

**ORDINANCE NO. 990734  
0-00-87**

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**An ordinance of the City of Gainesville, Florida, replacing Section 3 of Appendix A of the Land Development Code (the Special Area Plan for College Park); providing directions to the codifier; providing a severability clause; providing a repealing clause; and providing an immediate effective date.**

**WHEREAS**, the City Plan Board authorized the publication of notice of a Public Hearing that the text of the Land Development Code of the City of Gainesville, Florida, be amended; and

**WHEREAS**, notice was given and publication made as required by law and a Public Hearing was then held by the City Plan Board on December 16, 1999; and

**WHEREAS**, notice was given and publication made of a Public Hearing which was then held by the City Commission on February 14, 2000; and

**WHEREAS**, pursuant to law, an advertisement no less than 2 columns wide by 10 inches long was placed in a newspaper of general circulation notifying the public of this proposed ordinance and of a Public Hearing in the Auditorium of City Hall in the City of Gainesville, at least 7 days after the day the advertisement was published; and

**WHEREAS**, a second advertisement no less than 2 columns wide by 10 inches long was placed in the same newspaper notifying the public of the second Public Hearing to be held at the adoption stage at least 5 days after the day the advertisement was published; and

**WHEREAS**, the Public Hearings were held as advertised and the parties in interest and all others had an opportunity to be and were, in fact, heard;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF GAINESVILLE, FLORIDA:**

**D R A F T**

8-24-00

1 **Section 1.** The Special Area Plan for College Park (Exhibit "A") is hereby adopted to  
2 replace the Special Area Plan for College Park adopted by ordinance 3779, as modified  
3 (codified as Section 3 of Appendix A of the Land Development Code). The specific  
4 regulations of the Special Area Plan for College Park and the administration and  
5 enforcement of these regulations as delineated in Exhibit "A" shall be made a part hereof  
6 as if set forth in full. The area covered by the College Park Special Area Plan shall  
7 remain unchanged and is shown in Exhibit "B", which shall be made a part hereof.

8 **Section 2.** It is the intention of the City Commission that the provisions of the special  
9 area plan adopted by this ordinance shall become and be made a part of Land  
10 Development Code of the City of Gainesville, Florida, and that the Sections and  
11 Paragraphs of this ordinance may be renumbered or relettered in order to accomplish  
12 such intentions.

13 **Section 3.** If any section, sentence, clause or phrase of this ordinance is held to be  
14 invalid or unconstitutional by any court of competent jurisdiction, then said holding shall  
15 in no way affect the validity of the remaining portions of this ordinance.

16 **Section 4.** All ordinances or parts of ordinances in conflict herewith are to the extent of  
17 such conflict hereby repealed, except as stated in this ordinance.

18 **Section 5** This ordinance shall become effective immediately upon final adoption.

19  
20 **PASSED AND ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2000.  
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22

23  
24 \_\_\_\_\_  
25 PAULA M. DeLANEY  
26 MAYOR

27  
28 **ATTEST:**

Approved as to form and legality

D R A F T

8-24-00

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\_\_\_\_\_  
KURT M. LANNON  
CLERK OF THE COMMISSION

\_\_\_\_\_  
MARION J. RADSON  
CITY ATTORNEY

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This Ordinance passed on first reading this \_\_\_\_\_ day of \_\_\_\_\_, 2000.

This Ordinance passed on second reading this \_\_\_\_\_ day of \_\_\_\_\_,  
2000.

# College Park

## Special Area Plan



July 2000

EXHIBIT

A

## Definitions

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**Adjacent:** Property that physically abuts the subject property on the same side of the street.

**Arcade Building:** a building with a ground level passageway through a portion of the building. The passage is covered and lined with shops or booths. The passage may be more than one story in height with projecting balconies and walkways.

**Build-to line:** a line parallel to the property line, along which the principal plane of the building shall be built. The Build-to line is determined in relation to the property line.

**Civic:** Administrative or legislative government offices, schools.

**Expansion:** For expansions to existing structures resulting in an increase of floor area in excess of 10%, all new construction shall meet standards for new construction contained herein.

**Facade:** The principle face, front elevation, or vertical surface of a building which is set along a frontage.

**Frontage:** That side of a lot abutting a street right-of-way. When a lot abuts more than one street, it is that side that abuts the more primary street or street designed for the highest pedestrian scheme. For a corner lot, all sides abutting a street shall be considered frontage.

**Intent:** To provide standards for consistent, quality construction which will protect and enhance the stability, scale and pedestrian character of the neighborhood, and promote lasting redevelopment.

**Main Entrance:** The entrance of the building which is most architecturally prominent and contains operable doors.

47 **Maintenance:** These standards shall not be applied to regular maintenance activities including repairs necessitated by fires or natural disaster which restore the structure to its original conditions.

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53 **Mechanical Equipment:** A heating, ventilation, or air conditioning unit placed outside of a building.

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57 **Parapet:** A low, solid, protective screening or decorative wall often used around a balcony or balcony, or along the edge of a roof.

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61 **Renovations:** When renovations are valued at under 50% of the tax assessed value of the structure, only the new construction shall be made to meet these standards. When renovations are valued at 50% or more of the tax assessed value of the structure, the entire structure shall be made to meet the standards except roof expansions which are regulated specifically as contained herein.

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71 **Roof Renovation:** Roof renovations shall meet either these standards or match the existing roof structure, type and style.

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75 **Roof Expansion:** Roof expansions may meet standards or match existing roof type and material up to 100% of the existing roof area at which point entire roof will be brought into compliance with these standards.

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81 **Screening Wall:** A wall made of fieldstone, brick, stucco, wrought iron (or equivalent to wrought iron), or a combination of these materials, excluding round industrial railing and chain link. The wall shall create a visual buffer and shall be at least 25% solid.

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88 **Street Edge:** The vertical face formed by building facades, street trees, and screening walls which is aligned along a street, forming a comfortable people-scaled space.

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## Exception Criteria

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Exceptions to the architectural standards contained in this special area plan can be granted upon the finding of the appropriate reviewing board, City Manager, or designee that the proposed development activity meets both of the following criteria:

1. The proposed construction is consistent with the overall intent of the Special Area Plan and;

2. The applicant proves an undue hardship, owing to conditions peculiar to the existing structure and not the result of the action of the applicant, would result from the strict adherence to these standards because:

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- a. The structure is officially designated as historically significant and these standards conflict with standards established for the preservation of historic structures, or;
  - b. The application of these standards would result in inconsistency of proportion and scale with the existing structure, or;
  - c. The application of these standards would result in the project being made financially infeasible.

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## Effect of Classification

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1. The College Park Special Area Plan is applied as an Overlay Zoning District. If the provisions of the Special Area Plan conflict with the underlying zoning, the provisions of the Special Area Plan shall prevail. The effect of the classification is that the Special Area Plan is the implementing set of regulations. The regulations of the underlying zoning district and all other applicable regulations remain in effect and

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- are further regulated by the Special Area Plan. Where the Special Area Plan addresses a requirement, the underlying zoning shall not apply.
  - 2. The appropriate reviewing board or staff shall review development and additions for compliance with the provisions of this overlay in order to assure high quality pedestrian-oriented development in this area

# Regulations For The College Park Neighborhood Plan

4 **Sidewalks**

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6 **Intent.** Sidewalks, when properly designed and  
 7 maintained, provide the pedestrian with a  
 8 pleasant, safe, and convenient place to walk, and  
 9 mitigate traffic impacts by making the area more  
 10 walkable. They are therefore an important  
 11 public space in the Traditional City. Sidewalks  
 12 which are too narrow are inconvenient,  
 13 especially in areas with large volumes of  
 14 pedestrians, for pedestrians walking side-by-side  
 15 (which requires a minimum sidewalk width of 5  
 16 feet unobstructed), and for people using  
 17 wheelchairs. In addition, sidewalks that are too  
 18 curvilinear or that wrap around large block faces  
 19 are an impediment to pedestrian convenience.

37 with cross-access sidewalks, arcades buildings  
 38 or alleys, so that the face is no more than 480  
 39 feet.  
 40 The minimum unobstructed width shall be 2 feet  
 41 less than the required sidewalk width, as long as  
 42 at least 5 feet of unobstructed width is retained.  
 43 At transit stops, the minimum width is 8 feet  
 44 of unobstructed width. Minimum width for a  
 45 tree strip shall be 4 feet, or such other width as  
 46 may be adequate for tree placement, unless the  
 47 tree strip requirement is waived by the  
 48 appropriate reviewing board, City Manager or  
 49 designee.

21 **Standard.** All buildings or developments must  
 22 provide sidewalks along the street edge(s) of  
 23 their property. Sidewalks shall be placed to  
 24 align with existing sidewalks. Sidewalk  
 25 connections from the principal building to the  
 26 public sidewalk must be provided, and be  
 27 aligned to minimize walking distance.  
 28 Curvilinear sidewalks are not allowed unless  
 29 they are necessary to avoid significant trees,  
 30 stormwater basins, or topography, as determined  
 31 by the appropriate reviewing board, City  
 32 Manager or designee. The maximum length of a  
 33 block face shall be 480 feet, unless shortened

50  
 51 In order to maintain a consistent street edge of  
 52 adjacent buildings, the appropriate reviewing  
 53 board, City Manager or designee may modify  
 54 the required sidewalk width and the tree strip  
 55 width in order to achieve the above-stated intent.  
 56 In areas where a sidewalk pattern as to materials  
 57 and width has been adopted, the appropriate  
 58 reviewing board, City Manager or designee can  
 59 allow the pattern to be continued by each new  
 60 development. If the sidewalks installed are less  
 61 than the minimums provided above, sufficient  
 62 space shall be provided in order for these  
 63 minimum sidewalk widths to be added in the  
 64 future.

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67 **Minimum Sidewalk widths**

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Multi-Family Residential/Industrial	
Street Classification	Sidewalk Width
Local	6 feet
Collector	7 feet
Arterial	7 feet

Commercial/Institutional Office/Mixed Use	
Street Classification	Sidewalk Width
Local	7 feet
Collector	8 feet
Arterial	12 feet



1 **Build-to Line**

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3 **Intent.** The intent of a build-to line is to pull  
4 the building façade close to the street and  
5 streetside sidewalk. By doing so, building  
6 facades along a block face will be aligned to  
7 form a street edge that frames the public realm,  
8 while retaining sufficient width for people to  
9 walk, and sufficient space to provide formal  
10 landscape created by street trees. The street  
11 edge shapes the public realm to provide a sense  
12 of comfort and security for the public space. The  
13 build-to prevents overly large setbacks. Overly  
14 large setbacks are inconvenient and unpleasant.  
15 They increase walking distances from the public  
16 sidewalk. They prevent the pedestrian on the  
17 public sidewalk from enjoying building details  
18 and activity within the building. Similarly,  
19 overly large setbacks contribute to sign  
20 proliferation and visual blight because a  
21 building set back a large distance often needs to  
22 “shout,” with signs, at passing motorists and  
23 transit users, bicyclists, and pedestrians in order  
24 to be noticed. Buildings pulled up to the street  
25 sidewalk have more of a human scale, and allow  
26 for the construction of canopies which create

27 shade and shield the pedestrian from wet  
28 weather.

29  
30 In general, the goal of a commercial build-to  
31 line should be that the width of the street  
32 corridor (as measured by opposing building  
33 facades) and the height of the buildings shall be  
34 at least a ratio of 1:1 to 3:1. (The width should  
35 be no more than three times the height. When  
36 the building across the street is not properly  
37 pulled up to the street, the desired ratio is 1.5:1  
38 as measured from the street centerline.

39  
40 **Standard.** A build-to line range is specified by  
41 building lot type.

42  
43 Stoops, stairs, chimneys, and bay windows are  
44 allowed to extend beyond the build-to line as  
45 long as they do not exceed more than 25 percent  
46 of the front façade. Open porches, projecting  
47 signs, balconies, arcades, awnings and outdoor  
48 cafes may also extend beyond the build-to line.  
49 However, at least 5 feet of unobstructed  
50 sidewalk width and room for any required tree  
51 strip must be retained.

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56 **Building Additions**

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58 **Intent.** Building additions shall be in keeping  
59 with the Special Area Plan. The primary  
60 structure on the site shall be classified into one  
61 of the Building Type categories by City staff.  
62 The building addition shall then follow the  
63 requirements as described for the appropriate  
64 Building Type or standards set by City staff.

65  
66 **Standard.** Additions should be in keeping with  
67 the architectural style of the existing structure.  
68

- 69 • Exterior walls should be of the same or  
70 compatible material and finish as the  
71 existing structure.
- 72 • Windows should have a similar proportion  
73 and style of mullions as the windows of the  
74 existing structure.

75  
76 New roof additions should be a similar material  
77 to the existing roof.



1 **Façade Requirements**

2  
 3 **Intent.** Well designed building facades can  
 4 encourage pedestrian activity, and improve  
 5 safety and visual appearance.  
 6  
 7 **Standard.** Building façades shall have  
 8 windows, sills, lintels, expression lines and a  
 9 cornice. The front façade of the building is also  
 10 required to have its primary entrance face the  
 11 street.  
 12  
 13 Expression lines are required on stucco and  
 14 brick buildings.  
 15  
 16 “Main Street” Shopfront buildings do not  
 17 require sills or lintels on first floor windows that  
 18 display merchandise.

19 On attached building types such as Shopfront  
 20 buildings or Rowhouses, the sides located on  
 21 interior property lines do not require windows,  
 22 expression lines, or cornices.  
 23

24 On detached building types, windows are  
 25 required on sides of all structures set back  
 26 greater than 3 or more feet from the side  
 27 property line. A minimum of 10 % glazing is  
 28 required.  
 29

30 Detailed façade requirements are specified in the  
 31 building types. City staff may further define  
 32 building façade requirements.  
 33  
 34

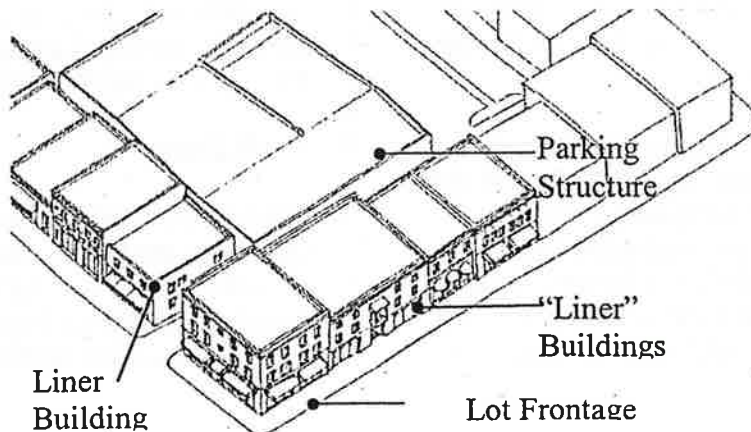
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37 **Structured Parking Lot Placement**

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 39 **Intent.** Parking structures shall not be visible  
 40 from a frontage street.  
 41  
 42 **Standard.** Parking structures shall be set back a  
 43 minimum of 40 feet from the property lines of  
 44 all adjacent streets. “Liner buildings” shall be  
 45 placed between parking structures and the lot  
 46 frontage. The liner building shall have a height  
 47 greater than or equal to the parking structure.  
 48 Liner buildings shall be no less than two stories  
 49 or 34 feet in height. Liner buildings may be  
 50 detached from or incorporated into parking  
 51 structures. A point of entry is allowed on side  
 52 streets.  
 53 When it is determined that the size of the parcel  
 54 would prohibit the development of a liner  
 55

56  
 57 building between the parking structure and the  
 58 lot frontage of all adjacent streets, the liner  
 59 building must be placed along the more primary  
 60 street frontage and along other frontages only  
 61 where feasible. The more primary street shall be  
 62 determined by the Community development  
 63 staff and approved by the appropriate reviewing  
 64 board. Building facade landscaping  
 65 enhancements will be required on all other  
 66 frontages to ensure that there will be no blank  
 67 walls along street frontages. In instances where  
 68 full-height liner building are infeasible, the liner  
 69 may be limited to first-floor retail, office or  
 70 residential use (as appropriate under applicable  
 71 zoning).

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1 **Off-Street Parking Requirements** 27  
 2 28  
 3 **Parking Mitigation.** The minimum off-street 29  
 4 parking requirement may be mitigated by the 30  
 5 amount of on-street parking directly abutting 31  
 6 each parcel proposed for development. This 32  
 7 provision shall encourage a reduction of off- 33  
 8 street paving and result in better use of the 34  
 9 property, thus encouraging redevelopment. 35  
 10 36  
 11 **Parking Requirements.** Except as provided for 37  
 12 herein, design requirements for vehicle and 38  
 13 bicycle parking shall be in accordance with 39  
 14 Article IX of the City of Gainesville Land 40  
 15 Development Regulations. Parking may be 41  
 16 provided within 600 feet of the building. 42  
 17 43  
 18 A. **Multiple-family dwelling.** The number 44  
 19 of off-street vehicle and bicycle parking 45  
 20 spaces required for multiple-family 46  
 21 dwellings located in the Special Area 47  
 22 Plan shall be as stipulated in this 48  
 23 section. For the purposes of this section, 49  
 24 multiple-family is as defined in the City 50  
 25 of Gainesville Land Development 51  
 26 Regulations.  
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**Automobiles**

- Minimum—one parking space per two bedrooms
- Maximum—one parking space per bedroom
- Excess—none allowed

**Bicycles**

- Minimum—one bicycle parking facility per two bedrooms

- B. Non-residential uses. No minimum number of parking spaces required except as provided herein.

Note: Back-out parking repealed by Ordinance 960426 on 2/17/97.

**Landscape Standards**

**Total Number of Trees Required**

Developing or redeveloping properties are required to provide shade trees based on the lot's private outdoor space. The property owner is also required to improve the adjacent public right-of-way to the standard set by the Special Area Plan and City Manager or designee.

Three trees including at least 2 shade trees are required for every 1,200 square feet of private outdoor space on the lot.

Parking lots other than single-family driveways shall meet the landscape requirements specified in the Land Development Code. Street buffer yards requirements specified in the Land Development Code shall also be met. Spacing of street trees shall be as set forth below. The front buffer requirements may be modified or

reduced if the build-to line established by the City Manager or designee or the appropriate reviewing board precludes or reduces the front buffer area. Tree spacing shall be in accordance with the right-of-way planting requirements rather than the underlying buffer requirements.

Existing trees on the lot and on the adjacent swales may count toward the total number of trees required. The City Manager or designee shall approve which existing trees may count towards the total required trees.

**Street Trees**

Street trees intended to provide pedestrian shade shall be located in the right-of-way swale or near the sidewalk on the private property. The City prefers street trees between curb and sidewalk but recognizes that utilities or space constraints

1 may dictate that street trees shall, in some cases,  
2 be required instead on private property behind  
3 the sidewalk.

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5 Commercial and mixed-use streets (such as  
6 University Avenue) shall have shade trees  
7 planted with an average spacing of 45 35 feet on  
8 center. Trees are not required when arcades and  
9 colonnades are present.

10  
11 Residential Streets shall have shade trees planted  
12 an average spacing of 30 feet on center.

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29 **Mechanical equipment**

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31 **Intent.** Mechanical equipment, when  
32 improperly located on a site or improperly  
33 screened, can contribute to noise problems and  
34 create visual blight.

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36 **Standard.** All mechanical equipment must be  
37 placed on the roof, in the rear or side of the

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13 **Quality of Trees**

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15 All trees planted shall be Florida Grade #1 or  
16 better, at least 10 feet tall with a trunk caliper of  
17 at least 2 inches in a 25-gallon container.  
18 Species must be chosen from the list of trees in  
19 the Approved Tree List in the Land  
20 Development Code. Each shade tree shall have  
21 a minimum root area of 140 square feet at or  
22 below grade. The minimum root space  
23 requirement can be met by using soil materials  
24 that are engineered to accommodate root growth  
25 under hardscape.

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42 building, or otherwise visually screened from the  
43 street. In no case shall mechanical equipment be  
44 allowed along street frontage(s). (see Figure 19)  
45 Mechanical equipment on the roof shall be  
46 screened from abutting streets with parapets or  
47 other types of visual screening  
48  
49

1 **Trash Dumpsters receptacles**

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3 **Intent.** Trash dumpsters receptacles shall be  
4 provided without compromising the quality of  
5 the street. Trash dumpsters shall not be visible  
6 or malodorous to pedestrians.  
7

8 **Standard.** All trash dumpsters receptacles must  
9 be placed in the side or the rear of the building.  
10 Trash dumpsters shall not be visible from the  
11 street. Trash dumpsters receptacles shall be  
12 visually screened from the street. Screening  
13 such as decorative walls or fencing shall be tall  
14 enough to buffer dumpsters receptacles from  
15 view. Screening shall be a maximum height of  
16 7 feet.  
17

18 Note: Type I and Civic lots are located on  
19 blocks that are only one lot deep. This creates a  
20 fronts and backs problem where buildings have  
21 two street frontages. Trash dumpsters  
22 receptacles shall be accessed from the rear of the  
23 building, or the secondary frontage. Type I and  
24 Civic buildings that face the street on two sides  
25 are encouraged to locate trash dumpsters  
26 receptacles in the side yard.  
27

28 The sharing of a common location for the  
29 storage of trash for several buildings or  
30 businesses is acceptable.  
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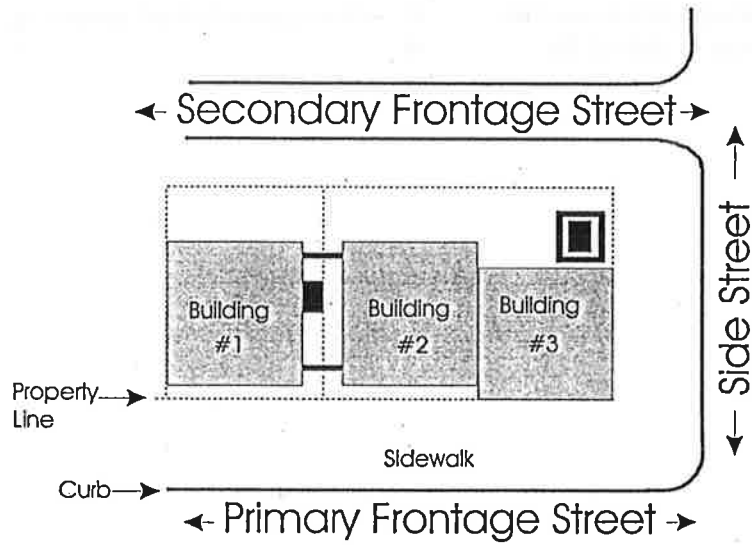
32 "Trash Shacks," a sealed and cooled self-  
33 compacting container, may be used.  
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60 *Buildings #1 and 2 are sharing a side yard for the storage of trash receptacles. They have placed a*  
61 *decorative gate and fence between the two buildings.*

62  
63 *Building #3 has no side yard, the trash dumpster is away from the property line and is hidden from the*  
64 *street by a decorative fence.*

65

1	Signs	51	
2		52	4. The maximum height of ground mounted signs shall be 8 feet for Type I and Type IV development and five feet for Type II and Type III development.
3	Signs shall be regulated by both these	53	
4	regulations and Article IX, Division 1: Signs	54	
5	Regulations, in the Land Development Code.	55	
6	Where there is conflict between Article IX and	56	
7	these regulations, these regulations shall prevail.	57	5. Maximum Sign Area shall be measured by using the largest surface area viewable at one time from any one direction parallel to the ground. Lots with frontage on two or more streets may have an additional 50 percent of secondary sign area, contained in a single sign located on the secondary building frontage. The following maximum standards shall apply:
8		58	
9	1. Signs may be externally illuminated.	59	
10	Signs must be constructed of the	60	
11	following materials and may not be	61	
12	painted directly on walls.	62	
13		63	
14	a. fabric	64	
15	b. wood	65	
16	c. material other than plastic with a	66	
17	wood-like appearance	67	
18	d. unpainted stone	68	
19	e. unpainted brick	69	
20	f. stucco-finished material	70	
21	g. cast- or hand-wrought iron, bronze,	71	
22	brass or other material (except	72	
23	plastic) having the appearance of	73	
24	cast- or hand-wrought iron, brass or	74	
25	bronze.	75	
26	h. stained glass (with an uncolored	76	
27	clear plastic or protective acrylic	77	
28	covering - may be internally	78	
29	illuminated)	79	
30	i. neon (including individual channel	80	
31	letter neon signs that are internally	81	
32	illuminated.)	82	
33	j. lettering on transparent windows or	83	
34	doors	84	
35	k. neon strip lighting in accordance	85	
36	with Section 30-316(d)(2) of the	86	
37	Land Development Code.	87	
38		88	
39	2. Roof mounted signs are prohibited.	89	
40		90	
41	3. Ground mounted signs must be placed a	91	
42	minimum of 10 feet from the side	92	
43	property line and must be placed outside	93	
44	of the vision triangle. Only one ground-	94	
45	mounted sign is allowed per	95	
46	development.	96	
47		97	
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a. Type I (MU-1) single-occupancy development:

Ground-mounted:  
16 square feet

Each single-occupancy development may display up to two wall-mounted signs on the side of the development facing its primary street frontage. The total wall-mounted sign area shall be equivalent to 10 percent of the surface area of the building at the street frontage or 100 square feet, whichever is smaller. Only one building side will be considered as being the building's primary street frontage.

b. Type I (MU-1) multiple occupancy development:

Ground-mounted:  
16 square feet for the development as a whole

Each occupant of a multiple-occupancy development may display up to two wall-mounted signs on the portion of the building which is included as part of the occupant's individually leased or owned premises. The sign must be

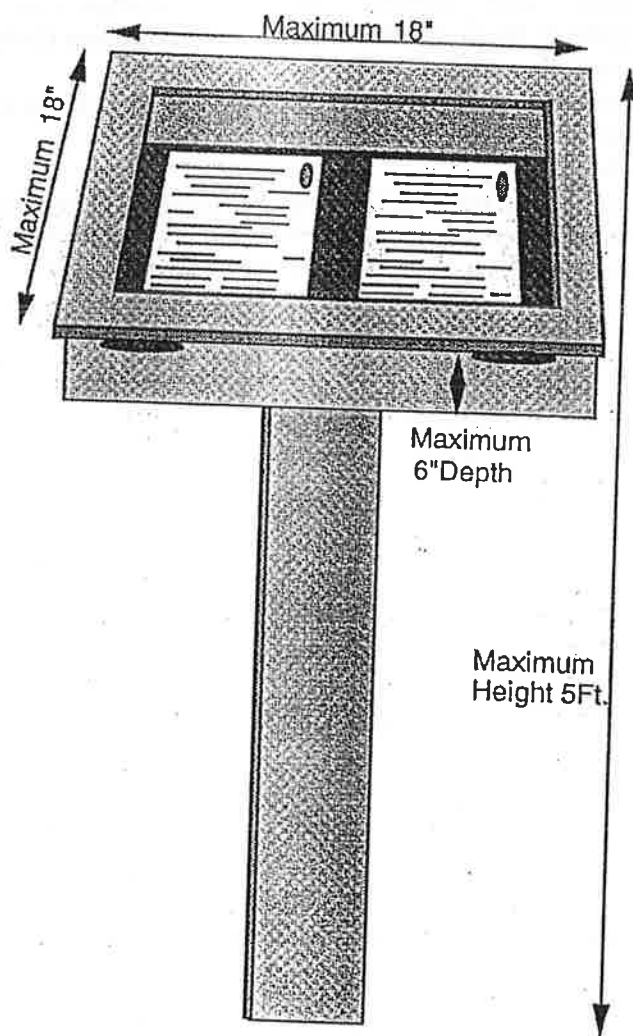


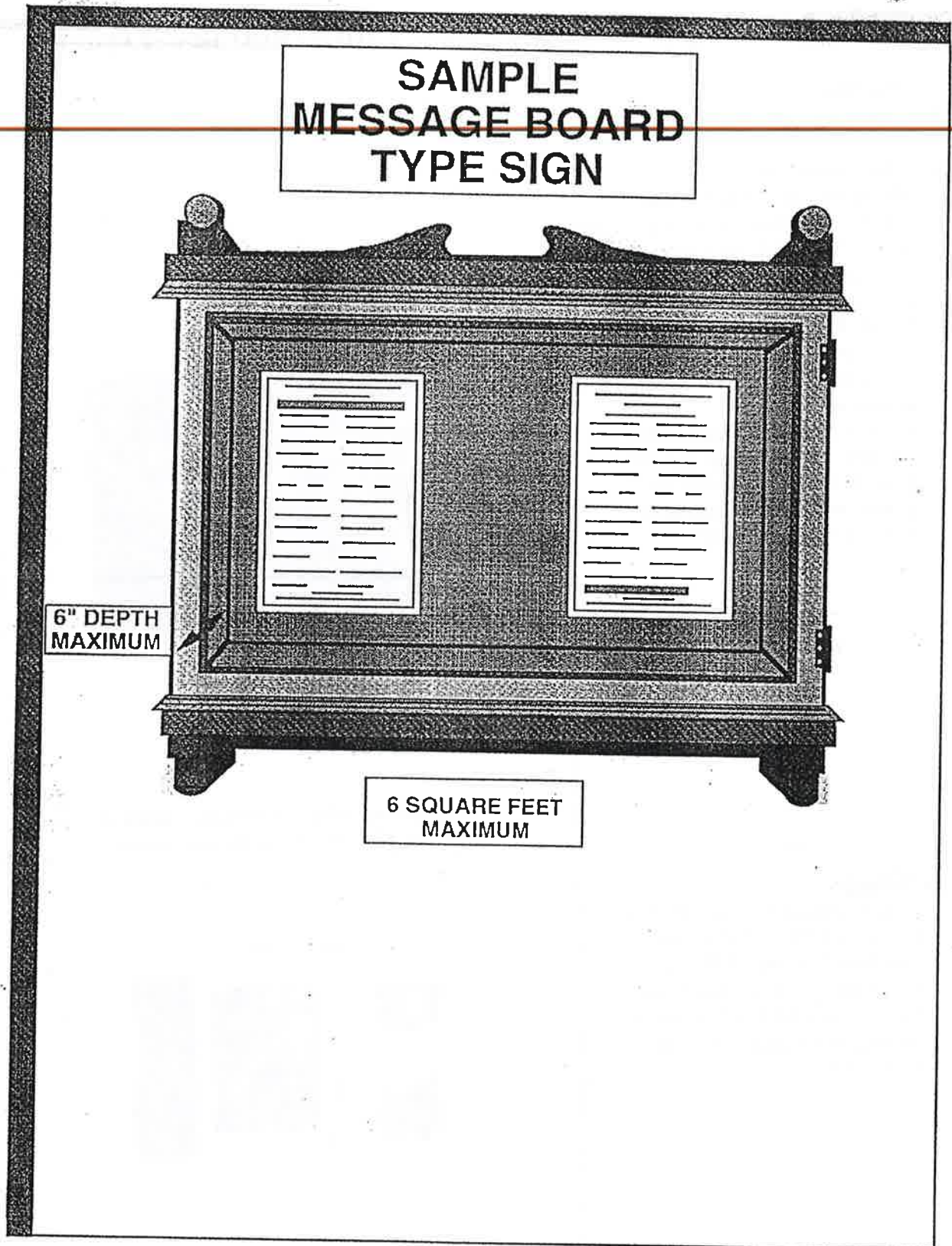
1	placed on the side which is the	52	sign, up to a maximum of 6 square feet
2	primary entrance/exit. The total	53	in sign area, in lieu of one of the
3	sign area for wall-mounted signs	54	allowable wall-mounted signs.
4	shall be equivalent to 10 percent of	55	Projecting signs must be constructed
5	the surface area of the exterior wall	56	entirely of a non-combustible material.
6	which is the primary entrance/exit to	57	The projection may extend over public
7	the occupancy or 100 square feet,	58	right-of-way. At least a 9-foot vertical
8	whichever is less. In addition, each	59	clearance must be maintained above
9	unit shall be allowed one under-	60	public right-of-way or any pedestrian
10	canopy sign with a maximum	61	walkway; otherwise the vertical
11	vertical height of one foot and a	62	clearance must be 8 feet above grade.
12	maximum width of three feet. An	63	The projection may not extend more
13	under-canopy sign shall be defined	64	than 4 feet horizontally from a wall. Its
14	as a sign suspended beneath a	65	outside edge must be at least 2 feet from
15	canopy, ceiling, roof, or marquee.	66	an imaginary line drawn perpendicular
16	The under-canopy sign must	67	to the curb when the sign projects over
17	maintain a vertical clearance of 9	68	public right-of-way. The sign may not
18	feet over any pedestrian walkway or	69	intrude on the vision triangle.
19	public right-of-way.	70	
20		71	8. Pedestrian-oriented signs shall be
21	c. Multifamily Type II (RMU)	72	allowed for businesses to attract
22	development: 12 sq. ft.	73	pedestrian traffic. A pedestrian-oriented
23		74	sign may be used to advertise changing
24	d. Civic buildings shall be allowed	75	specials such as food items, menus or
25	signage in keeping with their zoning	76	other promotions; and shall only be used
26	designation and consistent with the	77	to advertise products or services
27	standards established above.	78	available or for sale at the site where the
28		79	sign is located. The allowable sign area
29	6. Each single-occupancy development	80	for pedestrian-oriented signs shall not be
30	may have one projecting sign, up to a	81	counted against the total allowable sign
31	maximum of 6 square feet in sign area,	82	area for a development or business. A
32	in lieu of one of the allowable wall-	83	permit must be obtained for pedestrian-
33	mounted signs. Projecting signs must be	84	oriented signs.
34	constructed entirely of a non-	85	
35	combustible material. The projection	86	a. <i>Permitted number of signs.</i> Each
36	may extend over public right-of-way.	87	single-occupancy development and each
37	At least a 9 foot vertical clearance must	88	occupant of a multiple-occupancy
38	be maintained above public right-of-way	89	development may display either one
39	or any pedestrian walkway; otherwise	90	message-board sign or one pedestal-type
40	the vertical clearance must be 8 feet	91	sign.
41	above grade. The projection may not	92	
42	extend more than 4 feet horizontally	93	b. <i>Pedestal-type signs.</i>
43	from a wall. Its outside edge must be at	94	Figure 1 illustrates the sample
44	least 2 feet from an imaginary line	95	pedestal-type sign.
45	drawn perpendicular to the curb when	96	
46	the sign projects over public right-of-	97	1. The maximum height of a
47	way. The sign may not intrude on the	98	pedestal-type sign is 5 feet.
48	vision triangle.	99	2. Pedestal-type signs shall be
49		100	permanently mounted in the
50	7. Each occupant of a multiple-occupancy	101	ground, and shall not be
51	development may have one projecting	102	placed in the public right-

1		of-way or any pedestrian	21		
2		walkway.	22		
3		3. Pedestal-type signs shall	23		3. Message-board signs may
4		have a maximum sign	24		be mounted in a protective
5		length and width of 18	25		frame with a covering of up
6		inches, for a maximum sign	26		to 6 inches deep; and may
7		area of 2.25 square feet.	27		project into the public right-
8		4. Pedestal-type signs may be	28		of-way by 6 inches.
9		internally illuminated.	29		4. Message-board signs may
10			30		be internally illuminated.
11	c.	<i>Message-board signs, including</i>	31	9.	Non-conforming signs must be made to
12		<i>chalk boards and bulletin</i>	32		conform with these regulations when a
13		<i>boards.</i> Figure 2 illustrates the	33		change of use (according to the Standard
14		sample message-board sign.	34		Building Code) occurs.
15		1. The maximum area of a	35	10.	Fabric signs may be internally lit only.
16		message-board sign is 6	36		
17		square feet.	37		
18		2. Message-board signs must	38		See Figure #1 (Sample Pedestal-Type Sign) and
19		be mounted on a wall, door,	39		Figure #2 (Sample Message Board Type Sign) on
20		or window of a business.	40		next page.



# SAMPLE PEDESTAL-TYPE SIGN





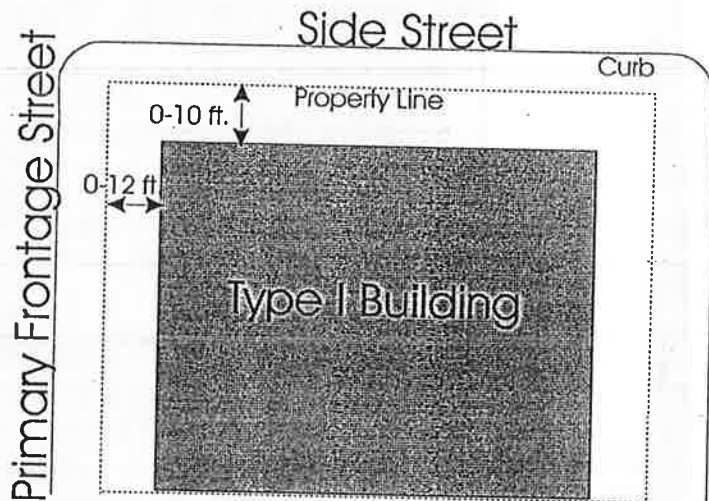
# Urban Regulations For New Construction - Type I

## Instructions

This building type includes shopfronts, offices, apartments or townhouses.

### Building Placement

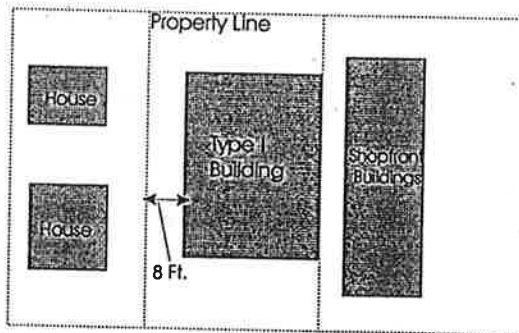
1. Shopfront and Office buildings 0 ft. to 12 ft. from the front property line, 0 ft. to 10 ft. from the side street property line. The City Manager, designee or appropriate board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. In cases where the block is only one lot deep, new buildings should be oriented towards the street of greater hierarchy, known as the Primary Frontage Street.



Min. build-out 80% for primary frontage street;  
Minimum 70% build-out for rear street

### Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Offices, Townhouses or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Offices, Apartments or Houses.

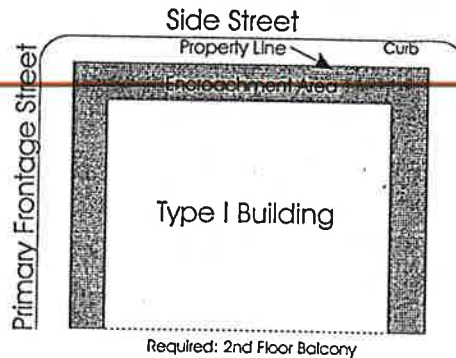


1

Urban Regulations For New Construction - Type I (Continued)

**Encroachments**

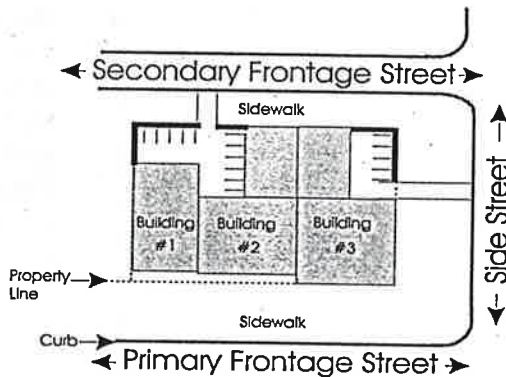
1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. For encroachment into right-of-way, permission is required from public entity responsible for right-of-way.



2

**Parking**

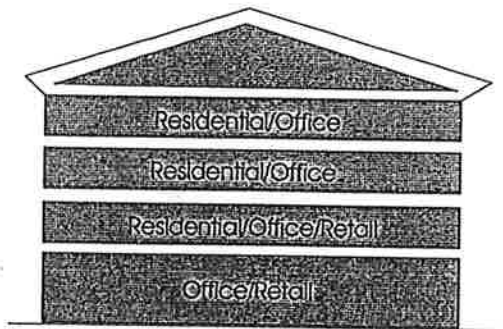
1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner. On mid-block lots, driveways may occur on either frontage streets or rear streets.



3

**Building Use**

1. Allowable uses are those permitted in the MU-1 zoning district of the Land Development Code (Chapter 30).
2. New construction or expansion of drive-throughs is prohibited within the Special Area Plan Area. Existing drive-throughs shall be allowed as non-conforming uses, as regulated by Sec. 30-346 of the Land Development Code.

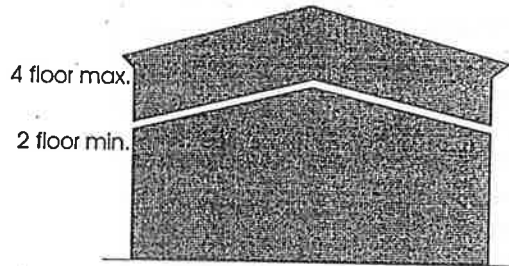


4

Urban Regulations For New Construction - Type I (Continued)

**Building Height**

1. Specific heights shall be measured relative to the fronting street elevation and a specified point as shown here.
2. Minimum and maximum building height shall be measured in number of floors. Ground floors may be up to 16 ft. floor to ceiling height. All other floors may be up to 12 ft. floor to ceiling height.



1

**Building Frontage**

1. Maximum building frontage for Shopfront and Office Buildings is 80 ft.

**Garden Walls & Fences**

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when walls built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary, the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
  - 30 in. min. height for all fences, garden walls & hedges
  - 42 in. max. along public rights-of-way, including alleys
  - 72 in. max. along all other property lines.

2  
3



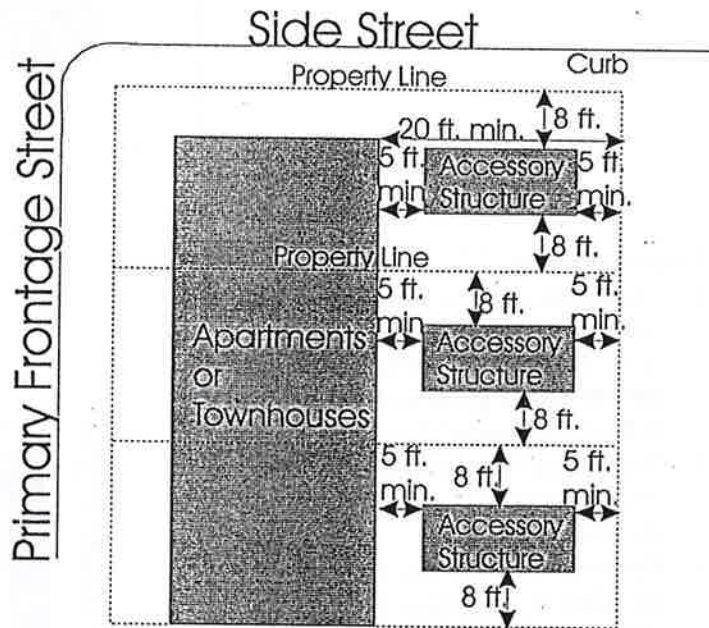
# Urban Regulations For New Construction - Type II

## Instructions

This building type includes houses, apartments or townhouses.

### Building Placement

1. Townhouses and Apartments - -  
10 ft. to 20 ft. from the front property line, 5 ft. to 10 ft. from the side property line. The City Manager, designee or appropriate reviewing board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. Houses - -  
5 ft. to 25 ft. from property line, 5 ft. to 10 ft. from the side property line. City staff shall set Build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
3. Accessory structures shall be a minimum of 5 ft. from rear property line and 8 ft. from side property line.



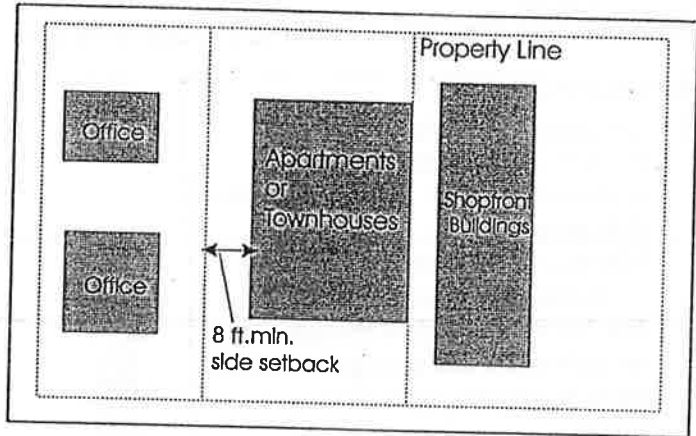
Minimum frontage build-out	90%
Corner Lot	70%

6

1  
2 **Urban Regulations For New Construction - Type II (Continued)**

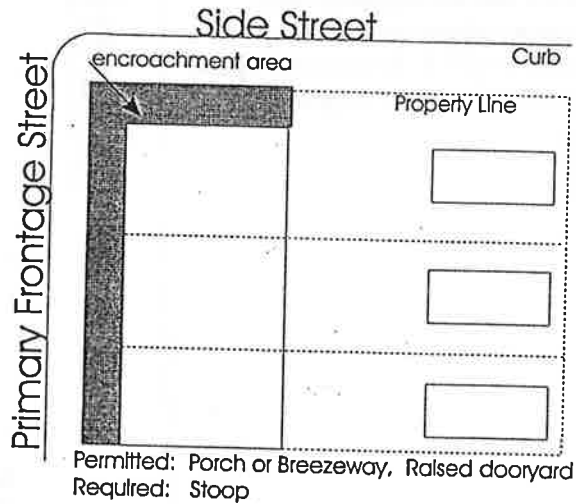
**Side Setback**

1. No side setback is required when next to existing or designated Shopfront buildings, Offices, Townhouses, or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.



3 **Encroachments**

1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. For encroachment into right-of-way, permission is required from public entity responsible for right-of-way.



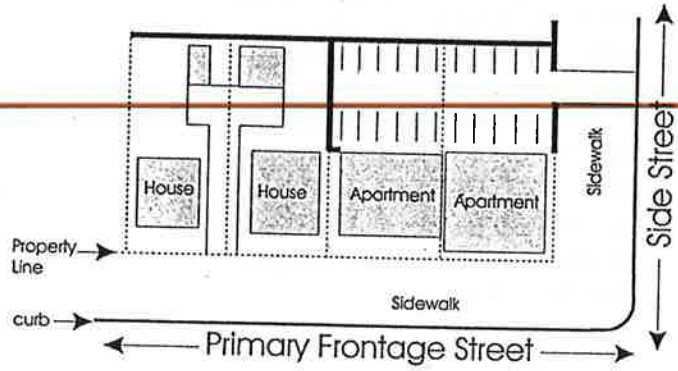
4



1 Urban Regulations For New Construction - Type II (Continued)

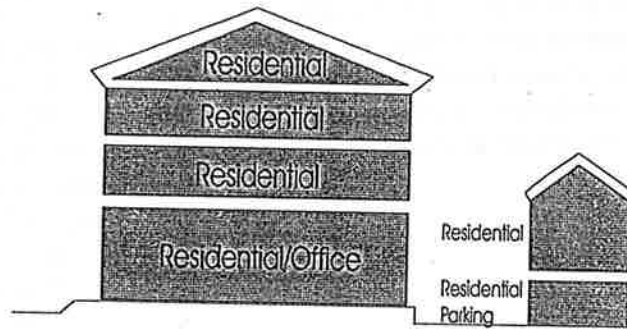
**Parking**

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner.



**Building Use**

1. Uses permitted within the buildings shall be as shown here. Accessory civic uses are allowed when customarily and clearly incidental.
2. The office use shall not exceed 3 employees.
3. Up to 25% of any ground floor apartment may be used by its residents for any permitted OR use as long as the total of the OR uses in the complex does not exceed 10% of the square footage of the complex.

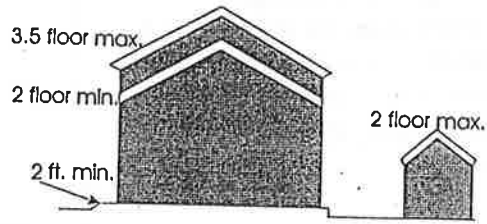


2

1 Urban Regulations For New Construction - Type II (Continued)

**Building Height**

1. Heights shall be measured relative to the fronting street elevation. The 2 ft. minimum shown in the diagram shall be the minimum distance above the street elevation for setting the principal structure. Minimum and maximum building height shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.



2

**Building Frontage**

1. Maximum building frontage for Houses is 45 ft.
2. Maximum building frontage for Apartments is 55 ft. for any individual building.
3. Maximum building frontage for Townhouses is 35 ft. for any individual building.

**Garden Walls & Fences**

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
  - 30 in. min. height for all fences, garden walls & hedges
  - 42 in. max. along public rights-of-way, including alleys
  - 72 in. max. along all other property lines.

3

# Urban Regulations For New Construction -Type III

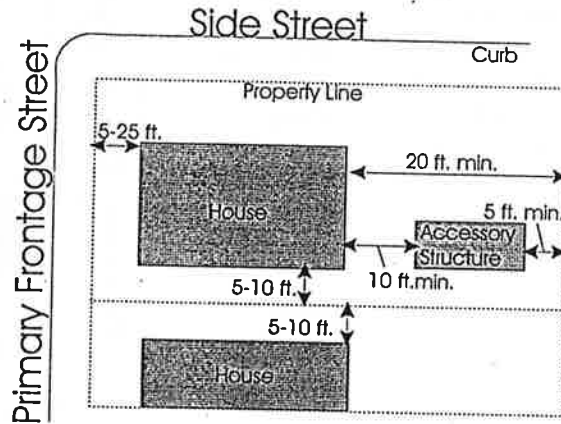
1  
2  
3  
4  
5

## Instructions

This building type includes houses.

### Building Placement

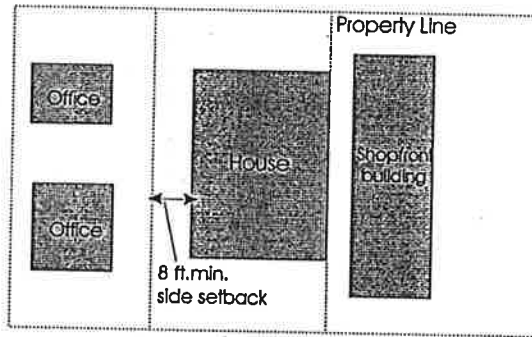
1. Houses --  
5 ft. to 25 ft. from property line, 5 ft. to 10 ft. from the side property line, except as specified under side setback section below. The City Manager, designee or appropriate reviewing board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. Accessory structures shall be a minimum of 5 ft. from rear property line and 5 ft. from side property line.



6  
7

### Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Townhouses, Offices or Civic buildings.
2. Minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.



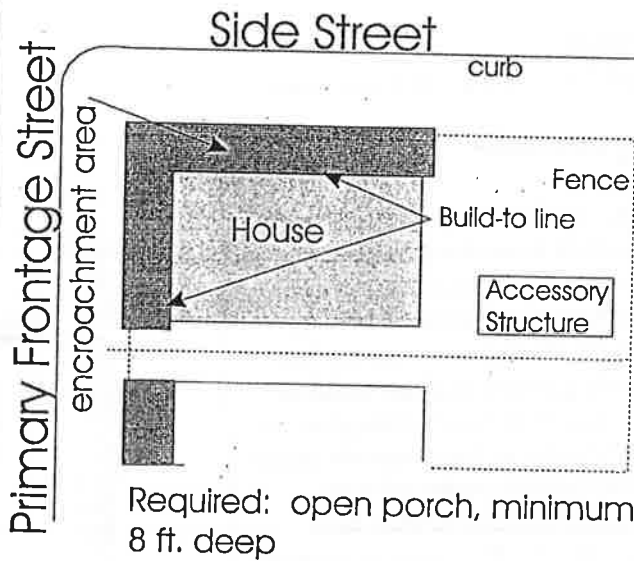
8

1

Urban Regulations For New Construction -Type III (Continued)

**Encroachments**

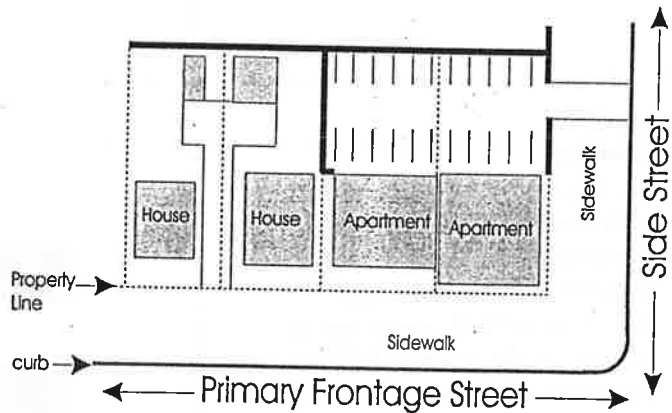
1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line. Permission is required from public entity responsible for right-of-way.



2

**Parking**

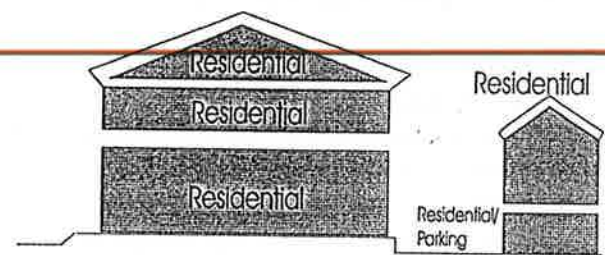
1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner.



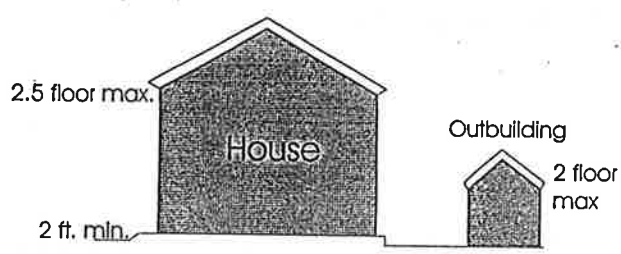
3

1

Urban Regulations For New Construction -Type III (Continued)

<p><b>Building Use</b></p> <ol style="list-style-type: none"> <li>1. Uses permitted within the buildings shall be as shown here.</li> <li>2. The following uses are additionally permitted within outbuildings: workshop; guest cottage; artist studio; sauna; pool house equipment enclosure; gazebo; conservatory.</li> <li>3. Outbuildings with kitchens are allowed only in areas with underlying zoning that would allow multi-family dwellings.</li> </ol>	
--	--

2

<p><b>Building Height</b></p> <ol style="list-style-type: none"> <li>1. Heights shall be measured relative to the fronting street elevation. The 2 ft. minimum shown in the diagram shall be the minimum distance above the street elevation for setting the principal structure.</li> <li>2. Minimum and maximum building heights shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.</li> </ol>	
--	---

3

<p><b>Building Frontage</b></p> <ol style="list-style-type: none"> <li>1. Maximum building frontage for Houses is 45 ft.</li> </ol>	<p><b>Garden Walls &amp; Fences</b></p> <ol style="list-style-type: none"> <li>1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.</li> <li>2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary the maximum height for fences, garden walls, and hedges shall be 30 in.</li> <li>3. Heights for other locations shall be:             <ul style="list-style-type: none"> <li>• 30 in. min. height for all fences, garden walls &amp; hedges</li> <li>• 42 in. max. along public rights-of-way, including alleys</li> <li>• 72 in. max. along all other property lines.</li> </ul> </li> </ol>
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4

# Urban Regulations For New Construction - Civic

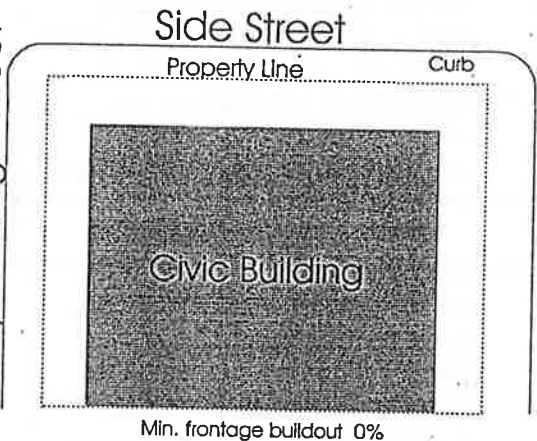
## Instructions

This building type includes civic uses.

### Building Placement

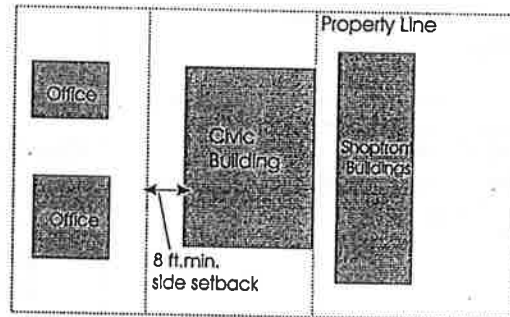
1. The City Manager, designee or appropriate board shall set build-to line range to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. Buildings and street facades shall extend along the frontage to the percentage of lot width as shown here.
3. In cases where the block is only one lot deep, new buildings should be oriented towards the street of greater hierarchy, known as the primary frontage street.

Primary Frontage Street



### Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Offices, Townhouses or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Apartments or Houses.



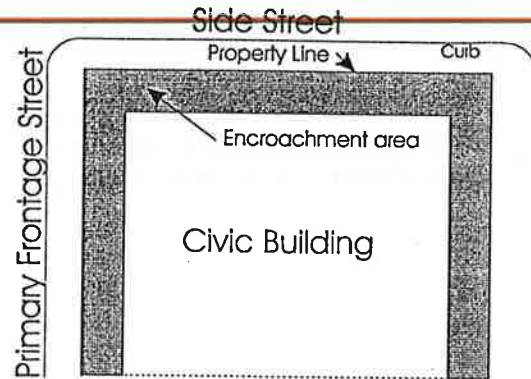


1

Urban Regulations For New Construction -Civic (Continued)

**Encroachments**

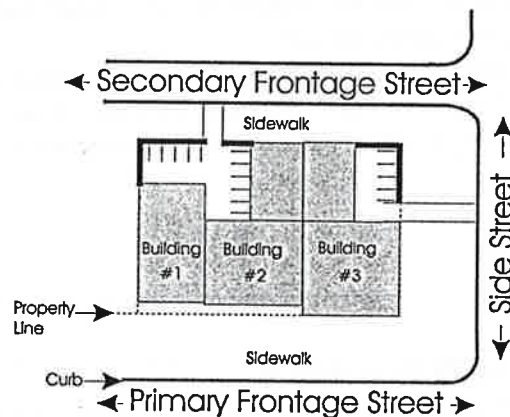
1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. Permission is required from public entity responsible for right-of-way.



2

**Parking**

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner. On mid-block lots, driveways may occur on either frontage streets or rear streets.



3

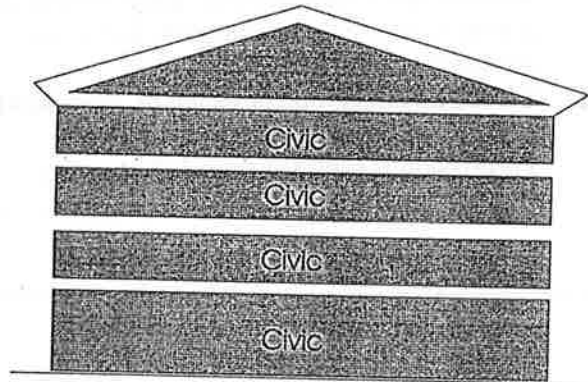


1

Urban Regulations For New Construction - Civic (Continued)

**Building Use**

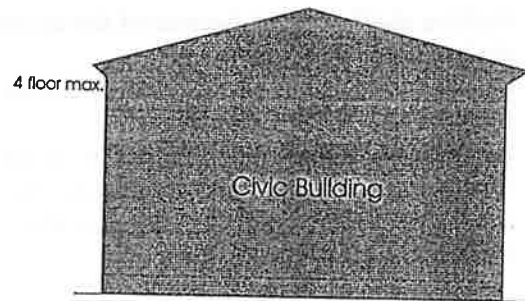
1. Uses permitted within the buildings shall be as shown here.
2. Definition: *Civic*—public or privately owned buildings of communal use such as places of religious assembly, libraries, post offices, schools, day care centers, clubhouses, recreational facilities, and accessory residential uses customarily and clearly incidental.



2

**Building Height**

1. Specific heights shall be measured relative to the fronting street elevation and a specified point as shown here.
2. The height limits shall not apply to cupolas, church spires, radio masts, belfries, clock towers, scenery lofts or similar structures.



3

4

**Garden Walls & Fences**

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary, the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
  - 30 in. min. height for all fences, garden walls & hedges
  - 42 in. max. along public rights-of-way, including alleys
  - 72 in. max. along all other property lines.

# Architectural Regulations For New Construction

Building Walls		
Materials	Configurations	Techniques
<ol style="list-style-type: none"><li>1. Building walls shall be clad in lapped boards, wood shingles, boards, battens or <u>Hardie Plank</u>.</li><li>2. Building walls may be finished in brick, stucco, stone or cast stone.</li></ol>	<ol style="list-style-type: none"><li>1. Two or more wall materials may be combined on one façade only horizontally (not side by side) or when used for balconies, porches and bay projections.</li></ol>	<ol style="list-style-type: none"><li>1. Lapped board siding shall be individual pieces which provide not less than 5 in. nor more than 10 in. exposed face to the weather. Shingles shall not exceed 6 in. to the weather. Board and batten shall not exceed 10.5 in. and 1.5 in. running alternately.</li><li>2. Trim at corners and around openings shall be not less than 3.5 in..</li><li>3. Brick walls shall not be laid in stack bond pattern.</li></ol>

1 Architectural Regulations For New Construction (Continued)

<b>Building Elements</b>		
<b>Materials</b>	<b>Configurations</b>	<b>Techniques</b>
<ol style="list-style-type: none"> <li>1. Balconies and porches shall be made of wood.</li> <li>2. Columns, piers and arches may be clad with brick, stucco, wood, acrylic, concrete or metal.</li> <li>3. Cantilevered balconies shall be a minimum of 7 ft. in depth and 9 ft. above grade. Balconies shall be 18 inches behind the face of the curb.</li> <li>4. Railings and fences may be made of wood, brick or decorative metal excluding round industrial railing and chain link.</li> <li>5. Garden walls may be siding matching the principal building or fieldstone, brick, or stucco or decorative metal excluding round industrial railing and chain link.</li> </ol>	<ol style="list-style-type: none"> <li>1. Round columns or pilasters, if provided, shall have proportions and moldings according to the latest edition of The American Vignolia by W.R. Ware. Square or rectangular columns or pilasters shall have a minimum dimension of 7.5 in. on each face and shall have trim or moldings at the base and capital. Pilasters may project less than 7.5 in.</li> <li>2. Spindles and balusters on balconies, porches and decks shall not exceed 5 in. on center.</li> <li>3. Cantilevered balconies shall be a minimum of 7 feet in depth and 9 feet above grade. Balconies shall be 18 inches behind the face of the curb.</li> <li>4. Exterior chimneys shall be finished in brick, stone, or stucco only.</li> <li>5. Cantilevers, except as open balconies and porches, are not permitted unless supported by visible brackets.</li> <li>6. The undercroft of decks and ventilated crawl space of buildings shall be enclosed by open patterned wood or brick.</li> <li>7. Fences shall be in the form of pickets, lattice or boards and shall be made with no more than 3 in. gaps.</li> <li>8. Garden walls shall be at least 50% solid and capped by a flat, round or pitched top overlapping no less than ¼ in. of the wall below.</li> <li>9. Fences and Garden walls at street fronts shall be between 36 in. and 54 in. in height.</li> </ol>	<ol style="list-style-type: none"> <li>1. Arches shall be brick or stucco and shall be no less than 12 in. in depth.</li> <li>2. Piers shall be no less than 12 in. by 12 in.</li> <li>3. Wood deck and railing posts shall be no less than 5 in. x 5 in. and shall be chamfered at the corners.</li> <li>4. Pressure treated wood shall be painted/stained.</li> </ol>

2  
3

1 Architectural Regulations For New Construction (Continued)

<b>Roofs</b>		
<b>Materials</b>	<b>Configurations</b>	<b>Techniques</b>
<ol style="list-style-type: none"> <li>1. Pitched roofs may be clad with wood, metal or asphalt shingles, clay or cement tile, or V-crimp or standing seam metal.</li> <li>2. Gutters shall be made of painted galvanized steel, wood, copper, or painted aluminum.</li> </ol>	<ol style="list-style-type: none"> <li>1. Principal roofs of buildings shall be either hips, pitched between 8:12 and 12:12 or gables, pitched between 6:12 and 12:12, or flat as provided below.</li> <li>2. Minor building elements may have gable roofs pitched between 4:12 and 12:12.</li> <li>3. Minor building elements may have shed (monopitch) roofs only if the roof is attached to a higher building wall of a principal building. The pitch of the shed roof shall be between 4:12 and 12:12. Flat roofs are allowed as provided below.</li> <li>4. Flat roofs are permitted. Flat roofs shall be concealed by parapets along any street frontage or any side of the building that is visible from the street. Parapets shall be no less than 36 in. high and shall conceal any building systems placed on the roof.</li> <li>5. Skylights shall be flat (non-bubble).</li> </ol>	<ol style="list-style-type: none"> <li>1. Overhanging eaves may have exposed rafters or be boxed.</li> </ol>

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Architectural Regulations For New Construction (Continued)

**Windows and Doors**

**Materials**

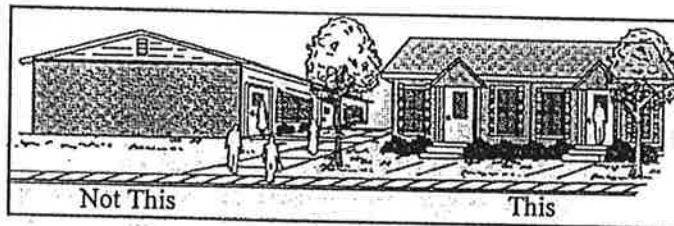
1. Exterior doors shall have a paneled appearance. Exterior doors with lights or panes of glass, such as French doors, are permitted.
2. Windows and doors shall not be mil or clear finished aluminum.
3. Windows and doors shall be glazed in clear glass with no more than 10% daylight reduction. Decorative stained glass shall be permitted.
1. Shutters shall be wood or metal.
2. Awnings shall be fabric.

**Configurations**

1. The total glazing area on the street façade of residential or office occupancies shall not exceed 30% of the façade surface.
2. Civic Buildings are not subject to specific glazing requirements.
3. Retail and office occupancies shall have a minimum of 50% glazing and a maximum of 90% glazing for the first floor. Percentages are based on the area of the façade surface covering the first floor only, including the front door. All other floors shall have a minimum of 10% glazing and a maximum of 50% glazing of the façade surface covering the upper floors.
4. Windows and window subdivisions (lites) shall be rectangular with vertical proportion. Additionally, windows may be circular, rounded top or hexagonal.
5. Garage doors shall be a maximum width of 9 ft.
6. Shutters shall be sized to correspond with window width and height.
7. Standard. The *main entrance* of buildings shall be on the first floor on the more primary street, even if the more primary street is outside of the overlay affected area. The building orientation standard applies if a portion of the wall along the more primary street outside of the overlay affected area is within 250 ft. of the overlay affected area. The *main entrance* shall not be oriented toward a parking lot. Direct access to the building shall be provided from the street (see figure below). Buildings on a corner lot or a lot fronting on two streets shall place the *main entrance* on the more primary street, even if the more primary street is outside of the overlay affected area (either street if they are similar) or at the corner of the intersection. This standard does not preclude additional rear or side entrances facing parking area. (Ord. 970452, 6/22/98)

**Techniques**

1. Rectangular windows shall be fixed, casement, single hung, or double hung.
2. Circular and hexagonal windows may be fixed or pivot.
3. Windows within the same opening but either above or below a principal window may be awning or hopper.
4. Muntins, if provided, shall form true divided lites.
5. All doors on street facades shall be hinged except garage doors. Sliding doors are permitted at other than street façade locations only.

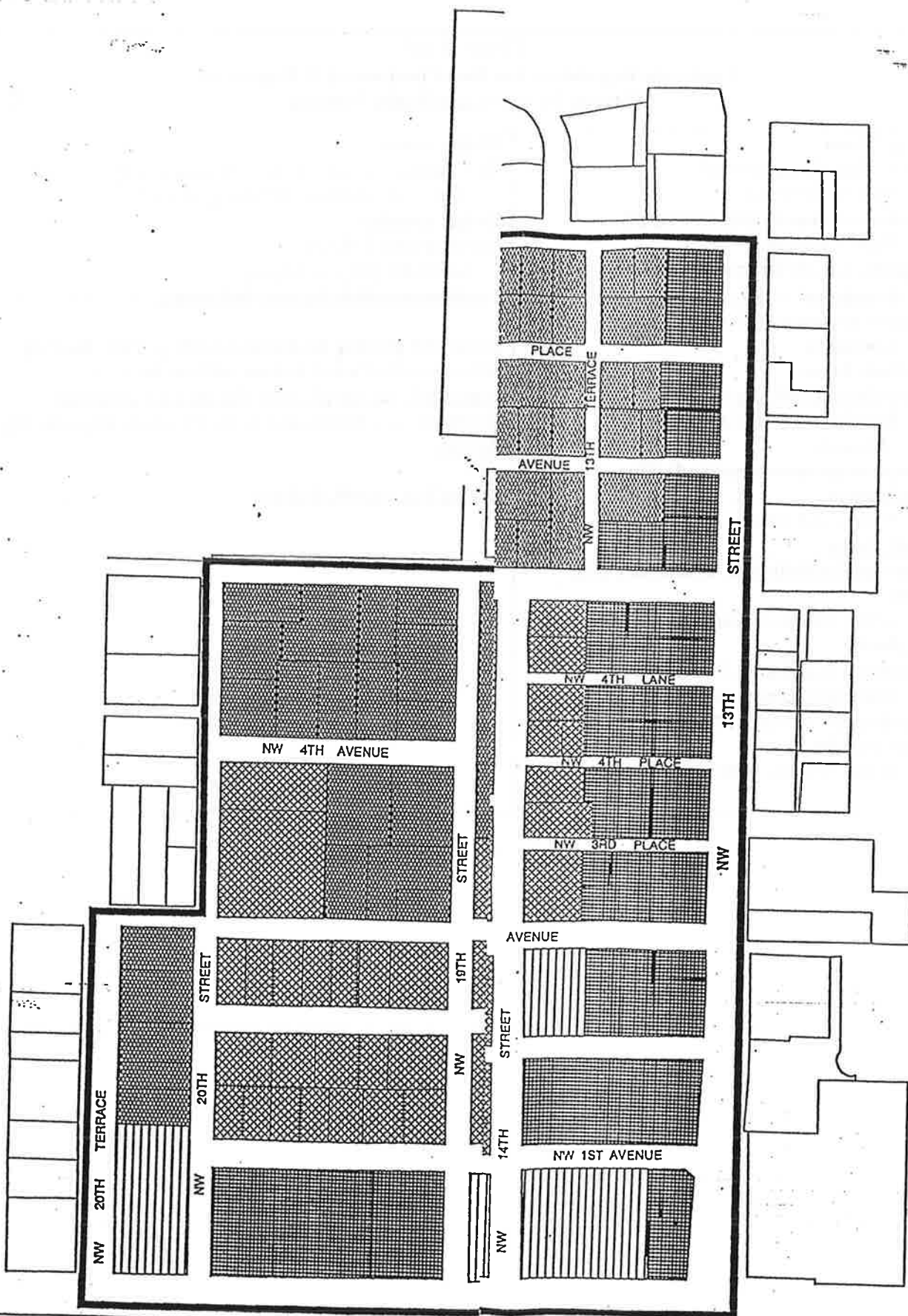


Main Entrance Orientation

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<b>Plant List</b> Landscape Regulations For New Construction & Renovation Planting On Public <u>and Private Property</u>	
<p><b>Large Trees</b>                      Ulmus alata (Winged Elm)                          Yellow fall color                      Quercus shumardii (Shumard Oak)                          Scarlet fall color                      Magnolia grandiflora (Southern Magnolia)                          Evergreen                      Quercus virginiana (Live Oak)                          Evergreen  <b>Medium Trees</b>                      Acer rubrum (Red Maple)                          Red fall color, red spring                          Flowers                      Ostraya virginiana (Ironwood) (Hop                      Hornbeam)*                          Yellow fall color  <b>Small Trees</b>                      Prunus angustifolia or P. umbellata (Wild                      Plum)                          White flowers in early spring, sunny or                          part shade                      Osmanthus americanus (Wild Olive)*                          Evergreen, shady sites                      Lagerstroemia indica cv. Natchez (White                      Crape Myrtle)                          White flowers, yellow fall color</p>	<p><b>Hedge (Sun)</b>                      Ilex vomitoria 'nana' (Dwarf Yaupon Holly)                          Especially cultivar 'Schillings Dwarf'  <b>Hedge (Shade)</b>                      Rhododenron indicum                          Cultivars (vary in height)                      * Indicates availability may be limited.</p> <p>In the tree planting programs in College Park, the City of Gainesville Parks Division will use the trees suggested. As site plans for this area are reviewed, developers are encouraged to use the plants suggested <u>by the City.</u></p> <p>Rev. by Ord. 960494, 8/25/97)</p>

1



EXHIBIT

B

TRAKER