

Department of Doing
 Planning Division
 PO Box 490, Station 11
 Gainesville, FL 32602-0490

306 N.E. 6th Avenue
 P: (352) 334-5022
 P: (352) 334-5023
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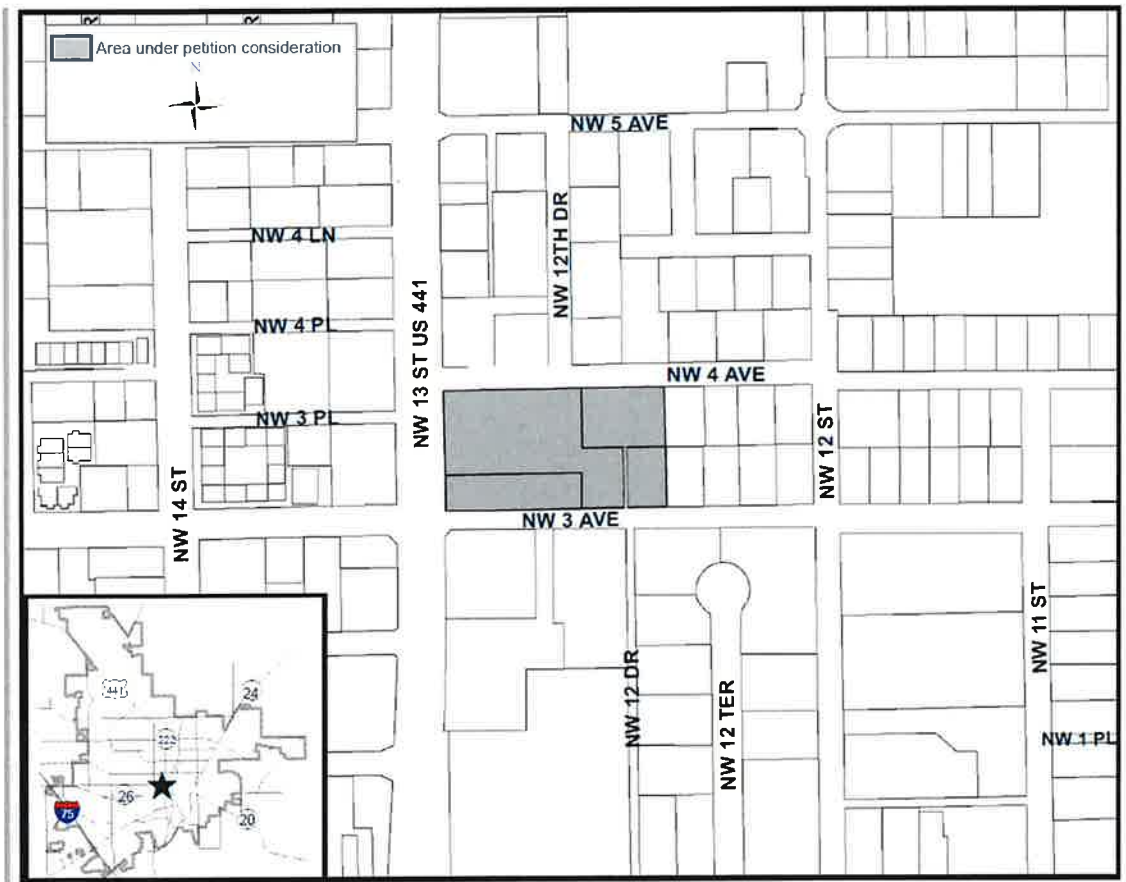
TO:	City of Gainesville Development Review Board	Item #: 1
FROM:	Department of Doing, Planning Division	Date: 5/30/2017

SUBJECT:	DB-17-00025SPL. CHW-Inc. (Tony Flegert) agent. Development Plan Review for a 7 story mixed use building with 123 residential units (445 bedrooms) and 26,000 square feet of non-residential space, located in the 300 block on the east side of NW 13th Street, between NW 3rd Avenue and 4th Avenue.	
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RECOMMENDATION

Staff recommends approval of Petition DB-17-25 SPL with staff conditions.

PROJECT SUMMARY



PROJECT DESCRIPTION	Development Plan Review for a 7 story mixed use building with 123 residential units (445 bedrooms) and 26,000 square feet of non-residential space.
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Address/ Parcel: 14038, 14044, 14012, and 14021
 Total Acreage: 1.69 Acres
 Land Use: PUD (Planned Use District)
 Zoning: PD (Planned Development)
 Density: 72 du/acre
 Special Features: Abutting the University Height’s Historic District (North)
 Agent/ Applicant: CHW
 Project Manager: Tony Flegert
 Property Owner: RBLWP Parcel D, LLC (Richard J. Birdoff)

Project Site Details

	Required/Allowable	Proposed
Non-residential space	26,000 square feet	25,726 square feet
Residential Units	220 units	123 units
Residential Bedrooms	555 bedrooms	445 bedrooms
Parking:		
Bicycle	112 spaces	112 spaces
Scooter	10 spaces	10 spaces
Retail	13 spaces	26 spaces
Residential	None	216 (9 accessible)

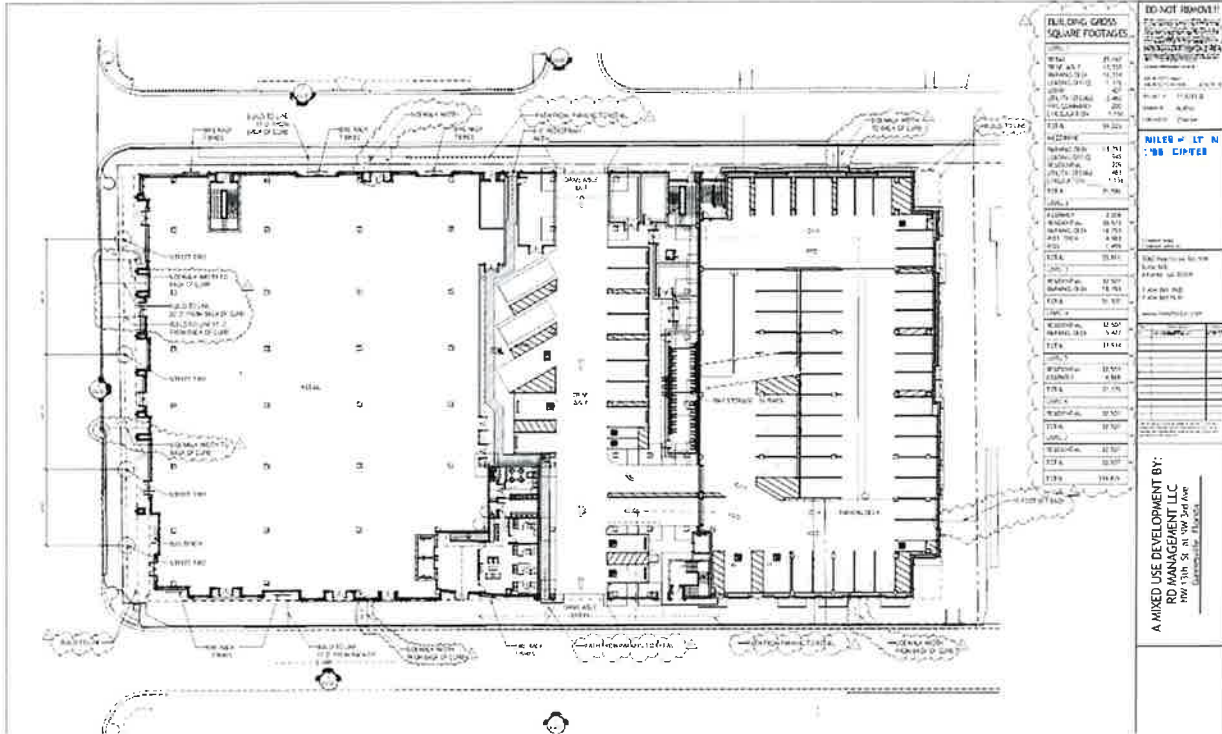
ABUTTING PROPERTY CHARACTERISTICS

	Land Use Designation	Zoning	Existing Use
North	Urban Mixed-Use 2	UMU-2	Retail
South	Urban Mixed-Use 2	UMU-2	Retail
East	Residential Low-Density	RMF-5	Residential
West	Urban Mixed-Use 1	UMU-1	Retail

Petition DB-17-25SPL is a request by RBLWP Parcel D, LLC, to implement the Gainesville Mixed Use Planned Development that was adopted by the City in 2012, and amended in April of 2015 with the adoption of Ordinance 130515. This project is the redevelopment of the old H & Y carwash that was demolished several years ago.

The redevelopment involves the construction of a 7 story mixed use building with commercial/retail uses on the 1st floor and residential uses on the remaining 6 floors. The development also includes a 5 level parking garage that provides a transition from the University Height’s North Historic District to the 7 story building. As stated earlier the development will include 25,726 square feet of retail space and 123 residential units containing 445 bedrooms.

Ground Floor Development Plan Layout (See Exhibit C)

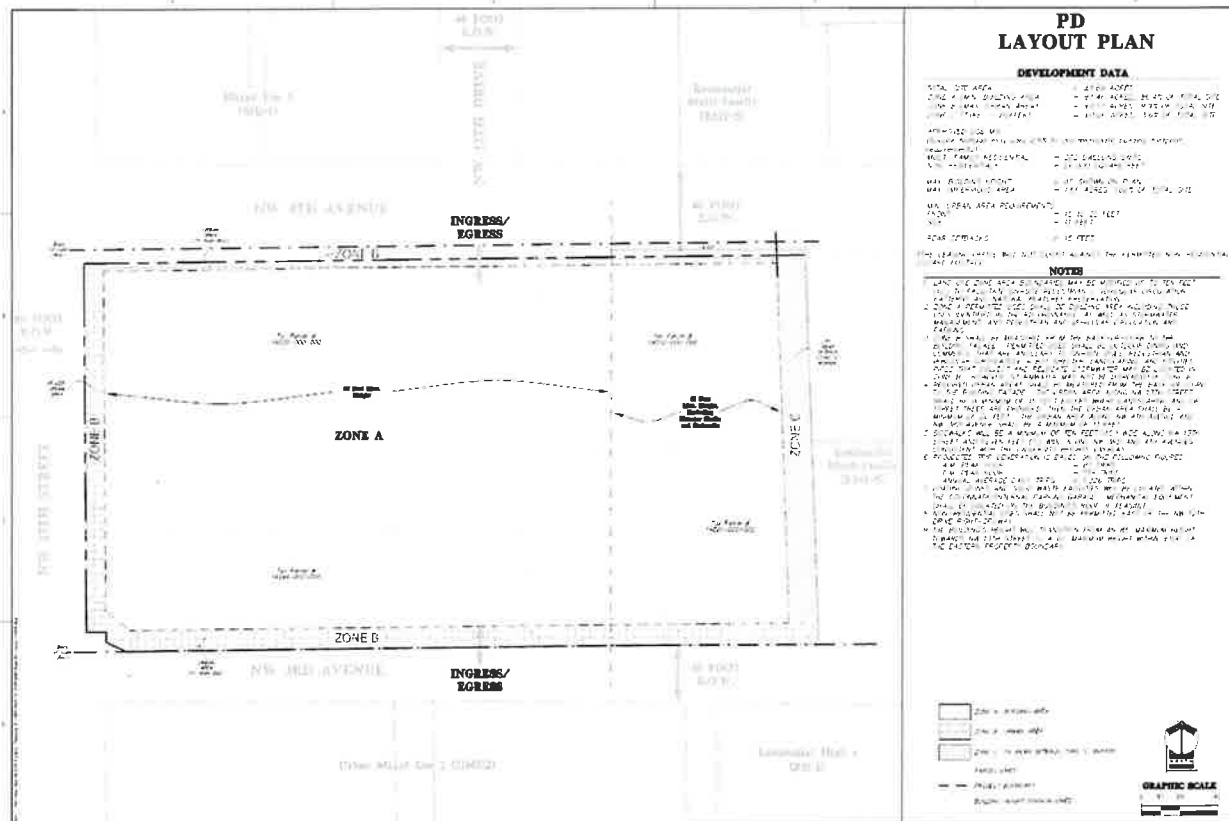


BUILDING GROSS SQUARE FOOTAGES		DO NOT REMOVE	
TOTAL	11,571	PERMITTED	11,571
REAR WING	11,571	REAR WING	11,571
FRONT WING	11,571	FRONT WING	11,571
... (other categories) (other categories)

MILERS = 1/8" = 1' N
1" = 8' CENTER

AMIXED USE DEVELOPMENT BY:
ED MANAGEMENT LLC
10000 ...

PD Layout Plan (See Exhibit C)



KEY ISSUES

The key issues of the proposed redevelopment are:

1. Whether the proposed plan consistent with PD Layout Plan and the PD conditions?
2. Does the plan provide enough detail for how Zone B will be utilized?

Consistency with the Planned Development

The Technical Review Committee (TRC) has reviewed the plan and found it to be consistent with the PD Layout Plan (Exhibit C) and the PD conditions in Ordinance 130515 (Exhibit D), with staff's conditions outlined in this report and those included in the TRC comments. However, there are some areas that need to be clarified as it relates to Zone B and the utilization of areas that appear to be sidewalks. The PD Layout Plan indicates that Zone B areas designated along the street network abutting the north, west, and south sides of the building may allow certain uses but it is not clear where within Zone B the uses are to be allowed. The permitted uses within Zone B are outdoor dining and commerce that are ancillary to on-site uses, pedestrian and vehicle circulation, bus shelters, landscaping, and utilities.

The Plan does not show where outdoor dining and commerce areas will be located; staff is concerned that if those areas are not identified as part of the development plan approval they may encroach into pedestrian areas. Given that along 13th Street major elements of the building are only 15 feet from the back of the curb, it is important that this area not include outdoor use areas, and the outdoor use areas be limited to areas of the building façade that are 20 feet from the back of the curb. As proposed the area that is 15 feet from the back of the curb includes street trees, any additional impediments in this area would force pedestrians to use only the outside 5 feet of sidewalk along the street. It should be noted that there are no on-street parking spaces along 13th street to protect the pedestrian.

Condition 1: Outdoor use areas for dining and commerce shall only occur in those areas along 13 Street that are 20 feet from the back of the curb. These areas cannot extend more than 5 feet from the front façade of the building and cannot encroach into the public right-of-way.

Condition 2: Outdoor use area shall not be allowed along NW 3rd and 4th Avenues, due to the limited sidewalk space.

Zone B also allows vehicles circulation, bus shelter and utilities, it is important that these facilities have minimal impact on the pedestrian experience in the area. It is staff's opinion that the intent of the PD was to limit vehicles circulations to those areas for ingress and egress to and from the parking facilities. It appears that the utilities are being provided underground or within meter rooms internal to the development, it is not anticipated that there will be conflicts with the utilities. The Horizontal Control and Site Plan Sheet, and the Architectural Site Plan Sheet, show different locations for bus benches. The Horizontal Control Sheet shows the bus bench at the current bus stop location while the other plan does not.

Condition 3: Vehicles circulation areas within Zone B shall only be used for areas shown for ingress and egress into the parking garage.

Condition 4: Benches and or shelters shall be located at designated bus stops as determined by the Regional Transit System.

Condition 17 of the Plan Development states: "Plans depicting construction staging areas must be provided during development plan review. Construction staging shall be contained on the property to the extent possible. The owner/developer shall notify the construction contractors that all construction vehicles shall enter the site only from NW 3rd Avenue and NW 4th Avenue via NW 13th Street, as approved by the City Public Works Department, and shall not travel to or from the site along neighborhood streets to the east of the site".

The applicant has not complied with this condition of the Planned Development; the applicant submitted a letter stating that all construction staging shall be conducted on site. If this is the case the applicant needs to provide a plan that shows how they plan to construct a building that is property line to property line without utilizing the public right-of- way for cranes to hoist materials to upper floors, and to load and unload materials once the ground floor walls have been constructed.

Condition 5: The Owner/Developer must comply with condition 17 of the Planned Development.

Lastly the applicant has indicated that they will have roof top amenities for residents, it is important that this area be controlled from a noise ordinance standpoint. Given the history with other roof top venues in town, noise can travel all over the neighborhood and may interfere with the quiet enjoyment of the residential properties in the area. The applicant should be mindful of the activities that are allowed on the roof. The applicant will have to comply with the City's Noise Ordinance.

Condition 6: The Owner/Developer/Operator shall ensure and roof top activities comply with the City's noise ordinance, no amplified music shall be allowed.

Technical Review Committee Comments

Staff has highlighted minor technical issues during the initial development review process that will have to be addressed by the applicant in order to bring the development into full compliance with City codes (see exhibit A, Technical Review Comments).

Condition 7

The development must comply with all Technical Review Committee comments and conditions included in the staff report.

CONCLUSION

In summary the TRC find the development plan for the Gainesville Mixed Use development approvable subject to staff's conditions in this report and the conditions contained the TRC comment report.

RECOMMENDATION

Staff recommends approval of Petition DB-17-22SPL with the following conditions:

- **Condition 1: Outdoor use areas for dining and commerce only occur in those areas along 13 that street that are 20 feet from the back of the curb. These areas cannot extend more than 5 feet from the front façade of the building.**
- **Condition 2: Outdoor use area shall not be allowed along NW 3rd and 4th Avenues, due to the limited sidewalk space.**
- **Condition 3: Vehicles circulation areas within Zone B shall on be used for areas shown for ingress and egress into the parking garage.**
- **Condition 4: Benches and or shelters should be located at designated bus stops as determined by the Regional Transit System.**
- **Condition 5: The Owner/Developer must comply with condition 17 of the Planned Development.**
- **Condition 6: The Owner/Developer/Operator shall ensure and roof top activities comply with the City's noise ordinance, no amplified music shall be allowed.**
- **Condition 7: The development must comply with all Technical Review Committee comments and conditions included in the staff report.**

Appendices:

Exhibit A	Technical Review Committee Comments
Exhibit B	Applications and Neighborhood Workshop
Exhibit C	Development Plans: Site Plan, Landscaping Plan and Elevations
Exhibit D	Planned Development Ordinance

Respectfully,



Ralph Hilliard, Planning Manager

Technical Review Committee Comments

DB-17-00025 Gainesville Mixed Use Planned Development



Department	File	Markup Name	Changemark Subject	Changemark Details
Building Coordinator	A0.10 - Architectural Site Plan.pdf	Bldg - LP	Bldg - Accessibility	502.2 Vehicle Spaces. FBC-Accessibility 5th Ed Each parking space must be at least 12 feet wide, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3. See section 406.5 curb ramp location.
Building Coordinator	A1.10 - Reference Plan Level 1.pdf	Bldg - LP	Bldg - Accessibility	502.2 Vehicle Spaces. FBC-Accessibility 5th Ed. Each parking space must be at least 12 feet wide, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3. See section 406.5 curb ramp location.
Building Coordinator	A1.11 - Site Details.pdf	Bldg - LP	Bldg - Accessibility	502.2 Vehicle Spaces. FBC-Accessibility 5th Ed Each parking space must be at least 12 feet wide, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3. See section 406.5 curb ramp location.
Building Coordinator	C0.00 - Cover Sheet and Index.pdf	Bldg - LP	Bldg - Missing area - 3rd floor	Based on the architectural A1.30 the parking level square footage is missing.
Building Coordinator	C0.00 - Cover Sheet and Index.pdf	Bldg - LP	Bldg - Construction Type Chpt 5	Applicant's response refers to a podium construction and then a change of construction type due to a High Rise allowance. Quoted code section does not change the construction type, only the required structural fire resistance as required in Table 601, FBC.
Building Coordinator	C0.00 - Cover Sheet and Index.pdf	Bldg - LP	Bldg - Number of Stories	Refer to note 23 and the missing area calculations on 3rd floor. With the mid level (Mezzanine?) between main floors 1 & 2 is the second level of the parking structure. What is the actual number of stories for parking garage?
Building Coordinator	C0.00 - Cover Sheet and Index.pdf	Bldg - LP	Bldg - "A" Occupancy	First Floor Occupancy has not been fully established. Just use the "A" for any assembly use, do not make it specific to an A3 use only.
Building Coordinator	C0.00 - Cover Sheet and Index.pdf	Bldg - LP	Bldg - Accessibility/Fairhousing	502.2 Vehicle Spaces. FBC- Accessibility 5th Ed Each parking space must be at least 12 feet (3658 mm) wide, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3. See section 406.5 curb ramp location.
Public Works - Design	C4.12 - NW 12th Drive Plan and Profile.pdf	RM1	ADA accessible	Do these driveways meet ADA accessibility?
Public Works - Design	C4.12 - NW 12th Drive Plan and Profile.pdf	RM	Driveway aprons.	The driveway aprons must be extended to the right-of-way line.
Public Works - Design	C0.30 - Demolition and Tree Protection.pdf	Rick Melzer	RM	What is happening to this existing concrete?

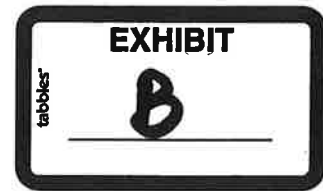
Technical Review Committee Comments

Public Works - Design	C0.30 - Demolition and Tree Protection.pdf	Rick Melzer	RM	What is happening with this existing concrete?
Right of Way Permit - GRU Real Estate	C3.00 - Master Utility Plan.pdf	GRU Real Estate	Label with Type of Public Utility Easement	Label the easement area intended to cover the transformer. The 10'x10' easement size shown is subject to approval by GRU Energy Delivery. It is also unclear whether this is located within the building or outside the building. Please clarify with notes.
Transportation Mobility	MEMO 170419 Gainesville Mixed Use Trip Generation.pdf	UF Context Transit fee	Changemark #01	1. Due to the location of the property within the University of Florida Context Area, any multi-family residential development must comply with the provisions of Transportation Mobility Element Policy 10.1.14, concerning new multi-family residential development funding capital transit
Transportation Mobility	MEMO 170419 Gainesville Mixed Use Trip Generation.pdf	UF Context Transit fee	Changemark #02	2. With the increase in bedrooms, the context fee will be the difference between the proposed residential trip generation impacts and the previous trip generation calculations upon which the original fee was based. With that in mind, please update the trip generation to show how many multi-
Gainesville Fire Rescue Department	C3.00 - Master Utility Plan.pdf	Burgett	Changemark #01	3. Please indicate the approximate location of the features of fire protection, including: --Fire department connection: Fire department connections shall be located at the nearest point of fire department apparatus accessibility or at
Gainesville Fire Rescue Department	C3.00 - Master Utility Plan.pdf	Burgett	Changemark #02	4. All new buildings meeting any one of the criteria listed below require a standpipe system, and therefore a fire hydrant must be provided within 100 feet of the fire department connection.
Planners	E0_13-garage level 5.pdf	Ralph Hilliard	Noise Ordinance	Please add a note on the plan that indicated that activities on the amenity deck shall comply with the City's Noise Ordinance and that amplified music shall not be allowed.
Planners	E0_11-garage level 1.pdf	Ralph Hilliard	Lighting Driver's Retreat	Please indicate that the driver's retreat is 60 - 70 degrees.
Planners	E0_11-garage level 1.pdf	Ralph Hilliard	Stairways	Please show that the stairways will have a minimum horizontal illuminance (footcandles) of 2, for all floors of the parking garage.
Planners	C4.00 - Typical Roadway Sections.pdf	Ralph Hilliard	Sidewalk width 1	Please indicate width from small to large.
Planners	C4.00 - Typical Roadway Sections.pdf	Ralph Hilliard	Sidewalk width 2	Please confirm that the sidewalk width from back of curb to the landscape island, if it varies please indicate the width from small to large.
Planners	C4.00 - Typical Roadway Sections.pdf	Ralph Hilliard	Sidewalk Width	See comment 1 and 2 related to this issue
Planners	C1.10 - Detailed Horizontal Control and Site Plan.pdf	Ralph Hilliard	Property Line/Columns on Public Property	Please confirm the location of the private property line, if the boundary line shown is the property line, there appear to be structural features (columns) located outside of Zone B between the back of curb and the Zone B boundary line along 4th Avenue. If these are trees please indicate the

Technical Review Committee Comments

Planners	A3.01 - South and East Exterior Building Elevations.pdf	Ralph Hilliard	East Elevation Parking Garage	Please correct the elevation, it is not consistent with the Planned Development's Elevations. Condition 5 of the Planned Development states: "The Buildings shall be constructed with the exterior design as generally depicted in the elevations in the PD maps. the facade of the
Planners	A1.20 - Reference Plan Level 2.pdf	Ralph Hilliard	Upper Floors	Please provide the dimensions to indicate how far the upper floors extend into Zone B. The Planned Development limits upper floor extension in Zone B to 6 feet. Build-to-lines are shown, but not the property line. The dimension of the two separate build-to-line should be shown (15 and 20
Planners	A0.10 - Architectural Site Plan.pdf	Ralph Hilliard	Property Line and sidewalks	Label the property lines on all plans, please highlight the sidewalks (crosshatched or something)
Planners	A0.10 - Architectural Site Plan.pdf	Ralph Hilliard	Pedestrian Cross walks	There is nothing on the plan that designates a crossing for pedestrians that use the parking on the ground floor to access the retail. The 4 foot pedestrian path only provides a connection from 3rd Avenue and 4th Avenue.
Planners	MEMO 170220 Gainesville Mixed Use Construction Staging Area.pdf	Ralph Hilliard	Staging Area	Please provide staging plan as required by Condition 17 of the Planned Development states:"Plans depicting construction staging areas must be provided during development plan review. Construction staging shall be contained on the property to the extent possible. The owner/developer
Planners	C0.00 - Cover Sheet and Index.pdf	Ralph Hilliard - Planning	Bicycle Parking	Separate BicycleParking data from vehicle parking data: Residential required bike parking space _____ Residential bike spaces provided _____ Exterior spaces vs Interior spaces
GRU New Services Department	C3.00 - Master Utility Plan.pdf	GRU New Services	48 Notification Language	Please include the following language on the cover sheet and Utility sheet (size and location can be altered as you wish): NOTIFY GRU WASTEWATER ENGINEERING DEPT 48 HRS PRIOR TO CONSTRUCTION @ 352-393-1633
GRU New Services Department	C0.00 - Cover Sheet and Index.pdf	GRU New Services	48 Hour Notification language	Please include the following language on the cover sheet and Utility sheet (size and location can be altered as you wish): NOTIFY GRU WASTEWATER ENGINEERING DEPT 48 HRS PRIOR TO CONSTRUCTION @ 352-393-1633
Public Works Stormwater	C2.20 - SMF Plan and Details.pdf	mcf	equipment access	Equipment access needs to be provided for maintenance.
Public Works Stormwater	C2.10 - Detailed Grading and Drainage Plan.pdf	mcf	SMF	Approval is contingent on review of final design of underground chamber
Urban Forestry	LS-1 - Landscape Plan.pdf	Earline	Tree Grates NW 4th Avenue and NW 3rd Avenue--Street Trees	Will street trees be provided by the parking garage in tree wells? There is more that 50' between street trees and the PD requires street trees to be shown on 50' centers. The same question is proposed for NW 3rd Avenue where there is a separation of street trees greater than 50' and PD doesn't allow more than 50' separation between street trees. Of course, I prefer street trees on 40' centers from a shading aspect. The eastern buffer requires a 15' wide landscape strip with three shade trees, three understory trees and 25 shrubs (PD requirement) per 100 linear feet.

PLAN REVIEW APPLICATION



OVERVIEW:

Project Name: Gainesville Mixed Use on 1	Tax Parcel Number: 14012-000-000, 14021-000
Property Address: 1227 NW 4th Avenue	
First Step Meeting Date: January 10, 2017	GRU Project Meeting Date: January 10, 2017

Proposed Uses/Type of Development (Check all that apply)

<input checked="" type="checkbox"/> Residential	Density	<input checked="" type="checkbox"/> Non-residential
<input checked="" type="checkbox"/> Multi-family	Units/acre: 72.78	<input checked="" type="checkbox"/> Commercial 25, 726 <input type="checkbox"/> Office
Total Units: 123	Total bedrooms: 445	<input checked="" type="checkbox"/> Industrial 96, 289 <input type="checkbox"/> Other
		Gross floor area: 122, 015

PROJECT MANAGEMENT:

Owner(s) of Record (please print)		
Name: RBLWP Parcel D LLC		
Mailing Address: RD Management LLC, 810 Seventh Avenue, 10th Floor		
New York, NY 10019		
Phone: Please Contact Agent	Fax: Please Contact Agent	E-Mail: Please Contact Agent

Applicant/Engineer of Record (please print)		
Name: CHW		
Mailing Address: 132 NW 76th Drive, Gainesville, FL 32607		
New York, NY 10019		
Phone: (352)519-5929	Fax: (352)331-2476	E-Mail: tonyf@chw-inc.com

FEES:

Level of Review (check one)				
MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> 4	<input type="checkbox"/>	<input type="checkbox"/>

Fees are determined at First Step Meeting or GRU Project Meeting and are based on level of review and EZ Zone. More information about EZ Zones can be found at	
http://cityofgainesville.org/Portals/0/plan/2015%20Web%20Docs/landdevfees151001.pdf	
Plan Review Fee: \$ 2,311.88	
GRU Fee: \$ 2,050.00	GRU Business Acct No.: 1000180896
Plan review fee will be paid by: RBLWP Parcel D, LLC	
Name: Alfred Rossi	E-Mail: ARossi@rdmanager Phone: 212 265 6600 ext 254

Applicant Signature: Travis Hastay, EI

Digitally signed by Travis Hastay, EI
 DN: C=US, E=travish@chw-inc.com, O=CHW,
 CN=Travis Hastay, EI
 Reason: I am approving this document
 Date: 2017.02.20 15:27:25-05'00'

Date: 2/20/17

THIS SECTION FOR OFFICE USE ONLY
Petition Number:

SUFFICIENCY CHECKLIST BELOW. PLEASE FILL OUT



JACKSONVILLE | GAINESVILLE
8563 Argyle Business Loop, Ste 200
132 NW 76th St
101 NE 1st St



MEMORANDUM

To: Neighbors of the 300 Block on NW 13th Street
From: Tony Flegert, P.E., Senior Project Manager
Date: Thursday, February 2, 2017
RE: Neighborhood Workshop Public Notice

16-0627

A Neighborhood Workshop will be held to discuss a Development Plan application for Gainesville Mixed Use Planned Development (PD). The site is ±1.7 acres, located on the east side of NW 13th Street, between NW 3rd and 4th Avenue.

Date: Friday, February 17, 2017
Time: 6:00 p.m.
Place: United Church of Gainesville
1624 NW 5th Avenue, Gainesville, FL 32603
Contact: Tony Flegert, P.E., Senior Project Manager
(352) 331-1976

This is not a public hearing. The purpose of the workshop is to inform the public about the nature of the proposal and seek their comments.

14838-010-307 GVILLE MIXED-USE
307 JACKSON SQUARE LLC
116 NORTH BELLEVUE AVE STE 300
LONGHORNE, PA 19047

14837-000-000 GVILLE MIXED-USE
ABC LIQUORS
PO BOX 593688
ORLANDO, FL 32859

14838-010-201 GVILLE MIXED-USE
ADAMEC & ADAMEC & ADAMEC
TRUSTEES
136 OCEANFOREST DR NORTH
ATLANTIC BEACH, FL 32233

14015-000-000 GVILLE MIXED-USE
B & D RENTAL HOMES LLC
7811 SW 103RD AVE
GAINESVILLE, FL 32608

14026-000-000 GVILLE MIXED-USE
BEAL & BOOTH & BUSIC & OSBORNE
% JUDITH BOOTH
9560 SARASOTA DR
KNOXVILLE, TN 37923

14018-000-000 GVILLE MIXED-USE
ROGER BEEBE
1210 NW 3RD AVE
GAINESVILLE, FL 32601

14001-000-000 GVILLE MIXED-USE
BENTON & BENTON
3641 NW 23RD PL
GAINESVILLE, FL 32605

13961-000-000 GVILLE MIXED-USE
AREF BOUGHANNAM
3206 NW 57TH TER
GAINESVILLE, FL 32606

14838-010-202 GVILLE MIXED-USE
BROWN & BINION LLC
41-A FAIRPOINT DR
GULF BREEZE, FL 32561

14828-000-000 GVILLE MIXED-USE
LAP T BUI
3612 NW 18TH TER
GAINESVILLE, FL 32605

14826-000-000 GVILLE MIXED-USE
GERALD L BUSH LIFE ESTATE
1311 NW 5TH AVE
GAINESVILLE, FL 32603

14031-000-000 GVILLE MIXED-USE
CAMPBELL & 425 CAMPBELL 4 LLC
120 ROSEWOOD DR
GUYTON, GA 31312

14002-000-000 GVILLE MIXED-USE
CAPITAL ASSETS GROUP
321 SW 13TH AVE
GAINESVILLE, FL 32601

13954-000-000 GVILLE MIXED-USE
CELTIC PROPERTY INVESTMENTS
PO BOX 141764
GAINESVILLE, FL 32608

14838-020-214 GVILLE MIXED-USE
KASENG & MARIE CHAN-PONG
322 FLANDERS DR
INDIATLANTIC, FL 32603

14838-010-305 GVILLE MIXED-USE
CHRISDAN LLC
% LIPPELMAN
3010 W SAN CARLOS ST
TAMPA, FL 33629

14838-010-103 GVILLE MIXED-USE
CLERC-FAKHAR & FAKHAR W/H
325 NW 14TH ST #103
GAINESVILLE, FL 32603

13966-000-000 GVILLE MIXED-USE
COLLEGE VIEW APTS LTD
PO BOX 13116
GAINESVILLE, FL 32604

14838-020-318 GVILLE MIXED-USE
RENATO CONCEPCION
629 NE BOULEVARD
GAINESVILLE, FL 32601

14838-010-302 GVILLE MIXED-USE
TINA JAMESON COX
5067 RIVER RD
CAMILLA, GA 31730

14838-010-308 GVILLE MIXED-USE
DOCTOR RENTAL
1320 NW 3RD AVE STE 206
GAINESVILLE, FL 32603

13998-000-000 GVILLE MIXED-USE
DAKJ P A
8419 KEMPER LANE
WINDERMERE, FL 34786

14027-000-000 GVILLE MIXED-USE
DARBY & FARRELL & FARRELL ET AL
8913 NW 155TH PL
ALACHUA, FL 32615

14829-000-000 GVILLE MIXED-USE
DOBBIE & HALL ET UX
263 TREASURE BEACH RD
ST AUGUSTINE, FL 32080

14838-020-234 GVILLE MIXED-USE
PEGGY L EVANICH
4417 NW 10TH PL
GAINESVILLE, FL 32605

14838-020-206 GVILLE MIXED-USE
DOCTOR RENTAL
1320 NW 3RD AVE STE 206
GAINESVILLE, FL 32603

14838-020-314 GVILLE MIXED-USE
BILLY R FORD JR TRUSTEE
6311 HANCOCK RD
SOUTHWEST RANCHES, FL 33330-3439

14838-010-102 GVILLE MIXED-USE
GAINESVILLE CONDOMINIUM LLC
290 POINCIANA DR
INDIAN HARBOR BEACH, FL 32937

13990-000-000 GVILLE MIXED-USE
GAINESVILLE DOWNTOWN INN
VENTURE
1250 W UNIVERSITY AVE
GAINESVILLE, FL 32607

13913-000-000 GVILLE MIXED-USE
GAINESVILLE FLA HOUSING CORP INC
1900 SE 4TH ST OFFICE
GAINESVILLE, FL 32641

14022-000-000 GVILLE MIXED-USE
STETZ PROPERTIES LLC
1019 NW 4TH ST
GAINESVILLE, FL 32601-4256

14004-000-000 GVILLE MIXED-USE
GAINESVILLE HISTORIC PROPS LLC
321 SW 13TH ST
GAINESVILLE, FL 32601

13942-000-000 GVILLE MIXED-USE
GATOR FAMILY LLC
2660 SCOTT MILL LN
JACKSONVILLE, FL 32223

14833-000-000 GVILLE MIXED-USE
GATOR GRANDE LLC
220 N MAIN ST
GAINESVILLE, FL 32601

14838-010-301 GVILLE MIXED-USE
MANISHA GEAEKWAD
11980 SE 22ND AVENUE RD
OCALA, FL 34480

14838-020-110 GVILLE MIXED-USE
GENERATION II LLC
% CORP LEGAL DEPT
600 GILLAM RD
WILMINGTON, OH 45177

14005-000-000 GVILLE MIXED-USE
GIBSON & GIBSON TRUSTEE
PO BOX 347
EVINSTON, FL 32633

14830-000-000 GVILLE MIXED-USE
GLIKES & GLIKES
66 FAIRFIELD LN
CHESTER SPRINGS, PA 19425

14020-000-000 GVILLE MIXED-USE
HENRY A GREMILLION
226 RUE SAINT PETER
METAIRIE, LA 70005

14838-020-114 GVILLE MIXED-USE
HAMM & HAMM
5009 S THE RIVIERA ST
TAMPA, FL 33609-3612

14014-000-000 GVILLE MIXED-USE
JOAN MARIE HILL
6912 SW 75TH ST
GAINESVILLE, FL 32608

14000-000-000 GVILLE MIXED-USE
HOGUE REALTY INVESTORS
5730 DEER HOLLOW TRL
SARASOTA, FL 34232-5920

14838-020-226 GVILLE MIXED-USE
RICKERSON & RICKERSON TRUSTEES
1609 FAHNSTOCK ST
EUSTIS, FL 32726

14838-020-328 GVILLE MIXED-USE
JACKSON 328 LLC
1199 S FEDERAL HWY STE 363
BOCA RATON, FL 33432

14838-010-207 GVILLE MIXED-USE
JACKSON SQ AT THE UNIVESITY
1320 NW 3RD AVE #206
GAINESVILLE, FL 32603

13954-001-000 GVILLE MIXED-USE
KARL JACOBS
% IVO RABELL
909 NW 6TH ST
GAINESVILLE, FL 32601

14838-010-205 GVILLE MIXED-USE
PAUL & ELLEN GOLDSTEIN
2101 DYAN WAY
MAITLAND, FL 32751

14838-020-334 GVILLE MIXED-USE
JADAV INVESTMENTS III LLC
11768 WEST SAMPLE RD
CORAL SPRINGS, FL 33065

14838-010-306 GVILLE MIXED-USE
BRUCE A JASINSKY
311 CENTRE ST
FERNANDINA BEACH, FL 32034

14841-000-000 GVILLE MIXED-USE
HERMAN D JONES TRUSTEE
310 NW 13TH ST
GAINESVILLE, FL 32601

14023-000-000 GVILLE MIXED-USE
R J KAROW
7008 SW 30TH WAY
GAINESVILLE, FL 32608

14838-020-330 GVILLE MIXED-USE
KAZEMINIA & KAZEMINIA
1320 NW 3RD AVE #330
GAINESVILLE, FL 32603

14838-020-242 GVILLE MIXED-USE
KOPELMAN & KOPELMAN ET AL
1320 NW 3RD AVE #242
GAINESVILLE, FL 32603

14838-020-230 GVILLE MIXED-USE
THOMAS KOVAL
4653 CHERRY VALLEY DR
ROCKVILLE, MD 20853

14013-000-000 GVILLE MIXED-USE
KRAFT & KRAFT TRUSTEES
2620 NW 27TH TER
GAINESVILLE, FL 32605

14838-020-324 GVILLE MIXED-USE
LAKEVIEW OAKS LLC
PO BOX 13116
GAINESVILLE, FL 32604

14838-020-322 GVILLE MIXED-USE
IMAN B LAKHANI
4900 GULF BLVD
ST PETE BEACH, FL 33706

13963-000-000 GVILLE MIXED-USE
ISSIE ANN LOWE TRUSTEE
% ANN & MARTINE LOWE
3631 SW 17TH PL
GAINESVILLE, FL 32607

14838-020-218 GVILLE MIXED-USE
WHITE & WHITE
3191 EAST HIGHWAY 316
CITRA, FL 32113

14052-001-000 GVILLE MIXED-USE
MARY MARTIN
1209 NW 4TH PL
GAINESVILLE, FL 32601

14008-000-000 GVILLE MIXED-USE
JOEL & JENNIFER PARKER
1202 NW 4TH AVE
GAINESVILLE, FL 32601

14838-020-118 GVILLE MIXED-USE
MAYHEW & MAYHEW
13739 CHESTERSALL DR
TAMPA, FL 33624

14825-000-000 GVILLE MIXED-USE
GLIKES & GLIKES
66 FAIRFIELD LANE
CHESTER SPRINGS, PA 19425

14838-010-304 GVILLE MIXED-USE
JOSHUA B IMMERGLUCK
325 NW 14TH ST #304
GAINESVILLE, FL 32603

14838-020-238 GVILLE MIXED-USE
GREGORY A MCLAUGHLIN
3710 NE 27TH TER
LIGHTHOUSE POINT, FL 33064

14838-010-204 GVILLE MIXED-USE
DOUGLAS P MCLAULIN JR TRUSTEE
1070 REFLECTIONS LAKE LOOP
LAKELAND, FL 33813-5610

14838-010-203 GVILLE MIXED-USE
ANGELA HAND
3850 BEECHGROVE RD
MELBOURNE, FL 32934

13920-000-000 GVILLE MIXED-USE
GEOFFREY NAYLOR
1741 NW 12TH RD
GAINESVILLE, FL 32605

14017-000-000 GVILLE MIXED-USE
G D OSBORN
PO BOX 867
STARKE, FL 32091

14029-000-000 GVILLE MIXED-USE
OSPINA ENTERPRISES
407 NW 13TH ST
GAINESVILLE, FL 32601

14831-000-000 GVILLE MIXED-USE
PARADIGM 413 LLC
PO BOX 13116
GAINESVILLE, FL 32604

13943-000-000 GVILLE MIXED-USE
ROBERT PEARCE
714 NW 36TH AVE
GAINESVILLE, FL 32609

14838-010-104 GVILLE MIXED-USE
PENSCO TRUST COMPANY
PO BOX 173859
DENVER, CO 80217

14836-000-000 GVILLE MIXED-USE
HENRY D PFEIFFER
4422 NW 22ND ST
GAINESVILLE, FL 32605

14025-000-000 GVILLE MIXED-USE
HARLAN POPE TRUSTEE
% HARLAN POPE
4622 NW 93RD AVE
GAINESVILLE, FL 32653

14838-010-101 GVILLE MIXED-USE
WAI YIN & EVA C LAI
1431 HEMPEL AVE
WINDDERMERE, FL 34786

14007-000-000 GVILLE MIXED-USE
PALM 220 PROPERTY LLC
1701 NW 24TH ST
GAINESVILLE, FL 32605

14021-000-000 *** GVILLE MIXED-USE
RB GAINESVILLE NW 3RD AVE LLC
% RD MANAGEMENT LLC
810 SEVENTH AVE 10TH FL
NEW YORK, NY 10019

14826-001-000 GVILLE MIXED-USE
ROBERTSON & ROBERTSON TRUSTEES
18203 NW 23RD PL
NEWBERRY, FL 32669

13941-000-000 GVILLE MIXED-USE
IRENE SALLEY
6651 NW 20TH PL
GAINESVILLE, FL 32605

14011-000-000 GVILLE MIXED-USE
STETZ PROPERTIES
1019 NW 4TH ST
GAINESVILLE, FL 32601-4256

13944-000-000 GVILLE MIXED-USE
PAUL A SEIDE
3591 NW 37TH ST
GAINESVILLE, FL 32605

14838-020-346 GVILLE MIXED-USE
SONDRE NAERO SKARSTEN
1320 NW 3RD AVE #346
GAINESVILLE, FL 32601

14838-020-222 GVILLE MIXED-USE
SOWADA & SOWADA
17053 DOLPHIN DR
NORTH REDINGTON BCH, FL 33708-1316

14838-010-206 GVILLE MIXED-USE
DANIEL WATSON LIFE ESTATE
19422 LONG HAVEN DR
CYPRESS, TX 77433

14834-001-000 GVILLE MIXED-USE
ROSEMARY S SWAIN
1730 NW 11TH RD
GAINESVILLE, FL 32605-5322

13994-001-000 GVILLE MIXED-USE
THOMAS & THOMAS ET AL
4025 NW 14TH ST
GAINESVILLE, FL 32605

14838-020-122 GVILLE MIXED-USE
JOHANNA TUNG
1320 NW 3RD AVE #122
GAINESVILLE, FL 32603

14838-020-306 GVILLE MIXED-USE
JOHNNY TUNG
2215 NW 38TH DR
GAINESVILLE, FL 32605

14838-020-326 GVILLE MIXED-USE
JACKSON 326 LLC
1199 S FEDERAL HIGHWAY STE 363
BOCA RATON, FL 33432

13994-000-000 GVILLE MIXED-USE
W&L THOMAS FAMILY LLC
PO BOX 407
LAKELAND, FL 33802

13962-000-000 GVILLE MIXED-USE
JAMES R WALKER
415 NW 12TH ST
GAINESVILLE, FL 32601

14838-010-303 GVILLE MIXED-USE
WATFORD & WATFORD
897 COLDWATER CREEK CIRCLE
NICEVILLE, FL 32578

Neighborhood Workshop Notice

5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE
ATTN: MIKE HOGE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Black Acres/Black Pines
JIM CONNOR
400 NW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Gateway Park
HAROLD SAIVE
1716 NW 10 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Lamplighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Madison Park
CHARLES FLOYD
1911 N.W. 36 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Pineridge
BERNADINE TUCKER
9 TURKEY CREEK
ALACHUA, FL 32615

Neighborhood Workshop Notice

North Lincoln Heights
ANDREW LOVETTE SR,
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Mill Pond
HAROLD HANEL
309 NW 48 BLVD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Rainbows East
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

University Village
BRUCE DELANEY
1710 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Pinebreeze
JUDITH MEDER
3460 NW 46 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
SANDRA WATTS KENNEDY
514 NW 31 LANE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Eagle Eyes
BEATRICE ELLIS
316 NE 14 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice

LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Phoenix Subdivision
APRIL JONES
3214 SW 26 TERR, Unit B
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

LEE NELSON
DIRECTOR OF REAL ESTATE – UF
204 TIGERT HALL
PO BOX 113100
GAINESVILLE, FL 32611-3100

PUBLIC NOTICE

A Neighborhood Workshop will be held to discuss a Development Plan application for Gainesville Mixed Use Planned Development (PD). The site is ±1.7 acres, located on the east side of NW 13th Street, between NW 3rd and 4th Avenue.

This is not a public hearing. The workshop's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The Workshop is Friday, February 17, 2017 at 6:00 p.m. and is being held at the United Church of Gainesville, which is located at 1624 NW 5th Avenue, Gainesville, FL 32603.

Contact:
Tony Flegert, P.E.
Phone Number:
(352) 331-1976



TODAY IN HISTORY

In 1624, New Amsterdam — now New York City — was incorporated.
 In 1848, the Treaty of Guadalupe Hidalgo, ending the Mexican-American War, was signed.
 In 1914, Charles Chaplin made his movie debut as the comedy short "Making a Living" was released by Keystone Film Co. The musical "Shameless Dhu," featuring the song "Too Ra Loo Ra Loo Lal," opened on Broadway.
 In 1925, the legendary Alaska Serum Run ended as the last of a series of dog mushers brought a life-saving treatment to Nome, the scene of a diphtheria epidemic, six days after the drug left Nenana.
 In 1932, Duke Ellington and His Orchestra recorded "It Don't Mean a Thing (If It Ain't Got That Swing)" for Brunswick Records.

TODAY'S BIRTHDAYS

Gossip columnist Liz Smith is 94. Former French President Valéry Giscard d'Estaing is 91. Actor Robert Maudin is 85. Comedian Tom Smothers is 80. Rock singer-guitarist Graham Nash is 75. Television executive Barry Diller is 75. Actor Bo Hopkins is 73. Country singer Howard Bellamy (The Bellamy Brothers) is 71. TV chef Ina Garten is 69. Actor Jack McElwee is 68. Actor Brent Spiner is 68. Rock musician Russ Velvay (Journey) is 68. Sen. John Cornyn, R-Texas, is 65. The president of South Korea, Park Geun-hye (going-hay), is 65. Model Christie Brinkley is 63. Actor Michael T. Weiss is 62. Actress Kim Zimmer is 62. Actor Michael T. Weiss is 55.

LOTTERY

Wednesday, Feb. 1
 Little
 4-7-25-34-40-46
 Pick 2
 Early drawing: 3-9
 Night drawing: 9-0
 Pick 3
 Early drawing: 7-5-7
 Night drawing: 7-9-8
 Pick 4
 Early drawing: 1-2-6-6
 Night drawing: 0-7-4-7
 Pick 5
 Early drawing: 9-3-8-9-1
 Night drawing: 2-0-2-6-8
 Fantasy 5
 7-12-19-21-28
 Powerball
 9-43-57-60-64 PB: 10
 PREVIOUS RESULTS
 Fantasy 5 — Tuesday
 1-2-21-23-26
 Match Payoff Winners
 5-of-5 \$102,1482
 4-of-5 \$125 263
 3-of-5 \$10 8,667

PIPELINE PROTEST AFTERMATH

Senator: Army Corps told to approve Dakota pipeline easement

The Associated Press

BISMARCK, N.D. — The acting secretary of the Army has ordered the Army Corps of Engineers to allow construction of the Dakota Access pipeline under a Missouri River reservoir, a North Dakota senator said, the latest twist in the months-long legal battle over the \$3.8 billion project.

The Standing Rock Sioux, whose opposition to the project attracted the support of thousands of protesters from around the country to North Dakota, immediately vowed to return to court to stop it.

Sen. John Hoeven, a Republican, announced late Tuesday that Robert Speer directed the Army Corps of Engineers to "proceed" with an easement necessary to complete the pipeline. President Donald Trump signed an executive order signaling his support for the project a week ago.

On Wednesday, Army spokesman Maj. Gen. Malcolm Frost said the Army has begun its review. "These initial steps do not mean the easement has been approved," Frost said.

Hoeven spokesman Don Canton said Speer's move means the easement "isn't quite issued yet, but they plan to approve it" within days.

The crossing under Lake Oahe, a wide section of the Missouri River in southern North Dakota, is the final big chunk of work on the pipeline designed to carry



This photo from video provided by KXMB in Bismarck, N.D., shows cleanup beginning Monday at a North Dakota encampment near Cannon Ball where Dakota Access oil pipeline opponents have protested for months. The Standing Rock Sioux have organized the cleanup with the help of the Thunder Valley Community Development Corp. from South Dakota's Pine Ridge Reservation, which has arranged for heavy equipment including front-end loaders, dump trucks and skid-steer loaders. The work could take weeks, and the cost isn't known. KXMB VIA THE ASSOCIATED PRESS

North Dakota oil through South Dakota and Iowa to a shipping point in Illinois.

The pipeline has been the target of months of protests led by the Standing Rock Sioux, whose reservation lies near the pipeline's route and who have argued that it's a threat to water and tribal artifacts.

The tribe has vowed to challenge any granting of the easement in court, and Chairman Dave Archambault renewed that vow Tuesday night.

"If it does become a done deal in the next few days, we'll take it to the judicial system," Archambault said. He added: "This is a good indicator of what

this country is going to be up against in the next four years. So America has to brace itself."

The developer, Texas-based Energy Transfer Partners, said the pipeline would be safe.

An environmental assessment conducted last year determined the crossing would not have a significant impact on the environment. However, then-Assistant Army Secretary for Civil Works Jo-Ellen Darcy on Dec. 4 declined to issue an easement, saying a broader environmental study was warranted.

Energy Transfer Partners called Darcy's decision politically motivated and

accused then-President Barack Obama's administration of delaying the matter until he left office. Two days before he left the White House, the Corps launched an environmental impact study of the crossing that could take up to two years to complete.

On Jan. 24, just four days after he took office, Trump signed an executive action telling the Corps to quickly reconsider the Dec. 4 decision.

The company appears poised to begin drilling under the lake immediately. Workers have already drilled entry and exit holes for the Oahe crossing, and the company has put all

in the pipeline leading up to the lake in anticipation of finishing the project, its executive vice president Joey Mahmoud said in court documents filed earlier this month.

Hundreds and at times thousands of pipeline opponents calling themselves "water protectors" have camped on federal land near the crossing site since August, often clashing with police and prompting more than 625 arrests. The camp's population has thinned to fewer than 300 due to harsh winter weather and a plea by Archambault for the camp to disband before the spring flooding season.

CONTROVERSIAL VISIT TO BERKELEY

Breitbart editor Milo Yiannopoulos' talk canceled

By Jocelyn Becker
 The Associated Press

BERKELEY, Calif. — A talk at the University of California at Berkeley by Milo Yiannopoulos, a polarizing Breitbart News editor, was canceled Wednesday out of safety concerns after protesters hurled smoke bombs, broke windows and started a bonfire.

The decision was made two hours before the Wednesday night event because a crowd of more than 1,500 had gathered outside the venue, the university said in a statement.

"Of paramount importance this evening was the campus's commitment to ensure the safety and security of those attending the event, the speaker, those who came to engage in lawful protest, as well as members of the public and the Berkeley campus community," it said.

The 32-year-old right-wing provocateur is a vocal supporter of President Donald Trump and a self-proclaimed internet troll whose comments have been criticized as racist, misogynist, anti-Muslim and white supremacist. He was banned from Twitter after leading a harassment campaign against "Ghostbusters" actress Leslie Jones.

His visit to Berkeley is sponsored by the campus Republican club. The university has stressed it did not invite Yiannopoulos and does not endorse his ideas but is committed to free speech and rejected calls to cancel the event.

On Wednesday, the university sent a notice to all students that warned of crowds near the student union, where the 500-seat, sold-out event was



A bonfire set by demonstrators protesting a scheduled speaking appearance by Breitbart News editor Milo Yiannopoulos burns on Sproul Plaza at the University of California at Berkeley campus on Wednesday in Berkeley, Calif. The event was canceled out of safety concerns after protesters hurled smoke bombs, broke windows and started a bonfire. DEN MARGOT/THE ASSOCIATED PRESS

scheduled. "We anticipate there will be major protest/demonstration activity leading up to and surrounding this event," the letter from school officials said. It did not discourage protesters but advised those who didn't wish to participate to avoid the area.

Pieter Sittler, a spokesman for the Berkeley College Republicans, said

the club doesn't support everything Yiannopoulos says but "he gives a voice to repressed conservative thought on American college campuses." He uses "levity and humor" that should not be taken literally, Sittler said.

Yiannopoulos' talks have sparked protests, shouting matches and occasional violence at stops around the country.

A man was shot and wounded at protests outside his Jan. 21 talk at the University of Washington.

Rowdy protests at UC Davis Jan. 13 prompted campus Republicans to cancel his appearance at the last minute. His final stop was supposed to be UCLA on Thursday but the invitation was rescinded, making Berkeley his grand finale.

PUBLIC NOTICE

A Neighborhood Workshop will be held to discuss a Development Plan application for Gainesville Mixed Use Planned Development (PD). The site is 11.7 acres, located on the east side of NW 13th Street, between NW 3rd and 4th Avenue.

This is not a public hearing. The workshop's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The Workshop is Friday, February 17, 2017 at 6:00 p.m. and is being held at the United Church of Gainesville, which is located at 1624 NW 5th Avenue, Gainesville, FL 32603.

Contact: Tony Flegert, P.E.
 Phone Number: (352) 331-1976



IT ONLY TAKES A SPARK.



NOTICE
 A neighborhood workshop will be held to discuss a proposed special use permit for a Rural King store at 2801 NW 13th Street, Gainesville, FL. This will be held on February 7, 2017 at 6:00 p.m. at Knights Inn, 2820 NW 13th Street, Gainesville, FL 32609.

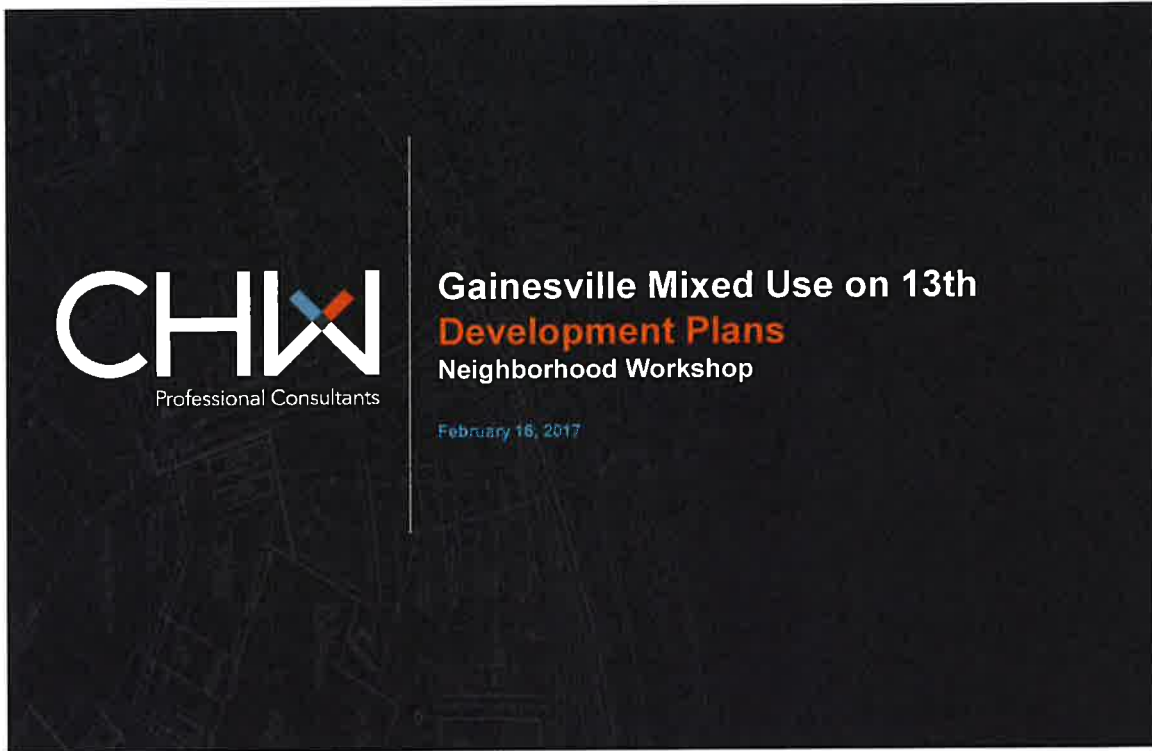
THE LAW OFFICE OF Judith B. Paul, LLC
 ATTORNEY & COUNSELOR AT LAW
 4040 WEST NEWBERRY ROAD, SUITE 1500
 GAINESVILLE, FL 32607
 ELDER LAW
 TEL: 352-872-5911
 WWW.JBPALM.COM
 JBP@JBPALM.COM
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 352-331-1976







Meeting Overview

The purpose of the neighborhood workshop:

- The City of Gainesville requires Development Plan applicants to host a neighborhood workshop
- The purpose is to inform neighbors of the proposed development's nature and to get feedback early in the development process
- This workshop provides the applicant with an opportunity to mitigate concerns prior to the application's submission

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Public Notification

MEMORANDUM

To: Neighbors of the 500 Box 1 on NW 13th Street

From: Tony Flegert, P.E. Senior Project Manager

Date: Thursday, February 2, 2017

RE: Neighborhood Workshop/Notice to Hear

A Neighborhood Workshop will be held to discuss a Development Plan application for Gainesville Mixed Use Planned Development (PD). The site is ±1.7 acres, located on the east side of NW 13th Street, between NW 3rd and 4th Avenue.

Date: Friday, February 17, 2017

Time: 6:00 p.m.

Place: United Church of Gainesville
1624 NW 5th Avenue, Gainesville, FL 32603

Contact: Tony Flegert, P.E. Senior Project Manager
TFF@CHW.COM

This is not a public hearing. The purpose of the workshop is to inform the public about the nature of the proposal and seek their comments.


PUBLIC NOTICE

A Neighborhood Workshop will be held to discuss a Development Plan application for Gainesville Mixed Use Planned Development (PD). The site is ±1.7 acres, located on the east side of NW 13th Street, between NW 3rd and 4th Avenue.

This is not a public hearing. The workshop's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The Workshop is Friday, February 17, 2017 at 6:00 p.m. and is being held at the United Church of Gainesville, which is located at 1624 NW 5th Avenue, Gainesville, FL 32603.


Contact:
Tony Flegert, P.E.
Phone Number:
(352) 331-1976



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Development Review Process



January

Step 1
First Step
Pre-application Conference

Public Notification

Step 2
Neighborhood Workshop

March - April

Step 3
Staff Review

Public Notification

May

Step 4
Board Reviews

Types of Board Reviews

City Plan Board

- Land Use Changes
- zoning Changes
- Special Use Permit
- Final Amendment
- Ordinance Issue

Public Notification

City Commission

Development Review Board

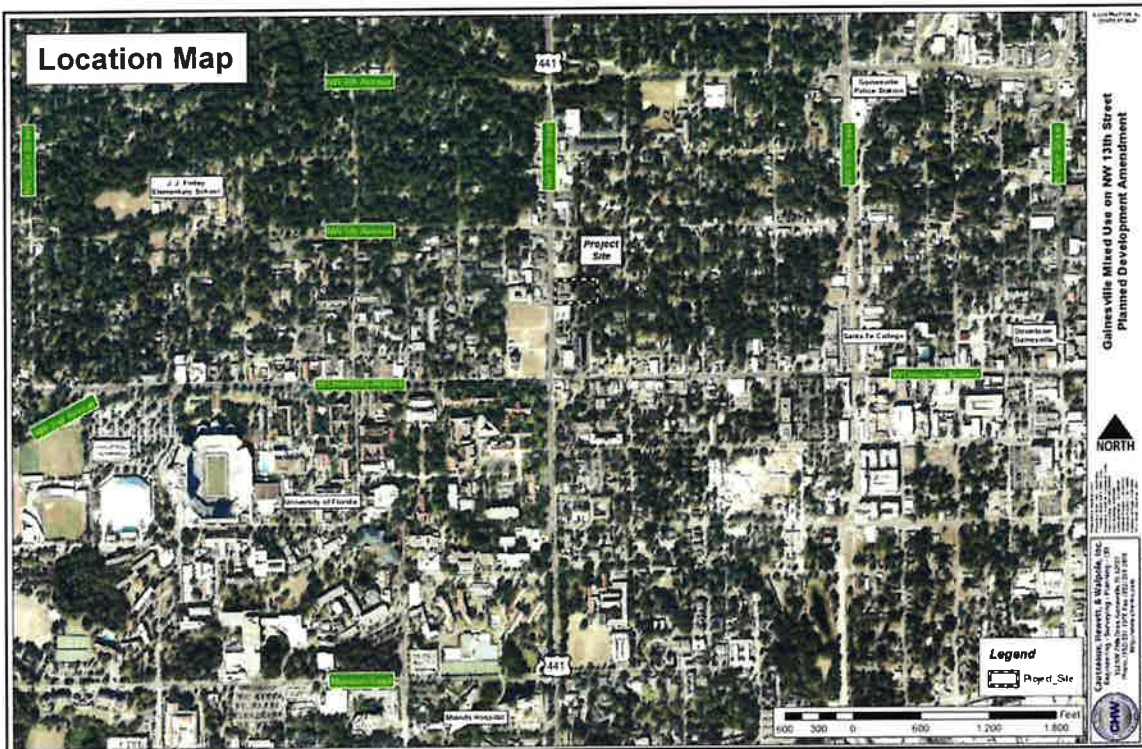
- Development Plans for new buildings or expansion of existing buildings
- Design Plans for new structures**

Public Notification

Process Ends →

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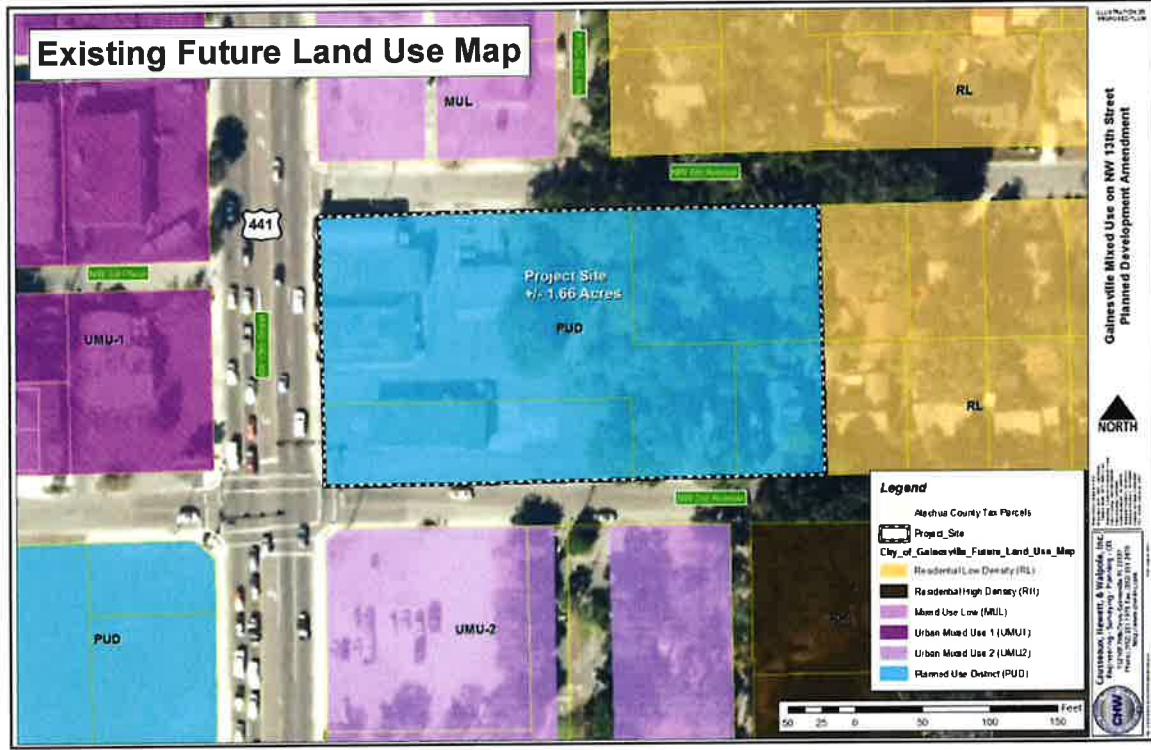
Current Conditions

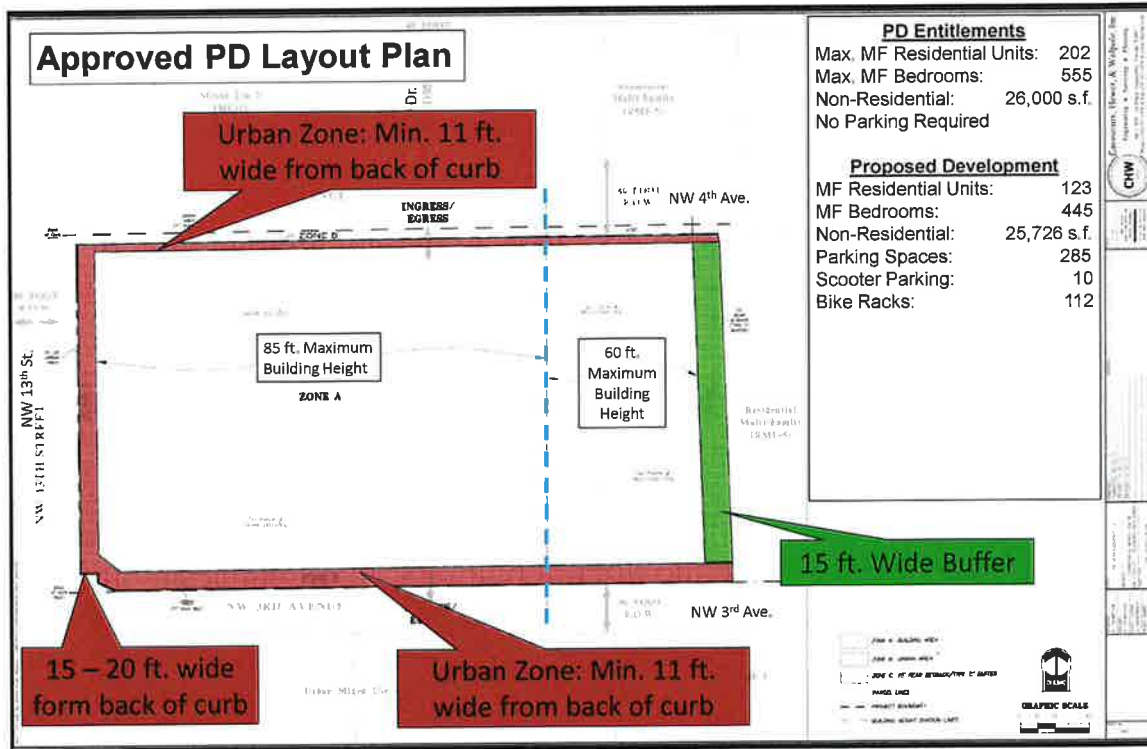
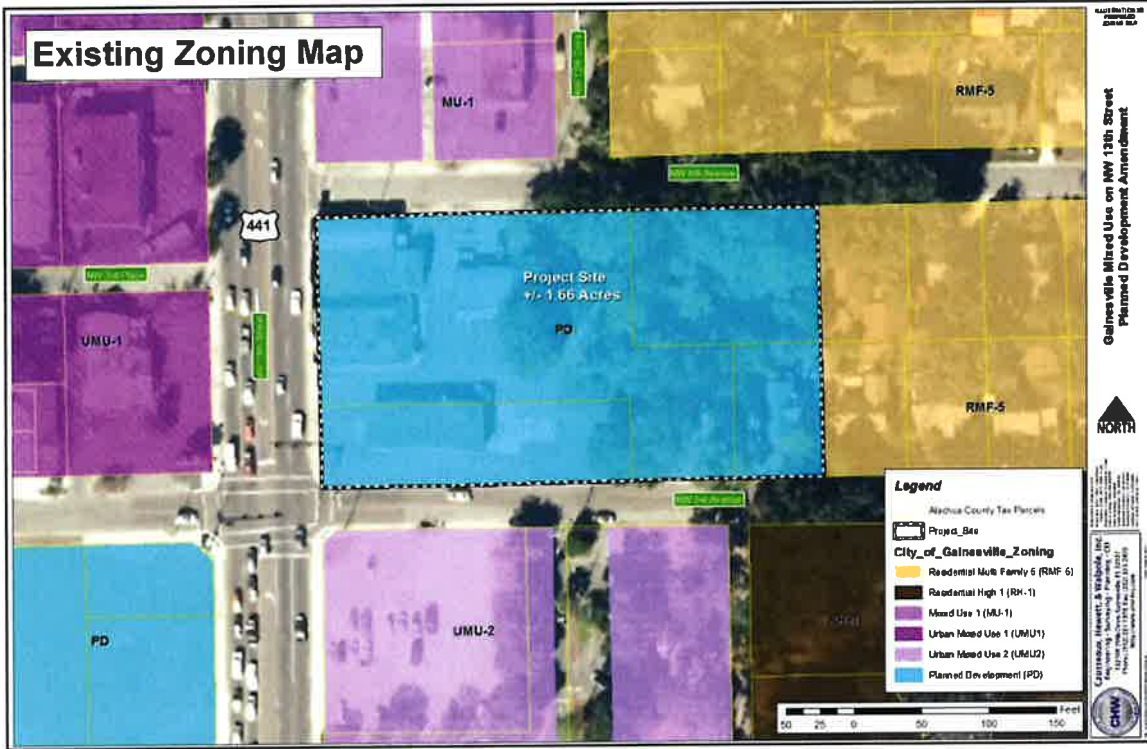


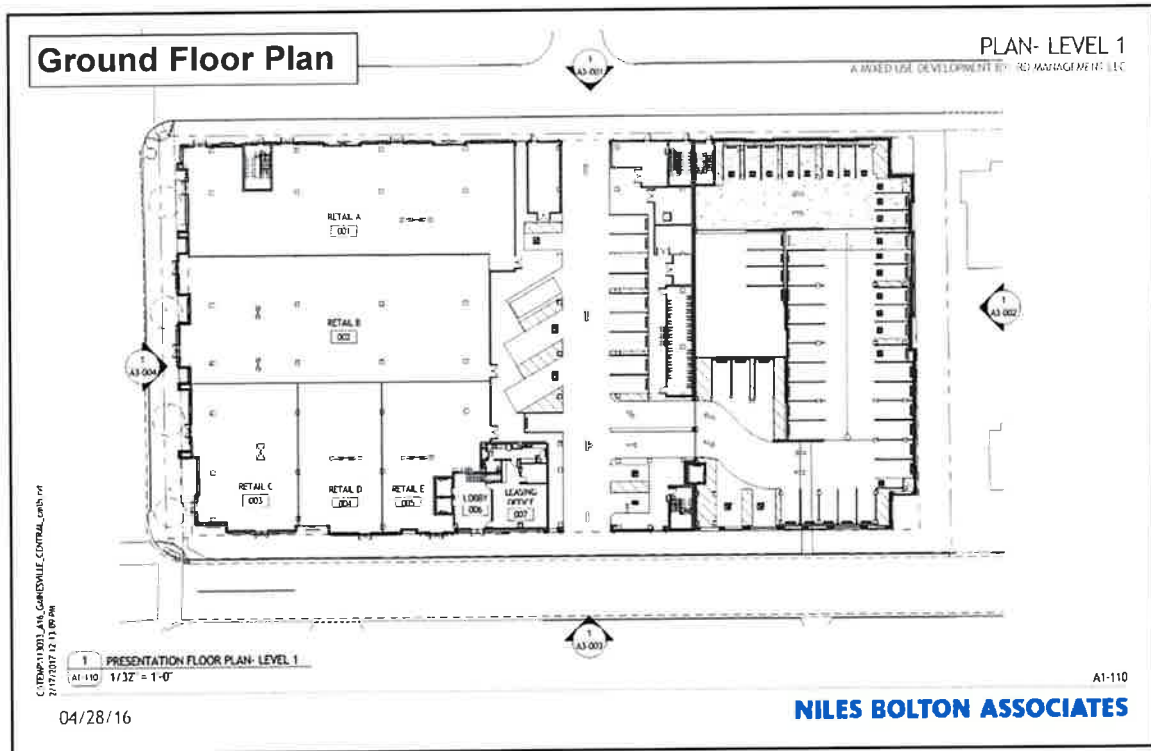
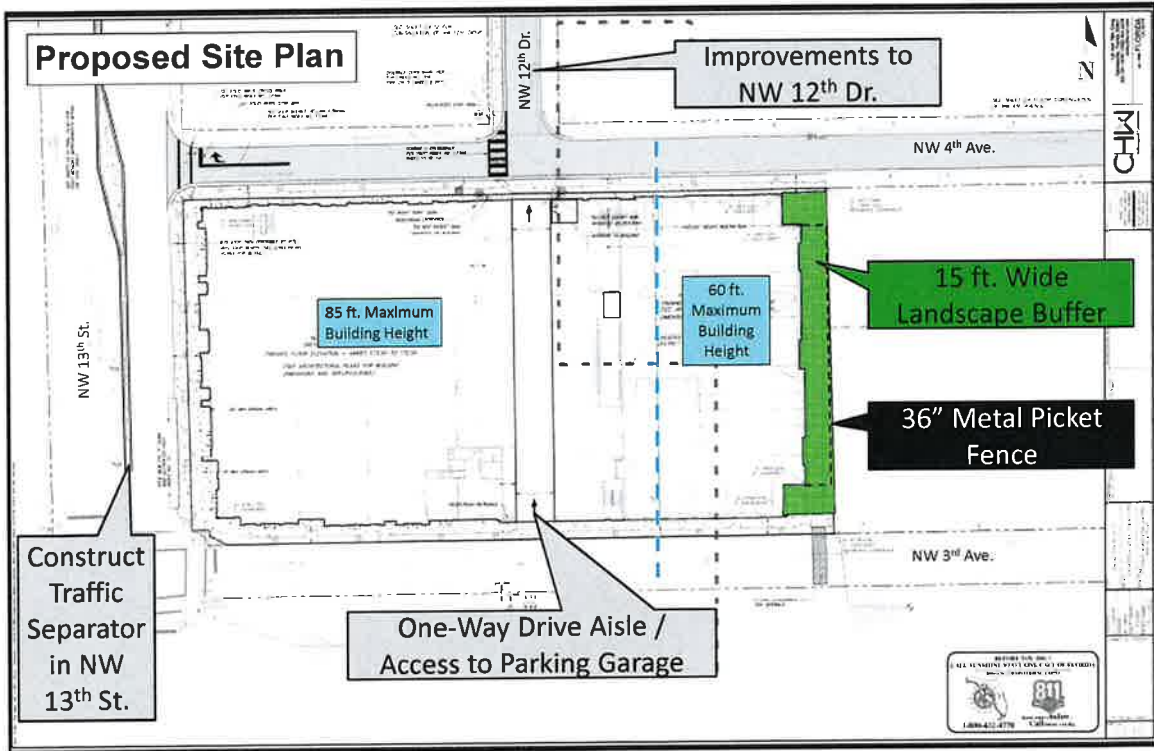
Publix & The Standard Under Construction

Buildings have been removed from Project Site

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South Elevation – NW 3rd Avenue



R. D. MANAGEMENT 02.17.17

NILES BOLTON ASSOCIATES

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East Elevation



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North Elevation – NW 4th Avenue

CHW

LEVEL 7 T.O.P. 74'-10"
LEVEL 6 T.O.P. 64'-2"
LEVEL 5 T.O.P. 51'-6"
LEVEL 4 T.O.P. 41'-10"
LEVEL 3 T.O.P. 31'-2"
00 PODIUM 21'-6"
MEZZANINE 11'-0"
LEVEL 1 0'

R U MANAGEMENT 02.17.17

NILES BOLTON ASSOCIATES

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West Elevation – NW 13th Street

CHW

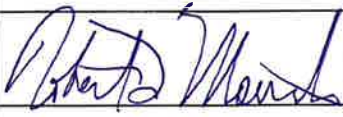




ROOF BEARING 84'-0"
LEVEL 7 T.O.P. 74'-10"
LEVEL 6 T.O.P. 64'-2"
LEVEL 5 T.O.P. 51'-6"
LEVEL 4 T.O.P. 41'-10"
LEVEL 3 T.O.P. 31'-2"
00 PODIUM 21'-6"
MEZZANINE 11'-0"
LEVEL 1 0'

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SIGN-IN SHEET

Event: Neighborhood Workshop
Date/Time: February 17, 2017 @ 6:00pm
Place: Gainesville Mixed Use on 13th Street
Re: Development Plan Application

No.	Print Name	Street Address	Signature
		robert.t.mounts@gmail.com	
1	Robert Mounts	1639 NW 11th Road Gainesville FL 32605	
2	Eric Wild	1910 NW 14th Ave Gainesville, FL 32605	
3	Greg Stetz	1226 NW 4th Ave	
4	Jan Coakley	1226 NW 4th Ave	
5	Javel Wilson	1905 NW 7 th Lane	
6		DCWSWAMP@YAHOO.COM (Send copy of presentation)	
7			
8			
9			
10			
11			
12			
13			

NEIGHBORHOOD WORKSHOP MINUTES

GAINESVILLE MIXED USE ON 13TH STREET – DEVELOPMENT PLANS

FEBRUARY 17, 2017 AT 6:00 PM

UNITED CHURCH OF GAINESVILLE

Recorded and transcribed by CHW staff.

CHW Attendees – Craig Brashier (CB); Ryan Thompson; Walker Owen

Craig Brashier gave an informational PowerPoint presentation that outlined the City's application process, the development, and its consistency with the underlying Planned Development (PD) Zoning Master Plan. Five neighbors attended the workshop, which is reflected on the sign-in sheet. Questions were asked both during and following the presentation. The following is a summary of attendees' questions and comments, including CHW staff and client responses:

Question: Will these be condos or apartments?

Response (CB): They will be apartments.

Question: How many units will there be?

Response (CB): There will be 123 units, with 445 beds.

Question: How many are allowed?

Response (CB): 202 units and 555 beds.

Question: How many stories will there be?

Response (CB): The building will be 85' along NW 13th Street and step down to 60' where the building is within 100' of the east property boundary.

Question: What kind of landscaped buffer is there going to be between the garage and the residential area?

Response (CB): There is a 15'-wide, type C landscape buffer, which is the widest and most-dense landscape buffer within the City of Gainesville. There's also a 36" metal picket fence along that eastern buffer line.

Question: What about on 13th Street, what is the landscaping going to be like on that street?

Response (CB): There is going to be a 15'-20' setback with street trees, per the PD Zoning Master Plan. [Images included in workshop presentation.]

Question: Are you expecting a lot more traffic through the residential area because of this development?

Response (CB): The targeted residence will be associated with the University of Florida, either as students, faculty, or staff, which means they will walk or bike to school/work. The significant increase in retail/service along the corridor means they won't have to rely on a vehicle to meet daily needs. Therefore, there is not a significant of vehicle trips anticipated with this development.

The majority of traffic will travel west on 4th Avenue or north on 12th Drive. Only a minimal increase of traffic in the residential area. Also, there is going to be a traffic separator added on 13th Street.

Question: What kind of tenants are you expecting?

Response (CB): We can only speculate on the future tenants. The primary target residents are students, but there could also be faculty or staff. The development is open to all Gainesville residents.

Question: What about the UF Strategic Plan, on-campus housing?

Response (CB): We're aware of the plan and it doesn't directly impact this project site.

Question: What will be the screening on the parking garage?

Response (CB): The parking garage is integrated into the building and designed architecturally to be indistinguishable. There will be screening over open-air portions.

Comment: The garage design is much better than The Standard's design.

The meeting adjourned at 7:05 pm.

EXHIBIT
C

SEE SHEET C4.11 FOR CONTINUATION OF NW 4th AVENUE.



1:100
VERTICAL SCALE
1" = 10'-0"
HORIZONTAL SCALE
1" = 100'-0"
IF NOT ONE INCH ON EITHER SCALE, ACCURACY SHALL BE AS SHOWN.

CHW
Civil & Highway
Engineering

DATE: 04-18-2017
PROJECT: GAINESVILLE PARCEL D, LLC
SHEET TITLE: DETAILED HORIZONTAL CONTROL AND SITE PLAN

CONTRACTOR: BBLWP PARCEL D, LLC
PROJECT: GAINESVILLE PARCEL D, LLC
SHEET TITLE: DETAILED HORIZONTAL CONTROL AND SITE PLAN

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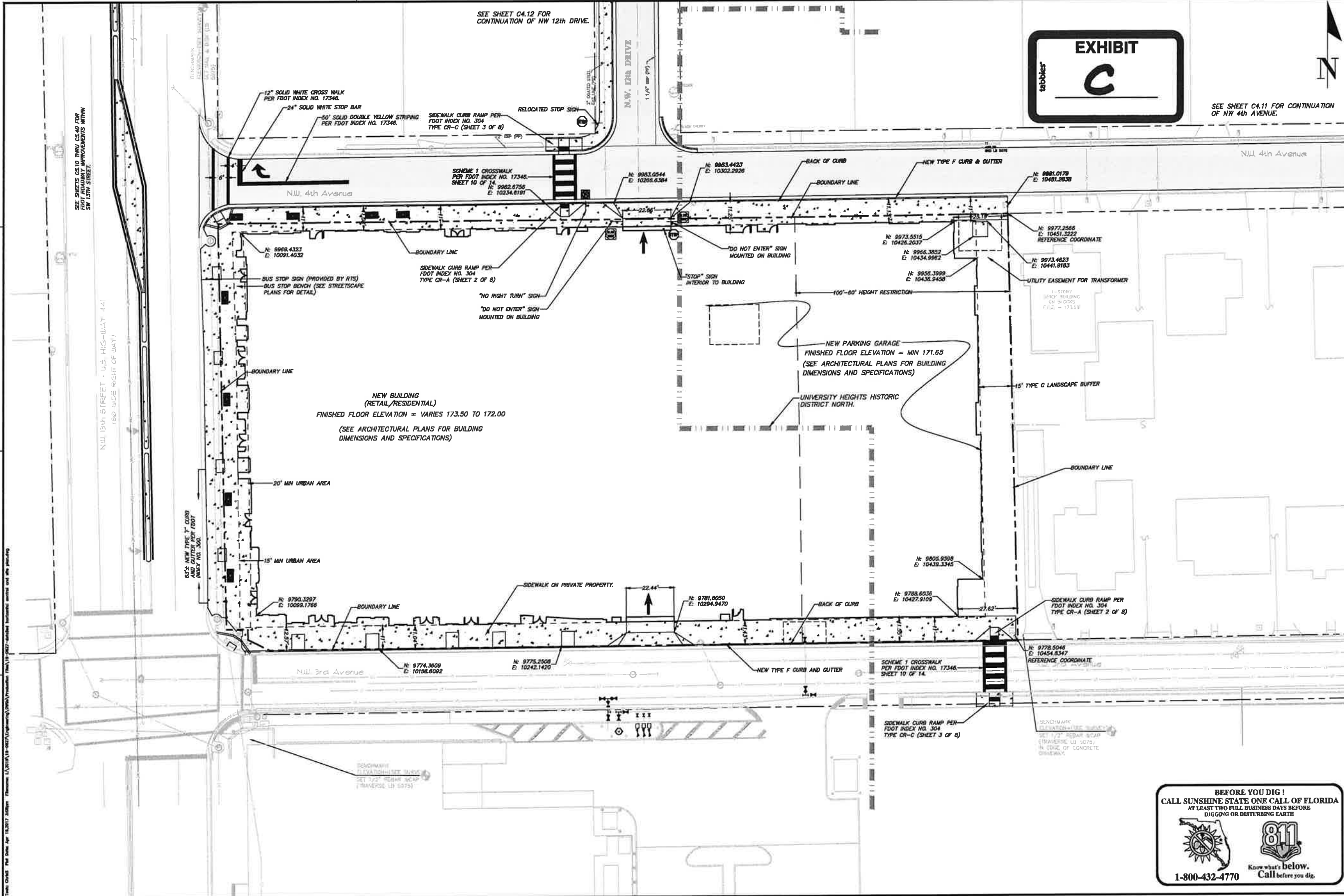
DATE: 04-18-2017
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A
B
C
D

SEE SHEETS C5.10 THRU C5.40 FOR
FOOT ROADWAY IMPROVEMENTS WITHIN
SW 13th STREET.

NW 13th STREET - U.S. HIGHWAY 441
(60' WIDE RIGHT OF WAY)

SEE SHEET C4.12 FOR
CONTINUATION OF NW 12th DRIVE.

12" SOLID WHITE CROSS WALK
PER FDOT INDEX NO. 17346.
24" SOLID WHITE STOP BAR
50' SOLID DOUBLE YELLOW STRIPING
PER FDOT INDEX NO. 17348.

SIDEWALK CURB RAMP PER
FDOT INDEX NO. 304
TYPE CR-C (SHEET 3 OF 8)

SCHEME 1 CROSSWALK
PER FDOT INDEX NO. 17346.
SHEET 10 OF 14
N: 9982.6750
E: 10234.6191

BUS STOP SIGN (PROVIDED BY RTS)
BUS STOP BENCH (SEE STREETSCAPE
PLANS FOR DETAIL)

SIDEWALK CURB RAMP PER
FDOT INDEX NO. 304
TYPE CR-A (SHEET 2 OF 8)

"NO RIGHT TURN" SIGN
MOUNTED ON BUILDING

"DO NOT ENTER" SIGN
MOUNTED ON BUILDING

"DO NOT ENTER" SIGN
MOUNTED ON BUILDING

"STOP" SIGN
INTERIOR TO BUILDING

NEW PARKING GARAGE
FINISHED FLOOR ELEVATION = MIN 171.65
(SEE ARCHITECTURAL PLANS FOR BUILDING
DIMENSIONS AND SPECIFICATIONS)

UNIVERSITY HEIGHTS HISTORIC
DISTRICT NORTH.

NEW BUILDING
(RETAIL/RESIDENTIAL)
FINISHED FLOOR ELEVATION = VARIES 173.50 TO 172.00
(SEE ARCHITECTURAL PLANS FOR BUILDING
DIMENSIONS AND SPECIFICATIONS)

20' MIN URBAN AREA

15' MIN URBAN AREA

SIDEWALK ON PRIVATE PROPERTY.

BACK OF CURB

NEW TYPE F CURB AND GUTTER

BACK OF CURB

SIDEWALK CURB RAMP PER
FDOT INDEX NO. 304
TYPE CR-A (SHEET 2 OF 8)

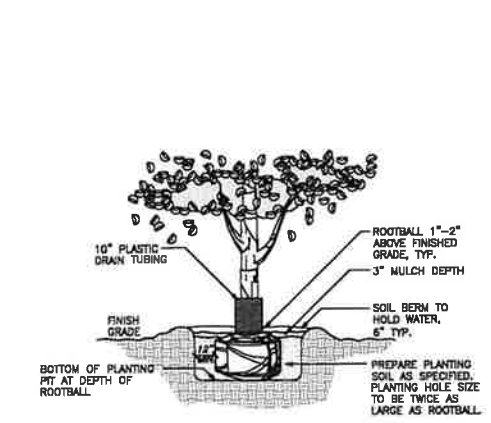
NW 3rd Avenue

BENCHMARK
ELEVATION: 173.50
SET 1/2" REBAR SCAP
(MARKERS LB 5075)
IN (CASE OF CONCRETE
DIVERSITY)

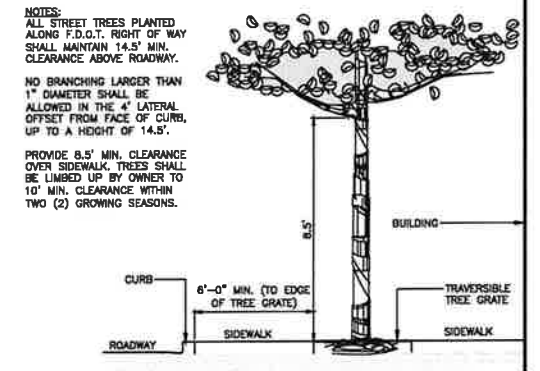
BENCHMARK
ELEVATION: 173.50
SET 1/2" REBAR SCAP
(MARKERS LB 5075)
IN (CASE OF CONCRETE
DIVERSITY)

DATE: 04-18-2017 11:20:00 AM
PROJECT: GAINESVILLE PARCEL D, LLC
SHEET TITLE: DETAILED HORIZONTAL CONTROL AND SITE PLAN

FL PE No. 09147
SHEET NO. C1.10



1 TREE PLANTING DETAIL
SCALE: N.T.S.

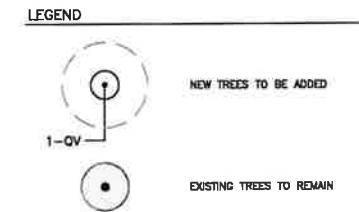


2 13TH STREET TREE CLEARANCE DETAIL, TYP.
SCALE: N.T.S.

NOTES:
ALL STREET TREES PLANTED ALONG F.D.O.T. RIGHT OF WAY SHALL MAINTAIN 14.5' MIN. CLEARANCE ABOVE ROADWAY.
NO BRANCHING LARGER THAN 1" DIAMETER SHALL BE ALLOWED IN THE 4' LATERAL OFFSET FROM FACE OF CURB, UP TO A HEIGHT OF 14.5'.
PROVIDE 8.5' MIN. CLEARANCE OVER SIDEWALK. TREES SHALL BE LIMBED UP BY OWNER TO 10' MIN. CLEARANCE WITHIN TWO (2) GROWING SEASONS.

GENERAL NOTES
ALL ASPHALT, LIMESTONE, AND CONSTRUCTION DEBRIS TO BE REMOVED FROM PLANTING BEDS AND AREAS TO BE SOODED PRIOR TO LANDSCAPE INSTALLATION. PLANTING DEPTH OF SOIL IN SUCH AREAS SHOULD BE AT LEAST 3". IF FILL MUST BE ADDED, IT MUST BE FLORIDA CLEAN DEEP FILL (FREE OF WEED SEEDS) WITH pH 5.5-6.5.
ALL TREES TO BE A MINIMUM SEVEN (7) FEET IN HEIGHT AND TWO (2) INCH CALIPER, OR LARGER, UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT.
ALL TREES TO BE PLANTED 1"-2" ABOVE FINISHED GRADE.
ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" THICKNESS OF MULCH. PINE BARK MULCH SHALL BE USED IN ALL AREAS.
TREES OUTSIDE OF MULCHED LANDSCAPED BEDS TO BE PROTECTED FROM MOWER AND STRING TRIMMER DAMAGE WITH 10" OF PLASTIC DRAIN TUBE.
LEADER SHOOTS AND MAIN STRUCTURAL LIMBS OF TREES WILL NOT BE TOPPED OR PRUNED. TREES TO BE STAKED AS NEEDED, GUYLINES TO BE NON-SYNTHETIC BIODEGRADABLE MATERIAL.
OWNER SHALL BE RESPONSIBLE FOR (1) THE SURVIVAL OF THE LANDSCAPING ELEMENTS AND (2) REMOVAL OF ALL STAKING SYSTEMS WITHIN ONE YEAR. TREES WILL BE STAKED ONLY IF NECESSARY, AND IF STAKED, BIODEGRADABLE TWINE WILL BE USED.
CALL THE URBAN FORESTRY INSPECTOR FOR A BARRICADE INSPECTION AT 352-393-8188 BEFORE CLEARING AND GRUBBING WORK BEGINS.
INVASIVE EXOTIC PLANT MATERIAL
ALL INVASIVE PLANT SPECIES TO BE REMOVED FROM SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
GRASSING
ALL DISTURBED AND UNPAVED AREAS TO BE GRASSED WITH SOD THAT IS FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE OR SHALL BE SEEDING AND MULCHED. SEE CIVIL SITE PLANS FOR ADDITIONAL RELATED INFORMATION.

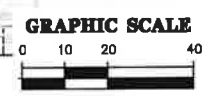
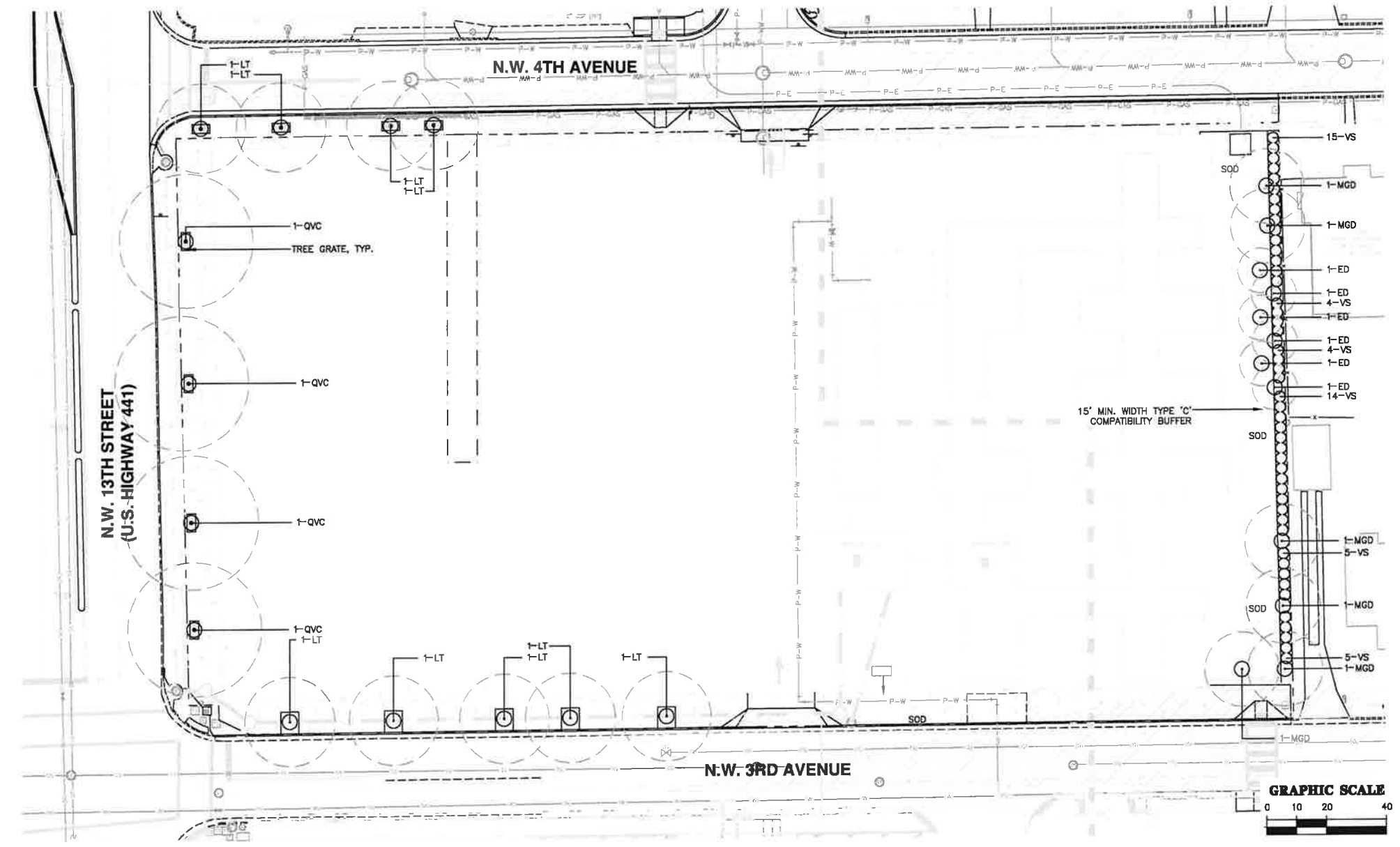
PLANT MATERIAL
ALL PLANT MATERIAL TO BE FLORIDA NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S GRADES AND STANDARDS FOR NURSERY PLANTS. CALL THE CITY URBAN FORESTRY INSPECTOR AT 352-393-8188 AND LANDSCAPE ARCHITECT PRIOR TO PURCHASING ANY PLANT MATERIAL. FOR AN ON SITE INSPECTION AND REVIEW OF LANDSCAPE PLAN.
IRRIGATION
LANDSCAPE IRRIGATION TO BE PROVIDED BY AUTOMATIC IRRIGATION SYSTEM. BUBBLERS SHALL BE INSTALLED BY EACH TREE AS PART OF THE IRRIGATION SYSTEM.
T.M.P.A.
SITE IS LOCATED IN ZONE A OF THE TRANSPORTATION MOBILITY PROGRAM AREA.



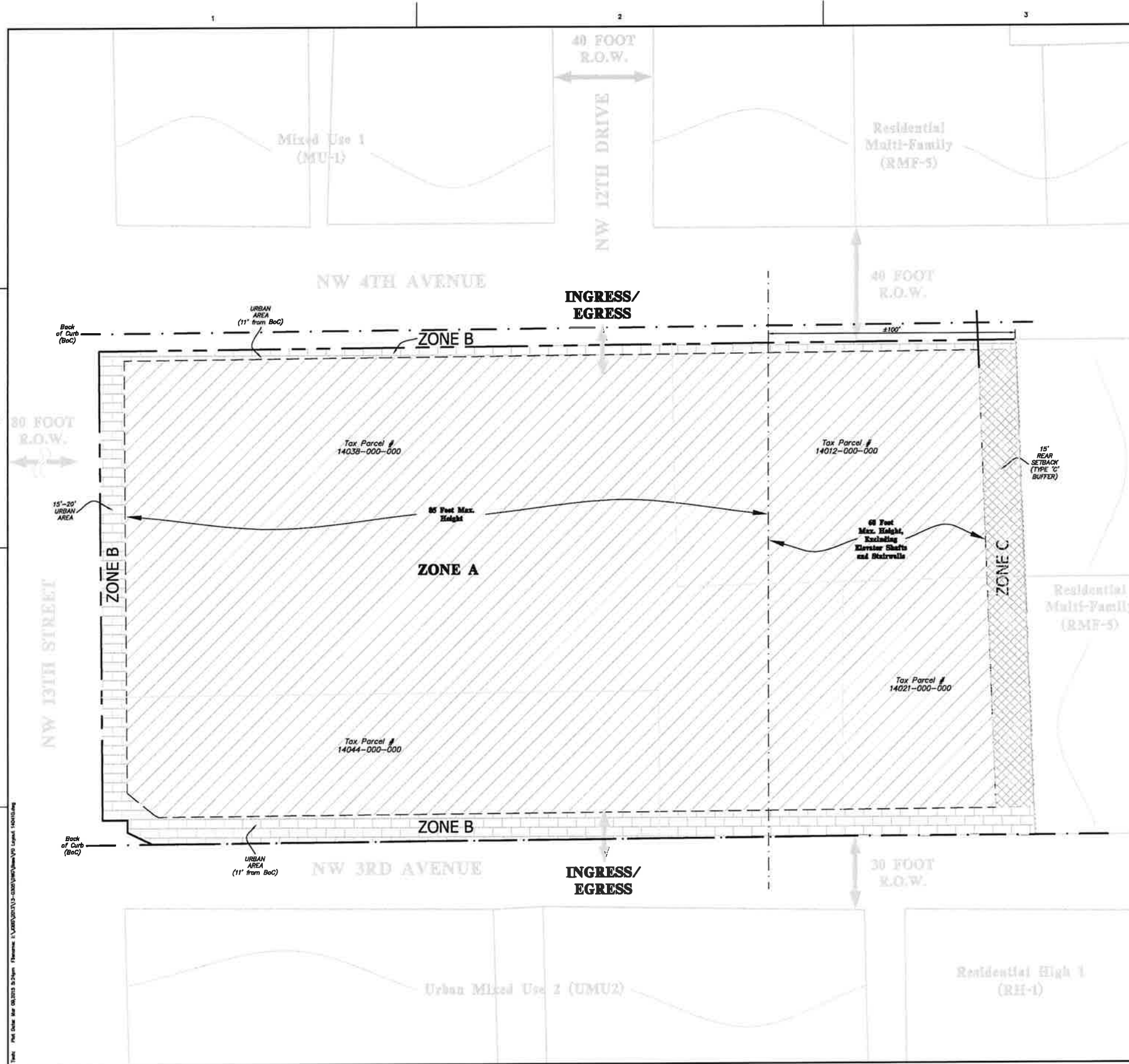
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ED	8	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY TREE	30 GAL, 11' HT, 3' SPR, 2" CAL
LT	9	LIRIODENDRON TULIPIFERA	TULIP TREE	30 GAL, 11' HT, 3' SPR, 2" CAL
MGD	6	MAGNOLIA GRANDIFLORA 'DD BLANCHARD'	DD BLANCHARD MAGNOLIA	30 GAL, 12' HT, 42" SPR, 2" CAL
QVC	4	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL LIVE OAK	100 GAL, 17' HT, 8.5' SPR, 4" CAL
SHRUBS	QTY	BOTANICAL NAME <th>COMMON NAME</th> <th>SIZE</th>	COMMON NAME	SIZE
VS	47	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 18" HT., 18" SPR.
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE
SOD		PASPALUM NOTATUM 'ARGENTINE'	BAHIA GRASS	WEED FREE AND SAND GROWN SOD

TREE MITIGATION CALCULATIONS Sec. 30-264(c)(4)	
CATEGORY	MITIGATION CALCULATIONS
TREE APPRAISED VALUE (T.A.V.)	TOTAL TREES IN CATEGORY TO BE MITIGATED..... 1 TREE MAXIMUM APPRAISED TREES..... 8 TREES MAXIMUM 3 TREES PER ACRE TOTAL SITE AREA: 1.89 ACRES TREES BEYOND MAXIMUM TO BE MITIGATED AT INCH FOR INCH REPLACEMENT (SEE BELOW)..... 0 TREES APPRAISED TREES: 63" LIVE OAK = \$48,511.43 TOTAL = \$48,511.43
INCH-FOR-INCH REPLACEMENT	T.A.V. TREES BEYOND MAXIMUM N/A HIGH-QUALITY HERITAGE TREES IN LESS THAN FAIR CONDITION 30" CEDAR..... 30" 31" LIVE OAK..... 31" 44" LIVE OAK..... 44" NON-HIGH QUALITY HERITAGE TREES IN FAIR OR BETTER CONDITION N/A TOTAL INCHES REQUIRED..... 108"
2:1 REPLACEMENT	TOTAL TREES TO BE MITIGATED AT 2:1 REPLACEMENT..... 36 TREES TOTAL TREES REQUIRED FOR MITIGATION @ 2:1 REPLACEMENT..... 72 TREES TOTAL INCHES REQUIRED @ 2"/TREE..... 144"
TOTAL TREE MITIGATION	TOTAL MITIGATION INCHES REQUIRED..... 248" TOTAL MITIGATION PROVIDED..... 58" 21 @ 2" = 42" 4 @ 2" = 18" 26 TREES FOR A TOTAL OF 58" TOTAL MITIGATION INCHES DEFICIT..... 191" TOTAL MITIGATION TREES REQUIRED @ 2"/TREE..... 95.5 TREES
TOTAL MITIGATION PAYMENT	TOTAL MITIGATION PAYMENT: TREE APPRAISALS TOTAL..... \$48,511.43 DEFICIT PAYMENT (\$100/TREE)..... \$9,550.00 TOTAL PAYMENT REQUIRED..... \$58,061.43 * NOTE: MITIGATION PAYMENT SHALL BE MADE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.



CHIXI
1"-30'
VERY SCALE
1" = 30'
SCALE
DATE: 02/20/2017
CITY OF GAINESVILLE
04/19/2017 - CITY OF GAINESVILLE
CLIENT: RSWP PARCEL D, LLC
PROJECT: GAINESVILLE MIXED USE
DESIGNER: C. TOLAR
CHECKER: C. TOLAR
L. HALL
PROJECT NO: 16-0627
SHEET NO: LS-1



PD LAYOUT PLAN

DEVELOPMENT DATA

TOTAL SITE AREA	= ±1.69 ACRES
ZONE A (MIN. BUILDING AREA)	= ±1.46 ACRES; 86.4% OF TOTAL SITE
ZONE B (MAX. URBAN AREA)	= ±0.17 ACRES; 9.9% OF TOTAL SITE
ZONE C (TYPE 'C' BUFFER)	= ±0.06 ACRES; 3.6% OF TOTAL SITE
APPROVED USE MIX: (Square footage may vary 2.5% to accommodate building footprint requirements)	
MULTI-FAMILY RESIDENTIAL	= 202 DWELLING UNITS
NON-RESIDENTIAL*	= 26,000 SQUARE FEET
MAY. BUILDING HEIGHT	= AS SHOWN ON PLAN
MAY. IMPERVIOUS AREA	= 1.66 ACRES; 100% OF TOTAL SITE
MIN. URBAN AREA REQUIREMENTS:	
FRONT	= 15 to 20 FEET
SIDE	= 11 FEET
REAR SETBACKS	= 15 FEET

*THE LEASING OFFICE WILL NOT COUNT AGAINST THE PERMITTED NON-RESIDENTIAL SQUARE FOOTAGE.

NOTES

- LAND USE ZONE AREA BOUNDARIES MAY BE MODIFIED UP TO TEN FEET (10') TO FACILITATE ON-SITE PEDESTRIAN / VEHICULAR CIRCULATION PATTERNS AND NATURAL FEATURES PRESERVATION.
- ZONE A PERMITTED USES SHALL BE BUILDING AREA INCLUDING THOSE USES IDENTIFIED IN THE PD ORDINANCE, AS WELL AS STORMWATER MANAGEMENT, AND PEDESTRIAN AND VEHICULAR CIRCULATION AND PARKING.
- ZONE B SHALL BE MEASURED FROM THE BACK-OF-CURB TO THE BUILDING FACADE. PERMITTED USES SHALL BE OUTDOOR DINING AND COMMERCE THAT ARE ANCILLARY TO ON-SITE USES, PEDESTRIAN AND VEHICULAR CIRCULATION, A BUS SHELTER, LANDSCAPING, AND UTILITIES. PIPES THAT COLLECT AND RELOCATE STORMWATER MAY BE LOCATED IN ZONE B. HOWEVER, STORMWATER MAY NOT BE DISPENSED IN ZONE B.
- REQUIRED URBAN AREAS SHALL BE MEASURED FROM THE BACK-OF-CURB TO THE BUILDING FACADE. THE URBAN AREA ALONG NW 13TH STREET SHALL BE A MINIMUM OF 15 FEET EXCEPT WHERE LANDSCAPING AND/OR STREET TREES ARE PROVIDED, THEN THE URBAN AREA SHALL BE A MINIMUM OF 20 FEET. THE URBAN AREA ALONG NW 4TH AVENUE AND NW 3RD AVENUE SHALL BE A MINIMUM OF 11 FEET.
- SIDEWALKS WILL BE A MINIMUM OF TEN FEET (10') WIDE ALONG NW 13TH STREET AND SEVEN FEET (7') WIDE ALONG NW 3RD AND 4TH AVENUES, CONSISTENT WITH THE UNIVERSITY HEIGHTS OVERLAY.
- PROJECTED TRIP GENERATION IS BASED ON THE FOLLOWING FIGURES:
 A.M. PEAK HOUR = 87 TRIPS
 P.M. PEAK HOUR = 138 TRIPS
 ANNUAL AVERAGE DAILY TRIPS = 1,326 TRIPS
- LOADING ZONES AND SOLID WASTE FACILITIES WILL BE LOCATED WITHIN THE COLONNADE/INTERNAL PARKING GARAGE. MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE BUILDING'S ROOF, IF FEASIBLE.
- NON-RESIDENTIAL USES SHALL NOT BE PERMITTED EAST OF THE NW 12TH DRIVE RIGHT-OF-WAY.
- THE BUILDING'S HEIGHT WILL TRANSITION FROM AN 85' MAXIMUM HEIGHT TOWARDS NW 13TH STREET TO A 60' MAXIMUM HEIGHT WITHIN ±100' OF THE EASTERN PROPERTY BOUNDARY.

ZONE A: BUILDING AREA
 ZONE B: URBAN AREA
 ZONE C: 15' REAR SETBACK/TYPE 'C' BUFFER
 - - - - - PARCEL LINES
 - - - - - PROJECT BOUNDARY
 - - - - - BUILDING HEIGHT DIVISION LINES

GRAPHIC SCALE
 0 10 20 40
 FEET

Causseaux, Hewett, & Walpole, Inc.
 Engineering • Planning
 6011 NW 1st Place, Gainesville, Florida 32607
 Phone: (352) 331-1976 • Fax: (352) 331-2476 • www.chw-inc.com
 CA-0075

VERIFY SCALE ON ORIGINAL DRAWING
 DATE: 12-20-2018
 DRAWN BY: R. THOMPSON
 CHECKED BY: G. BERNHARDT
 PROJECT NUMBER: 13-0305
 SHEET TITLE: PD LAYOUT PLAN
 SHEET NO.: 1

DO NOT REMOVE!!

This drawing is the property of the architect and shall remain the property of the architect. It is not to be reproduced, copied, or used in any way without the permission of the architect.

ARCHITECTS NAME: ARCHITECTS AR NEM 2016/00/00
 PROJECT #: 113033.00
 DRAWN BY: Author
 CHECKED BY: Checker

NILES BOLTON ASSOCIATES

COMPANY NAME: COMPANY AR NEM
 3060 Peachtree Rd. N.W.
 Suite 600
 Atlanta, GA 30305
 T 404 365 7600
 F 404 365 7610
 www.nilesbolton.com

No.	Description	Date
1	GAU SUBMITTAL #2	4/19/17

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A MIXED USE DEVELOPMENT BY:
RD MANAGEMENT LLC
 NW 13th St. at NW 3rd Ave
 Gainesville, Florida

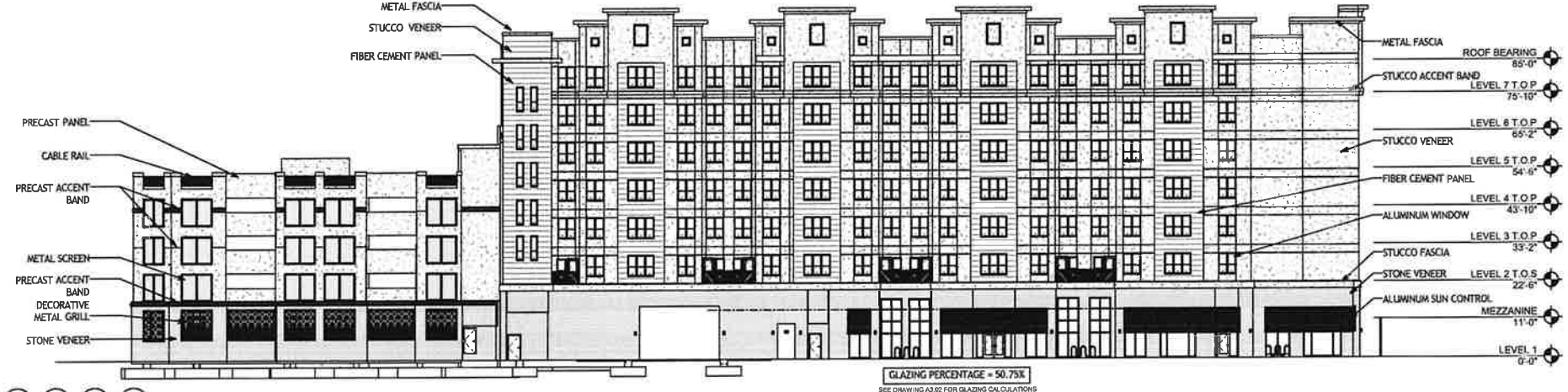
SHEET TITLE:
ELEVATIONS- NORTH & WEST EXTERIOR-BUILDING

SHEET NUMBER:
A3.00
 GAU SUBMITTAL #2
 02-17-2017

PROGRESS



2 ELEVATION- EXTERIOR- WEST
 A3.00 1/16" = 1'-0"



1 ELEVATION- EXTERIOR- NORTH
 A3.00 1/16" = 1'-0"

C:\DWG\113033_ARS_GAINESVILLE_CENTRAL.dwg 14 4/19/2017 4:53:23 PM

DO NOT REMOVE!!
 This drawing is a representation of a building and is not to be used for construction or other purposes without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing, and shall not be held liable for any damages, actual or consequential, arising from the use of this drawing.

ARCHITECTS NAME
 ARCHITECTS AIR NUM 2016/00/00
 PROJECT #: 113033.00
 DRAWN BY: Author
 CHECKED BY: Checker

NILES BOLTON ASSOCIATES

COMPANY NAME
 COMPANY AIR NUM
 3060 Peachtree Rd. N.W.
 Suite 600
 Atlanta, GA 30305
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 F 404 365 7610
 www.nilesbolton.com

No.	Description	Date
1	GRU SUBMITTAL #2	11/17/17

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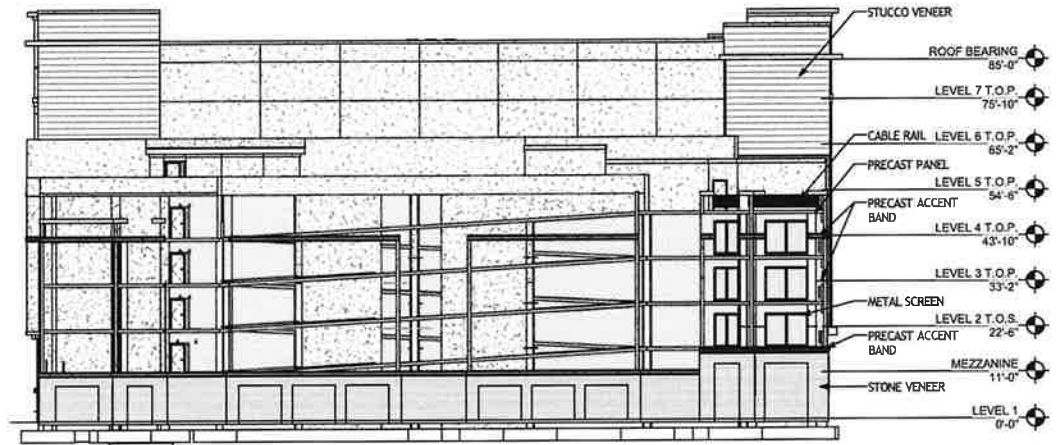
**A MIXED USE DEVELOPMENT BY:
 RD MANAGEMENT LLC
 NW 13th. St. at NW 3rd Ave
 Gainesville, Florida**

SHEET TITLE:
**ELEVATIONS- SOUTH
 & EAST EXTERIOR-
 BUILDING**

SHEET NUMBER:
A3.01

GRU SUBMITTAL #2
 02-17-2017

PROGRESS



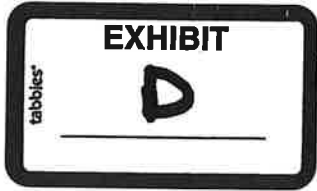
2 ELEVATION- EXTERIOR- EAST
 A3.01 1/16" = 1'-0"



1 ELEVATION- EXTERIOR- SOUTH
 A3.01 1/16" = 1'-0"

GLAZING PERCENTAGE = 52.75%
 SEE DRAWING A3.02 FOR GLAZING CALCULATIONS

C:\TEMP\1033_A3L_GAINESVILLE_CENTRAL_cenr01.rvt
 4/18/2017 4:53:35 PM



ORDINANCE NO. 130515

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An ordinance of the City of Gainesville, Florida, amending the Zoning Map Atlas by rezoning to Planned Development District (PD) approximately 1.67 acres of property located at 1226 NW 3rd Avenue, 303 NW 13th Street, 1249 NW 4th Avenue and 1227 NW 4th Avenue, as more specifically described in this ordinance; adopting PD maps, a PD report, and development conditions; providing for enforcement; providing a severability clause; providing a repealing clause; and providing an effective date.

WHEREAS, Planned Development District (PD) zoning is a zoning category that allows for landowners or developers to submit unique proposals that are not addressed or otherwise provided for in the zoning districts and land development regulations established by the City of Gainesville Land Development Code; and

WHEREAS, on January 19, 2012, the City Commission adopted Ordinance No. 100897, which originally rezoned the property that is the subject of this ordinance to Planned Development District (PD) and included certain PD maps, a PD report and land development regulations; and

WHEREAS, Section 30-224(a) of the City of Gainesville Land Development Code provides that, with certain exceptions, an amendment to a previously approved Planned Development (PD) may only be accomplished by a rezoning ordinance accompanied by a new proposed Planned Development (PD); and

WHEREAS, by initiation of the owners of the subject property to amend the subject property's Planned Development District (PD) zoning, notice of public meetings was given as required by law; and

1 **WHEREAS**, on October 24, 2013, a public hearing was held by the City Plan Board,
2 which acts as the local planning agency pursuant to Section 163.3174, Florida Statutes, where it
3 recommended approval of the petition with certain revisions; and

4 **WHEREAS**, on January 16, 2014, the City Commission held a public hearing and
5 approved the petition with certain revisions; and

6 **WHEREAS**, following a delay initiated by the land owner/agent, the land owner/agent
7 has requested minor revisions to this ordinance and has requested that this ordinance now
8 proceed to the City Commission for consideration; and

9 **WHEREAS**, at least ten (10) days' notice has been given once by publication in a
10 newspaper of general circulation notifying the public of this proposed ordinance and of public
11 hearings in the City Hall Auditorium located on the first floor of City Hall in the City of
12 Gainesville; and

13 **WHEREAS**, public hearings were held pursuant to the notice described above at which
14 hearings the parties in interest and all others had an opportunity to be and were, in fact, heard;
15 and

16 **WHEREAS**, the City Commission finds that the amendments to the Planned
17 Development District (PD) zoning for the property described herein is consistent with the City of
18 Gainesville Comprehensive Plan and Planned Use District (PUD) Ordinance No. 130514.

19 **NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE**
20 **CITY OF GAINESVILLE, FLORIDA:**

21 **Section 1.** The Zoning Map Atlas of the City of Gainesville is amended by rezoning
22 the following described property to Planned Development District (PD):

23 See legal description attached as Exhibit "A" and made a part hereof as if set forth

1 in full. The location of the property is shown on Exhibit "B" for visual reference.
2 In the event of conflict or inconsistency, Exhibit "A" shall prevail over Exhibit
3 "B".
4

5 **Section 2.** The use and development of the property described in Section 1 of this
6 ordinance shall be consistent with the City of Gainesville Comprehensive Plan and Planned Use
7 District (PUD) Ordinance No. 130514, and shall be regulated by the following exhibits that are
8 attached to this ordinance and made a part hereof as if set forth in full:

9 1. Exhibit "C" consisting of the following Planned Development (PD) maps:

10 a. PD Layout Plan map dated March 10, 2015; and

11 b. Elevations

12 2. Exhibit "D" consisting of the PD Report titled "Gainesville Mixed Use on NW
13 13th Street Planned Development Amendment Justification Report".

14 In the event of conflict or inconsistency, the order of precedence shall be as follows, with
15 number 1 taking precedence over number 2 and so on: 1) the land development regulations set
16 forth in Section 3 of this ordinance; 2) Exhibit "C"; 3) Exhibit "D"; and 4) The City's Land
17 Development Code.

18 **Section 3.** The use and development of the property described in Section 1 of this
19 ordinance shall be regulated by the following land development regulations:

20 Condition 1. The permitted uses by right are as listed below. The GN, MG and Div. numbers
21 are references to the Standard Industrial Code Classification of Uses, 1987 Edition and the
22 references to articles are to the requirements stated in that article as set forth in the City's Land
23 Development Code, as may be amended or renumbered from time to time.
24

SIC	Uses	Conditions
	Rowhouses	
	Multi-family dwellings (up to 100 units per acre).	An additional 25 units per acre may be added by special use permit

clarify uses

	Incidental residential accessory uses, including storage rooms, management offices, club or game rooms, and recreational and laundry facilities intended for use solely by the residents of the developments and their guests.	
	Consolidated apartment management offices	
	Bed and breakfast establishment	In accordance with article VI
	Day care center	In accordance with article VI
	Places of religious assembly	In accordance with article VI
	Outdoor cafes	In accordance with article VI
	Eating places	
	Research and Development in the Physical, Engineering and Life Sciences	
GN-074	Veterinary services	Only within enclosed buildings and in accordance with article VI
MG-43	U.S. Postal Service	
GN-471	Arrangement of passenger transportation	Offices only, with no operation of passenger tours on site.
MG-53	General merchandise stores	
MG-54	Food stores	Excluding gasoline pumps
MG-56	Apparel and accessory stores	
MG-57	Home furniture, furnishing, and equipment stores	
MG-59	Miscellaneous retail	Excluding GN598 Fuel Dealers
Div. H	Finance, insurance and real estate	Excluding cemetery subdividers and developer (IN-6553)
MG-72	Personal services	Including funeral services and crematories in accordance with article VI and excluding industrial laundries (IN-7218)
MG-73	Business services	Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN7353), and equipment rental and leasing, not elsewhere classified (IN-7359)
GN-525	Hardware stores	
GN-701	Hotels and motels	
GN-752	Automobile parking	
MG-78	Motion picture	

MG-80	Health services	
MG-81	Legal services	
MG-82	Educational services	
MG-84	Museums, art galleries, and botanical and zoological gardens	
MG-86	Membership organization	
MG-87	Engineering, accounting, research, management, and related services	

1
2 Condition 2. The permitted uses shall be regulated within Zones A and B as depicted and
3 described in the PD Layout Plan and the PD report.

4
5 Condition 3. Drive-through facilities are prohibited. Drive-through facilities are defined as
6 facilities that provide services mechanically or personally to customers who do not exit their
7 vehicles and include, but are not limited to, banking facilities, payment windows, restaurant,
8 food or beverage sales, dry cleaning and express mail services. The following are not considered
9 drive-through facilities: auto fuel pumps and depositories that involve no immediate exchange
10 or dispersal to the customer, such as mail boxes, library book depositories, and recycling
11 facilities.

12
13 Condition 4. The location of buildings shall be located as shown on the PD Layout Plan. Minor
14 shifts in building location (up to ten feet) may be authorized during development plan review,
15 consistent with other requirements.

16
17 Condition 5. The building shall be constructed with the exterior design as generally depicted in
18 the elevations in the PD Maps. The façade of the parking structure shall be designed to be
19 consistent with the general design, texture, and colors of the principal buildings. The
20 owner/developer shall provide color elevations with notations as to building materials for review
21 and approval during development plan review.

22
23 Condition 6. The development shall meet the Community Redevelopment Agency streetscape
24 standards that are in effect at the time of development plan review for the design and materials
25 for sidewalks, crosswalks, handicap ramps, bicycle racks, and other relevant streetscape fixtures.
26 The elements of the streetscape (street trees, sidewalk, outdoor cafés and bus shelters) shall be
27 provided within the Zone B Urban Areas identified on the PD Layout Plan. The required Zone B
28 Urban Areas shall be measured from the back-of-curb to the building façade. The Zone B Urban
29 Area along NW 13th Street shall be a minimum of 15 feet, except where landscaping or street
30 trees are provided the Zone B Urban Area shall be a minimum of 20 feet. All floors, with the
31 exception of the ground floor, are permitted to extend up to six feet into the Zone B Urban Area
32 along NW 13th Street. Structural features such as arcade columns shall be permitted within the
33 Zone B Urban Area along NW 13th Street. Zone B Urban Areas along NW 4th Avenue and NW
34 3rd Avenue shall be a minimum of 11 feet.

35
36 Condition 7. Bicycle parking spaces shall be provided along the streets and in appropriate
37 locations internal to the site, at a rate of 1 space per every 4 bedrooms and 1 space per every

1 2000 feet of commercial or office floor area. The development shall also provide a minimum of
2 10 scooter parking spaces.

3
4 Condition 8. On all three street frontages, buildings shall provide a minimum of 50% glazing
5 within the area between 3' and 8' above grade. This required glazing must be 80% transparent
6 and shall not utilize painted glass, reflective glass or other similarly treated windows. Entrances
7 with glazing may be counted toward meeting this minimum glazing requirement.

8
9 Condition 9. Individual uses on the ground floor shall provide functional entrances that face the
10 street.

11
12 Condition 10. Shade street trees as listed in the Gainesville Tree List (reaching at least 40 feet
13 in height at maturity) shall be planted every 50 feet on average along the streets abutting the PD.

14
15 Condition 11. The vehicular entrances to the parking garage shall be located as shown on the
16 elevations in the PD Maps. No vehicular access is permitted from NW 13th Street.

17
18 Condition 12. A minimum 4-foot wide pedestrian pathway shall be provided through the
19 parking garage vehicular access in order to connect the sidewalks on NW 3rd Avenue and NW 4th
20 Avenue.

21
22 Condition 13. A 15-foot wide Type C landscape buffer shall be planted along the site's eastern
23 boundary. The Type C landscape buffer shall include a minimum of three (3) shade trees, three
24 (3) understory trees, and 25 shrubs per 100 linear feet.

25
26 Condition 14. Prior to receiving a certificate of occupancy, the owner/developer shall at its
27 expense install an FDOT approved traffic separator on NW 13th Street from NW 3rd Avenue to
28 NW 5th Avenue along the existing center turn lane. The traffic separator will generally be a 2-
29 foot-wide concrete separator for the entire length with a full width median separator at the center
30 of the block for a distance of approximately 100 feet. The final design of the traffic separator
31 shall be subject to review and approval by the FDOT by permit.

32
33 Condition 15. Prior to receiving a certificate of occupancy, the owner/developer shall improve
34 NW 12th Drive from NW 4th Avenue to NW 5th Avenue as stated below. These improvements
35 are required due to operational or safety issues and will not count toward Transportation
36 Mobility Program requirements or other transportation mitigation program requirements.

37
38 (1) The developer shall evaluate whether the typical section including pavement
39 widths, thickness and the non-curbed condition can support the projected traffic
40 loading for two-way travel. If found to be insufficient, the typical section shall be
41 widened and a structural course overlay and curbing of the entire roadway length
42 may be required.

43
44 (2) A 6-foot-wide sidewalk shall be installed along one side of the street.
45

1 (3) The northern terminus (approximately 25 feet) of the roadway shall be re-graded
2 to eliminate the valley gutter and dip. Type F curb-and-gutter radius returns shall
3 be installed at the intersection with NW 5th Ave.
4

5 Condition 16. Due to the development's location in the University of Florida Context Area,
6 prior to final development plan approval, the owner/developer shall sign a Context Area Transit
7 Agreement meeting the Transportation Mobility Element Policy 10.1.14 requirements for the
8 proposed number of multi-family units.
9

10 Condition 17. Plans depicting construction staging areas must be provided during development
11 plan review. Construction staging shall be contained on the property to the extent possible. The
12 owner/developer shall notify the construction contractors that all construction vehicles shall enter
13 the site only from NW 3rd Avenue or NW 4th Avenue via NW 13th Street, as approved by the City
14 Public Works Department, and shall not travel to or from the site along the neighborhood streets
15 to the east of the site.
16

17 Condition 18. If completion of the footer and vertical construction has not commenced within
18 one year after the existing buildings have been removed from the site, the site shall be planted
19 with grass and properly maintained.
20

21 Condition 19. The relocation or removal/demolition of the two existing historic contributing
22 structures on the site shall require approval from the Historic Preservation Board, or if denied by
23 the Historic Preservation Board then approval by the City Commission on appeal.
24

25 Condition 20. The elevation of the parking structure shall be designed to minimize lighting
26 impacts on adjacent residential properties and incorporate architectural and landscape elements
27 to create a façade that more closely resembles a building rather than open levels of a parking
28 garage. The elevations for structures located within the University Heights North Historic
29 District shall be reviewed by the Historic Preservation Board pursuant to Section 30-112 of the
30 Land Development Code prior to final development plan approval (Note: this condition has been
31 met by the Historic Preservation Board's approval of Certificate of Appropriateness Petition HP-
32 13-00081 on January 7, 2014). Elevations shall be generally consistent with those included in
33 this ordinance, but elevation details and materials may be revised by the Historic Preservation
34 Board and/or Development Review Board without need to amend this ordinance.
35

36 Condition 21. If any building is built to a height of seven stories, then the building construction
37 for that building shall be concrete and steel Type I construction.
38

39 **Section 4.** The development terms and conditions in this ordinance shall remain effective
40 until such time as, upon either the City or the property owner filing a rezoning petition, the City

1 adopts an ordinance rezoning the property described in Section 1 of this ordinance to another zoning
2 district consistent with the Comprehensive Plan and Land Development Code.

3 **Section 5.** Any person who violates any provision of this ordinance shall be deemed guilty
4 of a municipal ordinance violation and shall be subject to fine or imprisonment as provided by
5 Section 1-9 of the Gainesville Code of Ordinances. Each day a violation occurs or continues,
6 regardless of whether such violation is ultimately abated or corrected, shall constitute a separate
7 offense.

8 **Section 6.** If it is determined by the City Manager that a violation of this ordinance exists,
9 the City Manager may issue and deliver an order to cease and desist from such violation in order to
10 correct a violation, to preclude occupancy of the affected building or area, or to vacate the premises.
11 The City Manager, through the City Attorney, may seek an injunction in a court of competent
12 jurisdiction and seek any other remedy available at law.

13 **Section 7.** The City Manager or designee is authorized and directed to make the necessary
14 changes to the Zoning Map Atlas to comply with this ordinance.

15 **Section 8.** If any word, phrase, clause, paragraph, section or provision of this ordinance
16 or the application hereof to any person or circumstance is held invalid or unconstitutional, such
17 finding shall not affect the other provisions or applications of this ordinance that can be given
18 effect without the invalid or unconstitutional provision or application, and to this end the
19 provisions of this ordinance are declared severable.

20 **Section 9.** Ordinance No. 100897 is hereby superseded in its entirety and is hereby
21 repealed effective on the effective date of this ordinance. All other ordinances or parts of
22 ordinances in conflict herewith are to the extent of such conflict hereby repealed effective of the
23 effective date on this ordinance.

1 **Section 10.** This ordinance shall become effective upon Ordinance No. 130514 becoming
2 effective as provided therein.

3

4 **PASSED AND ADOPTED** this 2nd day of April, 2015.

5

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Attest:


KURT M. LANNON
CLERK OF THE COMMISSION
EDWARD B. BRADDY
MAYOR

Approved as to form and legality:


NICOLLE M. SHALLEY
CITY ATTORNEY

17

18 This ordinance passed on first reading this 19th day of March, 2015.

19

20 This ordinance passed on second reading this 2nd day of April, 2015.



*Focused on Excellence
Delivered with Integrity*

LEGAL DESCRIPTION

September 3, 2013

PROJECT NO: 13-0305
DESCRIPTION FOR: OVERALL DESCRIPTION

DESCRIPTION FOR TAX PARCEL(S): 14012-000-000, 14038-000-000, 14044-000-000
(OFFICIAL RECORDS BOOK 3826, PAGE 2134)

A PARCEL OF LAND IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, IN THE CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE NORTHWEST CORNER OF LOT 4, BLOCK 3, OF BELLAH'S SUBDIVISION, A SUBDIVISION AS PER PLAT THEREOF, RECORDED IN PLAT BOOK "C", PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID POINT ALSO BEING THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF NW 13TH STREET (80' RIGHT OF WAY) WITH THE SOUTH RIGHT OF WAY LINE OF NW 4TH AVENUE (40' RIGHT OF WAY); THENCE RUN NORTH 89°32'21" EAST ALONG THE SOUTH RIGHT OF WAY LINE OF SAID NW 4TH AVENUE, FOR 299.62 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID BELLAH'S SUBDIVISION; THENCE RUN NORTH 89°11'10" EAST, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, FOR 70.85 FEET TO THE NORTHEAST CORNER OF LOT 5 OF SHELLIE COURT, A SUBDIVISION AS PER PLAT THEREOF, RECORDED IN PLAT BOOK "C", PAGE 61 OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 01°10'41" EAST, ALONG THE EAST LINE OF SAID LOT 5, FOR 100.14 FEET TO THE SOUTHEAST CORNER OF SAID LOT 5; THENCE RUN SOUTH 89°12'22" WEST, ALONG THE SOUTH LINE OF SAID LOT 5 AND AN EXTENSION THEREOF, 71.24 FEET TO THE NORTHEAST CORNER OF LOT 7 OF SAID BELLAH'S SUBDIVISION; THENCE RUN SOUTH 00°15'21" WEST, ALONG THE EAST LINE OF SAID LOT 7, FOR 99.62 FEET TO THE NORTH RIGHT OF WAY LINE OF NW 3RD AVENUE (30' RIGHT OF WAY); THENCE RUN SOUTH 89°26'23" WEST, ALONG SAID NORTH RIGHT OF WAY, FOR 73.04 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7; THENCE RUN NORTH 00°33'42" EAST, ALONG THE WEST LINE OF SAID LOT 7, FOR 59.86 FEET; THENCE RUN SOUTH 89°32'21" WEST, FOR 7.30 FEET; THENCE RUN SOUTH 00°33'42" WEST, FOR 59.85 FEET TO THE AFORESAID NORTH RIGHT OF WAY LINE; THENCE RUN SOUTH 89°30'05" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, FOR 205.00 FEET; THENCE RUN NORTH 64°22'42" WEST, FOR 11.22 FEET; THENCE RUN NORTH 00°28'51" EAST, FOR 5.06 FEET; THENCE RUN SOUTH 89°30'05" WEST, FOR 10.00 FEET TO THE AFOREMENTIONED EAST RIGHT OF WAY LINE OF NW 13TH STREET; THENCE RUN NORTH 00°26'47" WEST, FOR 190.00 TO THE POINT OF BEGINNING.

AND

132 NW 76th Drive, Gainesville, Florida 32607 • Phone (352) 331-1976 • Fax (352) 331-2476 • www.chw-inc.com

ALLEY DESCRIPTION (DEED BOOK 220, PAGE 468)

BEGIN AT THE SOUTHEAST CORNER OF LOT 7, BLOCK 3, OF BELLAH'S SUBDIVISION IN GAINESVILLE, FLORIDA, AND RUN NORTH 100 FEET ALONG THE EAST LINE OF SAID LOT 7, RUN THENCE EAST 5 FEET, RUN THENCE SOUTH 100 FEET TO THE NORTH LINE OF COURT STREET, RUN THENCE WEST ALONG THE NORTH LINE OF COURT STREET 5 FEET TO POINT OF BEGINNING.

AND

LOT 14 DESCRIPTION (OFFICIAL RECORDS BOOK 4185 , PAGE 1008)

LOT 14, SHELLIE COURT, A SUBDIVISION AS PER PLAT THEREOF, RECORDED IN PLAT BOOK C, PAGE 61, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

ALSO: A 5 FOOT STRIP OF LANDS LYING ADJACENT TO THE WEST SIDE OF SAID LOT 14 OF SHELLIE COURT, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 14 OF SHELLIE COURT, THENCE RUN WEST ALONG THE WESTERLY PROLONGATION OF THE SOUTH LINE OF SAID LOT 14 A DISTANCE OF 5 FEET, THENCE RUN NORTH PARALLEL TO THE WEST LINE OF LOT 14 TO A POINT ON THE WESTERLY PROLONGATION OF THE NORTH LINE OF SAID LOT 14, THENCE RUN EAST 5 FEET ALONG THE WESTERLY PROLONGATION OF THE NORTH LINE OF SAID LOT 14 TO THE NORTHWEST CORNER OF SAID LOT 14, THENCE RUN SOUTH ALONG THE WEST LINE OF SAID LOT 14 TO THE POINT OF BEGINNING.

City of Gainesville Zoning Districts

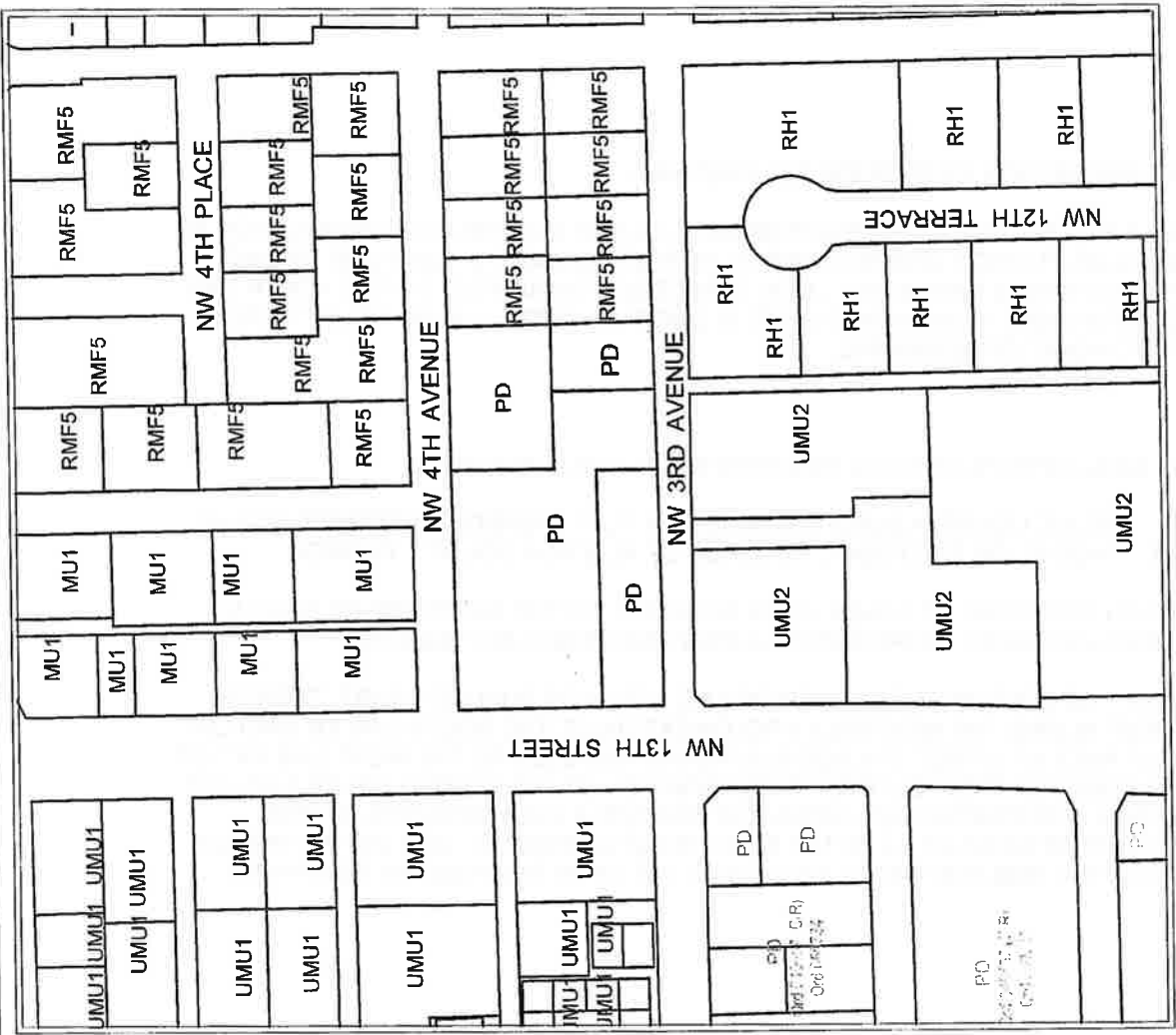
- RMF-5 12 units/acre Single-Family/Multiple-Family Residential
- RH-1 8-43 units/acre Residential High Density
- MU-1 8-30 units/acre Mixed Use Low Intensity
- UMU-1 Up to 75 units/acre Urban Mixed-Use
- UMU-2 Up to 100 units/acre Urban Mixed-Use
- PD Planned Development

Exhibit "B" to Ordinance No. 130515

page 1 of 2

Area
under petition
consideration

Division line between two zoning districts



PROPOSED ZONING

Name	Petition Request	Petition Number
Causseaux, Hewett & Walpole, Inc agent for RBLWP Parcel D, LLC and Bruce and Kristin Hawkins	Amend an existing PUD to allow construction of a mixed-use development and rezone parcel from RMF-5 to Planned Development (PD).	PB-13-85 PDA



City of Gainesville Zoning Districts

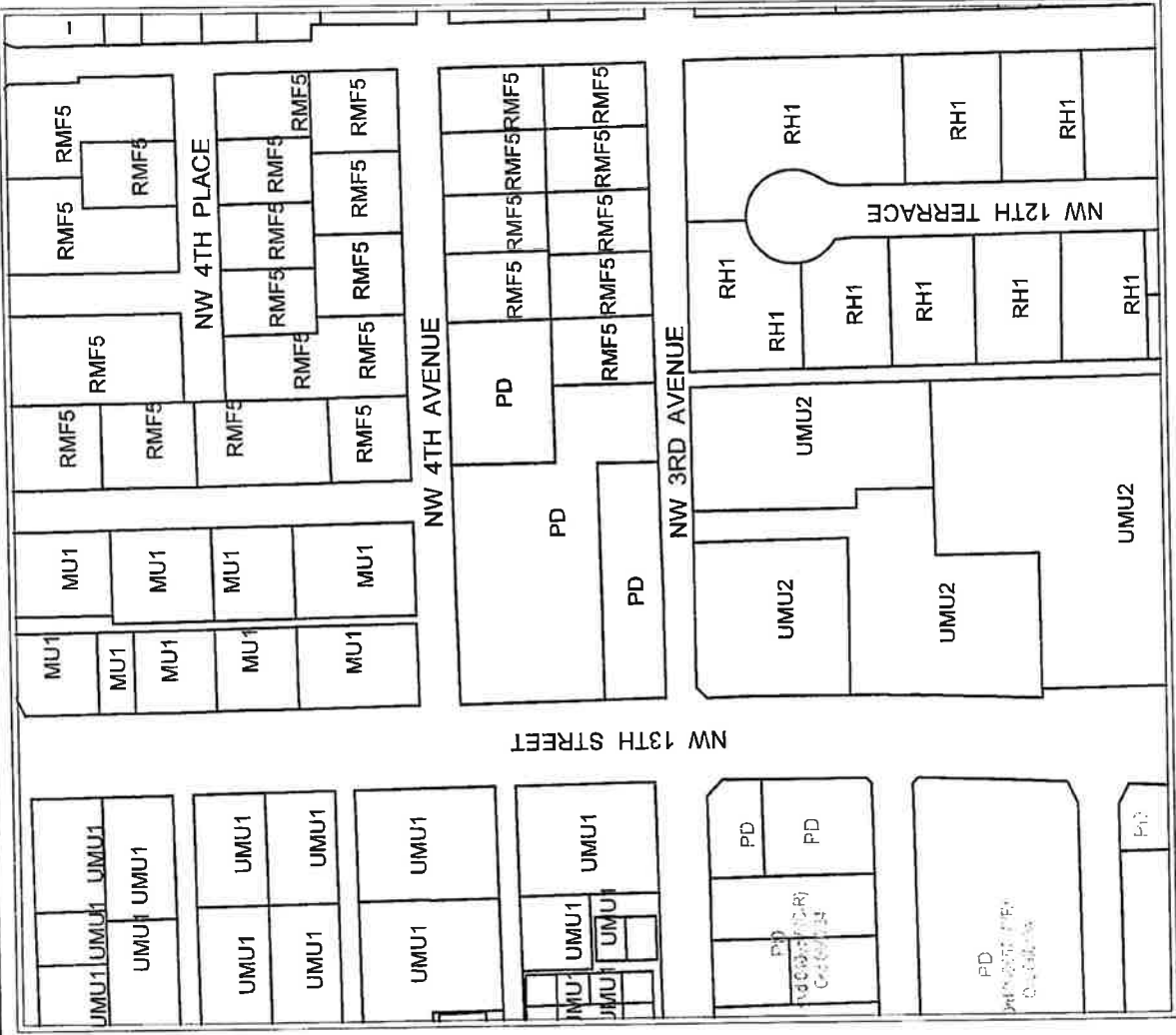
- RMF-5 12 units/acre Single-Family/Multiple-Family Residential
- RH-1 8-43 units/acre Residential High Density
- MU-1 8-30 units/acre Mixed Use Low Intensity
- UMU-1 Up to 75 units/acre Urban Mixed-Use
- UMU-2 Up to 100 units/acre Urban Mixed-Use
- PD Planned Development

Exhibit "B" to Ordinance No. 130515
page 2 of 2

Area
under petition
consideration

Division line between two zoning districts

EXISTING ZONING



EXISTING ZONING	
Name	Petition Request
Causseaux, Hewett & Walpole, Inc agent for RBL WP Parcel D, LLC and Bruce and Kristin Hawkins	Amend an existing PUD to allow construction of a mixed-use development and rezone parcel from RMF-5 to Planned Development (PD).
	Petition Number PB-13-85 PDA

