

TO: City Plan Board

Item Number: 2

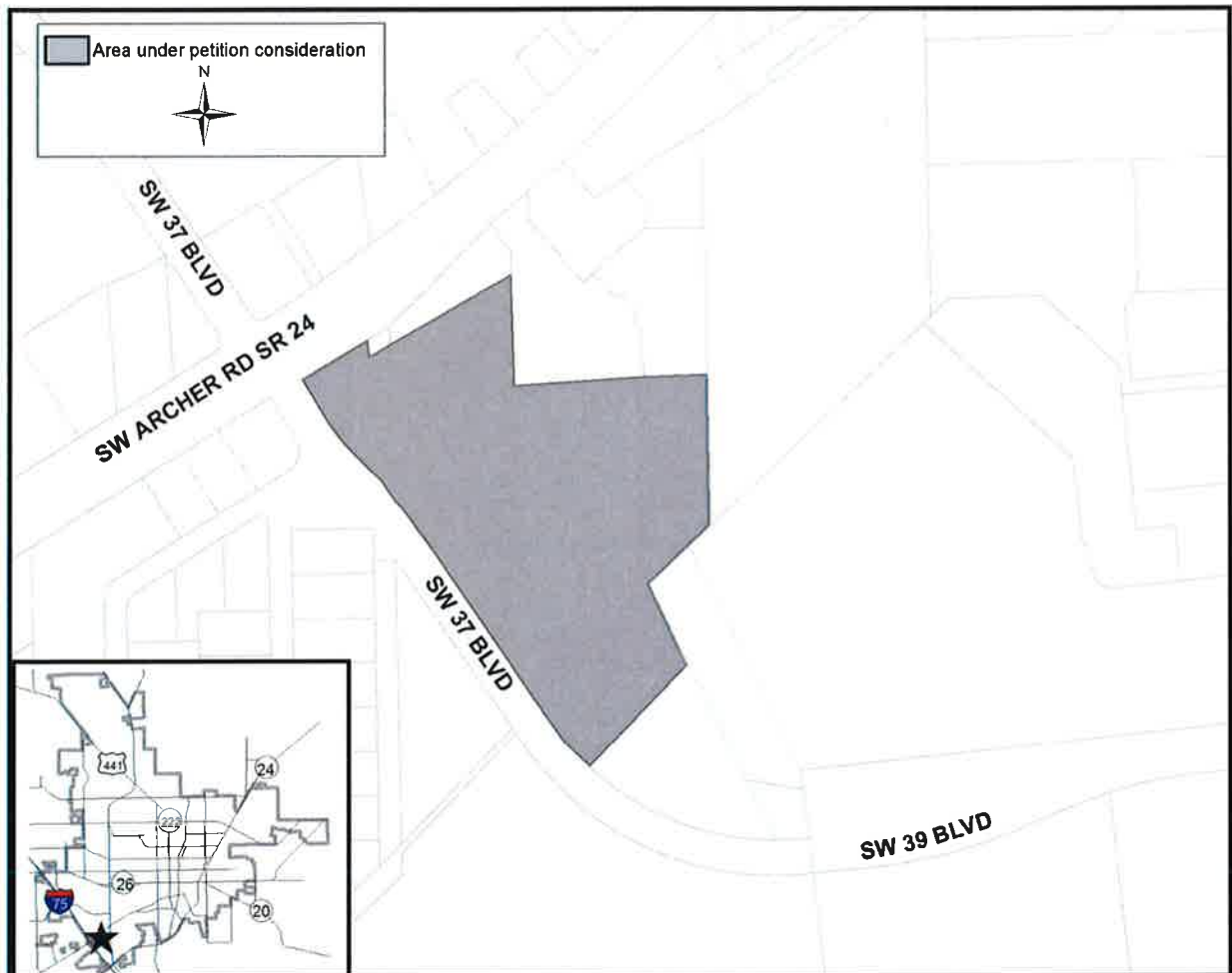
FROM: Planning & Development Services
Department Staff

DATE: May 26, 2016

SUBJECT: Petition PB-16-39 SUP. eda engineers-surveyors-planners, inc., agent for Prairie View Trust, owner. Special use permit with major development plan review to allow the construction of a hotel. Zoned MU-1 (8-30 units/acre mixed use low intensity). Located at 3989 SW 37th Boulevard.

Recommendation

Approve this petition, subject to the conditions and recommendations in this staff report and Appendix E.



Description

This is a request for a Special Use Permit (SUP) to construct a five-story hotel. Hotels are permitted by Special Use Permit within the MU-1(8-30 units/acre mixed use low intensity) zoning district (see Exhibit B-1). The proposed hotel will provide 114 guest rooms. Other proposed amenities include an outdoor pool, off-street parking, lighting, sidewalks, landscape material and stormwater facilities.

The development site consists of two (2) adjoining tax parcels: Tax Parcel No. 7240-046-000 and Tax Parcel No. 6809-000-000. It consists of 13.56 acres of wooded land that contains wetlands. Archer Road (SR 24) is located to the north. SW 37th Boulevard abuts on the west. Residential and commercial land uses are adjacent to remaining portions of the development site.

The hotel is proposed on the portion of the development site that has an MU-1 zoning designation and an MUL (Mixed-Use Low-Intensity: 8-30 units per acre) land use designation. This land use designation allows a mixture of residential and non-residential uses to serve the surrounding area (see Exhibit A-1). Tax parcels that abut the development site have multi-family residential and commercial land use designations.

The development site and proposed improvements are illustrated in Appendix F on an associated development plan. Copies of other documents (e.g., development applications and neighborhood workshop documents) are also provided in the appendices of this report.

Key Issues

1. The applicant has requested two (2) waivers from the City's lighting requirements in Sec. 30-344 of the City Land Development Code. The first waiver is to allow the use of light poles within the proposed parking lot that are thirty (30) feet in height, as opposed to the maximum fifteen (15) feet allowed in Sec. 30-344 (e)(4)(d)(2) within 75 feet of property that contains a residential zoning district classification. The second waiver is to allow an average horizontal illuminance above 1.0 foot-candles, and a maximum uniformity ratio above 10:1, within 75 feet of property that contains a residential zoning district classification. The applicant is requesting the board-approved waivers on the basis that the light trespass on the property with a residential zoning classification will not exceed the maximum 0.5 foot-candles allowed. Abutting properties on the south and east have a residential zoning classification. (See Appendix F).

Basis for Recommendation

The staff recommendation is based upon the review criteria for issuance of a Special Use Permit (SUP) in Article VII, Division 5 (see Exhibit B-2) of the Land Development Code (LDC). The criteria also take into consideration the requirements of the Comprehensive Plan and other sections of the LDC. The City Plan Board must use the criteria to make findings concerning the SUP to ensure that the design, location, and methods of operation of the proposed use and development conform to these requirements. Staff's findings on whether the proposed use and

development meet these requirements are provided in the remaining sections of this staff report and the City Technical Review Committee comments and recommendations in Appendix E.

Land Development Code, Sec. 30-233, Special Use Permit Criteria:

- 1. That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.** The City Technical Review Committee finds the proposed use and development approvable, subject to the approval of the associated development plan and the adoption of the conditions and recommendations provided in this staff report and Appendix E. Among the inconsistencies noted are variations from the City's lighting requirements that require board approval.

CONDITION 1: APPROVAL OF THE SPECIAL USE PERMIT SHALL BE SUBJECT TO THE APPROVAL OF THE ASSOCIATED DEVELOPMENT PLAN AND THE ADOPTION OF THE CONDITIONS PROVIDED IN THIS STAFF REPORT AND APPENDIX E.

CONDITION 2: MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS THAT ARE APPROVED AS PART OF THE SPECIAL USE PERMIT SHALL NOT RESULT IN FURTHER MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS WITHOUT OBTAINING A SPECIAL USE PERMIT AMENDMENT AND CITY PLAN BOARD APPROVAL.

- 2. That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.** The City Technical Review Committee finds the proposed use and development in general compatibility and harmony with the uses and structures on adjacent and nearby properties, subject to the adoption of the conditions and recommendations provided in this staff report and Appendix E. General compatibility and harmony with adjacent and nearby properties is also expected to be achieved through the enforcement of Code requirements, such as building setbacks, parking, lighting and general performance standards.

The MU-1 zoning district is designed to offer a mixture of uses in close proximity to each other in order to encourage pedestrian access and reduce the length and number of vehicular trips. The proposed use and development are in keeping with the purpose of the MU-1 zoning district by providing 114 rooms and other amenities to accommodate guests wishing to lodge near other uses in the general area, such as Sonny's Restaurant, Butler Plaza and residential developments.

- 3. That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.** Comments from Gainesville Regional Utilities (GRU) in Appendix E indicate the proposed use and development are approvable, subject to conditions.

4. **That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.** Comments from the City Technical Review Committee in Appendix E indicate the proposed use and development are approvable with conditions. The applicant has been required to prepare a traffic study and pay fees to mitigate traffic impacts. Comments from the Public Works Department indicate no operational or safety concerns.
5. **That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.** The City Technical Review Committee finds the proposed use and structure to be in compliance with the City's screening and buffer requirements, except as indicated in Appendix E. Due to recent modifications to the Code that eliminated the requirement to have a fence or wall between residential and non-residential uses, staff also recommends that a minimum 6-foot high opaque fence or wall be added along the southern boundary of the development site, where the applicant does not provide a required 9-foot wide landscape buffer consistently along the perimeter of the proposed parking area. Sec. 30-252 (1) d. allows the board to modify this minimum requirement when there is an unresolvable conflict between other elements on the development site, such as the wetland buffers to the north and east of the proposed parking area.

CONDITION 3: AN OPAQUE FENCE OR WALL, AT LEAST SIX (6) FEET IN HEIGHT, SHALL BE CONSTRUCTED ALONG THE SOUTHERN BOUNDARY OF THE DEVELOPMENT SITE, EXCLUDING THE INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT. THE COLOR AND EXTERIOR FINISH ON THE FENCE OR WALL SHALL MATCH THE COLOR AND EXTERIOR FINISH ON THE PRINCIPAL BUILDING(S) LOCATED ON THE SUBJECT PROPERTY.

That the use or development conforms to the general plans of the city as embodied in the city comprehensive plan. The City Technical Review Committee finds the proposed use and development to be consistent with the applicable policies of the Comprehensive Plan and Land Development Code, except as noted in the staff report and Appendix E. The MUL land use and MU-1 zoning designations are designed to allow a mixture of uses in close proximity to each other in order to encourage pedestrian access and reduce the length and number of vehicular trips. The proposed use and development are in keeping with these designations by providing 114 rooms and other amenities to accommodate hotel guests wishing to lodge near other uses in the general area, such as Sonny's Restaurant, Butler Plaza and residential developments.

6. **The proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in Article III, Division 2 and the development complies with the transportation mobility requirements as stated in**

the Transportation Mobility Element of the City's Comprehensive Plan. The proposed use and development are located within Zone C of the City's Transportation Mobility Program Area (TMPA). They have been found approvable, subject to the applicant signing a TMPA Agreement and complying with Transportation Mobility Element Policy 10.1.7 (See Exhibit A-2). Compliance with the City's level of service standards for stormwater management are addressed by the City's Public Works Department, whose comments indicate the proposed use and development are approvable with conditions in Appendix E.

Findings

The City Technical Review Committee (TRC) finds this request for a Special Use Permit (SUP) approvable, subject to the adoption of the conditions and recommendations in this staff report and Appendix E. If approved, the SUP is valid for a period of one (1) year from the date of City Plan Board approval. Prior to the expiration of this one year period, the applicant must obtain a final development order for the associated development plan and obtain a valid building permit. Failure to comply with these requirements shall cause the approved SUP to become null and void unless, prior to the expiration date of the SUP, a request for an extension is approved. A request to extend the SUP must be made through the City Planning Division prior to the expiration date.

Development Plan Review

In addition to receiving an approved Special Use Permit (SUP), the applicant must also receive preliminary approval of the associated development plan from the City Plan Board and final development plan approval from the City Technical Review Committee (TRC). A copy of the associated development plan is provided in Appendix F.

A copy of a letter addressing the City's General Performance Standards in Section 30-345 of the City's Land Development Code is provided in Appendix C. Copies of the development applications and documents discussing a neighborhood workshop are provided in Appendix D.

Conditions

CONDITION 1: APPROVAL OF THE SPECIAL USE PERMIT SHALL BE SUBJECT TO THE APPROVAL OF THE ASSOCIATED DEVELOPMENT PLAN AND THE ADOPTION OF THE CONDITIONS AND RECOMMENDATIONS PROVIDED IN THIS STAFF REPORT AND APPENDIX E.

CONDITION 2: MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS THAT ARE APPROVED AS PART OF THE SPECIAL USE PERMIT SHALL NOT RESULT IN FURTHER MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS WITHOUT OBTAINING A SPECIAL USE PERMIT AMENDMENT AND CITY PLAN BOARD APPROVAL.

CONDITION 3: AN OPAQUE FENCE OR WALL, AT LEAST SIX (6) FEET IN HEIGHT, SHALL BE CONSTRUCTED ALONG THE SOUTHERN

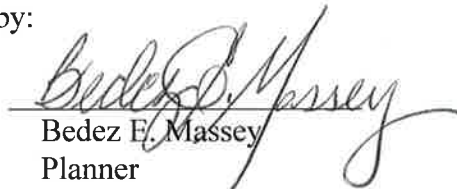
BOUNDARY OF THE DEVELOPMENT SITE, EXCLUDING THE INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT. THE COLOR AND EXTERIOR FINISH ON THE FENCE OR WALL SHALL MATCH THE COLOR AND EXTERIOR FINISH ON THE PRINCIPAL BUILDING(S) LOCATED ON THE SUBJECT PROPERTY.

Respectfully submitted,



Ralph Hilliard,
Planning Manager

Prepared by:



Bedez E. Massey
Planner

Table 1

Adjacent Existing Uses

North	Commercial
South	Daycare/Multi-family residential
East	Multi-family residential
West	Commercial/Multi-family residential

Table 2

Adjacent Zoning and Land Use

	Land Use Category	Zoning Category
North	Commercial / Planned Use District (Butler Plaza)	General business district (BUS) / Planned Development District (Butler Plaza)
South	Residential Medium –Density (8-30 units per acre)	Multi-family medium density residential (RMF-8)
East	Residential Medium –Density (8-30 units per acre)	Multi-family medium density residential (RMF-8)
West	Mixed-Use Low/ Residential Medium –Density (8-30 units per acre) / Commercial	Mixed use low intensity district (MU-1) / General business district (BUS) / Multi-family medium density residential (RMF-8)

List of Appendices

Appendix A Comprehensive Plan Goals, Objectives and Policies

Exhibit A-1: Future Land Use Element, Policy 4.1.1

Exhibit A-2: Transportation Mobility Element, Policy 10.1.7

Appendix B Land Development Code

Exhibit B-1: Article IV. Sec. 30-64. Mixed use low intensity district (MU-1)

Exhibit B-2: Article VII. Division 5. SPECIAL USE PERMIT

Appendix C Supplemental Documents

Exhibit C-1: General Performance Standards Letter

Appendix D Applications and Neighborhood Workshop Documents

Appendix E Technical Review Committee Conditions

Appendix F Development Plan

Appendix A

Comprehensive Plan Goals, Objectives and Policies



populations and appropriate community level institutional facilities such as places of religious assembly, public and private schools other than institutions of higher learning, and libraries. Land development regulations shall allow home occupations within certain limitations.

Mixed-Use Residential (up to 75 units per acre)

This residential district provides for a mixture of residential and office uses. Office uses that are complementary to and secondary to the residential character of the district may be allowed. An essential component of the district is orientation of structures to the street and the pedestrian character of the area. Office uses located within this district should be scaled to serve the immediate neighborhood and pedestrians from surrounding neighborhoods and institutions. Land development regulations shall set the district size; appropriate densities (up to 75 dwelling units per acre); the distribution of uses; appropriate floor area ratios; design criteria; landscaping, pedestrian, transit, and bicycle access; and street lighting. Land development regulations shall specify the criteria for the siting of public and private schools, places of religious assembly and community facilities within this category when designed in a manner compatible with the adoption of a Special Area Plan for that area. The intensity of office use cannot exceed 10 percent of the total residential floor area per development.

Mixed-Use Low-Intensity (8-30 units per acre)

This category allows a mixture of residential and non-residential uses such as standard lot single-family houses, small-lot single-family houses, duplex houses, townhouses (attached housing), accessory dwelling units, group homes, multi-family housing (if compatible in scale and character with other dwellings in the proposed neighborhood), offices scaled to serve the surrounding neighborhood, retail scaled to serve the surrounding neighborhood, public and private schools, places of religious assembly and other community civic uses, and traditional neighborhoods on sites 16 acres or larger in conformance with the adopted Traditional Neighborhood Development (TND) ordinance. Residential development shall be limited to 8 to 30 units per acres. Lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. Intensity will be controlled, in part, by adopting land development regulations that establish height limits of 5 stories or less; however, height may be increased to a maximum of 8 stories by special use permit. Land development regulations shall establish the thresholds for the percentage of mixed uses for new development or redevelopment of sites 10 acres or larger. At a minimum, the land development regulations shall encourage that: at least 10 percent of the floor area of new development or redevelopment of such sites be residential; or, that the surrounding area of equal or greater size than the development or redevelopment site, and within 1/4 mile of the site, have a residential density of at least 6 units per acre. Residential use shall not be a required development component for public and private schools, institutions of higher learning, places of religious assembly and other community civic uses. Buildings in this category shall face the street and have modest (or no) front setbacks.

This category shall not be used to extend strip commercial development along a street. Land development regulations shall ensure a compact, pedestrian-friendly environment for these areas, and provide guidelines or standards for the compatibility of permitted uses.



- u. Construction of access to transit stops and/or construction of transit boarding and alighting areas.
- v. Business operations shown to have limited or no peak-hour roadway impact.
- w. An innovative transportation-mobility-related modification submitted by the developer, where acceptable to and approved by the City.

Policy 10.1.7 For any development or redevelopment within Zone C, the developer shall, at the developer's expense, meet the following transportation mobility criteria based on the development's (including all phases) trip generation and proportional impact on transportation mobility needs. The criteria chosen shall relate to the particular development site and the transportation mobility conditions and priorities in the zone, adjacent zones, and/or citywide for criteria that benefit the overall transportation system. Based on cost estimates provided by the developer and verified by the City, the City shall have the discretion to count individual criteria as equivalent to two or more criteria for purposes of satisfying transportation mobility requirements. Provision of the required transportation mobility criteria shall be subject to final approval by the City during the development review process and shall be memorialized in a TMPA agreement between the City and the developer.

Net, New Average Daily Trip Generation	Number of Criteria That Shall Be Met
50 or less	At least 1
51 to 100	At least 3
101 to 400	At least 4.5
401 to 1,000	At least 7.5
1,001 to 5,000	At least 12
Greater than 5,000	At least 18 and meet either a. or b.: <ul style="list-style-type: none">a. Located on an existing RTS transit route with minimum 15-minute frequencies in the a.m. and p.m. peak hours.b. Provide funding for a new RTS transit route with minimum 15-minute frequencies in the a.m. and p.m. peak hours or provide funding to improve RTS transit headways to minimum 15-minute frequencies in the a.m. and p.m. peak hours. Funding for new routes shall include capital and operating costs for a minimum of 5 years. Funding for existing route expansions or enhancements shall include capital and operating costs for a minimum of 3 years.



Zone C Criteria

- a. Roadway projects that will provide a more interconnected transportation network in the area and/or provide alternate routes to reduce congestion and pressure on arterials. All roadway projects shall include bicycle and pedestrian facilities. Projects may be located outside of Zone C if demonstrated to be a direct benefit to the transportation system in Zone C. Projects may include, but shall not be limited to, the following:
 1. extension of SW 40th Boulevard to connect from its terminus south of Archer Road to SW 47th Avenue;
 2. extension of SW 47th Avenue to connect from its terminus east and south to Williston Road;
 3. extension of streets, deeding of land, and/or easements to create a more gridded network and provide connectivity in redevelopment areas; and
 4. extension of SW 40th Place from SW 27th Street to SW 47th Avenue.
- b. Deeding of land for right-of-way and/or construction of roadway extensions to City specifications. Prior to deeding land for right-of-way, the developer and the City must agree upon the fair market value of the land for the purposes of meeting this criterion. The developer may submit an appraisal to the City to establish fair market value, subject to review and approval by the City.
- c. Use of joint driveways or cross-access connections to reduce curb cuts.
- d. Intersection and/or signalization modifications to address congestion management, including, but not limited to: signal timing studies, fiber optic inter-connection for traffic signals, roundabouts, OPTICOM signal preemption, and/or implementation of elements of the Gainesville Traffic Signalization Master Plan. Implementation of the Master Plan includes installation of Intelligent Transportation System (ITS) features such as state of the art traffic signal controllers, dynamic message signs, transit signal prioritization, and traffic monitoring cameras designed to maximize the efficiency of the roadway network by reducing congestion and delay.
- e. Participation in a transportation demand management program that provides funding or incentives for transportation modes other than single occupant vehicle. Such demand management programs shall provide annual reports of operations to the City indicating successes in reducing single occupant vehicle trips.
- f. Design and/or construction studies/plans for projects such as planned roundabouts, road connections, sidewalk systems, and/or bike trails.
- g. Provision of matching funds for transit or other transportation mobility-related grants.
- h. Construction of bicycle and/or pedestrian facilities/trails to City specifications. This may include provision of bicycle parking at bus shelters or Transit Hubs (as shown on the Existing Transit Hubs & Transit Supportive Areas Map) or deeding of land for the



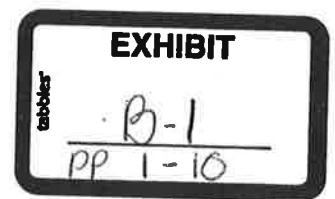
addition and construction of bicycle lanes or trails. Prior to deeding land for right-of-way, the developer and the City must agree upon the fair market value of the land for the purposes of meeting this criterion. The developer may submit an appraisal to the City to establish fair market value, subject to review and approval by the City.

- i. Funding of streetscaping/landscaping on public rights-of-way or medians, as coordinated with the implementation of the City's streetscaping plans.
- j. Pedestrian-scale lighting in priority areas, including:
 - 1. SW 35th Place;
 - 2. SW 37th/39th Blvd.;
 - 3. SW 23rd Terrace; and
 - 4. Williston Road.
- k. Construction of public sidewalks where they do not currently exist or completion of sidewalk connectivity projects. Sidewalk construction required to meet Land Development Code requirements along property frontages shall not count as meeting TMPA criteria.
- l. Payments to RTS that either increase service frequency or add additional transit service, including Express Transit service and/or Bus Rapid Transit, where appropriate.
- m. Funding for the construction of new or expanded transit facilities.
- n. Construction of bus shelters built to City specifications.
- o. Bus shelter lighting using solar technology designed and constructed to City specifications.
- p. Construction of bus turn-out facilities to City specifications.
- q. Construction of access to transit stops and/or construction of transit boarding and alighting areas.
- r. Business operations shown to have limited or no peak-hour roadway impact.
- s. An innovative transportation-mobility-related modification submitted by the developer, where acceptable to and approved by the City.

Policy 10.1.8 The City establishes the following priority for transportation mobility projects within Zone C and shall collaborate with the Metropolitan Transportation Planning Organization (MTPO) to add these items to the MTPO list of priorities. The City shall also pursue matching grants and other funding sources to complete these projects.

Appendix B

Land Development Code



Sec. 30-64. - Mixed use low intensity district (MU-1).

- (a) Purpose. The mixed-use low intensity district is established for the purpose of allowing coordinated developments designed to offer a mixture of residential, convenience-type retail, professional and consumer service uses primarily for residents of mixed-use and adjacent residential neighborhoods, and places of religious assembly. The district is intended to reduce the length and number of vehicular trips by providing for basic needs within close proximity to residential areas, by encouraging pedestrian access, and by the combining of trips. This district is established to allow uses compatible with each other and with surrounding residential areas to be developed near each other. The MU-1 district may be located in areas where analysis of residential characteristics demonstrates that such facilities are required. This district is intended to encourage the development of planned and unified neighborhood shopping centers in a relationship harmonious with adjoining residential activities. It is also intended to accommodate traditional neighborhoods that include nonresidential uses and neighborhood centers.
- (b) Objectives. The provisions of this district are intended to:
 - (1) Permit compatible commercial, office, service and residential developments that benefit from being located near each other.
 - (2) Provide an adequate mix of residential uses including multifamily, townhouse, zero lot line, and detached single-family at urban densities.
 - (3) Provide opportunities for the development of compound residential uses.
 - (4) Minimize traffic congestion by:
 - a. Requiring that shopping center and/or mixed-use developments be located on appropriate major collector and arterial roadways, as defined in the comprehensive plan;
 - b. Minimizing the number and regulating the location of driveway connections; and
 - c. Encouraging pedestrian and nonautomotive access.
 - (5) Ensure, through development plan approval, that nonresidential and mixed-use developments are designed to promote the most efficient use of the land, and that they coordinate the internal activities of the site as well as establish a harmonious relationship between such developments and their environment.
 - (6) Require buffering or screening around nonresidential and/or mixed-use development in accordance with the land development code when the development abuts any property zoned for residential use or shown as residential on the future land use map.
 - (7) Accommodate neighborhood-level services and retail uses along existing business corridors.
 - (8) Coordinate the location and size of mixed-use developments commensurate with the character and density of the areas to be served.
 - (9) Allow the market some flexibility in determining locations of new nonresidential development, and the ability to expand such areas in relation to the population densities achieved.
 - (10) Encourage nonresidential and/or mixed-use developments to locate on land that is physically capable of supporting the particular type of development.
- (c) Permitted uses. See permitted uses listed in subsection (g) of this section pertaining to permitted uses.
 - (1) Specific conditions for residential uses. If MU-1 zoning abuts a single-family residential zoning district, then the density of the residential portion of the mixed-use development shall be limited to that allowed by the RMF-6 residential district in the area within 100 feet of the property line, plus the required buffers for that single-family residential zoning district. In addition, multi-family development shall comply with all regulations in the RMF-6 district and the requirements of section 30-56.

- (2) Specific conditions for single-family compound uses. Twenty-five percent of the total floor area up to 1,000 square feet may be used for commercial or office uses. Such uses shall require a minimum lot size of 6,000 square feet and a lot width of 70 feet and shall have direct or shared access to a collector or arterial roadway.
- (d) Specific conditions for neighborhood shopping centers.
- (1) Developments of more than 30,000 square feet. There is no minimum size for buildings within the MU-1 zoning district. However, within the MU-1 zoning district, nonresidential developments of more than 30,000 square feet of gross leasable floor area are considered neighborhood shopping centers and are subject to the rights of and conditions for neighborhood shopping centers.
 - (2) Location. Neighborhood shopping centers shall be located within one-fourth mile of intersections of arterials or intersections of arterials and collectors, as shown on the map entitled Functional Classification of Streets, in the transportation mobility element of the city's comprehensive plan. Such uses shall have direct or shared access to an arterial.
 - (3) Maximum gross leasable nonresidential floor area. No more than 100,000 square feet of gross leasable nonresidential floorspace shall be allowed within any neighborhood shopping center.
 - (4) Maximum gross leasable nonresidential floor area in any one business. No more than 50,000 square feet shall be contained in any one business located within a neighborhood shopping center, except MG-54 (food stores).
 - (5) Dimensional requirements for permitted nonresidential uses. All principal and accessory structures shall be located and constructed in accordance with the following requirements:
 - a. Required yard setbacks:
 1. Minimum front: 20 feet.
 2. Maximum front: 80 feet.
 3. Where the side or rear yard abuts property which is in a residential zoning district, or is shown for residential use on the future land use map of the comprehensive plan, the minimum setback shall be 50 feet or the distance created by the 45 degree angle of light obstruction, whichever is greater.
 - b. Maximum lot coverage: 50 percent for single-purpose, nonresidential; 60 percent for mixed-use (inclusive of residential) or compound use.
 - c. Maximum building height: Five stories.
 - (6) Multiple structures. The use of multiple structures shall be considered on a case-by-case basis during development plan approval. Approval shall be conditioned upon findings by the appropriate reviewing board that all such structures are compatible with the uses and purposes of the center and surrounding uses and traffic patterns and are safely incorporated into the overall transportation system for the center.
 - (7) Outparcels. The proliferation of outparcels contributes to strip commercial development, traffic circulation problems and visual clutter, and obstructs pedestrian and bicycle movement. To mitigate the problems associated with outparcels, the following regulations shall apply:
 - a. Creation and design. The creation of outparcels shall be considered on a case-by-case basis during subdivision, lot split approval or development plan approval. Approval shall be conditioned upon findings by the appropriate reviewing board or staff, as applicable, that the neighborhood shopping center and all outparcels are integrated through the use of landscaping and buffers; shared parking, traffic access and circulation; and stormwater management.
 - b. Dimensional requirements for outparcels. Outparcels which have unified circulation systems with the adjoining neighborhood shopping center shall not be required to meet the minimum lot area, width and depth requirements; however, development on outparcels

shall be required to meet yard setback, lot coverage and building height requirements for the MU-1 district.

(8) Access.

- a. Vehicular access. Access to the neighborhood shopping center shall be in accordance with the provisions of article IX, division 3, and chapter 23 of the Code of Ordinances. Parking areas, including maneuvering space, ingress and egress roads and driving lanes, shall be improved in accordance with the provisions of article IX, division 3, and chapter 23 of the Code of Ordinances. All loading and unloading shall be done on the neighborhood shopping center property. Areas used by motor vehicles shall be physically separated from public streets by landscaped buffer areas.
- b. Bicycle, greenway and pedestrian access. Provisions shall be made to safely incorporate travel ways for bicycle and pedestrian usage into any neighborhood shopping center project. Where bikeways, greenways or sidewalks are presently adjoining the property, provisions shall be made to safely link the internal bicycle and pedestrian system with adjoining facilities. During development plan review, the appropriate reviewing board shall also review the relationship of the neighborhood shopping center to adjoining properties and may require appropriate access for bicycles or pedestrians at locations where vehicular access is prohibited.

(e) Dimensional requirements for projects of less than 30,000 square feet.

(1) Yard setbacks:

- a. Front: The front setback shall be no deeper than the average setback of existing development in the same block face, and within 15 to 80 feet.
- b. Where the side or rear yard abuts property which is in a residential district or is shown for residential use on the future land use map of the comprehensive plan, the minimum setback shall be 25 feet or the distance created by the 60-degree angle of light obstruction, whichever is greater.
- c. Where the property abuts a side street, the minimum setback from that street shall be ten feet.
- d. Where a nonresidential use is adjacent to a nonresidential use no side yard setback is required.

(2) Accessory structures shall not exceed 25 feet in height.

(3) Maximum lot coverage: 50 percent for single-purpose, nonresidential; 60 percent for mixed-use (inclusive of residential) or compound use.

(4) Maximum building height: Five stories.

- (f) Access. Access shall be designed to integrate all aspects of the development and shall meet the requirements of article IX, division 3, of this chapter. Driveways and parking shall be coordinated or shared insofar as possible.

(g) Permitted uses.

SIC	Uses	Conditions
	USES BY RIGHT:	
	Any accessory uses	

	customarily and clearly incidental to any permitted principal use	
	Bed and breakfast establishments	In accordance with article VI
	Community residential homes with 14 or fewer residents	When part of a permitted single-family or multifamily residential component and in accordance with article VI
	Community residential homes with more than 14 residents	In accordance with article VI
	Compound uses	
	Eating places	
	Food trucks	In accordance with article VI
	Family child care homes	When part of a permitted single-family or multifamily residential component and in accordance with state law
	Large family child care homes	In accordance with article VI
	Outdoor cafes	As defined in article II and in accordance with article VI
	Personal fitting and sales of prosthetic or orthopedic appliances	
	Places of religious assembly	In accordance with article VI
	Public service vehicles	As defined and in accordance with article VI
	Repair services for household needs	As defined in article II

	Residential (8 to 30 dwelling units per acre)	In accordance with the requirements of the RMF-6, RMF-7 or RMF-8 zoning districts and the additional requirements of this section, and the requirements of section 30-56. Lots that existed on November 13, 1991 as recorded in the planning and development services department and that are less than or equal to 0.5 acres in size are exempt from minimum density requirements.
	Residential use buffer	
	Neighborhood convenience center	
	Neighborhood shopping center	
	Specialty T-shirt production	
GN-074	Veterinary services	Only within enclosed buildings and in accordance with article VI
IN-0752	Animal specialty services, except veterinary	Only within enclosed buildings
GN-078	Landscape and horticultural services	
MG-15	Building construction - General contractors and operative builders	
GN-171	Plumbing, heating and air conditioning	
GN-172	Painting and paper hangers	
GN-173	Electrical work	
MG-	Printing, publishing and	

27	allied industries	
MG-43	U.S. Postal Service	
GN-472	Arrangement of passenger transportation	Offices only, with no operation of passenger tours from the site
GN-481	Telephone communications	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI, excluding cellular telephone services
GN-482	Telegraph and other message communications	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-483	Radio and television broadcasting stations	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-523	Paint, glass and wallpaper stores	
GN-525	Hardware stores	
GN-526	Retail nurseries, lawn and garden supply stores	
MG-53	General merchandise stores	
MG-54	Food stores	Accessory gasoline and alternative fuel pumps in accordance with article VI, and by special use permit in neighborhood convenience and shopping centers
GN-553	Auto and home supply stores	Excluding garage and installation facilities
GN-554	Gasoline service stations including the sale of alternative fuels for	In accordance with article VI and by special use permit in neighborhood convenience and shopping centers

	automobiles	
MG-56	Apparel and accessory stores	
MG-57	Home furniture, furnishings and equipment stores	
MG-59	Miscellaneous retail	Excluding direct selling establishments (IN-5963); fuel dealers (IN-5983); including liquor stores (IN-5921) limited to 2,000 square feet and excluding on-site consumption when located in neighborhood convenience and shopping centers, inside storage, display and sales only for all uses
Div. H	Finance, insurance and real estate	Excluding cemetery subdividers and developers (IN-6553)
MG-72	Personal services	Including funeral services and crematories in accordance with article VI and excluding linen supply (IN-7213), industrial laundries (IN-7218), and diaper services in neighborhood convenience and shopping centers
MG-73	Business services	Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN-7353), and equipment rental and leasing, not elsewhere classified (IN-7359)
GN-752	Automobile parking	
MG-76	Miscellaneous repair services	Excluding miscellaneous repair shops and related services (GN-769) and including repair services for household needs as defined in this chapter
MG-78	Motion pictures	Excluding drive-in theaters (IN-7833) and outdoor filming facilities
MG-79	Amusement and recreation services	Excluding go-cart rental and raceway operations, commercial sports (GN-794), and simulated gambling establishments. Must be located

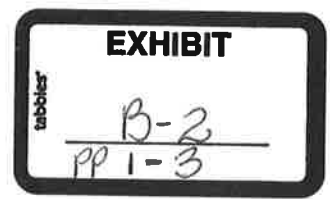
		within enclosed structures.
MG-80	Health services	Including nursing and intermediate care facilities in accordance with article VI when applicable, and excluding rehabilitation centers and hospitals (GN-806)
MG-81	Legal services	
MG-82	Educational services	Including private schools, in accordance with article VI
MG-83	Social services	Including day care centers as defined in this chapter and in accordance with article VI, excluding residential care (GN-836), rehabilitation centers, halfway houses, social service homes, and residences for destitute people as defined in this chapter
GN-841	Museums and art galleries	
MG-86	Membership organizations	
MG-87	Engineering, accounting, research management and related services	Excluding testing laboratories (IN-8734) and facilities support management services (IN-8744)
MG-89	Services, not elsewhere classified	
Div. J	Public administration	
	USES BY SPECIAL USE PERMIT	
	Accessory gasoline and alternative fuel pumps	In accordance with article VI in neighborhood convenience and shopping centers
	Accessory transmission, retransmission and microwave towers over	In accordance with article VI

	100 feet in height	
	Alcoholic beverage establishments	In accordance with article VI
	Limited automotive services	In accordance with article VI
	Other uses (including light assembly or packaging)	Within completely enclosed structures; no outdoor storage, truck traffic limited to that normal to commercial activities such as grocery stores, loading docks and mechanical equipment must be screened, and sound attenuation shall be provided to any adjacent residential area or area in actual residential use; no access to any residential street; must meet industrial buffers. Storage of hazardous materials in accordance with the county hazardous materials management code
	Rehabilitation centers	In accordance with article VI
	Residences for destitute people	In accordance with article VI
	Social service homes	In accordance with article VI
GN-598	Fuel dealers	
GN-701	Hotels and motels	Except in neighborhood convenience and shopping centers
GN-702	Roominghouses and boardinghouses	In accordance with article VI

(h) General requirements. All structures and uses within this district shall also comply with the applicable requirements and conditions of section 30-67 and article IX.

(Ord. No. 3777, § 1, 6-10-92; Ord. No. 3918, § 4, 11-15-93; Ord. No. 3963, § 5, 3-14-94; Ord. No. 4075, § 7, 5-8-95; Ord. No. 950862, § 5, 11-13-95; Ord. No. 951420, § 4, 7-8-96; Ord. No. 961100, §§ 1—3, 7-14-97; Ord. No. 980273, § 3, 11-9-98; Ord. No. 990299, § 3, 10-25-99; Ord.

No. 002469, §§ 4—6, 3-17-03; Ord. No. 020590, § 2, 4-14-03; Ord. No. 041268, § 8, 8-22-05;
Ord. No. 070619, § 4, 3-24-08; Ord. No. 110865, § 1, 7-19-12; Ord. No. 140130, § 5, 9-4-14;
Ord. No. 140190, § 9, 4-16-15)



DIVISION 5. - SPECIAL USE PERMIT^[12]

Footnotes:

--- (12) ---

Editor's note— Section 1 of Ord. No. 990193, adopted Nov. 8, 1999, renumbered Ch. 30, Art. VII, Div. 4, "Special Use Permit" as Div. 5 as set forth herein. See the editor's notes to Divs. 4 and 6 of this article.

Sec. 30-231. - Intent.

- (a) It is the intent of this article to recognize and permit certain uses and developments which require special review, and to provide the standards by which the applications for permits for uses and development shall be evaluated.
- (b) It is further intended that special use permits be required for developments which, because of their inherent nature, extent and external effects, require special care in the control of their location, design and methods of operation in order to ensure conformance with the comprehensive plan.

(Ord. No. 3777, § 1, 6-10-92)

Sec. 30-232. - Permit required.

Those uses listed in article IV as permitted special uses in a zoning district may be established in that district only after issuance and recordation of a special use permit by the city plan board.

(Ord. No. 3777, § 1, 6-10-92)

Sec. 30-233. - Criteria for issuance.

No special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

- (1) That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.
- (2) That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.
- (3) That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.
- (4) That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.
- (5) That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.
- (6) That the use or development conforms with the general plans of the city as embodied in the city comprehensive plan.

- (7) That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.

(Ord. No. 3777, § 1, 6-10-92)

Sec. 30-234. - Procedures for approval.

- (a) Application submittal requirements. Each application shall be filed with the city's planning and development services department on the form prescribed. Applications must include a development plan or master plan in accordance with this article. Any incomplete applications will be returned to the applicant. The application must include proof of having met the requirements of section 30-350(b), citizen participation.
- (b) Preliminary conference with applicant. The applicant for a special use permit shall meet with the technical review committee to discuss the procedures and requirements and to consider the elements of the proposed use and site and the proposed site layout.
- (c) Report to city plan board. The city manager or designee shall submit to the city plan board a written report that includes analysis of the application and a recommendation based on the findings required in section 30-233 and development plan review process in article VII.
- (d) Notice. Notice shall be mailed at least ten days before the date of the hearing to all owners of property within 400 feet of the property for which a special use permit has been requested. For this purpose, the owner of property shall be deemed to be the person so shown on the current ad valorem tax records of the county property appraiser.
- (e) City plan board hearing and action.
 - (1) The city plan board shall consider the evidence presented in the public hearing and the written report submitted by the city manager or designee and shall act on the application based on the findings required in section 30-233 and the development plan review process found in article VII.
 - (2) Action on the application shall be one of the following:
 - a. Approval;
 - b. Approval subject to conditions; or
 - c. Denial, with a statement of the reasons for denial.
- (f) Effect of denial or withdrawal on subsequent application. No application for a special use permit shall be entertained within two years after the denial or withdrawal of a request for the same use for the same property. The city plan board may waive this time limitation by the affirmative vote of a super [sic] majority of the members provided 30 days have elapsed since the action of the city plan board to deny the original request, and the city plan board deems such action necessary to prevent an injustice.
- (g) Amended application. Amendment of a petition by the applicant may be permitted at any time prior to or during the public hearing, provided that no such amendment shall be such as to make the case different from its description in the notice of public hearing. If the amendment is requested by the applicant after notice of the hearing has been given, and such amendment is at variance with the information set forth in the notice, the applicant shall pay an additional fee, in the same amount as the original fee, to cover amended public notice. If the amended notice can be mailed at least ten days prior to the hearing originally scheduled, the hearing on the amended petition may be held on that date, otherwise the chairperson shall announce that the public hearing will be continued to a future meeting, before which appropriate notice will be given.
- (h) Appeal of decision. Any affected person may appeal the city plan board's decision on an application for a special use permit to a hearing officer. The appeal must be filed within 15 days of the decision.

The procedure for the appeal shall be the same as is provided in subsection 30-352.1 for appeals from decisions of the development review board.

- (i) Final development plan approval. Prior to the issuance of any development order or building permit, final development plan approval will be required in accordance with applicable provisions of article VII.

(Ord. No. 3777, § 1, 6-10-92; Ord. No. 3960, §§ 1, 2, 2-28-94; Ord. No. 3995, § 1, 7-25-94; Ord. No. 000902, § 2, 5-29-01; Ord. No. 110373, § 3, 3-21-13)

Sec. 30-235. - Amendments to and modification of permits.

- (a) Any change or amendment which modifies one of the following criteria shall constitute a modification of the special use permit and will be processed as a new special use permit:
 - (1) A change in the boundaries of the approved site, except for minor boundary adjustments;
 - (2) A change from the approved use;
 - (3) Either an increase of ten percent or more or incremental increases that total ten percent or more in the floor area or number of parking spaces as approved;
 - (4) Substantial changes in the approved location of principal and/or accessory structures;
 - (5) Structural alterations significantly affecting the basic size, form, style, ornamentation and appearance of principal and/or accessory structures as shown on the approved plans;
 - (6) Substantial changes in approved pedestrian or vehicular access or circulation; and
 - (7) Substantial change in the approved amount or location of landscape screens or buffers.

(Ord. No. 3777, § 1, 6-10-92; Ord. No. 110373, § 3, 3-21-13)

Sec. 30-236. - Expiration, abandonment, revocation and extension of permits.

- (a) Expiration. Permits issued under this article will expire within 12 months, or an additional time period should the city plan board deem necessary, if the petitioner has taken no act in reliance on the issued permit.
- (b) Abandonment of permits. On request of the permit holder, the department of community development may approve the abandonment of a special use permit provided no construction has begun.
- (c) Cessation of use. If use granted by a special use permit pursuant to this article ceases for a continuous period of 12 months, the permit becomes void.
- (d) Revocation of permit. If any conditions of the special use permit are violated, the permit issuing authority may revoke the permit after giving proper notice to the grantee. The permit may be reinstated by the department of community development if the circumstances leading to the revocation are corrected.
- (e) Extension of permit. At the request of the applicant and for good cause shown, the board may, at a public hearing, extend the time of the permit's expiration, if no acts of reliance have occurred. The extension may only be granted if all the concurrency management requirements of this chapter can be met and if the extension would not be in conflict with any other ordinance of the city.

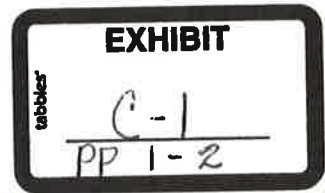
(Ord. No. 3777, § 1, 6-10-92)

Appendix C

Supplemental Documents



engineers • surveyors • planners, inc.



March 1, 2016

City of Gainesville
P.O. Box 490
Gainesville, Florida 32602

Re: Fairfield Inn & Suites
General Performance Standards

In accordance with Section 30-345 of the city of Gainesville Land Development Code (LDC), the following letter indicates how this project meets the general standards as follow:

1. *Fire and explosion hazards:* No storage of flammable or explosive materials is proposed at the site. All the uses proposed will be in accordance with the CCD zoning category.
2. *Radiation:* No sources of ionizing radiation will be handled on-site.
3. *Electromagnetic radiation:* No sources of electromagnetic radiation will be handled on-site.
4. *Waste disposal:* The waste from the site will be handled by the central sewer system of Gainesville Regional Utilities. The waste from the site including stormwater will meet state, federal, and local agency guidelines.
5. *Vibration:* There will be no heavy equipment in use or located on the site. Therefore there will be no on-site earth-born vibration that will exceed the limits as set forth in this section.
6. *Sound:* There will be no heavy equipment in use or located on the site and no manufacturing. Therefore sounds on-site will not exceed the limits set forth in Chapter 15.
7. *Heat, cold, dampness or movement of air:* No activities will take place on-site that will produce adverse effects on the temperature, motion or humidity of the atmosphere beyond the lot lines.

8. *Lighting*: Lighting shall comply with requirements of this section for internal and external lighting as well as meet the height requirement for fixtures.
9. *Light pollution*: The external lights on the site shall be fully cut-off type not allowing upward light distribution.
10. *Odor*: There will be no adverse odors produced on-site. No manufacturing or chemical operations will occur on the site. The development will consist of use allowed by the MU-1 zoning only.
11. *Air pollution emissions*: No manufacturing or chemical operations will occur on the site. No air pollution emissions will be produced on-site.
12. *Other air pollution*: There will not be an excess amount of dust or airborne particulate matter generated on this site. No air pollution will be created associated with the development of this site that will exceed the standards set by the Florida Department of Environmental Protection, or successor agency, or any governmental entity with regulatory jurisdiction, whichever standards are more stringent.
13. *Toxics*: There will be no emissions of toxic or noxious matter on this site. No manufacturing or chemical operations will occur on the site
14. *Utility service*: Utility service on-site shall comply with the requirements of this provision and be installed underground.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sergio Reyes', with a horizontal line underneath the name.

Sergio Reyes, P. E.
Project Engineer

Appendix D

Applications and Neighborhood Workshop Documents

**DEVELOPMENT PLAN REVIEW APPLICATION
PLANNING & DEVELOPMENT SERVICES**

OFFICE USE ONLY	
Petition No. <u>PB-16-39 SUP</u>	Fee: \$ _____
1 st Step Mtg Date: _____	EZ Fee: \$ _____
Account No. 001-660-6680-3401 []	
Account No. 001-660-6680-1124 (Enterprise Zone) []	
Account No. 001-660-6680-1125 (Enterprise Zone Credit) []	

MAR - 1 2016

LEVEL OF REVIEW (check one)

MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER
		X		

Project Name: Fairfield Inn & Suites

Property Address: SW 37th Blvd (South of Archer Road)

Tax Parcel #(s): 07240-046-000 and a portion of 06809-000-000

Site Area (acres): 13.56 Acres

CHECK ALL PROPOSED USES

<input type="checkbox"/> Residential	Density	<input checked="" type="checkbox"/> Non-residential
Multi-family	Units/acre:	<input checked="" type="checkbox"/> Commercial [] Office
Total units:	Total bedrooms:	<input type="checkbox"/> Industrial [] Other
		Gross floor area: 68,903

Owner(s) of Record (please print)
Name: <u>Prairie View Trust</u>
Address: <u>3501 S. Main Street, Suite 1</u>
<u>Gainesville, FL 32601</u>
Phone: <u>352-371-9778</u> Fax: _____
(If additional owners, attach information)

Applicant(s)/Agent(s), if different
Name: <u>eda engineers-surveyors-planners, inc.</u>
Address: <u>2404 NW 43rd Street</u>
<u>Gainesville, FL 32606</u>
Phone: <u>352-373-3541</u> Fax: <u>352-373-7249</u>
(If additional agents, attach information)

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.

Signature of owner: See affidavit Date: _____

I certify that all of the information contained in this application form is accurate and up-to-date.

Signature of Applicant: [Signature] Date: 3/1/2016

STATE OF FLORIDA, COUNTY OF ALACHUA
Sworn to and subscribed before me this 1st day of MARCH 2016
Signature – Notary Public: Brenna Kathleen French
Personally Known ☒ OR Produced Identification _____

Certified Cashier's Receipt:



APPLICATION FOR SPECIAL USE PERMIT
Planning & Development Services

OFFICE USE ONLY

Petition No. PB-16-39 SUP Fee: \$ _____
1st Step Mtg Date: _____ EZ Fee: \$ _____
Tax Map No. _____ Receipt No. _____
Account No. 001-670-6710-3401 []
Account No. 001-670-6710-1124 (Enterprise Zone) []
Account No. 001-670-6710-1125 (Enterprise Zone Credit) []

MAR - 1 2016

Application for a special use permit will be accepted for review only after a pre-application conference (First Step Meeting). Application to be completed by applicant. Application must include a preliminary development plan. Incomplete applications will be returned to the applicant.

Name of Owner(s) (please print)
Name: <u>Prairie View Trust</u>
Address: <u>3501 S. Main Street, Suite 1</u>
<u>Gainesville, FL 32601</u>
Phone: <u>352-371-9778</u> Fax: _____
Owner's Signature: <u>See General Authorization</u>
(If additional owners, please include on back)

Applicant(s)/Agent(s), if different
Name: <u>eda engineers-surveyors-planners, inc.</u>
Address: <u>2404 NW 43rd Street</u>
<u>Gainesville, FL 32606</u>
Phone: <u>352-373-3541</u> Fax: <u>352-373-7249</u>

PROPERTY INFORMATION: (Information below applies to property for which a Special Use Permit is being requested.)
Street address: <u>SW 37th Blvd (South of Archer Road)</u>
Tax parcel no(s): <u>07240-046-000 and a portion of 06809-000-000</u>
Legal description (use separate sheet, if needed): <u>See attached</u>

I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area for which the permit is being requested.

Signature of applicant:  Date: 3/1/2016

Certified Cashier's Receipt:

A Special Use Permit is requested pursuant to Section 30, Subsection 64, Paragraph g, of the Land Development Code, City of Gainesville, to allow the following use:

A Special Use Permit (SUP) application is required because the City LDC Sec. 30-64 requires that hotels and motels in MU-1 zoning districts receive SUP approval from the City Plan Board.

A preliminary site plan is/is not required and is/is not attached.

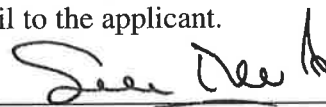
Existing zoning classification: MU-1 Existing land use designation: MUL

Existing use of property: Vacant

SURROUNDING PROPERTY INFORMATION: (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.)			
	Zoning	Land Use	Existing Use
North	BUS	Commercial	Restaurant / Archer Road
South	RMF-8	RMD	Daycare Facility
East	RMF-8	RMD	Multifamily Housing
West	BUS/RMF-8	Comm/RMD	Vacant / Multifamily Housing

TO THE APPLICANT: (Please sign the bottom of this application after you have read the following.)

- The City of Gainesville will notify owners of property within 400 feet of the subject property of this application.
- No application for a Special Use Permit shall be entertained within 2 years after the denial or withdrawal of a request for the same use for the same property.
- The City Plan Board's decision concerning a Special Use Permit may be appealed by the applicant to a hearing officer within 15 days of the date notification of the decision is sent by certified mail to the applicant.

Signature:  Date: 3/1/16

Name of Owner (please print)	
Name:	
Address:	
Phone:	Fax:
Owner's Signature:	
(If additional owners, please list on separate sheet)	

Name of Owner (please print)	
Name:	
Address:	
Phone:	Fax:
Owner's Signature:	

Reference: Chapter 30, Land Development Code
City Code of Ordinances, Article VII, Division 5

B4 Monday, March 14, 2016 | Gainesville Sun | www.gainesville.com

IMMOKALEE COALITION

Farmworkers protest by home of Wendy's billionaire chairman

The Associated Press

PALM BEACH — Hundreds of protesters, many farmworkers, led by Bishop Kennedy, demonstrated near the home of Wendy's fast-food chain's chairman in hopes of convincing the company to pay a penny-per-pound fee for its tomatoes to supplement

some farmworkers' wages. The Palm Beach Post reported that the Immokalee Coalition of Farmworkers' march near billionaire Nelson Peltz's home was peaceful Sunday. A federal judge had ruled the coalition could use loudspeakers but said marchers must remain on the sidewalk. Kennedy,

the 87-year-old widow of former Sen. Robert F. Kennedy, led the charge onto the barrier island where protesters held signs to boycott the chain and some acted out a skit. The coalition, which represents about 40,000 workers, has used demonstrations and sometimes consumer boycotts to

pressure the five largest fast-food companies — Wendy's, McDonald's, Burger King, Subway and Taco Bell — into joining its "fair food program." All but Wendy's eventually joined. The company has said the farmworkers are not Wendy's employees and it doesn't feel it is appropriate to pay another company's workers.

Tomato harvesters make an average of about \$10,000 during the six-month season, earning 50 cents for every 32-pound basket they fill. The coalition says the program can add \$20 to

\$150 to their weekly checks. Participating companies pay the extra penny-per-pound to their tomato growers to supplement field worker wages in Florida and other states: Georgia, the Carolinas, Maryland, Virginia and New Jersey. Palm Beach, a sunny island that has long been a destination for wealthy snowbirds, has one of the highest median household income at \$105,700. Current and former residents and property owners include the Kennedy family, Donald Trump,

commentators Rush Limbaugh and Ann Coulter, and entertainers Jimmy Buffett, John Lennon and Rod Stewart. Immokalee, the Southwest Florida farming town about 100 miles from Palm Beach where the coalition is based, has a median household income of \$25,725. Peltz, a 73-year-old investor, has a net worth of \$1.35 billion and is the 423rd richest American, according to Forbes Magazine. One of his companies, Tilarco, bought Wendy's in 2008 for \$2.3 billion and became chairman.



PUBLIC NOTICE

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed hotel on tax parcel number 0726-008-000 and a portion of tax parcel number 00808-000-000 located at 20W 27th Boulevard and NE Andrew Road. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

The meeting will be held on Tuesday, March 29, 2016 at 6:00 p.m. at the County Hall & Suites at 4015 SW 43rd St., Gainesville, Florida.

Contact: Sergio Reyes, P.E.
 civil engineer - junevian planners, inc.
 (352) 379-1544

PLEASE RECYCLE THIS NEWSPAPER

IMPLANT DENTISTRY

If you wear a full or partial denture, you should consider dental implants to improve your ability to chew properly for your health.

Over 25 years of experience placing & restoring implants.

William K. Van Dyke D.M.D.
(352) 377-1781

March/April 2016

Community Calendar of Events

Partners For A Better Community

The Gainesville Sun **UFHealth**
UNIVERSITY OF FLORIDA HEALTH

The Community Calendar of Events is sponsored by:

UFHealth
UNIVERSITY OF FLORIDA HEALTH

Post your community event at: gainesville.com

Support Group Schedule

UF Health Shands Rehab Hospital offers several support groups to foster social opportunities and a platform for sharing similar experiences. Groups meet monthly. For information about locations, dates and times, please call 352.627.0154 or visit UFHealth.org/supportgroups.

- Brain Injury Support Group
- Young Traumatic Brain Injury Support Group
- Stroke Support Group
- "Gator Amps" Amputee Support
- Spinal Cord Injury Social Networking Group
- Aphasia Book Club

13 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	14 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	15 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	16 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	17 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	18 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	19 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .
20 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	21 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	22 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	23 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	24 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	25 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	26 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .
27 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	28 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	29 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	30 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	31 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	1 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	2 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .
3 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	4 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	5 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	6 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	7 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	8 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .	9 Boat Show The Gainesville Boat Show is a three-day event featuring the latest in boat technology, equipment, and accessories. The show is held at the Gainesville Convention Center and is open to the public. For more information, visit www.gainesvilleboatshow.com .



engineers • surveyors • planners, inc.

Neighborhood Meeting Minutes

Location:

Country Inn & Suites
4015 SW 43rd Street
Gainesville, Florida

Meeting Date & Time:

March 29, 2016 @ 6:00pm

Community Participants:

1

Attendees:

Mitch Glaeser 2145 SW 94th Terr. 538-0032

Project Representatives:

Engineer:

Sergio Reyes eda
Christina DeStephens eda

Meeting Minutes:

Sergio Reyes opened the meeting at 6:00pm. The only attendant, Mitch Glaeser, is aware of the project parameters and proceeded to ask questions.

Q: Will the developer be required to do any road improvements to 37th Blvd?

A: No, improvements to 37th Blvd. are not required for this project.

Q: Was a traffic study completed? How many trips per day will this project generate?

A: A traffic study was completed and this project will generate 931 trips per day.

Q: How wide is the right-of-way? Would there be room to be a turn lane in?

A: The right-of-way is 75 feet which would allow for a turn lane.



02 1P \$ 000.48⁵
0000255201 MAR 14 2016
MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice
Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST

NIXIE 322 SE 1 0003/17/16
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD
BC: 32606660204 *1438-05916-14-40

913

32609241942
3260666162

Neighborhood Workshop Notice
University Park
JIMMY HARNES

* 322 NE 1 16C7203/18/16
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD
BC: 32606660204 *1438-00735-14-41

913

32607268502
3260666602

Neighborhood Workshop Notice
Pineridge

NIXIE 322 7E 1 0003/17/16
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD
BC: 32606660204 *1438-07104-14-43

32615551309
3260666602

Neighborhood Workshop Notice
Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8600 NW 13 ST #210 CLUBHOUSE OFFICE

NIXIE 322 SE 1 0003/17/16
RETURN TO SENDER
VACANT
UNABLE TO FORWARD
BC: 32606660204 *1438-05823-14-40

32653793960
3260666602

3/16 R31

Neighborhood Workshop Notice
KAREN BILLINGS

NIXIE 322 SE 1 0003/17/16
RETURN TO SENDER
VACANT
UNABLE TO FORWARD
BC: 32606660204 *1438-05747-14-40

32653082833
3260666602



02 1P \$ 000.48⁵
0000255201 MAR 14 2016
MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice
Pinebreeze

NIXIE 322 7E 1 0003/17/16
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD
BC: 32606660204 *1638-06224-14-43

32606100450

Fairfield Inn Neighborhood Meeting Sign-In Sheet

Tuesday, March 29, 2016; 6:00 pm

[illegible]

Neighborhood Workshop Notice

For a proposed Development Plan and Special Use Permit for a proposed hotel located on SW 37th Boulevard.

Date: March 29, 2016
Time: 6:00 p.m.
Place: Country Inn & Suites
4015 SW 43rd Street, Gainesville, FL
Contact: **eda** engineers – surveyors – planners at (352) 373-3541

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed hotel on tax parcel number 07240-046-000 and a portion of tax parcel number 06809-000-000 located on SW 37th Boulevard. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.



Appendix E

Technical Review Committee Conditions and Recommendations

City Technical Review Committee Comments
for
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal

Current Planning (Approvable with conditions):

1. ~~As per the City Land Development Code, the neighborhood workshop ad must be published within the newspaper at least 14 days prior to the date of the neighborhood workshop. The documents provided by the applicant for this petition indicate that this requirement was not met. Please resubmit required documents showing compliance with all neighborhood workshop requirements on the April 19, 2016 resubmittal date.~~
2. As per Section 30-160 of the City Land Development Code (LDC) the following additional information is required on or with the development plan: (1) ~~designated loading and service areas; and (2) building tie-downs with dimensions to show the distance between the proposed building and adjacent property lines, and the distance between the proposed building and the BUS zoning district boundary on Parcel No. 6809 (also see Item 18); (3) the correct delineation of the BUS and MU-1 zoning districts on Tax Parcel 6809 and 7240-046-000.~~ **Building tie-downs with dimensions shall be shown to indicate the distance between the proposed building and adjacent property lines, and the distance between the proposed building and the BUS zoning district boundary on Parcel No. 6809. Please complete the zoning designation on adjacent properties zoned RMF-8.**
3. Staff strongly recommends the use of an aeration system in wet basins to help in the prevention of mosquito infestation.
4. Please provide the hotel parking standard in its entirety on the development plan and indicate in the project description whether or not spaces for restaurants, retail outlets or other accessory uses will be provided. ~~Please correct the bike parking standard to indicate that only 3 bike spaces are required. The minimum number of motorcycle spaces required is based upon the minimum number of vehicle spaces required by the LDC.~~ **The required vehicle parking standard for the hotel shall be corrected to read as it appears in the Code. Please be aware that the provision of accessory uses subsequent to public hearing will constitute an amendment that requires City approval in accordance with the Code.**
5. ~~Please provide a note with the dumpster detail indicating whether the exterior of the enclosure will be finished to match the exterior of the principal building. Also, please note where a latch for the gates will be provided.~~
6. ~~Sheet C1.00 must be corrected. The number of spaces shown between the striped area representing the stormwater access road and the landscape island immediately south is 7.~~
7. ~~Please provide directional arrows in the proposed driving aisle.~~
8. ~~Please label the main entrance on the appropriate building elevation.~~
9. ~~Please address compliance with the Central Corridor standards applicable under Policy 10.3.1 on the next submittal. Please be reminded that requests for board-approved waivers must be made in writing and submitted on the next cut-off date prior to the applicable City Plan Board public hearing.~~
10. The photometric narrative must be corrected. The photometric plan shows at least 3 proposed light poles with a height of 30 feet, w/n 75 feet of property with a residential zoning designation. The height of the poles must be changed to comply with the maximum 15 feet allowed, or the applicant must obtain a board-approved waiver.
11. ~~If pool lighting is required by Federal or State law, it is exempt from the City's lighting requirements. If not, and lighting is provided, calculations for pool lighting must be included on the photometric plan.~~

**City Technical Review Committee Comments
for
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

12. The applicant must obtain a board-approved waiver to use non cut-off light fixtures beneath the main entry canopy. **If indirect lighting is proposed, the applicant must show in the detail on Sheet E-2 compliance with Sec. 30-344 (e) (6) c, which requires all direct illumination to be focused exclusively on the underside of the canopy.**
13. ~~Given that some of the proposed fixtures are adjustable, within the photometric narrative, please address the inability to adjust light fixtures in a manner that modifies the site photometry without City approval.~~
14. All sheets of the development plan shall be signed and/or sealed, where required, prior to staff signing an approved development plan.
15. ~~Please provide a detail of the proposed retaining wall and handrail to be designed by others, as indicated on Sheet C1.00.~~
16. The parking lot lighting cannot exceed an average horizontal illuminance of 1.0 footcandles, and a maximum uniformity ratio of 10:1, within 75 feet of the abutting residential zoning designations without the applicant receiving a board-approved waiver.
17. ~~Please provide a copy of the joint driveway agreement between the owner(s) of the development site and the owner(s) of the abutting property to the south.~~
18. ~~All sheets of the development plan shall be consistent with each other. For example, the landscape plan is showing a striped parking area on Parcel 6809, just north of the proposed hotel building.~~
19. Please be reminded that signs are permitted separately. **Please remove the off-premise sign from the development plan. The Code does not allow off-premise signage.**
20. ~~Trees must be no more than 5 feet from the face of curbing along the front end of landscape islands.~~
21. A perimeter landscape buffer, at least 9 feet in width, is required along the perimeter of the vehicular use area. The buffer must consist of shrubs arranged to achieve a visual screen of 75 percent opacity and a height of at least 3 feet within 3 years. The buffer must also contain high quality shade trees at a minimum average of three trees for every 100 feet of the linear distance of the perimeter landscape area, excluding the width of driveways that cross the landscape area. The distance between such trees shall not exceed 55 feet nor shall they be planted closer than 25 feet apart. Please show the narrowest width of the buffer on the dimension plan. **The buffer is less than the required 9 feet along the property line adjoining Tax Parcel 7240-076-001. Shrubs are required within the buffer along the east side of the off-street parking area. Please correct.**
22. Street trees shall be planted on the development site along SW 37th Boulevard. Street trees shall be planted for every 30 to 50 feet of street frontage, depending on the canopy area needed for the tree species. The widths of driveways along a street shall be subtracted from the linear feet of street frontage length for the purposes of calculating the number of required street trees. In no case shall trees be spaced closer together than 25 feet or farther apart than 60 feet. **The trees shown appear closer than 25 ft. apart.**

Concurrency (Approvable with conditions):

1. Prior to receiving a final development order, this development must sign a TMPA Agreement for the provision of 5 Transportation Mobility Element Policy 10.1.7 criteria.

**City Technical Review Committee Comments
for
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

Public Works (Approvable with conditions):

Roadway and Site Design:

1. How is the proposed sidewalk crossing over the existing spillway on the east side of SW 37th Blvd. near Archer Rd. as shown on sheet C0.20?

Stormwater Management:

1. The slope for the curb ramps appears to be steeper than 3.87%. Two contours (92 and 93) are approximately 3.5 feet apart (equaling about 30% slope).
2. The grading shown between the southern drive aisle and the property line is shown up to and along the property line. How will this grading occur without affect the property to the south? The area is the curve to the west of this aisle and the existing elevations along the property line are between 85 and 87.
3. What is the elevation being used for the floodplain elevation? Provide documentation or calculations for this elevation. The FEMA floodplain zone line is an approximate location. The determination of the impacts to the floodplain should be made from survey information. The survey information indicates a surface water which should be considered for the determination of the flood elevation and subsequent compensation.

Building Inspections (No Comments)

Fire Services (Approvable as submitted)

Urban Forestry Inspector (Approvable with conditions):

1. Continue the street shade trees along the frontage of SW 37th BLVB, if part of this development.
2. Please add shrubs along all vehicular use areas within the project. (eastern property near the existing forest in the sod areas)

Gainesville Regional Utilities (Approvable for DRB, Design not approved, requested changes to design and documents must be made before UCP is issued):

Water/Wastewater: does not approve, see link:

https://www.dropbox.com/sh/t4ocsm3mm6ckde1/AAAfAbT-9uWdFPr_LFtPfCpKa?dl=0

Real Estate: Approved

Electric: Approved

Gas: Approved

GRUCom: Approved

**City Technical Review Committee Comments
for
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

Alachua County Environmental Protection Department (Approvable with conditions):

Possible hazmat regulated facility. If applicable, please provide information on emergency generator, pool chemical storage and maintenance facility.

Gainesville Police Department (Approvable with conditions):

Photometrics are approvable. But, petitioner needs to request a waiver for 30' light poles adjacent to residential zone or change the pole height to 15'.

Environmental:

The referenced 15-acre Fairfield project site has received substantial ecological and natural resource assessments from 2005 through 2016. These assessments were beneficial toward incorporation of various development design revisions and features to avoid and further minimize impacts to wetland and upland habitats.

The application has included construction-related activities and facilities associated with not only the Fairfield Hotel, but conceptual optimal design features associated with the construction of a second building and associated parking facility. The stormwater basin design has incorporated sufficient storage volume and treatment capacity for the anticipated optimal design of all impervious facilities associated with building and parking facilities for the entire tract.

For the proposed hotel, parking and associated stormwater basin, a minor 0.04-acre permanent wetland impact and adjacent 0.07-acre permanent buffer impact will be associated with construction of a fill access road underlain with a pipe to convey stormwater runoff from the impervious facilities within the entire southwest upland area to the stormwater basin to be constructed within the northeast upland portion.

In association with the second building and associated parking area, the potential impacts are preliminary. However, it includes a conservative estimate 0.22-acre temporary wetland impact associated with removal of trees within the wetland located parallel and adjacent to 37th Blvd.; thus providing line-of-sight view from Archer Road south to the anticipated second building. Parking for the second building would include a maximum 0.12-acre of permanent fill within the wetland buffer. These potential impacts will not be increased however might be reduced pending final design features.

The combination of constructing all facilities could result in a minor 0.04-acre of permanent and 0.22-acre of temporary wetland impacts (total 0.26-acre), and 0.19-acre of permanent and 0.13-acre of temporary wetland buffer impacts (total 0.32-acre). To mitigate for the proposed impacts, the applicant has proposed a combination of preserving on-site ecosystems including 1.97 acres of upland buffers and 3.42-acres of forested wetlands; for a total of 5.39-acres of mitigation.

The proposed wetland buffer fill and clearing impacts (total 0.32-acre) are not specifically addressed as requiring mitigation per the City's Regulated Surface Waters & Wetlands criteria (Land Development

**City Technical Review Committee Comments
for
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

Code, Section 30-300). However at a minimum, design plans have been prepared to retain 50-ft. buffers for over 70% along the wetland boundaries.

Overall, the applicant has proposed an exceptional design to minimize impacts to wetland and associated buffers, and has proposed sufficient and appropriate mitigation per Section 30-300. For the entire tract, there are no limitation or restriction issues related to criteria stipulated under LDC 30-310 - Regulated Natural & Archaeological Resources.

Appendix F

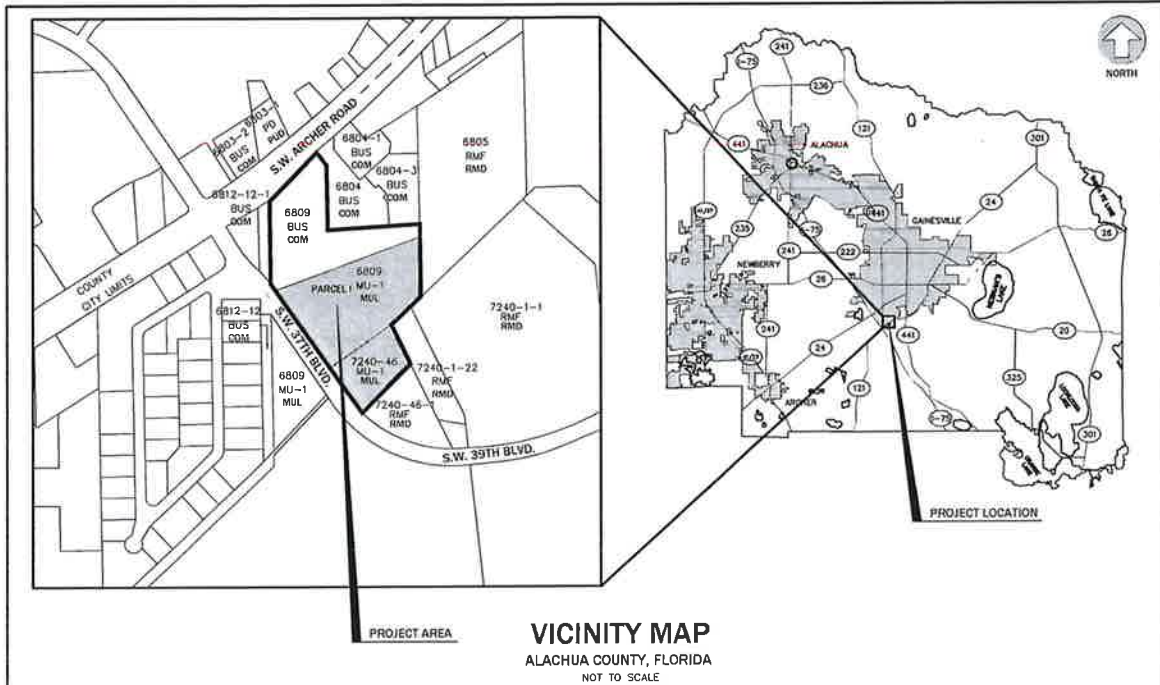
Development Plan

FAIRFIELD INN & SUITES HOTEL

CITY OF GAINESVILLE, FLORIDA

DEVELOPMENT INFORMATION:

1. PROJECT OWNER:	PRAIRIE VIEW TRUST 3501 S. MAIN STREET SUITE 1 GAINESVILLE, FLORIDA 32601-9031
2. NAME OF PROJECT:	FAIRFIELD INN & SUITES HOTEL DEVELOPER LAKE CITY HOTELS, INC. 450 SW FL GATEWAY DR. LAKE CITY, FL 32024 CONTACT: NICK PATEL
3. PROJECT DESCRIPTION:	CONSTRUCTION OF A 5 STORY HOTEL WITH ASSOCIATED PARKING AND UTILITIES LOCATED ON PARCEL NUMBER 07240-046-000 AND PORTION OF PARCEL NUMBER 06809-000-000.
4. PROJECT ADDRESS:	3989 SW 37 BLVD GAINESVILLE, FL 32608
5. TAX PARCEL NUMBER:	06809-000-000 (A PORTION OF) 07240-046-000
6. SECTION/TOWNSHIP/RANGE:	SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST
7. ZONING:	BUS/MU-1(7240-46)
8. FUTURE LAND DESIGNATION:	COMMERCIAL/MIXED-USE LOW DENSITY
9. A FLOOD PLAIN IS LOCATED WITHIN THE PROPOSED PARCEL BUT THE PROPOSED DEVELOPMENT DOES NOT IMPACT IT	
10. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT	
11. IRRIGATION SYSTEM SHALL BE PROVIDED FOR LANDSCAPED ALL AREAS.	
12. THIS STORMWATER SYSTEM IS CURRENTLY BEING PERMITTED WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD)	
13. THIS PROJECT IS NOT AFFECTED BY THE GATEWAY, GREENWAY, SURFACE WATER, WELL FIELD OR NATIVE PARK DISTRICTS.	
14. THIS SITE IS LOCATED IN ZONE C OF THE MOBILITY PROGRAM AREA (TMPA), AND WILL COMPLY THE APPLICABLE PROVISIONS OF THE TRANSPORTATION MOBILITY ELEMENT POLICY 10.1.4 AND 10.1.7.	
15. UTILITY SERVICES WILL BE CONNECTED TO THE EXISTING UTILITIES AT THE RIGHT OF WAY LINE	
16. NO SPECIAL FIRE PROTECTION CONCERNS ARE PROPOSED ON THIS BUILDING. THE BUILDING SHALL BE SPRINKLERED AND SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.	
17. THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.	
18. TRASH AND RECYCLING FACILITIES ARE PROPOSED WITHIN SITE.	
19. FIRE HYDRANTS AND STABILIZED SURFACES WILL BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE.	
20. IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE A MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHA. FOR ADDITIONAL SPECIFIC REQUIREMENTS PERTAINING TO SIGNAL STRENGTH, COVERAGE, MAINTENANCE AND TESTING REFER TO NFPA 72-14.4.12 AND 24.5.2.	
21. THE OWNER OR OWNERS AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ACCESS ALL ESSENTIAL FIRE AND SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION.	
22. THE SITE AND BUILDING COMPLIES WITH THE FLORIDA BUILDING CODE AND/ALL REQUIRED STANDARDS.	



LEGEND:
ZONING:
BUS - GENERAL BUSINESS
MU-1 - MIXED-USE
RMD - RESIDENTIAL MEDIUM DENSITY
MUL - MIXED-USE LOW DENSITY

FUTURE LAND USE:
COM - COMMERCIAL
RMD - RESIDENTIAL MEDIUM DENSITY
MUL - MIXED-USE LOW DENSITY

TRIP GENERATION

PER TRAFFIC IMPACT ANALYSIS FOR FAIRFIELD INN
PREPARED BY NUE URBAN CONCEPTS
DATED NOV. 25, 2015

ITE LAND USE	AVERAGE DAILY TRIPS			A.M. PEAK HOUR			P.M. PEAK HOUR		
	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
310 FAIRFIELD INN	466	465	931	35	25	60	35	33	68
114 ROOMS									
* 25% REDUCTION			698			45			51
UNADJUSTED VOLUME	0	0	0	0	0	0	0	0	0
INTERNAL CAPTURE TRIPS	0	0	0	0	0	0	0	0	0
BYPASS TRIPS	0	0	0	0	0	0	0	0	0
VOLUME ADDED TO ADJACENT STREETS	0	0	0	0	0	0	0	0	0
TOTAL AM PEAK HOUR INTERNAL CAPTURE = 0 PERCENT									
TOTAL PM PEAK HOUR INTERNAL CAPTURE = 0 PERCENT									

* NOTE: THE FAIRFIELD INN PROJECT IS LOCATED WITHIN THE TRANSPORTATION MOBILITY AREA. CONSISTENT WITH POLICY 10.2.5 OF THE TME, A 25% REDUCTION IN EXTERNAL TRIPS WILL BE UTILIZED.

BUILDING INFORMATION

BUILDING HEIGHT:	63'-00"
SPRINKLERED:	YES
OCCUPANCY CLASS:	RESIDENTIAL R-1
CONSTRUCTION TYPE:	TYPE III-B
NUMBER OF STORIES:	FIVE STORIES
GROSS FLOOR AREA:	
	1st FLOOR 16,551 S.F.
	2nd FLOOR 13,338 S.F.
	3rd FLOOR 13,338 S.F.
	4th FLOOR 13,338 S.F.
	5th FLOOR 13,338 S.F.
	TOTAL GROSS FLOOR AREA: 66,903 S.F.
BUILDING AREA:	
	1st FLOOR 16,551 S.F.
	2nd FLOOR 13,338 S.F.
	3rd FLOOR 13,338 S.F.
	4th FLOOR 13,338 S.F.
	5th FLOOR 13,338 S.F.
	TOTAL BUILDING AREA UNDER ROOF: 66,903 S.F.

IMPERVIOUS AREA CALCULATIONS

#	DESCRIPTION	SQUARE FOOTAGE	ACREAGE	PERCENTAGE
1.	TOTAL SITE AREA:	596,874	13.56 Ac.	100%
2.	PROPOSED BUILDING COVERAGE:	15,784	0.36 Ac.	2.7%
3.	PAVEMENT AND SIDEWALK AREA:	67,379	1.55 Ac.	11.4%
4.	TOTAL IMPERVIOUS AREA:	83,089	1.91 Ac.	14.1%
5.	OPEN AREA:	507,585	11.65 Ac.	85.9%

PARKING CALCULATIONS

#	DESCRIPTION	CRITERIA	REQUIRED	PROVIDED SPACES
1.	VEHICULAR PARKING:	5 PLUS ONE PER GUESTROOM	5 + 1 SPACE/BEDROOM X 114 BEDROOMS =119 SPACES	123 INCLUDING 5 HANDICAP SPACES
2.	BICYCLE PARKING:	4 SPACES	3 SPACES	4 SPACES 2 RACKS
3.	MOTORCYCLE PARKING:	1 MOTORCYCLE SPACE PER 40 VEHICLE SPACES REQUIRED	119 SPACES x 1 SPACES/40 SPACES = 3 SPACES	4 SPACES

* WITHIN 10% ± ALLOWED BY CODE

LEGAL DESCRIPTION

PARCEL 1

A PARCEL OF LAND SITUATED IN SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, AND THE GARY GRANT, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST AND RUN THENCE SOUTH 00°41'40" EAST, ALONG THE EAST LINE OF SAID SECTION 14, A DISTANCE OF 1258.47 FEET TO THE CENTERLINE OF STATE ROAD NO. 24 (ARCHER ROAD); THENCE SOUTHWESTERLY, ALONG SAID CENTERLINE, WITH A CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A CENTRAL ANGLE OF 0°10'17", A RADIUS OF 5729.58 FEET, AN ARC DISTANCE OF 917.14 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 44°33'11" WEST, 916.16 FEET; THENCE SOUTH 39°58'03" WEST, ALONG SAID CENTERLINE, 765.29 FEET; THENCE SOUTHWESTERLY, ALONG SAID CENTERLINE, WITH A CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A CENTRAL ANGLE OF 10°48'12", A RADIUS OF 5729.58 FEET, AN ARC DISTANCE OF 1080.33 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 45°22'03" WEST, 1078.72 FEET; THENCE SOUTH 39°13'45" EAST, 78.00 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SAID STATE ROAD NO. 24 (ARCHER ROAD) AND TO THE NORTHWESTERLY CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2511, PAGE 1068 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 30°17'20" EAST, ALONG THE WESTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2511, PAGE 1068, A DISTANCE OF 78.17 FEET; THENCE SOUTH 00°57'14" EAST, ALONG THE WESTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2511, PAGE 1068, A DISTANCE OF 22.57 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°57'14" EAST, ALONG THE WESTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2511, PAGE 1068, A DISTANCE OF 282.37 FEET TO THE SOUTHWEST CORNER OF SAID LANDS; THENCE NORTH 86°29'22" EAST, ALONG THE SOUTH LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2511, PAGE 1068, A DISTANCE OF 296.44 FEET TO THE SOUTHEAST CORNER OF SAID LANDS AND THE SOUTHWEST CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4042, PAGE 139; THENCE NORTH 86°29'22" EAST, ALONG THE SOUTH LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4042, PAGE 139, A DISTANCE OF 143.15 FEET TO THE SOUTHEAST CORNER OF SAID LANDS AND TO A POINT ON THE WEST LINE OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2293, PAGE 388; THENCE SOUTH 00°43'10" EAST, ALONG THE WEST LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2293, PAGE 388, A DISTANCE OF 338.33 FEET TO THE SOUTHWEST CORNER OF SAID LANDS AND TO A POINT ON THE NORTHERLY LINE OF THE GARY GRANT; THENCE SOUTH 46°39'12" WEST, ALONG THE NORTHERLY LINE OF THE GARY GRANT, A DISTANCE OF 193.55 FEET; THENCE SOUTH 20°32'22" EAST, 199.47 FEET; THENCE SOUTH 44°29'29" WEST, 323.19 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SW 37TH BOULEVARD, SAID POINT ALSO BEING A POINT OF INTERSECTION WITH A NON-TANGENT CURVE CONCAVE TO THE NORTHEAST WITH A RADIUS OF 810.00 FEET AND A RADIAL BEARING OF NORTH 43°34'06" EAST AT SAID POINT OF INTERSECTION; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AND SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF SW 37TH BOULEVARD THROUGH A CENTRAL ANGLE OF 1°38'55", A DISTANCE OF 124.02 FEET TO THE POINT OF TANGENCY; THENCE NORTH 34°46'59" WEST, ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF SW 37TH BOULEVARD A DISTANCE OF 590.51 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST WITH A RADIUS OF 580.00 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, AND SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF SW 37TH BOULEVARD, THROUGH A CENTRAL ANGLE OF 13°07'43", A DISTANCE OF 132.90 FEET TO THE POINT OF REVERSE CURVATURE WITH A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 460.00 FEET; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF SW 37TH BOULEVARD, THROUGH A CENTRAL ANGLE OF 16°13'15", A DISTANCE OF 130.23 TO THE POINT OF TANGENCY; THENCE NORTH 31°41'27" WEST, ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF SW 37TH BOULEVARD, A DISTANCE OF 108.08 FEET TO A POINT ON THE SOUTHEAST LINE OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2134, PAGE 341; THENCE NORTH 58°31'20" EAST, ALONG THE SOUTHEASTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2134, PAGE 341, A DISTANCE OF 178.19 FEET TO A POINT ON THE EAST LINE OF ROBBINSWOOD, A SUBDIVISION AS RECORDED IN PLAT BOOK "E", PAGE 49 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 01°11'29" EAST, ALONG SAID EAST LINE OF ROBBINSWOOD AND ALONG THE SOUTHEASTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2134, PAGE 341, A DISTANCE OF 24.97 FEET; THENCE NORTH 58°35'07" EAST, ALONG THE SOUTHEASTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2134, PAGE 341, A DISTANCE OF 178.28 FEET TO THE POINT OF BEGINNING.

DRAWING INDEX

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	LEGEND, SYMBOLS AND NOTES
C0.20	DEVELOPMENT PLAN
C0.30	DEMOLITION AND TREE CLEARING PLAN SITE WEST
C0.31	DEMOLITION AND TREE CLEARING PLAN SITE EAST
C1.00	DIMENSION PLAN
C2.00	PAVING, GRADING AND DRAINAGE PLAN
C2.10	PAVING, GRADING AND DRAINAGE DETAILS AND NOTES
C2.20	STORMWATER BASIN DETAILS, NOTES & CROSS SECTIONS
C2.30	STORMWATER PLAN AND PROFILES
C3.00	STORMWATER POLLUTION PREVENTION PLAN
C4.00	UTILITY PLAN
C4.10	SANITARY PLAN AND PROFILE
C4.20	EXISTING ELECTRIC PLAN AND PROFILE
V-001 - V-004	BOUNDARY & TOPOGRAPHIC SURVEY
E-1 - E-2	PHOTOMETRIC PLAN (BY OTHERS)
LS-1	LANDSCAPE PLAN (BY OTHERS)
A2.1-A3.2	ARCHITECTURAL PLANS (BY OTHERS)
P201	PLUMBING (BY OTHERS)
S1 - S3	STRUCTURAL PLANS (BY OTHERS)

cds
engineers • planners
5032 NW 21st St., Gainesville, Florida 32609-4602
TEL: 352.336.1111 FAX: 352.336.1112
WWW.CDS-FL.COM MAIL@CDS-FL.COM

FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA

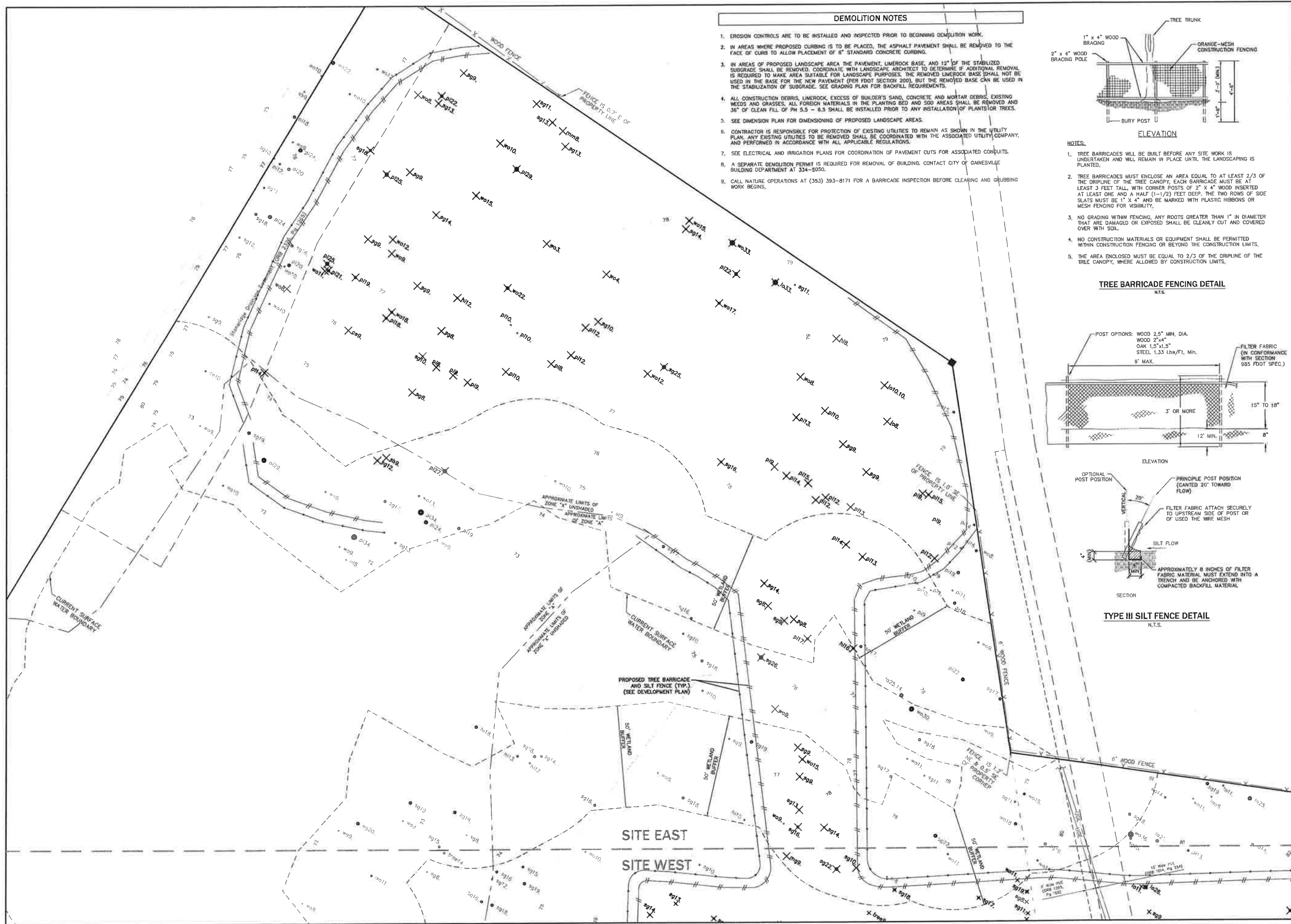
COVER SHEET

Project phase: CITY & GRU 2ND SUBMITTAL
Designed: SJA/TMK Drawn: MAB/TMR
Project No: 14-190 Date: 04/19/16
Professional Engineer of Record:
Sergio J. Reyes, P.E.
Engineer
47311
Certificate No.

C0.00

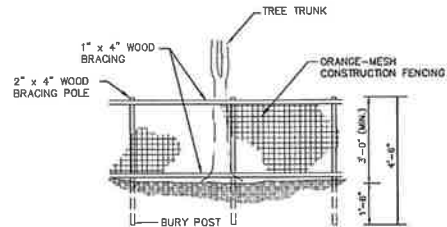
PB-16-39 SUP
Fairfield Inn & Suites
3989 SW 37th Blvd

\\proj\projects\fairfield\m\plan\source\dwg\c031.dwg, C031 - DEMO, 4/13/2016 9:54:01 AM, engineers, DWS to PDF.pc3



DEMOLITION NOTES

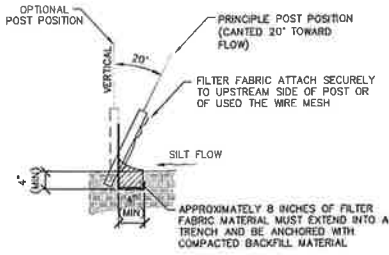
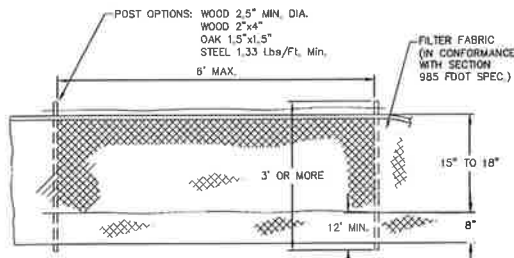
1. EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
2. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
3. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FOOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
4. ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND 500 AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS/TREES.
5. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
7. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.
8. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR REMOVAL OF BUILDING. CONTACT CITY OF GAINESVILLE BUILDING DEPARTMENT AT 334-5050.
9. CALL NATURE OPERATIONS AT (353) 393-8171 FOR A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS.



NOTES:

1. TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
2. TREE BARRICADES MUST ENCLOSE AN AREA EQUAL TO AT LEAST 2/3 OF THE DRIPLINE OF THE TREE CANOPY. EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
3. NO GRADING WITHIN FENCING, ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
4. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
5. THE AREA ENCLOSED MUST BE EQUAL TO 2/3 OF THE DRIPLINE OF THE TREE CANOPY, WHERE ALLOWED BY CONSTRUCTION LIMITS.

TREE BARRICADE FENCING DETAIL



TYPE III SILT FENCE DETAIL



NORTH

SCALE: 1" = 20'



GRAPHIC SCALE

cds
engineers • surveyors • planners
800 248 6100
334 N.W. 12th St., Suite 200
Gainesville, FL 32601
TEL: 352.272.2541 FAX: 352.272.2542
www.cdsinc.com maddell@cds.com

FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA

DEMOLITION AND TREE CLEARING PLAN
SITE EAST

Project phase: CITY & GRU 2ND SUBMITTAL

Designed: SR/7AR Drawn: MAB/7HR

Project No: 14-190 Date: 04/19/16

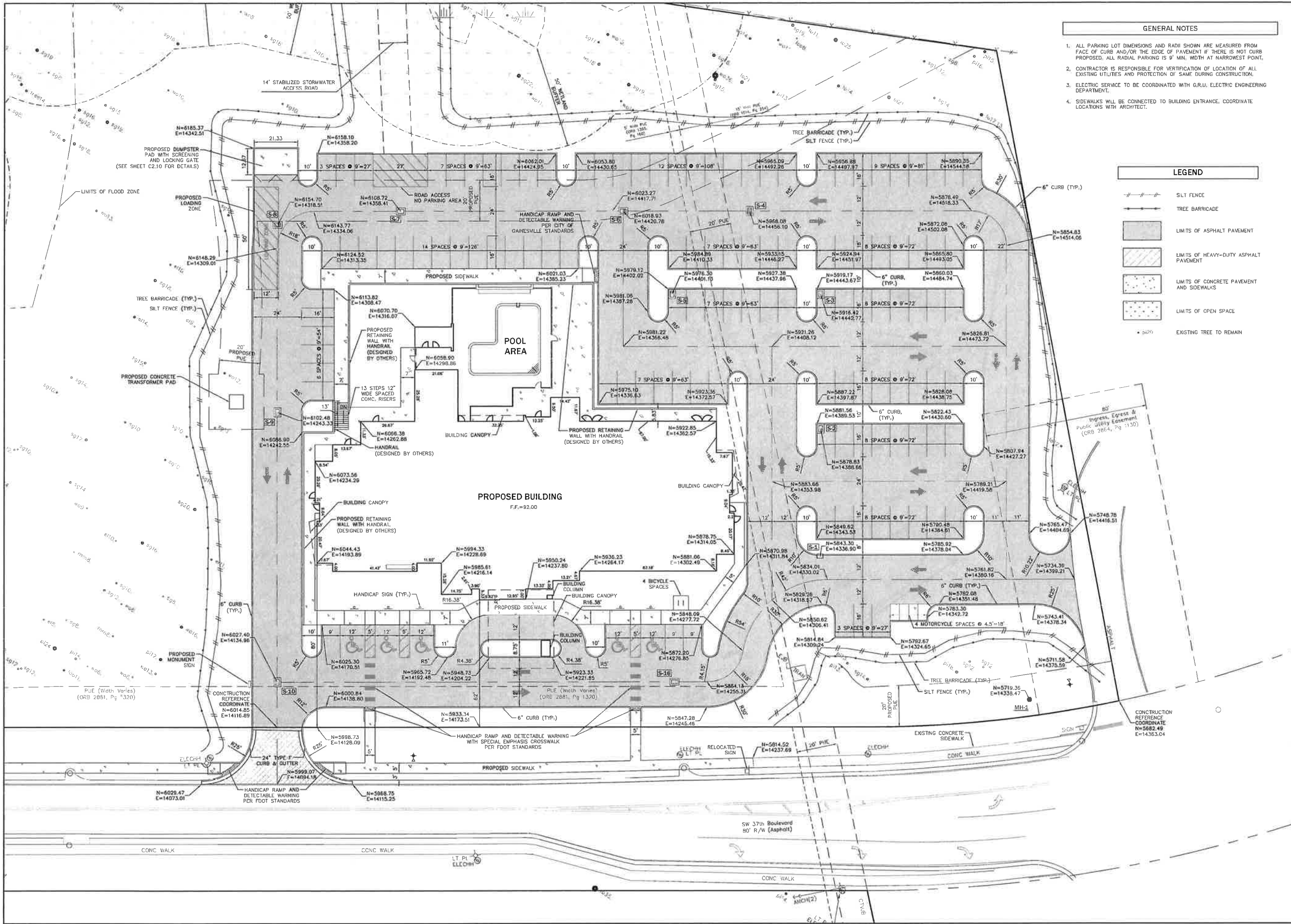
Professional Engineer of Record:

Seal: J. ROYCE, P.E. 42111

Engineer Certificate No.

Sheet No:

C0.31



GENERAL NOTES

1. ALL PARKING LOT DIMENSIONS AND RADII SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NOT CURB PROPOSED. ALL RADIAL PARKING IS 9' MIN. WIDTH AT NARROWEST POINT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
3. ELECTRIC SERVICE TO BE COORDINATED WITH G.R.U., ELECTRIC ENGINEERING DEPARTMENT.
4. SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.

LEGEND

- SILT FENCE
- TREE BARRICADE
- LIMITS OF ASPHALT PAVEMENT
- LIMITS OF HEAVY-DUTY ASPHALT PAVEMENT
- LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
- LIMITS OF OPEN SPACE
- EXISTING TREE TO REMAIN



NORTH

SCALE: 1"= 20'



GRAPHIC SCALE

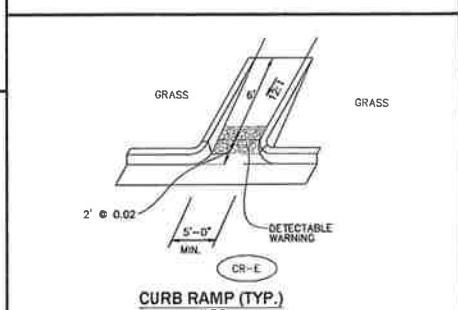
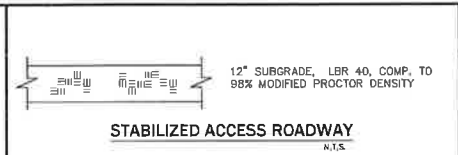
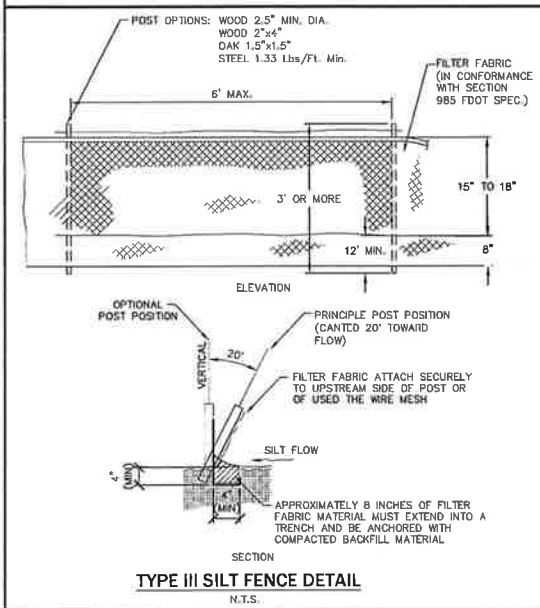
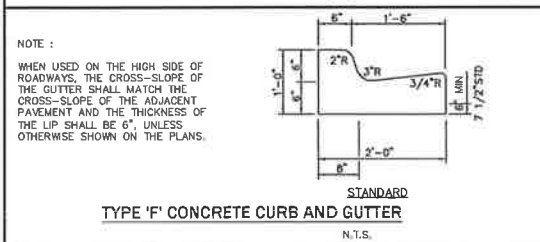
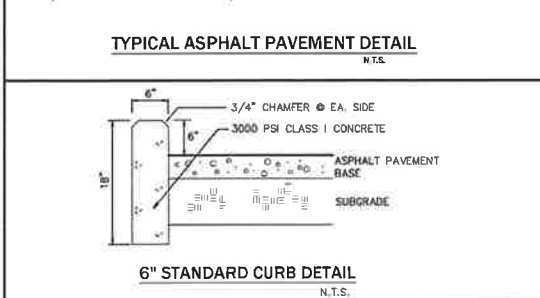
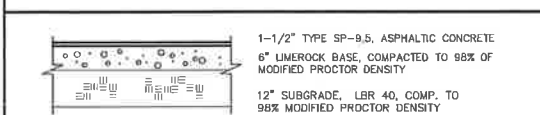
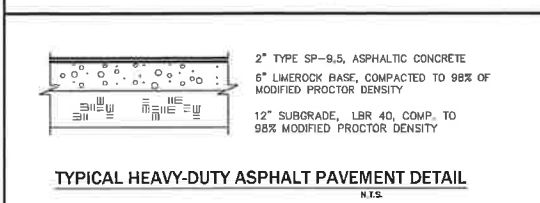
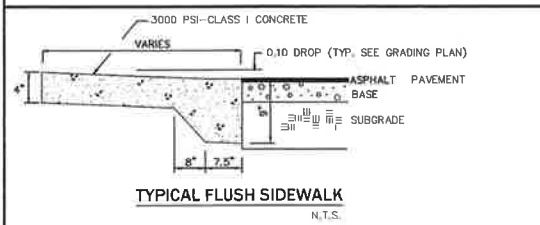
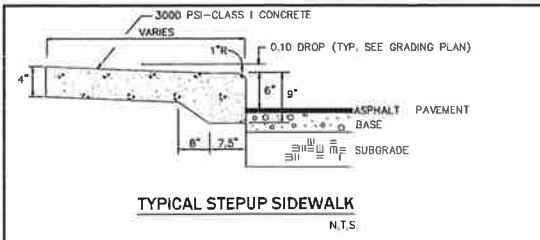


FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA

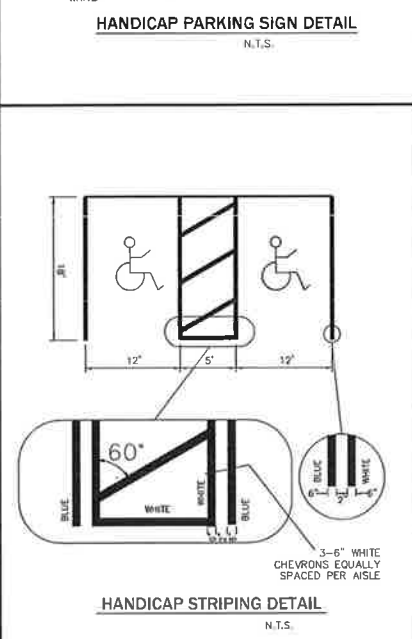
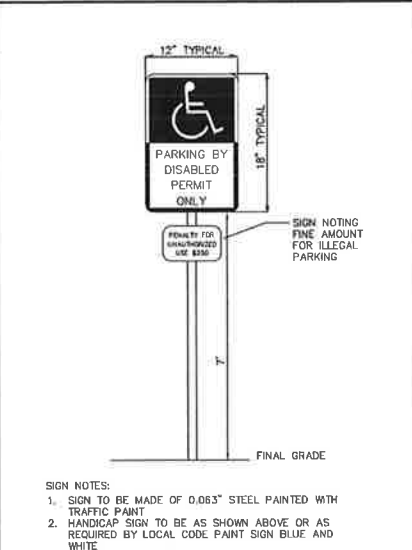
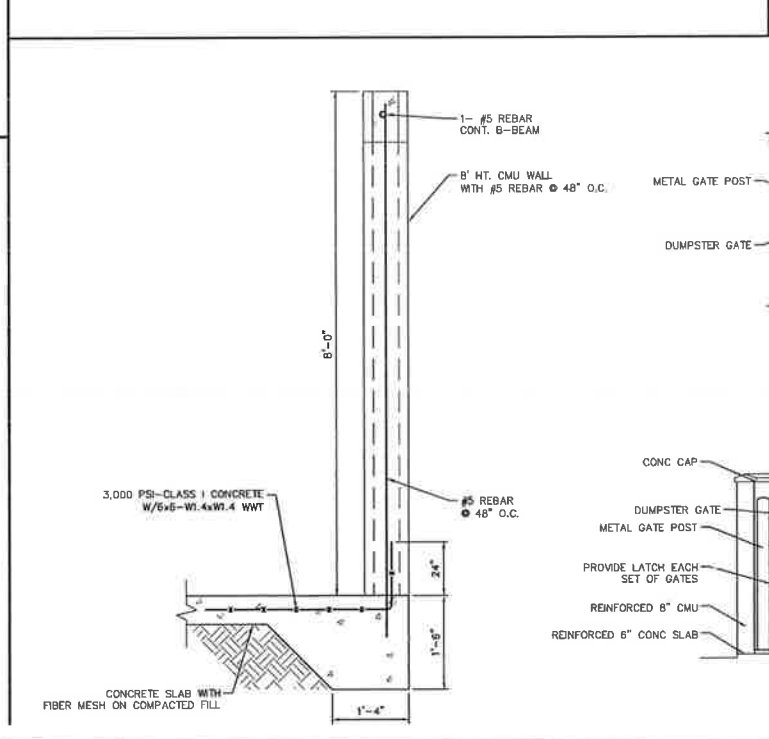
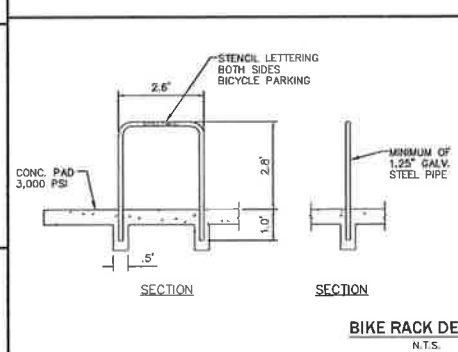
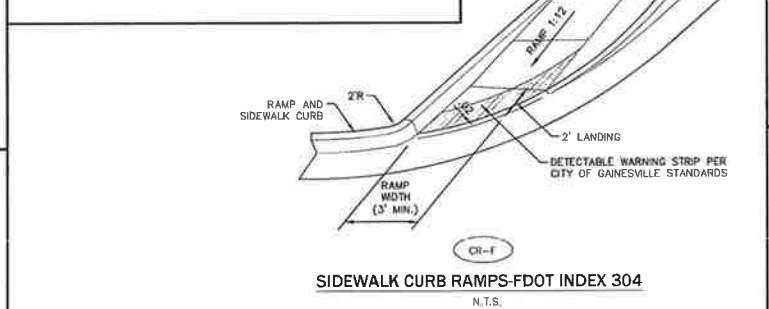
DIMENSION PLAN

Project Name:	CITY & GRU 2ND SUBMITTAL
Designed:	SUP/TAR
Drawn:	MAR/TAR
Project No.:	14-190
Date:	04/19/16
Professional Engineer of Record:	
Signature:	Scot J. Bayless, P.E.
Engineer:	47311
Certificate No.:	

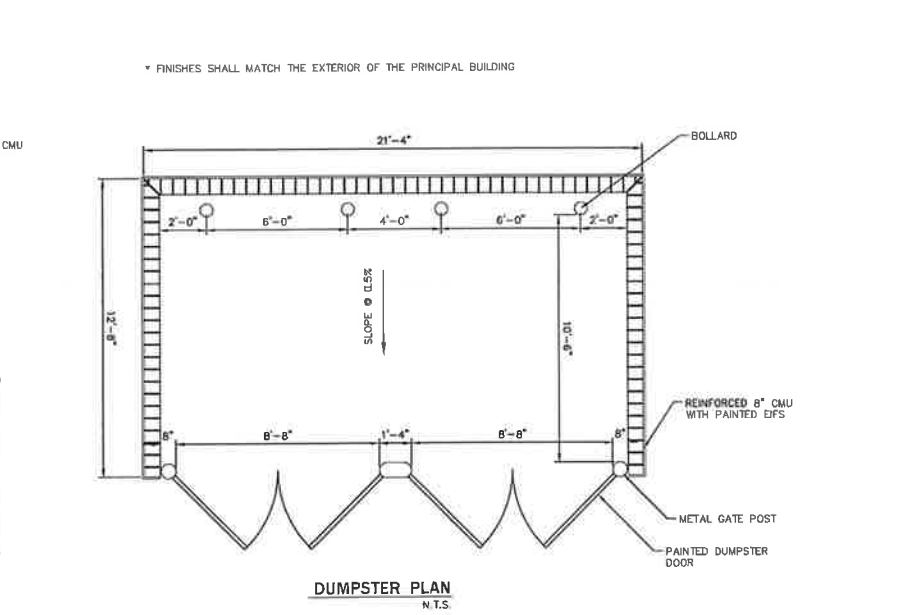
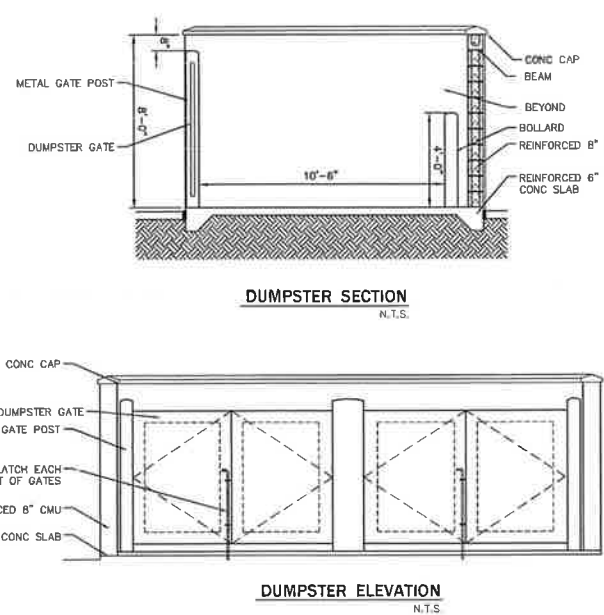
C1.00



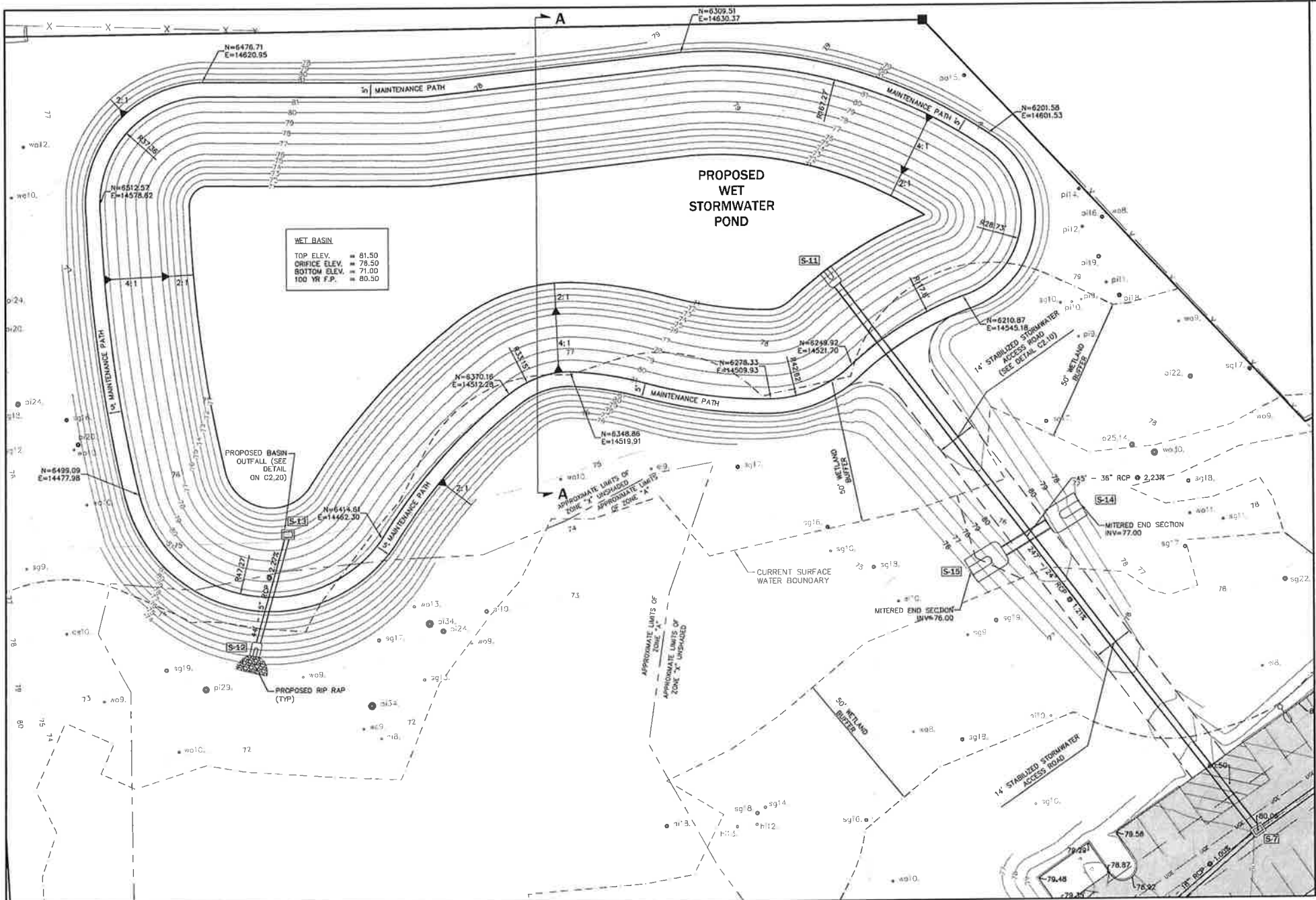
NOTE: ALL HANDICAP RAMPS MUST MEET CITY OF GAINESVILLE SPECIFICATIONS FOR DETECTABLE WARNINGS



- PAVING, GRADING AND DRAINAGE SPECIFICATIONS**
- GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
 - ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
 - ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
 - STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 814-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
 - BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-10 67-22 ASPHALT BINDER. NO RAP (RECLAIMED ASPHALT PAVEMENT) MATERIAL IS ALLOWED TO BE USED IN ASPHALT MIX. (EXCEPT IF APPROVED BY OWNER AND ENGINEER).
 - ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBING SHALL BE CLASS I CONFORMING TO SECTION 346.
 - REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 430.
 - ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
 - ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.D.O.T. AND A.U.T.C.D. STANDARDS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
 - SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 5 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
 - LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
 - ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
 - REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF pH 5.5-6.5.
 - TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.
 - ALL WORK WITHIN OR ON CITY OWNED OR MAINTAINED FACILITIES, R/W OR EASEMENT WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY-OWNED OR MAINTAIN AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. THE CONTRACTOR SHALL PROVIDE THE CITY WITH AN AS-BUILT SURVEY OF THE RETENTION/DETENTION BASIN AND ASSOCIATED STRUCTURES, PREPARED BY A REGISTERED LAND SURVEYOR. THE SURVEY SHALL BE SUBMITTED ON PAPER COPY AND ELECTRONICALLY (PDF, AUTODESK, CAD).
 - ANY CONSTRUCTION IN THE CITY OF GAINESVILLE PUBLIC R/W WILL REQUIRE PERMITS FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK.
 - A MOT PERMIT IS REQUIRED FOR ANY ACTIVITY IN THE R/W THAT EITHER DIRECTLY OR INDIRECTLY AFFECTS VEHICULAR OR PEDESTRIAN TRAFFIC.
 - OPEN-CUT RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH FDOT INDEX 307 AND USING THE FLOWABLE FILL OPTION.
- CITY RIGHT-OF-WAY:
THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENT SPECIFIED BY THE PUBLIC WORKS DEPARTMENT.
NO WORK SHALL BE DONE NOR MATERIALS USED IN THE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070), AND THE CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
THE PUBLIC WORKS DEPARTMENT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THE ROW TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORNE BY THE DEVELOPER.
- COUNTY RIGHT-OF-WAY:
THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE COUNTY ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT.
NO WORK SHALL BE DONE NOR MATERIALS USED IN THE ROW, WITHOUT INSPECTION BY THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT (462-2147), AND THE CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
- STATE RIGHT-OF-WAY:
THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY AND STATE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070), AND FDOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.



Project:		Project phase:		Project:	
CITY & GRU 2ND SUBMITTAL		CITY & GRU 2ND SUBMITTAL		CITY & GRU 2ND SUBMITTAL	
Designed: SIR/TAR		Designed: SIR/TAR		Designed: SIR/TAR	
Project No: 14-190		Project No: 14-190		Project No: 14-190	
Date: 04/19/16		Date: 04/19/16		Date: 04/19/16	
Professional Engineer of Record:		Professional Engineer of Record:		Professional Engineer of Record:	
Sergio J. Reyes, P.E.		Sergio J. Reyes, P.E.		Sergio J. Reyes, P.E.	
Engineer		Engineer		Engineer	
Sheet No:		Sheet No:		Sheet No:	
C2.10		C2.10		C2.10	



CITY OF GAINESVILLE
STORMWATER MANAGEMENT
SUMMARY SHEET

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION II BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL RICK MELTZER, P.E. DEVELOPMENT REVIEW ENGINEER, AT 334-2051. YOUR HELP IS APPRECIATED.

I. GENERAL

A. SITE PLAN No. _____ E. PROJECT NAME: FAIRFIELD HOTEL
B. TAX PARCEL No. 06809-000-000 F. ADDRESS: 3989 NW 37TH BLVD
C. TAX MAP No. _____
D. FINAL SITE PLAN SIGN OFF _____ INITIALS _____

II. SITE INFORMATION

A. TOTAL IMPERVIOUS AREA ON SITE: <u>90,169</u> <u>sq. ft.</u>			
B. STORMWATER MANAGEMENT BASIN DATA		Elevation At Which Surface Water Discharge Basins from Basin (ft.-msl)	
Basin No.	Retention Volume (cu ft)	Retention Volume Surface Water Area (sq ft)	
1	0.00	91,606	76.50
TOTAL	0.00	91,606	

NOTES:

- PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.
- RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.
- "RETENTION VOLUME SURFACE WATER AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.

PREPARED BY: SERGIO REYES DATE: 02/12/16
PETITIONER'S ENGINEER

MAINTENANCE NOTES

1. MAINTENANCE RESPONSIBILITY

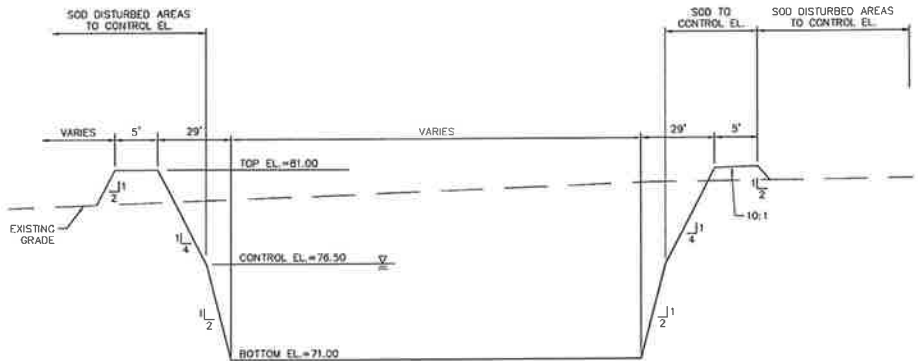
FAIRFIELD INN & SUITES WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING STORMWATER MANAGEMENT SYSTEM.

2. MAINTENANCE PLAN

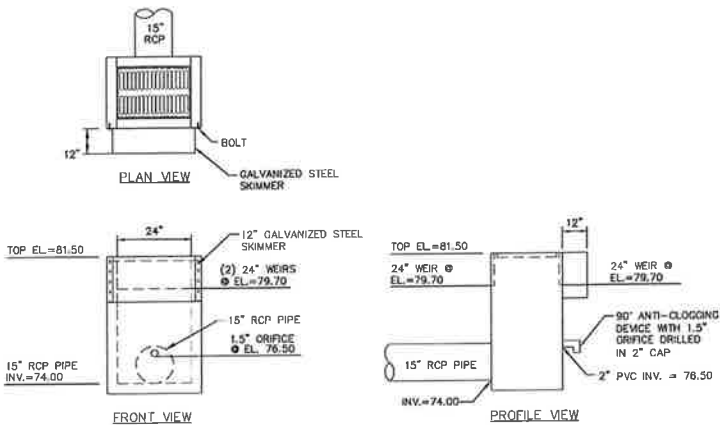
- BASINS SHALL BE MOWED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.
- BASIN SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPPED CLEAN MORE OFTEN AS THE CONDITION DICTATES.
- BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).
- BASIN THAT DO NOT DRAIN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.
- THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.

STORMWATER STRUCTURE SCHEDULE	
STRUCTURE	STRUCTURE DATA
S-13 TYPE-C INLET	TOP EL.=81.50 W 15" INV.=74.00

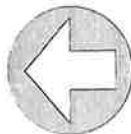
STORMWATER STRUCTURE SCHEDULE	
STRUCTURE	STRUCTURE DATA
S-11 MITERED END SECTION	24" INV.=71.00
S-12 MITERED END SECTION	15" INV.=73.00
S-14 MITERED END SECTION	36" INV.=77.00
S-15 MITERED END SECTION	36" INV.=76.00



BASIN TYPICAL SECTION A-A
N.T.S.



BASIN OUTFALL DETAIL
N.T.S.



NORTH

SCALE: 1"= 20'



GRAPHIC SCALE

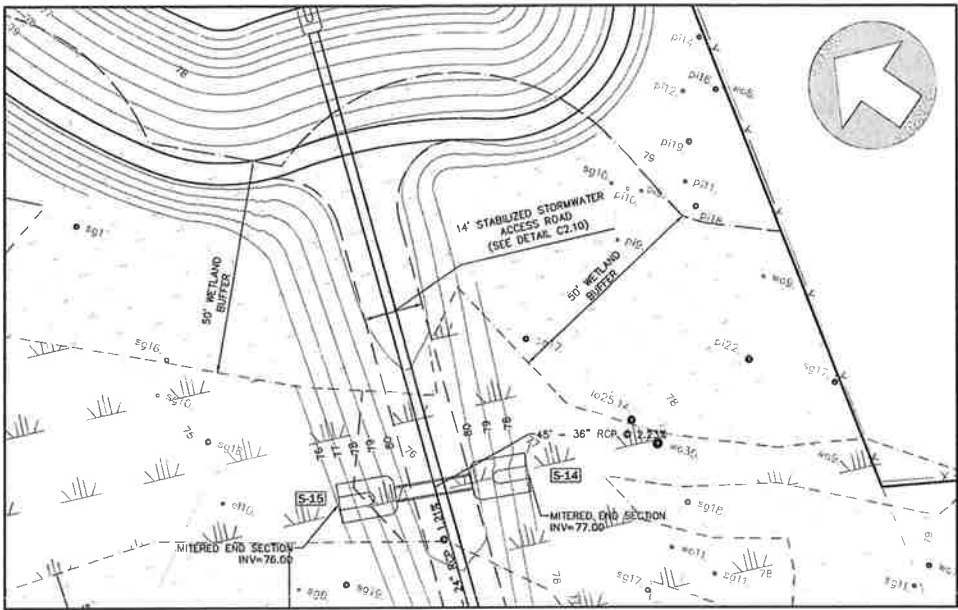
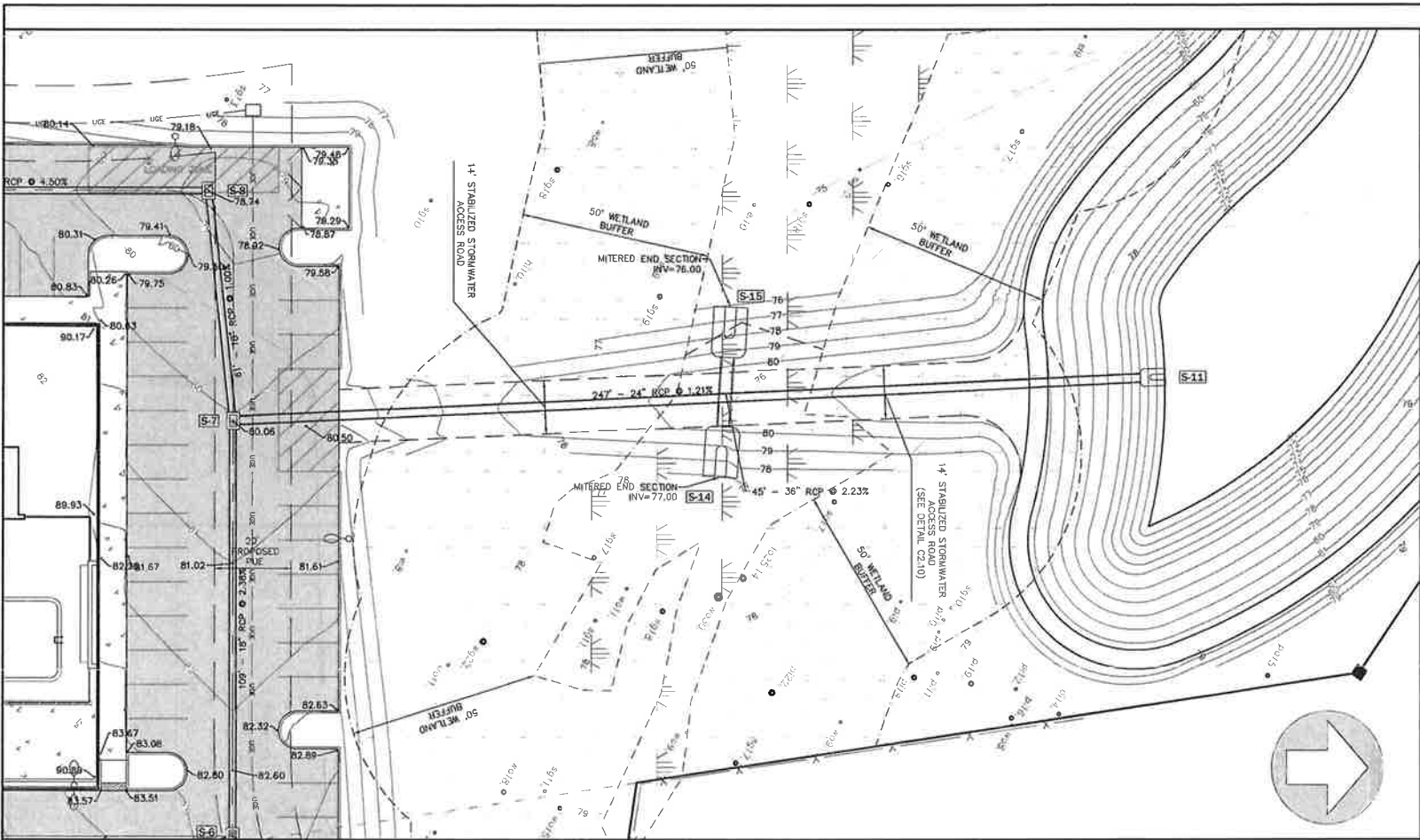


FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA

STORMWATER BASIN DETAILS, NOTES & CROSS SECTIONS

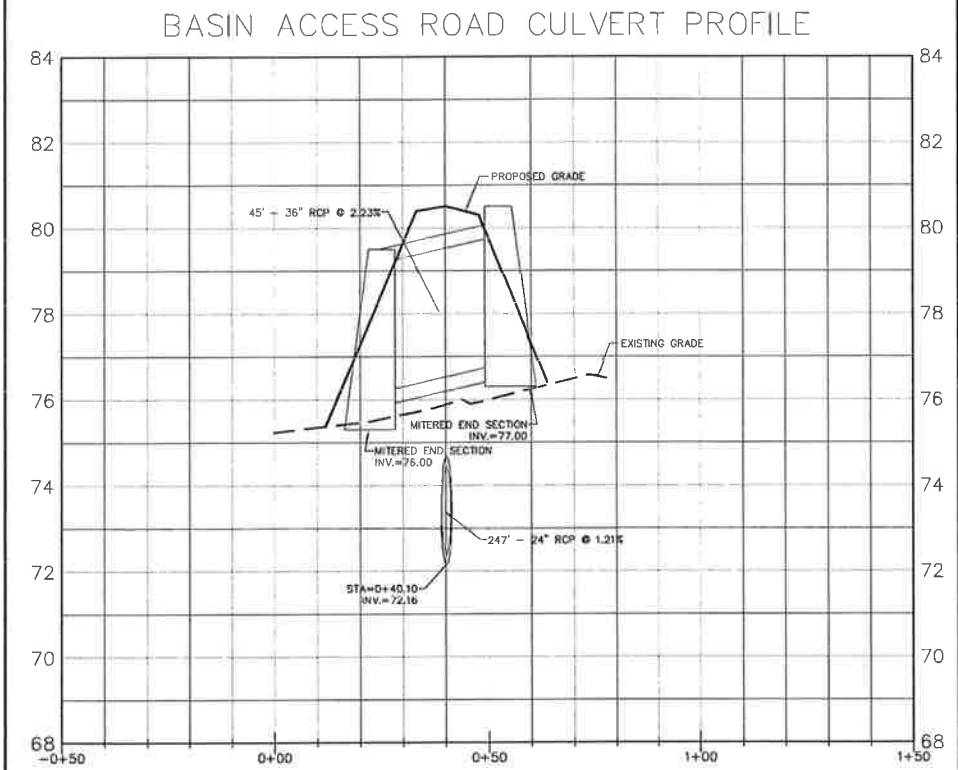
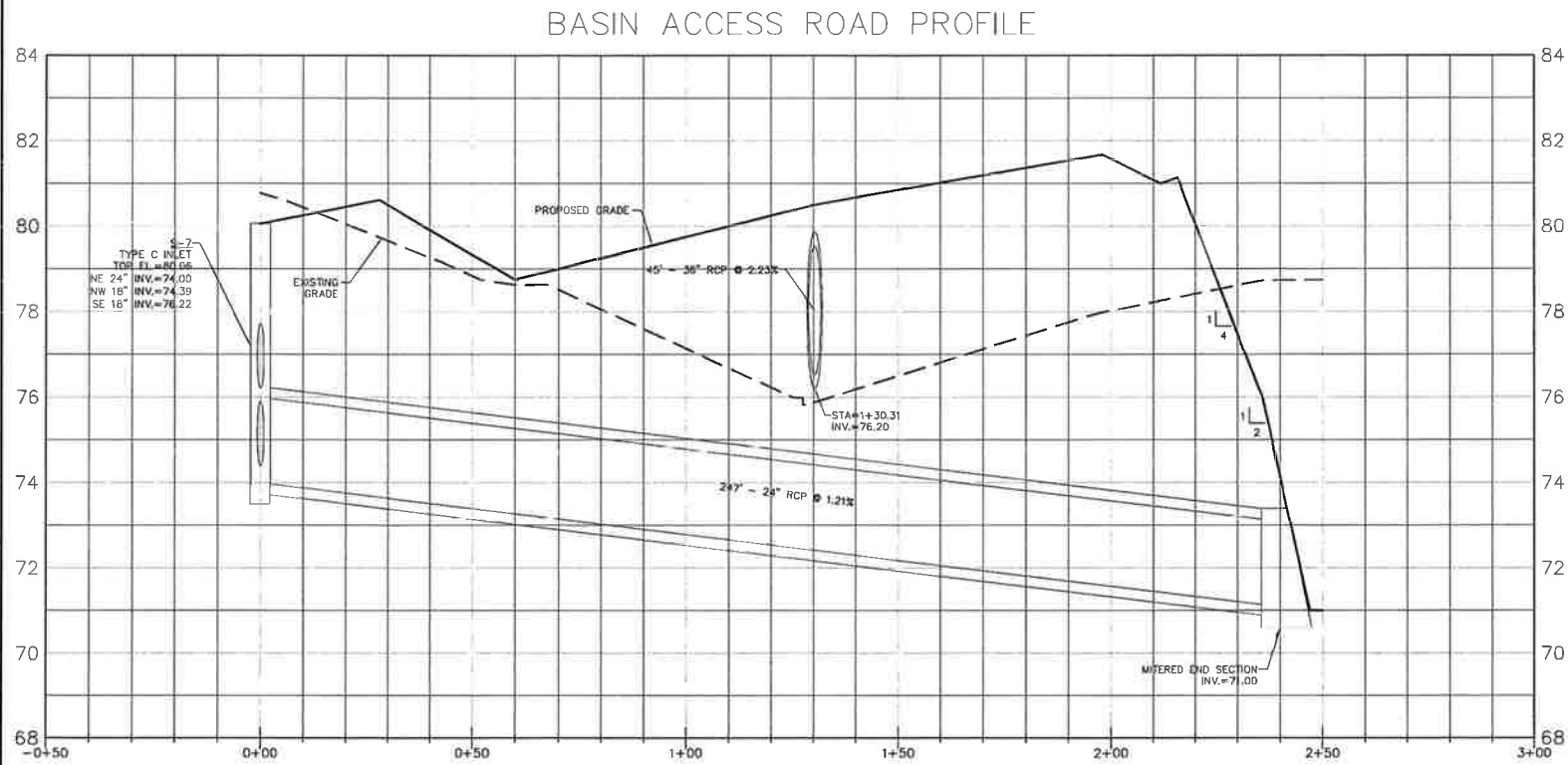
Project Name:	CITY & GRU 2ND SUBMITTAL
Designed:	S&S/TAR
Drawn:	M&B/TAR
Project No.:	14-180
Date:	04/13/16
Professional Engineer of Record:	
Engineer:	Sergio J. Reyes, P.E.
Certificate No.:	47311

C2.20



AS SHOWN
NORTH
SCALE: 1"= 20'
GRAPHIC SCALE

CS
engineers • planners
engineers • surveyors • planners
2004 NW 42nd St, Gainesville, FL 32608-4604
TEL: 352/339-4444 FAX: 352/339-4444
WWW.CS-ENGINEERS.COM



Project: FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA
Sheet title: STORMWATER PLAN AND PROFILES

Project phase: CITY & GRU 2ND SUBMITTAL
Designed: SUR/TAR Drawn: MAB/TMR
Project No: 14-180 Date: 04/19/16
Professional Engineer of Record:
Sergio J. Reyes, P.E. 47211
Engineer: Certificate No.

Sheet No.: C2.30

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT NO. 62-621.300 (4) (A) FDEP FORM 62-261.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: FAIRFIELD INN & SUITES HOTEL
COUNTY: ALACHUA
SECTION/TOWNSHIP/RANGE: S14, T10 SOUTH, R19 EAST
COUNTY PARCEL NO.:
LATITUDE AND LONGITUDE: 29° 37' 07.25" N 82° 22' 42.67" W
STREET ADDRESS: 3989 SW 37BLVD
PROJECT AREA: 5.02 Ac.
APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 5.02 Ac.

II. SITE DESCRIPTION:

- THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A FIVE STORY HOTEL WITH ASSOCIATED PAVING, DRAINAGE AND UTILITY IMPROVEMENTS.

(THE PROPOSED STORMWATER SYSTEM IS A WET BASIN LOCATED NORTH OF THE SOUTH PROPOSED HOTEL ON THE OTHER SOUTH OF THE WETLAND. THE SYSTEM IS A CLOSED SYSTEM WHICH PROVIDES WATER QUALITY, AND FLOOD CONTROL FOR THE PROPOSED PROJECT.)
- THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY UNIVERSAL. THE PROPOSED DRAINAGE PLAN WILL CONSIST OF 1 DRAINAGE AREA. AREA 5.02 ACRES OF RUNOFF WILL BE SELF CONTAINED IN BASIN No.1.
- EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN ON THE DRAINAGE PLAN FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS, OUTFALLS, AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.
- SEQUENCE OF CONSTRUCTION:

A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FOOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.

B. THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.

C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.

D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.

E. THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)

F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A UMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.

G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.

H. (EXISTING) STORMWATER BASIN(S) WILL BE SCRAPED CLEAN OF ACCUMULATED SEDIMENT.

I. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

- THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.
- THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
 - TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
 - BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FOOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
 - AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
 - THE BASIN (ALL BASIN) AREA(S) SHALL BE PROTECTED AS INDICATED ON THE PLANS.
 - THE STORMWATER BASIN(S) SHALL BE ROUGH GRADED TO WITHIN 6" OF THE DESIGNED BASIN BOTTOM. THE BASIN SIDE SLOPES SHALL BE STABILIZED AS SHOWN IN THE PLANS BY SEEDING, MULCHING AND/OR SODDING TO PREVENT EXCESSIVE EROSION.
 - DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
 - ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FOOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES.

- ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
- TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
- MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSESED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
- SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
- SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PEGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES.

- SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
- INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
- OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

- THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRJWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 400-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.
- TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING BMP'S: 1 WET RETENTION BASIN WITH ALL GRADING ASSOCIATED WITH THE CONSTRUCTION. THE BASIN (SYSTEM) HAS BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS, WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE SRJWMD HANDBOOK.

AREA 1 WILL HAVE A WET RETENTION BASIN THAT DISCHARGES TO THE EXISTING WETLAND.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
- THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
- THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
- ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
- ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

- ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRJWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
- THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.

IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

- MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
- ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REPAIR. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
- SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
- TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
- SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
- DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
- TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES, SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
- MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
- SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
- SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
- INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
- OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.
- RETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.
- WET DETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

IX. INSPECTIONS:

- THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS. THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES. AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
- THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
- ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300 PART VI.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

- THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
- DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

- ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE, AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM:	
ADDRESS:	
CITY, STATE, ZIP CODE:	
TELEPHONE:	
FAX:	
PROJECT ADDRESS:	FAIRFIELD INN & SUITES HOTEL
PROJECT ADDRESS:	3989 SW 37 BLVD
CITY, STATE, ZIP CODE:	GAINESVILLE, FLORIDA, 32608
NAME:	SIGNATURE:
	DATE:

SCALES:
AS SHOWN



4404 N.W. 13th Street, Gainesville, FL 32609-5602
Tel: 352-336-1111
Fax: 352-336-1112
www.dan.com mail@dan.com

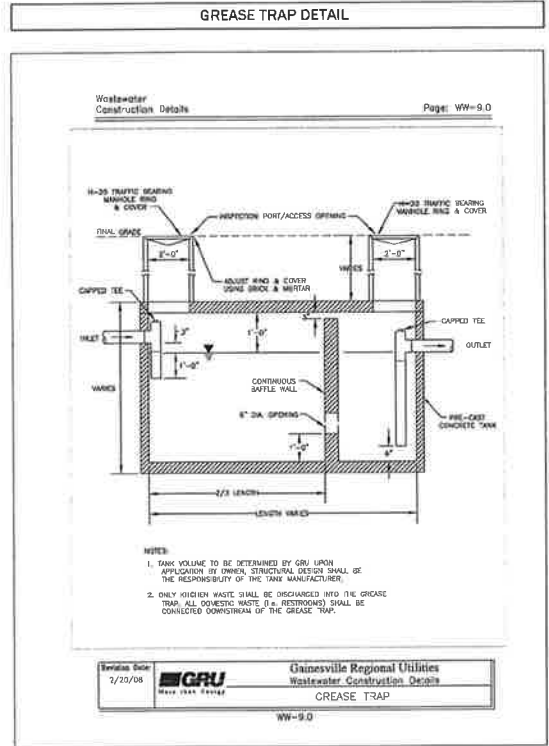
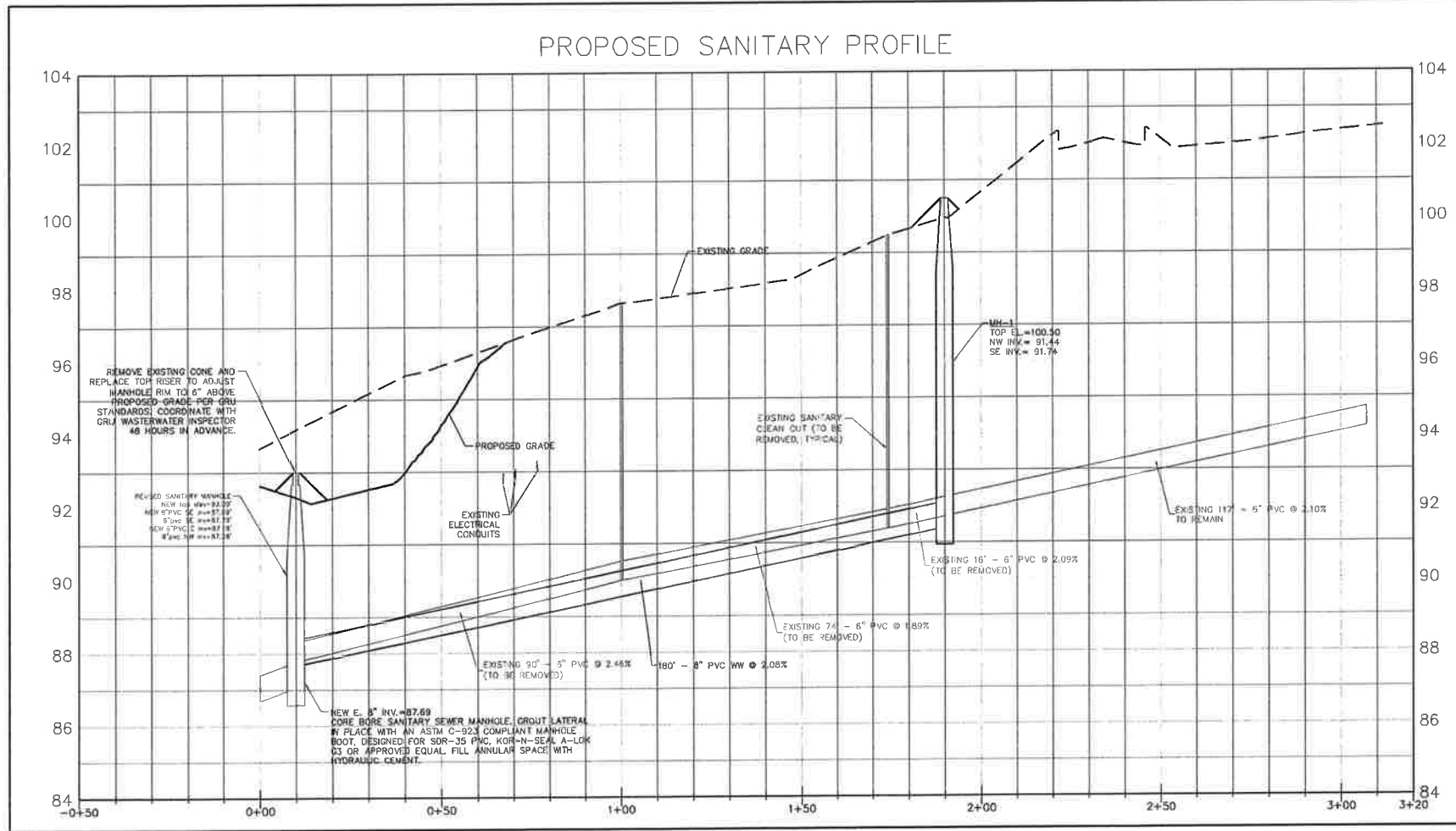
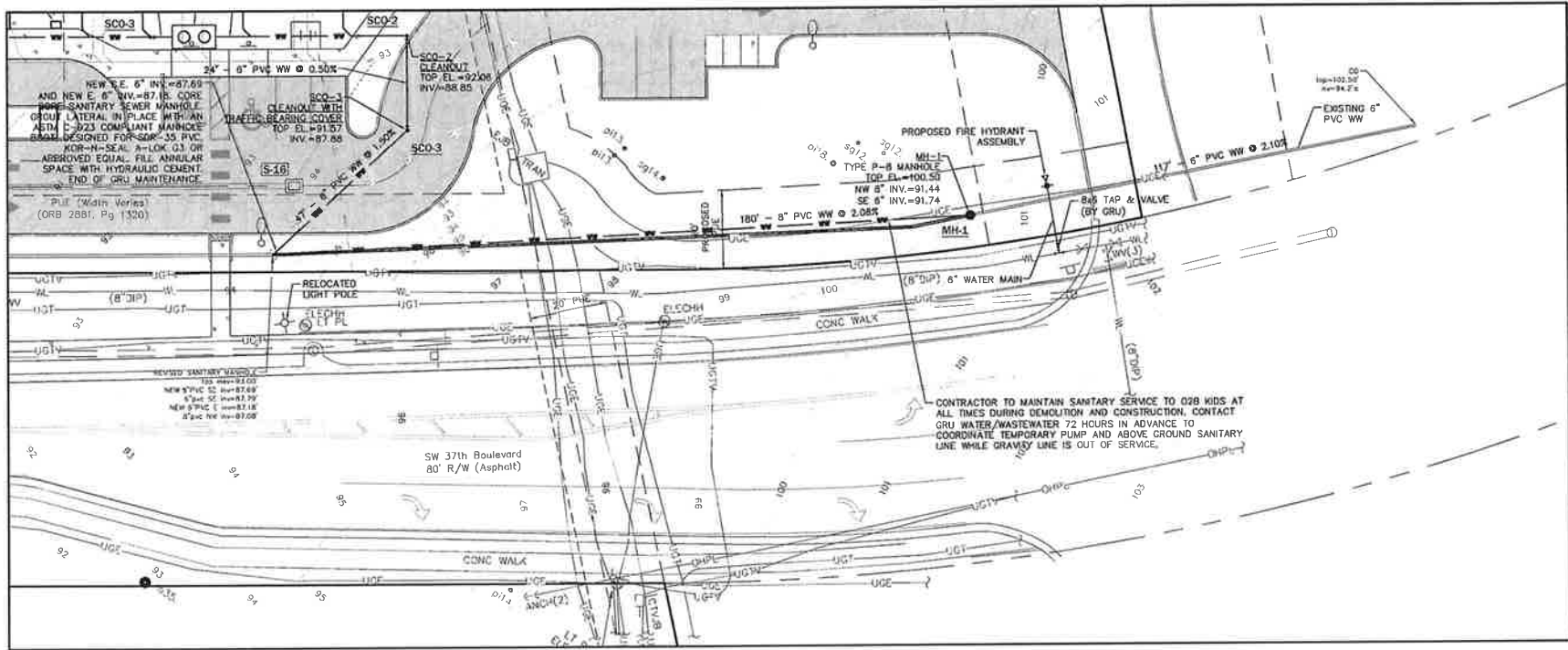
Project: FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA

Sheet title: STORMWATER POLLUTION PREVENTION PLAN

Project phase:	CITY & GRU 2ND SUBMITTAL
Designed:	SRJ/TKR
Drawn:	MAB/TKR
Project No:	14-190
Date:	04/19/16
Professional Engineer of Record:	
Sergio J. Reyes, P.E.	47311
Engineer	Certificate No.

Sheet No.:

C3.00



* CONTRACTOR SHALL PROVIDE MANUFACTURER'S SHOP DRAWING TO GRU FOR APPROVAL PRIOR TO INSTALLATION OF GREASE TRAP STRUCTURE. COORDINATE WITH GRU GREASE TRAP INSPECTOR BRETT STRICKLAND (352-393-1696) TWO WEEKS IN ADVANCE.



NORTH

SCALE: 1" = 20'



GRAPHIC SCALE

cds
engineers • surveyors • planners
1832966 • 352.393.1696
352.393.1696 • 352.393.1696
www.cdsinc.com • info@cdsinc.com

FAIRFIELD INN & SUITES HOTEL
CITY OF GAINESVILLE, FLORIDA

SANITARY PLAN AND PROFILE

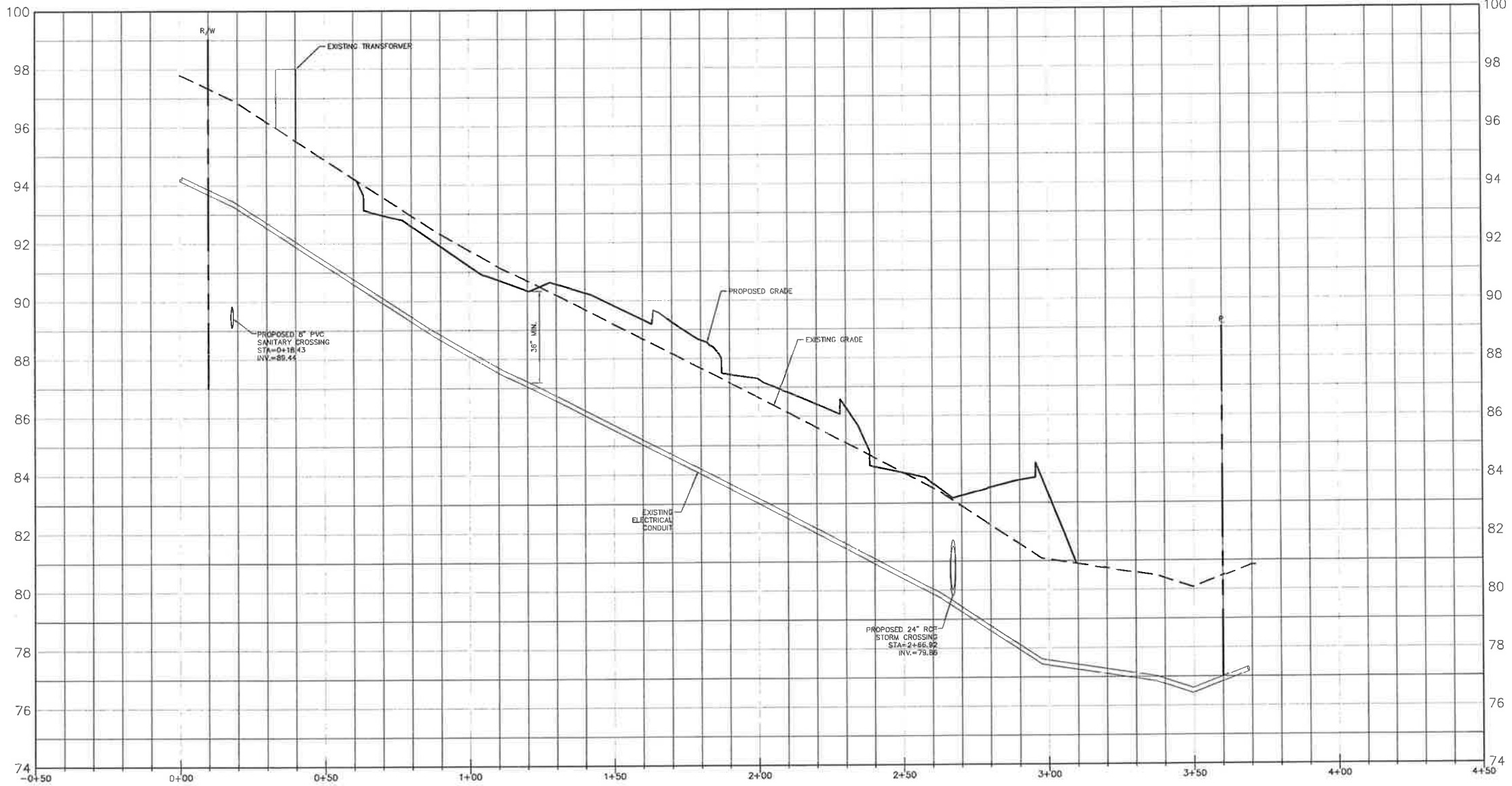
Project phase:	CITY & GRU 2ND SUBMITTAL
Designer:	SJ/TAR
Drawn:	MAB/TAR
Project No:	14-190
Date:	04/19/16
Professional Engineer of Record:	
Engineer:	SERGIO J. REYES, P.E.
Certificate No.:	47311

C4.10

\\proj\proj\fairfield\m\p\p\c\current.dwg(14/10/15) dwg, C4.20 - ELEC PROFILE 4/19/2015 9:24:45 AM, engineers, DWG to PDF.pdf



EXISTING ELECTRIC PROFILE



NORTH

SCALE: 1" = 20'



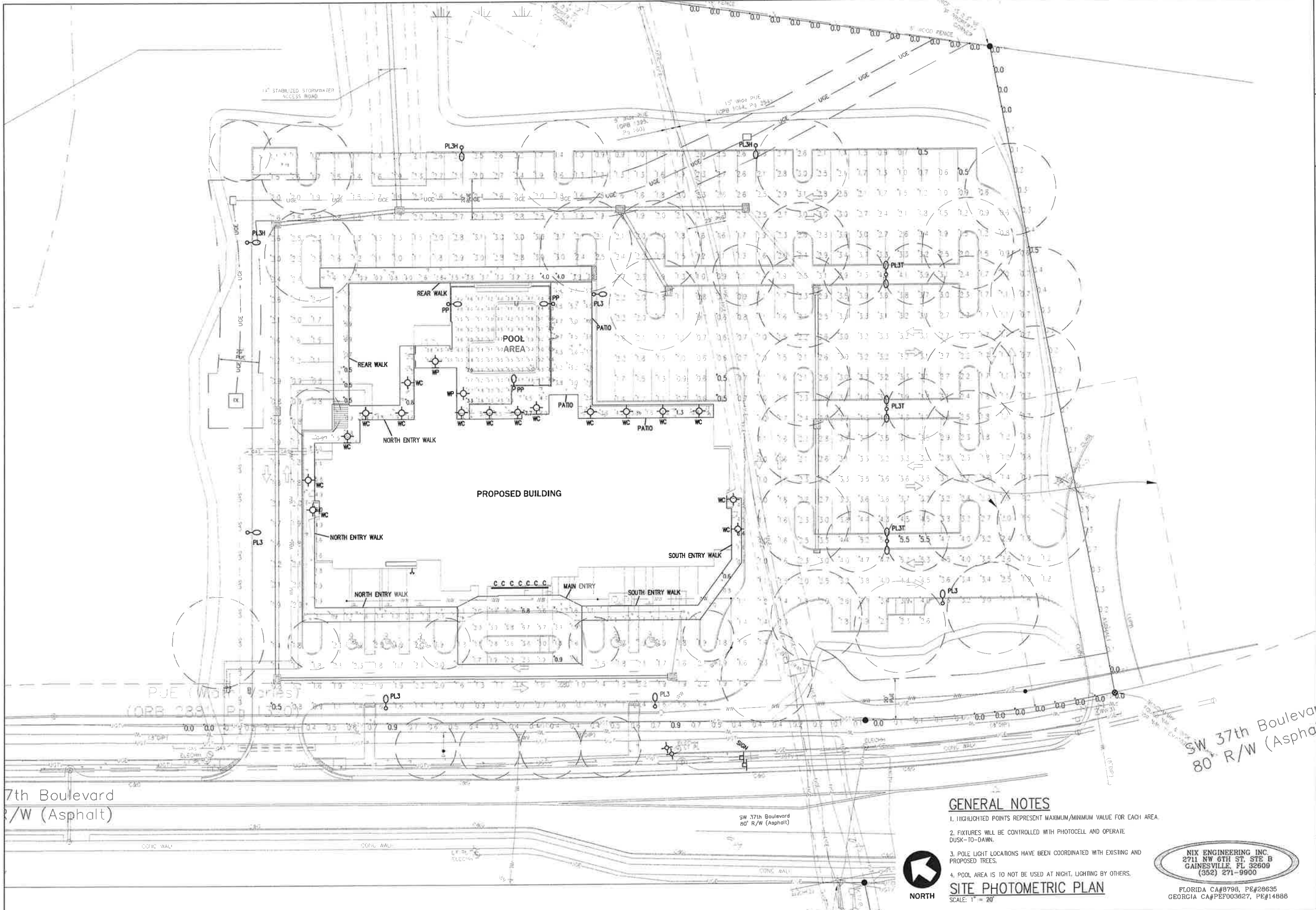
GRAPHIC SCALE



Project:
CITY & GRU 2ND SUBMITTAL
Designed: S.R./TAR Drawn: MAB/TWR
Project No: 14-190 Date: 05/19/15
Professional Engineer of Record:
Sergio J. Reyes, P.E.
Engineer
Certificate No: 42311

Sheet Title:
EXISTING ELECTRIC PLAN AND PROFILE

C4.20



GENERAL NOTES

1. HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
2. FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
3. POLE LIGHT LOCATIONS HAVE BEEN COORDINATED WITH EXISTING AND PROPOSED TREES.
4. POOL AREA IS TO NOT BE USED AT NIGHT, LIGHTING BY OTHERS.

SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'



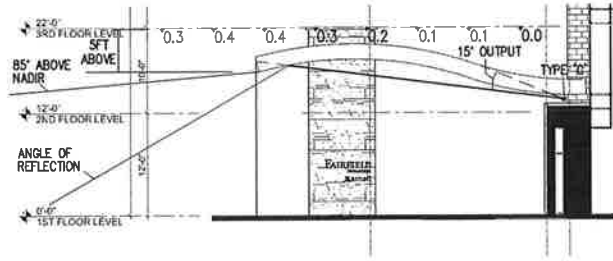
Project Number	1387
Date	4/18/16
Designed By	KWH
Checked By	RAN
Rev	
Date	
Description	
NIX ENGINEERING, INC. CONSULTING ENGINEERS 2711 NW 6TH ST, STE B GAINESVILLE, FLORIDA	
FAIRFIELD INN SITE PHOTOMETRIC PLAN SW 37TH BLVD GAINESVILLE, FL	
Drawing Number	E-1








PHOTOMETRIC STATISTICS							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Code
MAIN ENTRY	+	3.0 fc	6.8 fc	0.9 fc	7.6:1	3.3:1	30-344(e)(3) & 30-344(e)(6)(b)
CANOPY +5FT	+	0.2 fc	0.4 fc	0.0 fc	N / A	N / A	30-344(e)(6)(c)
NORTH ENTRY WALK	+	2.4 fc	6.0 fc	0.6 fc	7.5:1	3.0:1	30-344(e)(3)
SOUTH ENTRY WALK	+	1.9 fc	5.4 fc	0.6 fc	9.0:1	3.2:1	30-344(e)(3)
REAR WALK	+	2.1 fc	4.0 fc	0.5 fc	8.0:1	4.2:1	30-344(e)(3)
PATIO	+	4.1 fc	7.7 fc	1.3 fc	5.9:1	3.2:1	30-344(e)(3)
WEST PROPERTY LINE	+	0.3 fc	0.9 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)
NORTHEAST PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)(1)
SOUTHEAST PROPERTY LINE	+	0.2 fc	0.5 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)(1)
PARKING LOT	+	2.1 fc	5.5 fc	0.5 fc	11.0:1	4.2:1	30-344(e)(4)(c)
LIGHTING IN THE POOL AREA IS REGULATED BY STATE STANDARDS.							
POOL AREA	+	4.9 fc	7.0 fc	3.3 fc	2.1:1	1.5:1	CHAPTER 64E-9

PHOTOMETRIC STATISTIC NOTES

1. LIGHTING IN THE MAIN ENTRY CANOPY AREA IS PROVIDED BY INDIRECT MEANS AS PERMITTED BY 30-344(e)(6)(c). LIGHT LEVELS AT 5FT ABOVE CANOPY COMPLY WITH THIS SECTION. SEE CANOPY LIGHTING DETAIL, THIS SHEET.

2. WITH THE EXCEPTION OF THE MAIN ENTRY CANOPY, ALL PROPOSED LIGHTING IS FULL CUT-OFF. THEREFORE, LIGHT LEVELS AT 5 FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.



LUMINAIRE SCHEDULE FOR PHOTOMETRICS										
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	MH
	PL3	4	LEOTEK	AR18-24M-MV-NW-3-XX-530	30-3/8"L X 17-1/2"W, X 8"H, LED AREA/STREET LIGHT TWENTY FOUR COOL LIGHT LEDS WITH TYPE III OPTICS		AR18-24M-MV-NW-3-XX-530.JES	Absolute	0.81	30
	PL3H	3	LEOTEK	AR18-24M-MV-NW-3-XX-700	30-3/8"L X 17-1/2"W, X 8"H, LED AREA/STREET LIGHT TWENTY FOUR COOL LIGHT LEDS WITH TYPE III OPTICS		AR18-24M-MV-NW-3-XX-700.JES	Absolute	0.81	30
	PL3T	4	LEOTEK	AR18-24M-MV-NW-3-XX-530	30-3/8"L X 17-1/2"W, X 8"H, LED AREA/STREET LIGHT TWENTY FOUR COOL LIGHT LEDS WITH TYPE III OPTICS		AR18-24M-MV-NW-3-XX-530.JES	Absolute	0.81	30
	WC	17	LUMINIS	SY600-L1W12r1-R60		{1 Bridgelux BXR-C-40E4000-F Round LED Array } White 12W SSL	SY600-L1W12r1-R60.Jes	Absolute	0.81	11
	C	7	INSIGHT	MVW11240K/15/U/ CES/48/INT-1/W	2-1/2"L, X 49-1/4"W, X 4"H, LED FIXTURE CLEAR LENS		MVW11 2 40K 15 U CES 48 INT-1 W.Jes	Absolute	0.81	13
	PP	3	PHILIPS	SFA-4-130LA-NW	SlenderForm Square	(1) LIGHT ARRAY OF 80 LEDS DRIVEN AT 530mA	SFA-4-130LA-NW.JES	Absolute	0.81	20
	WP	2	PHILIPS	122L-4-55LA-NW	122 SlenderForm LED Sconce	(1) LIGHT ARRAY OF 32 LEDS DRIVEN AT 530mA	122-4-55LA-NW.JES	Absolute	0.81	10

FIXTURE SCHEDULE NOTES

1. TYPES PL3, AND PL31 ARE POLE MOUNT, FULL CUT-OFF LED FIXTURES INTENDED TO SERVE THE PARKING AREAS. THE FIXTURES SHALL BE MOUNTED AT 30FT ON A 35FT SQUARE, DIRECT BURY CONCRETE POLE, AND FIXED IN THE HORIZONTAL POSITION. A WANNER TO THE 15FT MOUNTING HEIGHT REQUIREMENT OF 30-34(4)(b)(6)(2) IS REQUESTED, NOIES FILE OF THE CHOSEN FIXTURE WAS AVAILABLE, THEREFORE A SUBSTITUTION WAS MADE TO APPROXIMATE THE FIXTURE OUTPUT. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

2. TYPE WC IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE. THE FIXTURES SHALL BE MOUNTED AT 11FT. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION. THE LIGHT SOURCE SHALL BE FIXED AND ADJUSTMENT DISABLED AFTER INSTALLATION.

3. TYPE C IS A LINEAR LED FIXTURE WITH 15' LIGHT OUTPUT. THE FIXTURE SHALL BE MOUNTED TO ILLUMINATE THE UNDERSIDE OF THE MAIN ENTRY CANOPY AND PROVIDE INDIRECT ILLUMINATION IN THE ENTRY AREA. THE DIRECT OUTPUT OF THE FIXTURE WILL BE AIMED EXCLUSIVELY AT THE UNDERSIDE OF THE CANOPY. THE LIGHT SOURCE SHALL BE FIXED AND ADJUSTMENT DISABLED AFTER INSTALLATION. SEE CANOPY LIGHTING DETAIL, THIS SHEET.

4. TYPE PP IS A POLE MOUNT, FULL CUT-OFF LED FIXTURE INTENDED TO SERVE THE POOL AREA. THE FIXTURE SHALL BE MOUNTED AT 20FT ON A ROUND METAL POLE & CONCRETE POLE BASE. THE FIXTURE SHALL BE FIXED IN THE HORIZONTAL POSITION. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

5. TYPE WP IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE SERVING THE POOL AREA. THE FIXTURES SHALL BE MOUNTED AT 10FT. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

6. FIXTURE CUT SHEETS AND PHOTOMETRIC REPORTS ATTACHED.

PHOTOMETRIC NARRATIVE

THE FOLLOWING IS INTENDED TO SERVE AS A DESIGN NARRATIVE AND WAIVER REQUEST FOR THIS PROJECT.

THIS DESIGN ENCOMPASSES LIGHTING FOR A NEW HOTEL, ALONG WITH PARKING FACILITIES AND ASSOCIATED WALKWAYS.

THE PARKING LOT AREA WILL BE LIT WITH POLE MOUNT LIGHT FIXTURES. THE FIXTURES WILL UTILIZE AN LED SOURCE, WILL BE FULL CUT-OFF, AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 30FT AFG. THESE FIXTURES ARE REFERRED TO AS TYPES 'PL3', 'PL3H', AND 'PL3T'. THESE FIXTURES WILL BE MOUNTED ON DIRECT BURY CONCRETE POLES.

A RESIDENTIAL ZONING EXISTS ON THE ADJACENT PROPERTY TO THE EAST AND SOUTHEAST. A PORTION OF THE NEW PARKING LOT AREA AND ASSOCIATED LIGHT POLES ARE WITHIN 75FT OF AN EXISTING RESIDENTIAL USE. HOWEVER, THESE FIXTURES ARE AIMED AWAY FROM THE PROPERTY LINE AND LIGHT TRESPASS ONTO THE RESIDENTIAL PROPERTY IS DEMONSTRATED AS NOT EXCEEDING 0.5FC. THEREFORE, A WAIVER TO THE 15FT MOUNTING HEIGHT REQUIREMENT OF 30-344(c)(4)(e)(2), AND TO THE REDUCED LIGHT LEVEL REQUIREMENTS OF 30-344(e)(4)(d)(3) IS REQUESTED.

THE WALKWAY AREAS ARE LIT WITH DECORATIVE WALL MOUNT LED FIXTURES, REFERRED TO AS TYPES 'WC'. THESE FIXTURES ARE FULL CUT-OFF AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 11FT AFF.

THE MAIN ENTRANCE HAS AN ARCHITECTURAL CANOPY COVER WHICH WILL BE LIGHTED USING LINEAR LED FIXTURES, REFERRED TO AS TYPE 'C'. THESE FIXTURES PROVIDE INDIRECT LIGHTING TO THE ENTRY AREA.

LIGHTING HAS BEEN PROVIDED IN THE POOL AREA, WHICH IS REGULATED BY STATE STANDARDS AND IS EXEMPT FROM THE REQUIREMENTS OF 30-344. THIS INFORMATION HAS BEEN INCLUDED HERE FOR REFERENCE ONLY. THE POOL AREA WILL BE LIT WITH POLE MOUNT LIGHT FIXTURES. THE FIXTURES WILL UTILIZE AN LED SOURCE, WILL BE FULL CUT-OFF, AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 20FT AFG. THESE FIXTURES ARE REFERRED TO AS TYPE "PP". THESE FIXTURES WILL BE MOUNTED ON ROUND METAL POLES.

DUSK TO DAWN OPERATION AS REQUIRED BY 30-344(c)(1)(e) IS PROVIDED DUE TO THE 24 HOUR USE OF THE SITE.

OVERALL, THIS DESIGN PROVIDES SAFE LIGHTING FOR VEHICLES AND BUILDING PATRONS WHILE CONFORMING WITH THE INTENT OF 30-344 AND MINIMIZING IMPACT ON NEIGHBORING PROPERTIES.

NIX ENGINEERING INC.
2711 NW 6TH ST. STE B
GAINESVILLE, FL 32609
(352) 271-9900

FLORIDA CA#8798, PE#28635
GEORGIA CA#PEF003627, PE#14888

FAIRFIELD INN SITE PHOTOMETRIC PLAN SW 37TH BLVD GAINESVILLE, FL	NIX ENGINEERING, INC. CONSULTING ENGINEERS 2711 NW 6TH ST, STE B GAINESVILLE, FLORIDA		Rev	Date	Description	Project Number
						1587
						4/16/16
						QWH
						Checked By
						RAJ



Buford Davis + Associates
landscape architects site planners

2406 NW 43rd Street
Gainesville, Florida 32606
352.335.1896 tel
352.373.6407 fax
Certificate of Authorization No. 0000033

FAIRFIELD HOTEL
INN & SUITES
S.W. 37TH BLVD.
GAINESVILLE, FLORIDA

CONSULTANT:

SEAL:

PROJECT NO: 15-078

DRAWN BY: CMT

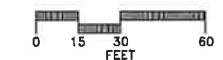
CHECKED BY: EJB3/LFH

DATE: 01 MAR 2016

REVISIONS:

19 APR 2016

DRAWING SCALE:



DRAWING TITLE:
LANDSCAPE PLAN

ISSUED FOR:
SITE PLAN REVIEW

DRAWING NUMBER:

LS-1

SHEET: 1 OF 2

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AR	1	ACER RUBRUM 'FLORIDA FLAME'	FLORIDA FLAME RED MAPLE	30 GAL, 11' HT, 3' SPR, 2" CAL
BN	6	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	30 GAL, 12' HT, 42" SPR, 2" CAL
FG	4	FRAXINUS PENNSYLVANICA	GREEN ASH	30 GAL, 11' HT, 3' SPR, 2" CAL
LT	5	LIRIODENDRON TULIPIFERA	TULIP POPLAR	30 GAL, 11' HT, 3' SPR, 2" CAL
QVB	20	QUERCUS VIRGINIANA 'BOARDWALK'	BOARDWALK LIVE OAK	30 GAL, 12' HT, 54" SPR, 2" CAL
QVBL	6	QUERCUS VIRGINIANA 'BOARDWALK'	BOARDWALK LIVE OAK	65 GAL, 14' HT, 5.5' SPR, 3" CAL
TD	15	TAXODIUM DISTICHUM	BALD CYPRESS	30 GAL, 12' HT, 42" SPR, 2" CAL
UA	6	ULMUS ALATA	WINGED ELM	30 GAL, 10' HT, 4' SPR, 2" CAL
UAL	5	ULMUS ALATA	WINGED ELM	65 GAL, 12' HT, 6' SPR, 3" CAL
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
IDB	278	ILEX CORNUTA 'DWARF BURFORDII'	DWARF BURFORD HOLLY	3 GAL, 24" HT, 16" SPR
VOS	200	VIBURNUM OBOVATUM 'MRS. SHILLER'S DELIGHT'	MRS. SHILLER'S DELIGHT VIBURNUM	3 GAL., 16" HT., 16" SPR.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
MU	463	MUHLBERGIA CAPILLARIS	PINK MUHLY	4" POT
SB	93	SPARTINA BAKERI	SAND CORD GRASS	4" POT
TG	140	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	4" POT
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SOD		PASPALUM NOTATUM 'ARGENTINE'	BAHIA GRASS	WEED FREE AND SAND CROWN SOD

LEGEND



NEW TREES TO BE ADDED

GENERAL NOTES

ALL ASPHALT, LIMEROCK, AND CONSTRUCTION DEBRIS TO BE REMOVED FROM PLANTING BEDS AND AREAS TO BE SODDED PRIOR TO LANDSCAPE INSTALLATION. PLANTING DEPTH OF SOIL IN SUCH AREAS SHOULD BE AT LEAST 3". IF FILL MUST BE ADDED, IT MUST BE FLORIDA CLEAN DEEP FILL (FREE OF WEED SEEDS) WITH pH 5.5-6.5.

ALL TREES TO BE A MINIMUM SEVEN (7) FEET IN HEIGHT AND TWO (2) INCH CALIPER, OR LARGER, UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT.

ALL TREES TO BE PLANTED 1"-2" ABOVE FINISHED GRADE.

ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" THICKNESS OF MULCH. PINE BARK MULCH SHALL BE USED IN ALL AREAS, EXCEPT RETENTION AREAS. PINE STRAW MULCH SHALL BE USED IN RETENTION AREAS.

TREES OUTSIDE OF MULCHED LANDSCAPED BEDS TO BE PROTECTED FROM MOWER AND STRING TRIMMER DAMAGE WITH 10" OF PLASTIC DRAIN TUBE.

LEADER SHOOTS AND MAIN STRUCTURAL LIMBS OF TREES WILL NOT BE TOPPED OR PRUNED. TREES TO BE STAKED AS NEEDED; OUTLINES TO BE NON-SYNTHETIC BIODEGRADABLE MATERIAL.

OWNER SHALL BE RESPONSIBLE FOR (1) THE SURVIVAL OF THE LANDSCAPING ELEMENTS AND (2) REMOVAL OF ALL STAKING SYSTEMS WITHIN ONE YEAR. TREES WILL BE STAKED ONLY IF NECESSARY, AND IF STAKED, BIODEGRADABLE TWINE WILL BE USED.

CALL THE URBAN FORESTRY INSPECTOR FOR A BARRICADE INSPECTION AT 352-393-8188 BEFORE CLEARING AND GRUBBING WORK BEGINS.

INVASIVE EXOTIC PLANT MATERIAL

ALL INVASIVE PLANT SPECIES TO BE REMOVED FROM SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

GRASSING

ALL DISTURBED AND UNPAVED AREAS TO BE GRASSED WITH SOD THAT IS FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE OR SHALL BE SEEDED AND MULCHED. SEE CIVIL SITE PLANS FOR ADDITIONAL RELATED INFORMATION.

PLANT MATERIAL

ALL PLANT MATERIAL TO BE FLORIDA NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S 'GRADES AND STANDARDS FOR NURSERY PLANTS'. CALL THE CITY URBAN FORESTRY INSPECTOR AT 352-393-8188 AND LANDSCAPE ARCHITECT PRIOR TO PURCHASING ANY PLANT MATERIAL FOR AN ON SITE INSPECTION AND REVIEW OF LANDSCAPE PLAN.

IRRIGATION

LANDSCAPE IRRIGATION TO BE PROVIDED BY AUTOMATIC IRRIGATION SYSTEM. BUBBLERS SHALL BE INSTALLED BY EACH TREE AS PART OF THE IRRIGATION SYSTEM.

T.M.P.A.

SITE IS LOCATED IN ZONE C OF THE TRANSPORTATION MOBILITY PROGRAM AREA.

TREE PROTECTION NOTES

- REGULATED TREES TO REMAIN THAT ARE WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT OR MATERIALS SHALL BE PROTECTED BY A TREE PROTECTION BARRIER.
- TREE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES TO REMAIN TO PREVENT ENCROACHMENT BY MACHINERY. NO CONSTRUCTION EQUIPMENT, MATERIALS, SUPPLIES, FUELS, OR CHEMICALS SHALL BE STORED WITHIN THE TREE BARRICADE LIMITS AT ANY TIME.
- BARRIERS SHALL BE PLACED AT OR OUTSIDE THE DRP LINE FOR HERITAGE AND CHAIRMAN TREES AND ALL REGULATED PINE AND PALM TREES. ALL OTHER REGULATED TREES TO REMAIN, TREE BARRIERS SHALL BE LOCATED AT TWO-THIRDS THE AREA OF THE TREE DRIPLINE OR AT THE ROOT PLATE AT A MINIMUM AND WITH CITY URBAN FORESTRY INSPECTOR APPROVAL.
- NO GRADE CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIER ZONES WITHOUT PRIOR APPROVAL OF THE CITY MANAGER OR DESIGNER.
- TREE BARRICADES SHALL REMAIN IN PLACE AND IN WORKING ORDER THROUGHOUT CONSTRUCTION. BARRICADES SHALL BE REMOVED ONCE MAJOR CONSTRUCTION ACTIVITIES ARE COMPLETE AND LANDSCAPE INSTALLATION BEGINS. LANDSCAPE PREPARATION WITHIN THE PROTECTED AREAS SHALL BE LIMITED TO SHALLOW DISKING LIMITED TO A DEPTH OF FOUR (4) INCHES UNLESS OTHERWISE APPROVED BY CITY MANAGER.
- A LAYER OF WOOD CHIPS AT LEAST EIGHT (8) INCHES THICK SHALL COVER THE SOIL WITHIN THE TREE BARRICADE AREA.
- WHERE ROOTS GREATER THAN ONE (1) INCH ARE DAMAGED OR EXPOSED, THEY SHALL BE CUT CLEANLY AND RE-COVERED WITH SOIL WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- CONTRACTOR SHALL TRIM ONLY THOSE EXISTING TREES AS NOTED ON THE PLAN OR AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. TRIMMING/PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS 'TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI 300) AND PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH SAFETY REQUIREMENTS' (ANSI 2133). REMOVE NO MORE THAN 25% OF THE CROWN AT ONE TIME. ON YOUNG TREES, REMOVE NO MORE THAN 33% OF THE TRUNK BARK OR BRANCHES. DISCUSS PROPOSED TRIMMING ACTIVITIES WITH OWNER'S REPRESENTATIVE AND CITY'S URBAN FORESTRY INSPECTOR PRIOR TO ACTIVITIES/REMOVAL.
- STANDARD TREE PROTECTION BARRIER FOR REGULATED TREES THAT ARE NOT HIGH-QUALITY HERITAGE - SEE DETAIL 1/LS-1. BARRICADES TO BE A MINIMUM OF THREE (3) FEET TALL AND CONSTRUCTED OF EITHER 2X4 WOODEN CORNER POSTS BURIED TO ONE FOOT DEPTH WITH AT LEAST TWO COURSES OF 1X4 WOODEN SIDE SLATS WITH COLORED FLAGGING/COLORFUL MESH ATTACHED OR CONSTRUCTED OF ONE-INCH ANGLE IRON CORNER POSTS WITH BRIGHTLY COLORED MESH CONSTRUCTION FENCING ATTACHED. SEE NOTE 10 FOR ADDITIONAL REQUIREMENTS FOR HIGH-QUALITY HERITAGE TREE BARRIERS.
- ADDITIONAL BARRIER REQUIREMENTS FOR HIGH-QUALITY HERITAGE TREES TO REMAIN - SEE DETAIL 2/LS-1. HIGH-QUALITY HERITAGE TREES SHALL BE PROTECTED BY GALVANIZED CHAIN LINK FENCING A MINIMUM OF 48" HIGH, 11-GAUGE WIRE, AND 2" MESH SIZE SECURED WITH 1-7/8" LINE POSTS NO FURTHER THAN 10 FT. APART AND SECURED AT A DEPTH OF THREE (3) FEET BELOW THE SOIL LINE. BARRIER CORNERS SHALL BE SECURED WITHIN 2-3/8" POSTS SECURED TO A DEPTH OF FOUR (4) FEET BELOW THE SOIL LINE.
- CALL PLANNING SERVICES AT 352-393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE ANY CLEARING AND GRUBBING WORK BEGINS.

TREE MITIGATION CALCULATIONS Sec. 30-254(c)(4)	
CATEGORY	MITIGATION CALCULATIONS
TREE APPRAISED VALUE	TOTAL TREES IN CATEGORY TO BE MITIGATED: 8 TREES MAXIMUM 3 TREES PER ACRE: TOTAL SITE AREA: 14.1 ACRES MAXIMUM APPRAISED TREES: 42.3 TREES TREES BEYOND MAXIMUM TO BE MITIGATED INCH FOR INCH: 0 TREES APPRAISED TREES: 33" LIVE OAK - \$18,807.03 33" LIVE OAK - \$18,807.03 26" LIVE OAK - \$11,674.52 35" LIVE OAK - \$21,155.75 27" LIVE OAK - \$12,589.83 36" LIVE OAK - \$22,381.92 42" LIVE OAK - \$30,464.28 24" LIVE OAK - \$ 9,547.52 TOTAL = \$145,827.88
INCH-FOR-INCH REPLACEMENT	HIGH-QUALITY HERITAGE TREES BEYOND MAXIMUM N/A HIGH-QUALITY HERITAGE TREES IN LESS THAN FAIR CONDITION N/A NON-HIGH-QUALITY HERITAGE TREES IN FAIR OR BETTER CONDITION N/A TOTAL INCHES REQUIRED: 0"
2:1 REPLACEMENT	TOTAL TREES TO BE MITIGATED AT 2:1 REPLACEMENT: 204 TREES TOTAL TREES REQUIRED FOR MITIGATION @ 2:1 REPLACEMENT: 408 TREES TOTAL INCHES REQUIRED @ 2"/TREE: 816"
TOTAL TREE MITIGATION	TOTAL MITIGATION INCHES REQUIRED: 816" TOTAL MITIGATION PROVIDED: 151" 59 @ 2" = 118" 11 @ 3" = 33" 70 TREES FOR A TOTAL OF 151" TOTAL MITIGATION INCHES DEFICIT: 665" TOTAL MITIGATION TREES REQUIRED @ 2"/TREE: 332.5 TREES
TOTAL MITIGATION PAYMENT	TOTAL MITIGATION PAYMENT: TREE APPRAISALS TOTAL: \$145,827.88 DEFICIT PAYMENT (\$100/TREE): \$33,250.00 TOTAL PAYMENT REQUIRED: \$179,077.88 NOTE: MITIGATION PAYMENT SHALL BE MADE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

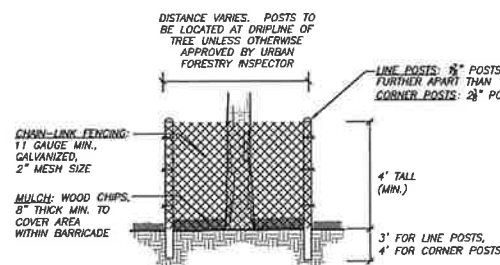
NOTE:

SEE DETAIL 2/LS-1 FOR TREE PROTECTION REQUIREMENTS FOR HIGH-QUALITY HERITAGE TREES TO REMAIN.

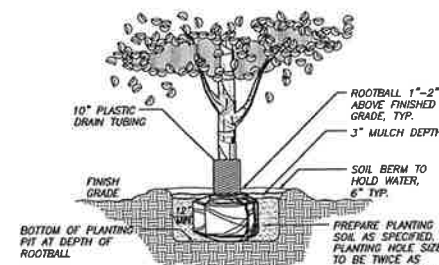
BRIGHTLY COLORED MESH CONSTRUCTION FENCING ATTACHED WITH TWIST WIRE CONNECTOR

EXISTING GRADE TO REMAIN UNDISTURBED

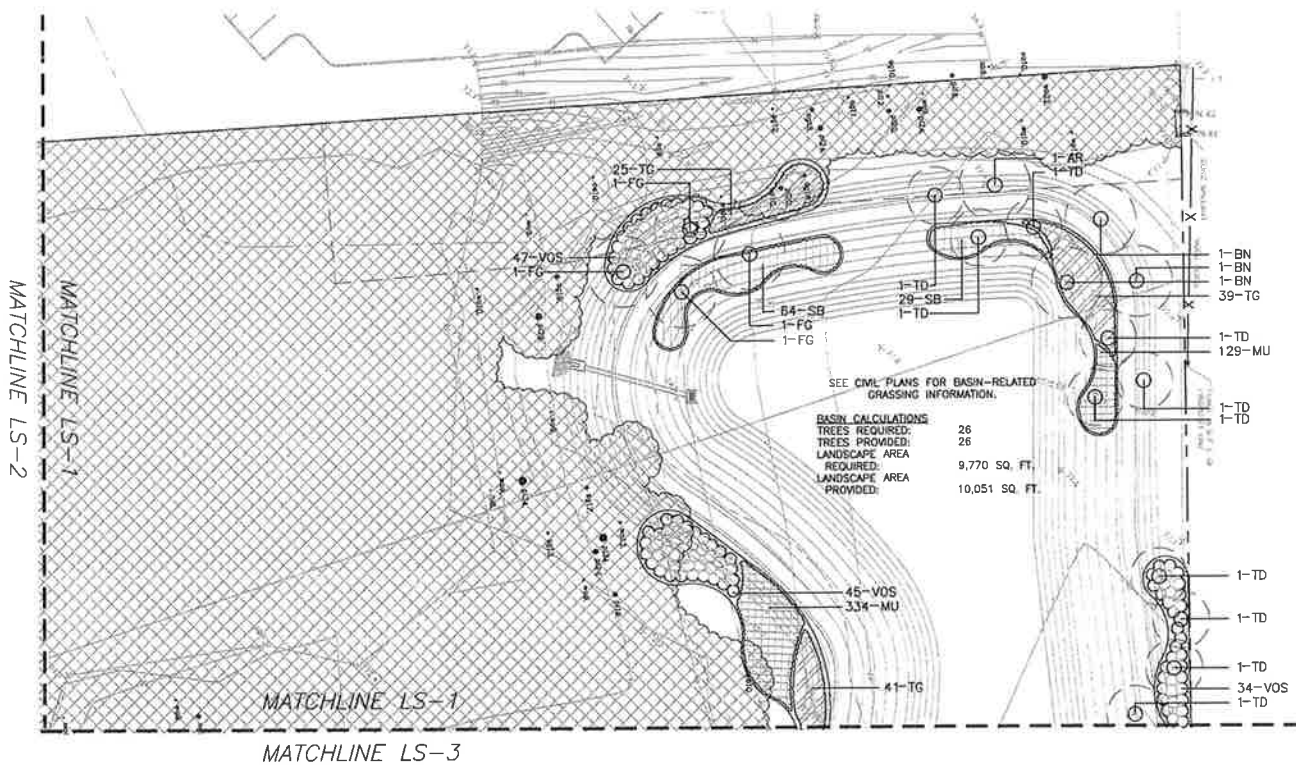
STANDARD TREE PROTECTION DETAIL - REGULATED, NON-HIGH-QUALITY HERITAGE
SCALE: N.T.S.



HIGH-QUALITY HERITAGE TREE PROTECTION DETAIL
SCALE: N.T.S.



TREE PLANTING DETAIL
SCALE: N.T.S.



SHEET REFERENCE MAP
N.T.S.





**FAIRFIELD HOTEL
INN & SUITES**
S.W. 37TH BLVD.
GAINESVILLE, FLORIDA

CONSULTANT:

SEAL:

PROJECT NO.: 15-078

DRAWN BY: CM1

CHECKED BY: EJB3/LFH

DATE: 01 MAR 2016

REVISIONS: _____

19 APR 2016

1. *Journal of the American Medical Association*, 2000; 283: 2689-2696.

DRAWING SCALE:

DATE	TIME

0 15 30 60
FEET

DRAWING TITLE:
 1. NAME OF THE DRAWING

LANDSCAPE PLAN

ISSUED FOR:

SITE PLAN REVIEW

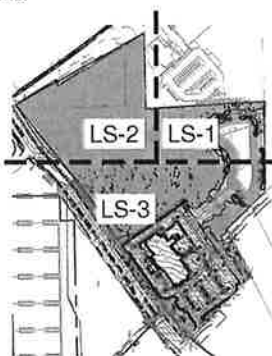
162

LS-2

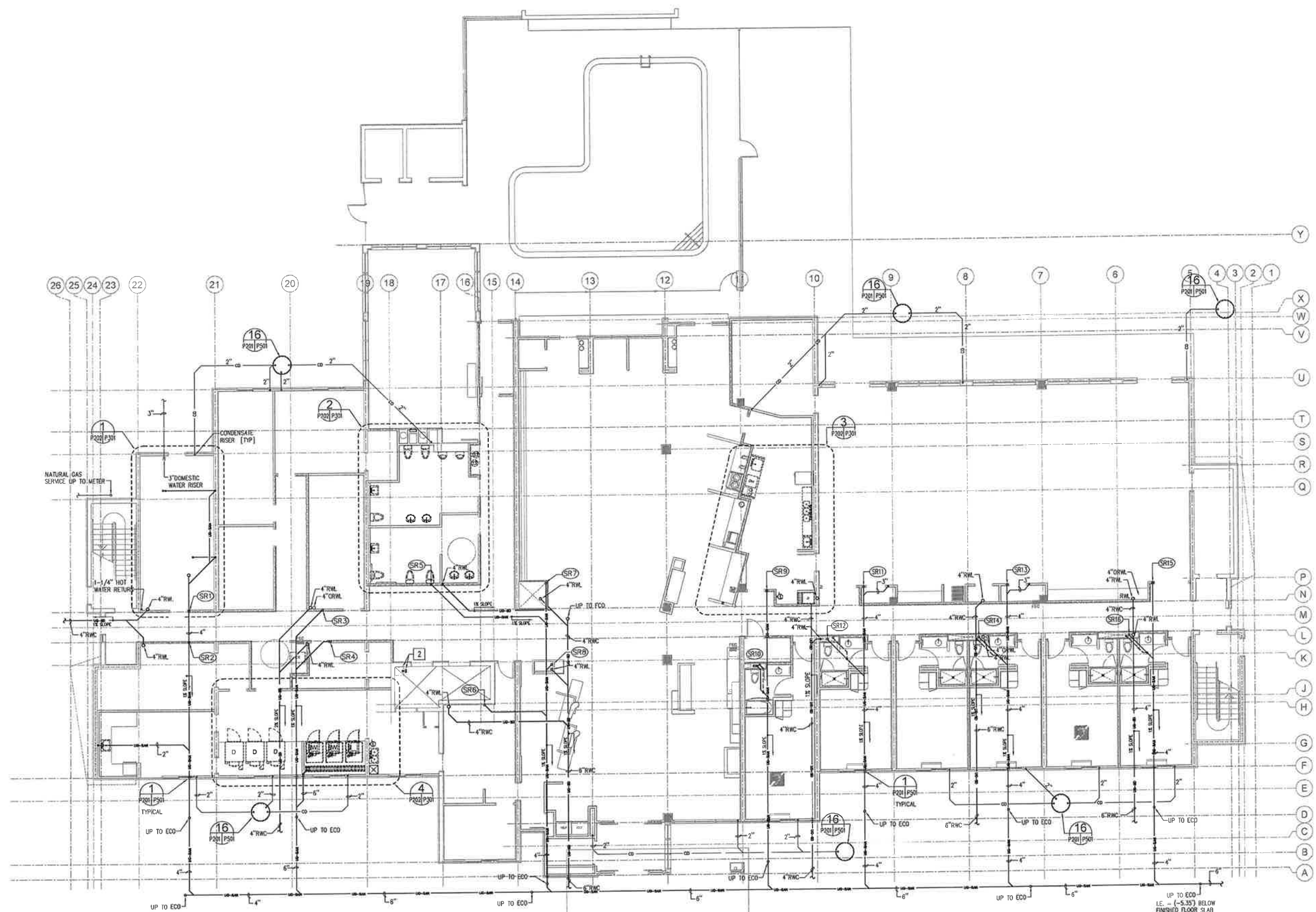
SHEET: 2 OF 2



SHEET REFERENCE MAP
N.T.S.



PLOTDATE: 04/18/2016 6:01 PM USER: CAELI
FILENAME: Z:\CLIENT\15-078 FAIRFIELD HOTEL INN & SUITES\01_BDA\02_SPR\2016-04-19_SPR2\15-078-BDA-BASE.DWG



AA C000808

1000

eds
engineers-surveys-planners, inc.

1800 7th St.
2601 NW 47th St., Gainesville, FL 32608-6602
TEL 352/338-1111 FAX 352/373-9269
E-MAIL eds@eds-inc.com

Project No.	201-0180-01		
Owner	JR/L		
Check	JSR		
Edin engineers--survey-planners, Inc. Corporate Address 249 #2 JARED ROGERS -S-1 6687			

Field No.	Page No.	Date	Survey Date	Drainage Completed	Drainage
031	031	03/27/15	03/31/15		12/11/15

PREPARED FOR: 1) LAKE CITY HOTELS, INC.
 2)
 3)
 4)

THE SURVEY REPORTS THE MINIMUM FINANCIAL CONSIDERATIONS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2014), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 03/31/15.

C-2702

ADD TREE LOCATIONS IN THE CORNER OF PLOT
ADD ELEV'S FOR 3 SAN CO'S
ADD 2 EASEMENTS (ORB 1395, PG. 160 &
ORB 2881, PG. 1320)

LB 23

1

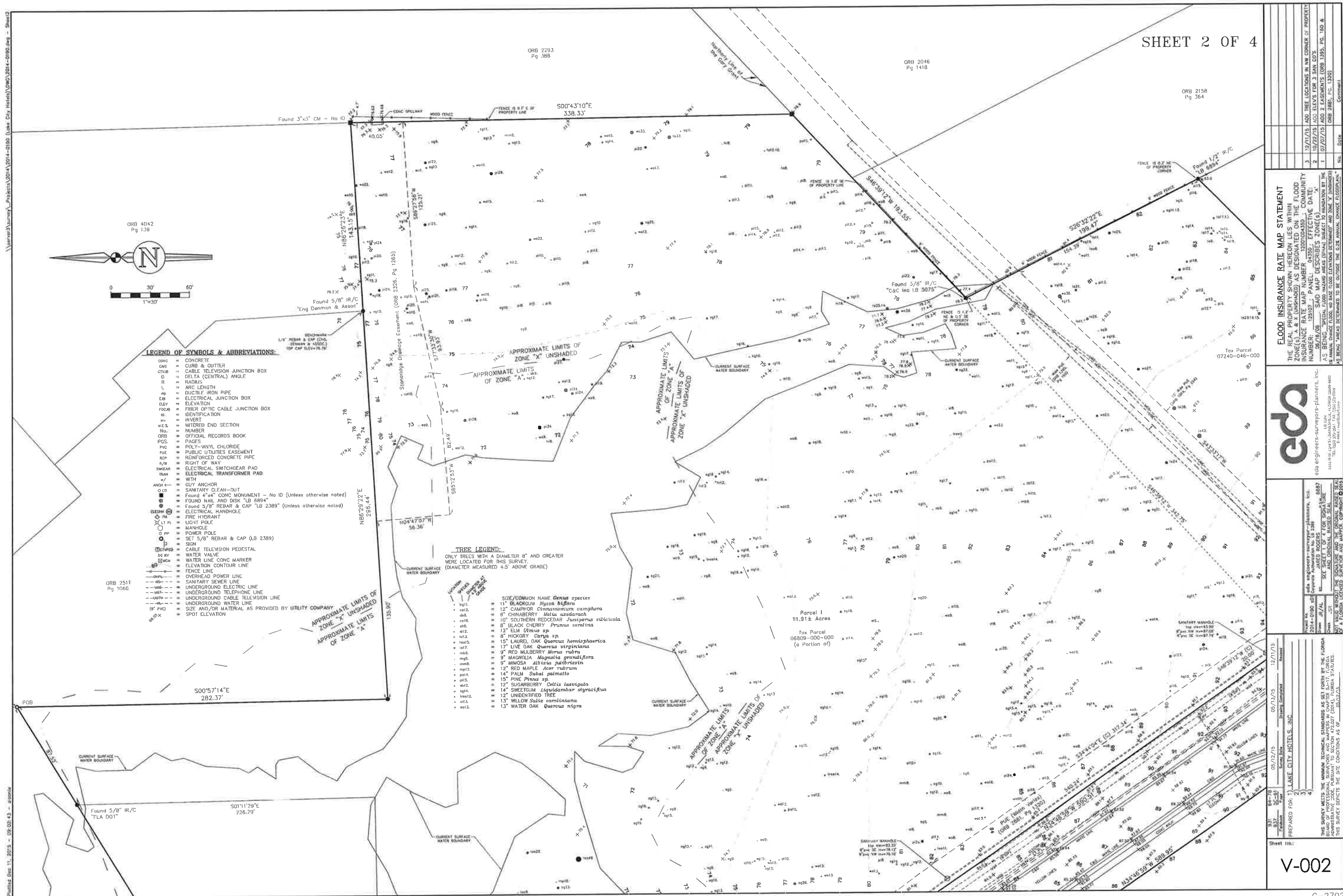
MINIMUM SURVEY STUANT	SITE
-----------------------	------

15. This survey consists of 4 sheets and is not valid without all sheets.

IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 556, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4777

The Point of Beginning:

Plattner Dec 11, 2015 - 09:02:43 - @books





Plotted Dec 11, 2015 - 09:02:43 - google

LEGEND OF SYMBOLS & ABBREVIATIONS:

- CONC CONCRETE
- C&G CURB & GUTTER
- CTV&B CABLE TELEVISION JUNCTION BOX
- D DELTA (CENTRAL) ANGLE
- R RADIUS
- L ARC LENGTH
- EP DUCTILE IRON PIPE
- E&B ELECTRICAL JUNCTION BOX
- ELEV ELEVATION
- FOC&B FIBER OPTIC CABLE JUNCTION BOX
- ID IDENTIFICATION
- INVERT INVERT
- M&S MITERED END SECTION
- NOI NUMBER
- ORB OFFICIAL RECORDS BOOK
- P&S PAGES
- PVC POLY-VINYL CHLORIDE
- PUC PUBLIC UTILITIES EASEMENT
- R&P REINFORCED CONCRETE PIPE
- R/W RIGHT OF WAY
- SH&R ELECTRICAL SWITCHGEAR PAD
- TR&N ELECTRICAL TRANSFORMER PAD
- W&H WITH
- ANCH ANCHOR
- C&O CONCRETE CLEAN-OUT
- Found 4"x4" CONC MONUMENT - No ID (Unless otherwise noted)
- Found NAIL AND DISK "LB 694"
- Found 5/8" REBAR & CAP "LB 2389" (Unless otherwise noted)
- ELEC&H ELECTRICAL HANDHOLE
- PH FIRE HYDRANT
- UT PL LIGHT POLE
- MANH MANHOLE
- PP POWER POLE
- SET 5/8" REBAR & CAP (LB 2389)
- CONC&P CABLE TELEVISION PEDESTAL
- W&V WATER VALVE
- W&M WATER LINE CONC MARKER
- E&C ELEVATION CONTOUR LINE
- F&L FENCE LINE
- OP&L OVERHEAD POWER LINE
- SS&S SANITARY SEWER LINE
- UES UNDERGROUND ELECTRIC LINE
- UES UNDERGROUND ELECTRIC LINE
- UES UNDERGROUND CABLE TELEVISION LINE
- UES UNDERGROUND WATER LINE
- (S" Pvc) SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
- SP&T SPOT ELEVATION

TREE LEGEND:

ONLY TREES WITH A DIAMETER 8" AND GREATER WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE)

- SIZE/COMMON NAME Genus species
- 11" BLACKGUM *Nyssa sylvatica*
- 12" CAMPHOR *Camptotheca acuminata*
- 8" CHINABERRY *Melia azadirachta*
- 10" SOUTHERN REDCEDAR *Juniperus silicicola*
- 8" BLACK CHERRY *Prunus serotina*
- 12" ELM *Ulmus sp.*
- 8" HICKORY *Carya sp.*
- 15" LAUREL OAK *Quercus hemisphaerica*
- 17" LIVE OAK *Quercus virginiana*
- 9" RED MULBERRY *Morus rubra*
- 9" MAGNOLIA *Magnolia grandiflora*
- 9" NIMBOSA *Albizia julibrissin*
- 12" RED MAPLE *Acer rubrum*
- 14" PALM *Sabal palmetto*
- 15" PINE *Pinus sp.*
- 12" SUGARBERRY *Celtis laevigata*
- 14" SWEETGUM *Liquidambar styraciflua*
- 12" UNIDENTIFIED TREE
- 13" WILLOW *Salix caroliniana*
- 13" WATER OAK *Quercus nigra*

SHEET 4 OF 4

FLOOD INSURANCE RATE MAP STATEMENT

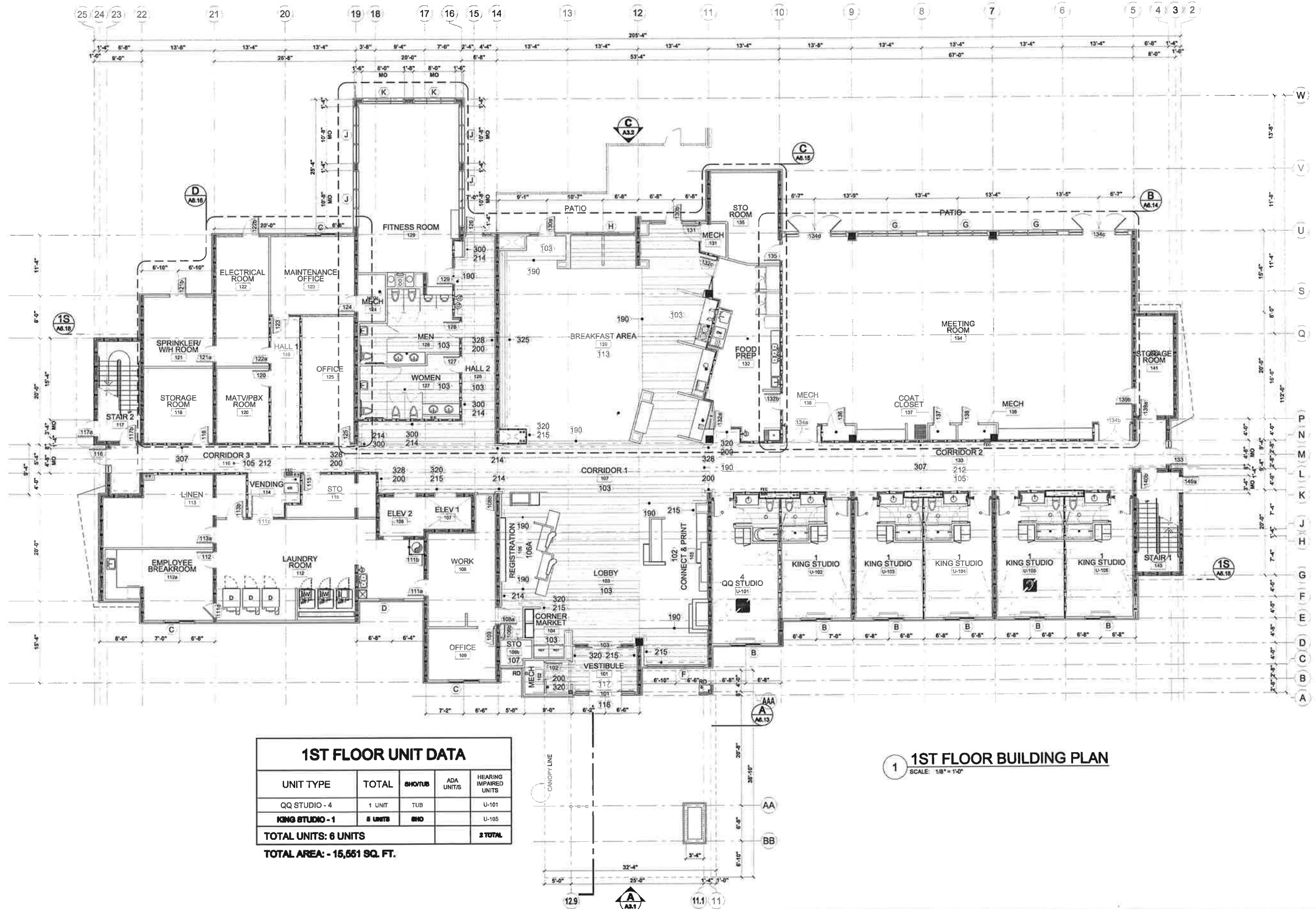
THE REAL PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE(S) OF THE FLOOD INSURANCE RATE MAP NUMBER: 1300030300 COMMUNITY NUMBER: 125107. PANEL: 04350. EFFECTIVE DATE: 06/08/08. SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED AND ZONE "X" (UNDEVELOPED) AS BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

eda engineers-surveyors-planners, inc.
2600 N.W. 12th Street, Suite 200, Fort Lauderdale, FL 33311
Tel: (954) 571-1234
Fax: (954) 571-1235
www.eda-engineers.com

Project No. 1014-0100
Client: JARED ROGERS
Surveyor: JARED ROGERS
Date: 06/08/08
Scale: AS SHOWN
Sheet: 4 of 4
THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 47.007 (2)(a), FLORIDA STATUTES.
THIS SURVEY REPORTS THE SITE CONDITIONS AS OF: 06/07/13

Prepared For: L&K CITY HOTELS, INC.
Survey Date: 06/12/13
Surveyed By: JARED ROGERS
Checked By: JARED ROGERS
Plotted By: JARED ROGERS
Reviewed By: JARED ROGERS
Date: 06/12/13

Sheet No.: V-004



1ST FLOOR UNIT DATA

UNIT TYPE	TOTAL	SHOW/TUB	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 4	1 UNIT	TUB		U-101
KING STUDIO - 1	5 UNITS	SHO		U-105
TOTAL UNITS: 6 UNITS				2 TOTAL

TOTAL AREA: - 15,661 SQ. FT.

1 1ST FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"

AA C000606

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS

1370 GENE STREET, WINTER PARK, FLORIDA 32789
PHONE: 407-617-0767 FAX: 407-617-2862

FAIRFIELD INN AND SUITES
MR. NICK PATEL
GAINESVILLE, FLORIDA



REVISION

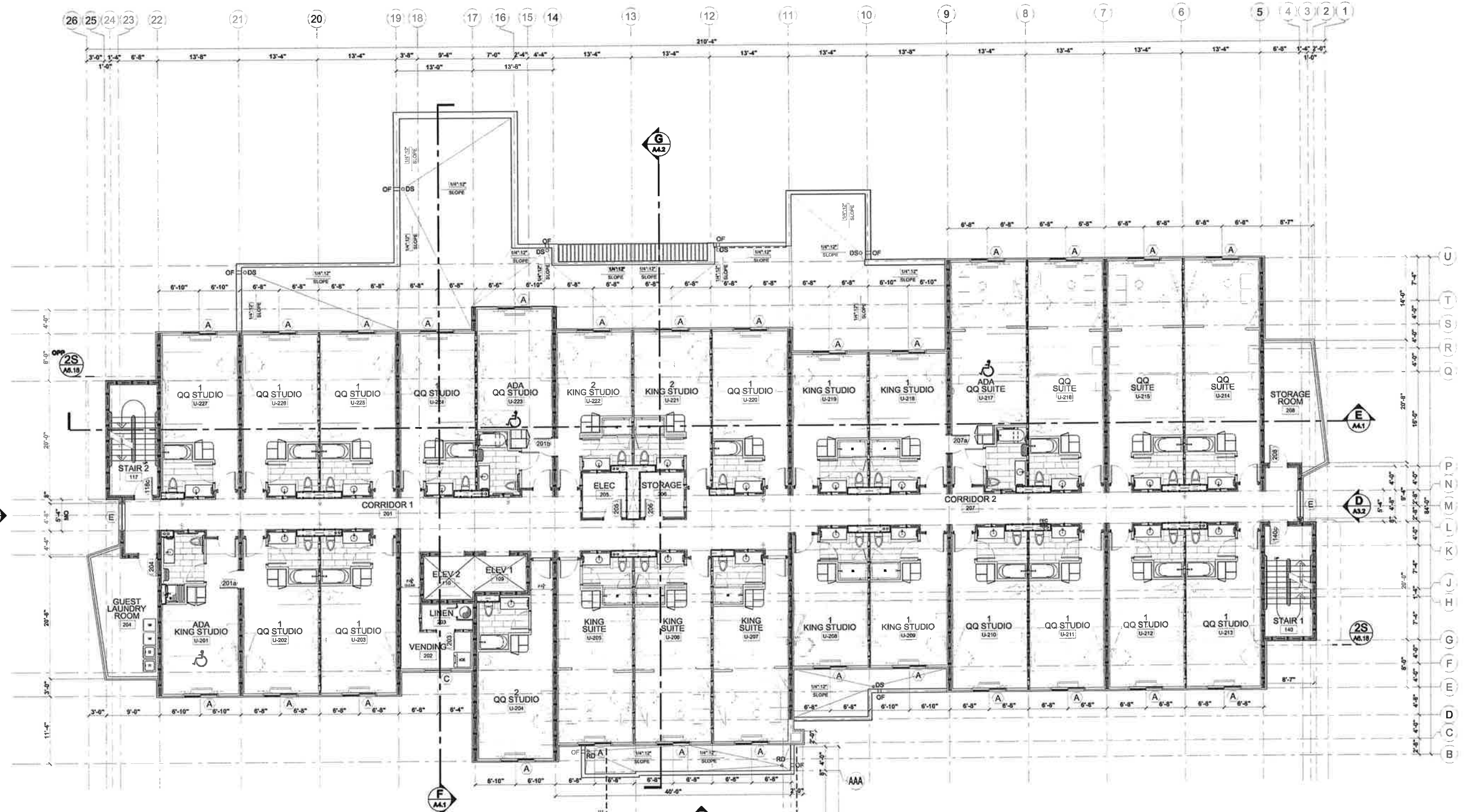
JOB NO.
15009

DATE
02-28-16

SHEET

A2.1

OF



2ND FLOOR UNIT DATA

UNIT TYPE	TOTAL	SHO/TUB	ADA UNITS	HEARING IMPAIRED UNITS	UNIT TYPE	TOTAL	SHO/TUB	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 1	11 UNITS	TUB			KING STUDIO - 1	4 UNITS	SHO		
QQ STUDIO - 2	1 UNIT	TUB			KING STUDIO - 2	2 UNITS	SHO		
QQ STUDIO - ADA	1 UNIT	TUB	U-217		KING STUDIO - ADA	1 UNIT	SHO	U-201	
QQ SUITE	3 UNITS	TUB			KING SUITE	3 UNITS	SHO		
QQ SUITE - ADA	1 UNIT	TUB							
	17 UNITS		1 - TOTAL			10 UNITS		1 - TOTAL	

TOTAL UNITS: 27 UNITS

TOTAL AREA: 13,338 SQ. FT.

2 2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
1370 GENE STREET WINTER PARK, FLORIDA 32789
PHONE 407 617-5767 FAX 407 617-5062

FAIRFIELD INN AND SUITES
MR. NICK PATEL
GAINESVILLE, FLORIDA



REVISION

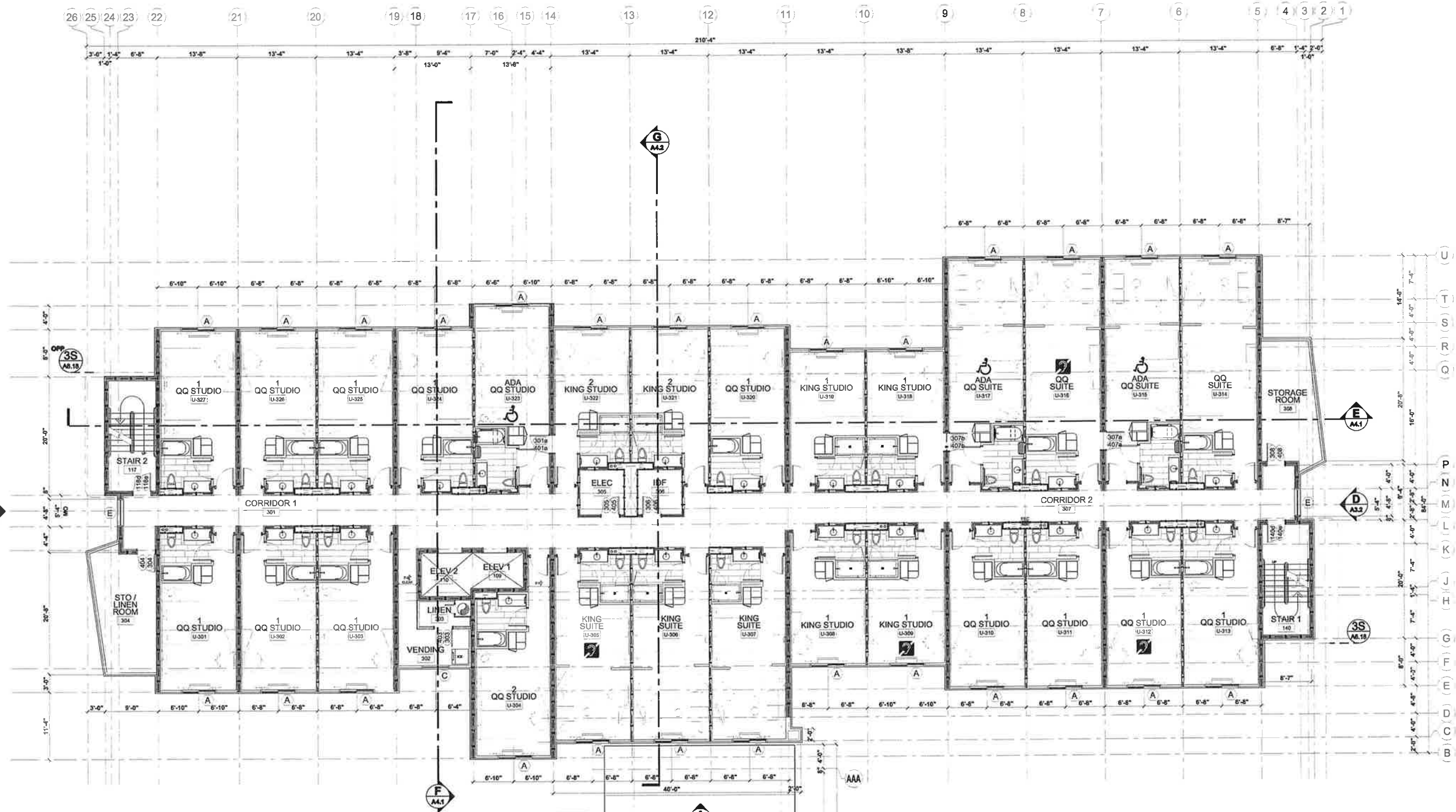
JOB NO.
15009

DATE
02-28-16

SHEET

A2.2

OF



TYPICAL 3RD & 4TH FLOORS UNIT DATA									
UNIT TYPE	TOTAL	SHO/TUB	ADA UNITS	HEARING IMPAIRED UNITS	UNIT TYPE	TOTAL	SHO/TUB	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 1	12 UNITS	TUB		U-312; U-412	KING STUDIO - 1	5 UNITS	SHO		U-309; U-409
QQ STUDIO - 2	1 UNIT	TUB			KING STUDIO - 2	1 UNITS	SHO		
QQ STUDIO - ADA	1 UNIT	TUB	U-323; U-423		KING SUITE	3 UNITS	SHO		U-305; U-405
QQ SUITE	2 UNITS	TUB		U-316; U-416					
QQ SUITE - ADA	2 UNITS	TUB	U-315; U-317 U-415; U-417						
18 UNITS					9 UNITS				
TOTAL UNITS: 27 UNITS			2 TOTAL	4 TOTAL				TOTAL	4 TOTAL

TOTAL AREA: 13,338 SQ. FT.

3 TYPICAL 3RD & 4TH FLOORS BUILDING PLAN
SCALE: 1/8" = 1'-0"

AA C000606

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
1370 GENE STREET - WINTER PARK, FLORIDA - 32789
PHONE: 407.617-5767 FAX: 407.617-5062

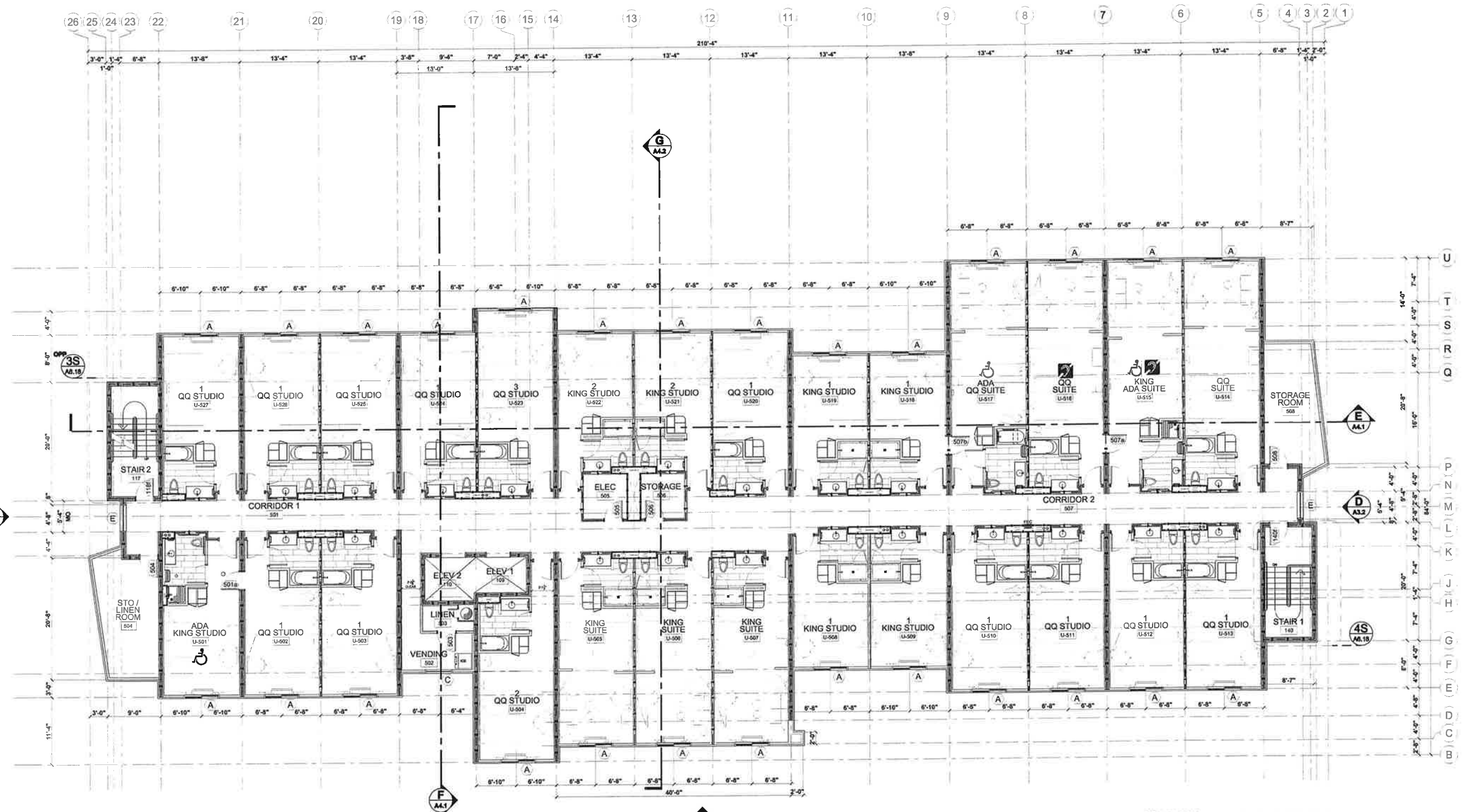
FAIRFIELD INN AND SUITES
MR. NICK PATEL
GAINESVILLE, FLORIDA



JOB NO.
15009
DATE
02-28-16
SHEET

A2.3

OF



5TH FLOOR UNIT DATA

UNIT TYPE	TOTAL	SHOTUB	ADA UNITS	HEARING IMPAIRED UNITS	UNIT TYPE	TOTAL	SHOTUB	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 1	11 UNITS	TUB			KING STUDIO - 1	4 UNITS	SHO		
QQ STUDIO - 2	1 UNIT	TUB			KING STUDIO - 2	2 UNITS	SHO		
QQ STUDIO - 3	1 UNIT	TUB			KING STUDIO - ADA	1 UNIT	SHO	U-501	
QQ SUITE	2 UNITS	TUB		U-516	KING SUITE	3 UNITS	SHO		
QQ SUITE - ADA	1 UNIT	TUB	U-517		KING SUITE - ADA	1 UNIT	SHO	U-515	U-515
	16 UNITS					11 UNITS			
TOTAL UNITS: 27 UNITS			1 TOTAL	1 TOTAL				1 TOTAL	1 TOTAL

TOTAL AREA: 13,338 SQ. FT.

4 5TH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
1370 GENE STREET WINTER PARK, FLORIDA 32789
PHONE 407 617-5767 FAX 407 617-5062

FAIRFIELD INN AND SUITES
MR. NICK PATEL
GAINESVILLE, FLORIDA



REVISION

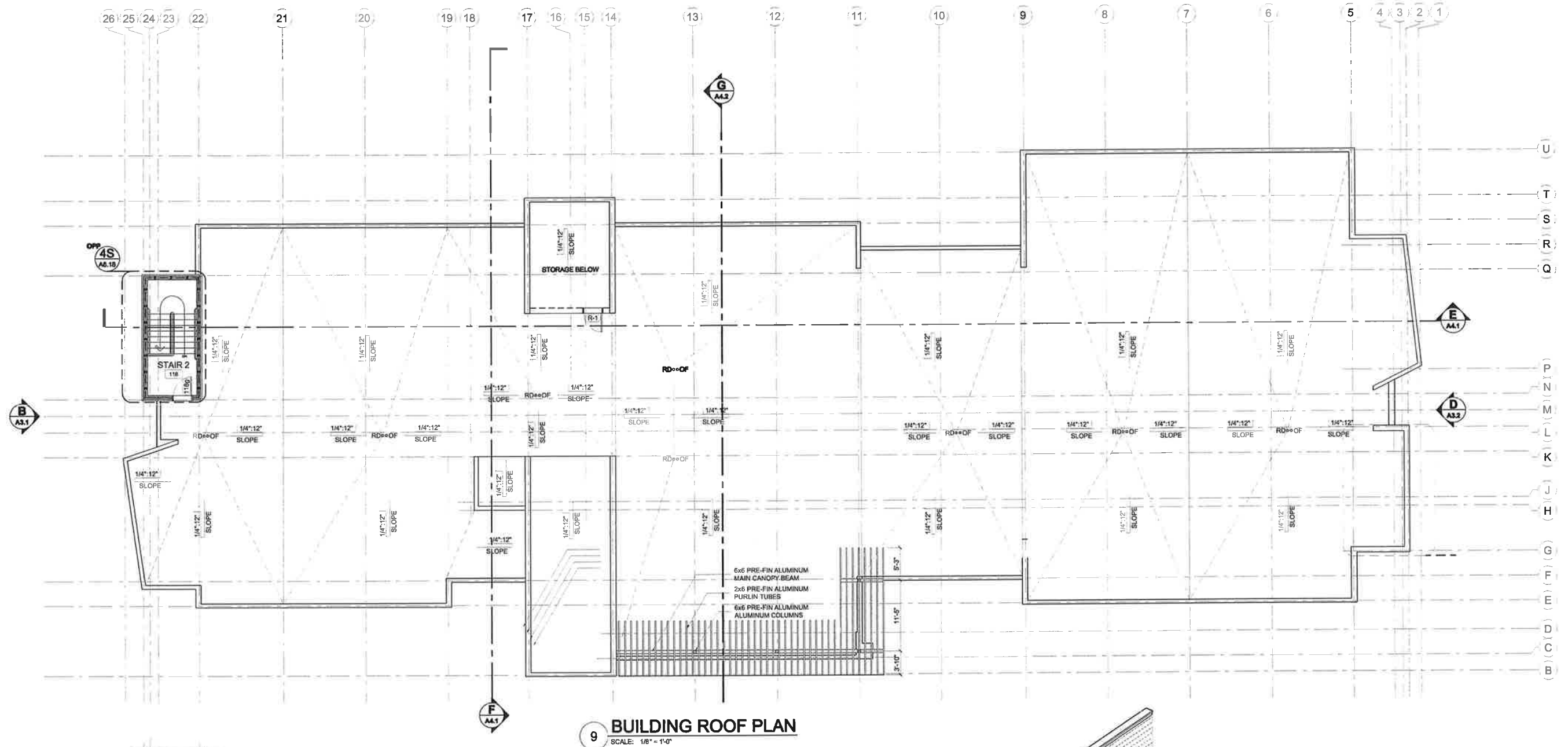
JOB NO.
15009

DATE
02-28-16

SHEET

A2.4

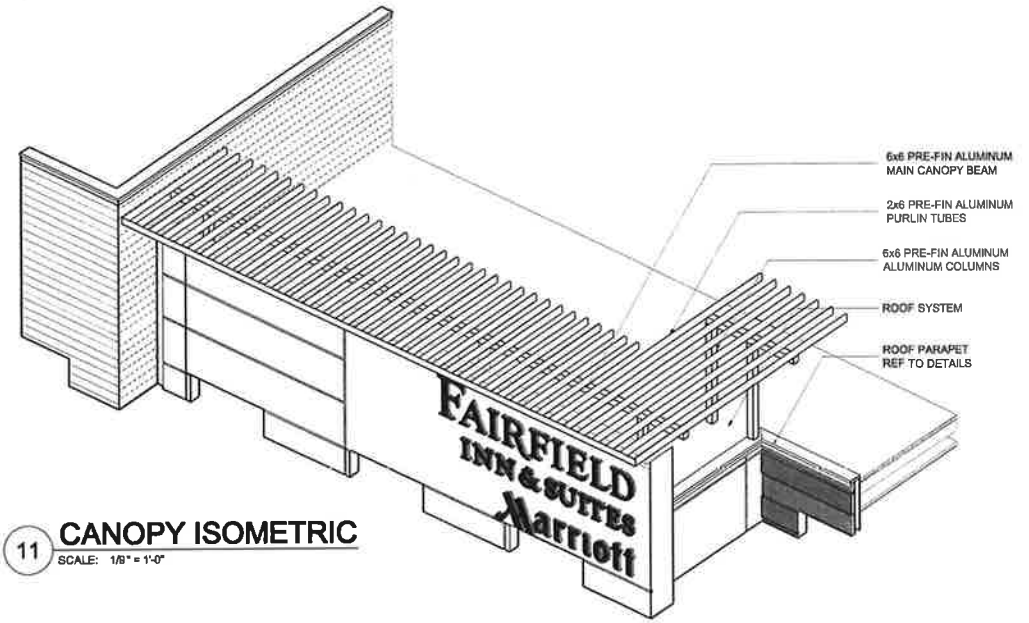
OF



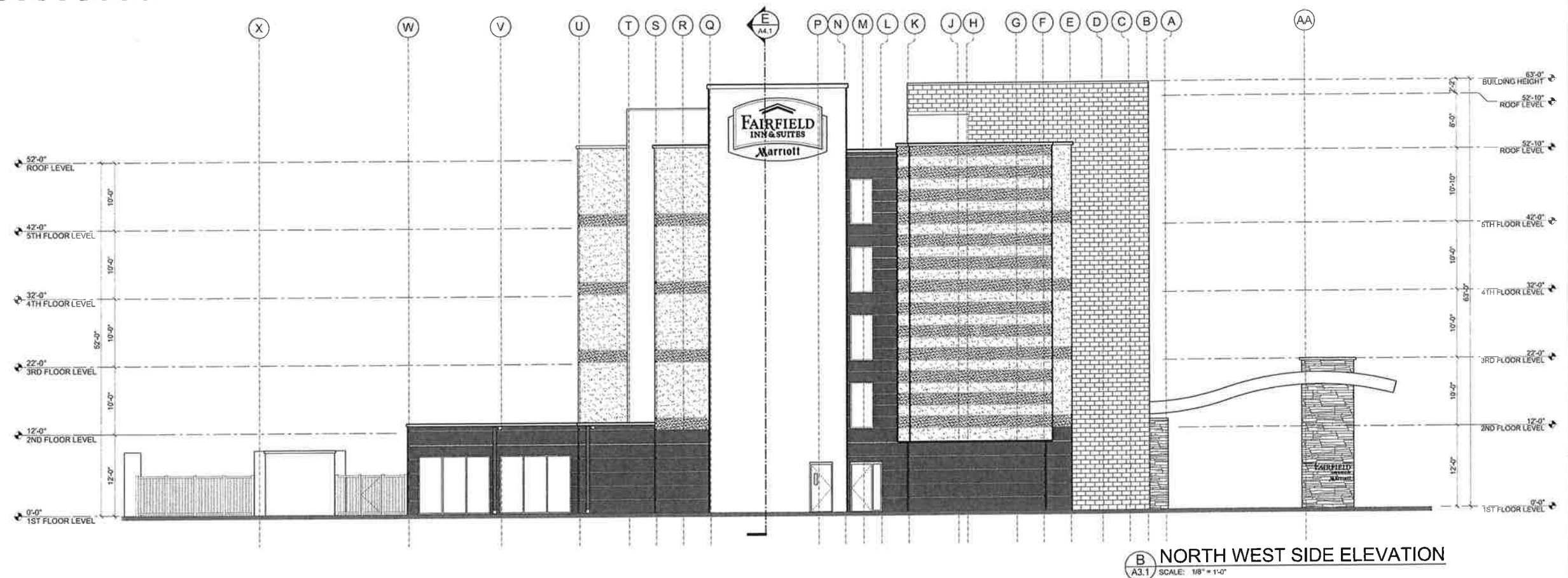
9 BUILDING ROOF PLAN
SCALE: 1/8" = 1'-0"



10 STAIR 2 ROOF PLAN
SCALE: 1/8" = 1'-0"



11 CANOPY ISOMETRIC
SCALE: 1/8" = 1'-0"



AA C000806

HARTER - ADAMS P.A.
 ARCHITECTS AND PLANNERS
 1370 GENE STREET - WINTER PARK, FLORIDA 32789
 PHONE 407-647-5767 FAX 407-647-2062

NEW HOTEL INN AND SUITES
 MR. NICK PATEL
 GAINESVILLE, FLORIDA

FAIRFIELD INN & SUITES
 Marriott

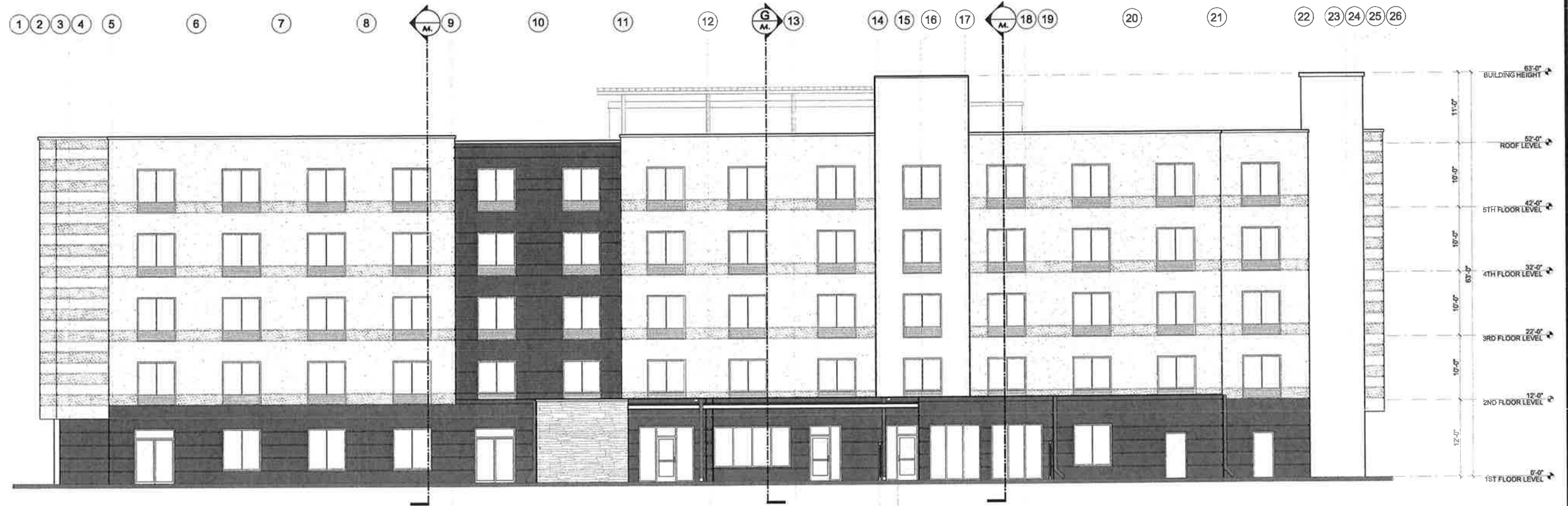
REVISION
 4-13-16

JOB NO.
 15009

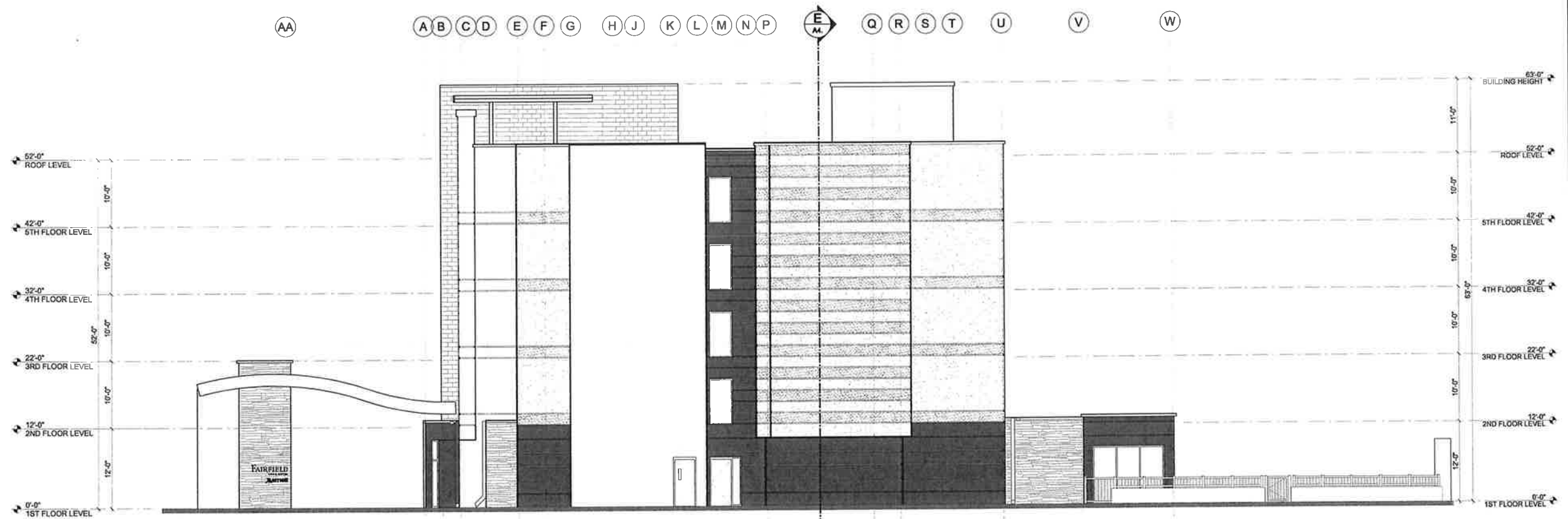
DATE
 03-21-16

SHEET
 A3.1

OF



C NORTH EAST ELEVATION
A3.2 SCALE: 1/8" = 1'-0"



D SOUTH EAST SIDE ELEVATION
A3.2 SCALE: 1/8" = 1'-0"

AA C000606

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
1370 GENE STREET WINTER PARK, FLORIDA 32789
PHONE: 407-647-5100 FAX: 407-647-2083

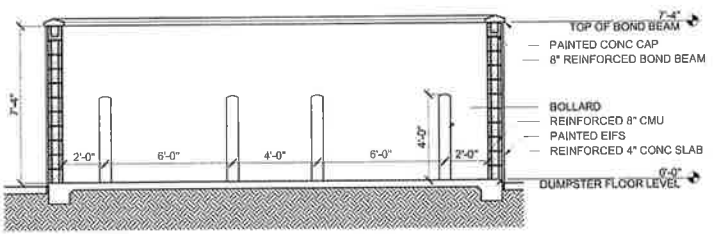
FAIRFIELD INN AND SUITES
MR. NICK PATEL
GAINESVILLE, FLORIDA



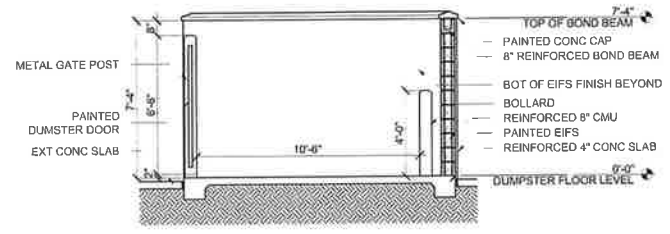
JOB NO.
15008
DATE
02-28-16
SHEET

A3.2

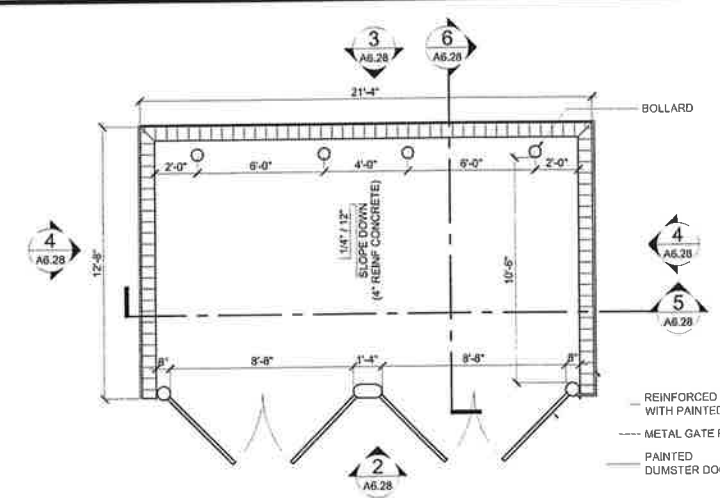
OF



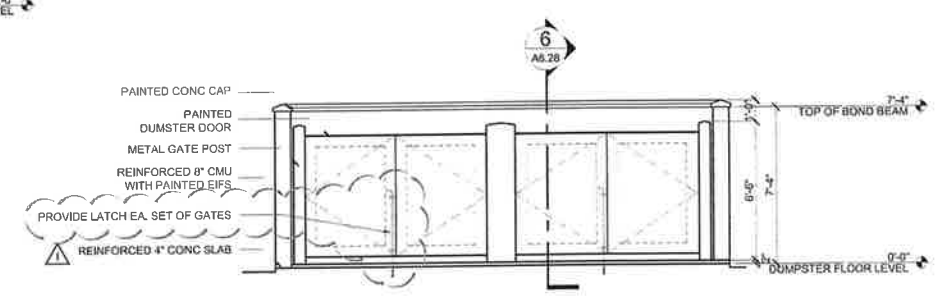
5 DUMPSTER LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



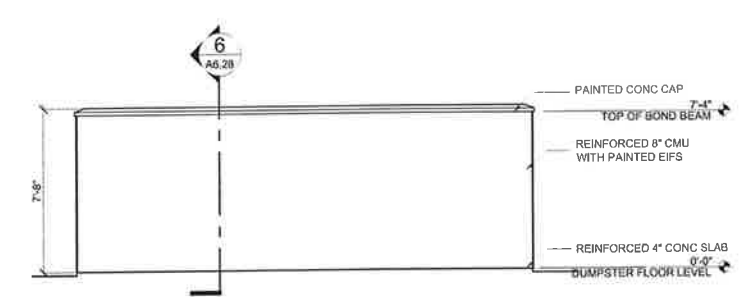
6 DUMPSTER CROSS SECTION
SCALE: 1/4" = 1'-0"



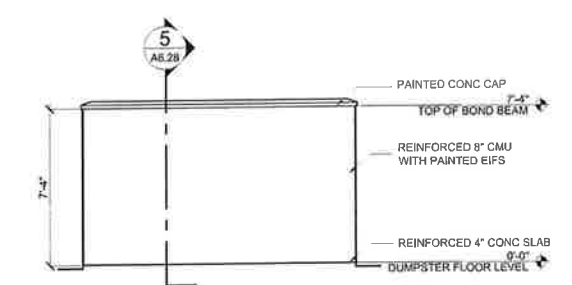
1 DUMPSTER PLAN
SCALE: 1/4" = 1'-0"



2 DUMPSTER FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 DUMPSTER REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 DUMPSTER TYP SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
- FINISH SHALL MATCH THE EXTERIOR OF THE PRINCIPAL BUILDING

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
1370 GAINES STREET - WINTER PARK, FLORIDA 32789
PHONE 307 647-6767 FAX 307 647-2002

NEW HOTEL INN AND SUITES
MR. NICK PATEL
GAINESVILLE, FLORIDA



REVISION
4-13-16

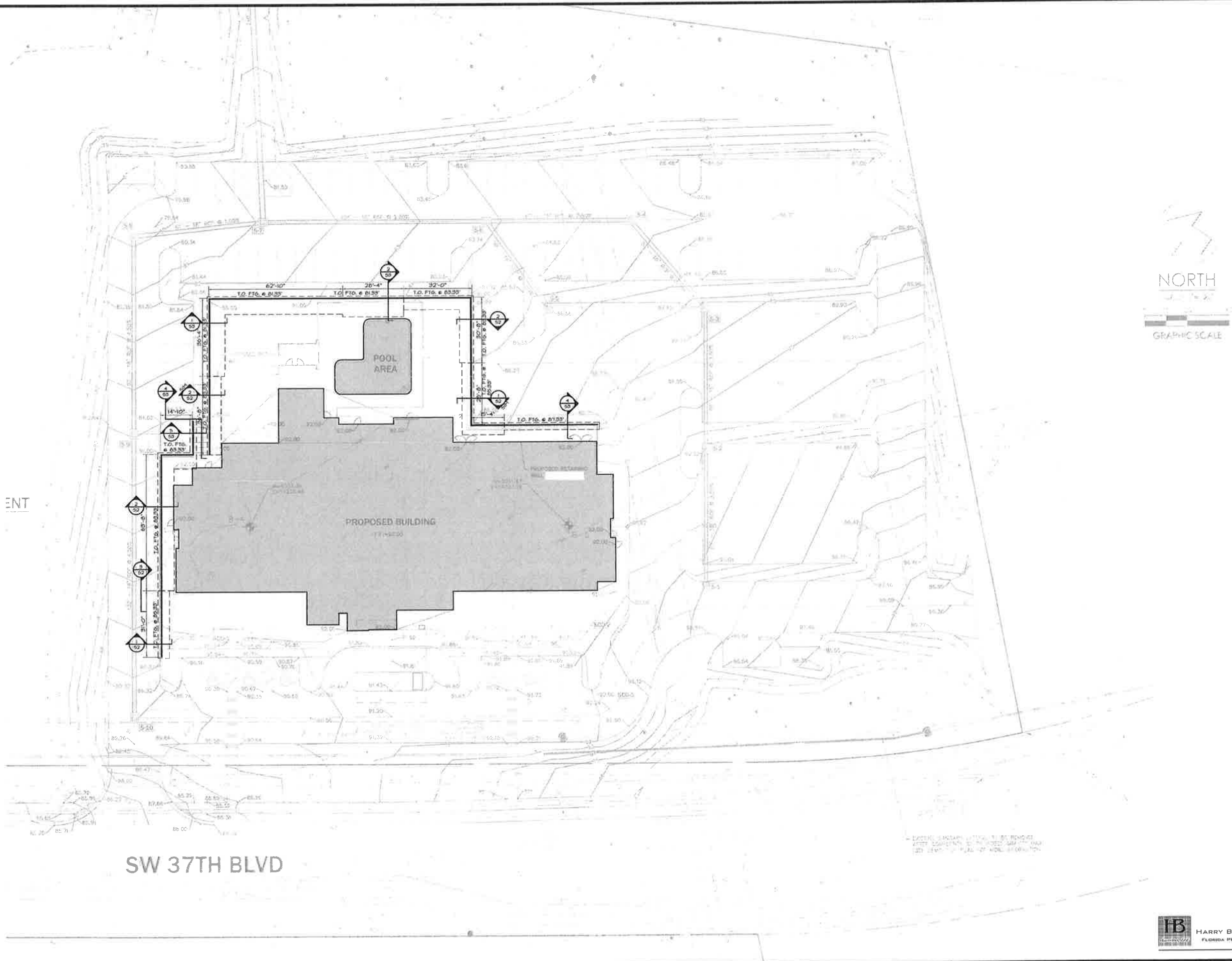
JOB NO.
15009

DATE
03-21-16

SHEET

A6.28

OF



© COPYRIGHT 2016, HB ASSOCIATES, LLC. ENGINEER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THEY ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF HB ASSOCIATES, LLC.



HB ASSOCIATES, LLC
STRUCTURAL/CIVIL ENGINEERING
FLORIDA C.E.# 0007004

377 MATLAND AVENUE, SUITE # 2007 (407) 740-5444
ALTAIR DRIVE SPRINGS, FL 32701-5443

FAIRFIELD INN & SUITES
CITY OF GAINESVILLE, FLORIDA

RETAINING WALL PLAN

Drawn:	JM
Checked:	HB
Date:	1-25-16
Scale:	1" = 20'
Job No.:	15-112.1

Sheet: 1 of 3

S 1

File:

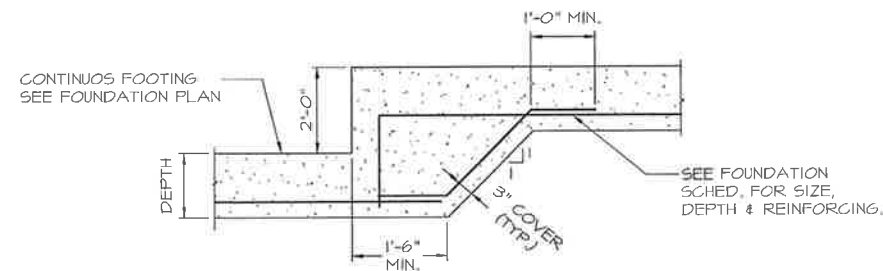
Revisions

RETAINING WALLS

1. Retaining wall design is based on a granular cohesionless soil with the following properties :

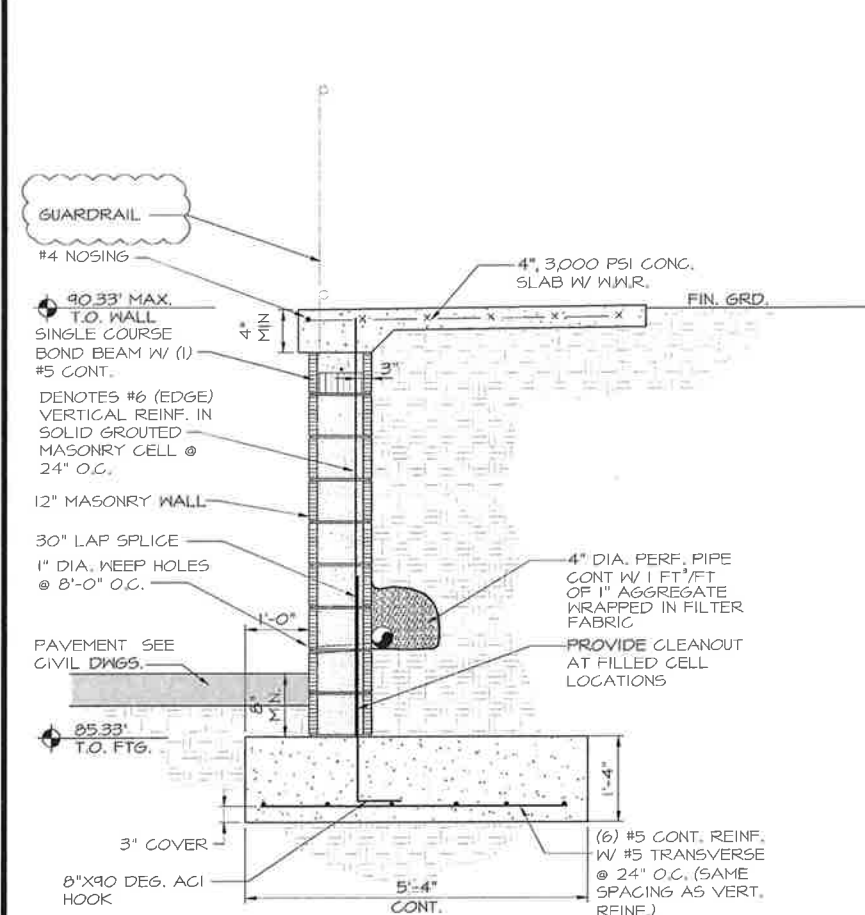
Total Unit Weight Compacted110 PCF
Allowable Bearing Pressure2000 PSF
Passive Lateral Coefficient3.00
Active Lateral Coefficient0.33
Maximum % Passing #200 Sieve12

2. Wall design allows vehicle loading on backfill based on AASHTO design requirements.
3. Provide wall joint at 20' on center. Discontinue horizontal reinforcement and provide 1 #5 in solid grouted cell on each side of joint.
4. Brace wall as required to maintain wall in vertical position during backfill operations.
5. Concrete work shall be in accordance with ACI 301-08 "Specifications for Structural Concrete for Buildings."
6. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
7. Concrete masonry work shall be in accordance with ACI 530.1-22 "Specifications for Concrete Masonry Structures."
8. Concrete masonry units shall be in accordance with ASTM C90, Grade N, Type II and shall be of a type such that the cores line up vertically.
9. Masonry mortar shall be in accordance with ASTM C270, Type S or M.
10. Grout for masonry work shall be in accordance with ASTM C476, Coarse Type, and shall attain a compressive strength of 2,000 PSI at 28 days.
11. Provide 1/4 gauge ladder type joint reinforcing at 8' on center vertically in all masonry construction. Lap joint reinforcement a minimum of 6" and discontinue at all wall joints.
12. Masonry joint reinforcement shall be hot-dip galvanized steel wire in accordance with ASTM A82.
13. Reinforcing steel shall be in accordance with ASTM A615, Grade 60.
14. Lap splices for masonry reinforcement shall be permitted provided lap splices are a minimum 48 bar diameters in length.



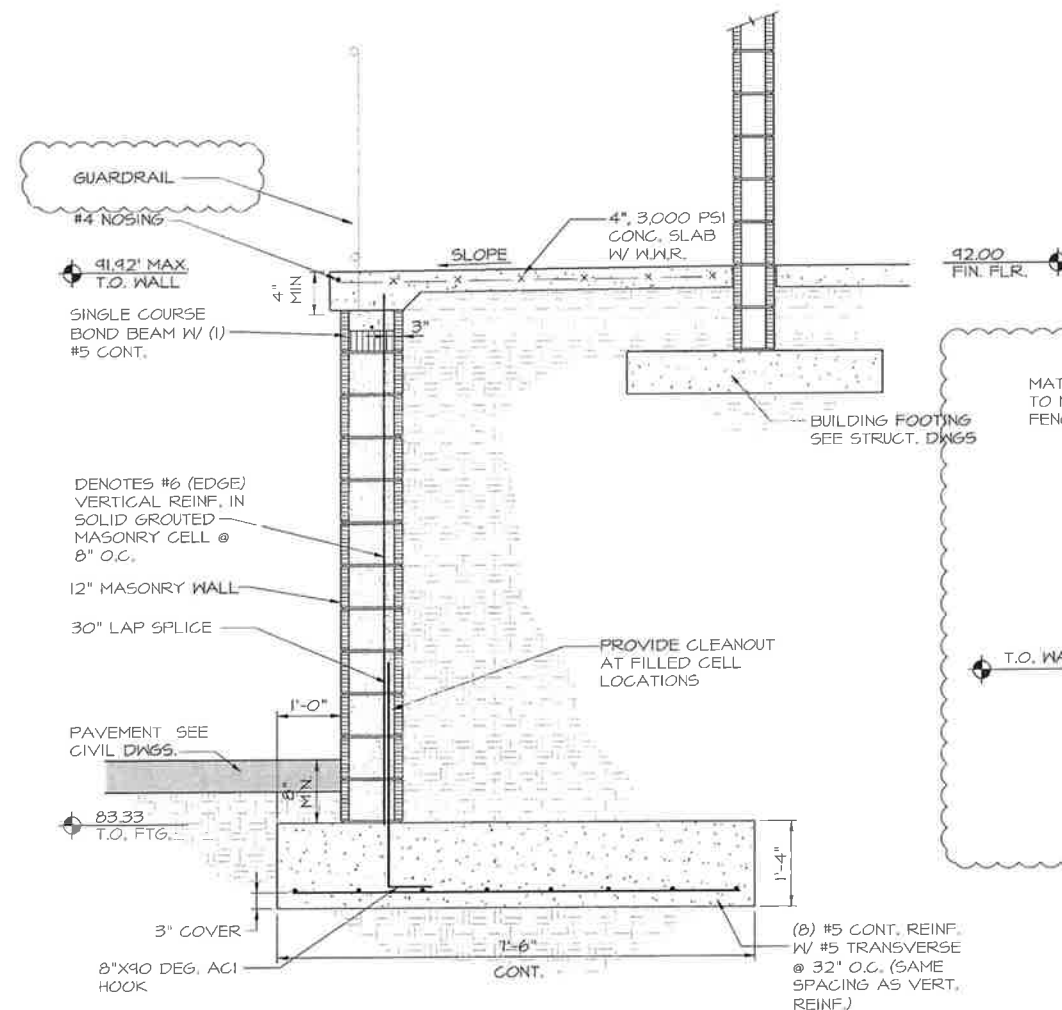
3 STEPPED FOOTING DETAIL

SCALE: 3/4" = 1'-0"



1 SECTION

SCALE: 3/4" = 1'-0"



2 SECTION

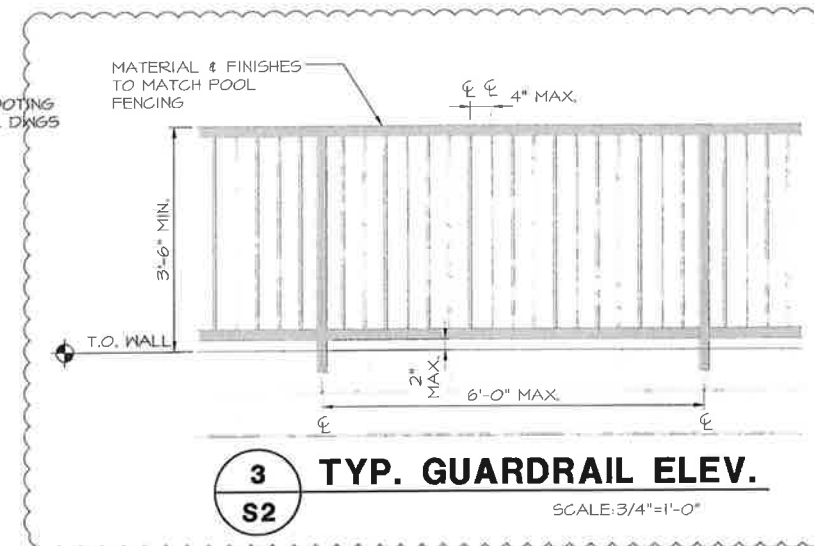
SCALE: 3/4"=1'-0"

SCREEN WALL NOTES

1. Wall design is based on maximum 140 MPH Ult. wind load in accordance with the 2014 Florida Building Code.
2. Wall and foundation design is based on a granular cohesionless soil with the following properties:

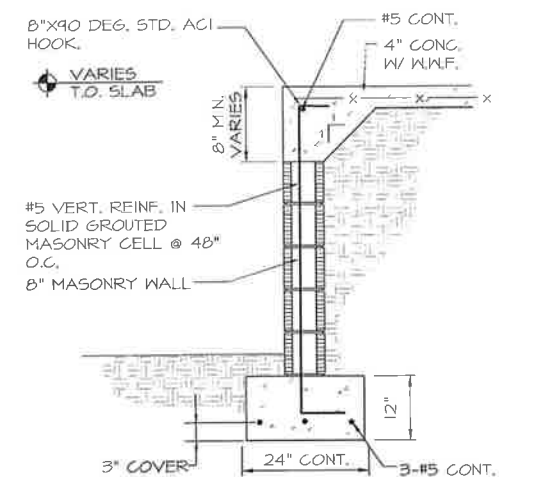
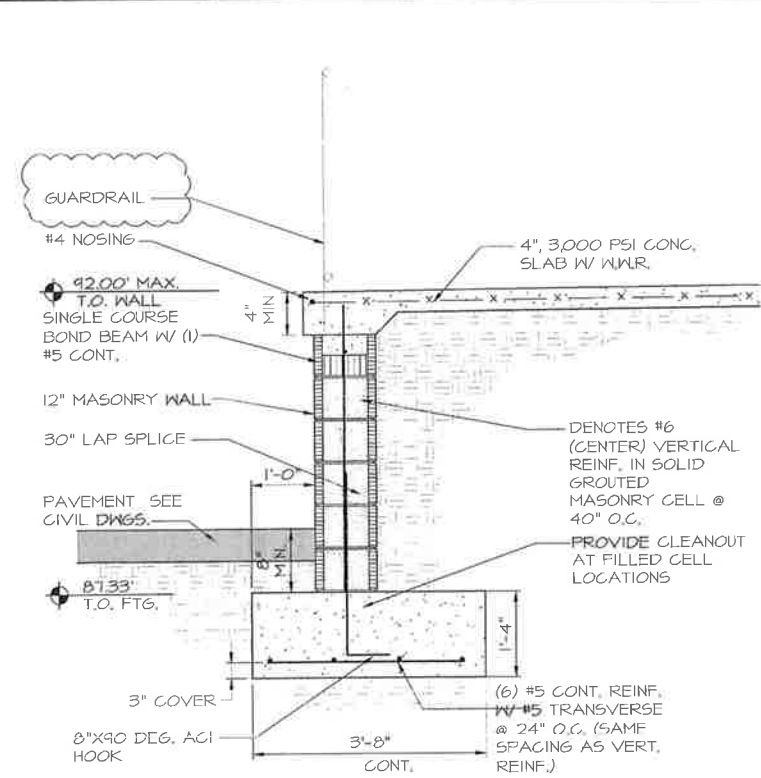
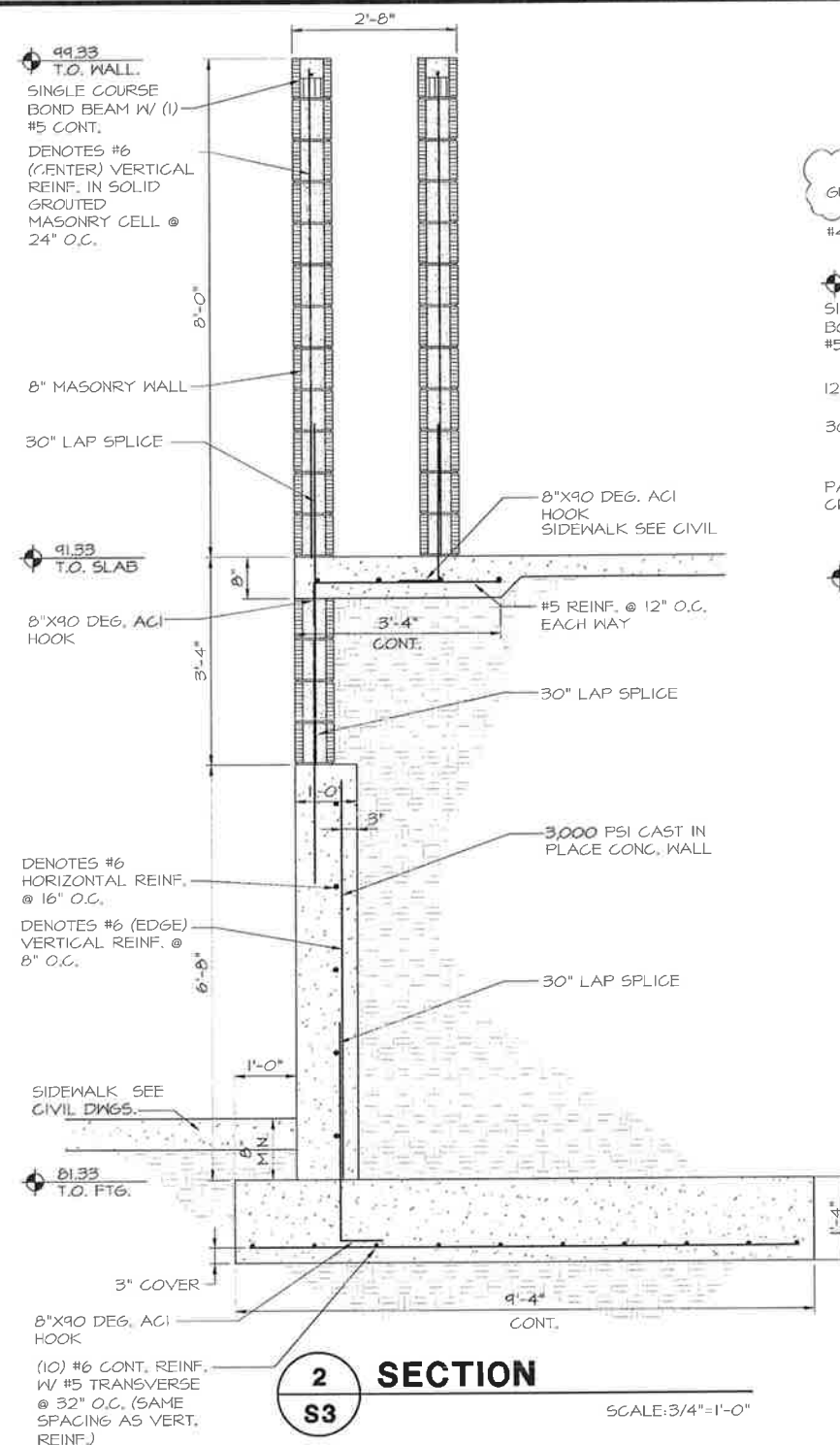
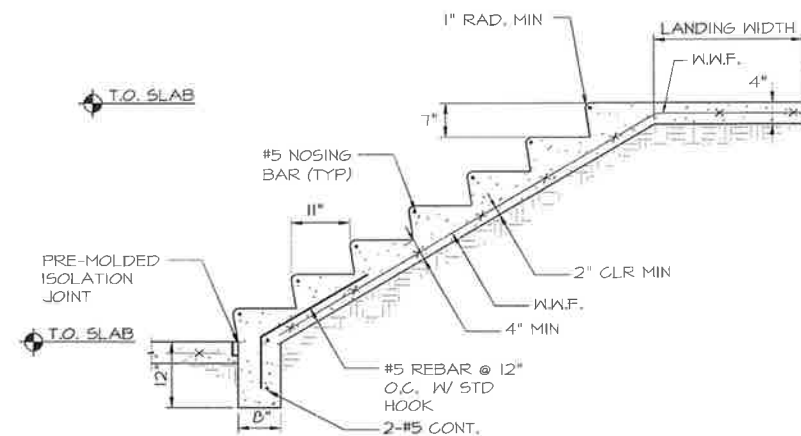
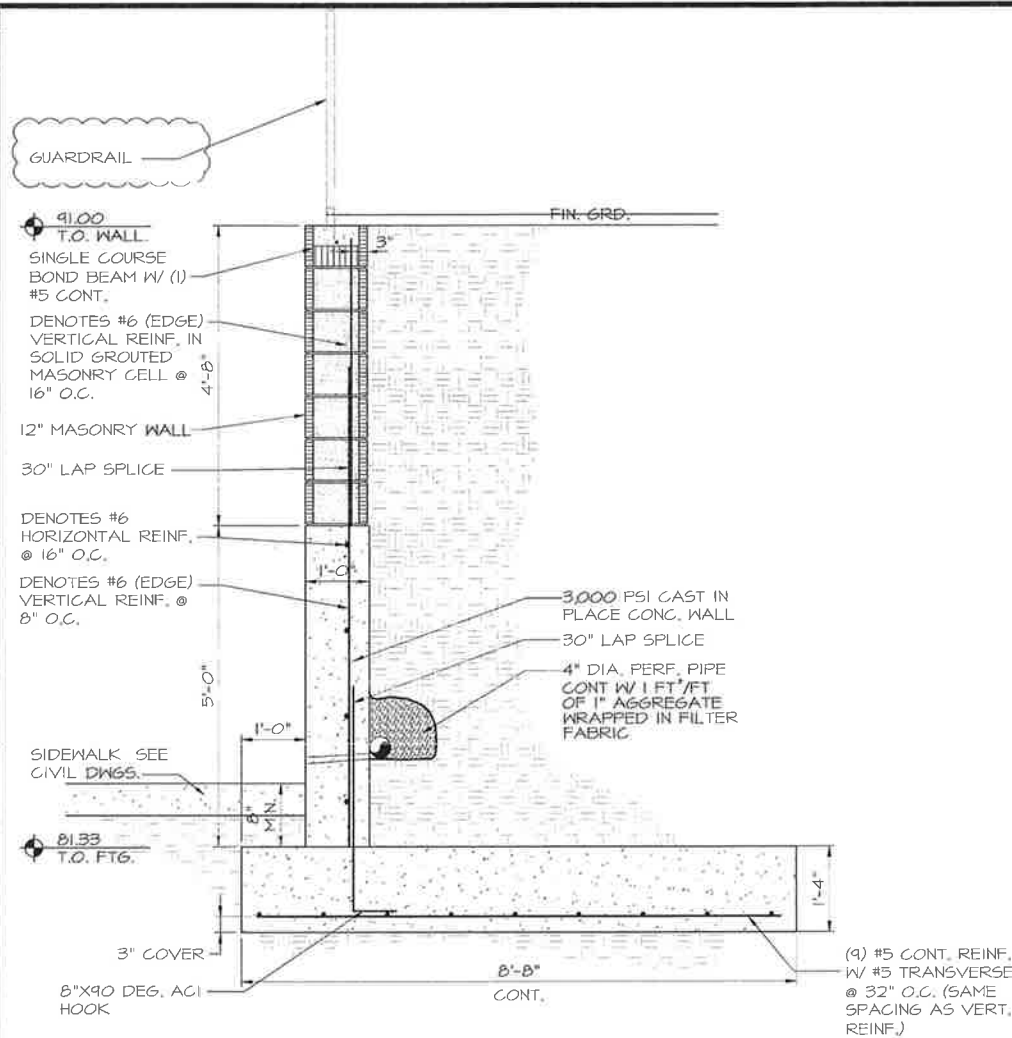
Total Unit Weight Compacted	100 PCF
Allowable Bearing Pressure	2000 PSF
Passive Lateral Coefficient	3.00
Active Lateral Coefficient	0.33
Maximum % Passing #200 Sieve	12

3. Provide wall joint at 20" on center minimum. Discontinue horizontal reinforcement and provide 1-#5 in solid grouted cell on each side of joint.
4. Concrete work shall be in accordance with ACI 301-08 "Specifications for Structural Concrete for Buildings."
5. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
6. Concrete masonry work shall be in accordance with ACI 530.1-08 "Specifications for Concrete Masonry Structures."
7. Concrete masonry units shall be in accordance with ASTM C90, Grade N, Type II and shall be of a type such that the cores line up vertically.
8. Hollow masonry clay units shall be in accordance with ASTM C652 and shall have a net compressive strength of 5000 psi.
9. Masonry mortar shall be in accordance with ASTM C270, Type S or M.
10. Grout for masonry work shall be in accordance with ASTM C476, Coarse Type, and shall attain a compressive strength of 2,000 PSI at 28 days.
11. Provide 9 gauge ladder type joint reinforcing at 16" on center vertically in all masonry construction. Lap joint reinforcement a minimum of 6" and discontinue at all wall joints.
12. Masonry joint reinforcement shall be hot-dip galvanized steel wire in accordance with ASTM A82.
13. Reinforcing steel shall be in accordance with ASTM A615, Grade 40.
14. Lap splices for masonry reinforcement shall be permitted provided lap splices are a minimum 40 bar diameters in length.



3 TYP. GUARDRAIL ELEV.

SCALE: 3/4"=1'-0"



© COPYRIGHT 2016, HB ASSOCIATES, LLC. ENGINEER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THEY ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF HB ASSOCIATES, LLC.

Revisions	
RESPONSE TO BLDG DEPT. GUARDRAIL DESIGN	4-14-16

HB ASSOCIATES, LLC	
STRUCTURAL/CIVIL ENGINEERING	
FLORIDA, CA # 000704-5	
377 MATLAND AVENUE, SUITE # 2007	(407) 740-5444
ALTAMONTE SPRINGS, FL 32701-5443	

FAIRFIELD INN & SUITES	
CITY OF GAINESVILLE, FLORIDA	
RETAINING WALL DETAILS	

Drawn:	JM
Checked:	HB
Date:	1-25-16
Scale:	1" = 20'
Job No.:	15-112.1

Sheet: 3 of 3
S3
File:



Site & Area

SlenderForm

Square arm mount



FAIRFIELD INN
TYPE PP



Project: _____
Location: _____
Cat.No: _____
Type: _____
Qty: _____
Notes: _____

Philips Gardco SlenderForm luminaires combine LED performance excellence and advanced Philips Gardco LED thermal management technology with a distinct styling to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. SlenderForm is defined by its high performance, sleek low profile design and rugged construction.

APR 19 2016

Ordering guide

example: SFA-APD-1-5-105LA-NW-UNV-NP-PCB

Prefix	Controls	Mounting	Optical System ⁴	Wattage	LED Temp	Voltage	Finish	Options
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
SFA- SlenderForm Square Standard Arm Mount luminaire	DCC Dual Circuit Control (in luminaires with Dual LED Arrays only)	1 Standard	Standard Optic Position	350 mA Single array	CW Cool White 5,700 K 75 CRI (nominal)	120 120V	BRP Bronze Paint	F⁸ Fusing
SFV- SlenderForm Square "V" Arm Mount luminaire	DIM 0-10V Dimming	2 2@180°	2 Type 2	30LA⁶	NW Neutral White 4,000 K 70 CRI (nominal)	208 208V	BLP Black Paint	LF⁸ Line Fusing
	APD¹ Automatic Profile Dimming	2@90 2@90°	3 Type 3	50LA		240 240V	WP White Paint	PC^{9,10} Photocell with Receptacle (Includes PCR5 Receptacle)
	APD-MRO² Auto Profile Dimming with Motion Response Override Pole mounted sensor	3 3@90°	4 Type 4	70LA		277 277V	NP Natural Paint	PCB^{9,10} Photocell Button
	APD-MRI³ Auto Profile Dimming with Motion Response Override Luminaire mounted sensor	3@120 3@120°	Optic Rotated Left (90°)⁵	530 mA Single array	WW⁷ Warm White 3,000 K 80 CRI (nominal)	347 347V	OC Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024)	PCR5^{11,12} Photocell Receptacle only with 2 dimming connections
	MR50² Motion Response at 50% low, pole mounted sensor	4 4@90°	Optic Rotated Right (270°)⁵	350 mA Dual array		480 480V	SC Special color Specify, must supply color chip. Requires factory quote.	PCR7^{12,13} Photocell Receptacle only with 2 dimming and 2 auxiliary connections
	MRI³ Motion Response at 50% low, fixture mounted sensor		2-90 Type 2	55LA⁶		UNV 120-277V 50hz/60hz		PTF2 Pole Top Fitter for 2 3/8"- 3" Tenon
			3-90 Type 3	80LA		HVU⁶ 347-480V 50hz/60hz		PTF3 Pole Top Fitter for 3"- 3 1/2" Tenon
			4-90 Type 4	105LA				PTF4 Pole Top Fitter for 3 1/2"- 4" Tenon
				130LA				SPA1 Square Pole Adapter (for use with SFA only)
				110LA				SPA2 Square Pole Adapter (for use with SFV only)
				140LA				DL Diffusing Lens (reduces performance significantly)
				170LA				
				530 mA Dual array				
				160LA				
				210LA				
				230LA				

1. Available 120V-277V only.
2. MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See Accessories on page 2. Motion Response luminaires available 120V or 277V only.
3. MRI and APD-MRI luminaires include an integral motion sensor. Not compatible with SFV fixtures

4. Luminaire door frame and optic assembly provided standard with a clear glass lens. Specify DL option for a Diffuse glass lens. See Options on page 2. Featuring unitized optic lens construction.
5. See pages 7-8 for information on optical rotation prior to ordering.
6. 30LA and 55LA Wattage not available with 347/480/ HVU.
7. Consult factory for lead times on Warm White.
8. Provide specific input voltage.

9. Not available in 480V. Provide specific input voltage.
10. Not available with DCC configurations.
11. Works with 3-pin or 5-pin NEMA photocell/ dimming device.
12. If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.
13. Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only)

SFA & SFV SlenderForm LED luminaire

Square arm mount

SlenderForm Accessories (order separately)

MS-A-120V

120V Input Area Motion Sensor

For MR50 (Motion Response) or APD-MRO
(Automatic Profile Dimming with Motion
Response Override)

MS-A-277V

277V Input Area Motion Sensor

For MR50 (Motion Response) or APD-MRO
(Automatic Profile Dimming with Motion
Response Override)

Note: Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 4-5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

Description

Philips Gardco SlenderForm luminaires combine LED performance excellence and advanced Philips Gardco LED thermal management technology with a distinct styling to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. SlenderForm is defined by its high performance, sleek low profile design and rugged construction. The housing has a maximum profile of just 3". The advanced LED optical systems provide IES Types II, III, IV and V distributions. All LED wattages utilize high performance Class 1 LED

systems. The luminaire features a state of the art integral thermal control system to maximize LED performance and life, and to extend component life. The door frame is die cast aluminum. Luminaires are finished with a fade and abrasion resistant TGIC powdercoat. All SlenderForm luminaires provide full cutoff performance, with 0% lumens at or above 90° above nadir.



LED Wattage and Lumen Values Standard SFA & SFV Luminaires

Order Code (standard units)	LED Quantity		LED Current (mA)	Average System Watts¹	LED Selection	Initial Lumens²,³			
	Per Array	Total LEDs				2 Type 2	3 Type 3	4 Type 4	5 Type 5
Single LED Arrays									
30LA	32	32	350	34	NW	3,664	3,736	3,523	3,723
50LA	48	48	350	51	NW	5,547	5,883	5,589	5,650
70LA	64	64	350	67	NW	7,395	7,818	7,452	7,518
90LA	80	80	350	84	NW	9,244	9,690	9,315	9,314
55LA	32	32	530	52	NW	5,587	5,685	5,365	5,319
80LA	48	48	530	77	NW	7,923	8,404	7,985	8,071
105LA	64	64	530	102	NW	10,564	11,169	10,646	10,740
130LA	80	80	530	127	NW	13,205	13,790	13,307	13,174
Dual LED Arrays									
110LA	48	96	350	107	NW	10,797	11,426	10,918	10,915
140LA	64	128	350	139	NW	14,734	15,454	14,899	14,984
170LA	80	160	350	170	NW	18,187	19,200	18,391	18,247
160LA	48	96	530	156	NW	15,424	16,323	15,598	15,593
210LA	64	128	530	203	NW	20,718	21,834	20,952	21,034
230LA	1-64, 1-80	144	530	228	NW	23,021	24,308	23,280	23,281

1. Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
2. Values shown are for luminaires without the DI or EHHS options. Tests are in process for configurations not shown. "(s)" following the value indicates that values are scaled from tests on similar, but not identical luminaire configurations. Contact Gardco applications@philips.com if any approximate estimates are required for design purposes.
3. Lumen values based on tests performed in compliance with IESNA LM-79.

SFA & SFV SlenderForm LED luminaire

Square arm mount

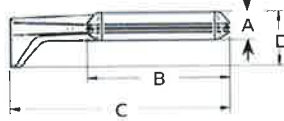
FAIRFIELD INN
TYPE PP

Dimensions – SFA with Single LED Array

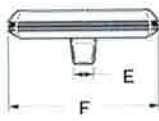
Top View



Side View

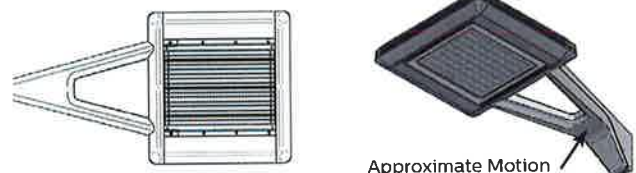


End View

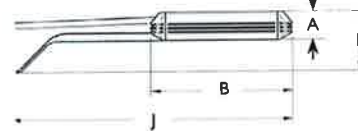


Dimensions – SFV with Single LED Array

Top View



Side View



End View

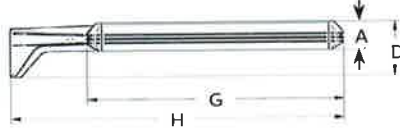


Dimensions – SFA with Dual LED Array

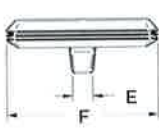
Top View



Side View



End View



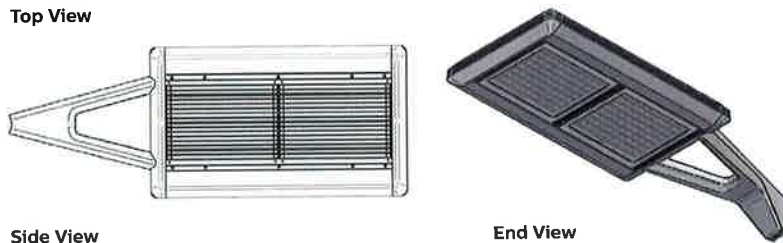
Effective Projected Area ft² / m²

Type	Single	Twin @ 180	3/4
SFA-Single LED Array	0.52 / 0.050	1.04 / 0.097	1.38 / 0.128
SFA-Dual LED Arrays	0.77 / 0.071	1.54 / 0.143	1.88 / 0.175
SFV-Single LED Array	0.63 / 0.058	1.26 / 0.117	1.60 / 0.149
SFV-Dual LED Arrays	0.89 / 0.082	1.78 / 0.165	2.12 / 0.197

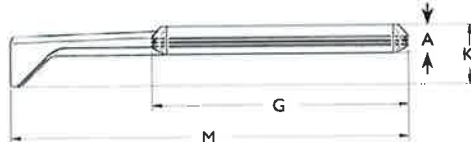
Type	Approx. Single Luminaire Weight
SFA-Single LED Array	26 lbs / 11.794 kgs
SFA-Dual LED Arrays	44 lbs / 19.959 kgs
SFV-Single LED Array	28 lbs / 12.701 kgs
SFV-Dual LED Arrays	48 lbs / 21.773 kgs

Dimensions – SFV with Dual LED Array

Top View



Side View



End View



Dimensions: Inches / Centimeters

A	3.00" / 7.62cm
B	15.17" / 38.532cm
C	23.30" / 59.182cm
D	5.75" / 14.605cm
E	2.18" / 5.537cm
F	16.10" / 40.894cm
G	27.30" / 69.342cm
H	35.41" / 89.941cm
J	30.15" / 76.581cm
K	6.34" / 16.104cm
L	2.45" / 6.223cm
M	42.27" / 107.367cm

SFA & SFV SlenderForm LED luminaire

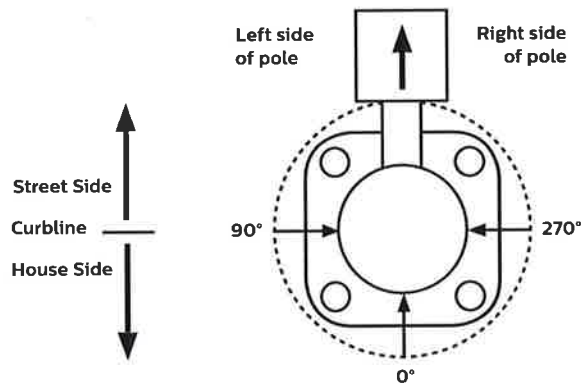
FAIRFIELD INN
TYPE PP

Square arm mount

Asymmetric Optical Orientation Information

Standard Optic Position

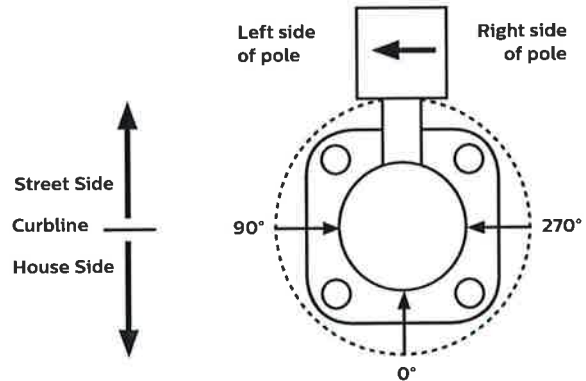
Luminaires ordered with asymmetric optical systems in the standard optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Left (90°) Optic Position

Luminaires ordered with asymmetric optical systems in the Optic Rotated Left (90°) optic position will have the optical system oriented as shown below:

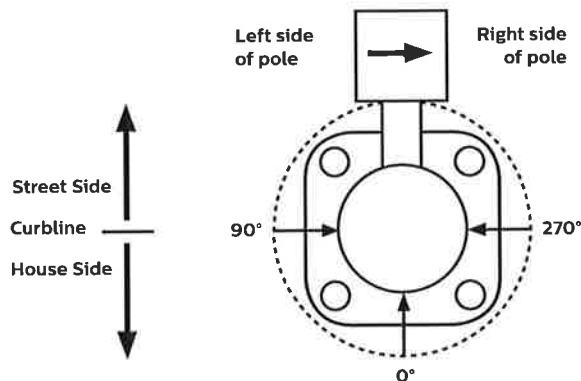


Note: The hand hole will normally be located on the pole at the 0° point.

Asymmetric Optical Orientation Information

Optic Rotated Right (270°) Optic Position:

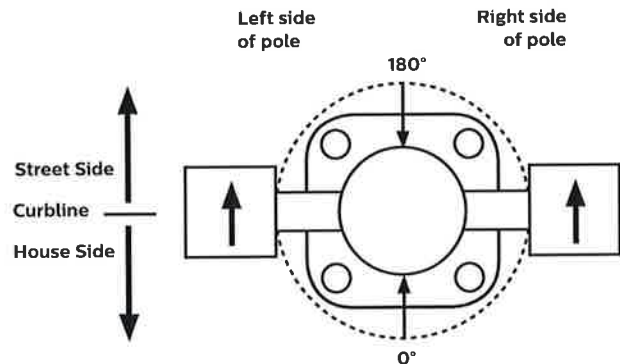
Luminaires ordered with asymmetric optical systems in the Optic Rotated Right (270°) optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

Twin Luminaire Assemblies With Rotated Optical Systems

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



Luminaires with Optic Rotated Right (270°) are installed on the LEFT Side of Pole

Luminaires with Optic Rotated Left (90°) are installed on the RIGHT Side of Pole

Note: The hand hole location will depend on the drilling configuration ordered for the pole.

SFA & SFV

SlenderForm LED luminaire

Square arm mount

Specifications

Housing

The Philips Gardco SlenderForm housing consists of a rugged extruded aluminum housing body with an integral LED thermal management system, with die cast aluminum end caps. SFA and SFV luminaires arrive with the arm factory installed. As a result, the luminaires provide the functionality, strength and installation ease of an integral arm luminaire.

IP Rating

SlenderForm luminaires have a rating of IP66.

Vibration Resistance

SlenderForm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

Predicted Lumen Depreciation Data		
Ambient Temperature °C	Driver (mA)	Calculated L ₇₀ Hours ¹
25 °C	350 mA	175,000
	530 mA	120,000
40 °C	350 mA	170,000
	530 mA	115,000

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.

Electrical

Luminaires are equipped with an LED driver that accepts 120V through 277V, or 347V through 480V, 50hz to 60hz, input. Driver output is based on the LED wattage selected. Component-to-component wiring within the luminaire will carry no more than 80% of rated current and is listed by UL for use at 600 VAC at 302°F / 150°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher. Power factor is not less than 90%. Luminaire consumes 0.0 watts in the off state. All motion sensors utilized consume 0.0 watts in the off state. Surge protector standard, 10KA per AN SI/IEEE C62.41.2.

LED Thermal Management

The Philips Gardco SlenderForm LED provides integral thermal radiation fins to provide the excellent thermal management so critical to long LED system life.

FULL Cutoff performance

Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle at or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.

Optical Systems

The advanced LED optical systems provide IES Types II, III, IV and V distributions. All optical systems feature unitized lens optic construction.

SlenderForm luminaires are provided standard with a clear glass lens, for maximized performance. A diffuse lens is available as an option, resulting in reduced performance. All SlenderForm luminaires provide full cutoff performance.

Listings

All luminaires bear UL or CUL (where applicable) Wet Location labels.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

Warranty

Philips Gardco luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer. See Warranty Information on www.sitelighting.com for complete details and exclusions. Polycarbonate lenses carry a 1 year warranty.





IES ROAD REPORT
PHOTOMETRIC FILENAME : SFA-4-130LA-NW.IES

DESCRIPTIVE INFORMATION (From Photometric File)

IESNA:LM-63-2002
[TEST] LRP0494E
[TESTLAB] PHILIPS Lighting - San Marcos
[ISSUE DATE] 11/13/2012
[MANUFAC] PHILIPS GARDCO
[LUMCAT] SFA-4-130LA-NW
[LUMINAIRE] SlenderForm Square
[LAMP] (1) LIGHT ARRAY OF 80 LEDs DRIVEN AT 530mA
[OTHER] DATA SHOWN IS ABSOLUTE PHOTOMETRY AT RATED INPUT
[OTHER] 11211 ABSOLUTE LUMENS DELIVERED
[OTHER] TESTED IN COMPLIANCE WITH LM-79-08 PROCEDURES

CHARACTERISTICS

IES Classification	Type IV
Longitudinal Classification	Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	11211
Downward Total Efficiency	N.A. (absolute)
Total Luminaire Efficiency	N.A. (absolute)
Luminaire Efficacy Rating (LER)	88
Total Luminaire Watts	127
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Maximum Candela	7109.836
Maximum Candela Angle	45H 70V
Maximum Candela (<90 Degrees Vertical)	7109.836
Maximum Candela Angle (<90 Degrees Vertical)	45H 70V
Maximum Candela At 90 Degrees Vertical	0 (0.0% Luminaire Lumens)
Maximum Candela from 80 to <90 Degrees Vertical	368.452 (3.3% Luminaire Lumens)
Cutoff Classification (deprecated)	N.A. (absolute)

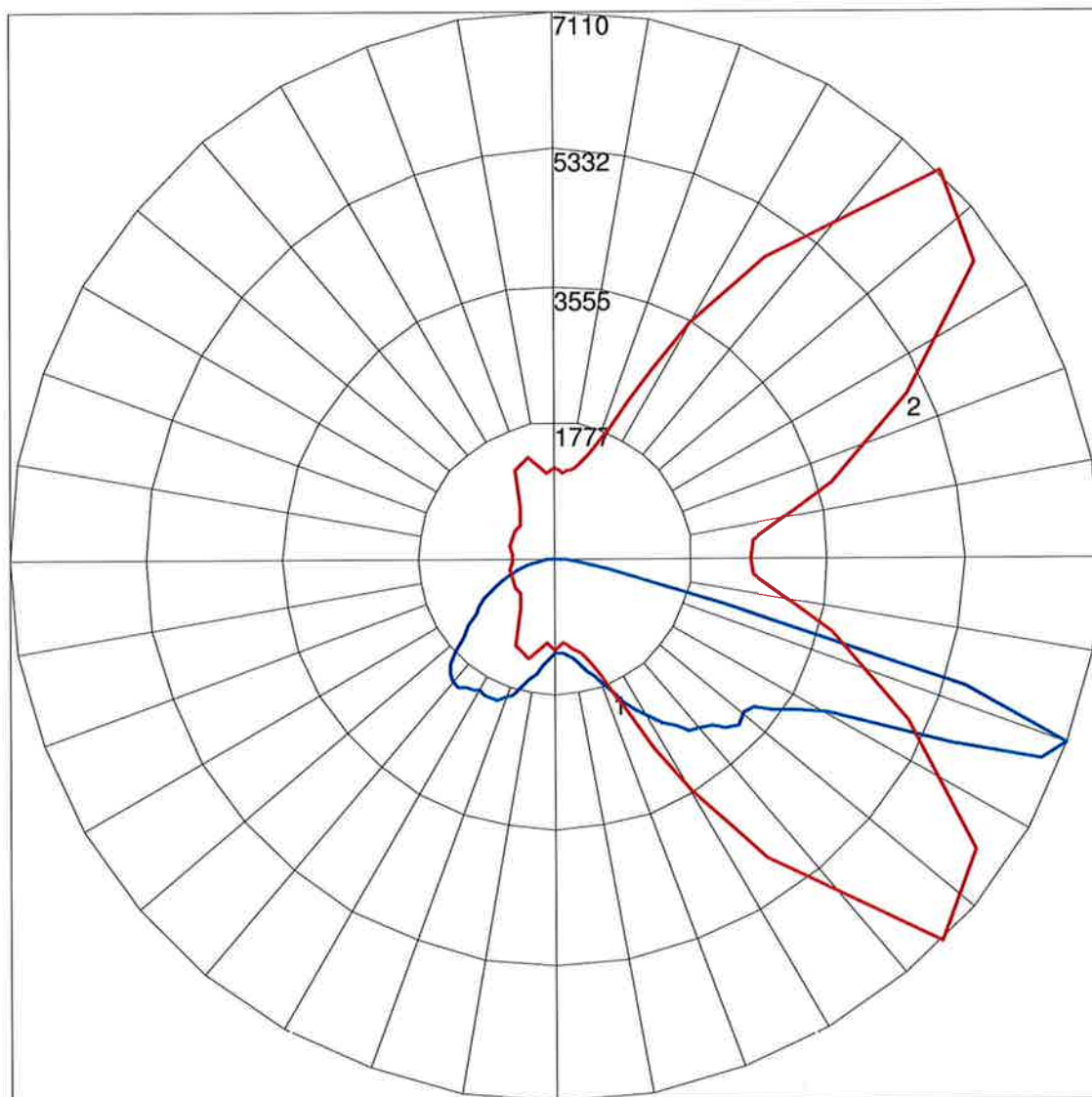
IES ROAD REPORT
PHOTOMETRIC FILENAME : SFA-4-130LA-NW.IES

FAIRFIELD INN
TYPE PP

LUMINAIRE CLASSIFICATION SYSTEM (LCS)

	Lumens	% Lamp	% Luminaire
FL - Front-Low (0-30)	740.0	N.A.	6.6
FM - Front-Medium (30-60)	3496.1	N.A.	31.2
FH - Front-High (60-80)	3068.0	N.A.	27.4
FVH - Front-Very High (80-90)	35.1	N.A.	0.3
BL - Back-Low (0-30)	744.9	N.A.	6.6
BM - Back-Medium (30-60)	2170.8	N.A.	19.4
BH - Back-High (60-80)	925.8	N.A.	8.3
BVH - Back-Very High (80-90)	30.1	N.A.	0.3
UL - Uplight-Low (90-100)	0.0	N.A.	0.0
UH - Uplight-High (100-180)	0.0	N.A.	0.0
Total	11210.8	N.A.	100.0
BUG Rating	B2-U0-G2		

POLAR GRAPH

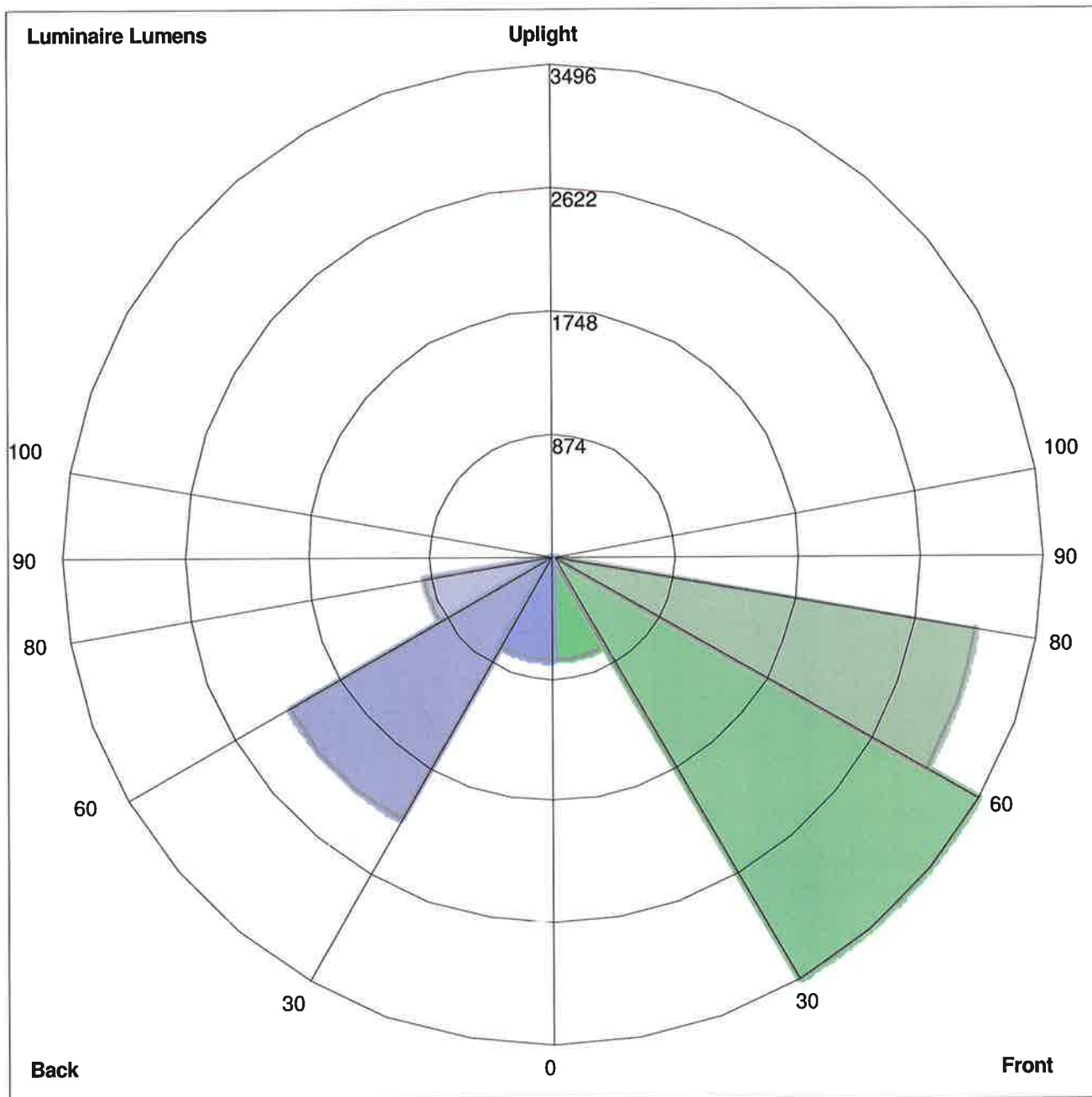


Maximum Candela = 7109.836 Located At Horizontal Angle = 45, Vertical Angle = 70

1 - Vertical Plane Through Horizontal Angles (45 - 225) (Through Max. Cd.)

2 - Horizontal Cone Through Vertical Angle (70) (Through Max. Cd.)

LUMINAIRE CLASSIFICATION SYSTEM (LCS) GRAPH



Luminaire Lumens:
Front: Low=740.0, Medium=3496.1, High= 3068.0, Very High=35.1
Back: Low=744.9, Medium=2170.8, High=925.8, Very High=30.1
Uplight: Low=0.0, High=0.0

BUG Rating : B2-U0-G2

Job:
Type:
Notes:

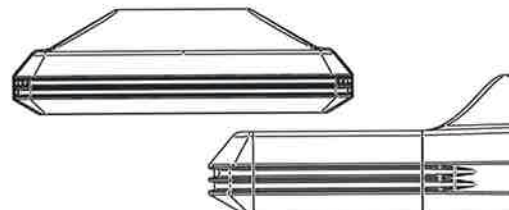
FAIRFIELD INN
TYPE WP

120 Line LED

Page 1 of 3

122 SlenderForm Sconce Including Motion Response

Philips Gardco 122 SlenderForm high performance LED sconces are designed to integrate naturally to wall surfaces while providing the distinct SlenderForm look. Available with three (3) different distribution patterns, 122 LED sconces provide full cutoff performance (in the normal downlight position.) Luminaires feature advanced LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 122 LED luminaires are also available with Automatic Profile Dimming, automatically increasing savings by an additional 33%, and with Motion Response for maximized energy savings.



PREFIX	DISTRIBUTION	LED WATTAGE	LED SELECTION	VOLTAGE	FINISH	OPTIONS

Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX

- 122-CWL** SlenderForm LED Sconce - Constant Wattage / Full Light Output
- 122-DIM¹** SlenderForm LED Sconce - 0 - 10V Dimming (Control system by others.)
- 122-APD¹** SlenderForm LED Sconce with Automatic Profile Dimming
- 122-MR¹** SlenderForm LED Sconce with Motion Response

DISTRIBUTION

- 2** Type II Wide Throw Optic, featuring Maximized Lateral Throw
- 3** Type III Preferred Wide Throw Optic, featuring Improved Forward Throw
- 4** Type IV Maximized Forward Throw Optic

¹. Available 120V through 277V (UNIV) only.

See page 3 for more detailed luminaire configuration information.

APR 19 2016
ACTION

LED WATTAGE AND LUMEN VALUES

Ordering Code	Average System Watts ²	LED Current (mA)	LED Selection	Luminaire Initial Absolute Lumens ³		
				TYPE 2	TYPE 3	TYPE 4
35LA	33	350	NW	3,664	3,736	3,523
55LA	50	530	NW	5,587	5,685	5,365
75LA	70	700	NW	6,199	6,538	6,296

². Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.

³. Tests are in process for luminaires with the DL option, CW and WW luminaires. Contact OutdoorLighting.applications@philips.com if any approximate estimates are required for design purposes. Lumen values based on tests performed in compliance with IESNA LM-79.

LED SELECTION

- CW** Cool White - 5700°K - 75 CRI
- NW** Neutral White - 4000°K - 70 CRI
- WW** Warm White - 3000°K - 80 CRI

VOLTAGE

- 120** 120V through 277V, 50hz or 60hz
- 208** 347V through 480V, 50hz or 60hz
- 240** (Available in 122CWL - 75LA only.)
- 277**
- 347**
- 480**



PHILIPS



122 SlenderForm Sconce Including Motion Response

FINISH

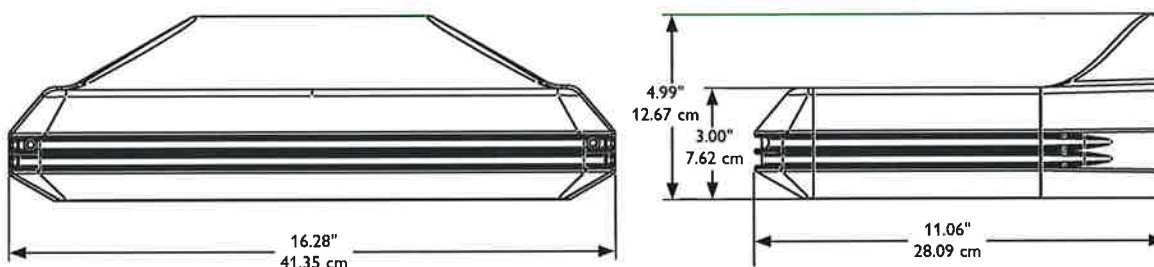
BRP	Bronze Paint
BLP	Black Paint
WP	White Paint
NP	Natural Aluminum Paint
BGP	Beige Paint
OC	Optional Color Paint Specify Optional Color or RAL ex: OC-LGP or OC-RAL7024.
SC	Special Paint Specify. Must supply color chip.

OPTIONS

F⁴	Fusing
PCB^{4,5}	Button Type Photocontrol
DL	Diffusing Lens (<i>reduces performance significantly</i>)
WS⁶	Wall Mounted Box for Surface Conduit

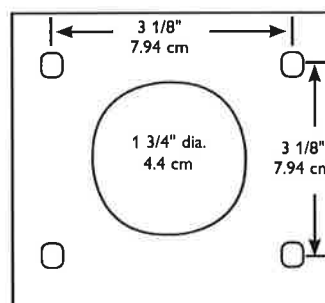
4. Specify input voltage.
5. Not Available in 480V.
6. Rear entry permitted.

DIMENSIONS



Approximate Luminaire Weight: 18 lbs (8.17 kg)

Mounting Plate



Mounting Bolt Pattern

Note: Mounting plate center is located in the center of the luminaire width. Splices must be made in the J-box (by others). Mounting plate must be secured by max. 5/16" (.79cm) diameter bolts (by others) structurally to the wall.

122 SlenderForm Sconce Including Motion Response

LUMINAIRE CONFIGURATION INFORMATION

122-CWL: Philips Gardco performance LED sconce providing constant wattage and constant light output when power to the luminaire is energized.

122-DIM: Philips Gardco performance LED sconce provided with 0 -10V dimming for connection to a control system provided by others.

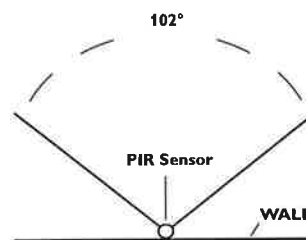
122-APD: Philips Gardco performance LED sconces with Automatic Profile Dimming are provided with a programmed LED Driver included. The LED driver is factory programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously calculated by the LED driver based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point. See APD Dimming Profile below.

122-MR: 122 LED sconce including a passive infrared (PIR) motion sensor capable of detecting motion within 30 feet of the 121 LED Sconce. The PIR sensor is mounted in the center of the luminaire, near the wall edge of the door frame, approximately 1.5" forward from the wall, and is less than .75" in diameter. When no motion is detected for 5 minutes, the Motion Response system reduces the power and light output by 75%, to 25%. When motion is detected by the PIR, the luminaire returns to full wattage and full light output. The PIR sensor is capable of motion detection across a total angle of 102° from the center of the sensor (51° to either side of center.) The sensor may be adjusted directionally to maximize detection of motion to one side of the luminaire if desired based on site traffic patterns. PIR sensor provided is the Panasonic EKMB1203112. If the PIR sensor fails, the luminaire will operate in default-high mode. Motion sensors utilized consume 0.0 watts in the off state. See the Sensor Coverage Pattern below.

APD Dimming Profile



Sensor Coverage Pattern



SPECIFICATIONS

GENERAL: Philips Gardco 122 SlenderForm high performance LED sconces are designed to integrate naturally to wall surfaces while providing the distinct SlenderForm look. Available with three (3) different distribution patterns, 122 LED sconces provide full cutoff performance (in the normal downlight position.) Luminaires feature advanced LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. Surge protector standard. 10KA per AN SI/IEEE C62.41.2.

THERMAL MANAGEMENT: Philips Gardco 122 LED luminaires utilize integral aluminum thermal radiation fins to provide the excellent thermal management so critical to long LED system life.

LED RELIABILITY:

PREDICTED LUMEN DEPRECIATION DATA		
Ambient Temperature °C	LED Wattage / Driver mA	L ₇₀ Hours ⁸
25 °C	35LA / 350 mA	180,000
	55LA / 530 mA	125,000
	75LA / 700 mA	90,000
40 °C	35LA / 350 mA	175,000
	55LA / 530 mA	120,000
	75LA / 700 mA	85,000

8. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on tests performed using IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output.

OPTICAL SYSTEMS: Philips Gardco 122 LED luminaires utilize LED arrays set to achieve IES Type II, Type III, and Type IV distributions. Individual LED arrays are replaceable. Luminaires feature high performance Class 1 LED systems.

HOUSING: Housings are die cast aluminum. A memory retentive gasket seals the housing to the door frame to exclude moisture, dust, insects and pollutants from the optical system. A black, die cast ribbed backplate dissipates heat for longer system life.

DOOR FRAME: A single-piece die cast aluminum door frame integrates to the housing form. The door frame is hinged closed and secured to the housing with captive stainless steel fasteners. The heat and impact resistant 1/8" (.32cm) tempered glass lens and one-piece gasket are mechanically secured to the door frame with galvanized steel retainers.

IP RATING: Luminaires are rated IP66.

FINISH: Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidic isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors are as listed. Consult factory for specs on custom colors.

LABELS: All luminaires bear UL or CUL (where applicable) labels. Lens down application is Wet Location and lens up is Damp Location.

WARRANTY: Philips Gardco LED luminaires feature a 5 year limited warranty, including a 5 year limited warranty covering the LED arrays and LED drivers. See Warranty Information on www.sitelighting.com for complete details and exclusions. Polycarbonate lenses carry a 1 year warranty only.

FULL CUTOFF PERFORMANCE: Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle at or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.



© 2014 Koninklijke Philips N.V. All rights reserved.

Philips reserves the right to make changes in specifications and/or to discontinue any product at any time without notice or obligation and will not be liable for any consequences resulting from the use of this publication.

Philips Lighting
North America Corporation
200 Franklin Square Drive
Somerset, NJ 08873
Tel. 855-486-2216

Imported by: Philips Lighting,
A division of Philips Electronics Ltd.
281 Hillmount Rd,
Markham, ON, Canada L6C 2S3
Tel. 800-668-9008



IES ROAD REPORT
PHOTOMETRIC FILENAME : 122-4-55LA-NW.IES

DESCRIPTIVE INFORMATION (From Photometric File)

IESNA:LM-63-2002
[TEST] LRP0551C
[TESTLAB] PHILIPS Lighting - San Marcos
[ISSUEDATE] 1/9/2013
[MANUFAC] PHILIPS GARDCO
[LUMCAT] 122L-4-55LA-NW
[LUMINAIRE] 122 SlenderForm LED Sconce
[LAMP] (1) LIGHT ARRAY OF 32 LEDs DRIVEN AT 530mA
[OTHER] DATA SHOWN IS ABSOLUTE PHOTOMETRY AT RATED INPUT
[OTHER] 4090 ABSOLUTE LUMENS DELIVERED
[OTHER] TESTED IN COMPLIANCE WITH LM-79-08 PROCEDURES

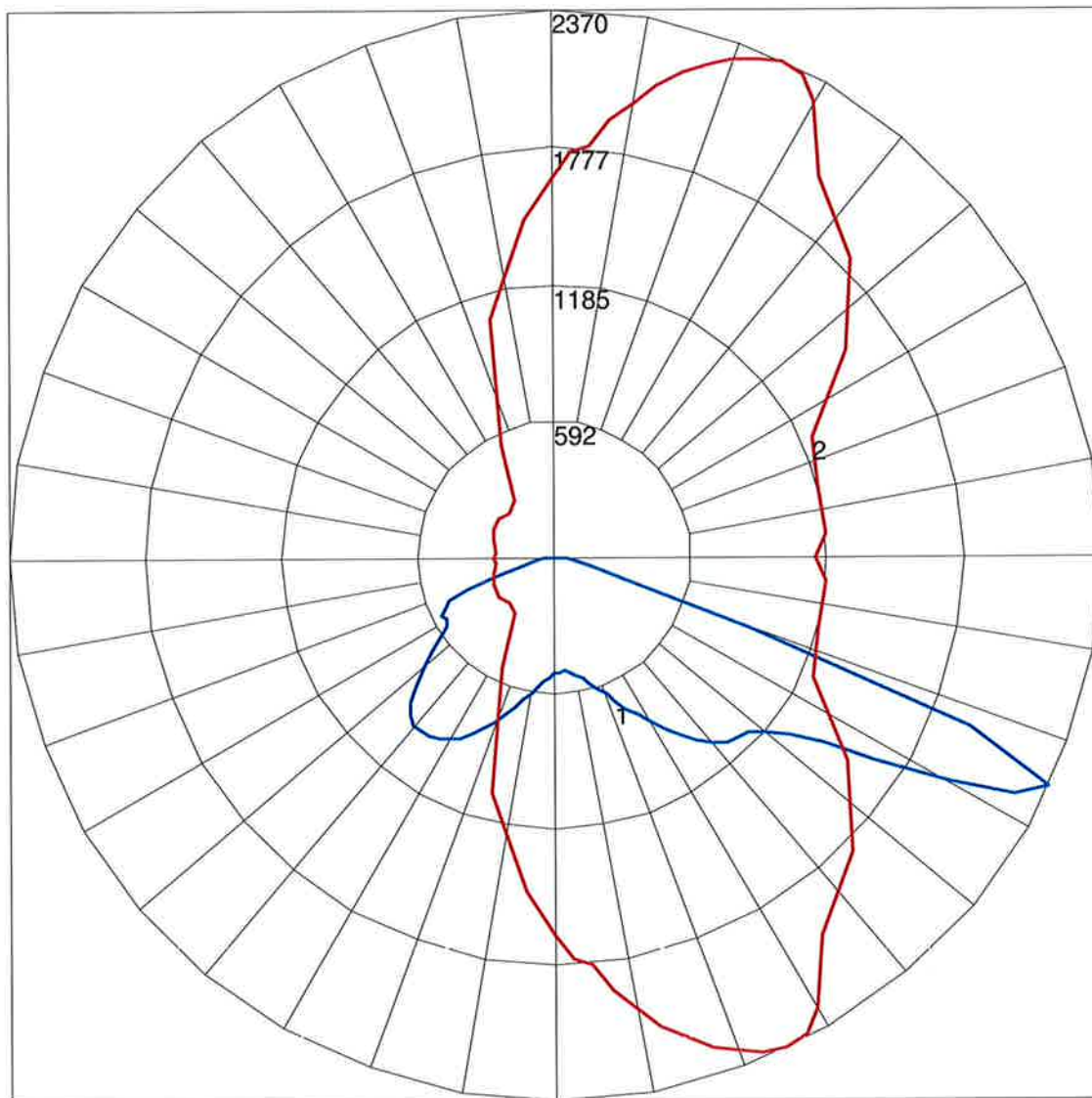
CHARACTERISTICS

IES Classification	Type IV
Longitudinal Classification	Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	4090
Downward Total Efficiency	N.A. (absolute)
Total Luminaire Efficiency	N.A. (absolute)
Luminaire Efficacy Rating (LER)	82
Total Luminaire Watts	50
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Maximum Candela	2369.896
Maximum Candela Angle	65H 65V
Maximum Candela (<90 Degrees Vertical)	2369.896
Maximum Candela Angle (<90 Degrees Vertical)	65H 65V
Maximum Candela At 90 Degrees Vertical	0 (0.0% Luminaire Lumens)
Maximum Candela from 80 to <90 Degrees Vertical	118.284 (2.9% Luminaire Lumens)
Cutoff Classification (deprecated)	N.A. (absolute)

LUMINAIRE CLASSIFICATION SYSTEM (LCS)

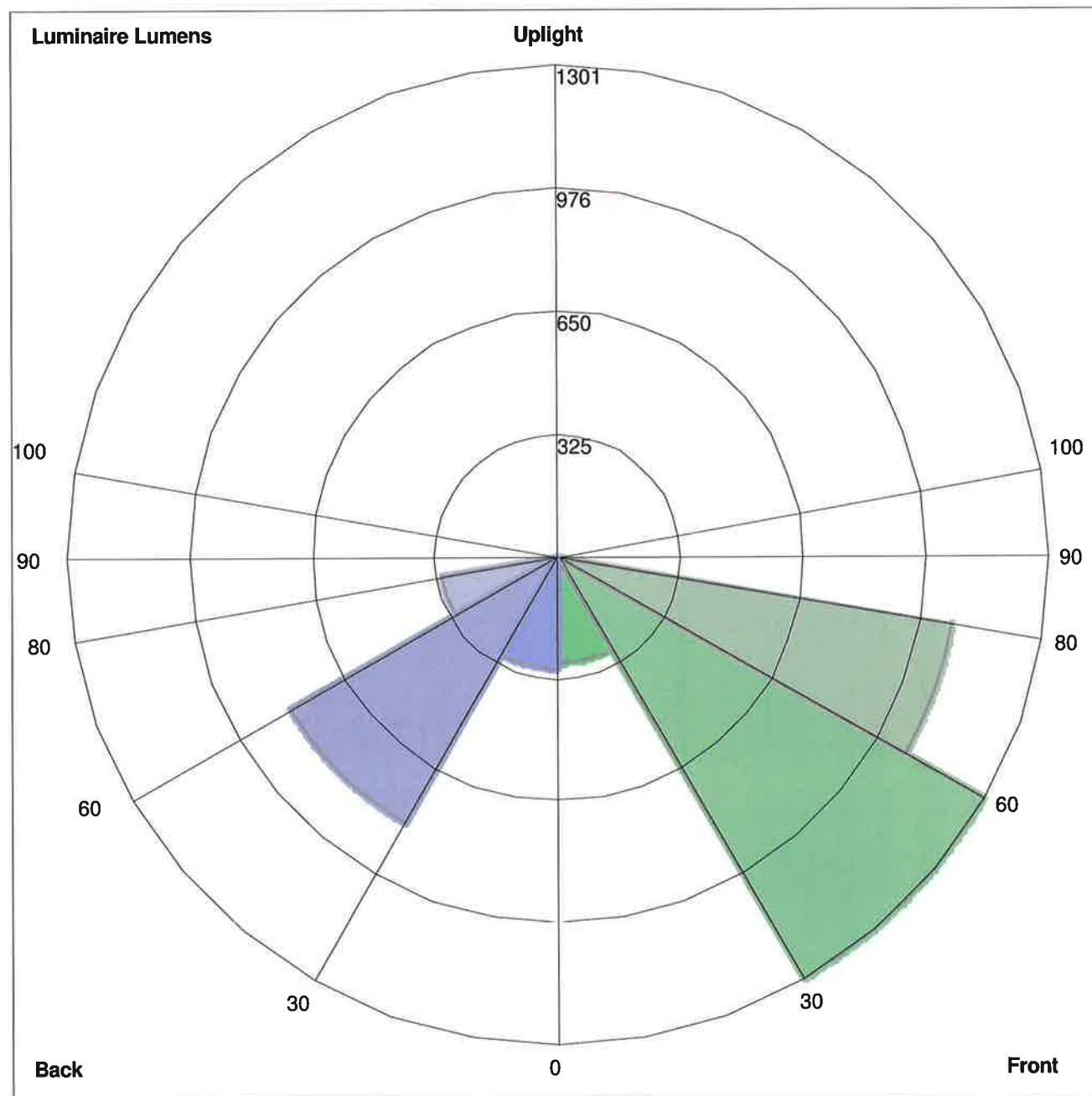
	Lumens	% Lamp	% Luminaire
FL - Front-Low (0-30)	283.9	N.A.	6.9
FM - Front-Medium (30-60)	1300.7	N.A.	31.8
FH - Front-High (60-80)	1061.7	N.A.	26.0
FVH - Front-Very High (80-90)	10.2	N.A.	0.2
BL - Back-Low (0-30)	298.4	N.A.	7.3
BM - Back-Medium (30-60)	815.9	N.A.	19.9
BH - Back-High (60-80)	311.2	N.A.	7.6
BVH - Back-Very High (80-90)	8.2	N.A.	0.2
UL - Uplight-Low (90-100)	0.0	N.A.	0.0
UH - Uplight-High (100-180)	0.0	N.A.	0.0
Total	4090.2	N.A.	100.0
BUG Rating	B1-U0-G1		

POLAR GRAPH



Maximum Candela = 2369.896 Located At Horizontal Angle = 65, Vertical Angle = 65
1 - Vertical Plane Through Horizontal Angles (65 - 245) (Through Max. Cd.)
2 - Horizontal Cone Through Vertical Angle (65) (Through Max. Cd.)

LUMINAIRE CLASSIFICATION SYSTEM (LCS) GRAPH



Luminaire Lumens:
Front: Low=283.9, Medium=1300.7, High=1061.7, Very High=10.2
Back: Low=298.4, Medium=815.9, High=311.2, Very High=8.2
Uplight: Low=0.0, High=0.0

BUG Rating : B1-U0-G1