW 28th Ave</u> <u>Gainesville FL 32609</u>	
Phone: _____	Fax: _____
(Additional owners may be listed at end of applic.)	

Applicant(s)/Agent(s), if different	
Name: <u>City Plan Board</u>	
Address: _____	
Phone: _____	Fax: _____

Note: It is recommended that anyone intending to file a petition for amendments to the future land use map or zoning map atlas, meet with the Department of Community Development prior to filing the petition in order to discuss the proposed amendment and petition process. Failure to answer all questions will result in the application being returned to the applicant.

REQUEST

Check applicable request(s) below:

Future Land Use Map []	Zoning Map []	Master Flood Control Map []
Present designation: _____	Present designation: _____	Other <input checked="" type="checkbox"/> Specify: <u>Amend NE</u>
Requested designation: _____	Requested designation: _____	<u>Historic District Map</u>

INFORMATION ON PROPERTY

1. Street address: <u>1216 NE 4th Street, Gainesville, FL 32601</u>
2. Map no(s): _____
3. Tax parcel no(s): <u>10274-000-000</u>
4. Size of property: <u>.12</u> acre(s)
<i>All requests for a land use or zoning change for property of less than 3 acres are encouraged to submit a market analysis or assessment, at a minimum, justifying the need for the use and the population to be served. All proposals for property of 3 acres or more must be accompanied by a market analysis report.</i>

Certified Cashier's Receipt:

to show house as a contributing structure & new Accessory building as non-contributing

5. Legal description (attach as separate document, using the following guidelines):

- a. Submit on 8 ½ x 11 in. sheet of paper, separate from any other information.
- b. May not be included as part of a Purchase Agreement, Contract for Sale, Lease Agreement, Transfer of Title, Warranty Deed, Notice of Ad Valorem Taxes, Print-outs from Property Appraiser’s Office, etc.
- c. Must correctly describe the property being submitted for the petition.
- d. Must fully describe directions, distances and angles. Examples are: North 20 deg. West 340 feet (not abbreviated as N 20 deg. W 340’); Right-of-Way (not abbreviated as R/W); Plat Book (not abbreviated as PB); Official Records Book 1, page 32 (not abbreviated as OR 1/32); Section 1, Township 9 South, Range 20 East (not abbreviated as S1-T9S-R20E).

6. INFORMATION CONCERNING ALL REQUESTS FOR LAND USE AND/OR ZONING CHANGES (NOTE: All development associated with rezonings and/or land use changes must meet adopted level of service standards and is subject to applicable concurrency requirements.)

A. What are the existing surrounding land uses?

North

South

East

West

N/A

B. Are there other properties or vacant buildings within ½ mile of the site that have the proper land use and/or zoning for your intended use of this site?

NO

YES If yes, please explain why the other properties cannot accommodate the proposed use?

N/A

C. If the request involves nonresidential development adjacent to existing or future residential, what are the impacts of the proposed use of the property on the following:

Residential streets

N/A

Noise and lighting

D. Will the proposed use of the property be impacted by any creeks, lakes, wetlands, native vegetation, greenways, floodplains, or other environmental factors or by property adjacent to the subject property?

NO ___ YES ___ (If yes, please explain below)

N/A

E. Does this request involve either or both of the following?

a. Property in a historic district or property containing historic structures?

NO ___ YES

b. Property with archaeological resources deemed significant by the State?

NO YES ___

F. Which of the following best describes the type of development pattern your development will promote? (please explain the impact of the proposed change on the community):

Redevelopment ___
Activity Center ___
Strip Commercial ___

N/A

Urban Infill ___
Urban Fringe ___
Traditional Neighborhood ___

Explanation of how the proposed development will contribute to the community.

- G. What are the potential long-term economic benefits (wages, jobs & tax base)?

N/A

- H. What impact will the proposed change have on level of service standards? N/A

Roadways

Recreation

Water and Wastewater

Solid Waste

Mass Transit

- I. Is the location of the proposed site accessible by transit, bikeways or pedestrian facilities?

NO ____

YES ____ (please explain)

N/A

CERTIFICATION

The undersigned has read the above application and is familiar with the information submitted. It is agreed and understood that the undersigned will be held responsible for its accuracy. The undersigned hereby attests to the fact that the parcel number(s) and legal description(s) shown in questions 3 and 5 is/are the true and proper identification of the area for which the petition is being submitted. Signatures of all owners or their agent are required on this form. Signatures by other than the owner(s) will be accepted only with notarized proof of authorization by the owner(s).

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

No person submitting an application may rely upon any comment concerning a proposed amendment, or any expression of any nature about the proposal made by any participant, at the pre-application conference as a representation or implication that the proposal will be ultimately approved or rejected in any form.

To meet with staff to discuss the proposal, please call (352) 334-5022 or 334-5023 for an appointment.



 Owner/Agent Signature


 Date

STATE OF FLORIDA
 COUNTY OF _____

Sworn to and subscribed before me this _____ day of _____ 20____, by (Name)
 _____.

 Signature – Notary Public

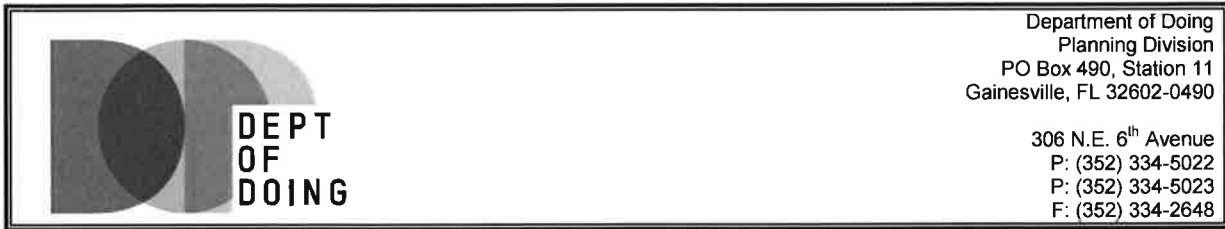
Personally Known ____ OR Produced Identification ____ (Type) _____



Northeast Residential Historic District

Gainesville, Florida

- Contributing Structures
- Non-Contributing Structures
- Northeast Historic District Boundary
- Regulated Creek



TO: Historic Preservation Board **Item Number: 2**
FROM: Department of Doing, Planning Staff **DATE:** March 07, 2017

SUBJECT: **Petition HP-17-06a.** Kurt & Renee Strauss, owners. Certificate of Appropriateness for exterior rehabilitation of single-family house. Work includes replacement of vinyl siding with stucco, replacement of doors and windows, replacement of structurally deficient chimney and rear bedroom addition, installation of exterior fencing, replacement of existing accessory structure, and a zoning modification request for accessory structure setbacks. Located at 1216 NE 4th Street. This building is non-contributing to the Northeast Residential Historic District.

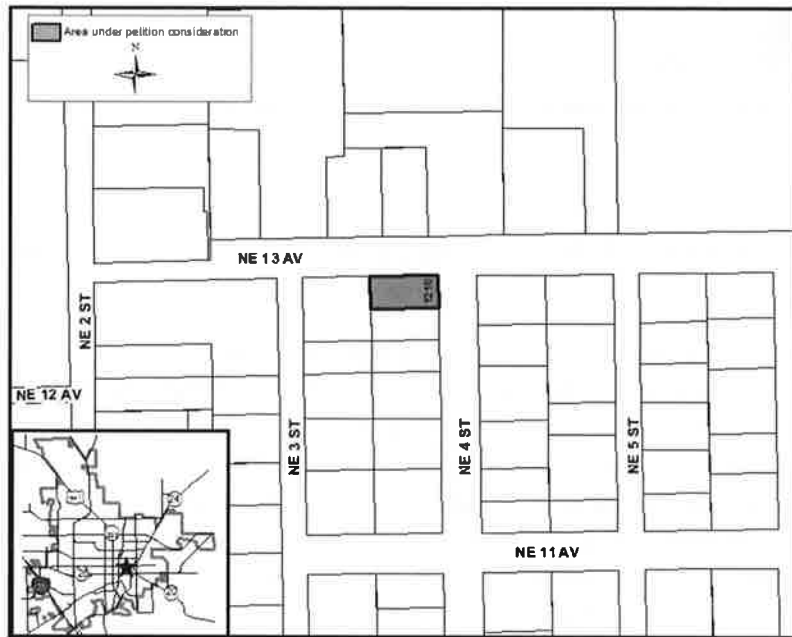
Recommendation:

Staff recommends approval of Petition HB-17-06a with the following conditions:

- the new privacy wall height be lowered to 6'-0" per the guidelines
- submission of gate design and samples of color selection for exterior canopy tile for Staff review once designed
- landscape screening of relocated utility equipment on the north façade
- submission of front door cutsheet when selected, showing a door in proportion with the original arched opening height
- submission of any revisions to documents for permitting for Staff review, including the materials and design for the walking surface noted as TBD on the existing drawings
- Approve the *Application for Modification Existing Zoning Requirements* requesting a modification of the side and rear setback from 7.5' to 0'.

Staff recommends re-submission to the board for:

- small redesign of the addition to differentiate it from the original kitchen bay and master bedroom addition, by recessing the new addition, by using new sympathetic materials, lowering the roofline/ parapet, and similar strategies.
- Board decisions on reconfigurations of:
 - north elevation new door opening and new entry canopy
 - new window openings: family room (south elevation), kitchen and laundry room (north elevation)



Petition Description

The property is located at 1216 NE 4th Street, on the corner of NE 13th Avenue and is zoned RSF-3. The parcel (10274-000-000) is located in the Northeast Historic District, is .12 acres and was designated as a non-contributing building when it was designated in the historic district expansion in 1997.

The existing house is a one-story structure with a flat roof and “canales” (clay tile waterspouts), green vinyl siding, non-original aluminum windows and doors, and a rear screened porch addition. The yard is enclosed with chain link fencing and a dilapidated accessory structure, used as a carport, exists on the southwest corner of the property with a driveway onto NE 13th Avenue.

The house is currently empty and the Owners wish to rehabilitate the property in order to restore its status as contributing to the Northeast Historic District (Petition HP-17-06b) and make use of the Ad Valorem Tax Exemption for rehabilitation of contributing structures (Petition HP-17-06c). As such, the review will be undertaken as if the property and house were contributing to the historic district, to ensure that rehabilitation meets the guidelines for rehabilitation.

Building History (Refer to Exhibit 1)

“This house is a typical Florida boom house with its flat roof, stucco façade and canales. While south Florida has hundreds of houses like this one, there are relatively few in Gainesville. One builder is reported to have built the five stucco houses on this block. Each one is different from the others but they all share similar characteristics. All five are depicted on the Sanborn map,

and are among the first houses built in highland Heights which was platted in 1925. This house has two projecting bays surrounding the center bay.” (Florida Master Site File, 1980)

c. 1925 constructed

c. 1928 Sanborn Map

Shows a one-story dwelling with a front porch and an attached carport. There is no rear accessory building. The five associated houses are also shown (1112, 1200, 1208 and 1212 NE 4th Street.)

c. 1950 Sanborn Map

Shows no change from the 1928 map.

c. 1950s/ 1960s photo

Shows stuccoed master bedroom addition on rear of house and car in rear “driveway.” It is assumed that the front carport was enclosed around this same time for additional living space. The concrete block accessory structure may have been constructed around this time, as the original carport had been enclosed. It is estimated the arched front door was added around this period as well.

c. 1980 FMSF photo

Shows enclosure of carport and front porch. The exterior cladding remains stucco.

c. 1997 Northeast Historic District Expansion

Lists as a non-contributing structure, likely due to its alterations and non-historic cladding. It is assumed the siding was installed in the mid- to late-1980s or 1990s, before this HD expansion. The squared-off front door could have been modified at this time as well.

Scope of Work Summary

The Owners propose an interior and exterior rehabilitation of the house, though exterior work is the only scope under review with this petition (HP-17-06a). The structural work to the house includes removal and rebuilding of the master bedroom addition (c. 1950s) in the same footprint; replacement of front entry slab and stair; removal of the rear screen porch (c. 1980s) and replacement in the same footprint as an addition for bathroom and laundry use; and removal of the original masonry fireplace and rebuilding to match new in appearance. The removals above are being proposed by the Owners as the existing conditions are far deteriorated or not code compliant.

Additional exterior work includes: replacement of siding with sand/float finish stucco, installation of new wood doors and new wood entry canopies with clay tile roofing, installation of new windows, installation of exterior lighting fixtures, and installation of new gutter and downspout.

Miscellaneous site work includes relocating the gas meter to the north façade for access by the GRU, replacement of chain link fence with wrought iron fencing and installation of an 8'-0" concrete block wall at the south property wall.

The Owners also propose to remove a non-contributing accessory structure (c. 1950s) and replace with a new garage structure which will incorporate a workshop, guest room and bath. This new structure requires a zoning modification request for side and rear setbacks.

Review of Scope of Work

The review is based on the Secretary of the Interior's Standards for Rehabilitation (SOIS) and the City of Gainesville's *Historic Preservation Rehabilitation & Design Guidelines*. (Refer to Appendix)

Staff Approved Items

Master bedroom addition (Refer to Exhibit 4)

The existing master bedroom was likely added in the 1950s as a sympathetic addition to the southwest corner of the house (Exhibit 1, p. 3). It originally had a flat roof and canales, similar to the original house, though the west parapet and canales were removed and modified when the rear screen porch was added. The addition is the only part of the house still retaining stucco cladding.

The Owner is concerned about the structural integrity of the existing two exterior walls of the addition and proposes to selectively remove the addition down to the foundation, rebuild in the same footprint, using a contemporary wall construction with a bond beam for structural reinforcement. The height will match the original house, the flat roof and parapet wall design of the original house will be used and exterior cladding will be stucco.

The form of the master bedroom addition meets staff approval guidelines for Additions to Existing Buildings, as work is a replacement in kind, does not add height or change the existing footprint.

Front entry slab and stair (Refer to Exhibit 4 for drawings and Exhibit 3 for tile material)

Replacement-in-kind in form and plan with red tile as similar to original. *Meets staff approval guidelines for entries, porches and balconies:*

Stairways to existing openings which are composed of materials compatible with the style of the building.

Exterior Stucco (Refer to Exhibit 1 for historic photos and Exhibit 3 for stucco material)

The original building had a stucco cladding with a low-relief sand finish (refer to Exhibit 1 for historic photos). The stucco was removed and replaced with vinyl siding in the 1980s or 1990s. The Owner proposes to remove the siding and apply new stucco with a sand finish to match the original. *Meets staff approval guidelines for Exterior Fabric, as new stucco will restore the original fabric, utilizes compatible materials, and approximates textures consistent with the historic building.*

French Doors and New Openings (Refer to Exhibits 3 & 4, noted drawing A2)

There are three new openings proposed with double French Doors and an entry awning with clay tile roofing. The entry awning design and Entry 1 (on the North Elevation of the original house) are both covered under Board Review. Entry 2 (west elevation of original carport enclosure), Entry 3 (south elevation of Master Bedroom addition), and a new single French door entry (on the west elevation at the Laundry Room) are all on "less-visible secondary

elevations” and are “replacement doors appropriate to the building” so can be approved at staff level.

The guidelines for *Entries, Porches and Balconies* state:

New door openings can be introduced on “less-visible secondary elevations” provided that they are of the same size or proportions as the nearest door and utilize the same material as the historic doors. “Less-visible secondary elevation” is defined as that portion of the building which is more than halfway behind the front and not fronting on street.

French doors are appropriate for side and rear entrances but are not acceptable as front entryways unless documented by physical, photographic or historic evidence.

Replacement doors which are appropriate to the style of the building;

The new French doors follow SOIS #9 as “new work shall be differentiated from the old” and do not detract from the historic character of the house. The new French doors are also located on additions to the original building: the original carport enclosure, the new Laundry Room and the Master Bedroom addition. As such, Staff approves the locations of new door entries 2 & 3 on the west and south sides, and the Laundry Room door.

Misc: Lighting fixtures, downspouts, relocation of gas meter (Refer to Exhibits 3 & 4)

These elements are not specifically listed in the Guidelines however they meet the SOIS #9 “new work shall not *destroy historic materials that characterize the property. The new work shall be differentiated from the old.*” Staff recommends that the relocated utility equipment on the north façade be screened with landscaping per the guidelines for *Mechanical Equipment*.

Fence (Refer to Exhibits 3 & 4)

The existing property is enclosed by a chain link fence. The proposed fence is a 36” tall wrought iron fence with slender pickets and pointed finials. The fence will approximate the existing location of the chain link fence surrounding the yard on NE 13th Avenue. New fencing will also be installed between the house and the new accessory structure and at the rear courtyard. Refer to Sheet A3 for plan locations.

The fencing meets the Staff Review guidelines for Fences and Garden Walls and is approved by Staff for meeting the guidelines. Staff requests submission of gate design for review once designed.

Board Review Items

Chimney (Refer to Exhibit 2, p. 13)

The existing chimney is a masonry structure with stucco exterior. It is original to the house, but leaning and sinking, as is visible in the exterior photos and in the cracking of the hearth tile. The Owner has had masons examine the chimney for repair or rebuilding but the deterioration would require complete rebuilding without assurance that the chimney and hearth wouldn’t sink again. The Owner proposes to remove the existing chimney and rebuild the hearth,

chimney box and chimney to match the appearance of the original. The new chimney would be constructed of wood framing, with exterior stucco. The dimensions of the firebox would need to be slightly deeper in plan in order to meet code.

Staff finds the proposed rebuilding appropriate per SOIS #6: *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*

Rear screen porch (Refer to Exhibit 2, pp.9-10 & Exhibit 4)

The rear porch was likely added around the 1980s, enclosing the northwest corner of the house and constructed as flush with the wall of the original kitchen bay on the north and the wall of the master bedroom addition on the west. The condition of the porch is fairly dilapidated.

The Owner proposes to remove the screen porch and add an enclosed room in its footprint, allowing for a master bathroom and a laundry room (connected to the kitchen) in plan.

Per the SOIS:

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff finds the removal of the screen porch to be appropriate as it is not historic and its condition is poor. Staff also finds the proposal for enclosing this area for a laundry room and bathroom as an appropriate addition to a house, scope that is seen often in additions to historic homes. However, Staff is concerned that the new addition is flush with both the kitchen wall and the master bedroom wall, that the new windows of the kitchen will connect the original bay wall to the new wall, and that the stucco finish and extension of the roofline/parapet from the original house all add to the appearance of this addition as being original to the house. If this addition was removed in the future, the original bay would not be evident in any way.

Staff understands that the floor plan of the kitchen, laundry room and bathroom are compact and there is not a lot of room for removal of square footage in these areas. However, Staff recommends a small redesign of the addition to differentiate it from the original kitchen bay and master bedroom addition. The addition could be recessed back from both walls by a few inches, creating a reveal that would acknowledge the original bay and master bedroom

addition's location. Materials could be different but sympathetic to the original and the roofline/ parapet could be shorter than the original house.

Front Door (Refer to Exhibits 3 & 4)

As seen in the historic photos, the current front door was originally an arched opening into a covered front entry. An arched wood door and sidelights were installed before the 1980 ERLA survey and the door was once again re-configured into a squared entry when the vinyl siding was installed.

The front entry door is being restored to its original arched configuration; though the original opening had no door, the solid wood door as proposed is appropriate for the architectural character of the building. The submitted cutsheet shows "or similar" and a 96" height. Staff recommends that the door be shorter and closer to its historic proportion and that a cutsheet of the door be submitted for Staff review once selected.

Staff recommends approval of design of the front door as appropriate as the new entry does not destroy contributing architectural features of the main entrance and will restore the arched appearance of the original entry. (Refer to *Doors and Entries* in Appendix.)

French Doors and New Opening 1 (Refer to Exhibits 3 & 4, noted drawing A2)

A new opening and double French doors are proposed for the north façade of the house to allow access from the Dining Room to the side yard. The doors are in the location of existing windows and the original windows are no longer intact. The existing windows are an aluminum "Chicago-style window," as seen in photos 5 & 6.

The guidelines for *Entries and Doors* recommends not "introducing or changing the location of doors and entrances that alter the architectural character of the building," especially if a façade facing a principal street, such as this location facing NE 13th Avenue.

Staff recommends Board discussion on installing new door opening 1 on the north façade, as it is considered a primary façade, being a corner lot, and taken into account with the number of new openings proposed on this façade.

Door Canopy

With the new double French door openings, a new entry canopy is being proposed. Refer to detail on Sheet A4. The brackets for the canopy are wood and the roofing is a clay tile. The style of this entry canopy is similar to many homes of similar architectural character in the historic district (Refer to Exhibit 2, p. 16).

The guidelines for *Entries, Porches and Balconies* state that:

The addition of non-historic architectural features such as sidelights and entryway surrounds is discouraged if not original to the entrance.

Staff recommends approval for the door canopies on the south and west elevations, but recommends Board discussion for the canopy on the new opening on the north façade.

Staff requests the Owner submit samples of color selection for exterior canopy tile for review when designed.

Windows & Window Locations (Refer to Exhibit 3 & 4)

The original windows of the house were wood double-hung, with an 8/1 sash. Some of the original windows still exist in the original west wall of the house where the Master Bedroom Addition was constructed. The rest of the windows were replaced with aluminum windows of many different configurations.

The Owner proposes to replace all the exterior windows with a Kolbe Heritage series, wood window with 5/8" Performance Divided Lite muntins (applied on the exterior and interior of the glazing). The exterior of the windows will be finished with Kolbe K-Kron II, a high performance coating that allows for the visible profile of the wood to remain. The majority of the windows will be an 8/1 hung sash placed into the existing opening. Smaller windows include 6-lite casements (kitchen- north elevation) and 4-lite square windows (bathroom and family room- south and west elevations).

The design of the new windows with the 8/1 sash meets SOIS #6: *Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.* These windows will be placed into the original openings, into the east elevation of the family room, where the original carport was enclosed mid-century, and on slightly shifted window locations for the bedroom on the south elevation. Staff finds these locations appropriate, as the carport enclosure has been in place for over fifty years and the bedroom window location shift is negligible and not visible from the street.

Staff recommends that the board discuss the smaller windows on the south side of the family room as there is no documentary evidence of any original windows on the original carport wall and the windows will be visible from the street. Refer to the guidelines below.

Staff also recommends the board discuss the casement window configuration for the kitchen and laundry room on the north elevation. Staff recommends the board consider the window installations in conjunction with the proposed new door opening in the Dining Room and the construction of the addition to replace the rear screen porch.

While the window design itself may be considered appropriate for the style of the house, refer to the guidelines for *Windows*:

New window openings can be introduced on "less-visible secondary elevations" provided that they are of the same size or proportions as the nearest window and utilize the same material as the historic windows. "Less visible secondary elevation" is defined as the portion of the building which is more than halfway behind the front and not fronting on street;

New windows on additions should be compatible with those of the nearest window on the historic building in terms of proportions, frames, sills and lintels. Installing window designs reflective of a historic period is discouraged. Designs that match the proportions of existing

historic windows, but are simple in detailing, are preferred.

The rhythm of window and door openings is an important part of the character of buildings. In some instances, new window or door openings may be required to fulfill code requirements or for practical needs. New openings should be located on nonsignificant walls. For commercial buildings these would be common or party walls or secondary elevations. For residential buildings, these would be side or rear walls not readily visible from a main thoroughfare.

Wall (Refer to Exhibits 3 & 4)

The proposed privacy wall is an 8'-0" tall concrete block structure, capped with a bond beam and stuccoed on both sides to match the house. The wall will be located at the property line on the south side of the property and will run flush from the edge of the house to the new accessory structure. Refer to Sheet A3 for plan locations.

At 8'-0" and along the property line, the wall meets zoning requirements for walls and fences. The guidelines for *Fences and Garden Walls* recommend using fences and walls "designed to permit the passage of light and air" and that, under a Staff Approval requirement: "*fences in backyards shall be no more than six feet in height and constructed of wood or masonry.*"

Staff finds the placement of the wall behind the house, flush with the house wall, and not on a primary façade as an appropriate location for a privacy wall to create a courtyard (private backyard) for a house located on the corner. Staff finds solid masonry and the stucco material of the wall appropriate for the architectural character of the house and that they relate to other houses of similar design in the historic district (Refer to Exhibit 2, p. 16). Staff recommends the wall height be lowered to 6'-0", which is a height that will provide privacy considering the solid character of the wall.

Accessory Structure Review (Refer to Exhibit 4)

The Owner proposes to demolish an existing, non-contributing structure that is in poor condition. Staff finds no objection to the demolition of the building due to its lack of historic status.

The proposed design for a new non-contributing structure is a concrete block building for use as a workshop, guest room and bathroom. The building will be similar in size to the existing carport, though slightly longer, at 12' x 34' compared to 12' x 24', and a height of 12'-6". The design of the new structure is similar to the designs of the house, with a stucco exterior, flat roof, wood windows, wood garage door, and a new entry canopy with red tile.

Staff finds the design of the new structure appropriate for its overall architectural character in that it takes its design cues from the main house. The building is located at the rear of the lot and the size does not detract from the house, especially by its proposed location in the footprint of the original, abutting the property lines (requiring a setback modification).

Zoning Modification Review (Refer to Exhibits 3 & 4)

The Owner is requesting zoning modification for the side and rear setbacks of the new accessory structure. The existing structure that will be demolished is basically on the lot line and the Owners would like to retain that setback spacing to allow the existing yard to remain, approximately 16' between the structure and the rear wall of the house, as well as to allow room in the driveway for a vehicle, as the new building will be used as a workshop and guest room. Refer to Sheet A3 for site plan.

Per RSF-3 zoning, the rear and side yard setbacks for an accessory structure are 7.5'. The Owner is requesting 0' setback on both sides. The proposed elevations for the accessory structure will be stucco walls at 12'-6" height. Refer to Sheet A4 for drawings.

Staff finds the proposed modifications for rear and front setbacks are appropriate for the site and the historic district. Using the Land Development Code requirements as an additional basis for review, the modification "will not affect the public safety, health, or welfare of abutting property owners or the district;" the proposed change is "consistent with historic development, design patterns or themes in the historic district," as many historic accessory structures are close to or on rear yard property lines; "the proposal reflects a particular theme or design pattern that will advance the development pattern of the historic district," and "the proposed complies with utility, stormwater, access requirements and other requirements related to site design in the land development code."

Lastly, per the Land Development Code, "*where the proposed modification would encroach into a side or rear yard setback that adjoins an existing lot, notice will be provided to the adjacent property owner.*" As this pertains to the rear and side yard setbacks, the adjacent lot owners have been notified.

Respectfully submitted,



Andrew Persons
Interim Principal Planner

Prepared by:



Cleary Larkin, AIA
Planner

Appendix

Secretary of the Interior's Standards for Rehabilitation

City of Gainesville *Historic Preservation Rehabilitation Guidelines* (relevant sections)

List of Exhibits

Exhibit 1	Alterations
Exhibit 2	Current Photos
Exhibit 3	Proposed Materials
Exhibit 4	Proposed Drawings (A1-A4)

Appendix

Secretary of the Interior's Standards for Rehabilitation used in the Guidelines

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- 9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Design Guidelines

ADDITIONS TO EXISTING BUILDINGS

Applicable Secretary Standards

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Additions to historic buildings are often required to make projects economically feasible, to satisfy fire and building code requirements, to house mechanical systems, and for other personal or practical reasons. They are allowed under the Secretary of the Interior's Standards and specifically addressed in Standards 9 and 10.

Although additions are usually acceptable, they should be undertaken only after it has been determined that the new use cannot be successfully met by altering non-character defining interior spaces. If undertaken, additions should not significantly alter original distinguishing qualities of buildings such as the basic form, materials, fenestration, and stylistic elements under Standard 2. Additions that imitate the style of the existing building or other historical styles should be avoided under Standard 3.

Under Standard 9, additions should be clearly distinguished from original portions of the building and should result in minimal damage to its integrity. Character-defining features of a historic building should not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. The size and scale of the new addition should be in proportion to the historic portion of a building and clearly subordinate to it. Additions should be attached to the rear or least conspicuous side of a building. Under Standard 10, they should be constructed so that if removed in the future, the essential form and integrity of a building will be unimpaired.

Before considering an addition to a historic building, attempt to accommodate the needed function within the existing structure. Enclosing a historic porch, however, is discouraged.

New additions should be designed to minimize the impact on the visual character and materials of the historic structure. The applicant should take care to preserve as much of the original building wall as possible by utilizing existing openings for passageways rather than increasing their size.

New additions should be compatible in terms of mass, materials, vertical or horizontal projection, relationship of solids and voids, symmetry or asymmetry and size and scale with the principal structure. However, the character of the historic resource should be identifiable after the addition is constructed. Additions should be constructed in a manner that clearly distinguishes the footprint and plan for the historic building.

Recommended

1. Place functions and services required for a new use in non-character defining interior spaces rather than installing a new addition.
2. Protect architectural details and features that contribute to the character of the building during the course of constructing the addition.
3. Construct a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
4. Locate an attached exterior addition at the rear or on inconspicuous side of a historic building; and limit its size and scale in relationship to the historic building.
5. Design new additions in a manner that clearly distinguishes historic and nonhistoric features.
6. Design additional stories, when required for a new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

Not Recommended

1. Expanding the size of a historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.
2. Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.
3. Designing a new addition so that its size and scale are out of proportion to the historic building, thus, diminishing its historic character.
4. Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.
5. Imitating a historic style or period of architecture in new additions, especially those used for contemporary uses.
6. Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.
7. Using the same wall plane, roof line, cornice height, materials, siding lap or window type to make additions appear to be part of a historic building.
8. Adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades.

Staff Approval Guidelines

Additions that meet all of the following conditions can be approved by staff:

Addition to historic building is sited in the rear yard and does not front on two or more streets;

Do not exceed 1-story in height and 300 sq. ft. area;

Utilizes materials and textures consistent with the principal building;

Window openings are of the same proportion as the nearest windows on the principal building;

Existing window and door openings that will be enveloped by the addition are retained and not modified.

Board Approval Guidelines

Plans that propose adding floors to buildings are inappropriate and are unlikely to be approved.

EXTERIOR FABRIC

Applicable Secretary Standards

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Standard 3 states that historic buildings shall be recognized as products of their time and that alterations that have no historical basis shall be discouraged. Aluminum, vinyl, and permastone are clearly non-historic materials and violate this standard. Artificial siding also frequently damages the fabric underneath. It can trap moisture and encourage decay and insect infestation. Furthermore, despite manufacturer's claims, artificial siding requires maintenance. All materials have a limited life span and vinyl and aluminum are no exceptions. Within twenty years the finish of these materials will begin to deteriorate and weather, requiring painting, repair, or replacement.

In cases where artificial siding is already in place, its removal is not necessary under the guidelines. An owner may retain the material or remove it. If, however, the material is removed, it must be replaced with historically appropriate materials in accordance with Standard 9.

Compatibility of Materials and Textures

The relationship of material and texture of the facade of a building, structure or object shall be visually compatible with the predominant materials used in the buildings to which it is visually related. For instance, if wood siding is proposed for new construction, the dimensions of the siding should relate to the surrounding buildings. Stucco on concrete masonry unit construction may be appropriate if other architectural details such as window and door trim, door surrounds, and molded cornices are added to enhance the complexity of the design proposal, as is found on Mediterranean influence and Mission style buildings.

Recommended

1. Retain wooden materials and features such as siding, cornices, brackets, soffits, fascia, window architrave, and doorway pediments, wherever possible. These are essential components of a building's appearance and architectural style.
2. Repair or replace, where necessary, deteriorated material. New construction shall not destroy historic materials that characterize the property. The new work shall be differentiated

from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

3. Artificial siding may be permitted if the material is shown to be compatible in quality, shape and scale with the historic buildings.
4. The complexity of architectural articulation on surrounding historic buildings (i.e., bay windows, bracketing, belt courses, window designs) should be reflected on the new buildings.
5. Wood is preferred siding material when replacing asbestos siding.
6. When repairing stucco, maintain the existing texture as well as the existing decorative elements or details around the windows, doors or roof lines.
7. Use of pervious sealants is acceptable.
8. Clean unpainted masonry with the gentlest effective means possible. The best method is low-pressure water wash (600-1000 pounds per square inch) with detergents and natural bristle brushes.

Not Recommended

1. The use of T111 vertical siding, diagonal siding, vinyl and aluminum siding is discouraged.
2. Do not cover exposed wood, masonry, stone or other surfaces with stucco unless historically documented.
3. Replacement wood siding should be consistent with the original in size, direction, materials and lap dimension. Original wall shingles should be maintained.
4. Synthetic and composition siding is generally not appropriate replacement material for historic buildings. On a case-by-case basis, however, such siding may be an acceptable alternative only if (1) the existing siding is so deteriorated or damaged that it cannot be repaired; (2) the substitute material can be installed without damaging or obscuring the architectural features of the building; and (3) the substitute material can match the historic material in size, profile and finish so that there is no change in the character of the building.
5. The use of Portland cement should be avoided when repointing brick unless technical reasons demand its use.
6. Avoid using cleaners that damage masonry or leave chemical residue. Do not clean marble or limestone with acid cleaners. Do not use abrasive cleaning methods such as sandblasting.
7. Do not paint unpainted masonry.
8. Avoid using high-pressure water wash which can damage the brick.

Staff Approval Guidelines

Staff can approve alterations to siding that utilizes compatible materials, matches existing depth and width and type of lap and approximates textures consistent with the historic building.

Alterations to non-historic portions of contributing buildings can be approved by staff provided they are compatible in scale, design and materials.

Board Approval Guidelines

Wood siding for new additions should match existing materials, if present, in terms of lap width, type and depth.

When matching brick and tile work with new brick and tile work, care must be taken to match the color, texture, composition and size of the bricks or tile, the width or the joints between the

bricks and tile, the color and tone of the mortar and the type of joint with the original.

MECHANICAL SYSTEMS: HEATING, AIR CONDITIONING, ELECTRICAL, PLUMBING, FIRE PROTECTION

Landscaping or fencing can screen exterior mechanical systems such as heat pumps and transformers from view.

FENCES AND GARDEN WALLS

Applicable Secretary Standards

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Fences, walls and hedges can define the private landscape of personal property and make the spatial order of the district visible. Fences and walls designed in this manner combine personal expression with civic order.

The term “fence” generally applies to a lightweight construction of wood or metal whereas “wall” applies to a more substantial barrier constructed of stone or masonry. Hedges are lines of enclosure constructed of natural material such as shrubs or flowers. Trees may also be used to define space in the landscape.

Fences and walls that are designed to permit the passage of light and air are preferred over totally solid construction. Recommended fence and wall materials are wood, stone, masonry, and metal used separately or in combinations. Fences designed with more than two materials are not recommended. Owner designed solutions are recommended over pre-manufactured fences such as “stockade” fencing due to its ubiquitous use and lack of detailing. Vinyl and recycled prefabricated fence materials are also discouraged for the same reason. The board may approve selected use of these materials on a case-by-case basis. Finish, appropriate detail and compatibility with existing architecture are significant factors to be considered.

Grid wire fencing supported by metal, wood or masonry piers is acceptable if used as a support for plant materials.

Fences should be coordinated with landscaping elements. Taller fences should be placed adjacent to taller landscape elements.

Applicants who live on corner lots must design fences to comply with the City’s intersection visibility requirements. The State of Florida’s Department of Transportation and the City of Gainesville have adopted The American Association of State Highway and Transportation Officials (AAASHTO) guidelines for determining visibility at intersections. If you have any questions concerning the requirements, call the City of Gainesville’s Public Works.

Recommended

1. Utilize custom-design fences or walls over pre-fabricated constructions.
2. Use design, scale and materials compatible with the context.

3. Design features such as vertical accent elements or tapering picket heights to offset repetition of fences.

Not Recommended

1. Use of stockade style fencing.
2. Use of chain link fencing.
3. Use of vinyl fencing.

Staff Approval Guidelines

Fences and walls extending in to the front yard beyond the front wall of the house or with a highly-visible side or rear yard must meet the following conditions:

Constructed of wrought iron, masonry, wood or stucco;

No greater than 48 inches tall if mostly open (i.e., 50% or more transparent);

No greater than 36 inches tall if mostly closed (i.e., 50% or more opaque);

Where the lot is higher than the sidewalk or street, the fence height should be reduced, where practical, by the difference between the height of the lot and the sidewalk;

Align with adjacent fences, if appropriate, in terms of height (where permissible) and materials;

Vertical elements which break up the repetition of the picket fence should be introduced for every ten feet of picket fence. This can be accomplished by tapering the height of the pickets or interjecting decorative posts at rhythmic intervals.

Comply with the AASHTO Standards.

New construction should include fence-lines/walls when adjacent to historic properties with fence-lines and walls.

Fences in backyards shall be no more than six feet in height and constructed of wood or masonry; and

Picket designs should draw inspiration from architectural elements of the historic structure.

Board Approval Guidelines

None required if all conditions are met.

ENTRIES, PORCHES AND BALCONIES

Applicable Secretary Standards

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

5. *Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*

9. *New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Entries, Porches and Balconies

Identify, retain and preserve entrances and their functional and decorative features such as doors, fanlights, sidelights, pilasters, entablatures, balustrade and stairs.

Alterations

Aluminum storm doors, sliding doors and screen doors are not appropriate for facades or highly-visible secondary elevations.

French doors are appropriate for side and rear entrances but are not acceptable as front entryways unless documented by physical, photographic or historic evidence.

Relocating, enlarging or reducing historic doorways on facades or highly-visible secondary elevations is inappropriate.

The addition of non-historic architectural features such as sidelights and entryway surrounds is discouraged if not original to the entrance.

Staff Approval Guidelines

Additions and alterations to entries, porches and balconies under the italicized conditions may be approved by staff:

Stairways to existing openings which are composed of materials compatible with the style of the building. Concrete is acceptable if historically documented;

New door openings can be introduced on "less-visible secondary elevations" provided that they are of the same size or proportions as the nearest door and utilize the same material as the historic doors. "Less-visible secondary elevation" is defined as that portion of the building which is more than halfway behind the front and not fronting on street.

Replacement doors which are appropriate to the style of the building;

Screening porches on less-visible secondary elevations;

Alterations to non-historic portions of contributing buildings that are compatible in scale, design and materials and distinguishable from the historic portions.

Board Approval Guidelines

In constructing a new entrance or porch, the design shall be compatible in size, scale, and material with the historic character of the building.

New porches or entryways should be constructed to the rear of historic structures. Unless their historic existence is documented, new porches for the main facades are discouraged.

Porch designs for new construction should be simple and not replicate the period and style of the building in its details and balustrade.

Original door openings and features such as transoms, sidelights, and doors should be retained. New door openings should not be introduced on elevations visible from the street.

Where the intent is to preserve significant interiors and not enclose internal stairways, the required exterior should be redesigned as an exterior addition on a secondary elevation.

DOORS AND ENTRANCES

Applicable Secretary Standards

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Principal doors and entrances are an integral part of historic buildings. They frequently contain decorative or stylistic features, such as transom and sidelights or detailed surrounds. Under Standard 2, doors and entrances and associated detailing should be preserved. Changes to door size and configuration should be avoided. If a historic entrance cannot be incorporated into a contemporary use for the building, the opening and any significant detailing should, nevertheless, be retained.

Replacement doors should either match the design of the original under Standard 6, or substitute new materials and designs sympathetic to the original under Standard 9. Under Standard 3, historic doors that do not match the composition and stylistic details of the building should not be substituted. Contemporary stock doors and screen doors are inappropriate replacements. Replacement screen doors should be simple and any ornamentation should be based on historic precedent and in keeping with the character of the entry. Aluminum, metal, and jalousie doors should be avoided except where documented historically.

Codes or practicality may require new entrances. Placement on principal facades should be avoided under Standard 2. Under Standard 9, new doors should not be readily visible from the public right-of-way.

Recommended

1. Retain and repair historic door openings, doors, screen doors, trim and details such as transom, sidelights, pediments, frontispieces, hoods and hardware where they contribute to the architectural character of the building.
2. Replace missing or deteriorated doors with doors that match the original, or that are of compatible contemporary design.
3. Place new entrances on secondary elevations away from the main elevation. Preserve non-functional entrances that are architecturally significant.

4. Add simple or compatibly designed wooden screen doors where appropriate.

Not Recommended

1. Introducing or changing the location of doors and entrances that alter the architectural character of the building.
2. Removing significant door features that can be repaired.
3. Replacing deteriorated or missing doors with stock doors or doors that are inappropriate designs or constructed of inappropriate materials.
4. Replacing historic doors, transoms or sidelights with blocking.
5. Adding aluminum or other inappropriate screen doors.

Staff Approval Guidelines

Staff can approve any rehabilitation of entrances and doors that meet the following conditions:

New entrances that do not occur on facades facing principal streets and whose design and materials are compatible with that of the existing building.

Board Approval Guidelines

The board may consider new designs that utilize different materials for entry projects provided the new entry does not destroy contributing architectural features of the main entrance.

AUXILIARY STRUCTURES

Applicable Standards

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

New Garages, Carport, Accessory and Other Structures

Attaching a new garage to a historic house or enclosing a historic porte cochere or carport to accommodate the function is discouraged.

New garages should not be placed to the front of a house. The garage should be compatible with the materials, design, and architectural features of the principal building.

If proposed, garages should be detached, placed at the rear of the property, and accessible from mid-block alleyways when possible.

Garages, tool sheds, and other structures should be compatible with the design of the major buildings on the site. Newer buildings should take their design clues from other existing (contributing) outbuildings. The use of traditional roof slope and traditional materials are two important criteria.

Recommended

1. Use materials similar in size, proportion, and detail to the original.

2. If additional interior space is needed or desired, place the addition at the rear of the building site.

Not Recommended

1. Obscuring important features of the property with new auxiliary structures.
2. Designs that, through their scale, detail and materials detract from the principal buildings or settings.

Staff Approval Guidelines

New garages and carports that meet all of the following conditions can be approved by staff:

- Structure does not front on two or more streets;*
- Is not attached to the historic building;*
- Does not exceed 1-story in height and 400 sq. ft. in area;*
- Sited to the rear or rear side yard of the building (i.e., behind the point midway between front and back of building);*
- Utilize materials and textures consistent with the principal building;*
- Roof type and pitch is similar to principal building.*

WINDOWS, SHUTTERS AND AWNINGS

Applicable Secretary Standards

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

3. *Each property shall be recognized as a physical record of its time, place and use. Do not undertake changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings.*

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*

9. *New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

Windows

Identify, retain, and preserve windows and their functional features that contribute to defining the building. Such features include frames, sash muntins, glazing, sills and moldings.

The placement, design, and materials of windows is often a significant part of the architectural character of a building. Common historic windows in the Gainesville's Historic Districts are doublehung sash in a 1/1, 2/2, 6/6 or multi-light/1 pattern, wooden or steel casement types, and commercial show windows. Windows often offer or contain significant stylistic elements. Examples include lancet windows with stained glass in Gothic Revival churches; multi-light upper sash in Bungalows; and round arch windows in buildings associated

with Mediterranean influenced styles. Non-historic windows include awning, jalousie, and pivot types.

Under Standard 2, the visual role of historic window design and its detailing or craftsmanship should be carefully considered in planning window repair or replacement. Factors to consider include the size and number of historic windows in relationship to a wall surface and their pattern of repetition; their overall design and detailing; their proximity to ground level and key entrances; and their visibility, particularly on key elevations.

The rhythm of window and door openings is an important part of the character of buildings. In some instances, new window or door openings may be required to fulfill code requirements or for practical needs. New openings should be located on nonsignificant walls. For commercial buildings these would be common or party walls or secondary elevations. For residential buildings, these would be side or rear walls not readily visible from a main thoroughfare.

Alterations

The alteration of historic windows may be approved by staff if the replacement sash is of the same material, design, features size and configuration of that of the original window. When replacing historic windows, special care should be taken to match the trim detail, the width of the frames and sash, the location of the meeting rail, the setback of the window from the wall plane, the separate planes of the two sashes, and the reflective qualities of the glass. "Snap-in" grids are not allowed.

Repairing window frames and sashes by patching, splicing, consolidating, or otherwise reinforcing the window is encouraged.

The design of replacement windows which seek to replicate or duplicate a missing historic window must be documented through historical, physical or photographic sources.

Enclosing historic window openings is discouraged. If a window is no longer needed for its intended use, the glass should be retained and the back side frosted, screened, painted black, or shuttered so that it gives a functional appearance.

Window openings on facades or highly-visible elevations shall not be relocated, enlarged or reduced.

Altering historic windows by use of awning, glass jalousie, picture or any other modern window material is not permissible in any wall of an historic structure that is visible from a right-of-way.

Replacement windows for irreparable historic windows should be made of the same materials. Compatible substitute materials may be considered only on a case-by-case basis depending on building use and generally when the replacement window is on a less-visible secondary elevation.

Window Additions

New window openings are inappropriate on the principal facade(s); new openings should be placed on secondary elevations.

The addition of modern windows, metal sash, sliding glass windows or any type of window which is inappropriate to the period shall be confined to "less visible secondary elevations."

Recommended

1. Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves, hardware, awnings and shutters where they contribute to the architectural and

historic character of the building.

2. Improve the thermal performance of existing windows and doors through adding or replacing weather-stripping and adding storm windows which are compatible with the character of the building and which do not damage window frames.

3. Replace missing or irreparable windows on significant elevations with new windows that match the original in material, size, general muntin and mullion proportion and configuration, and reflective qualities of the glass.

Not Recommended

1. Introducing or changing the location or size of windows, and other openings that alter the architectural and historic character of a building.

2. Replacing window features on significant facades with historically and architecturally incompatible materials such as anodized aluminum, mirrored or tinted glass.

3. Removing window features that can be repaired where such features contribute to the historic and architectural character of a building.

4. Changing the size or arrangement of window panes, muntins, and rails where they contribute to the architectural and historic character of a building.

6. Replacing windows that contribute to the character of a building with those that are incompatible in size, configuration, and reflective qualities or which alter the setback relationship between window and wall.

Staff Approval Guidelines

Staff can approve repair of existing historic windows.

Additions of the new windows that meet the italicized conditions can be approved by staff:

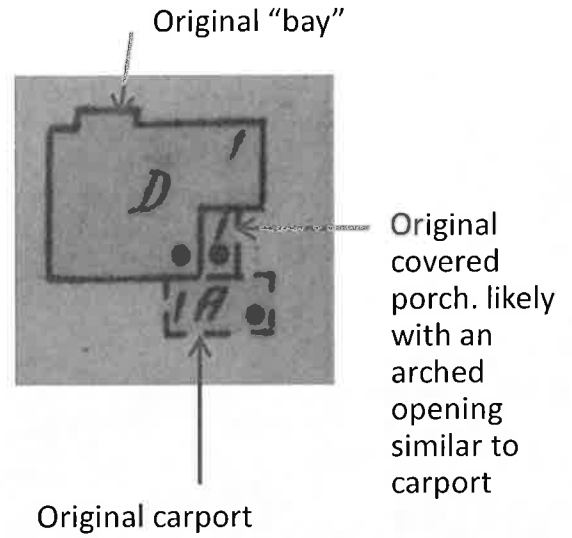
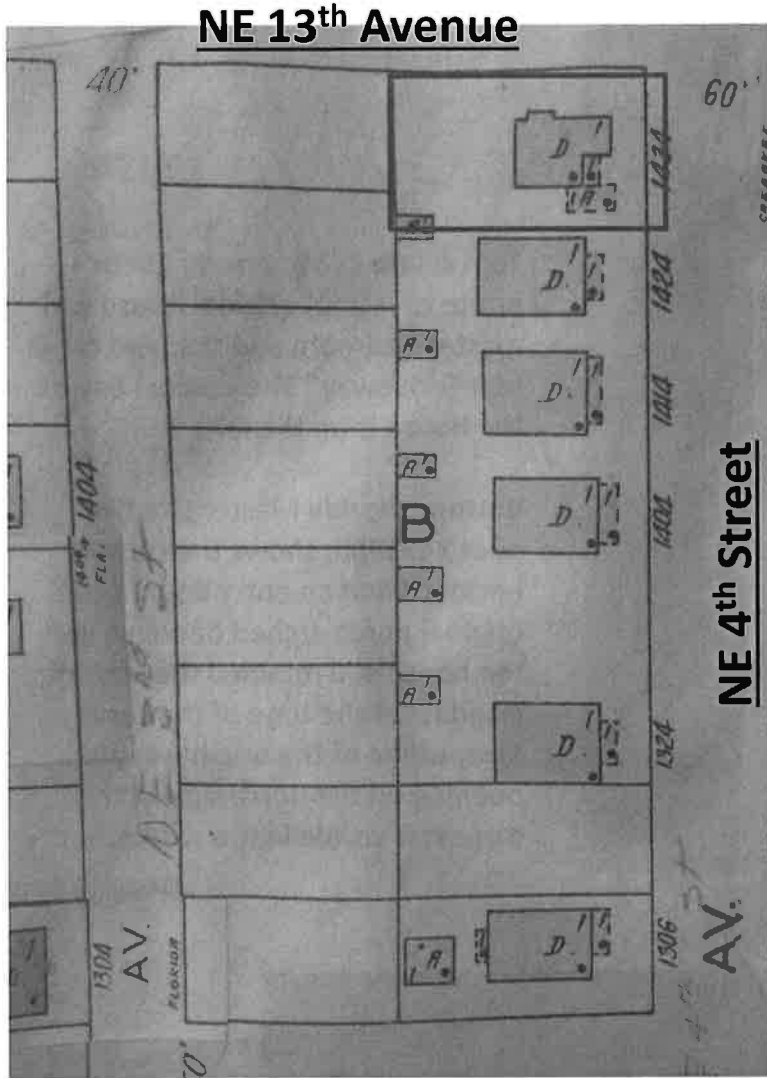
New window openings can be introduced on "less-visible secondary elevations" provided that they are of the same size or proportions as the nearest window and utilize the same material as the historic windows. "Less visible secondary elevation" is defined as the portion of the building which is more than halfway behind the front and not fronting on street;

Board Approval Guidelines

New windows on additions should be compatible with those of the nearest window on the historic building in terms of proportions, frames, sills and lintels. Installing window designs reflective of a historic period is discouraged. Designs that match the proportions of existing historic windows, but are simple in detailing, are preferred.

The rhythm of window and door openings is an important part of the character of buildings. In some instances, new window or door openings may be required to fulfill code requirements or for practical needs. New openings should be located on nonsignificant walls. For commercial buildings these would be common or party walls or secondary elevations. For residential buildings, these would be side or rear walls not readily visible from a main thoroughfare.

EXHIBIT 1: Historic Photos



Top: 1928 Sanborn Map: Original wood frame dwelling with carport on the corner and four other houses, by the same builder, on the block.

Bottom: Photo c. 1925 showing original house and carport with arched openings. Original windows were wood, with 8/1 sash. Original cladding was stucco.



EXHIBIT 1: Historic Photos



Top: c. late 1950s / early 1960s photo of rear of original house with master bedroom addition and car in rear "driveway." The original bay of the house is on the left.

Bottom: Florida Master Site file photo c. 1980, shows the carport enclosed and an entry door in the original porch arched opening, yet the house still retained the stucco cladding at the time of the survey. The outline of the original arched opening on the north side of the carport is visible in the stucco.



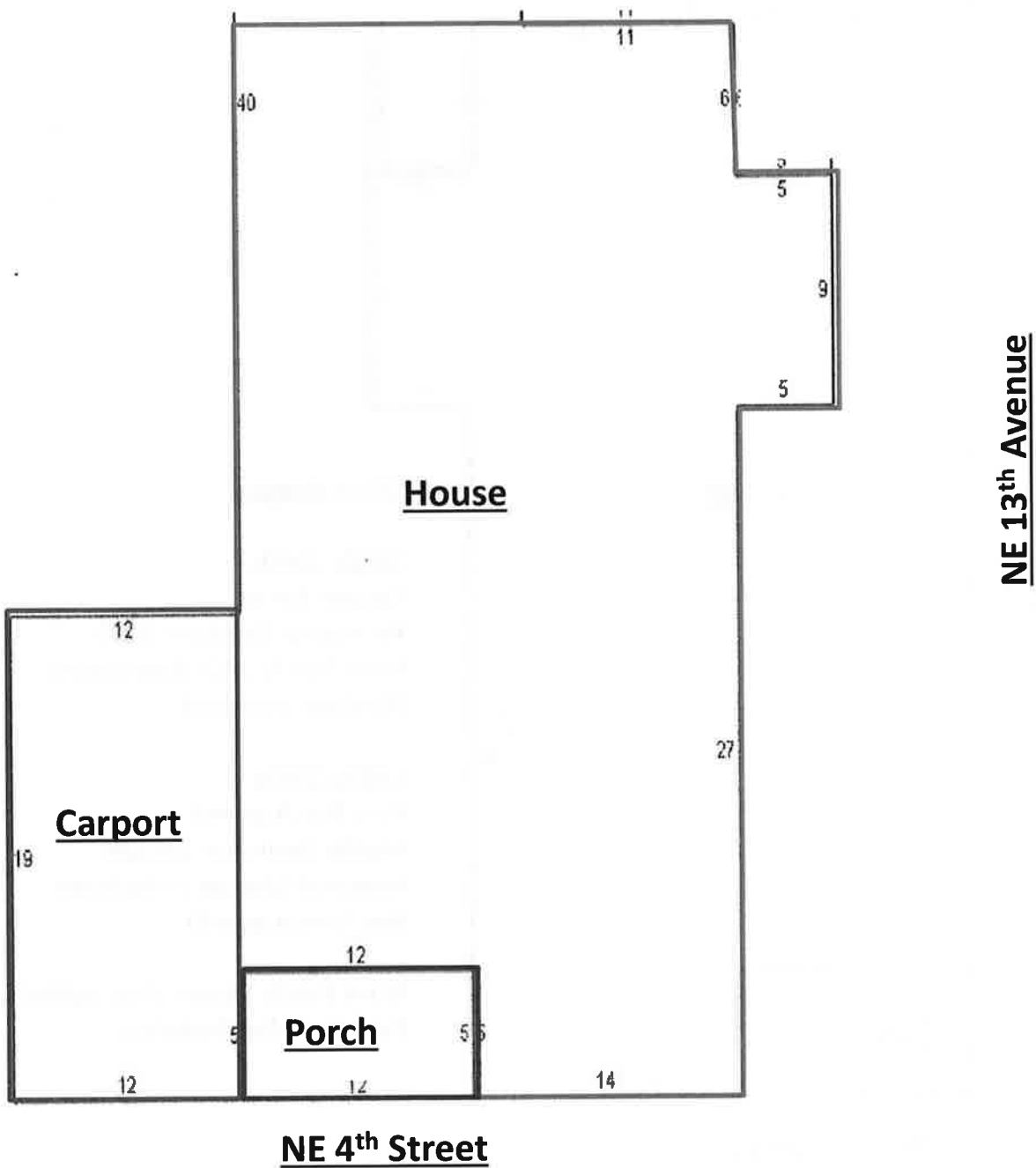
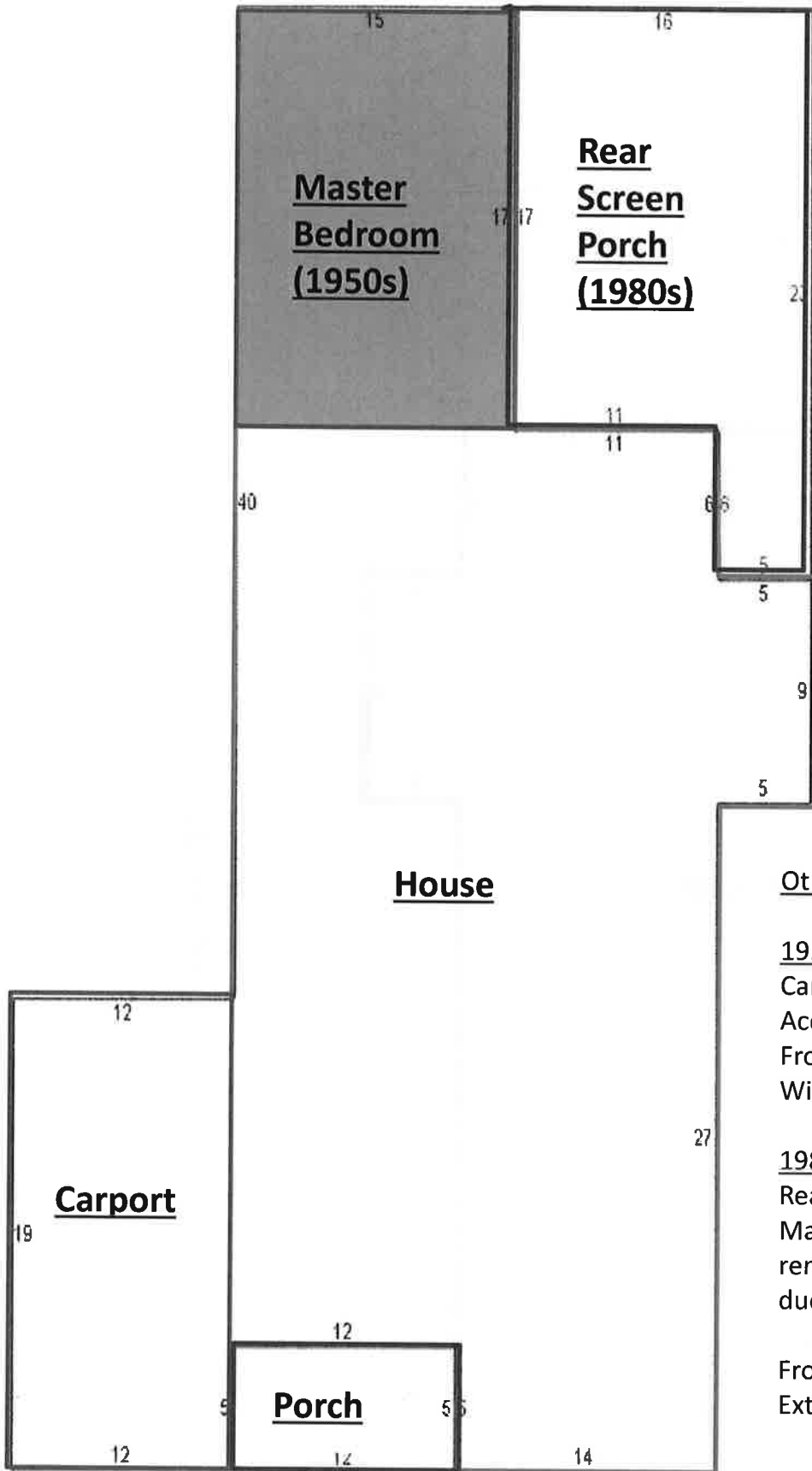


EXHIBIT 1: Alterations

Additions Plan (Dates Estimated)



NE 13th Avenue

Other alterations:

1950s-1960s

Carport Enclosed
Accessory Structure built
Front Porch: arch door added
Windows replaced

1980s-1990s

Rear Porch added
Master Bedroom parapet removed (change in drainage due to rear porch)

Front Porch: square door added
Exterior Siding Installed

NE 4th Street



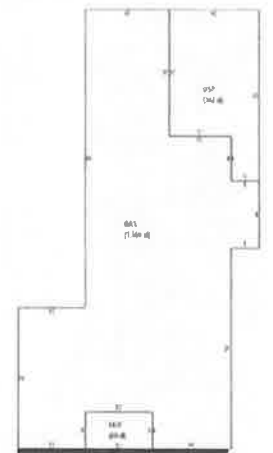
Adjacent stucco buildings, same builder, circa 1925-1928
Top (left to right): 1212 NE 4th Street, 1208 NE 4th Street
Bottom (left to right): 1200 NE 4th Street, 1112 NE 4th Street



1: Current front façade (NE 4th Street), showing siding and squared-off modification of front entry opening.



2: The original exterior red porch tile still exists in the current front entryway.



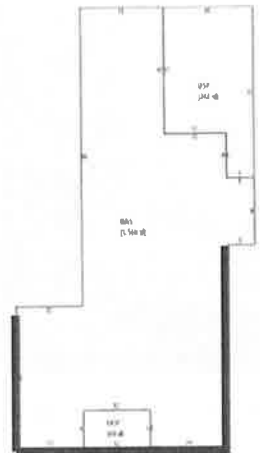
↑
1&2



3: South elevation of original carport.



4: North elevation of original carport, where smaller arched opening has been covered with siding. Original stucco chimney visible on the right (north elevation).



3

4

**Original
chimney**

**Original
bay**

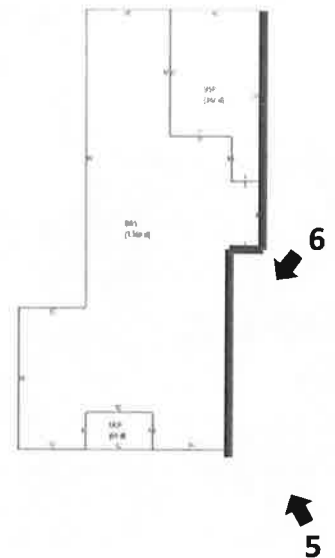
**Rear porch
addition**



5: North elevation (NE 13th Avenue) with original chimney on the left and rear porch addition on the right.



6: North elevation (NE 13th Avenue) with original chimney and mid-century windows.



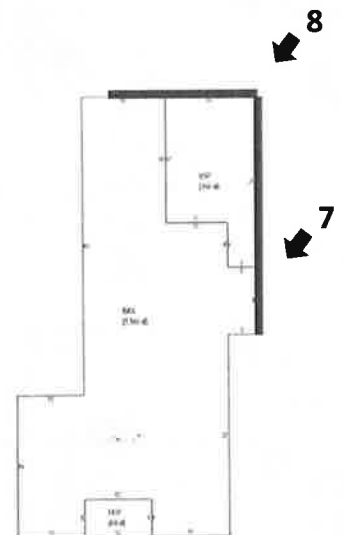
**Original
bay**

**Rear porch
addition**



7 (left): Partial north elevation (NE 13th Avenue) with original bay on the left and rear porch addition on the right. Note the addition is flush with the face of the bay.

8 (bottom): View of rear porch addition from northwest corner of lot.



**Rear Porch
addition**

**Master bedroom
addition**

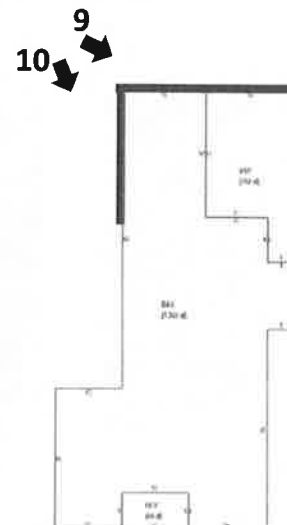


**Edge of
original
parapet
wall**



9 (top): Rear (west) elevation, showing rear porch addition on left and master bedroom addition on right. Note removal of roof parapet wall on this west elevation of master bedroom addition.

10 (left): Side (south) elevation of master bedroom addition.



**Master bedroom
addition**

**Original house
(south elevation)**

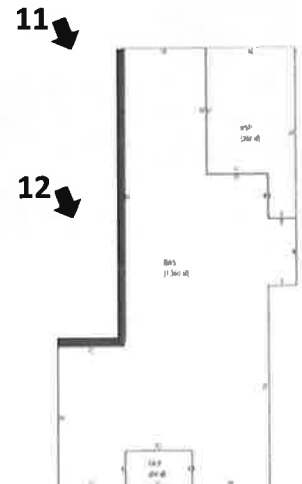
**Enclosed carport
beyond**

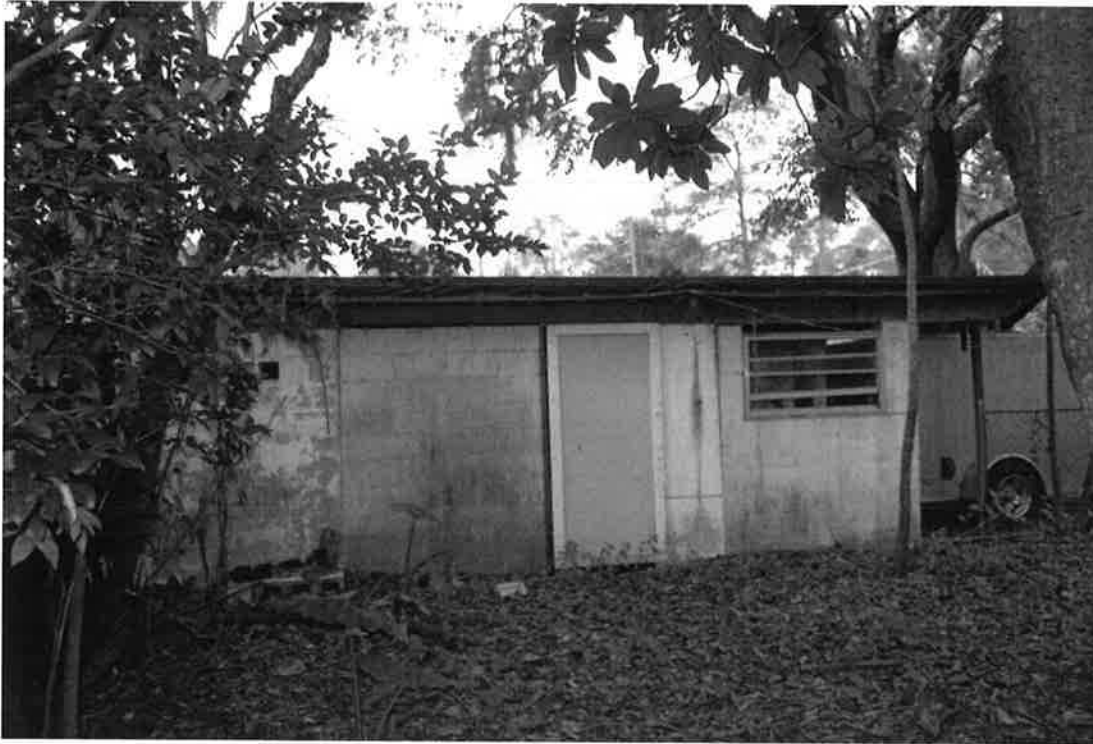


11: Side (south) elevation of master bedroom addition and original house, now clad with siding.

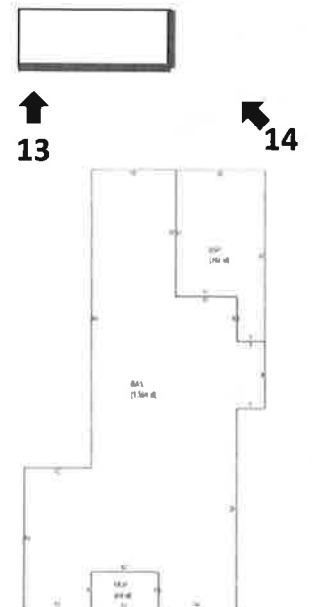


12: Rear (west) elevation of enclosed carport.





13 & 14: Existing accessory structure at southwest corner of property.





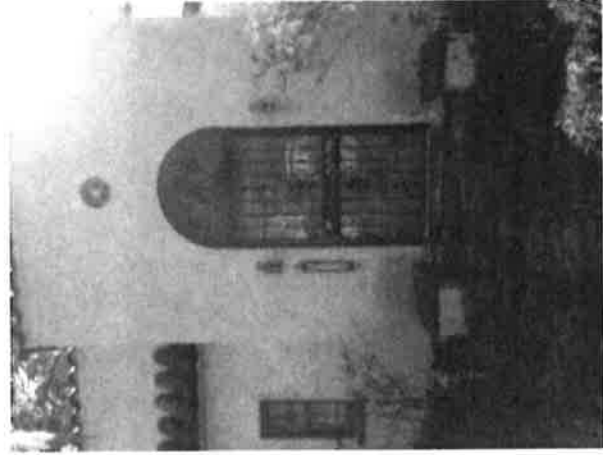
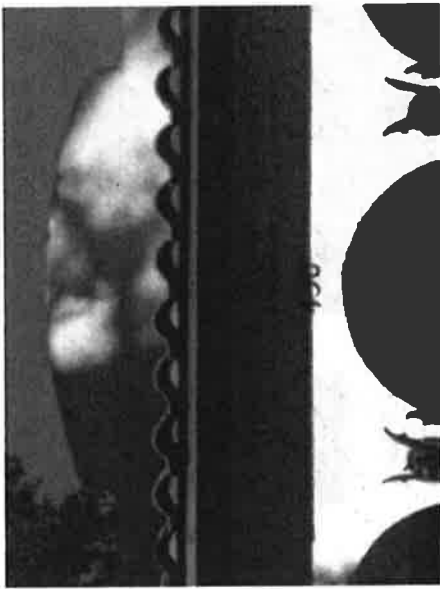
15: Original chimney and fireplace are structurally deteriorated and do not meet code requirements. Chimney is leaning and hearth tile is cracked and sinking.

EXHIBIT 2: Current Photos



Top (left to right): 1212 NE 4th Street (adjacent to south), 316 NE 13th Ave. (across the street)
Bottom (left to right): 1217 NE 4th St. (across the street), 1221 NE 3rd Street (adjacent on 13th Street)

NEIGHBORHOOD DETAILS:
BARREL TILE SHED ROOF, STUCCO, TILE ENTRY STAIR, ETC.



NEIGHBORHOOD WALL AND FENCE DETAILS



EXISTING GARAGE AND FENCE



EXHIBIT 2: Current Photos



Top (left to right): 1212 NE 4th Street (adjacent to south), 316 NE 13th Ave. (across the street)
Bottom (left to right): 1217 NE 4th St. (across the street), 1221 NE 3rd Street (adjacent on 13th Street)

LEVATIONS

Stiles and Rails

5-1/2" wide engineered stiles provide structural stability and latitude in hardware options

10-1/4" wide engineered bottom rail with 1-1/4" trimmable solid bottom maintains architectural integrity.

Panels

V-Groove: 1-5/16" 3-ply split-proof solid wood panels with 120° v-grooves

Style# 4E2010
 see units listed at right for sizes available

- ▶ 1-3/4" thick solid fir doors
- ▶ Rustic Incurved sticking
- ▶ KD wood frame kits available for curved top doors

FSC
 www.fsc.org
 MIX
 From responsible sources
 FSC® C012852

All doors and sidelites are FSC certified. At least 70% of this product comes from well-managed forest, independently certified in accordance with the rules of the Forest Stewardship Council A.C.

96"
80"

Style# 4E2010
 Door Widths: 36"

Style# 4E2010
 Door Widths: 36", 42"

*** or similar**

96"
80"

Style# 4E2009
 Door Widths: 36"

Style# 4E2009
 Door Widths: 36", 42"

EXHIBIT 3: Proposed Materials

Proposed side and rear doors

- ▶ 1-3/4" thick solid fir doors
- ▶ insulated or single strength glass available
- ▶ 1-3/16" true divided muntins
- ▶ Complete line of frames available including **FiberGuard™**, **EverGuard™** and **EverFrame™**
- ▶ Engineered for long-life and value

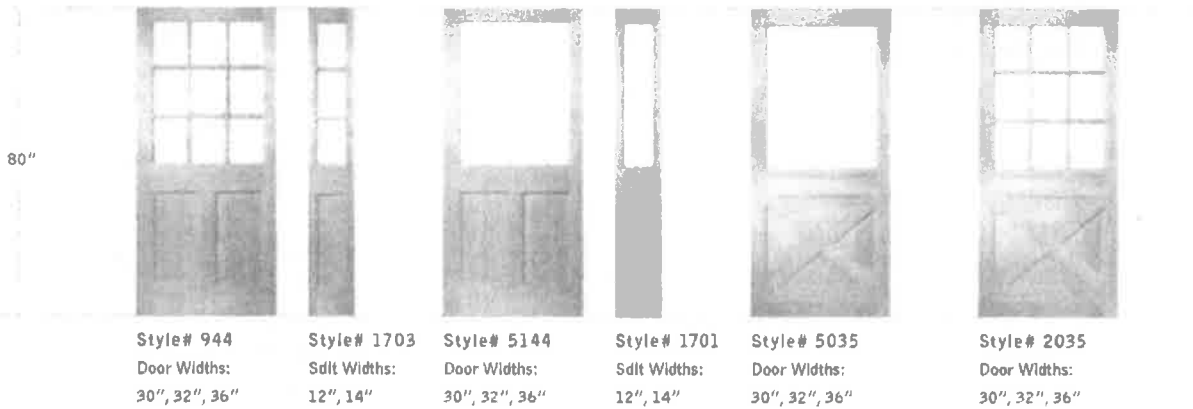
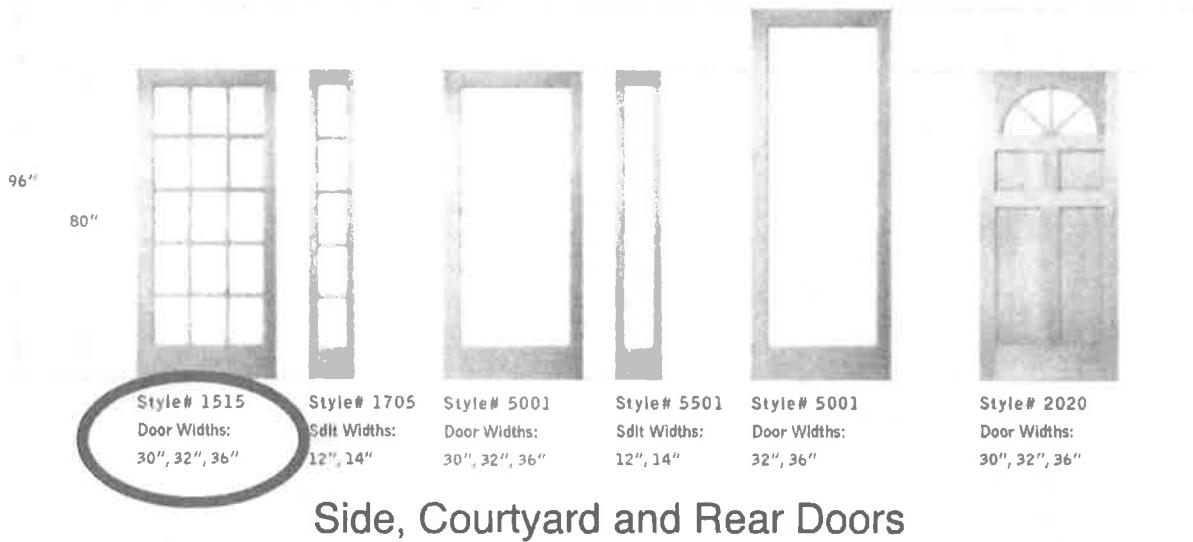
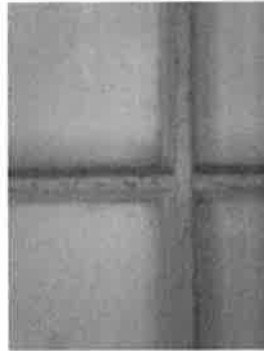


EXHIBIT 3: Proposed Materials

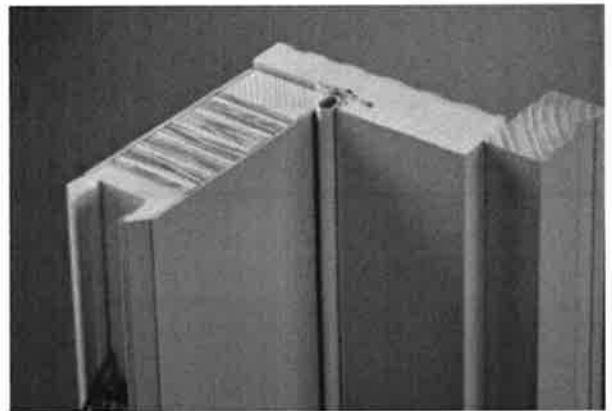
Proposed Windows



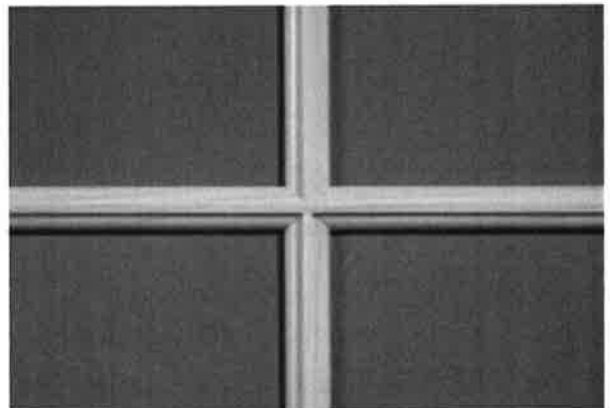
Existing window detail

- Existing window 2 remaining located on original rear wall, now interior closet
- New windows to have same 8 over 1 grille pattern

Kolbe Heritage Series
Traditional Double Hung
Stile: Ovolo 5/8" Bar
*or comparable



Wood Window Cut-Away



5/8" Ovolo Profile PDL Bars

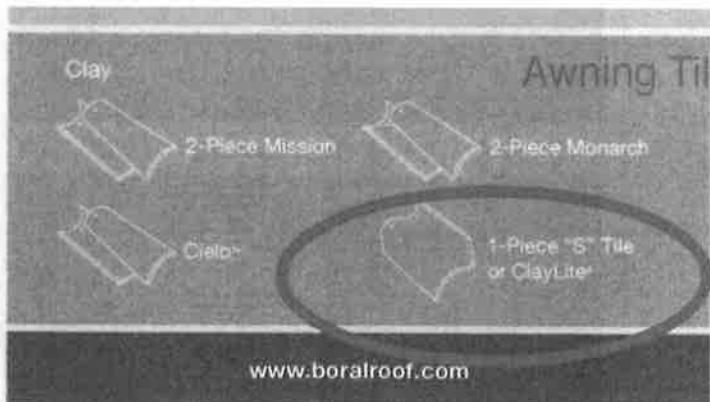
EXHIBIT 3: Proposed Materials

Proposed exterior tile

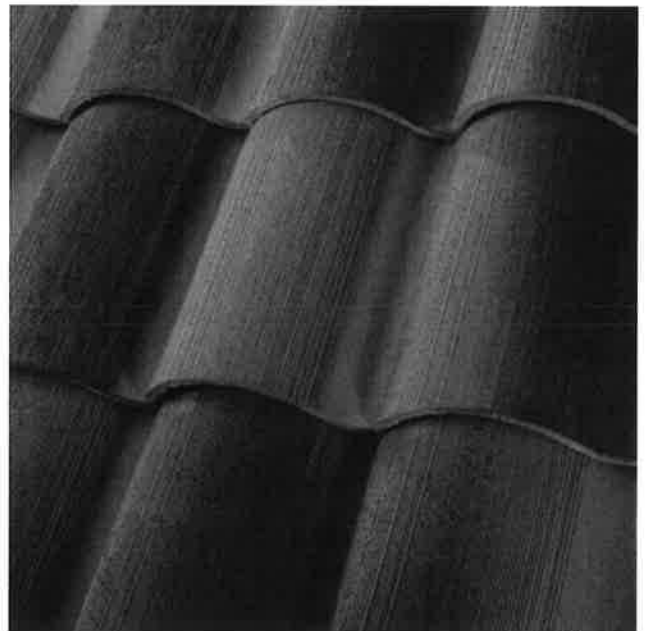


Above:
Red 6" x 6" tile steps and
landings to match
existing tile at original
front porch and interior
hearth

Two examples of tile
steps in the
neighborhood



Proposed clay awning
tiles for exterior
canopies.



Proposed Lighting and Stucco

Exterior Lighting: Front

MEDFORD Classical Revival
Wall Sconce *or comparable
wall sconce

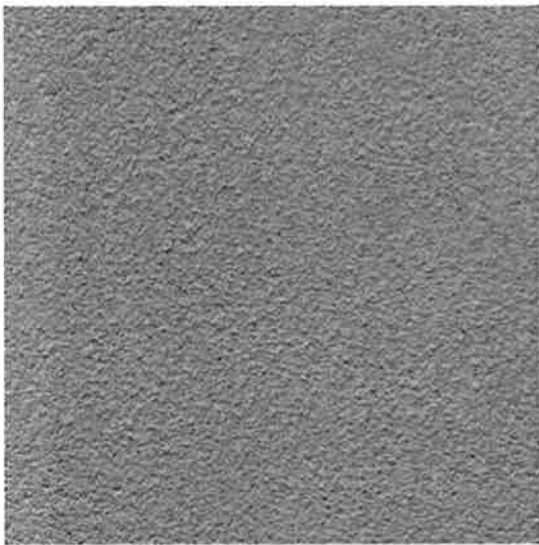


We distilled the best elements of early 20th century cast-iron lighting to bring you the Medford. Reinvented in weatherproof cast aluminum with a scrolled basket and glass globe shade, this fixture has a dignified presence that makes every entrance grand. We use durable, lightweight cast aluminum parts to achieve this traditional look, and top it off with a classic Black Enamel finish to inhibit rust.

- Powder-coated cast aluminum
- Built to order to your custom specifications in our Portland, Oregon factory
- Hexagonal canopy
- Black Enamel finish only
- UL Wet rated for outdoor use
- Choose standard incandescent or energy-efficient GU24 sockets
- Hardwired; professional installation recommended
- Suitable for indoor and outdoor use (UL Rated Wet)
- Assembled in the U.S.A. of domestic and imported parts

Width 12.18"
Length 15.53"
Projection 18.7"
Shade 9"
rejuvenation.com

Exterior Finish



Sand/Float Finishes:

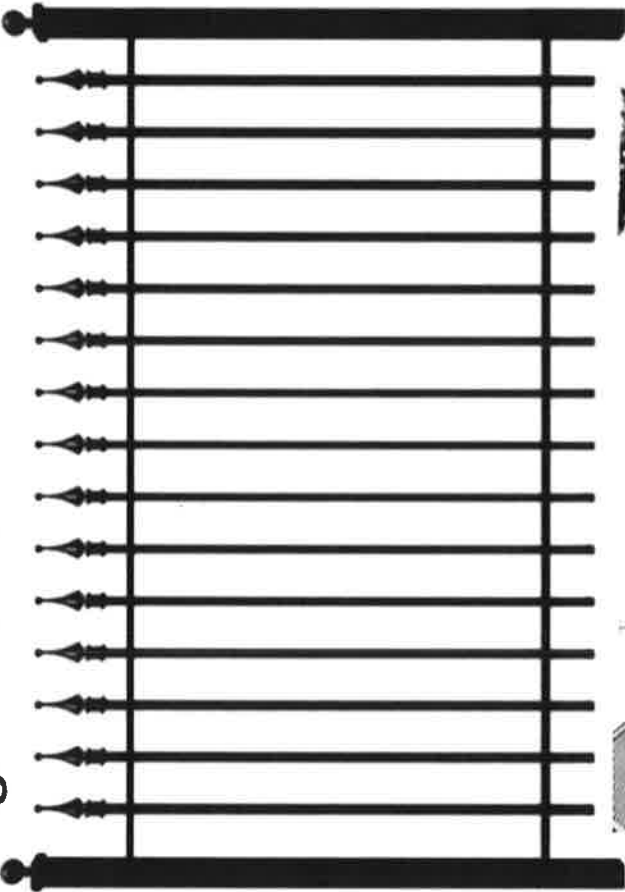
This is a basic and simple kind of texture that is popular in commercial applications. It can be fine, medium or coarse in appearance and varies depending on the manufacturer. It is troweled down and finished using a float and quick strokes.

- Is a very versatile finish and can be done using traditional or synthetic stucco
- Can be applied in one coat and is one of the easiest to apply
- Is usually troweled on, but can be sprayed on and then troweled down tight
- A "green float" gives the finish its texture
- Found in fine, medium and coarse finishes
- Relatively easy to patch if color matches up and edges are feathered in nicely

EXHIBIT 3: Proposed Materials

Proposed wrought iron fence

Wrought Iron Fence 36"



K. STRAUSS *True Swable* Homes

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GAINESVILLE, FL 32604

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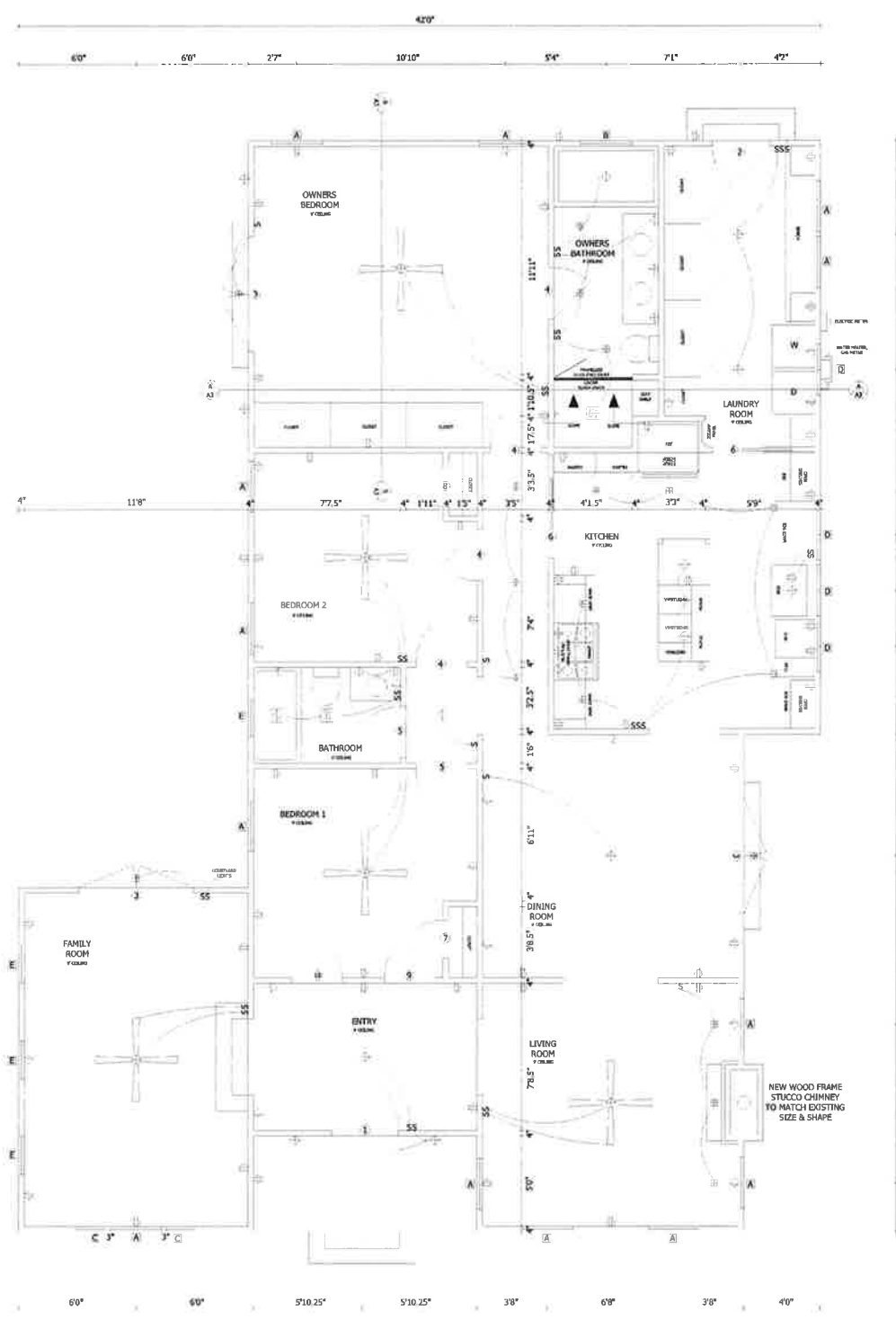
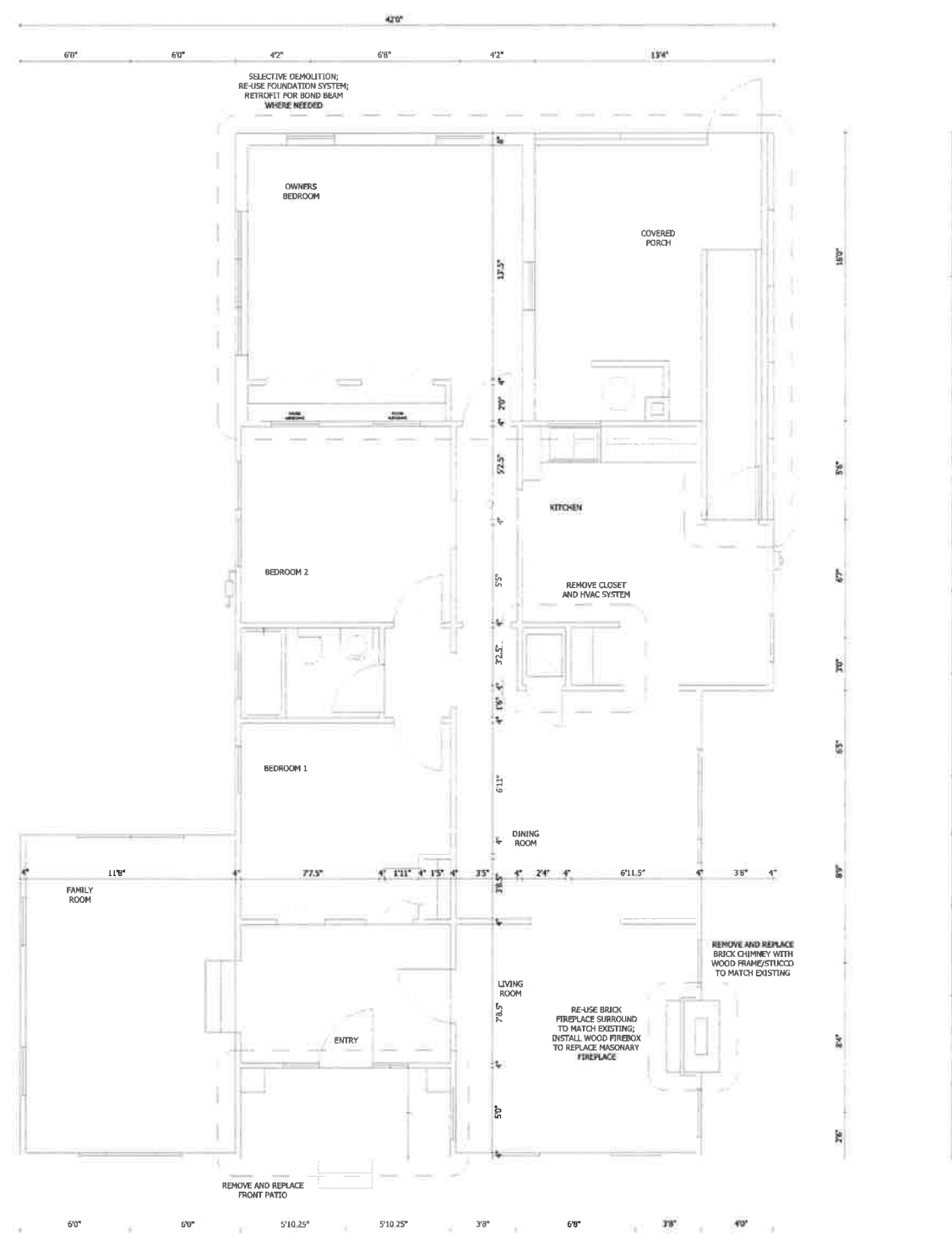
KURT STRAUSS
LIC# CBC1256801

OWNERS
KURT STRAUSS & RENEE STRAUSS
1216 NE 4TH STREET
GAINESVILLE, FL 32601

EXISTING HOUSE SFT ~1740
RENOVATED HOUSE SFT ~1920
EXISTING GARAGE SFT ~240
RENOVATED GARAGE SFT ~340

SUBSTANTIALLY COMPLETE
PLANS FOR HPB COA
2/9/17

A1



FINISH SCHEDULE		
LOCATION	ITEM	DESCRIPTION
WHOLE HOUSE	WALL / CEILING	EXISTING WOOD LATH/HORSE HAIR PLASTER - REPAIR AS NECESSARY (SKIM COAT)
FAMILY ROOM	FLOOR	EXISTING 1x2 RED OAK - REFINISH
LIVING ROOM	FLOOR	EXISTING 1x2 RED OAK - REFINISH
DINING ROOM	FLOOR	EXISTING 1x2 RED OAK - REFINISH
BEDROOMS	FLOOR	EXISTING 1x2 RED OAK - REFINISH
KITCHEN	FLOOR	EXISTING 1x2 RED OAK - REFINISH
BATHS	TILE (TBD)	TILE (TBD)
TUB SUR.	WALL	TILE (TBD)
SHOWER SUR.	WALL	TILE (TBD)
SHOWER FLOOR	FLOOR	TILE (TBD)
WHOLE HOUSE	CABINETRY	TBD
WHOLE HOUSE	COUNTERTOPS	TBD

DOOR SCHEDULE				
DOOR	DESCRIPTION	SIZE/SWING	TYPE	QUANTITY
1	EXTERIOR	3600 LH	EVERMARK RUSTIC #2010 ROUND-TOP	1
2	EXTERIOR	3048 LH	NEW 9 LITE SINGLE FRENCH	1
3	EXTERIOR	6068 DBL	NEW 15 LITE DOUBLE FRENCH	4
4	INTERIOR	2868 RH	EXISTING 2 PANEL COLONIAL	4
5	INTERIOR	2868 LH	EXISTING 2 PANEL COLONIAL	3
6	INTERIOR	2868 POCKET	RECLAIMED 2 PANEL COLONIAL (TO MATCH)	2
7	INTERIOR	2056 RH	EXISTING 2 PANEL COLONIAL	1
8	INTERIOR	2056 LH	EXISTING 2 PANEL COLONIAL	1
9	INTERIOR	2868 RH	NEW 15 LITE FRENCH	1
10	INTERIOR	2868 LH	NEW 15 LITE FRENCH	1
11	INTERIOR	2868 LH	RECLAIMED 2 PANEL COLONIAL (TO MATCH)	1
12	INTERIOR	2868 RH	RECLAIMED 2 PANEL COLONIAL (TO MATCH)	1

WINDOW SCHEDULE			
WINDOW	DESCRIPTION	SIZE	QUANTITY
	KOLBE; HERITAGE TRADITIONAL; DOUBLE HUNG; POCKET REPLACEMENT	2856	15
	KOLBE; HERITAGE TRADITIONAL; DOUBLE HUNG; POCKET REPLACEMENT	2856	1
	KOLBE; HERITAGE TRADITIONAL; DOUBLE HUNG; POCKET REPLACEMENT	1856	2
	KOLBE; HERITAGE TRADITIONAL; DOUBLE CASEMENT; POCKET REPLACEMENT	2840	4
	KOLBE; HERITAGE TRADITIONAL; STUDIO PICTURE; POCKET REPLACEMENT	2020	4
F	EXISTING RE-USE WINDOWS (RELOCATE FRONT HOUSE TO GARAGE)	2856	2

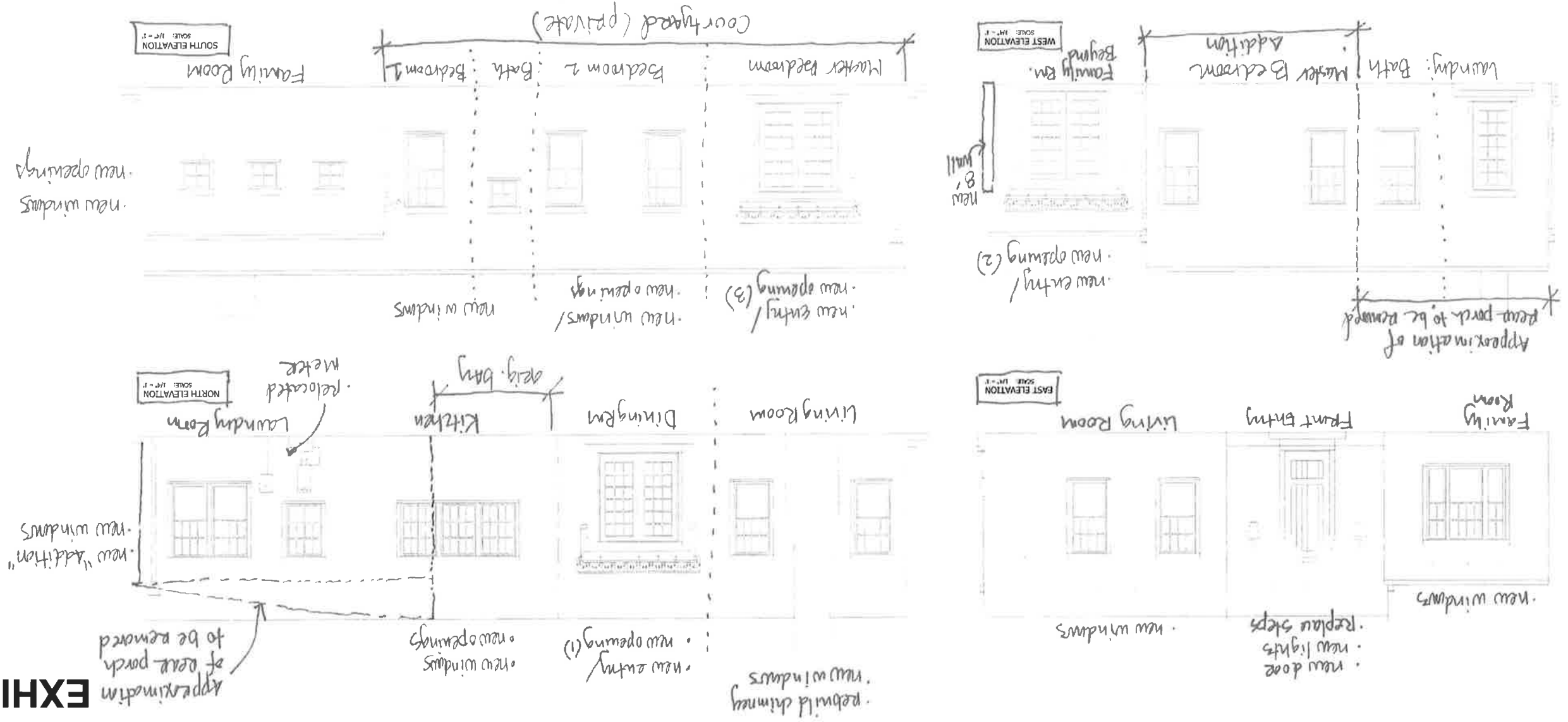
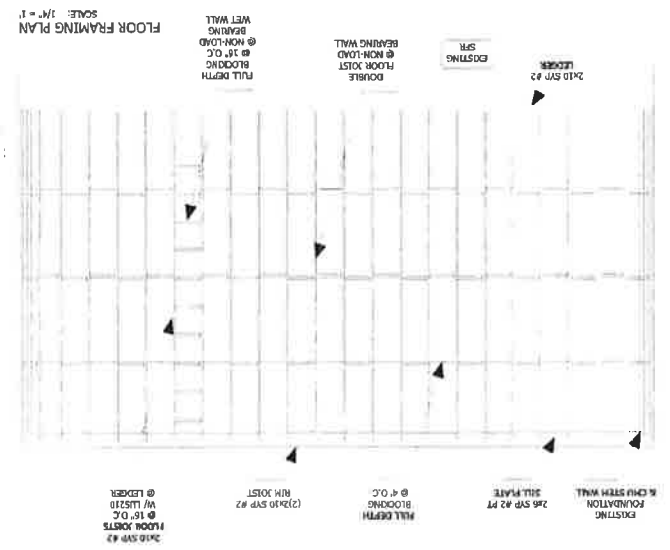
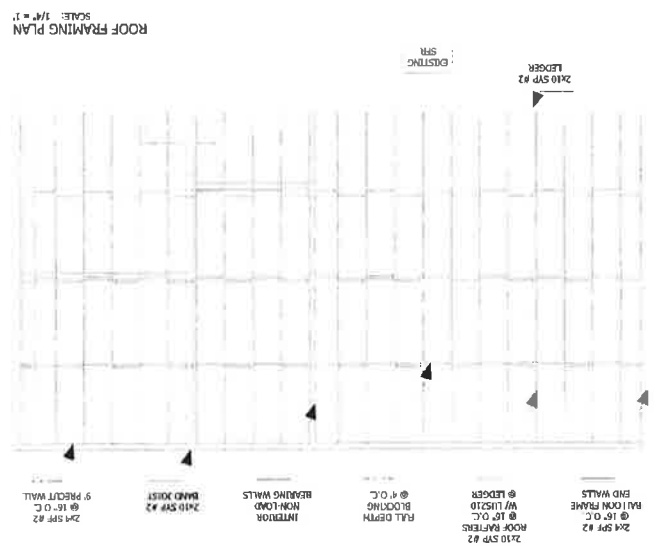
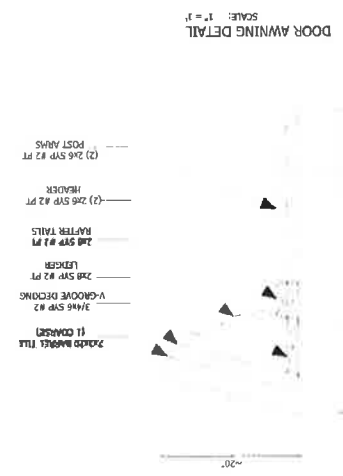
A2

LARKIN NOTES

OWNER
1216 NE 4TH STREET
GAINESVILLE, FL 32601

EXISTING HOUSE SFT -1740
RENOVATED HOUSE SFT -2800
EXISTING GARAGE SFT -240
RENOVATED GARAGE SFT -340

SUBSTANTIALLY COMPLETE
PLANS FOR PERM
2/8/17



PREPARED BY:

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the Jubilee Homes

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True Livable Homes

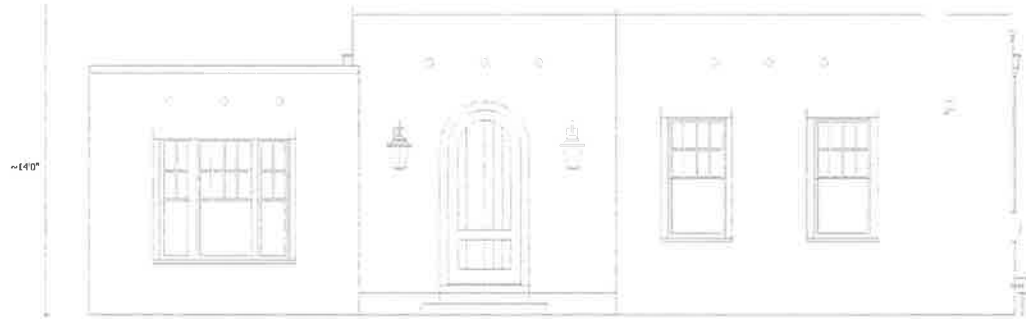
852-493-3171

kstrauss-homes@gmail.com

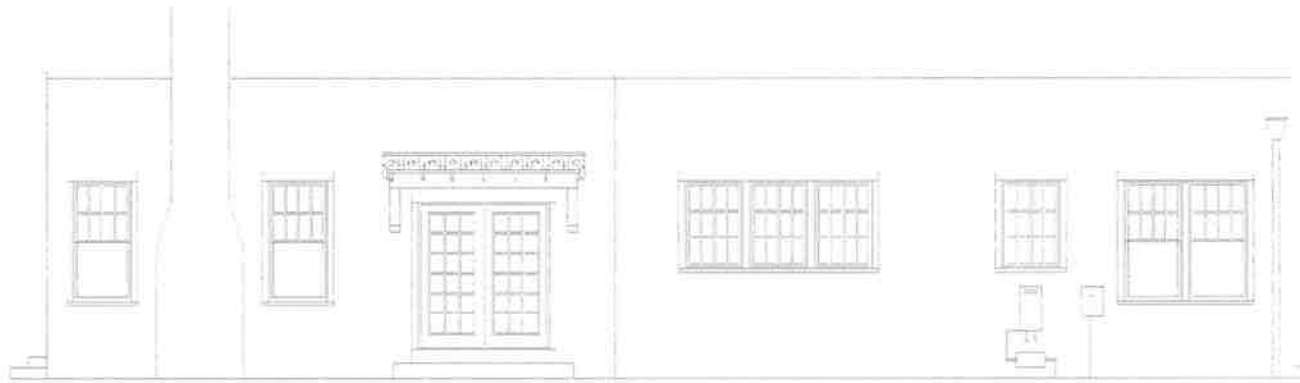
P. O. BOX 11981
GAINESVILLE, FL 32604

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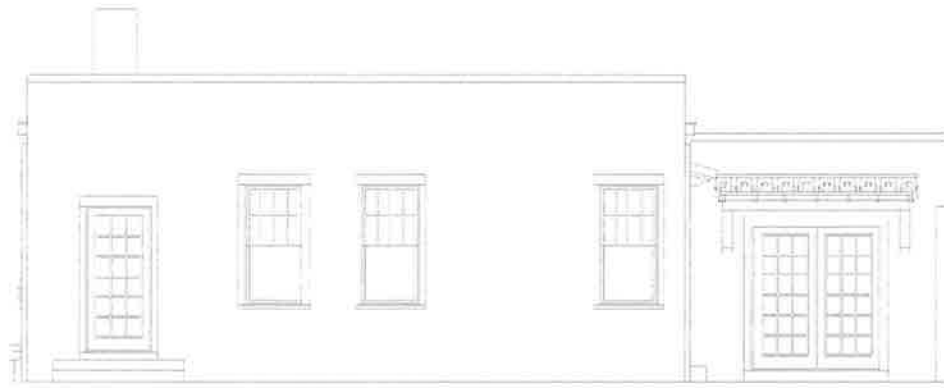
KURT STRAUSS
LIC# CBC1255801



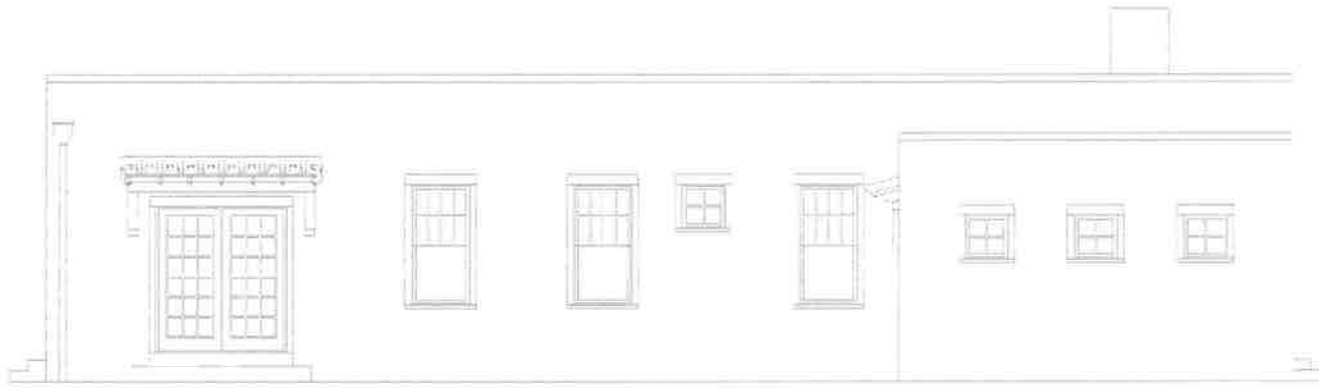
EAST ELEVATION
SCALE: 1/4" = 1'



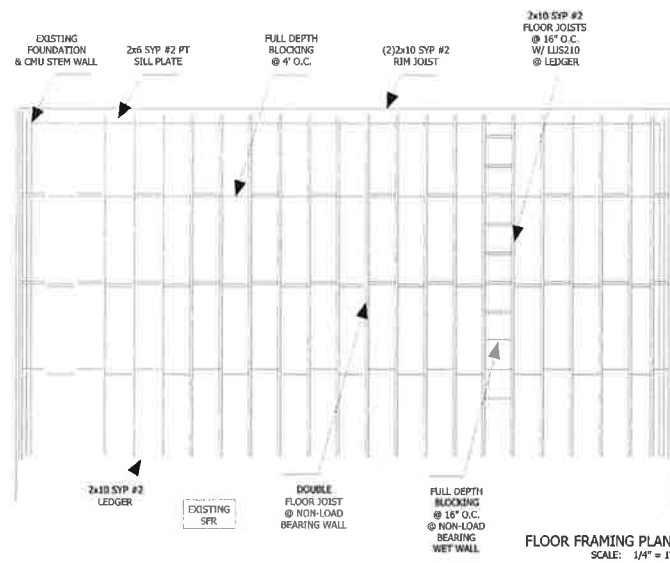
NORTH ELEVATION
SCALE: 1/4" = 1'



WEST ELEVATION
SCALE: 1/4" = 1'

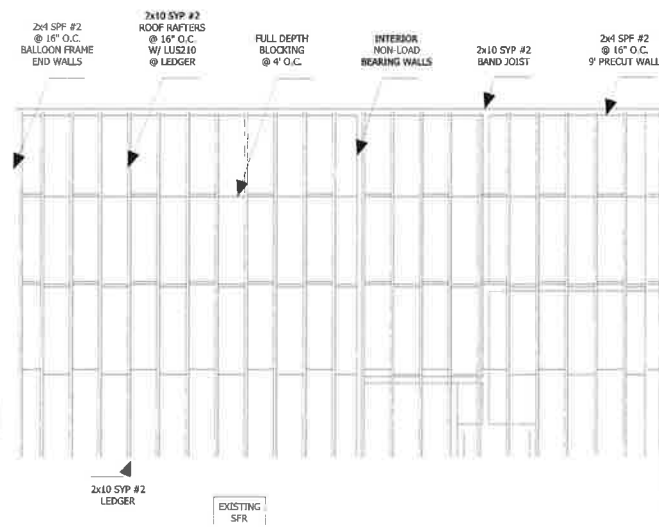


SOUTH ELEVATION
SCALE: 1/4" = 1'



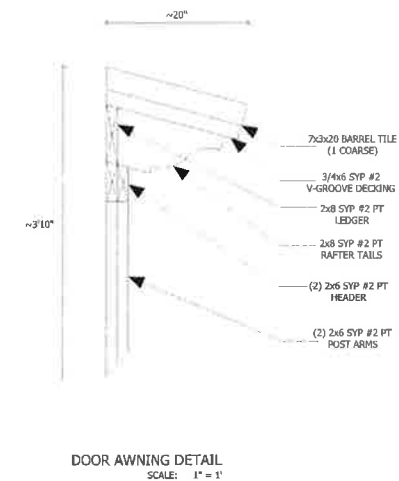
FLOOR FRAMING PLAN
SCALE: 1/4" = 1'

SEE WINDLOAD ENGINEERING FOR FURTHER DETAILS



ROOF FRAMING PLAN
SCALE: 1/4" = 1'

SEE WINDLOAD ENGINEERING FOR FURTHER DETAILS



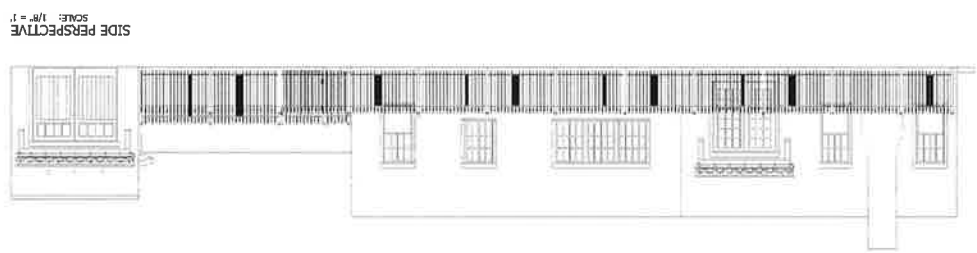
DOOR AWNING DETAIL
SCALE: 1" = 1'

OWNERS
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GAINESVILLE, FL 32601

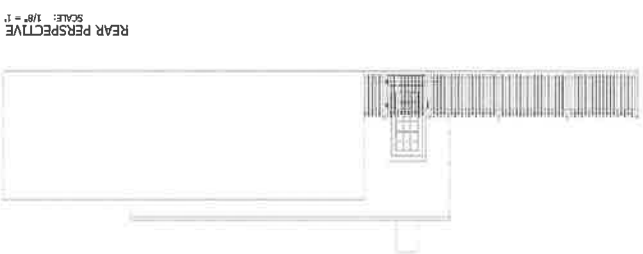
EXISTING HOUSE SFT ~1740
RENOVATED HOUSE SFT ~1920
EXISTING GARAGE SFT ~240
RENOVATED GARAGE SFT ~340

SUBSTANTIALLY COMPLETE
PLANS FOR NHB CDA
2/14/17

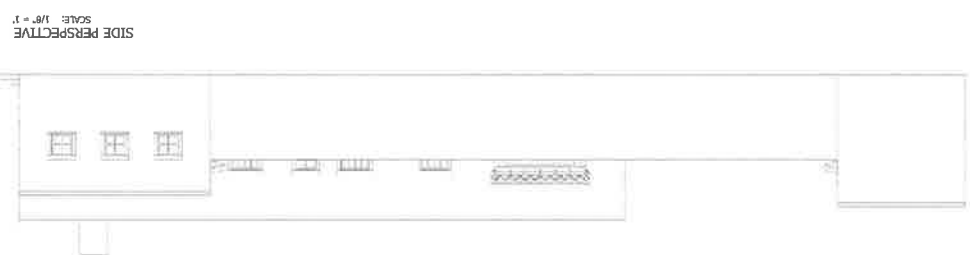
A2



SIDE PERSPECTIVE
SCALE: 1/8" = 1'



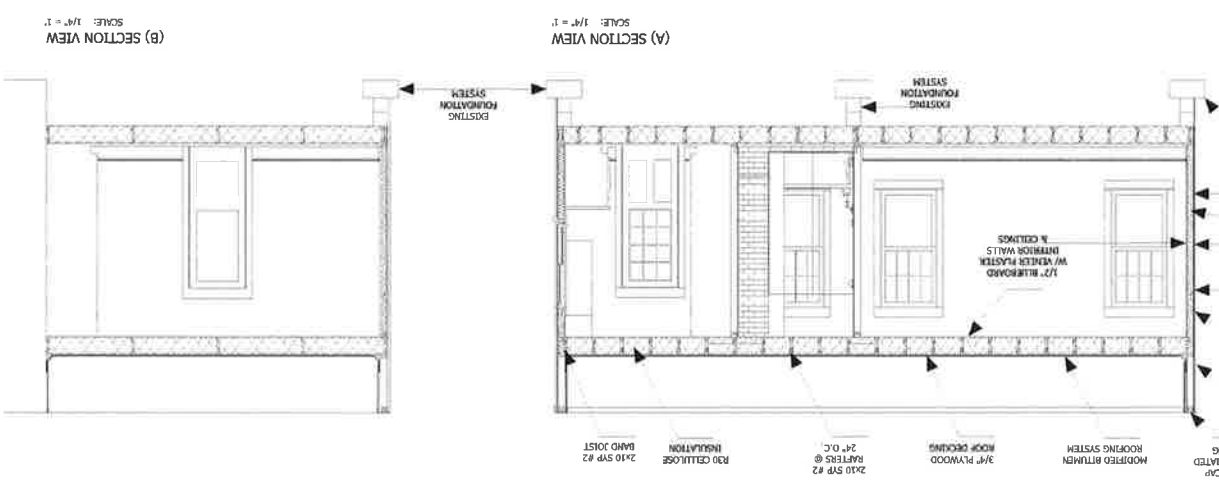
REAR PERSPECTIVE
SCALE: 1/8" = 1'



SIDE PERSPECTIVE
SCALE: 1/8" = 1'



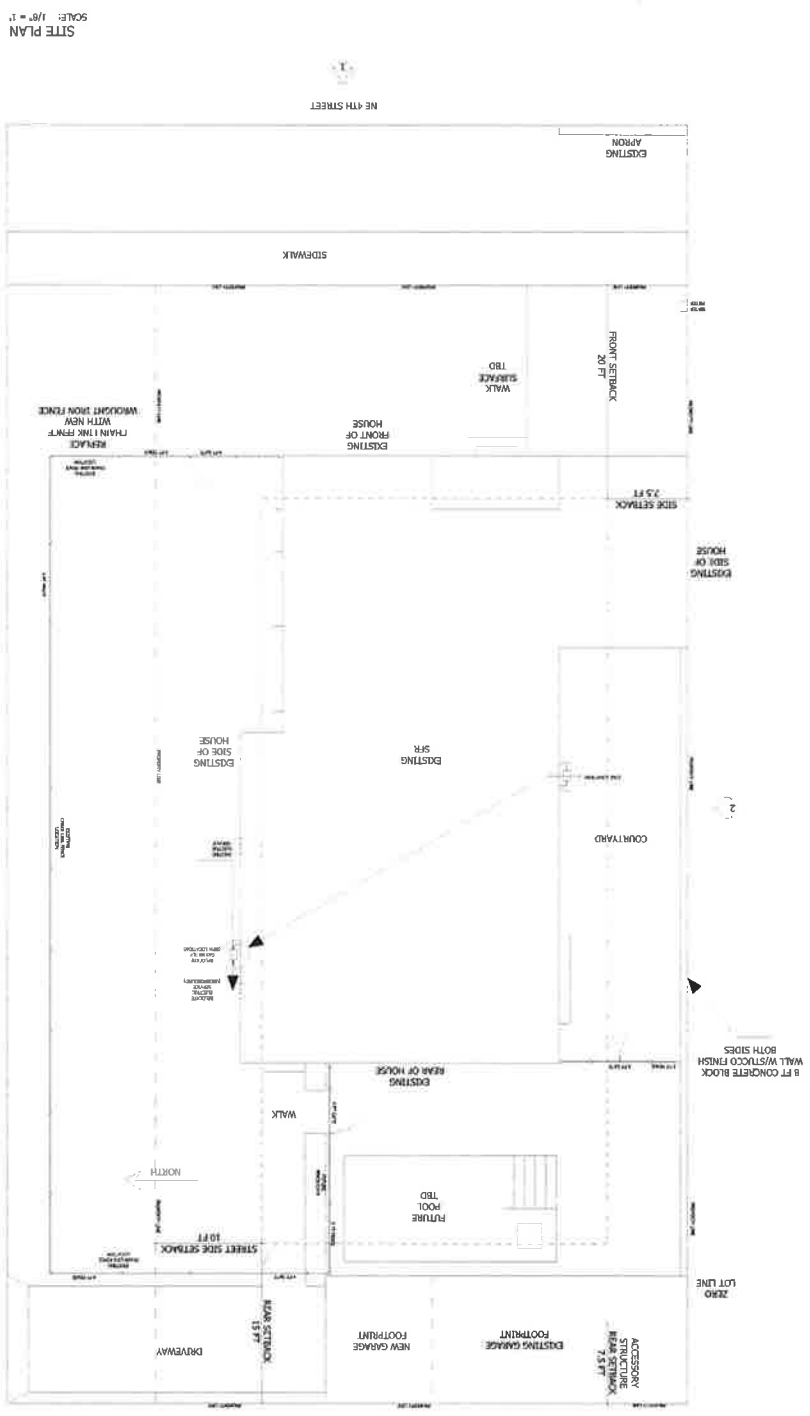
FRONT PERSPECTIVE
SCALE: 1/8" = 1'



(A) SECTION VIEW
SCALE: 1/4" = 1'

(B) SECTION VIEW
SCALE: 1/4" = 1'

- RAVANEL CAP WITH ASSOCIATED FLASHING
- ROOFING SYSTEM
- 3/4" PLYWOOD ROOF DECKING
- 2x10 SP #2 RAFTERS @ 24" O.C.
- R30 CELLULOSE INSULATION BWD JOIST
- PORTLAND CEMENT 3-COAT STUCCO Sanded Finish
- 15 LBS FST W/ WIRE LATH
- STUCCO W/WR HOUSEHOLD SHEATHING
- 3/16" OSB SHEATHING
- R13 CELLULOSE INSULATION
- 2x6 SP #2 STUDS @ 16" O.C.
- EXISTING FOUNDATION SYSTEM



SITE PLAN
SCALE: 1/8" = 1'

A3

OWNERS
MART STRAUSS & RENEE STRAUSS
1716 NE 4TH STREET
GAINESVILLE, FL 32601

EXISTING HOUSE SFT ~1790
RENOVATED HOUSE SFT ~1920
EXISTING GARAGE SFT ~240
RENOVATED GARAGE SFT ~240

PLANS FOR HPB COA
2/8/17
SUBSTANTIALLY COMPLETE

K. STRAUSS HOMES
True Livable Homes

PREPARED BY:

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PREPARED BY:

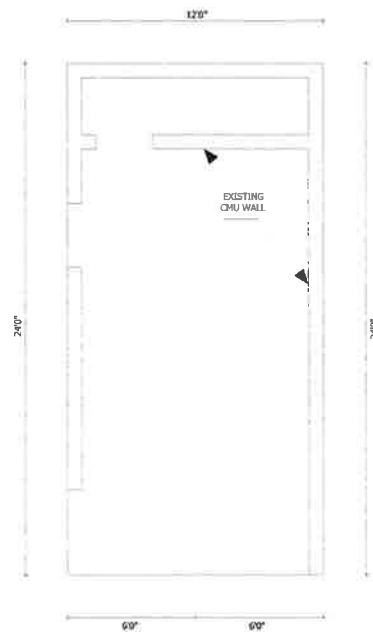
KURT STRAUSS
LIC# CBC1255601

OWNERS
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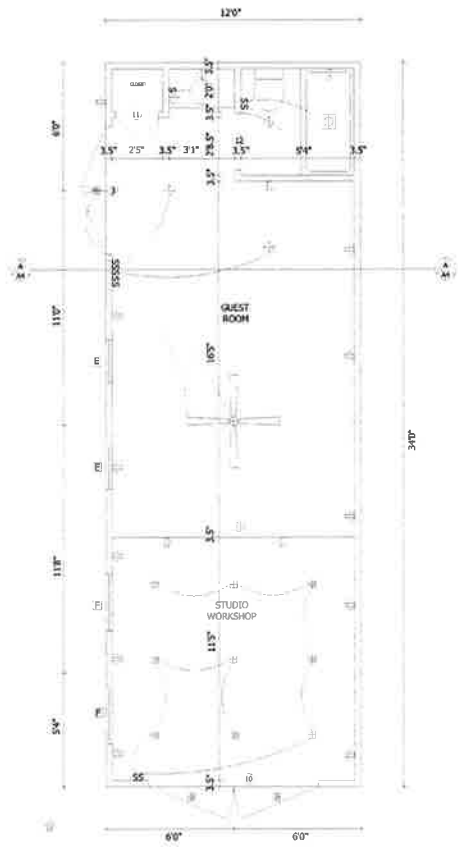
EXISTING HOUSE SFT ~1740
RENOVATED HOUSE SFT ~1520
EXISTING GARAGE SFT ~240
RENOVATED GARAGE SFT ~340

SUBSTANTIALLY COMPLETE
PLANS FOR HPB COA
2/6/17

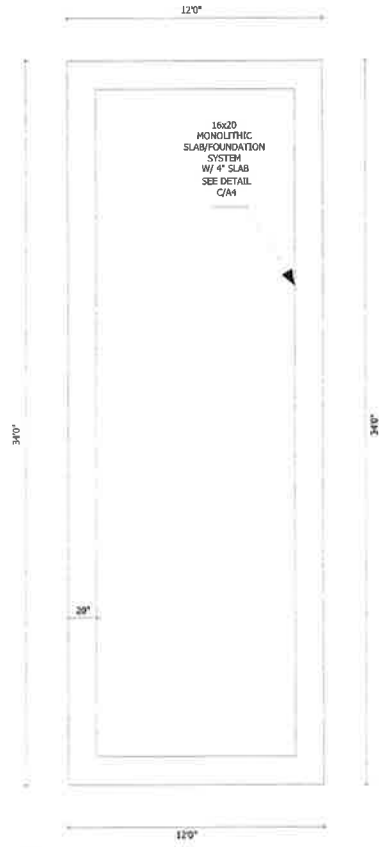
A4



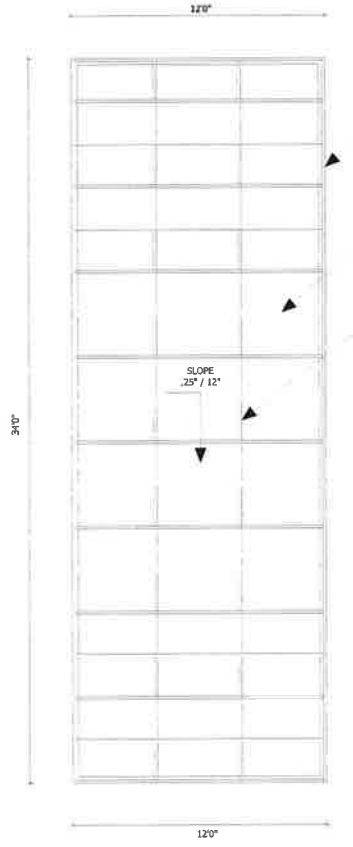
GARAGE EXISTING FLOOR PLAN
SCALE: 1/4" = 1'



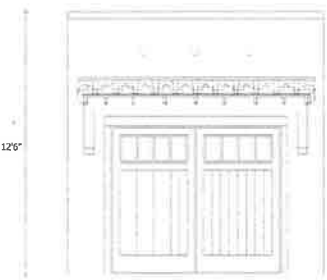
GARAGE PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'



GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'



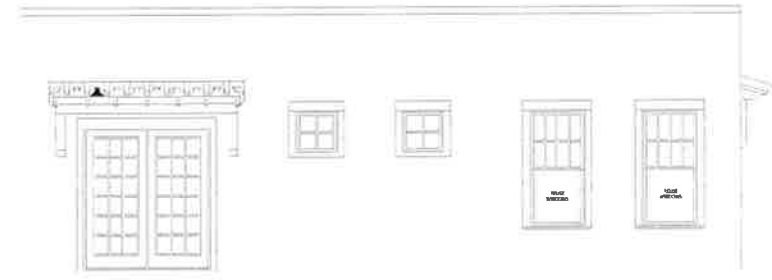
GARAGE ROOF FRAMING PLAN
SCALE: 1/4" = 1'



GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'



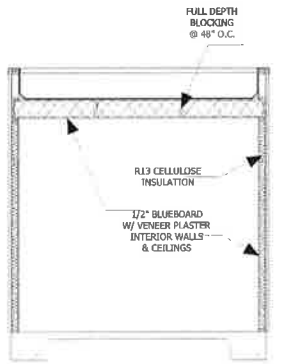
GARAGE WEST ELEVATION
SCALE: 1/4" = 1'



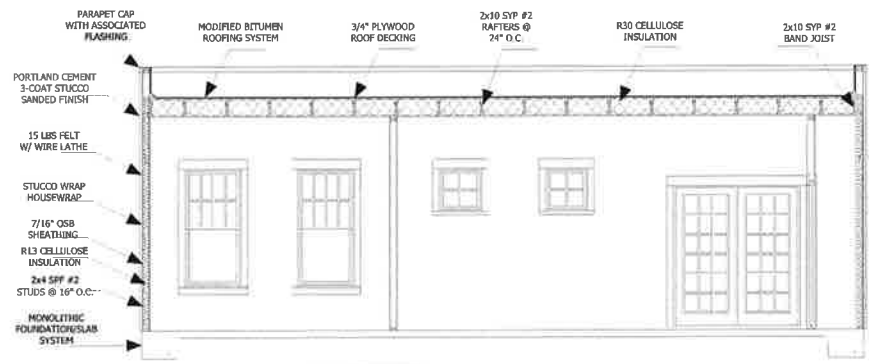
GARAGE EAST ELEVATION
SCALE: 1/4" = 1'



GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'



GARAGE (A) SECTION VIEW
SCALE: 1/4" = 1'



GARAGE (B) SECTION VIEW
SCALE: 1/4" = 1'

SEE WINDLOAD ENGINEERING FOR FURTHER DETAILS

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Planning Division
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TO: Historic Preservation Board
FROM: Department of Doing, Planning Staff

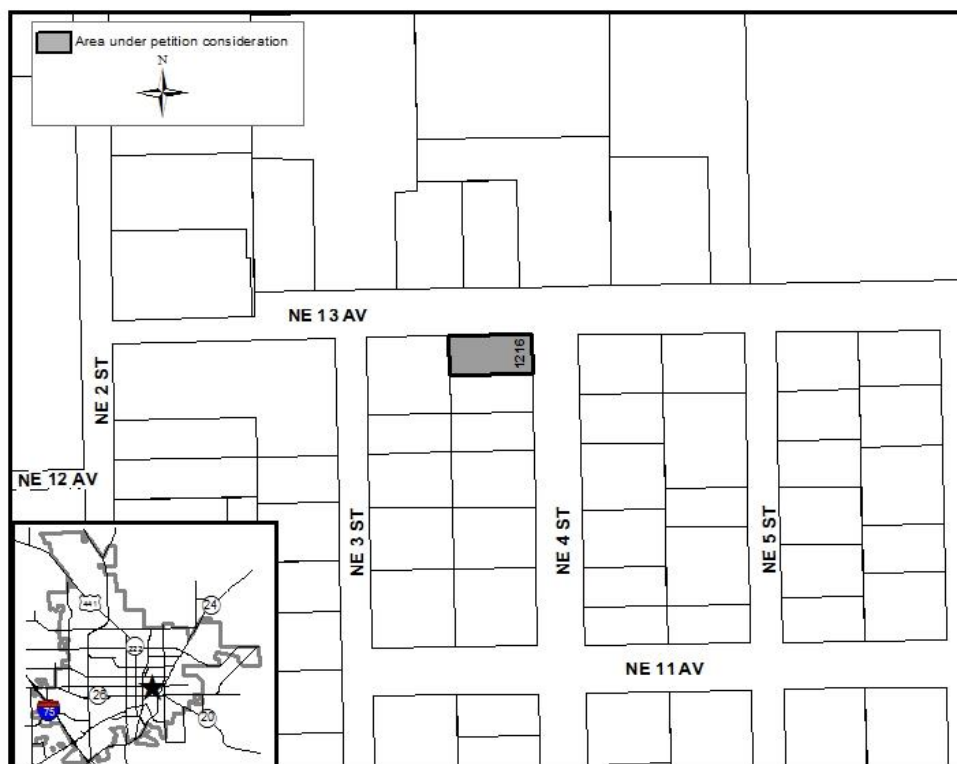
Item Number: 3
DATE: March 07, 2017

SUBJECT: **Petition HP-17-06b.** Kurt & Renee Strauss, owners. Review of proposed rehabilitation work for determination of meeting criteria for a contributing structure, and review of status change of the property from non-contributing to contributing to the Northeast Residential Historic District. Located at 1216 NE 4th Street.

Recommendation

Staff recommends approval of Petition HP-17-06b as follows:

- That the HPB makes a finding that the house is contributing to the Northeast Residential Historic District once the rehabilitation work proposed in Petition HP-17-06a is fully reviewed and approved by the HPB.
- That the HPB approve the change to the Northeast Residential Historic District map to show the house as contributing and the new accessory structure as non-contributing.
- That the HPB make a recommendation to the City Plan Board to amend the map to show the house as contributing and the new accessory structure as non-contributing.



Project Description

This petition requests that the Historic Preservation Board make a finding that the house at 1216 NE 4th Street will be contributing to the Northeast Historic District, based upon the approval of the proposed rehabilitation work.

Building History (Refer to HP-17-06a Exhibit 1 for history graphics)

“This house is a typical Florida boom house with its flat roof, stucco façade and canals. While south Florida has hundreds of houses like this one, there are relatively few in Gainesville. One builder is reported to have built the five stucco houses on this block. Each one is different from the others but they all share similar characteristics. All five are depicted on the Sanborn map, and are among the first houses built in highland Heights which was platted in 1925. This house has two projecting bays surrounding the center bay.” (Florida Master Site File, 1980)

c. 1925 constructed

c. 1928 Sanborn Map

Shows a one-story dwelling with a front porch and an attached carport. There is no rear accessory building. The five associated houses are also shown (1112, 1200, 1208 and 1212 NE 4th Street.)

c. 1950 Sanborn Map

Shows no change from the 1928 map.

c. 1950s/ 1960s photo

Shows stuccoed master bedroom addition on rear of house and car in rear “driveway.” It is assumed that the front carport was enclosed around this same time for additional living space. The concrete block accessory structure may have been constructed around this time, as the original carport had been enclosed. It is estimated the arched front door was added around this period as well.

c. 1980 FMSF photo

Shows enclosure of carport and front porch. The exterior cladding remains stucco.

c. 1997 Northeast Historic District Expansion

Lists as a non-contributing structure, likely due to its alterations and non-historic cladding. It is assumed the siding was installed in the mid- to late-1980s or 1990s, before this HD expansion. The squared-off front door could have been modified at this time as well.

Basis for Recommendation

The proposed rehabilitation work in Petition HP-17-06a will restore the house to near its original condition, both in its restoration of original materials, such as the stucco exterior, and in the installation of contemporary materials that are sensitive to the original design and appropriate for use on a contributing structure, such as the 8/1 hung windows and the arch front door. The original plan and overall form of the original building are still intact and has been retained and preserved (SOIS #2).

Further, the enclosure of the front carport and addition of the master bathroom are both significant in their own right as vestiges of mid-century change, for example, the need for a driveway or new accessory structure to fit a 1950s model car. These alterations meet the age criteria for contributing structures, 45 years. Per the SOIS, these two alterations are a physical

Petition HP-17-06b
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record of their time (SOIS #3), have acquired significance in their own right (SOIS #4) and if removed in the future, the original integrity of the property would not be impaired. (SOIS #10)

Lastly, the lasting presence of this c. 1925 house is associated with its historic context as one of the earliest built in the Highland Heights subdivision, and as one of five stucco houses on the street constructed by the same builder in the Mediterranean Revival bungalow style, all of which are contributing to the Historic District. The building possesses distinctive characteristics of the period and contributes to the historic fabric of the district.

Respectfully submitted,



Andrew Persons
Interim Principal Planner

Prepared by:



Cleary Larkin, AIA
Planner