



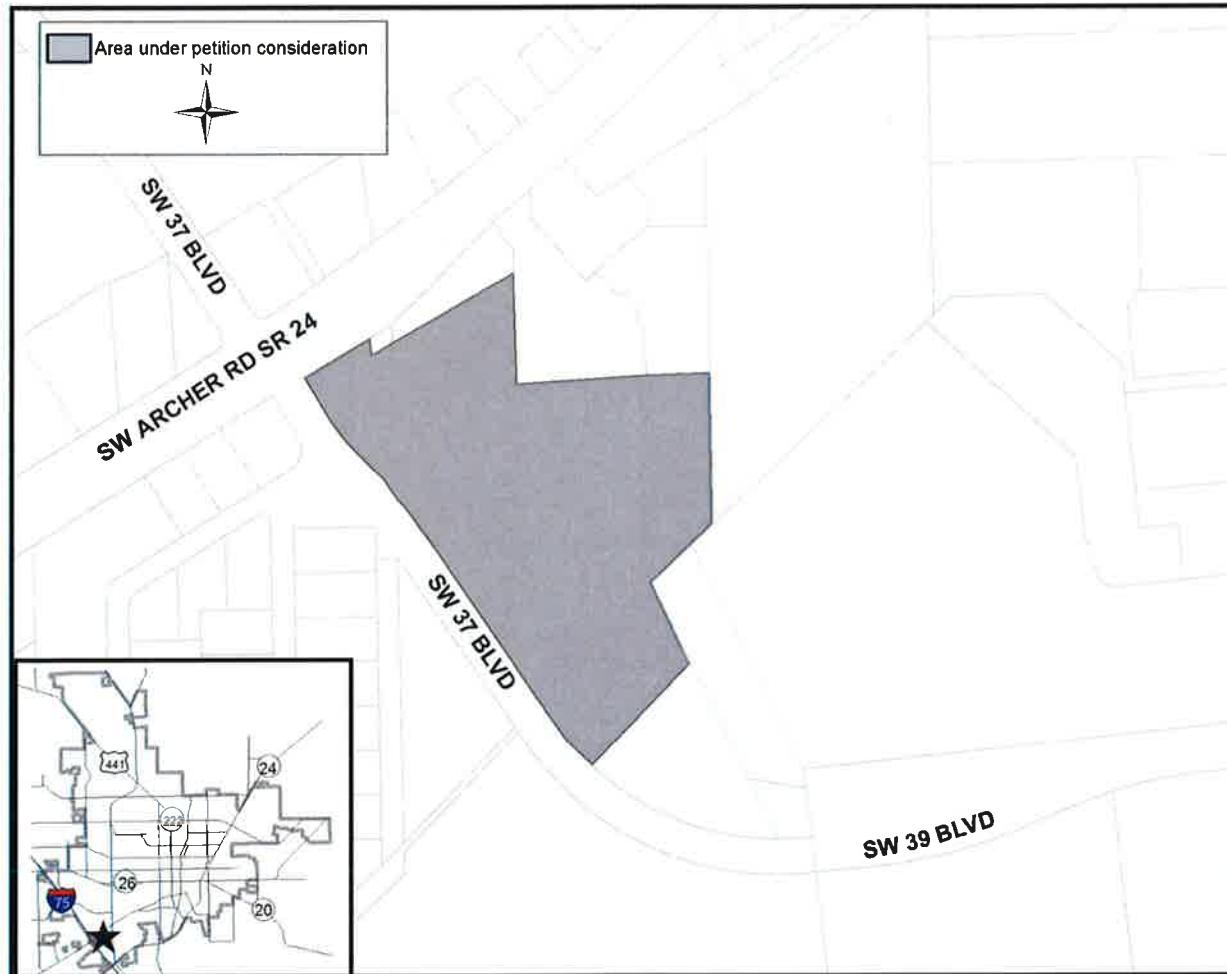
PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
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**TO:** City Plan Board **Item Number:** 2  
**FROM:** Planning & Development Services **DATE:** May 26, 2016  
**Department Staff**  
**SUBJECT:** Petition PB-16-39 SUP. eda engineers-surveyors-planners, inc., agent for Prairie View Trust, owner. Special use permit with major development plan review to allow the construction of a hotel. Zoned MU-1 (8-30 units/acre mixed use low intensity). Located at 3989 SW 37<sup>th</sup> Boulevard.

### Recommendation

Approve this petition, subject to the conditions and recommendations in this staff report and Appendix E.



## Description

This is a request for a Special Use Permit (SUP) to construct a five-story hotel. Hotels are permitted by Special Use Permit within the MU-1(8-30 units/acre mixed use low intensity) zoning district (see Exhibit B-1). The proposed hotel will provide 114 guest rooms. Other proposed amenities include an outdoor pool, off-street parking, lighting, sidewalks, landscape material and stormwater facilities.

The development site consists of two (2) adjoining tax parcels: Tax Parcel No. 7240-046-000 and Tax Parcel No. 6809-000-000. It consists of 13.56 acres of wooded land that contains wetlands. Archer Road (SR 24) is located to the north. SW 37<sup>th</sup> Boulevard abuts on the west. Residential and commercial land uses are adjacent to remaining portions of the development site.

The hotel is proposed on the portion of the development site that has an MU-1 zoning designation and an MUL (Mixed-Use Low-Intensity: 8-30 units per acre) land use designation. This land use designation allows a mixture of residential and non-residential uses to serve the surrounding area (see Exhibit A-1). Tax parcels that abut the development site have multi-family residential and commercial land use designations.

The development site and proposed improvements are illustrated in Appendix F on an associated development plan. Copies of other documents (e.g., development applications and neighborhood workshop documents) are also provided in the appendices of this report.

## Key Issues

1. The applicant has requested two (2) waivers from the City's lighting requirements in Sec. 30-344 of the City Land Development Code. The first waiver is to allow the use of light poles within the proposed parking lot that are thirty (30) feet in height, as opposed to the maximum fifteen (15) feet allowed in Sec. 30-344 (e)(4)(d)(2) within 75 feet of property that contains a residential zoning district classification. The second waiver is to allow an average horizontal illuminance above 1.0 foot-candles, and a maximum uniformity ratio above 10:1, within 75 feet of property that contains a residential zoning district classification. The applicant is requesting the board-approved waivers on the basis that the light trespass on the property with a residential zoning classification will not exceed the maximum 0.5 foot-candles allowed. Abutting properties on the south and east have a residential zoning classification. (See Appendix F).

## Basis for Recommendation

The staff recommendation is based upon the review criteria for issuance of a Special Use Permit (SUP) in Article VII, Division 5 (see Exhibit B-2) of the Land Development Code (LDC). The criteria also take into consideration the requirements of the Comprehensive Plan and other sections of the LDC. The City Plan Board must use the criteria to make findings concerning the SUP to ensure that the design, location, and methods of operation of the proposed use and development conform to these requirements. Staff's findings on whether the proposed use and

development meet these requirements are provided in the remaining sections of this staff report and the City Technical Review Committee comments and recommendations in Appendix E.

**Land Development Code, Sec. 30-233, Special Use Permit Criteria:**

- 1. That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.** The City Technical Review Committee finds the proposed use and development approvable, subject to the approval of the associated development plan and the adoption of the conditions and recommendations provided in this staff report and Appendix E. Among the inconsistencies noted are variations from the City's lighting requirements that require board approval.

**CONDITION 1: APPROVAL OF THE SPECIAL USE PERMIT SHALL BE SUBJECT TO THE APPROVAL OF THE ASSOCIATED DEVELOPMENT PLAN AND THE ADOPTION OF THE CONDITIONS PROVIDED IN THIS STAFF REPORT AND APPENDIX E.**

**CONDITION 2: MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS THAT ARE APPROVED AS PART OF THE SPECIAL USE PERMIT SHALL NOT RESULT IN FURTHER MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS WITHOUT OBTAINING A SPECIAL USE PERMIT AMENDMENT AND CITY PLAN BOARD APPROVAL.**

- 2. That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.** The City Technical Review Committee finds the proposed use and development in general compatibility and harmony with the uses and structures on adjacent and nearby properties, subject to the adoption of the conditions and recommendations provided in this staff report and Appendix E. General compatibility and harmony with adjacent and nearby properties is also expected to be achieved through the enforcement of Code requirements, such as building setbacks, parking, lighting and general performance standards.

The MU-1 zoning district is designed to offer a mixture of uses in close proximity to each other in order to encourage pedestrian access and reduce the length and number of vehicular trips. The proposed use and development are in keeping with the purpose of the MU-1 zoning district by providing 114 rooms and other amenities to accommodate guests wishing to lodge near other uses in the general area, such as Sonny's Restaurant, Butler Plaza and residential developments.

- 3. That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.** Comments from Gainesville Regional Utilities (GRU) in Appendix E indicate the proposed use and development are approvable, subject to conditions.

4. **That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.** Comments from the City Technical Review Committee in Appendix E indicate the proposed use and development are approvable with conditions. The applicant has been required to prepare a traffic study and pay fees to mitigate traffic impacts. Comments from the Public Works Department indicate no operational or safety concerns.
5. **That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.** The City Technical Review Committee finds the proposed use and structure to be in compliance with the City's screening and buffer requirements, except as indicated in Appendix E. Due to recent modifications to the Code that eliminated the requirement to have a fence or wall between residential and non-residential uses, staff also recommends that a minimum 6-foot high opaque fence or wall be added along the southern boundary of the development site, where the applicant does not provide a required 9-foot wide landscape buffer consistently along the perimeter of the proposed parking area. Sec. 30-252 (1) d. allows the board to modify this minimum requirement when there is an unresolvable conflict between other elements on the development site, such as the wetland buffers to the north and east of the proposed parking area.

**CONDITION 3: AN OPAQUE FENCE OR WALL, AT LEAST SIX (6) FEET IN HEIGHT, SHALL BE CONSTRUCTED ALONG THE SOUTHERN BOUNDARY OF THE DEVELOPMENT SITE, EXCLUDING THE INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT. THE COLOR AND EXTERIOR FINISH ON THE FENCE OR WALL SHALL MATCH THE COLOR AND EXTERIOR FINISH ON THE PRINCIPAL BUILDING(S) LOCATED ON THE SUBJECT PROPERTY.**

**That the use or development conforms to the general plans of the city as embodied in the city comprehensive plan.** The City Technical Review Committee finds the proposed use and development to be consistent with the applicable policies of the Comprehensive Plan and Land Development Code, except as noted in the staff report and Appendix E. The MUL land use and MU-1 zoning designations are designed to allow a mixture of uses in close proximity to each other in order to encourage pedestrian access and reduce the length and number of vehicular trips. The proposed use and development are in keeping with these designations by providing 114 rooms and other amenities to accommodate hotel guests wishing to lodge near other uses in the general area, such as Sonny's Restaurant, Butler Plaza and residential developments.

6. **The proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in Article III, Division 2 and the development complies with the transportation mobility requirements as stated in**

**the Transportation Mobility Element of the City's Comprehensive Plan.** The proposed use and development are located within Zone C of the City's Transportation Mobility Program Area (TMPA). They have been found approvable, subject to the applicant signing a TMPA Agreement and complying with Transportation Mobility Element Policy 10.1.7 (See Exhibit A-2). Compliance with the City's level of service standards for stormwater management are addressed by the City's Public Works Department, whose comments indicate the proposed use and development are approvable with conditions in Appendix E.

## **Findings**

The City Technical Review Committee (TRC) finds this request for a Special Use Permit (SUP) approvable, subject to the adoption of the conditions and recommendations in this staff report and Appendix E. If approved, the SUP is valid for a period of one (1) year from the date of City Plan Board approval. Prior to the expiration of this one year period, the applicant must obtain a final development order for the associated development plan and obtain a valid building permit. Failure to comply with these requirements shall cause the approved SUP to become null and void unless, prior to the expiration date of the SUP, a request for an extension is approved. A request to extend the SUP must be made through the City Planning Division prior to the expiration date.

## **Development Plan Review**

In addition to receiving an approved Special Use Permit (SUP), the applicant must also receive preliminary approval of the associated development plan from the City Plan Board and final development plan approval from the City Technical Review Committee (TRC). A copy of the associated development plan is provided in Appendix F.

A copy of a letter addressing the City's General Performance Standards in Section 30-345 of the City's Land Development Code is provided in Appendix C. Copies of the development applications and documents discussing a neighborhood workshop are provided in Appendix D.

## **Conditions**

**CONDITION 1: APPROVAL OF THE SPECIAL USE PERMIT SHALL BE SUBJECT TO THE APPROVAL OF THE ASSOCIATED DEVELOPMENT PLAN AND THE ADOPTION OF THE CONDITIONS AND RECOMMENDATIONS PROVIDED IN THIS STAFF REPORT AND APPENDIX E.**

**CONDITION 2: MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS THAT ARE APPROVED AS PART OF THE SPECIAL USE PERMIT SHALL NOT RESULT IN FURTHER MODIFICATIONS TO THE CITY'S LIGHTING REQUIREMENTS WITHOUT OBTAINING A SPECIAL USE PERMIT AMENDMENT AND CITY PLAN BOARD APPROVAL.**

**CONDITION 3: AN OPAQUE FENCE OR WALL, AT LEAST SIX (6) FEET IN HEIGHT, SHALL BE CONSTRUCTED ALONG THE SOUTHERN**

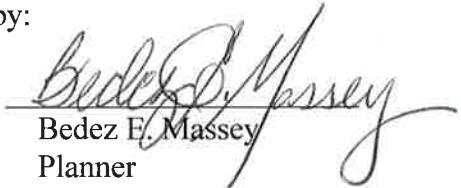
**BOUNDARY OF THE DEVELOPMENT SITE, EXCLUDING THE  
INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT. THE COLOR  
AND EXTERIOR FINISH ON THE FENCE OR WALL SHALL MATCH THE  
COLOR AND EXTERIOR FINISH ON THE PRINCIPAL BUILDING(S)  
LOCATED ON THE SUBJECT PROPERTY.**

Respectfully submitted,



Ralph Hilliard,  
Planning Manager

Prepared by:



Bedez E. Massey  
Planner

**Table 1**

**Adjacent Existing Uses**

North	Commercial
South	Daycare/Multi-family residential
East	Multi-family residential
West	Commercial/Multi-family residential

**Table 2**

**Adjacent Zoning and Land Use**

	<b>Land Use Category</b>	<b>Zoning Category</b>
North	Commercial / Planned Use District (Butler Plaza)	General business district (BUS) / Planned Development District (Butler Plaza)
South	Residential Medium –Density (8-30 units per acre)	Multi-family medium density residential (RMF-8)
East	Residential Medium –Density (8-30 units per acre)	Multi-family medium density residential (RMF-8)
West	Mixed-Use Low/ Residential Medium –Density (8-30 units per acre) / Commercial	Mixed use low intensity district (MU-1) / General business district (BUS) / Multi-family medium density residential (RMF-8)

**List of Appendices**

**Appendix A Comprehensive Plan Goals, Objectives and Policies**

Exhibit A-1: Future Land Use Element, Policy 4.1.1

Exhibit A-2: Transportation Mobility Element, Policy 10.1.7

**Appendix B Land Development Code**

Exhibit B-1: Article IV. Sec. 30-64. Mixed use low intensity district (MU-1)

Exhibit B-2: Article VII. Division 5. SPECIAL USE PERMIT

**Appendix C Supplemental Documents**

Exhibit C-1: General Performance Standards Letter

**Appendix D Applications and Neighborhood Workshop Documents**

**Appendix E Technical Review Committee Conditions**

**Appendix F Development Plan**

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## **Appendix A**

### **Comprehensive Plan Goals, Objectives and Policies**



populations and appropriate community level institutional facilities such as places of religious assembly, public and private schools other than institutions of higher learning, and libraries. Land development regulations shall allow home occupations within certain limitations.

#### **Mixed-Use Residential (up to 75 units per acre)**

This residential district provides for a mixture of residential and office uses. Office uses that are complementary to and secondary to the residential character of the district may be allowed. An essential component of the district is orientation of structures to the street and the pedestrian character of the area. Office uses located within this district should be scaled to serve the immediate neighborhood and pedestrians from surrounding neighborhoods and institutions. Land development regulations shall set the district size; appropriate densities (up to 75 dwelling units per acre); the distribution of uses; appropriate floor area ratios; design criteria; landscaping, pedestrian, transit, and bicycle access; and street lighting. Land development regulations shall specify the criteria for the siting of public and private schools, places of religious assembly and community facilities within this category when designed in a manner compatible with the adoption of a Special Area Plan for that area. The intensity of office use cannot exceed 10 percent of the total residential floor area per development.

#### **Mixed-Use Low-Intensity (8-30 units per acre)**

This category allows a mixture of residential and non-residential uses such as standard lot single-family houses, small-lot single-family houses, duplex houses, townhouses (attached housing), accessory dwelling units, group homes, multi-family housing (if compatible in scale and character with other dwellings in the proposed neighborhood), offices scaled to serve the surrounding neighborhood, retail scaled to serve the surrounding neighborhood, public and private schools, places of religious assembly and other community civic uses, and traditional neighborhoods on sites 16 acres or larger in conformance with the adopted Traditional Neighborhood Development (TND) ordinance. Residential development shall be limited to 8 to 30 units per acres. Lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. Intensity will be controlled, in part, by adopting land development regulations that establish height limits of 5 stories or less; however, height may be increased to a maximum of 8 stories by special use permit. Land development regulations shall establish the thresholds for the percentage of mixed uses for new development or redevelopment of sites 10 acres or larger. At a minimum, the land development regulations shall encourage that: at least 10 percent of the floor area of new development or redevelopment of such sites be residential; or, that the surrounding area of equal or greater size than the development or redevelopment site, and within 1/4 mile of the site, have a residential density of at least 6 units per acre. Residential use shall not be a required development component for public and private schools, institutions of higher learning, places of religious assembly and other community civic uses. Buildings in this category shall face the street and have modest (or no) front setbacks.

This category shall not be used to extend strip commercial development along a street. Land development regulations shall ensure a compact, pedestrian-friendly environment for these areas, and provide guidelines or standards for the compatibility of permitted uses.



- u. Construction of access to transit stops and/or construction of transit boarding and alighting areas.
- v. Business operations shown to have limited or no peak-hour roadway impact.
- w. An innovative transportation-mobility-related modification submitted by the developer, where acceptable to and approved by the City.

**Policy 10.1.7** For any development or redevelopment within Zone C, the developer shall, at the developer's expense, meet the following transportation mobility criteria based on the development's (including all phases) trip generation and proportional impact on transportation mobility needs. The criteria chosen shall relate to the particular development site and the transportation mobility conditions and priorities in the zone, adjacent zones, and/or citywide for criteria that benefit the overall transportation system. Based on cost estimates provided by the developer and verified by the City, the City shall have the discretion to count individual criteria as equivalent to two or more criteria for purposes of satisfying transportation mobility requirements. Provision of the required transportation mobility criteria shall be subject to final approval by the City during the development review process and shall be memorialized in a TMPA agreement between the City and the developer.

<b>Net, New Average Daily Trip Generation</b>	<b>Number of Criteria That Shall Be Met</b>
50 or less	At least 1
51 to 100	At least 3
101 to 400	At least 4.5
401 to 1,000	At least 7.5
1,001 to 5,000	At least 12
Greater than 5,000	At least 18 and meet either a. or b.: <ul style="list-style-type: none"><li>a. Located on an existing RTS transit route with minimum 15-minute frequencies in the a.m. and p.m. peak hours.</li><li>b. Provide funding for a new RTS transit route with minimum 15-minute frequencies in the a.m. and p.m. peak hours or provide funding to improve RTS transit headways to minimum 15-minute frequencies in the a.m. and p.m. peak hours. Funding for new routes shall include capital and operating costs for a minimum of 5 years. Funding for existing route expansions or enhancements shall include capital and operating costs for a minimum of 3 years.</li></ul>



## Zone C Criteria

- a. Roadway projects that will provide a more interconnected transportation network in the area and/or provide alternate routes to reduce congestion and pressure on arterials. All roadway projects shall include bicycle and pedestrian facilities. Projects may be located outside of Zone C if demonstrated to be a direct benefit to the transportation system in Zone C. Projects may include, but shall not be limited to, the following:
  1. extension of SW 40th Boulevard to connect from its terminus south of Archer Road to SW 47th Avenue;
  2. extension of SW 47th Avenue to connect from its terminus east and south to Williston Road;
  3. extension of streets, deeding of land, and/or easements to create a more gridded network and provide connectivity in redevelopment areas; and
  4. extension of SW 40th Place from SW 27th Street to SW 47<sup>th</sup> Avenue.
- b. Deeding of land for right-of-way and/or construction of roadway extensions to City specifications. Prior to deeding land for right-of-way, the developer and the City must agree upon the fair market value of the land for the purposes of meeting this criterion. The developer may submit an appraisal to the City to establish fair market value, subject to review and approval by the City.
- c. Use of joint driveways or cross-access connections to reduce curb cuts.
- d. Intersection and/or signalization modifications to address congestion management, including, but not limited to: signal timing studies, fiber optic inter-connection for traffic signals, roundabouts, OPTICOM signal preemption, and/or implementation of elements of the Gainesville Traffic Signalization Master Plan. Implementation of the Master Plan includes installation of Intelligent Transportation System (ITS) features such as state of the art traffic signal controllers, dynamic message signs, transit signal prioritization, and traffic monitoring cameras designed to maximize the efficiency of the roadway network by reducing congestion and delay.
- e. Participation in a transportation demand management program that provides funding or incentives for transportation modes other than single occupant vehicle. Such demand management programs shall provide annual reports of operations to the City indicating successes in reducing single occupant vehicle trips.
- f. Design and/or construction studies/plans for projects such as planned roundabouts, road connections, sidewalk systems, and/or bike trails.
- g. Provision of matching funds for transit or other transportation mobility-related grants.
- h. Construction of bicycle and/or pedestrian facilities/trails to City specifications. This may include provision of bicycle parking at bus shelters or Transit Hubs (as shown on the Existing Transit Hubs & Transit Supportive Areas Map) or deeding of land for the



addition and construction of bicycle lanes or trails. Prior to deeding land for right-of-way, the developer and the City must agree upon the fair market value of the land for the purposes of meeting this criterion. The developer may submit an appraisal to the City to establish fair market value, subject to review and approval by the City.

- i. Funding of streetscaping/landscaping on public rights-of-way or medians, as coordinated with the implementation of the City's streetscaping plans.
- j. Pedestrian-scale lighting in priority areas, including:
  - 1. SW 35th Place;
  - 2. SW 37th/39th Blvd.;
  - 3. SW 23rd Terrace; and
  - 4. Williston Road.
- k. Construction of public sidewalks where they do not currently exist or completion of sidewalk connectivity projects. Sidewalk construction required to meet Land Development Code requirements along property frontages shall not count as meeting TMPA criteria.
- l. Payments to RTS that either increase service frequency or add additional transit service, including Express Transit service and/or Bus Rapid Transit, where appropriate.
- m. Funding for the construction of new or expanded transit facilities.
- n. Construction of bus shelters built to City specifications.
- o. Bus shelter lighting using solar technology designed and constructed to City specifications.
- p. Construction of bus turn-out facilities to City specifications.
- q. Construction of access to transit stops and/or construction of transit boarding and alighting areas.
- r. Business operations shown to have limited or no peak-hour roadway impact.
- s. An innovative transportation-mobility-related modification submitted by the developer, where acceptable to and approved by the City.

**Policy 10.1.8** The City establishes the following priority for transportation mobility projects within Zone C and shall collaborate with the Metropolitan Transportation Planning Organization (MTPO) to add these items to the MTPO list of priorities. The City shall also pursue matching grants and other funding sources to complete these projects.

## **Appendix B**

### **Land Development Code**

Sec. 30-64. - Mixed use low intensity district (MU-1).

(a) Purpose. The mixed-use low intensity district is established for the purpose of allowing coordinated developments designed to offer a mixture of residential, convenience-type retail, professional and consumer service uses primarily for residents of mixed-use and adjacent residential neighborhoods, and places of religious assembly. The district is intended to reduce the length and number of vehicular trips by providing for basic needs within close proximity to residential areas, by encouraging pedestrian access, and by the combining of trips. This district is established to allow uses compatible with each other and with surrounding residential areas to be developed near each other. The MU-1 district may be located in areas where analysis of residential characteristics demonstrates that such facilities are required. This district is intended to encourage the development of planned and unified neighborhood shopping centers in a relationship harmonious with adjoining residential activities. It is also intended to accommodate traditional neighborhoods that include nonresidential uses and neighborhood centers.

(b) Objectives. The provisions of this district are intended to:

- (1) Permit compatible commercial, office, service and residential developments that benefit from being located near each other.
- (2) Provide an adequate mix of residential uses including multifamily, townhouse, zero lot line, and detached single-family at urban densities.
- (3) Provide opportunities for the development of compound residential uses.
- (4) Minimize traffic congestion by:
  - a. Requiring that shopping center and/or mixed-use developments be located on appropriate major collector and arterial roadways, as defined in the comprehensive plan;
  - b. Minimizing the number and regulating the location of driveway connections; and
  - c. Encouraging pedestrian and nonautomotive access.
- (5) Ensure, through development plan approval, that nonresidential and mixed-use developments are designed to promote the most efficient use of the land, and that they coordinate the internal activities of the site as well as establish a harmonious relationship between such developments and their environment.
- (6) Require buffering or screening around nonresidential and/or mixed-use development in accordance with the land development code when the development abuts any property zoned for residential use or shown as residential on the future land use map.
- (7) Accommodate neighborhood-level services and retail uses along existing business corridors.
- (8) Coordinate the location and size of mixed-use developments commensurate with the character and density of the areas to be served.
- (9) Allow the market some flexibility in determining locations of new nonresidential development, and the ability to expand such areas in relation to the population densities achieved.
- (10) Encourage nonresidential and/or mixed-use developments to locate on land that is physically capable of supporting the particular type of development.

(c) Permitted uses. See permitted uses listed in subsection (g) of this section pertaining to permitted uses.

(1) Specific conditions for residential uses. If MU-1 zoning abuts a single-family residential zoning district, then the density of the residential portion of the mixed-use development shall be limited to that allowed by the RMF-6 residential district in the area within 100 feet of the property line, plus the required buffers for that single-family residential zoning district. In addition, multi-family development shall comply with all regulations in the RMF-6 district and the requirements of section 30-56.

(2) Specific conditions for single-family compound uses. Twenty-five percent of the total floor area up to 1,000 square feet may be used for commercial or office uses. Such uses shall require a minimum lot size of 6,000 square feet and a lot width of 70 feet and shall have direct or shared access to a collector or arterial roadway.

(d) Specific conditions for neighborhood shopping centers.

(1) Developments of more than 30,000 square feet. There is no minimum size for buildings within the MU-1 zoning district. However, within the MU-1 zoning district, nonresidential developments of more than 30,000 square feet of gross leasable floor area are considered neighborhood shopping centers and are subject to the rights of and conditions for neighborhood shopping centers.

(2) Location. Neighborhood shopping centers shall be located within one-fourth mile of intersections of arterials or intersections of arterials and collectors, as shown on the map entitled Functional Classification of Streets, in the transportation mobility element of the city's comprehensive plan. Such uses shall have direct or shared access to an arterial.

(3) Maximum gross leasable nonresidential floor area. No more than 100,000 square feet of gross leasable nonresidential floorspace shall be allowed within any neighborhood shopping center.

(4) Maximum gross leasable nonresidential floor area in any one business. No more than 50,000 square feet shall be contained in any one business located within a neighborhood shopping center, except MG-54 (food stores).

(5) Dimensional requirements for permitted nonresidential uses. All principal and accessory structures shall be located and constructed in accordance with the following requirements:

- a. Required yard setbacks:
  1. Minimum front: 20 feet.
  2. Maximum front: 80 feet.
  3. Where the side or rear yard abuts property which is in a residential zoning district, or is shown for residential use on the future land use map of the comprehensive plan, the minimum setback shall be 50 feet or the distance created by the 45 degree angle of light obstruction, whichever is greater.

(6) Multiple structures. The use of multiple structures shall be considered on a case-by-case basis during development plan approval. Approval shall be conditioned upon findings by the appropriate reviewing board that all such structures are compatible with the uses and purposes of the center and surrounding uses and traffic patterns and are safely incorporated into the overall transportation system for the center.

(7) Outparcels. The proliferation of outparcels contributes to strip commercial development, traffic circulation problems and visual clutter, and obstructs pedestrian and bicycle movement. To mitigate the problems associated with outparcels, the following regulations shall apply:

- a. Creation and design. The creation of outparcels shall be considered on a case-by-case basis during subdivision, lot split approval or development plan approval. Approval shall be conditioned upon findings by the appropriate reviewing board or staff, as applicable, that the neighborhood shopping center and all outparcels are integrated through the use of landscaping and buffers; shared parking, traffic access and circulation; and stormwater management.
- b. Dimensional requirements for outparcels. Outparcels which have unified circulation systems with the adjoining neighborhood shopping center shall not be required to meet the minimum lot area, width and depth requirements; however, development on outparcels

shall be required to meet yard setback, lot coverage and building height requirements for the MU-1 district.

(8) Access.

- a. Vehicular access. Access to the neighborhood shopping center shall be in accordance with the provisions of article IX, division 3, and chapter 23 of the Code of Ordinances. Parking areas, including maneuvering space, ingress and egress roads and driving lanes, shall be improved in accordance with the provisions of article IX, division 3, and chapter 23 of the Code of Ordinances. All loading and unloading shall be done on the neighborhood shopping center property. Areas used by motor vehicles shall be physically separated from public streets by landscaped buffer areas.
- b. Bicycle, greenway and pedestrian access. Provisions shall be made to safely incorporate travel ways for bicycle and pedestrian usage into any neighborhood shopping center project. Where bikeways, greenways or sidewalks are presently adjoining the property, provisions shall be made to safely link the internal bicycle and pedestrian system with adjoining facilities. During development plan review, the appropriate reviewing board shall also review the relationship of the neighborhood shopping center to adjoining properties and may require appropriate access for bicycles or pedestrians at locations where vehicular access is prohibited.

(e) Dimensional requirements for projects of less than 30,000 square feet.

(1) Yard setbacks:

- a. Front: The front setback shall be no deeper than the average setback of existing development in the same block face, and within 15 to 80 feet.
- b. Where the side or rear yard abuts property which is in a residential district or is shown for residential use on the future land use map of the comprehensive plan, the minimum setback shall be 25 feet or the distance created by the 60-degree angle of light obstruction, whichever is greater.
- c. Where the property abuts a side street, the minimum setback from that street shall be ten feet.
- d. Where a nonresidential use is adjacent to a nonresidential use no side yard setback is required.

(2) Accessory structures shall not exceed 25 feet in height.

(3) Maximum lot coverage: 50 percent for single-purpose, nonresidential; 60 percent for mixed-use (inclusive of residential) or compound use.

(4) Maximum building height: Five stories.

(f) Access. Access shall be designed to integrate all aspects of the development and shall meet the requirements of article IX, division 3, of this chapter. Driveways and parking shall be coordinated or shared insofar as possible.

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(g) Permitted uses.

SIC	Uses	Conditions
	USES BY RIGHT:	
	Any accessory uses	

	customarily and clearly incidental to any permitted principal use	
	Bed and breakfast establishments	In accordance with article VI
	Community residential homes with 14 or fewer residents	When part of a permitted single-family or multifamily residential component and in accordance with article VI
	Community residential homes with more than 14 residents	In accordance with article VI
	Compound uses	
	Eating places	
	Food trucks	In accordance with article VI
	Family child care homes	When part of a permitted single-family or multifamily residential component and in accordance with state law
	Large family child care homes	In accordance with article VI
	Outdoor cafes	As defined in article II and in accordance with article VI
	Personal fitting and sales of prosthetic or orthopedic appliances	
	Places of religious assembly	In accordance with article VI
	Public service vehicles	As defined and in accordance with article VI
	Repair services for household needs	As defined in article II

	Residential (8 to 30 dwelling units per acre)	In accordance with the requirements of the RMF-6, RMF-7 or RMF-8 zoning districts and the additional requirements of this section, and the requirements of section 30-56. Lots that existed on November 13, 1991 as recorded in the planning and development services department and that are less than or equal to 0.5 acres in size are exempt from minimum density requirements.
	Residential use buffer	
	Neighborhood convenience center	
	Neighborhood shopping center	
	Specialty T-shirt production	
GN-074	Veterinary services	Only within enclosed buildings and in accordance with article VI
IN-0752	Animal specialty services, except veterinary	Only within enclosed buildings
GN-078	Landscape and horticultural services	
MG-15	Building construction - General contractors and operative builders	
GN-171	Plumbing, heating and air conditioning	
GN-172	Painting and paper hangers	
GN-173	Electrical work	
MG-	Printing, publishing and	

27	allied industries	
MG-43	U.S. Postal Service	
GN-472	Arrangement of passenger transportation	Offices only, with no operation of passenger tours from the site
GN-481	Telephone communications	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI, excluding cellular telephone services
GN-482	Telegraph and other message communications	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-483	Radio and television broadcasting stations	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-523	Paint, glass and wallpaper stores	
GN-525	Hardware stores	
GN-526	Retail nurseries, lawn and garden supply stores	
MG-53	General merchandise stores	
MG-54	Food stores	Accessory gasoline and alternative fuel pumps in accordance with article VI, and by special use permit in neighborhood convenience and shopping centers
GN-553	Auto and home supply stores	Excluding garage and installation facilities
GN-554	Gasoline service stations including the sale of alternative fuels for	In accordance with article VI and by special use permit in neighborhood convenience and shopping centers

	automobiles	
MG-56	Apparel and accessory stores	
MG-57	Home furniture, furnishings and equipment stores	
MG-59	Miscellaneous retail	Excluding direct selling establishments (IN-5963); fuel dealers (IN-5983); including liquor stores (IN-5921) limited to 2,000 square feet and excluding on-site consumption when located in neighborhood convenience and shopping centers, inside storage, display and sales only for all uses
Div. H	Finance, insurance and real estate	Excluding cemetery subdivider and developers (IN-6553)
MG-72	Personal services	Including funeral services and crematories in accordance with article VI and excluding linen supply (IN-7213), industrial laundries (IN-7218), and diaper services in neighborhood convenience and shopping centers
MG-73	Business services	Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN-7353), and equipment rental and leasing, not elsewhere classified (IN-7359)
GN-752	Automobile parking	
MG-76	Miscellaneous repair services	Excluding miscellaneous repair shops and related services (GN-769) and including repair services for household needs as defined in this chapter
MG-78	Motion pictures	Excluding drive-in theaters (IN-7833) and outdoor filming facilities
MG-79	Amusement and recreation services	Excluding go-cart rental and raceway operations, commercial sports (GN-794), and simulated gambling establishments. Must be located

		within enclosed structures.
MG-80	Health services	Including nursing and intermediate care facilities in accordance with article VI when applicable, and excluding rehabilitation centers and hospitals (GN-806)
MG-81	Legal services	
MG-82	Educational services	Including private schools, in accordance with article VI
MG-83	Social services	Including day care centers as defined in this chapter and in accordance with article VI, excluding residential care (GN-836), rehabilitation centers, halfway houses, social service homes, and residences for destitute people as defined in this chapter
GN-841	Museums and art galleries	
MG-86	Membership organizations	
MG-87	Engineering, accounting, research management and related services	Excluding testing laboratories (IN-8734) and facilities support management services (IN-8744)
MG-89	Services, not elsewhere classified	
Div. J	Public administration	
	USES BY SPECIAL USE PERMIT	
	Accessory gasoline and alternative fuel pumps	In accordance with article VI in neighborhood convenience and shopping centers
	Accessory transmission, retransmission and microwave towers over	In accordance with article VI

	100 feet in height	
	Alcoholic beverage establishments	In accordance with article VI
	Limited automotive services	In accordance with article VI
	Other uses (including light assembly or packaging)	Within completely enclosed structures; no outdoor storage, truck traffic limited to that normal to commercial activities such as grocery stores, loading docks and mechanical equipment must be screened, and sound attenuation shall be provided to any adjacent residential area or area in actual residential use; no access to any residential street; must meet industrial buffers. Storage of hazardous materials in accordance with the county hazardous materials management code
	Rehabilitation centers	In accordance with article VI
	Residences for destitute people	In accordance with article VI
	Social service homes	In accordance with article VI
GN-598	Fuel dealers	
GN-701	Hotels and motels	Except in neighborhood convenience and shopping centers
GN-702	Roominghouses and boardinghouses	In accordance with article VI

(h) General requirements. All structures and uses within this district shall also comply with the applicable requirements and conditions of section 30-67 and article IX.

(Ord. No. 3777, § 1, 6-10-92; Ord. No. 3918, § 4, 11-15-93; Ord. No. 3963, § 5, 3-14-94; Ord. No. 4075, § 7, 5-8-95; Ord. No. 950862, § 5, 11-13-95; Ord. No. 951420, § 4, 7-8-96; Ord. No. 961100, §§ 1—3, 7-14-97; Ord. No. 980273, § 3, 11-9-98; Ord. No. 990299, § 3, 10-25-99; Ord.

No. 002469, §§ 4—6, 3-17-03; Ord. No. 020590, § 2, 4-14-03; Ord. No. 041268, § 8, 8-22-05; Ord. No. 070619, § 4, 3-24-08; Ord. No. 110865, § 1, 7-19-12; Ord. No. 140130, § 5, 9-4-14; Ord. No. 140190, § 9, 4-16-15)

DIVISION 5. - SPECIAL USE PERMIT<sup>[12]</sup>

## Footnotes:

--- (12) ---

**Editor's note**— Section 1 of Ord. No. 990193, adopted Nov. 8, 1999, renumbered Ch. 30, Art. VII, Div. 4, "Special Use Permit" as Div. 5 as set forth herein. See the editor's notes to Divs. 4 and 6 of this article.

## Sec. 30-231. - Intent.

- (a) It is the intent of this article to recognize and permit certain uses and developments which require special review, and to provide the standards by which the applications for permits for uses and development shall be evaluated.
- (b) It is further intended that special use permits be required for developments which, because of their inherent nature, extent and external effects, require special care in the control of their location, design and methods of operation in order to ensure conformance with the comprehensive plan.

(Ord. No. 3777, § 1, 6-10-92)

## Sec. 30-232. - Permit required.

Those uses listed in article IV as permitted special uses in a zoning district may be established in that district only after issuance and recordation of a special use permit by the city plan board.

(Ord. No. 3777, § 1, 6-10-92)

## Sec. 30-233. - Criteria for issuance.

No special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

- (1) That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.
- (2) That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.
- (3) That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.
- (4) That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.
- (5) That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.
- (6) That the use or development conforms with the general plans of the city as embodied in the city comprehensive plan.

(7) That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.

(Ord. No. 3777, § 1, 6-10-92)

Sec. 30-234. - Procedures for approval.

- (a) Application submittal requirements. Each application shall be filed with the city's planning and development services department on the form prescribed. Applications must include a development plan or master plan in accordance with this article. Any incomplete applications will be returned to the applicant. The application must include proof of having met the requirements of section 30-350(b), citizen participation.
- (b) Preliminary conference with applicant. The applicant for a special use permit shall meet with the technical review committee to discuss the procedures and requirements and to consider the elements of the proposed use and site and the proposed site layout.
- (c) Report to city plan board. The city manager or designee shall submit to the city plan board a written report that includes analysis of the application and a recommendation based on the findings required in section 30-233 and development plan review process in article VII.
- (d) Notice. Notice shall be mailed at least ten days before the date of the hearing to all owners of property within 400 feet of the property for which a special use permit has been requested. For this purpose, the owner of property shall be deemed to be the person so shown on the current ad valorem tax records of the county property appraiser.
- (e) City plan board hearing and action.
  - (1) The city plan board shall consider the evidence presented in the public hearing and the written report submitted by the city manager or designee and shall act on the application based on the findings required in section 30-233 and the development plan review process found in article VII.
  - (2) Action on the application shall be one of the following:
    - a. Approval;
    - b. Approval subject to conditions; or
    - c. Denial, with a statement of the reasons for denial.
- (f) Effect of denial or withdrawal on subsequent application. No application for a special use permit shall be entertained within two years after the denial or withdrawal of a request for the same use for the same property. The city plan board may waive this time limitation by the affirmative vote of a super [sic] majority of the members provided 30 days have elapsed since the action of the city plan board to deny the original request, and the city plan board deems such action necessary to prevent an injustice.
- (g) Amended application. Amendment of a petition by the applicant may be permitted at any time prior to or during the public hearing, provided that no such amendment shall be such as to make the case different from its description in the notice of public hearing. If the amendment is requested by the applicant after notice of the hearing has been given, and such amendment is at variance with the information set forth in the notice, the applicant shall pay an additional fee, in the same amount as the original fee, to cover amended public notice. If the amended notice can be mailed at least ten days prior to the hearing originally scheduled, the hearing on the amended petition may be held on that date, otherwise the chairperson shall announce that the public hearing will be continued to a future meeting, before which appropriate notice will be given.
- (h) Appeal of decision. Any affected person may appeal the city plan board's decision on an application for a special use permit to a hearing officer. The appeal must be filed within 15 days of the decision.

The procedure for the appeal shall be the same as is provided in subsection 30-352.1 for appeals from decisions of the development review board.

- (i) Final development plan approval. Prior to the issuance of any development order or building permit, final development plan approval will be required in accordance with applicable provisions of article VII.

(Ord. No. 3777, § 1, 6-10-92; Ord. No. 3960, §§ 1, 2, 2-28-94; Ord. No. 3995, § 1, 7-25-94; Ord. No. 000902, § 2, 5-29-01; Ord. No. 110373, § 3, 3-21-13)

Sec. 30-235. - Amendments to and modification of permits.

- (a) Any change or amendment which modifies one of the following criteria shall constitute a modification of the special use permit and will be processed as a new special use permit:
  - (1) A change in the boundaries of the approved site, except for minor boundary adjustments;
  - (2) A change from the approved use;
  - (3) Either an increase of ten percent or more or incremental increases that total ten percent or more in the floor area or number of parking spaces as approved;
  - (4) Substantial changes in the approved location of principal and/or accessory structures;
  - (5) Structural alterations significantly affecting the basic size, form, style, ornamentation and appearance of principal and/or accessory structures as shown on the approved plans;
  - (6) Substantial changes in approved pedestrian or vehicular access or circulation; and
  - (7) Substantial change in the approved amount or location of landscape screens or buffers.

(Ord. No. 3777, § 1, 6-10-92; Ord. No. 110373, § 3, 3-21-13)

Sec. 30-236. - Expiration, abandonment, revocation and extension of permits.

- (a) Expiration. Permits issued under this article will expire within 12 months, or an additional time period should the city plan board deem necessary, if the petitioner has taken no act in reliance on the issued permit.
- (b) Abandonment of permits. On request of the permit holder, the department of community development may approve the abandonment of a special use permit provided no construction has begun.
- (c) Cessation of use. If use granted by a special use permit pursuant to this article ceases for a continuous period of 12 months, the permit becomes void.
- (d) Revocation of permit. If any conditions of the special use permit are violated, the permit issuing authority may revoke the permit after giving proper notice to the grantee. The permit may be reinstated by the department of community development if the circumstances leading to the revocation are corrected.
- (e) Extension of permit. At the request of the applicant and for good cause shown, the board may, at a public hearing, extend the time of the permit's expiration, if no acts of reliance have occurred. The extension may only be granted if all the concurrency management requirements of this chapter can be met and if the extension would not be in conflict with any other ordinance of the city.

(Ord. No. 3777, § 1, 6-10-92)

## **Appendix C**

### **Supplemental Documents**

March 1, 2016

City of Gainesville  
P.O. Box 490  
Gainesville, Florida 32602

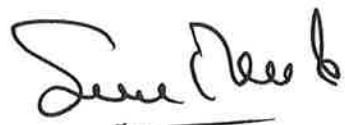
Re: Fairfield Inn & Suites  
General Performance Standards

In accordance with Section 30-345 of the city of Gainesville Land Development Code (LDC), the following letter indicates how this project meets the general standards as follow:

1. *Fire and explosion hazards:* No storage of flammable or explosive materials is proposed at the site. All the uses proposed will be in accordance with the CCD zoning category.
2. *Radiation:* No sources of ionizing radiation will be handled on-site.
3. *Electromagnetic radiation:* No sources of electromagnetic radiation will be handled on-site.
4. *Waste disposal:* The waste from the site will be handled by the central sewer system of Gainesville Regional Utilities. The waste from the site including stormwater will meet state, federal, and local agency guidelines.
5. *Vibration:* There will be no heavy equipment in use or located on the site. Therefore there will be no on-site earth-born vibration that will exceed the limits as set forth in this section.
6. *Sound:* There will be no heavy equipment in use or located on the site and no manufacturing. Therefore sounds on-site will not exceed the limits set forth in Chapter 15.
7. *Heat, cold, dampness or movement of air:* No activities will take place on-site that will produce adverse effects on the temperature, motion or humidity of the atmosphere beyond the lot lines.

8. *Lighting*: Lighting shall comply with requirements of this section for internal and external lighting as well as meet the height requirement for fixtures.
9. *Light pollution*: The external lights on the site shall be fully cut-off type not allowing upward light distribution.
10. *Odor*: There will be no adverse odors produced on-site. No manufacturing or chemical operations will occur on the site. The development will consist of use allowed by the MU-1 zoning only.
11. *Air pollution emissions*: No manufacturing or chemical operations will occur on the site. No air pollution emissions will be produced on-site.
12. *Other air pollution*: There will not be an excess amount of dust or airborne particulate matter generated on this site. No air pollution will be created associated with the development of this site that will exceed the standards set by the Florida Department of Environmental Protection, or successor agency, or any governmental entity with regulatory jurisdiction, whichever standards are more stringent.
13. *Toxics*: There will be no emissions of toxic or noxious matter on this site. No manufacturing or chemical operations will occur on the site
14. *Utility service*: Utility service on-site shall comply with the requirements of this provision and be installed underground.

Sincerely,

A handwritten signature in black ink, appearing to read "Sergio Reyes".

Sergio Reyes, P. E.  
Project Engineer

## **Appendix D**

### **Applications and Neighborhood Workshop Documents**

**DEVELOPMENT PLAN REVIEW APPLICATION  
PLANNING & DEVELOPMENT SERVICES**

**OFFICE USE ONLY**

Petition No. PB-16-39 SUP Fee: \$ \_\_\_\_\_  
1<sup>st</sup> Step Mtg Date: \_\_\_\_\_ EZ Fee: \$ \_\_\_\_\_

Account No. 001-660-6680-3401 [ ]  
Account No. 001-660-6680-1124 (Enterprise Zone) [ ]  
Account No. 001-660-6680-1125 (Enterprise Zone Credit) [ ]

MAR - 1 2016

**LEVEL OF REVIEW (check one)**

MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER
		X		

Project Name: Fairfield Inn & Suites

Property Address: SW 37th Blvd (South of Archer Road)

Tax Parcel #(s): 07240-046-000 and a portion of 06809-000-000

Site Area (acres): 13.56 Acres

**CHECK ALL PROPOSED USES**

<input type="checkbox"/> Residential	<b>Density</b>	<input checked="" type="checkbox"/> Non-residential
Multi-family	Units/acre:	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office
Total units:	Total bedrooms:	<input type="checkbox"/> Industrial <input type="checkbox"/> Other
		Gross floor area: 68,903

**Owner(s) of Record (please print)**

Name: Prairie View Trust  
Address: 3501 S. Main Street, Suite 1  
Gainesville, FL 32601

Phone: 352-371-9778 Fax:   
**(If additional owners, attach information)**

**Applicant(s)/Agent(s), if different**

Name: eda engineers-surveyors-planners, inc.  
Address: 2404 NW 43rd Street  
Gainesville, FL 32606

Phone: 352-373-3541 Fax: 352-373-7249  
**(If additional agents, attach information)**

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.

Signature of owner: See affidavit Date: \_\_\_\_\_

I certify that all of the information contained in this application form is accurate and up-to-date.

Signature of Applicant: Brenna Kathleen French Date: 3/1/2016

STATE OF FLORIDA, COUNTY OF ALACHUA

Sworn to and subscribed before me this 1<sup>st</sup> day of MARCH 2016

Signature – Notary Public: Brenna Kathleen French

Personally Known ✓ OR Produced Identification \_\_\_\_\_



**Certified Cashier's Receipt:**

**APPLICATION FOR SPECIAL USE PERMIT**  
**Planning & Development Services**

**OFFICE USE ONLY**

Petition No. PB-16-39 SUP Fee: \$ \_\_\_\_\_

1<sup>st</sup> Step Mtg Date: \_\_\_\_\_ EZ Fee: \$ \_\_\_\_\_

Tax Map No. \_\_\_\_\_ Receipt No. \_\_\_\_\_

Account No. 001-670-6710-3401 [ ]

Account No. 001-670-6710-1124 (Enterprise Zone) [ ]

Account No. 001-670-6710-1125 (Enterprise Zone Credit) [ ]

MAR - 1 2016

*Application for a special use permit will be accepted for review only after a pre-application conference (First Step Meeting). Application to be completed by applicant. Application must include a preliminary development plan. Incomplete applications will be returned to the applicant.*

Name of Owner(s) (please print)
Name: Prairie View Trust
Address: 3501 S. Main Street, Suite 1
Gainesville, FL 32601
Phone: 352-371-9778 Fax:
Owner's Signature: See General Authorization (If additional owners, please include on back)

Applicant(s)/Agent(s), if different
Name: eda engineers-surveyors-planners, inc.
Address: 2404 NW 43rd Street
Gainesville, FL 32606
Phone: 352-373-3541 Fax: 352-373-7249

PROPERTY INFORMATION: (Information below applies to property for which a Special Use Permit is being requested.)
Street address: SW 37th Blvd (South of Archer Road)
Tax parcel no(s): 07240-046-000 and a portion of 06809-000-000
Legal description (use separate sheet, if needed): See attached

I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area for which the permit is being requested.

Signature of applicant: See Dueb Date: 3/1/2016

Certified Cashier's Receipt:

A Special Use Permit is requested pursuant to Section 30, Subsection 64, Paragraph g, of the Land Development Code, City of Gainesville, to allow the following use:

A Special Use Permit (SUP) application is required because the City LDC Sec. 30-64 requires that hotels and motels in MU-1 zoning districts receive SUP approval from the City Plan Board.  
A preliminary site plan is/is not required and is/is not attached.

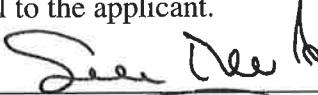
Existing zoning classification: MU-1 Existing land use designation: MUL

Existing use of property: Vacant

<b>SURROUNDING PROPERTY INFORMATION:</b> (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.)			
	<b>Zoning</b>	<b>Land Use</b>	<b>Existing Use</b>
North	BUS	Commercial	Restaurant / Archer Road
South	RMF-8	RMD	Daycare Facility
East	RMF-8	RMD	Multifamily Housing
West	BUS/RMF-8	Comm/RMD	Vacant / Multifamily Housing

**TO THE APPLICANT:** (Please sign the bottom of this application after you have read the following.)

- The City of Gainesville will notify owners of property within 400 feet of the subject property of this application.
- No application for a Special Use Permit shall be entertained within 2 years after the denial or withdrawal of a request for the same use for the same property.
- The City Plan Board's decision concerning a Special Use Permit may be appealed by the applicant to a hearing officer within 15 days of the date notification of the decision is sent by certified mail to the applicant.

Signature:  Date: 3/1/16

<b>Name of Owner (please print)</b>	
Name:	
Address:	
Phone:	Fax:
Owner's Signature:	
(If additional owners, please list on separate sheet)	

<b>Name of Owner (please print)</b>	
Name:	
Address:	
Phone:	Fax:
Owner's Signature:	

Reference: Chapter 30, Land Development Code  
City Code of Ordinances, Article VII, Division 5





engineers • surveyors • planners, inc.

## Neighborhood Meeting Minutes

Location: Country Inn & Suites  
4015 SW 43<sup>rd</sup> Street  
Gainesville, Florida

Meeting Date & Time: March 29, 2016 @ 6:00pm

Community Participants: 1

Attendees: Mitch Glaeser 2145 SW 94<sup>th</sup> Terr. 538-0032

Project Representatives:

Engineer: Sergio Reyes eda  
Christina DeStephens eda



### Meeting Minutes:

Sergio Reyes opened the meeting at 6:00pm. The only attendant, Mitch Glaeser, is aware of the project parameters and proceeded to ask questions.

Q: Will the developer be required to do any road improvements to 37<sup>th</sup> Blvd?

A: No, improvements to 37<sup>th</sup> Blvd. are not required for this project.

Q: Was a traffic study completed? How many trips per day will this project generate?

A: A traffic study was completed and this project will generate 931 trips per day.

Q: How wide is the right-of-way? Would there be room to be a turn lane in?

A: The right-of-way is 75 feet which would allow for a turn lane.

02 1P  
0000255201 MAR 14 2016  
MAILED FROM ZIP CODE 32606

**\$ 000.48**

Neighborhood Workshop Notice

Highland Court Manor  
DAVID SOUTHWORTH  
3142 NW 13 ST.

NIXIE 322 SE 1 0003/17/16

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 32606660204 \*1438-05916-14-40

32609241942  
32606660202

913

MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice

University Park  
JIMMY HARNISCHERED 16C7203/18/16

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 32606660204 \*1438-00735-14-41

32607268502  
32606660202

913

Neighborhood Workshop Notice

Pinebridge  
NIXIE 322 SE 1 0003/17/16

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 32606660204 \*1438-07104-14-43

32615351309  
32606660202

913

MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn  
ATTN: RITA SMITH  
8620 NW 13 ST. #210 CLUBHOUSE OFFICE

NIXIE 322 SE 1 0003/17/16

RETURN TO SENDER  
VACANT  
UNABLE TO FORWARD

BC: 32606660204 \*1438-05823-14-40

32653793360  
32606660202

3/16 R3,

Neighborhood Workshop Notice

KAREN BILLINGS 0003/17/16

NIXIE 322 SE 1 0003/17/16  
RETURN TO SENDER  
VACANT  
UNABLE TO FORWARD

BC: 32606660204 \*1438-05747-14-40

32653082823

02 1P **\$ 000.48**  
0000255201 MAR 14 2016  
MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice  
Pinebreeze

NIXIE 322 SE 1 0003/17/16

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 32606660204 \*1638-06224-14-43

32606660202

**Fairfield Inn**  
**Neighborhood Meeting Sign-In Sheet**

**Tuesday, March 29, 2016; 6:00 pm**

## Neighborhood Workshop Notice

For a proposed Development Plan and Special Use Permit for a proposed hotel located on SW 37<sup>th</sup> Boulevard.

Date: March 29, 2016

Time: 6:00 p.m.

Place: Country Inn & Suites

4015 SW 43<sup>rd</sup> Street, Gainesville, FL

Contact: **eda** engineers – surveyors – planners at (352) 373-3541

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed hotel on tax parcel number 07240-046-000 and a portion of tax parcel number 06809-000-000 located on SW 37<sup>th</sup> Boulevard. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.



## **Appendix E**

### **Technical Review Committee Conditions and Recommendations**

**City Technical Review Committee Comments  
for  
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

**Current Planning (Approvable with conditions):**

1. As per the City Land Development Code, the neighborhood workshop ad must be published within the newspaper at least 14 days prior to the date of the neighborhood workshop. The documents provided by the applicant for this petition indicate that this requirement was not met. Please resubmit required documents showing compliance with all neighborhood workshop requirements on the April 19, 2016 resubmittal date.
2. As per Section 30-160 of the City Land Development Code (LDC) the following additional information is required on or with the development plan: (1) designated loading and service areas; and (2) building tie-downs with dimensions to show the distance between the proposed building and adjacent property lines, and the distance between the proposed building and the BUS zoning district boundary on Parcel No. 6809 (also see Item 18); (3) the correct delineation of the BUS and MU-1 zoning districts on Tax Parcel 6809 and 7240-046-000. **Building tie-downs with dimensions shall be shown to indicate the distance between the proposed building and adjacent property lines, and the distance between the proposed building and the BUS zoning district boundary on Parcel No. 6809. Please complete the zoning designation on adjacent properties zoned RMF-8.**
3. Staff strongly recommends the use of an aeration system in wet basins to help in the prevention of mosquito infestation.
4. Please provide the hotel parking standard in its entirety on the development plan and indicate in the project description whether or not spaces for restaurants, retail outlets or other accessory uses will be provided. Please correct the bike parking standard to indicate that only 3 bike spaces are required. The minimum number of motorcycle spaces required is based upon the minimum number of vehicle spaces required by the LDC. **The required vehicle parking standard for the hotel shall be corrected to read as it appears in the Code. Please be aware that the provision of accessory uses subsequent to public hearing will constitute an amendment that requires City approval in accordance with the Code.**
5. Please provide a note with the dumpster detail indicating whether the exterior of the enclosure will be finished to match the exterior of the principal building. Also, please note where a latch for the gates will be provided.
6. Sheet C1.00 must be corrected. The number of spaces shown between the striped area representing the stormwater access road and the landscape island immediately south is 7.
7. Please provide directional arrows in the proposed driving aisle.
8. Please label the main entrance on the appropriate building elevation.
9. Please address compliance with the Central Corridor standards applicable under Policy 10.3.1 on the next submittal. Please be reminded that requests for board-approved waivers must be made in writing and submitted on the next cut-off date prior to the applicable City Plan Board public hearing.
10. The photometric narrative must be corrected. The photometric plan shows at least 3 proposed light poles with a height of 30 feet, w/n 75 feet of property with a residential zoning designation. The height of the poles must be changed to comply with the maximum 15 feet allowed, or the applicant must obtain a board-approved waiver.
11. If pool lighting is required by Federal or State law, it is exempt from the City's lighting requirements. If not, and lighting is provided, calculations for pool lighting must be included on the photometric plan.

**City Technical Review Committee Comments  
for  
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

12. The applicant must obtain a board-approved waiver to use non cut-off light fixtures beneath the main entry canopy. **If indirect lighting is proposed, the applicant must show in the detail on Sheet E-2 compliance with Sec. 30-344 (e) (6) c, which requires all direct illumination to be focused exclusively on the underside of the canopy.**
13. ~~Given that some of the proposed fixtures are adjustable, within the photometric narrative, please address the inability to adjust light fixtures in a manner that modifies the site photometry without City approval.~~
14. All sheets of the development plan shall be signed and/or sealed, where required, prior to staff signing an approved development plan.
15. ~~Please provide a detail of the proposed retaining wall and handrail to be designed by others, as indicated on Sheet C1.00.~~
16. The parking lot lighting cannot exceed an average horizontal illuminance of 1.0 footcandles, and a maximum uniformity ratio of 10:1, within 75 feet of the abutting residential zoning designations without the applicant receiving a board-approved waiver.
17. ~~Please provide a copy of the joint driveway agreement between the owner(s) of the development site and the owner(s) of the abutting property to the south.~~
18. ~~All sheets of the development plan shall be consistent with each other. For example, the landscape plan is showing a striped parking area on Parcel 6809, just north of the proposed hotel building.~~
19. Please be reminded that signs are permitted separately. **Please remove the off-premise sign from the development plan. The Code does not allow off-premise signage.**
20. ~~Trees must be no more than 5 feet from the face of curbing along the front end of landscape islands.~~
21. A perimeter landscape buffer, at least 9 feet in width, is required along the perimeter of the vehicular use area. The buffer must consist of shrubs arranged to achieve a visual screen of 75 percent opacity and a height of at least 3 feet within 3 years. The buffer must also contain high quality shade trees at a minimum average of three trees for every 100 feet of the linear distance of the perimeter landscape area, excluding the width of driveways that cross the landscape area. The distance between such trees shall not exceed 55 feet nor shall they be planted closer than 25 feet apart. Please show the narrowest width of the buffer on the dimension plan. **The buffer is less than the required 9 feet along the property line adjoining Tax Parcel 7240-076-001. Shrubs are required within the buffer along the east side of the off-street parking area. Please correct.**
22. Street trees shall be planted on the development site along SW 37<sup>th</sup> Boulevard. Street trees shall be planted for every 30 to 50 feet of street frontage, depending on the canopy area needed for the tree species. The widths of driveways along a street shall be subtracted from the linear feet of street frontage length for the purposes of calculating the number of required street trees. In no case shall trees be spaced closer together than 25 feet or farther apart than 60 feet. **The trees shown appear closer than 25 ft. apart.**

**Concurrency (Approvable with conditions):**

1. Prior to receiving a final development order, this development must sign a TMPA Agreement for the provision of 5 Transportation Mobility Element Policy 10.1.7 criteria.

**City Technical Review Committee Comments  
for  
Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

**Public Works (Approvable with conditions):**

**Roadway and Site Design:**

1. How is the proposed sidewalk crossing over the existing spillway on the east side of SW 37th Blvd. near Archer Rd. as shown on sheet C0.20?

**Stormwater Management:**

1. The slope for the curb ramps appears to be steeper than 3.87%. Two contours (92 and 93) are approximately 3.5 feet apart (equaling about 30% slope).
2. The grading shown between the southern drive aisle and the property line is shown up to and along the property line. How will this grading occur without affect the property to the south? The area is the curve to the west of this aisle and the existing elevations along the property line are between 85 and 87.
3. What is the elevation being used for the floodplain elevation? Provide documentation or calculations for this elevation. The FEMA floodplain zone line is an approximate location. The determination of the impacts to the floodplain should be made from survey information. The survey information indicates a surface water which should be considered for the determination of the flood elevation and subsequent compensation.

**Building Inspections (No Comments)**

**Fire Services (Approvable as submitted)**

**Urban Forestry Inspector (Approvable with conditions):**

1. Continue the street shade trees along the frontage of SW 37th BLVB, if part of this development.
2. Please add shrubs along all vehicular use areas within the project. (eastern property near the existing forest in the sod areas)

**Gainesville Regional Utilities (Approvable for DRB, Design not approved, requested changes to design and documents must be made before UCP is issued):**

Water/Wastewater: does not approve, see link:

[https://www.dropbox.com/sh/t4ocsm3mm6ckde1/AAAfAbT-9uWdFPr\\_LFtPfCpKa?dl=0](https://www.dropbox.com/sh/t4ocsm3mm6ckde1/AAAfAbT-9uWdFPr_LFtPfCpKa?dl=0)

Real Estate: Approved

Electric: Approved

Gas: Approved

GRUCom: Approved

**City Technical Review Committee Comments  
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Fairfield Inn & Suites Hotel (Petition PB-16-39 SUP) April 19, 2016 Submittal**

**Alachua County Environmental Protection Department (Approvable with conditions):**

Possible hazmat regulated facility. If applicable, please provide information on emergency generator, pool chemical storage and maintenance facility.

**Gainesville Police Department (Approvable with conditions):**

Photometrics are approvable. But, petitioner needs to request a waiver for 30' light poles adjacent to residential zone or change the pole height to 15'.

**Environmental:**

The referenced 15-acre Fairfield project site has received substantial ecological and natural resource assessments from 2005 through 2016. These assessments were beneficial toward incorporation of various development design revisions and features to avoid and further minimize impacts to wetland and upland habitats.

The application has included construction-related activities and facilities associated with not only the Fairfield Hotel, but conceptual optimal design features associated with the construction of a second building and associated parking facility. The stormwater basin design has incorporated sufficient storage volume and treatment capacity for the anticipated optimal design of all impervious facilities associated with building and parking facilities for the entire tract.

For the proposed hotel, parking and associated stormwater basin, a minor 0.04-acre permanent wetland impact and adjacent 0.07-acre permanent buffer impact will be associated with construction of a fill access road underlain with a pipe to convey stormwater runoff from the impervious facilities within the entire southwest upland area to the stormwater basin to be constructed within the northeast upland portion.

In association with the second building and associated parking area, the potential impacts are preliminary. However, it includes a conservative estimate 0.22-acre temporary wetland impact associated with removal of trees within the wetland located parallel and adjacent to 37th Blvd.; thus providing line-of-sight view from Archer Road south to the anticipated second building. Parking for the second building would include a maximum 0.12-acre of permanent fill within the wetland buffer. These potential impacts will not be increased however might be reduced pending final design features.

The combination of constructing all facilities could result in a minor 0.04-acre of permanent and 0.22-acre of temporary wetland impacts (total 0.26-acre), and 0.19-acre of permanent and 0.13-acre of temporary wetland buffer impacts (total 0.32-acre). To mitigate for the proposed impacts, the applicant has proposed a combination of preserving on-site ecosystems including 1.97 acres of upland buffers and 3.42-acres of forested wetlands; for a total of 5.39-acres of mitigation.

The proposed wetland buffer fill and clearing impacts (total 0.32-acre) are not specifically addressed as requiring mitigation per the City's Regulated Surface Waters & Wetlands criteria (Land Development

**City Technical Review Committee Comments  
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Code, Section 30-300). However at a minimum, design plans have been prepared to retain 50-ft. buffers for over 70% along the wetland boundaries.

Overall, the applicant has proposed an exceptional design to minimize impacts to wetland and associated buffers, and has proposed sufficient and appropriate mitigation per Section 30-300. For the entire tract, there are no limitation or restriction issues related to criteria stipulated under LDC 30-310 - Regulated Natural & Archaeological Resources.

## **Appendix F**

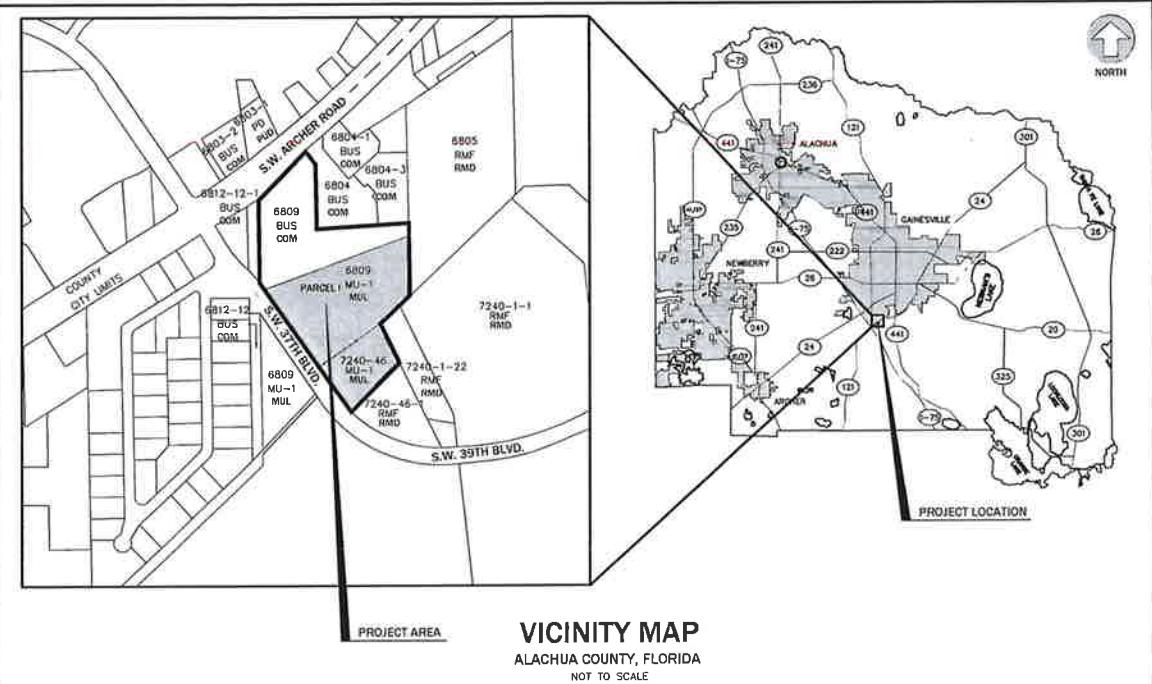
### **Development Plan**

# FAIRFIELD INN & SUITES HOTEL

## CITY OF GAINESVILLE, FLORIDA

### DEVELOPMENT INFORMATION:

1. PROJECT OWNER:	PRARIE VIEW TRUST 3001 S. MAIN STREET SUITE 1 GAINESVILLE, FLORIDA 32601-9031
2. NAME OF PROJECT:	FAIRFIELD INN & SUITES HOTEL DEVELOPER LAKE CITY HOTELS, INC. 4000 SW 37TH GATEWAY DR. LAKE CITY, FL 32024 CONTACT: NICK PATEL
3. PROJECT DESCRIPTION:	CONSTRUCTION OF A 5 STORY HOTEL WITH ASSOCIATED PARKING AND UTILITIES LOCATED ON PARCEL NUMBER 07240-046-000 AND PORTION OF PARCEL NUMBER 06809-000-000.
4. PROJECT ADDRESS:	3989 SW 37 BLVD GAINESVILLE, FL 32608
5. TAX PARCEL NUMBER:	06809-000-000 (A PORTION OF) 07240-046-000
6. SECTION/TOWNSHIP/RANGE:	SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST
7. ZONING:	BUS/MU-(7240-46)
8. FUTURE LAND DESIGNATION:	COMMERCIAL/MIXED-USE LOW DENSITY
9. A FLOOD PLAIN IS LOCATED WITHIN THE PROPOSED PARCEL BUT THE PROPOSED DEVELOPMENT DOES NOT IMPACT IT	
10. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT	
11. IRRIGATION SYSTEM SHALL BE PROVIDED FOR LANDSCAPED ALL AREAS.	
12. THIS STORMWATER SYSTEM IS CURRENTLY BEING PERMITTED WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD)	
13. THIS PROJECT IS NOT AFFECTED BY THE GATEWAY, GREENWAY, SURFACE WATER, WELL FIELD OR NATIVE PARK DISTRICTS.	
14. THIS SITE IS LOCATED IN ZONE C OF THE MOBILITY PROGRAM AREA (TPMA), AND WILL COMPLY THE APPLICABLE PROVISIONS OF THE TRANSPORTATION MOBILITY ELEMENT POLICY 10.1.4 AND 10.1.7.	
15. UTILITY SERVICES WILL BE CONNECTED TO THE EXISTING UTILITIES AT THE RIGHT OF WAY LINE	
16. NO SPECIAL FIRE PROTECTION CONCERN ARE PROPOSED ON THIS BUILDING. THE BUILDING SHALL BE SPRINKLED AND SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.	
17. THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.	
18. TRASH AND RECYCLING FACILITIES ARE PROPOSED WITHIN SITE.	
19. FIRE HYDRANTS AND STABILIZED SURFACES WILL BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE.	
20. IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE A MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ. ADDITIONAL SPECIFIC REQUIREMENTS PERTAINING TO SIGNAL STRENGTH, COVERAGE, MAINTENANCE AND TESTING REFER TO NFPA 72-14.4.12 AND 24.5.2.	
21. THE OWNER OR OWNERS AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ACCESS ALL ESSENTIAL FIRE AND SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION.	
22. THE SITE AND BUILDING COMPLIES WITH THE FLORIDA BUILDING CODE AND/ALL REQUIRED STANDARDS.	

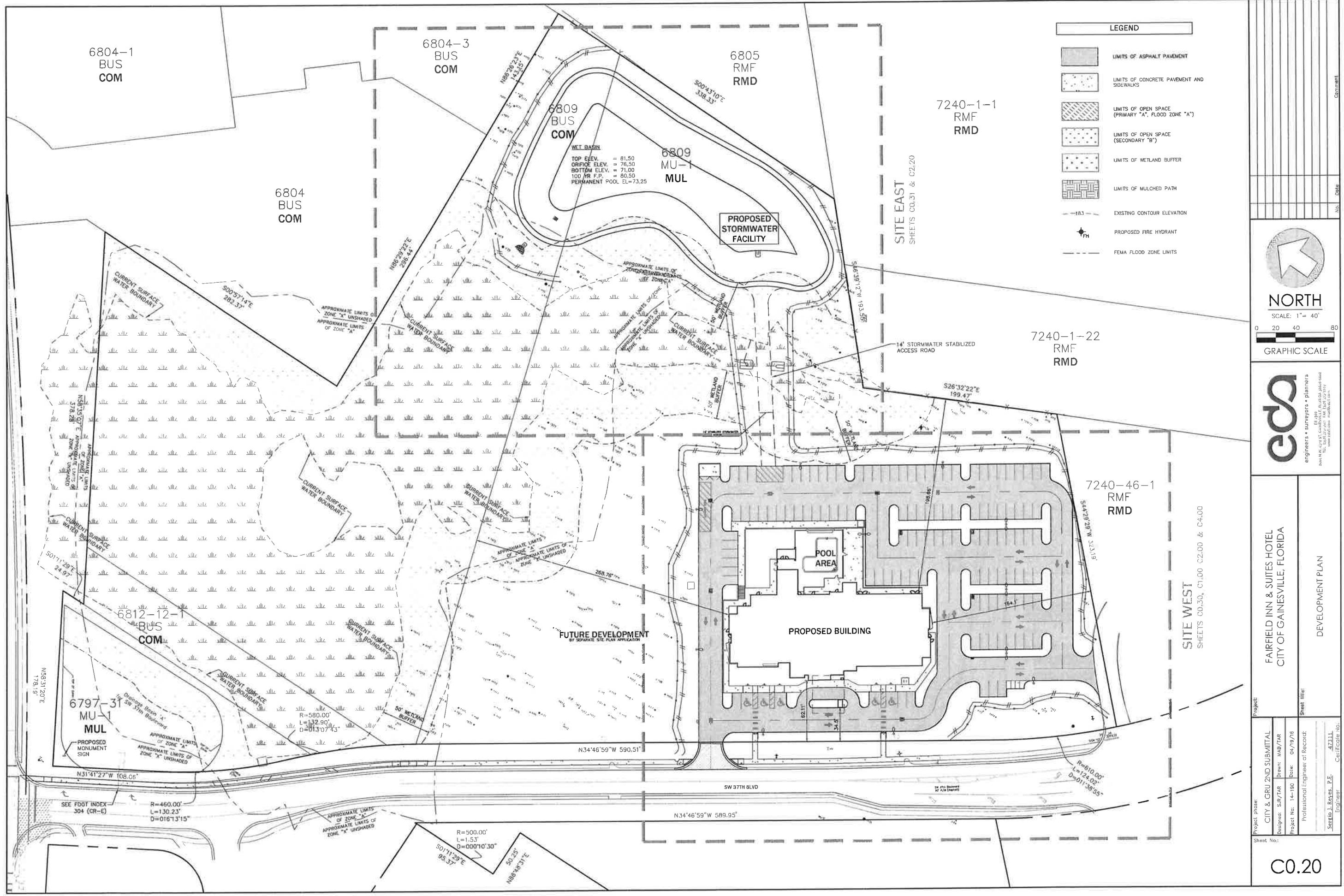


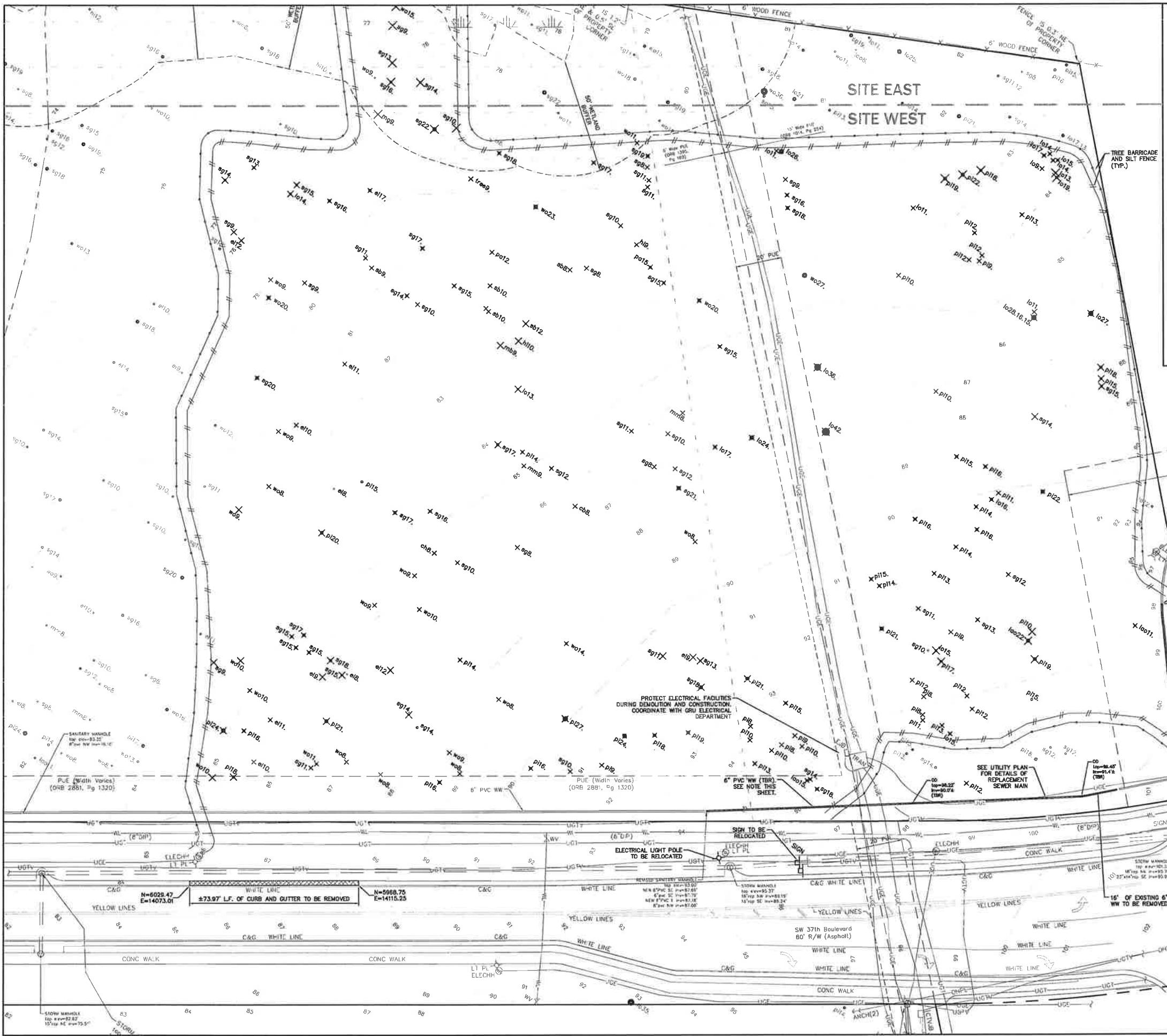
### LEGAL DESCRIPTION

#### PARCEL 1

A PARCEL OF LAND SITUATED IN SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, AND THE GARY GRANT; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST AND RUN THENCE SOUTH 00°41'40" EAST, ALONG THE EAST LINE OF SAID SECTION 14, A DISTANCE OF 1258.47 FEET TO THE CENTERLINE OF SW 37TH BLVD, 24' (ARC) RIGHT-OF-WAY LINE, AND A POINT ON THE RIGHT LINE, CENTERLINE WITH A CURVE CONCAVE SOUTHEASTERLY, A CHORD BEARING AND DISTANCE OF 0910'17", A RADIUS OF 5729.58 FEET, AN ARC DISTANCE OF 817.14 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 44°33'11" WEST, 916.16 FEET; THENCE SOUTH 30°58'03" WEST, ALONG SAID CENTERLINE, 765.29 FEET; THENCE SOUTHEASTERLY, ALONG SAID CENTERLINE WITH A CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A CENTRAL ANGLE OF 10°48'12", A RADIUS OF 5729.58 FEET, AN ARC DISTANCE OF 1080.32 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 45°22'03" WEST, 1078.72 FEET; THENCE SOUTH 30°58'45" EAST, 1000.00 FEET TO THE RIGHT OF WAY LINE OF SW 37TH BLVD, 24' (ARC) RIGHT-OF-WAY LINE, AND A POINT ON THE RIGHT LINE, CENTERLINE WITH A CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A CENTRAL ANGLE OF 0910'17", A RADIUS OF 5729.58 FEET, AN ARC DISTANCE OF 781.17 FEET; 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EXISTING SYMBOLS & ABBREVIATIONS	PROPOSED UTILITY SYMBOLS	GENERAL NOTES	CONSTRUCTION NOTES	EROSION CONTROL NOTES, CONT.		
C/L cm CONCRETE COR D R A T CB CD d ELEV etemp einch D mv F.D.O.T. F.T. M.L.S. MS D.R. P.G.S. PVC RCF REINFORCED CONCRETE PIPE N/A SECTION 28, TOWNSHIP 9 SOUTH, RANGE 19 EAST TRAN w/ ANCH OBC O.C.O. ■ SANITARY CLEAN-OUT FOUND CONCRETE MONUMENT (size, ID) ■ FOUND DRILL HOLE O FOUND IRON PIPE (size, ID) ■ FOUND IRON DISK (ID) ● FOUND REBAR & CAP (size, ID) ▲ FOUND SPIKE □ GAS METER GAS VALVE GUY ANCHOR HORIZONTAL SPOT I ELECTRICAL HANHOLE FIRE HYDRANT I IRRIGATION VALVE LIGHT POLE M MANHOLE C POWER POLE SET 5/8" REBAR & CAP (LB 2389) SET CONCRETE MONUMENT (PRM LB 2389) SET 1/2" REBAR & CAP (PRM LB 2389) SET SPIKE SHRUB SIGN TELEPHONE RISER TELEVISION RISER WATER METER WATER VALVE ELEVATION CONTOUR LINE FENCE LINE OVERHEAD GUY WIRE OVERHEAD POWER LINE OVERHEAD TELEPHONE LINE OVERHEAD TELEVISION LINE SANITARY SEWER LINE UNDERGROUND ELECTRIC LINE GAS UGT UNDERGROUND TELEPHONE LINE UGT UNDERGROUND CABLE TELEVISION LINE ML UNDERGROUND WATER LINE SPOT ELEVATION	WM WM WW I BLOW-OFF ASSEMBLY GATE VALVE & BOX BUTTERFLY VALVE PLUG VALVE SWING CHECK VALVE BACK FLOW PREVENTER REDUCED PRESSURE ZONE BFP DOUBLE CHECK BFP DUAL CHECK VALVE AIR RELEASE VALVE REDUCER FITTING PRESSURE REGULATOR POST INDICATOR VALVE CLEAN OUT OR ROOF DRAIN LATERAL FITTING W/ THRUST BLOCK FIRE HYDRANT W/ THRUST BLOCK FIRE HYDRANT ASSEMBLY POTABLE WATER METER SINGLE SERVICE WATER METER DUAL SERVICE WATER METER GANG WATER METER ASSEMBLY ELECTRIC TRANSFORMER RECLAIMED WATER METER ASSEMBLY RECLAIMED WATER MAIN, PROPOSED PLUG END AND CAP BLOW-OFF ASSEMBLY GATE VALVE & BOX REDUCER FITTING WASTEWATER (PRESSURE) MAIN, PROPOSED SANITARY SEWER MAIN, PROPOSED SANITARY SEWER MAIN, EXISTING SANITARY SEWER MANHOLE, PROPOSED SANITARY SEWER MANHOLE, EXISTING SANITARY SEWER PLUG PLUG VALVE SEWER LATERAL, SINGLE SERVICE GATE VALVE CHECK VALVE AIR RELEASE VALVE	1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS, LOCATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS WORK, PRIOR TO CONSTRUCTION. 2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND/OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY. CONTACT ENGINEER OF RECORD IMMEDIATELY WITH ANY DISCREPANCIES. 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK, PERFORMED BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS. 4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE PERMITS SHALL BE PROVIDED FOR LOCATING AND COORDINATING THE UTILITY. THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS/REQUIREMENTS. 6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS, TO THE OWNER/ENGINEER FOR REVIEW. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. 7. SAFETY: A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL. B. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA. C. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS. D. ALL TRAFFIC CONTROL, MAPPING AND DEVICE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL ON UTILITY TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION. E. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION IS CONFORMANT WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS. F. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS. 8. ALL UNDERGROUND UTILITIES SHALL BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION. 9. CONTRACTOR IS REQUIRED TO SECURE A FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES) PERMIT BEFORE BEGINNING CONSTRUCTION. 10. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE UPON REQUEST. 11. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS. 12. CONTRACTOR SHALL PROVIDE CITY AS-BUILT PLANS (IF REQUIRED BY THE CITY AND/OR ANY OTHER AGENCY), SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER OR SURVEYOR AND A CERTIFIED PAPER COPY WITH ELECTRONIC COPY IN AUTOCAD FORMAT PRIOR TO FINAL ACCEPTANCE. ALL SURVEY, HORIZONTAL AND VERTICAL COORDINATES SHALL HAVE ELEVATIONS BASED ON THE NAV 1988 DATUM AND ARE TO BE BASED ON THE STATE PLANE COORDINATE SYSTEM. (NAD 83 ZONE NORTH US SURVEY FEET) 13. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, DRAINAGE LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND SUBSEQUENTLY ACCEPTED REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.	1. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS/INDEXES 600 THROUGH 685 (LATEST EDITIONS). 2. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES. 3. ANY SIDEWALK WHICH BECOMES UNDERRUN MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT. 4. DISTURBED AREA WITHIN THE R-O-W WILL BE COMPACTED TO 98% OF MAXIMUM DENSITY AND SODDED. 5. STOCKPILE OF MATERIAL IS NOT ALLOWED ON ROADWAYS OR SIDEWALKS. ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALKS ARE TO BE SWEEP DAILY AS PART OF DAILY CLEANUP. 6. ANY PORTION OF ROADWAYS OR SIDEWALKS THAT SUSTAIN EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF APPLICABLE AGENCIES, SHALL BE REPAVED AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THAT PARTICULAR AGENCY. 7. CONSTRUCTION MUST BE PER THE APPROVED DEVELOPMENT PLAN. DEVIATIONS IN ROADWAY, UTILITY OR DRAINAGE CONSTRUCTION WILL REQUIRE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER OR THE DIRECTOR OF PUBLIC SERVICES (OR EQUIVALENT). NOTE: SIGNIFICANT CHANGES FROM THE DRC APPROVED PLAN MAY REQUIRE THE OWNER/DEVELOPER TO SUBMIT A REVISED SITE PLAN FOR REVIEW THROUGH THE DRC AND MAY CAUSE PROJECT DELAYS. 8. OFF-SITE OR ROADWAY R-O-W CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVED R-O-W PERMITS. A COPY OF THE APPROVED R-O-W PERMIT MUST BE KEPT ON-SITE AND READILY AVAILABLE DURING ALL CONSTRUCTION ACTIVITIES WITHIN THE R-O-W. 9. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL. 10. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS. 11. CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION. 12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION. 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE SURVEY FOR THE DURATION OF THE PROJECT. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY. BOTH PAPER AND AUTOCAD FILES SHALL BE PROVIDED. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE CONSTRUCTION PHASE. SURVEY INFORMATION SHALL BE PROVIDED AT 10' INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. BOTH PAPER AND AUTOCAD SHALL BE PROVIDED. 16. CITY RIGHT-OF-WAY: THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE R/W SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE R/W, WHETHER ON THE SURFACE OR SUBSURFACE, WITHOUT THE APPROVAL OF THE CONTRACTOR/DEVELOPER. CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS. 17. COUNTY RIGHT-OF-WAY: THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE R/W SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT). NO WORK SHALL BE DONE NOR MATERIALS USED IN THE R/W, WHETHER ON THE SURFACE OR SUBSURFACE, WITHOUT THE APPROVAL OF THE PUBLIC WORKS DEPARTMENT (334-5670) AND FDOT RESPECTIVELY. AND THE CONTRACTOR/DEVELOPER SHALL TURN EACH APPROVED MATERIALS USED IN A REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS. 18. STATE RIGHT-OF-WAY: THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE R/W SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT). NO WORK SHALL BE DONE NOR MATERIALS USED IN THE R/W, WHETHER ON THE SURFACE OR SUBSURFACE, WITHOUT THE APPROVAL OF THE PUBLIC WORKS DEPARTMENT (334-5670) AND FDOT RESPECTIVELY. AND THE CONTRACTOR/DEVELOPER SHALL TURN EACH APPROVED MATERIALS USED IN A REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS. 19. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIALS (E.G. ROCK, PEAT, ASSURED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUBSTITUTED MATERIALS. ACTIVELY EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE. 20. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS. 21. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED. 22. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FOOT TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS. 23. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION. 24. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES. 25. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR. ALL SURVEY COSTS WILL BE CONTRACTOR'S RESPONSIBILITY. 26. FINAL GRADES SHOWN INCLUDE 50' HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS. 27. IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREAS AT NO ADDITIONAL COST TO THE OWNER. 28. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED. 29. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS, EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRaversable, TRAFFIC GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED. 30. ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED. 31. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET. 32. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS. THE VARIOUS AGENCIES AND PERMIT CONDITIONS SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SUCH RETESTING. 33. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. 34. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE REINSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.	14. NO GRAVING, CUTTING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED BETWEEN ALL DISTURBED AREAS AND WATER BODIES, WATERCOURSES OR METALANDS AND ANY CONVEYANCES SUCH AS DRAINAGE GUTCHES, STORM DRAINS, AND INLETS. 15. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSTALL ALL EROSION AND PREVENTION STRUCTURES SHOWN ON THE PLANS AT A MINIMUM AND IN FULL CONFORMANCE WITH ALL APPLICABLE WATER MANAGEMENT DISTRICT PERMITS AND REGULATIONS. 16. ALL CONTROL STRUCTURE AND GUTTER CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM. 17. ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN, SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRAVING. UNLESS OTHERWISE NOTED, ALL SLOPES STEEPER THAN 4:1 SHALL BE SODDED.	PAVING, GRADING, AND DRAINAGE NOTES	1. TRAFFIC CONTROL ON ALL FOOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN. 2. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN. 3. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS. 4. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION. 5. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES. 6. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ANY UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRADING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. 8. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXCAVATIONS AND DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AND THE CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION IMPROVEMENTS TO FOLLOW. 9. SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. 10. IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY. 11. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHTS TO CHECK THE STAKING AND ROPE AND RELOCATE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE. 12. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. 13. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 14. REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY THE CONTRACTOR AND IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS. 15. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS. 16. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SMOOTH AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE. 17. PROPOSED EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 14 HORIZONTAL TO 1 VERTICAL. 18. FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-FLOODPLAIN REQUIREMENTS. PAVEMENTS, IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN. 19. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIALS (E.G. ROCK, PEAT, ASSURED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUBSTITUTED MATERIALS. ACTIVELY EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE. 20. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS. 21. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED. 22. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FOOT TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS. 23. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION. 24. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES. 25. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR. ALL SURVEY COSTS WILL BE CONTRACTOR'S RESPONSIBILITY. 26. FINAL GRADES SHOWN INCLUDE 50' HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS. 27. IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREAS AT NO ADDITIONAL COST TO THE OWNER. 28. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED. 29. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS, EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRaversable, TRAFFIC GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED. 30. ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED. 31. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET. 32. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS. THE VARIOUS AGENCIES AND PERMIT CONDITIONS SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SUCH RETESTING. 33. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.<





DEMOLITION NOTES		Comment
1. EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.		
2. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.		
3. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED, COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED AS THE BASE FOR NEW PAVEMENT (PER FDOT SECTION 204.10) BUT THE REMOVED BASE CAN BE USED AS THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.		
4. ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND METAL DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED, AND 3" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.		
5. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.		
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN, ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.		
7. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.		
8. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR REMOVAL OF BUILDING, CONTACT CITY OF GAINESVILLE BUILDING DEPARTMENT AT 334-5050.		
9. CALL NATURE OPERATIONS AT (352) 393-8171 FOR A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS.		
10. SEE SHEET CO.31 FOR TREE BARRICADE & SILT FENCE DETAILS.		



NORTH

SCALE: 1' = 20'

0 10 20 40

GRAPHIC SCALE



engineers • surveyors • planners

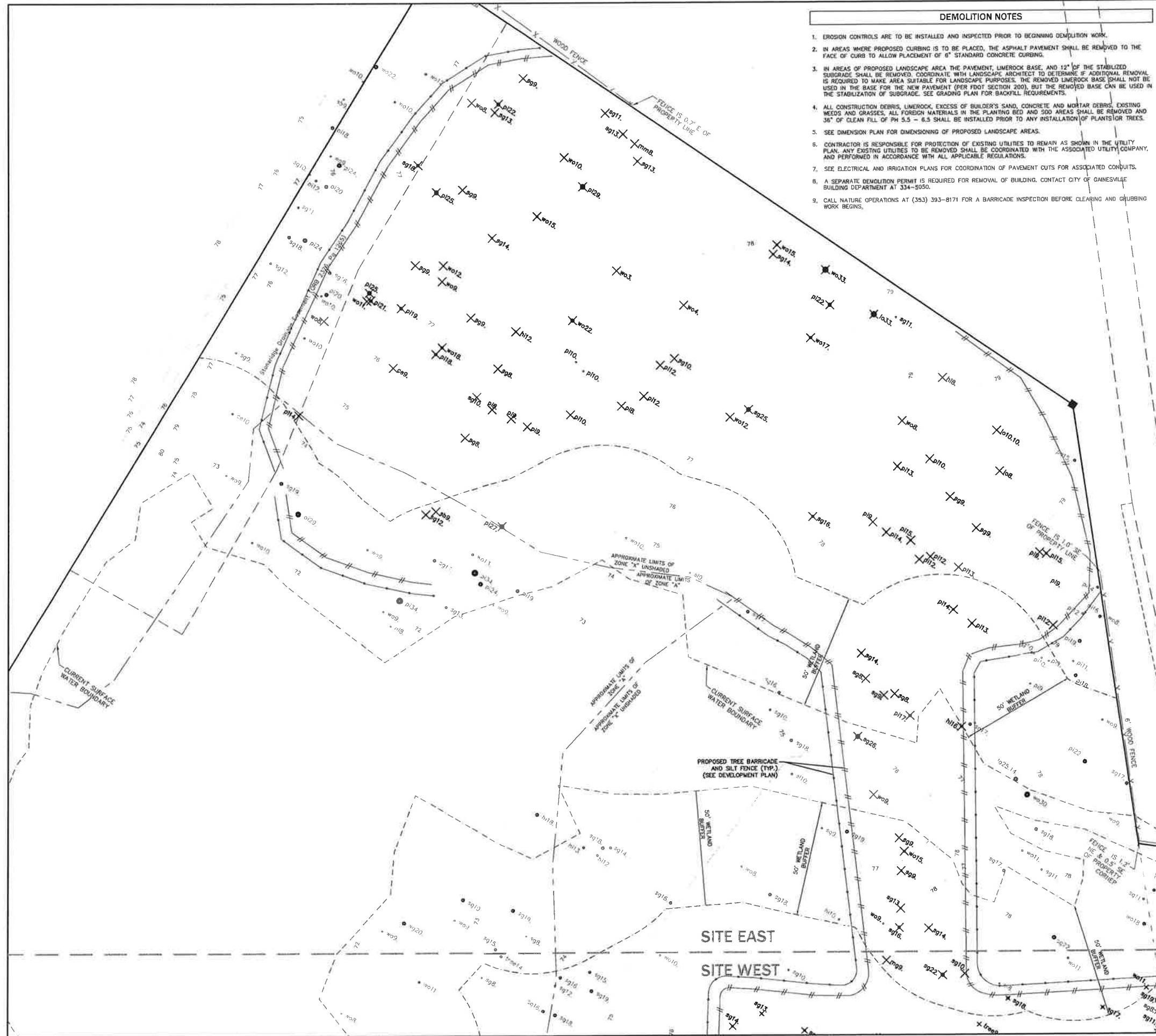
ED 289, D 289, F 289, M 289  
TEL 352.393.5777, FAX 352.393.5776  
www.cda.com mst@cdal.com

FAIRFIELD INN & SUITES HOTEL  
CITY OF GAINESVILLE, FLORIDA

DEMOLITION AND TREE CLEARING PLAN  
SITE WEST

Project: CITY & GRU 2ND SUBMITTAL  
Sheet No.: 47311  
Design: S.A./TAR  
Date: 04/19/15  
Project No.: M-190  
Date: 04/19/15  
Professional Engineer of Record: Sento J. Reyes, P.E.  
Engineer: Certificate No.

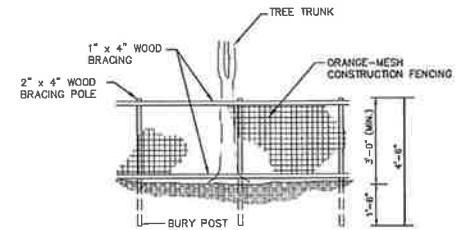
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**DEMOLITION NOTES**

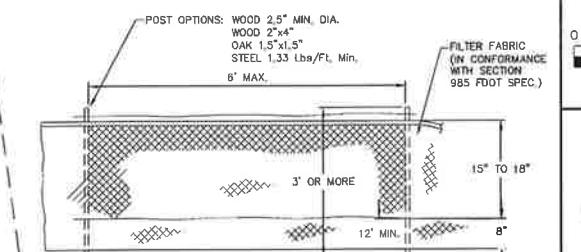
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2. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
3. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMESTONE BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED BY THE LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMESTONE BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FOOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
4. ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR GIBBS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOIL AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTING OR TREES.
5. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
7. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.
8. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR REMOVAL OF BUILDING. CONTACT CITY OF GAINESVILLE BUILDING DEPARTMENT AT 334-5030.
9. CALL NATURE OPERATIONS AT (352) 393-8171 FOR A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS.



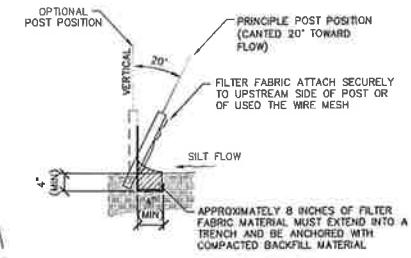
## ELEVATION

1. TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
2. TREE BARRICADES MUST ENCLOSE AN AREA EQUAL TO AT LEAST 2/3 OF THE DRIPLINE OF THE TREE CANOPY. EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2") FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
3. NO GRADING WITHIN FENCING, ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
4. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
5. THE AREA ENCLOSED MUST BE EQUAL TO 2/3 OF THE DRIPLINE OF THE TREE CANOPY, WHERE ALLOWED BY CONSTRUCTION LIMITS.

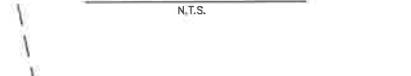
### TREE BARRICADE FENCING DETAIL



### ELEVATION



### TYPE III SILT FENCE DETAIL



FAIRFIELD INN & SUITES HOTEL  
CITY OF GAINESVILLE, FLORIDA

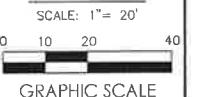
DEMOLITION AND TREE CLEARING PLAN  
SITE EAST

CITY & GRU 2ND SUBMITTAL	
Designed by: S&P/TAR	Brown: MAS/TAR
Project No.: 14-190	Date: 04/19/16
Professional Engineer of Record:	
<u>Sergio J. Reyes, P.E.</u> <small>Engineer:</small>	
<u>47311</u> <small>Code No.</small>	

C0.31

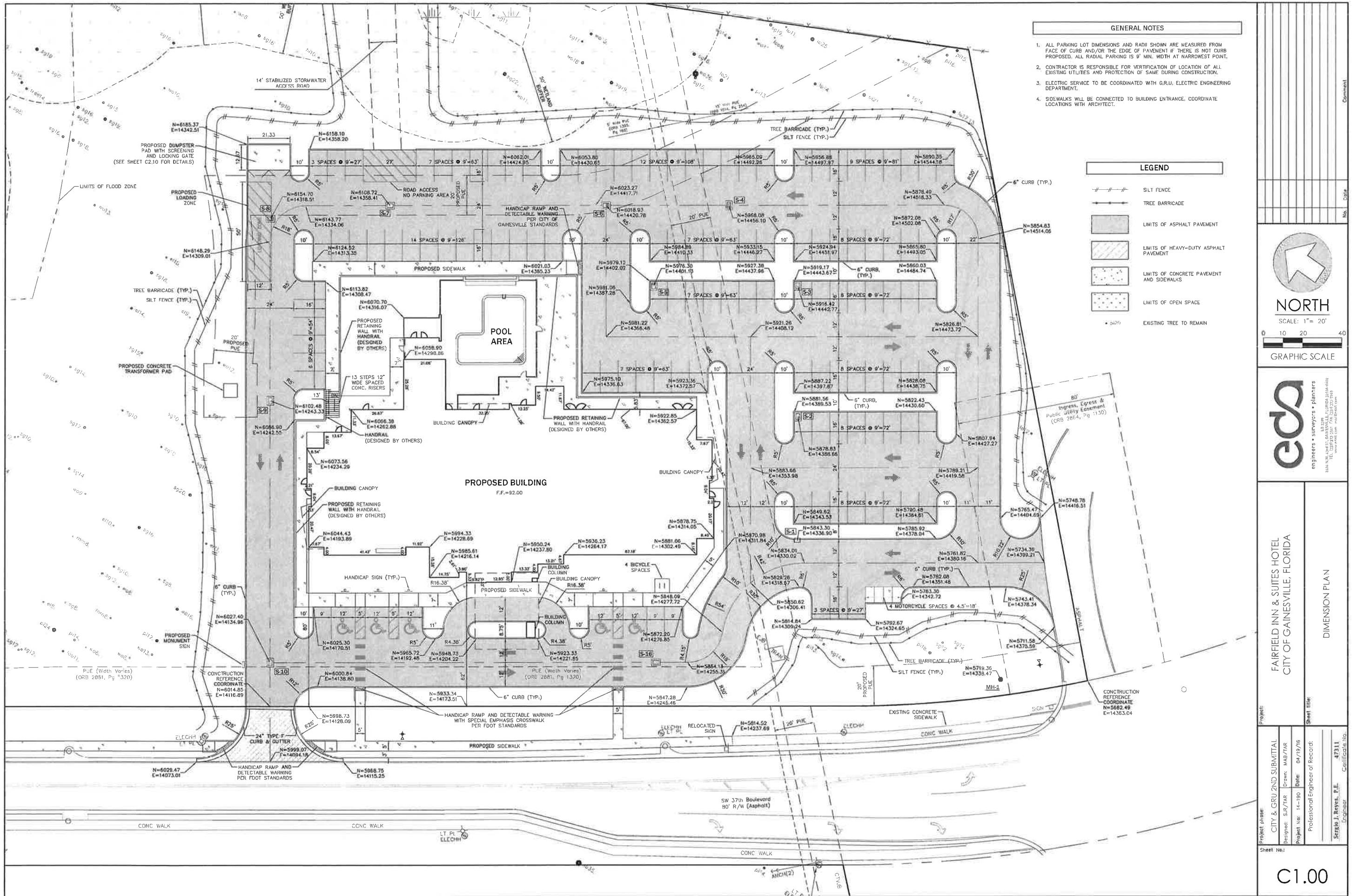


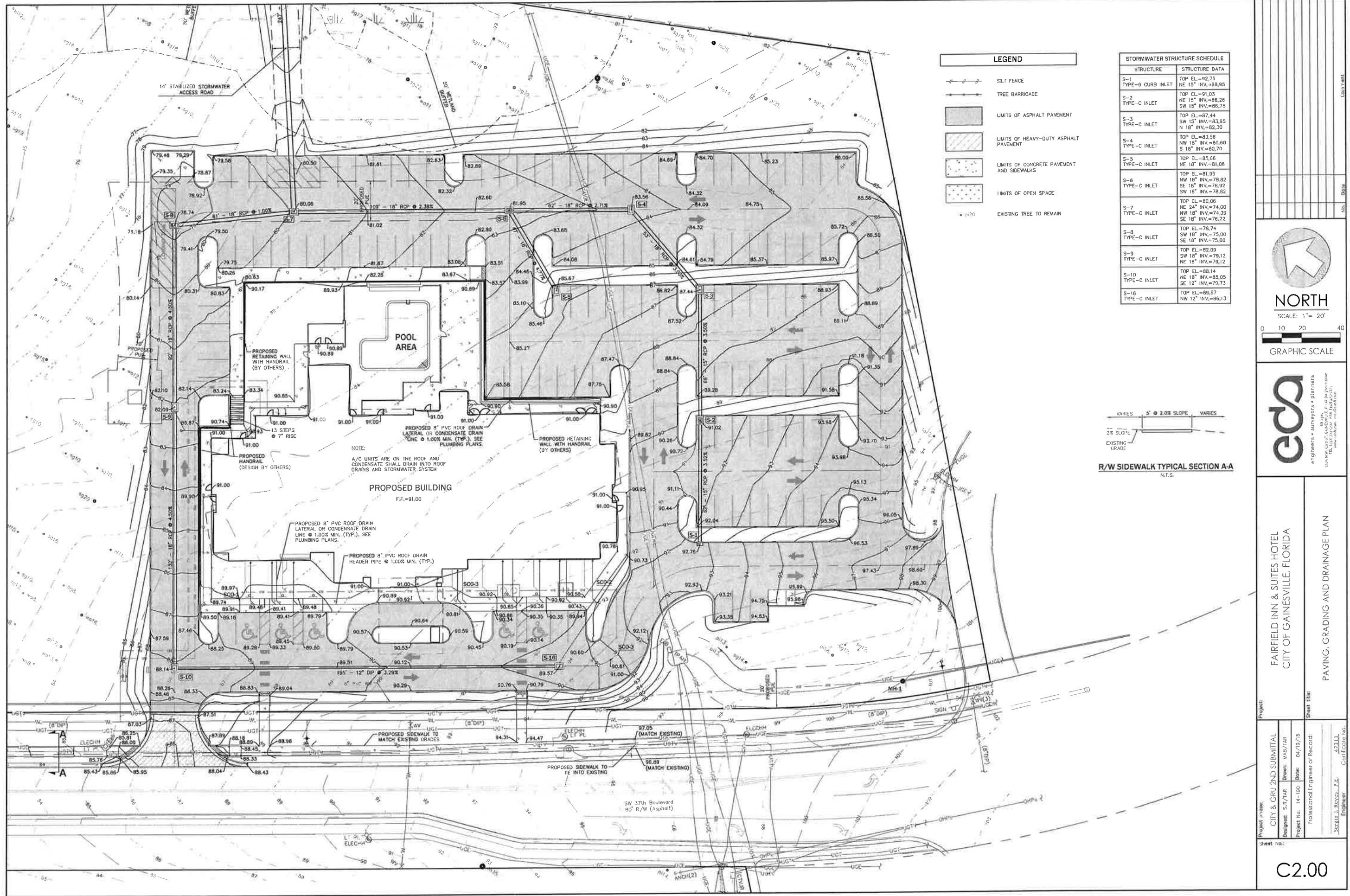
## NORTH

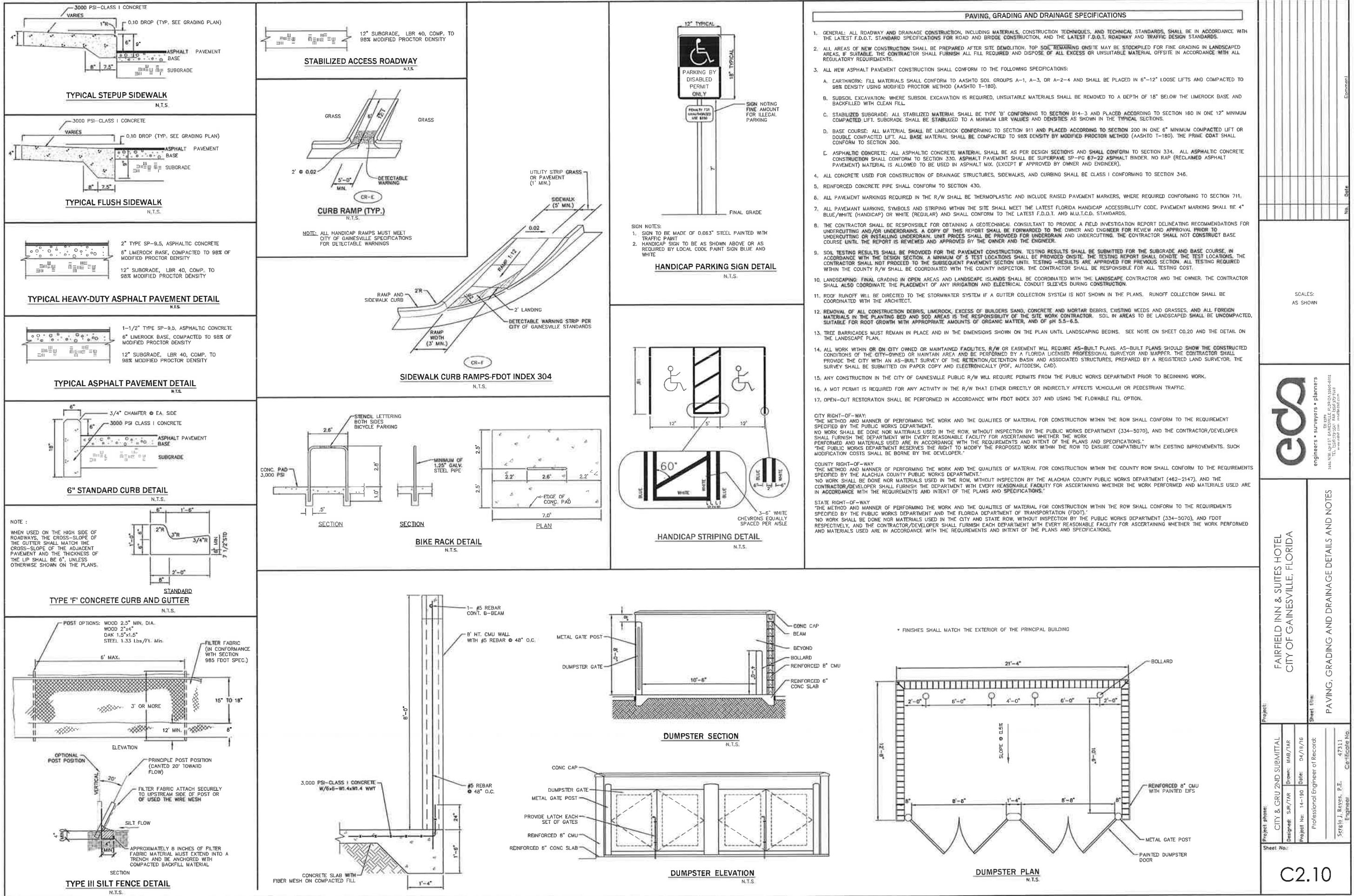


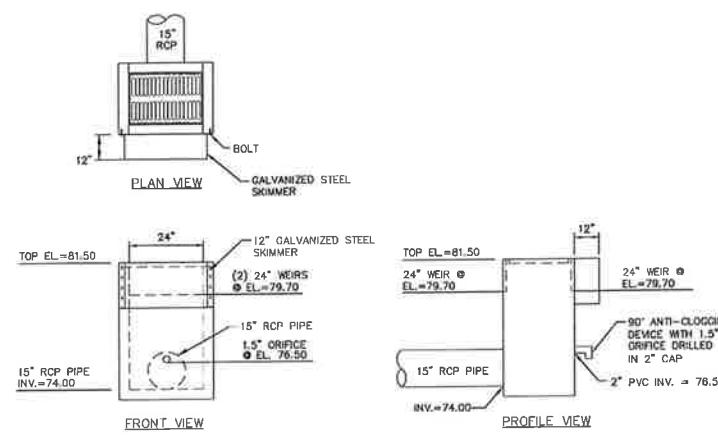
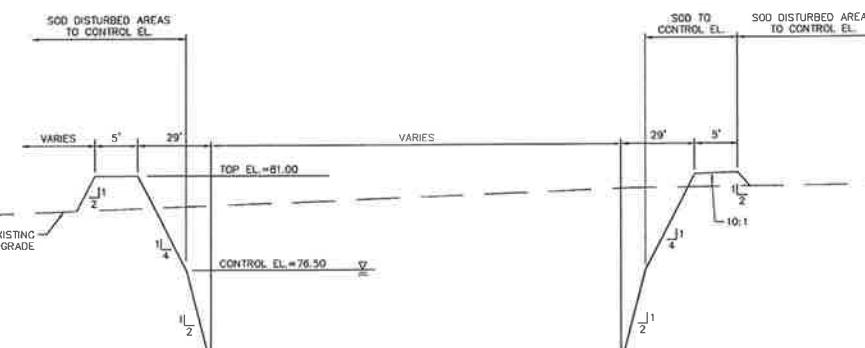
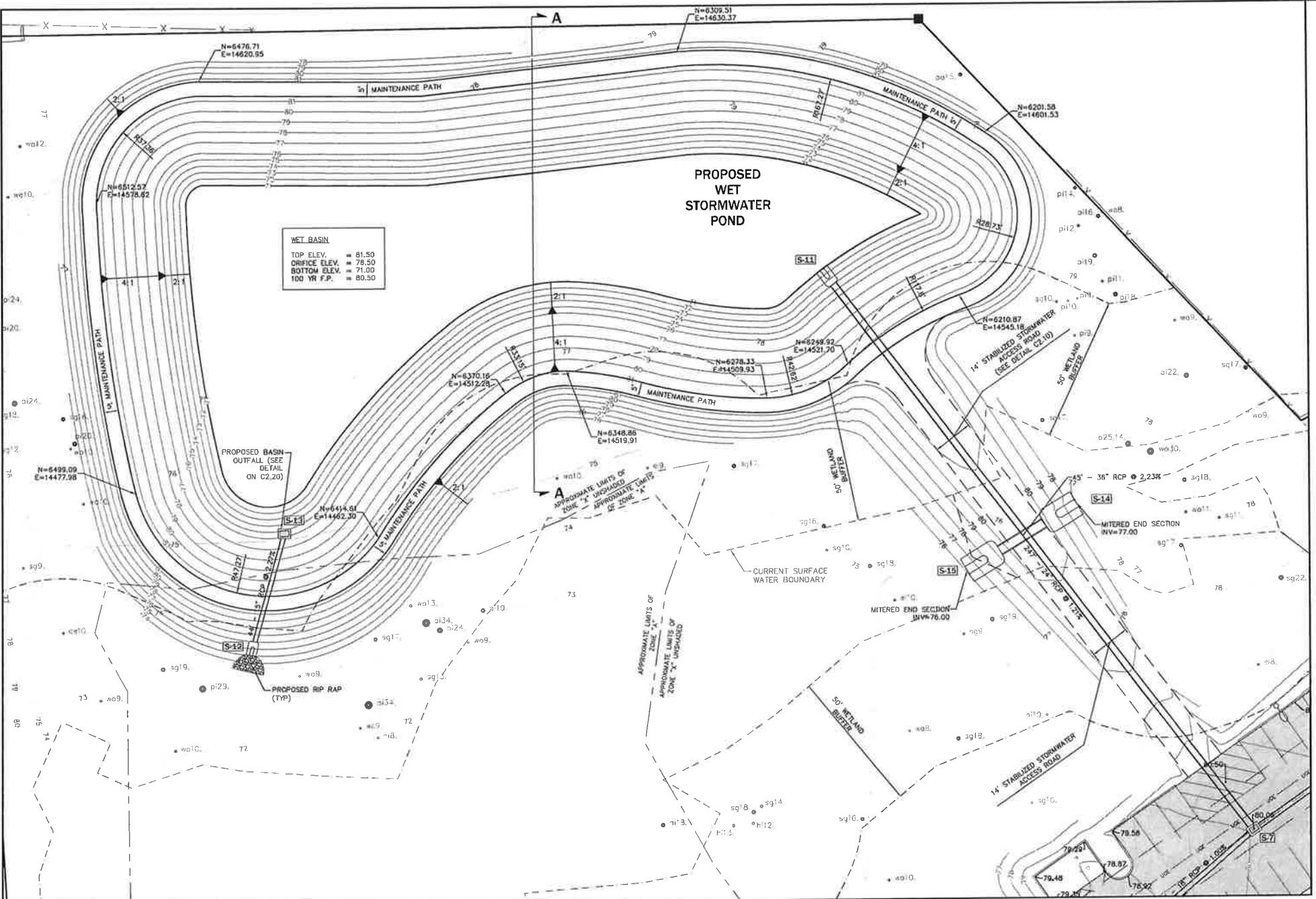
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**ccs** engineers • surveyors • planners  
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PO BOX 1101, LANTANA, FL 33462-1101  
(407) 252-2249, FAX (407) 252-2249  
www.ccs1.com [info@ccs1.com](mailto:info@ccs1.com)









**BASIN TYPICAL SECTION A-A'**

**BASIN OUTFALL DETAIL**

CITY OF GAINESVILLE  
STORMWATER MANAGEMENT  
SUMMARY SHEET

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION II BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL RICK MELTZER, P.E. DEVELOPMENT REVIEW ENGINEER, AT 334-2051. YOUR HELP IS APPRECIATED.

I. GENERAL	
A. SITE PLAN No. _____	E. PROJECT NAME: <u>FAIRFIELD HOTEL INN &amp; SUITES</u>
B. TAX PARCEL No. <u>06809-000-000</u>	F. ADDRESS: <u>3989 NW 37TH BLVD</u>
C. TAX MAP No. _____	
D. FINAL SITE PLAN SIGN OFF _____	INITIALS: _____

II. SITE INFORMATION			
A. TOTAL IMPERMEABLE AREA ON SITE: <u>90,189</u> s.f.			
B. STORMWATER MANAGEMENT BASIN DATA			
Retention Volume Basin No.	Retention Volume (cu ft)	Retention Volume Surface Water Area (sq ft)	Elevation At Which Surface Water Discharge Begins from Basin (ft - msl)
1	0.00	91,606	76.50
TOTAL	0.00	91,606	

NOTES:

- (1) PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.
- (2) RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.
- (3) "RETENTION VOLUME SURFACE AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.

PREPARED BY: SERGIO REYES DATE: 02/12/16  
PETITIONER'S ENGINEER

## MAINTENANCE NOTES

1. **Maintenance Responsibility:**  
FIELDIRD INN & SUITES WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING STORMWATER MANAGEMENT SYSTEM.
2. **Maintenance Plan:**
  - A. BASINS SHALL BE MOVED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.
  - B. BASIN SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPED CLEAN MORE OFTEN AS THE CONDITION dictates.
  - C. BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).
  - D. BASIN THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED AND HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.
  - E. THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.

STORMWATER STRUCTURE SCHEDULE	
STRUCTURE	STRUCTURE DATA
S-13 TYPE-C INLET	TOP EL=81.50 W 15" INV -74.00

STORMWATER STRUCTURE SCHEDULE	
STRUCTURE	STRUCTURE DATA
S-11 MITERED END SECTION	24" INV.=71.00
S-12 MITERED END SECTION	15" INV.=73.00
S-14 MITERED END SECTION	36" INV.=77.00
S-15 MITERED END SECTION	36" INV.=76.00

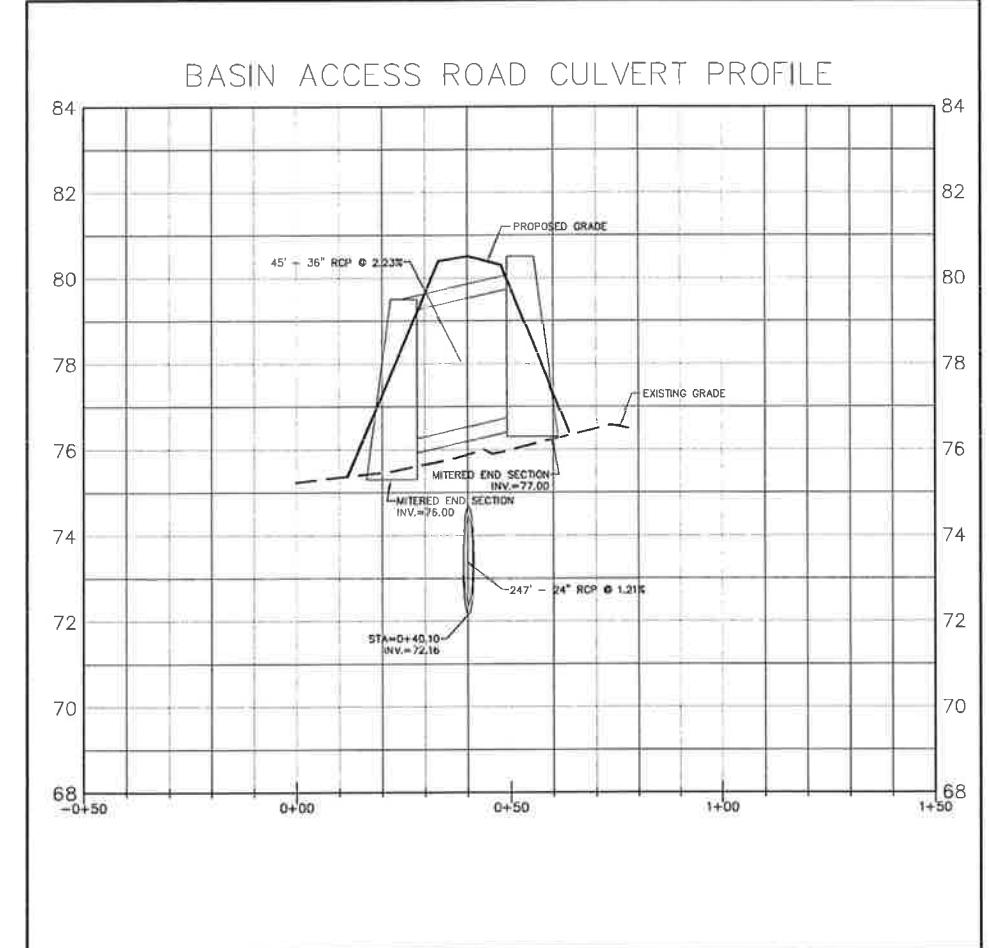
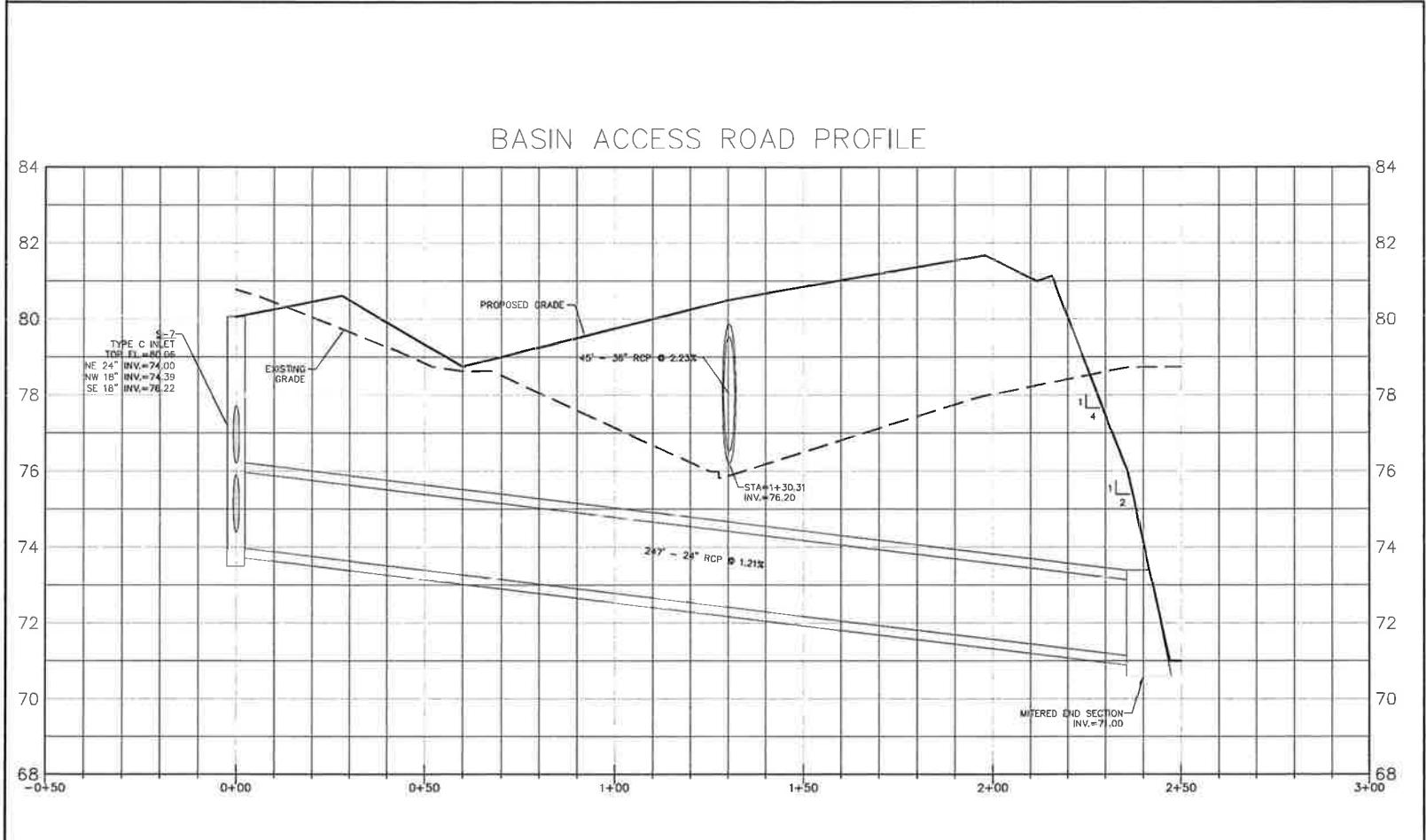
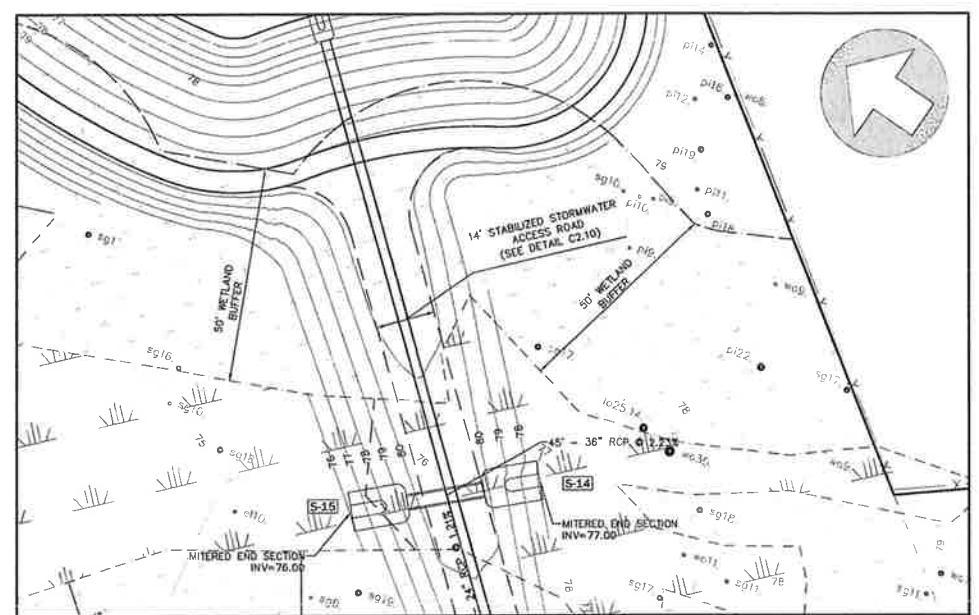
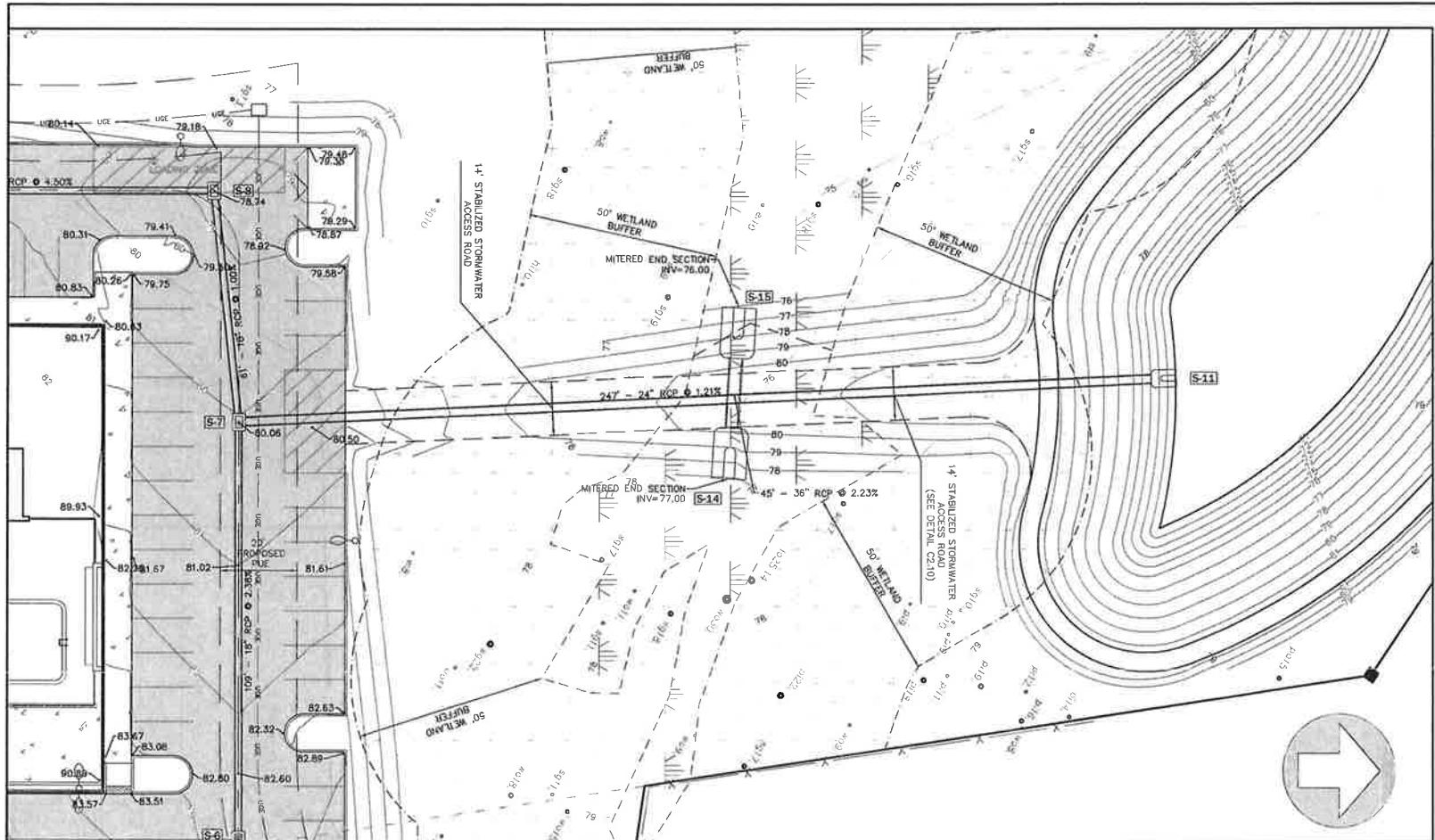
FAIRFIELD INN & SUITES HOTEL  
CITY OF GAINESVILLE, FLORIDA

STORMWATER BASIN DETAILS, NOTES & CROSS SECTIONS

6 NW 43rd St, GAINESVILLE, FLORIDA 32603-6262  
TEL 352/372-5661 FAX 352/372-9249  
www.eudell.com mail@eudell.com

Project Name:	CITY & GRU 2ND SUBMITTAL		
Sheet No.:	C2.20		
Designate: S.R/TAR	Drawn: MAB/TAR	Sheet 1 of 11	
Project No.: 14-190	Date: 04/19/16	STOP	
Professional Engineer of Record:			
Sergio J. Reyes, P.E.		47311	California No.
Engineer		Certification No.	

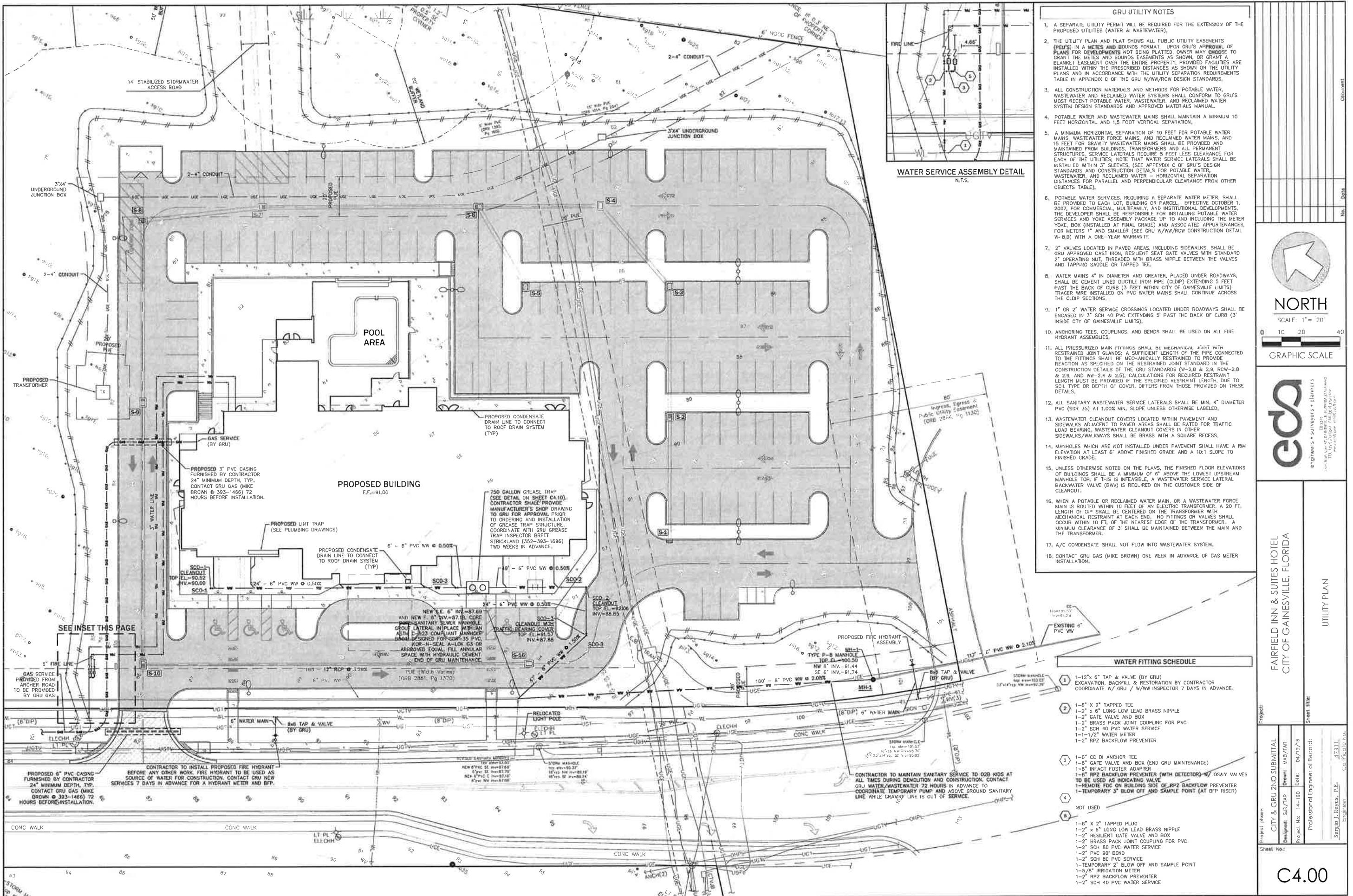
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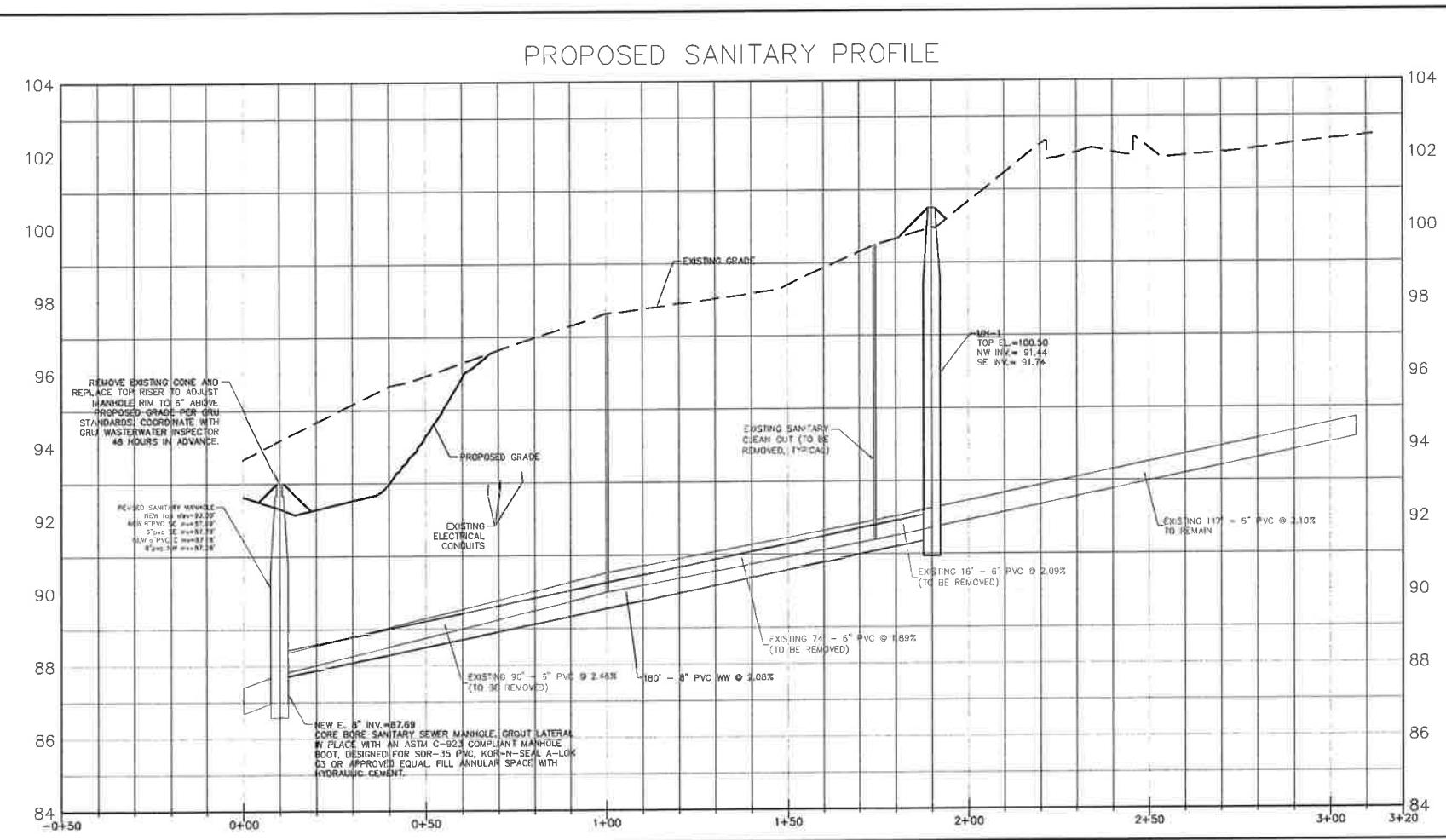
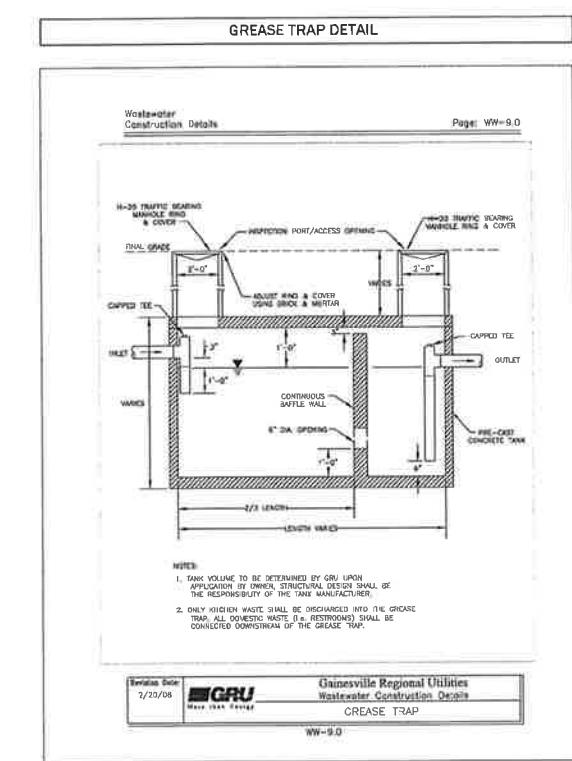
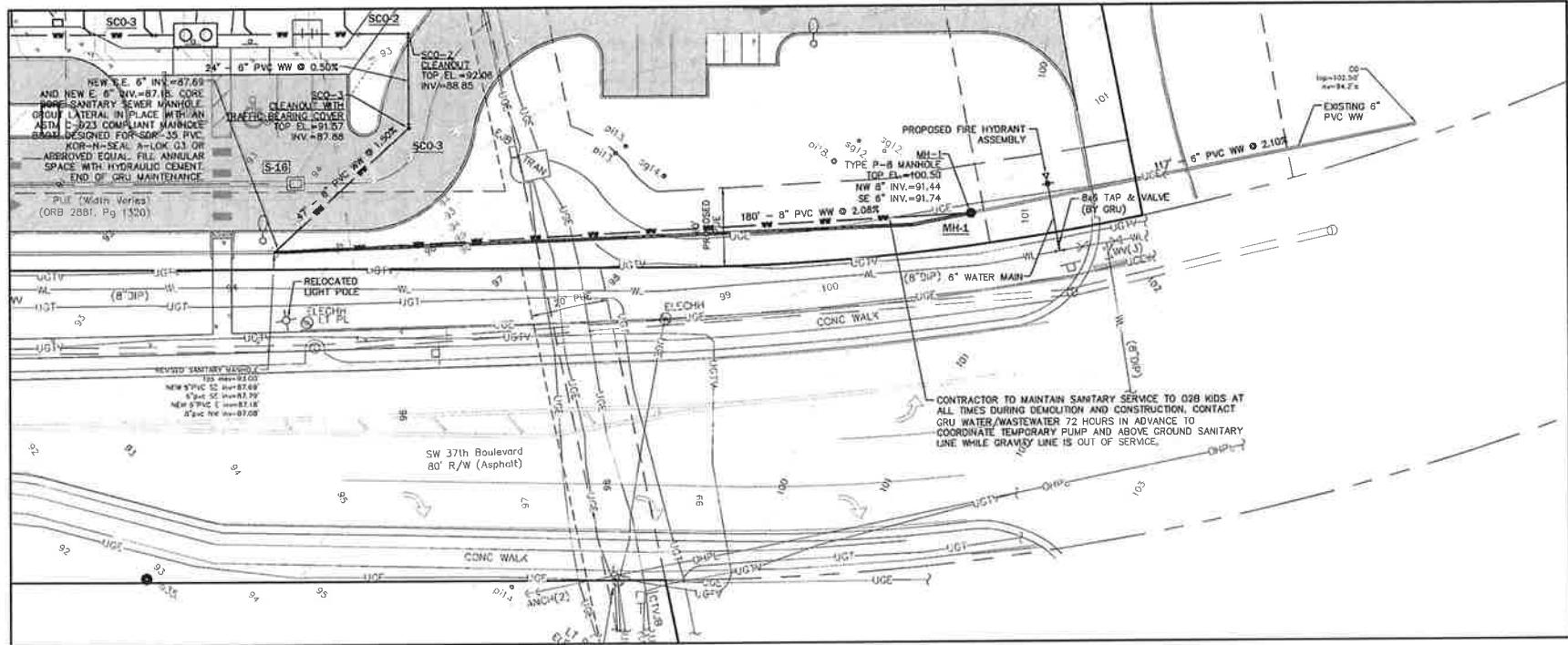


Project phase:	FAIRFIELD INN & SUITES HOTEL CITY OF GAINESVILLE, FLORIDA		
Sheet No.:	CITY & GRU 2ND SUBMITTAL		
Designed by:	SAR/TAR		
Project No.:	04-19/16		
Professional Engineer of Record:	Sergio J. Reyes, P.E. 42311		
Engineer:	Certified No.		
C2.30			

EDISON 32121 GAINESVILLE, FLORIDA 32604-6013  
TELE: 352-375-2500 FAX 352-375-0748  
www.cda.com

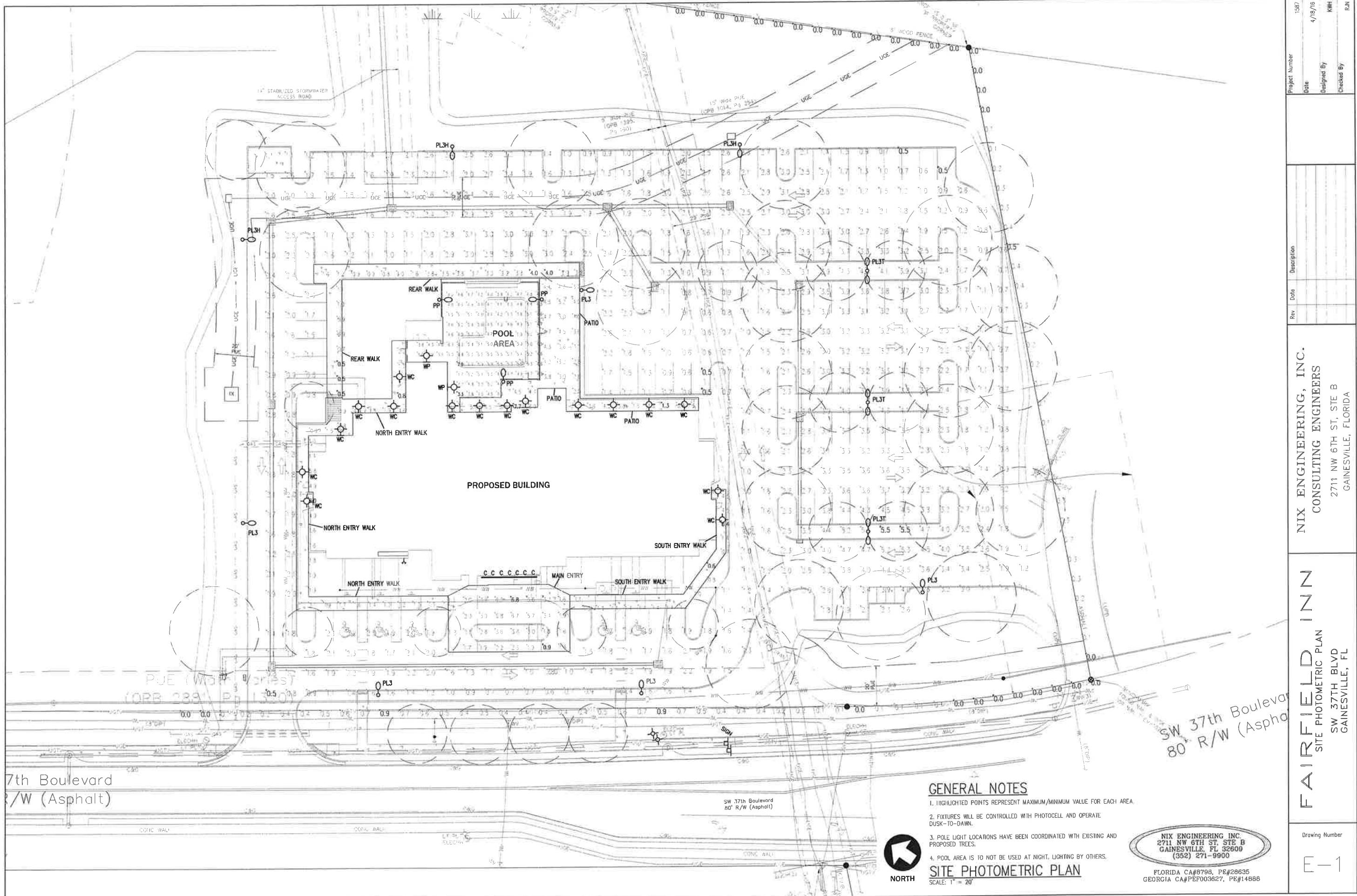






Project phase:	Project: CITY & GRU 2ND SUBMITTAL		
Designer: S/R/TAR	Drawn: MAB/JAR	Date: 04/19/16	Sheet title:
Project No: 14-190	Rev: 0	Professional Engineer/Civil Record:	Sheet No.: SANITARY PLAN AND PROFILE
Fairfield Inn & Suites Hotel City of Gainesville, Florida			
Stereo J. Reeves, P.E. 4731, Certificate No.			
C4.10			

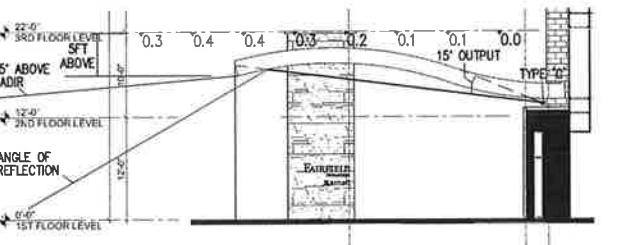




PHOTOMETRIC STATISTICS							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Code
MAIN ENTRY	+	3.0 fc	6.8 fc	0.9 fc	7.6:1	3.3:1	30-344(e)(3) & 30-344(e)(6)(b)
CANOPY +5FT	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A	30-344(e)(6)(c)
NORTH ENTRY WALK	+	2.4 fc	6.0 fc	0.8 fc	7.5:1	3.0:1	30-344(e)(3)
SOUTH ENTRY WALK	+	1.9 fc	5.4 fc	0.6 fc	9.0:1	3.2:1	30-344(e)(3)
REAR WALK	+	2.1 fc	4.0 fc	0.5 fc	8.0:1	4.2:1	30-344(e)(3)
PATIO	+	4.1 fc	7.7 fc	1.3 fc	5.9:1	3.2:1	30-344(e)(3)
WEST PROPERTY LINE	+	0.3 fc	0.9 fc	0.0 fc	N/A	N/A	30-344(d)(3)(b)
NORTHEAST PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	30-344(d)(3)(b)(1)
SOUTHEAST PROPERTY LINE	+	0.2 fc	0.5 fc	0.0 fc	N/A	N/A	30-344(d)(3)(b)(1)
PARKING LOT	+	2.1 fc	5.5 fc	0.5 fc	11.0:1	4.2:1	30-344(e)(4)(c)
LIGHTING IN THE POOL AREA IS REGULATED BY STATE STANDARDS.							
POOL AREA	+	4.9 fc	7.0 fc	3.3 fc	2.1:1	1.5:1	CHAPTER 64E-9

#### PHOTOMETRIC STATISTIC NOTES

1. LIGHTING IN THE MAIN ENTRY CANOPY AREA IS PROVIDED BY INDIRECT MEANS AS PERMITTED BY 30-344(e)(6)(c). LIGHT LEVELS AT 5FT ABOVE CANOPY COMPLY WITH THIS SECTION. SEE CANOPY LIGHTING DETAIL, THIS SHEET.
2. WITH THE EXCEPTION OF THE MAIN ENTRY CANOPY, ALL PROPOSED LIGHTING IS FULL CUT-OFF. THEREFORE, LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.



CANOPY LIGHTING DETAIL

SCALE: 1" = 10'

LUMINAIRE SCHEDULE FOR PHOTOMETRICS											
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	MH	
○-○	PL3	4	LEOTEK	AR18-24M-MV-NW-3-XX-530	30-3/8'L X 17-1/2"W X 8'H, LED AREA/STREET LIGHT TWENTY FOUR COOL LIGHT LEDS WITH TYPE III OPTICS	AR18-24M-MV-NW-3-XX-530.IES	Absolute	0.81	30		
○-○	PL3H	3	LEOTEK	AR18-24M-MV-NW-3-XX-700	30-3/8'L X 17-1/2"W X 8'H, LED AREA/STREET LIGHT TWENTY FOUR COOL LIGHT LEDS WITH TYPE III OPTICS	AR18-24M-MV-NW-3-XX-700.IES	Absolute	0.81	30		
○-○-○	PL3T	4	LEOTEK	AR18-24M-MV-NW-3-XX-530	30-3/8'L X 17-1/2"W X 8'H, LED AREA/STREET LIGHT TWENTY FOUR COOL LIGHT LEDS WITH TYPE III OPTICS	AR18-24M-MV-NW-3-XX-530.IES	Absolute	0.81	30		
○○	WC	17	LUMINIS	SY600-L1W12r1-R60	(1) Bridgelux BXRC-40E400-F Round LED Array (1) White 12W SSL	SY600-L1W12r1-R60.IES	Absolute	0.81	11		
—	C	7	INSIGHT	MVW12/40K15/U/CES48/INT-1W	2-1/2'L X 48-1/4"W X 4'H, LED FIXTURE CLEAR LENS	MVW112 40K 15 U CES 48 INT-1 W.IES	Absolute	0.81	13		
○-○	PP	3	PHILIPS	SFA-4-130LA-NW	SlenderForm Square	(1) LIGHT ARRAY OF 80 LEDs DRIVEN AT 530mA	SFA-4-130LA-NW.IES	Absolute	0.81	20	
○○	WP	2	PHILIPS	122L4-55LA-NW	122 SlenderForm LED Sconce	(1) LIGHT ARRAY OF 32 LEDs DRIVEN AT 530mA	122-4-55LA-NW.IES	Absolute	0.81	10	

#### FIXTURE SCHEDULE NOTES

1. TYPES PL3 AND PL3T ARE POLE MOUNT, FULL CUT-OFF LED FIXTURES INTENDED TO SERVE THE PARKING AREAS. THE FIXTURES SHALL BE MOUNTED AT 30FT ON A 3SF1 SQUARE, DIRECT BURY CONCRETE POLE, AND FIXED IN THE HORIZONTAL POSITION. A WAIVER TO THE 15FT MOUNTING HEIGHT REQUIREMENT OF 30-344(e)(6)(2) IS REQUESTED. NO IES FILE OF THE CHOSEN FIXTURE WAS AVAILABLE, THEREFORE A SUBSTITUTION WAS MADE TO APPROXIMATE THE FIXTURE OUTPUT, DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

2. TYPE WC IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE. THE FIXTURES SHALL BE MOUNTED AT 11FT. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION. THE LIGHT SOURCE SHALL BE FIXED AND ADJUSTMENT DISABLED AFTER INSTALLATION.

3. TYPE C IS A LINEAR LED FIXTURE WITH 15' LIGHT OUTPUT. THE FIXTURE SHALL BE MOUNTED TO ILLUMINATE THE UNDERSIDE OF THE MAIN ENTRY CANOPY AND PROVIDE INDIRECT ILLUMINATION IN THE ENTRY AREA. THE DIRECT OUTPUT OF THE FIXTURE WILL BE AIMED EXCLUSIVELY AT THE UNDERSIDE OF THE CANOPY. THE LIGHT SOURCE SHALL BE FIXED AND ADJUSTMENT DISABLED AFTER INSTALLATION; SEE CANOPY LIGHTING DETAIL, THIS SHEET.

4. TYPE PP IS A POLE MOUNT, FULL CUT-OFF LED FIXTURE INTENDED TO SERVE THE POOL AREA. THE FIXTURE SHALL BE MOUNTED AT 20FT ON A ROUND METAL POLE & CONCRETE POLE BASE. THE FIXTURE SHALL BE FIXED IN THE HORIZONTAL POSITION. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

5. TYPE WP IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE SERVING THE POOL AREA. THE FIXTURES SHALL BE MOUNTED AT 10FT. DUE TO THE FULL CUT-OFF NATURE OF THE INSTALLATION, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

6. FIXTURE CUT SHEETS AND PHOTOMETRIC REPORTS ATTACHED.

#### PHOTOMETRIC NARRATIVE

THE FOLLOWING IS INTENDED TO SERVE AS A DESIGN NARRATIVE AND WAIVER REQUEST FOR THIS PROJECT.

THIS DESIGN ENCOMPASSES LIGHTING FOR A NEW HOTEL, ALONG WITH PARKING FACILITIES AND ASSOCIATED WALKWAYS.

THE PARKING LOT AREA WILL BE LIT WITH POLE MOUNT LIGHT FIXTURES. THE FIXTURES WILL UTILIZE AN LED SOURCE, WILL BE FULL CUT-OFF, AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 30FT AFG. THESE FIXTURES ARE REFERRED TO AS TYPES 'PL3', 'PL3H', AND 'PL3T'. THESE FIXTURES WILL BE MOUNTED ON DIRECT BURY CONCRETE POLES.

A RESIDENTIAL ZONING EXISTS ON THE ADJACENT PROPERTY TO THE EAST AND SOUTHEAST, A PORTION OF THE NEW PARKING LOT AREA AND ASSOCIATED LIGHT POLES ARE WITHIN 25FT OF AN EXISTING RESIDENTIAL USE. HOWEVER, THESE FIXTURES ARE AIMED AWAY FROM THE PROPERTY LINE AND LIGHT TRESPASS ONTO THE RESIDENTIAL PROPERTY IS DEMONSTRATED AS NOT EXCEEDING 0.5FC. THEREFORE, A WAIVER TO THE 15FT MOUNTING HEIGHT REQUIREMENT OF 30-344(e)(6)(2), AND TO THE REDUCED LIGHT LEVEL REQUIREMENTS OF 30-344(e)(6)(3) IS REQUESTED.

THE WALKWAY AREAS ARE LIT WITH DECORATIVE WALL MOUNT LED FIXTURES, REFERRED TO AS TYPES 'WC'. THESE FIXTURES ARE FULL CUT-OFF AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 11FT AFT.

THE MAIN ENTRANCE HAS AN ARCHITECTURAL CANOPY COVER WHICH WILL BE LIGHTED USING LINEAR LED FIXTURES, REFERRED TO AS TYPE 'C'. THESE FIXTURES PROVIDE INDIRECT LIGHTING TO THE ENTRY AREA.

LIGHTING HAS BEEN PROVIDED IN THE POOL AREA, WHICH IS REGULATED BY STATE STANDARDS AND IS EXEMPT FROM THE REQUIREMENTS OF 30-344. THIS INFORMATION HAS BEEN INCLUDED HERE FOR REFERENCE ONLY. THE POOL AREA WILL BE LIT WITH POLE MOUNT LIGHT FIXTURES. THE FIXTURES WILL UTILIZE AN LED SOURCE, WILL BE FULL CUT-OFF, AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 20FT AFG. THESE FIXTURES ARE REFERRED TO AS TYPE 'PP'. THESE FIXTURES WILL BE MOUNTED ON ROUND METAL POLES.

DUSK TO DAWN OPERATION AS REQUIRED BY 30-344(e)(1)(e) IS PROVIDED DUE TO THE 24 HOUR USE OF THE SITE.

OVERALL, THIS DESIGN PROVIDES SAFE LIGHTING FOR VEHICLES AND BUILDING PATRONS WHILE CONFORMING WITH THE INTENT OF 30-344 AND MINIMIZING IMPACT ON NEIGHBORING PROPERTIES.

NIX ENGINEERING, INC.  
CONSULTING ENGINEERS

2711 NW 6TH ST, STE B  
GAINESVILLE, FLORIDA

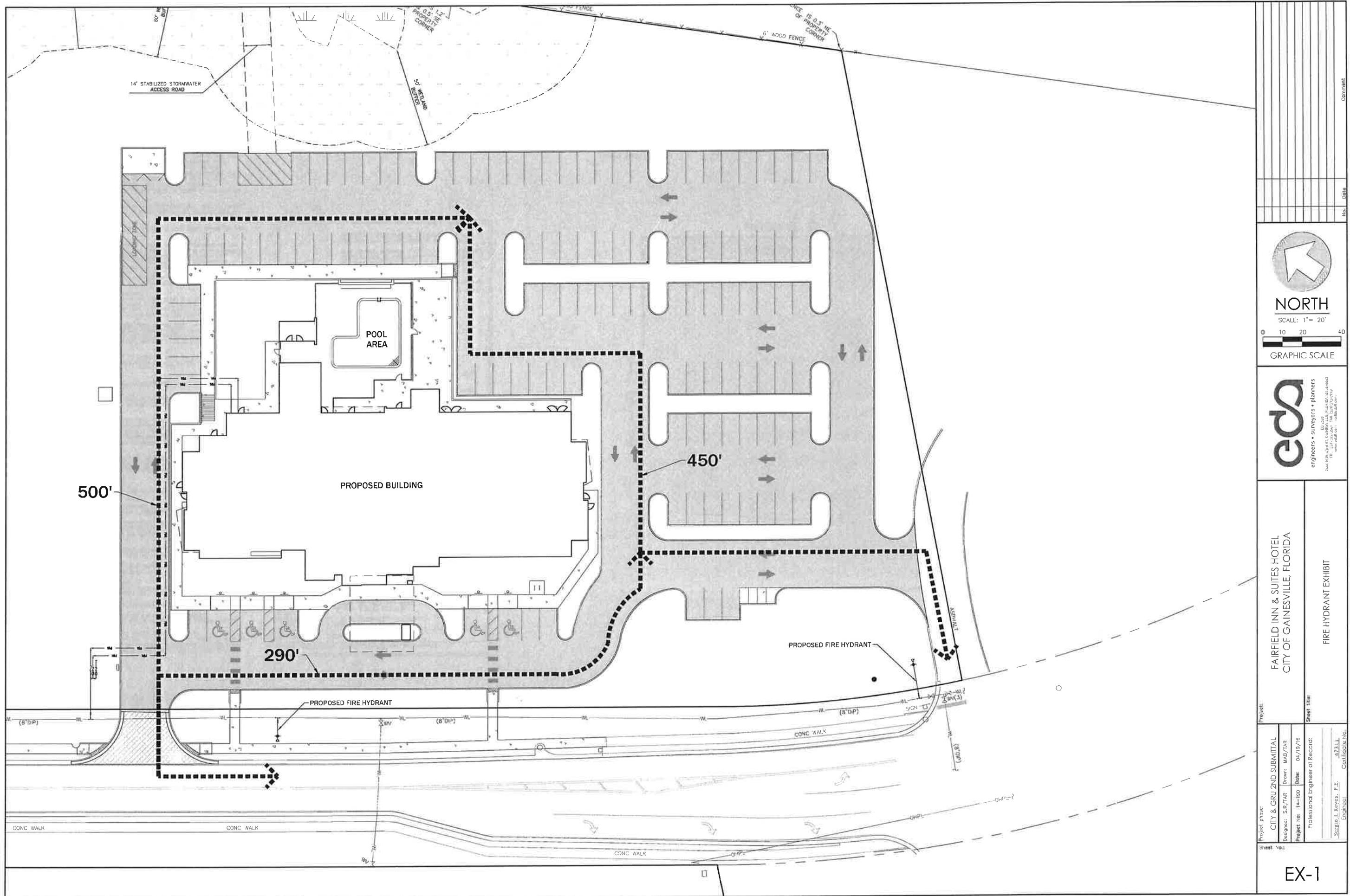
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S I T E P H O T O M E T R I C P L A N  
S W 3 7 T H B L V D  
G A I N E S V I L L E , F L

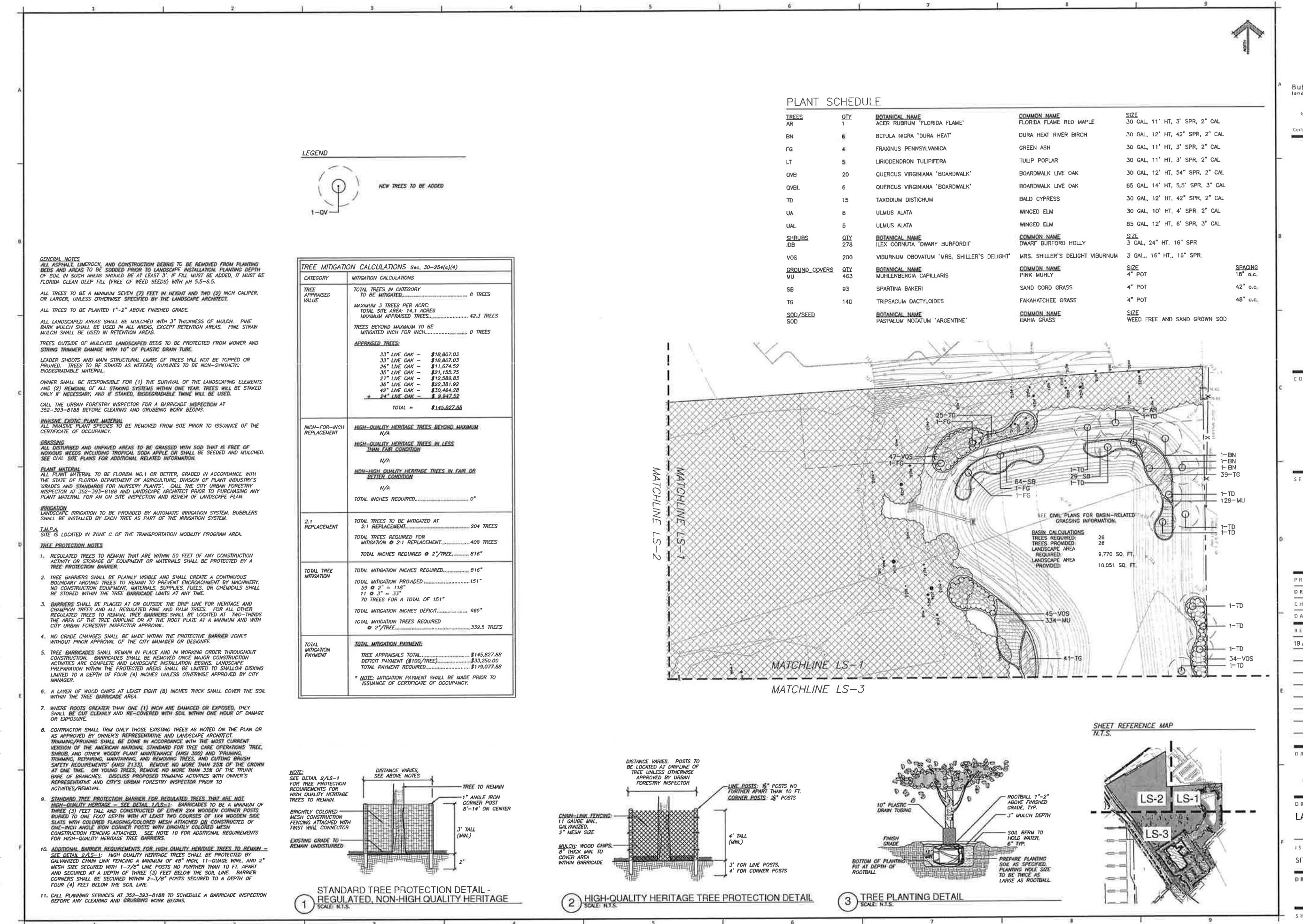
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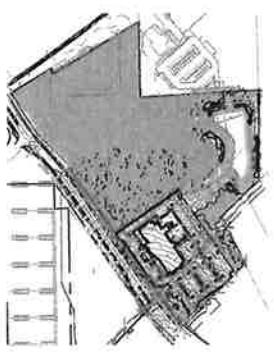
E-2

Project Number	1587
Date	4/16/16
Designed By	✓WH
Checked By	R.J.N.

FLORIDA CA#8798, PE#28635  
GEORGIA CA#PBF003627, PE#14088









## NEW HOTEL INN AND SUITES

MR. NICK PATEL

GAINSVILLE, FLORIDA

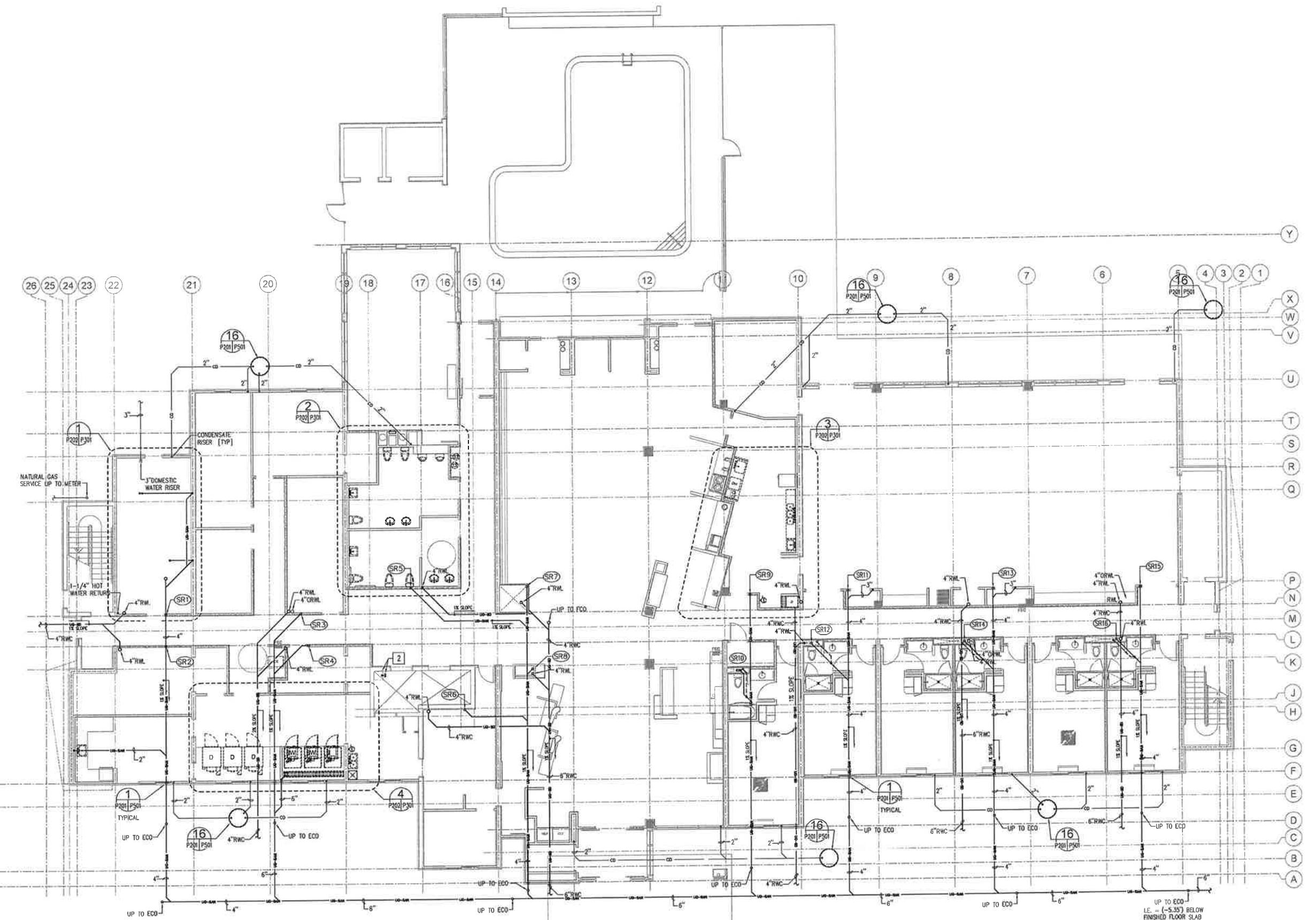
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JOB NO.  
15009DATE  
01-18-15

SHEET

P201

O F



BELOW SLAB PLAN - PLUMBING

90% SUBMITTAL

NOT FOR CONSTRUCTION

## BOUNDARY AND TOPOGRAPHIC SURVEY

IN  
SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST,  
AND THE GARY GRANT,  
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA  
FOR  
LAKE CITY HOTELS, INC.

Legend and Abbreviations  
 PB Professional Surveyor and Mopper  
 LB Licensed Business  
 L Arc Length  
 D Delta (Central) Angle  
 CB Chord Bearing  
 CD Chord Distance  
 (NR) Non-Radius  
 R/W Right-of-Way  
 POC Permanent Reference Point  
 POC Point of Commencement  
 POC Point of Beginning  
 P More or Less  
 RCP Reinforced Concrete Pipe  
 MES Mitered End Section  
 CM Concrete Marker  
 ORB Official Records Book  
 IP Iron Pipe  
 IRAC Iron Rod with Plastic Cap  
 IRP Iron Rod with Plastic Pipe  
 PK Parker-Kalon Brand  
 MAB Marshall's Brand  
 GCD Gandy's Brand  
 OH Overhead Line  
 TAN Electric Transformer  
 CTV/Cable Television Junction Box  
 EJB Electric Junction Box  
 EMT Electrical Metallic Tube  
 SWGEAR Electric Switchgear  
 LT PL Light Pole  
 MA Manhole  
 MW Water Meter  
 TRA Telephone Riser  
 SP Spur  
 GWMG Water Line Gang Marker

○ Found 5/8" IR/C "LB 2389" (Unless otherwise noted)  
 ● Found 5/8" IR/C "LB 2389" (Unless otherwise noted)  
 □ Found 5/8" IR/C No ID (Unless otherwise noted)  
 ▲ Found Nails and Disk LB 6984 (Unless otherwise noted)

0 60' 120'  
 1'=60'



SHEET 2 OF 4

Parcel I  
11.91± Acres

Tax Parcel  
06809-000-000  
(e) Partion of

Tax Parcel  
06809-000-000  
(e) Partion of

SHEET 4 OF 4

Tax Parcel  
06812-012-001  
(e) Partion of

R=500.00'  
L=1.53'  
D=000'10"30"

S34°46'59" (C)  
15.00'  
NS51'13"01" (C)  
14.73"

R=580.00'  
L=132.90'  
D=0130'7"43"

S36°16'09" (C) 205.01'

SW 37th Boulevard  
50' R/W (Asphalt)

N34°46'59" W 599.95'

Tax Parcel  
06809-000-000  
(e) Partion of

Parcel II  
2.28± Acres

SANITARY MANHOLE

SANITARY MANHOLE

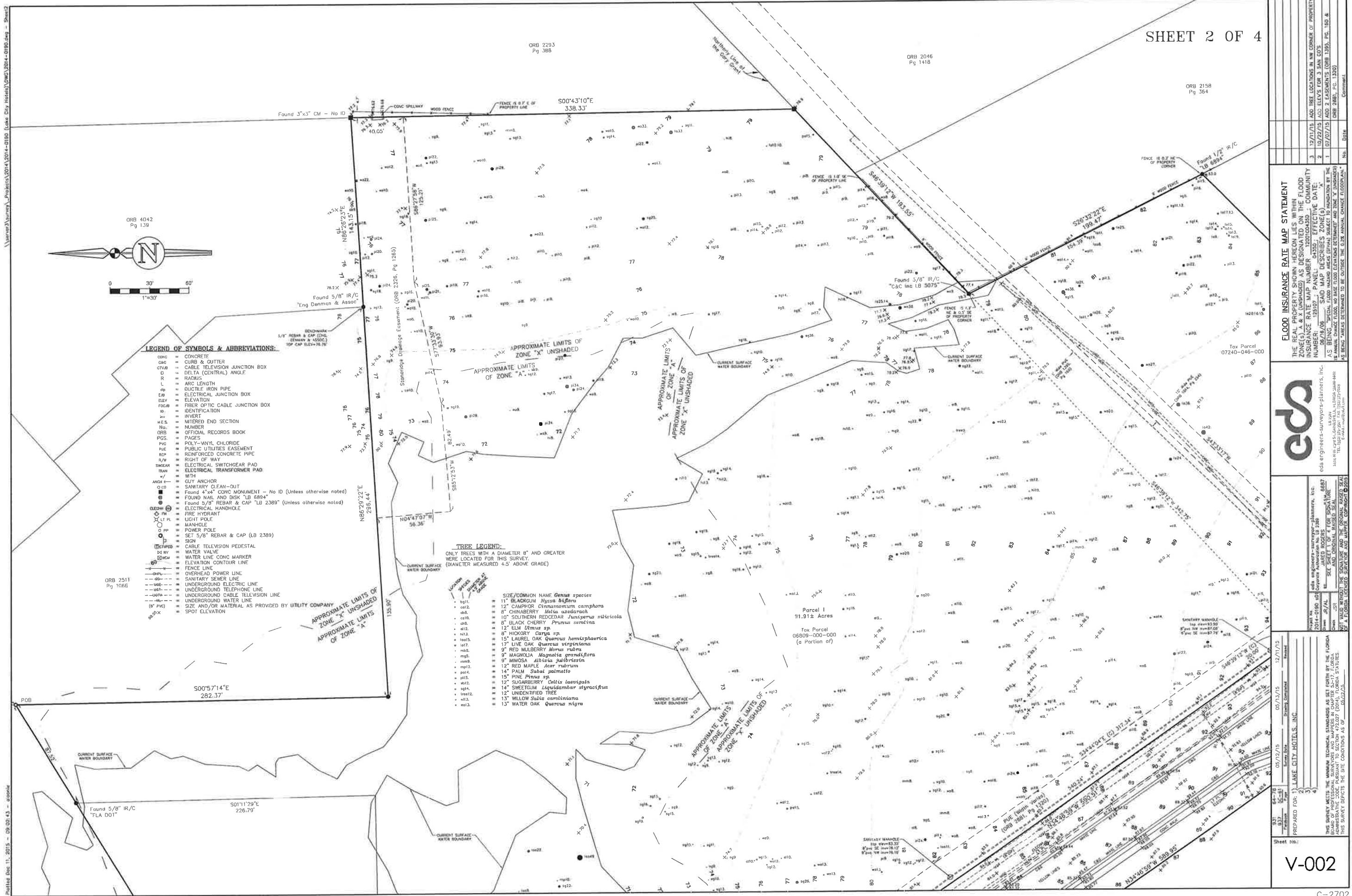
ORB 824  
Pg 698

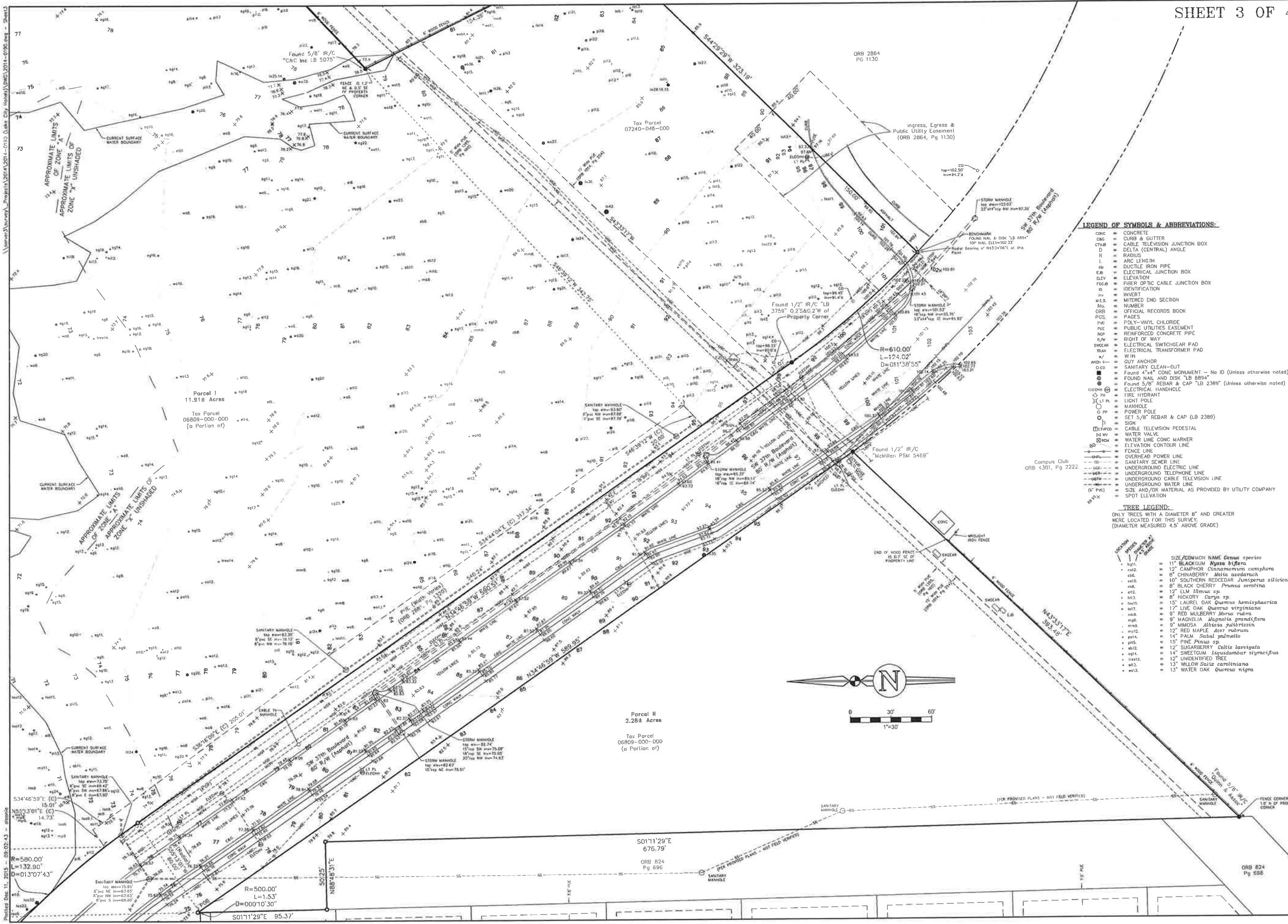
ORB 824  
Pg 698

SW 37th Street  
50' R/W

7.5' PUE

</div





REAL PROPERTY SHOWN HEREON LIES WITHIN  
A 4 (UNSHADED) AS DESIGNATED ON THE FLOOD  
INSURANCE RATE MAP NUMBER 1200104359 COMMUN-  
ICATED BY THE FEDERAL HOME LOAN BANK BOARD  
IN 1964. PLATE NO. 134001, INDEXED, EFFECTIVE DATE  
MAY 1, 1964.

CCS

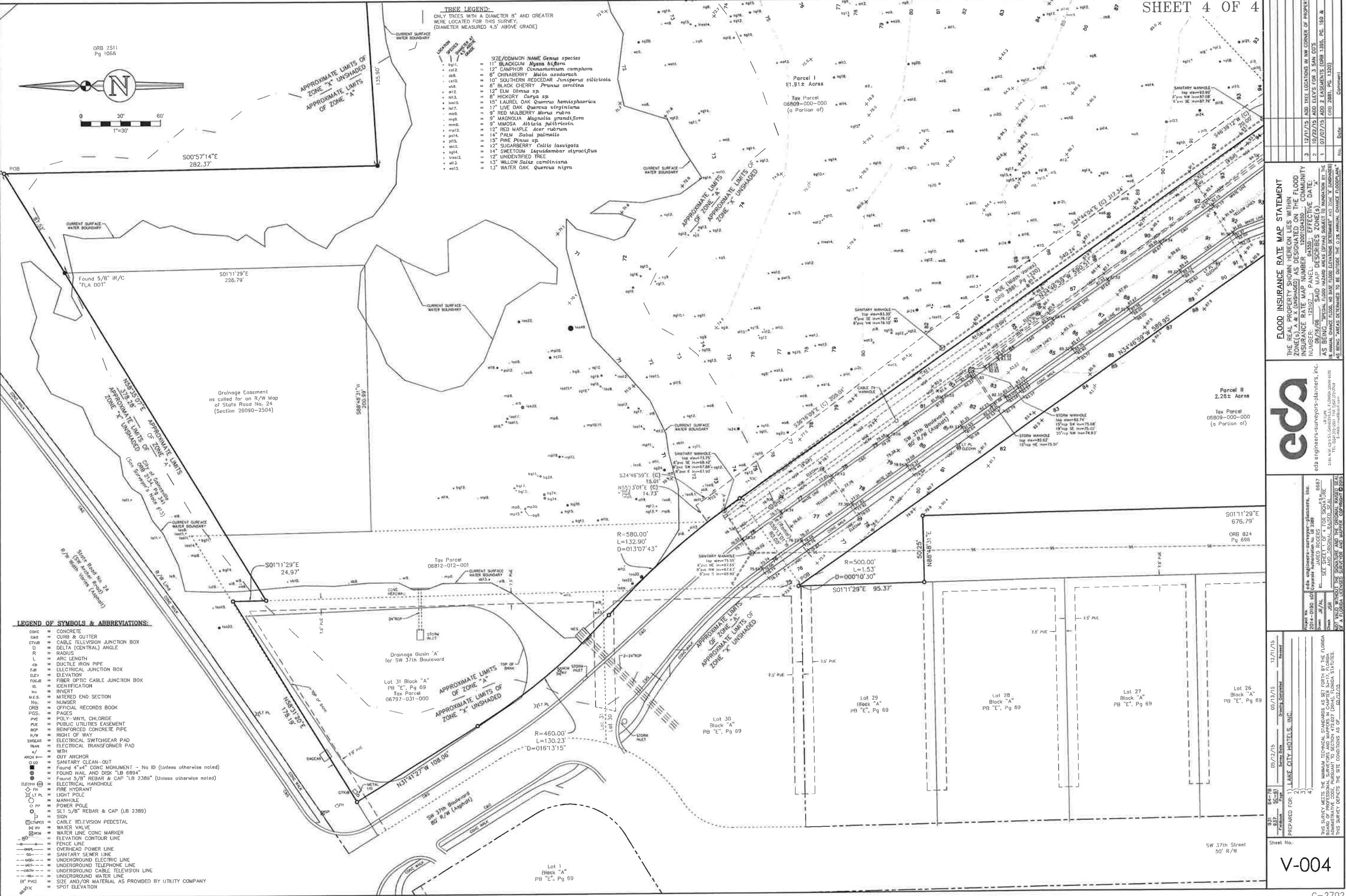
FOR: 1) LAKE CITY HOTELS, INC.  
2) 3)

FBI/DOJ  
PREPARED

2014-0100-10	Concrete	Authorization No. 18-2385	JARED ROGERS	6687
Chem	IR/AL	SEE SHEET 1 OF 4 ON SIGNATURE		
	455	AND, ADDITIONAL, RAISED, SEAL		
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL, RAISED SEAL.				

THIS SURVEY  
BOARD OF P  
ADMINISTRATI  
THIS SURVEY

C-370



# HARIER = ADAMS F.A.

À GODOSE

**MR. NICK PATEL**  
**GAINESVILLE, FLORIDA**

ARCHITECTS AND PLANNERS  
1370 GENE STREET, WINTER PARK, FLORIDA 32789  
PHONE 407 617-6767 FAX 407 617-2062

MR. NICK PATEL  
AINESVILLE, FLORIDA

The logo for Field Systems, featuring the word "FIELD" in a bold, sans-serif font above the word "SYSTEMS" in a smaller, all-caps font. A stylized roofline graphic is positioned above the text.

JOBN

DATE

A2.

OF

# FAIRFIELD INN AND SUITES

JENN AND  
JUICK BATEI

ARCHITECTS AND PLANNERS  
1370 GENE STREET WINTER PARK, FLORIDA 32789  
PHONE: 407 617-5767 FAX 407 617-2062

STRUCTS AND PLANNERS  
107 STREET, WINTER PARK, FLORIDA 32789  
107-617-5767 FAX 407 617-2062

ARC'TH  
1370 GENE  
PHONE

ENVISIO

JOB NO.

DATE  
02-28-1

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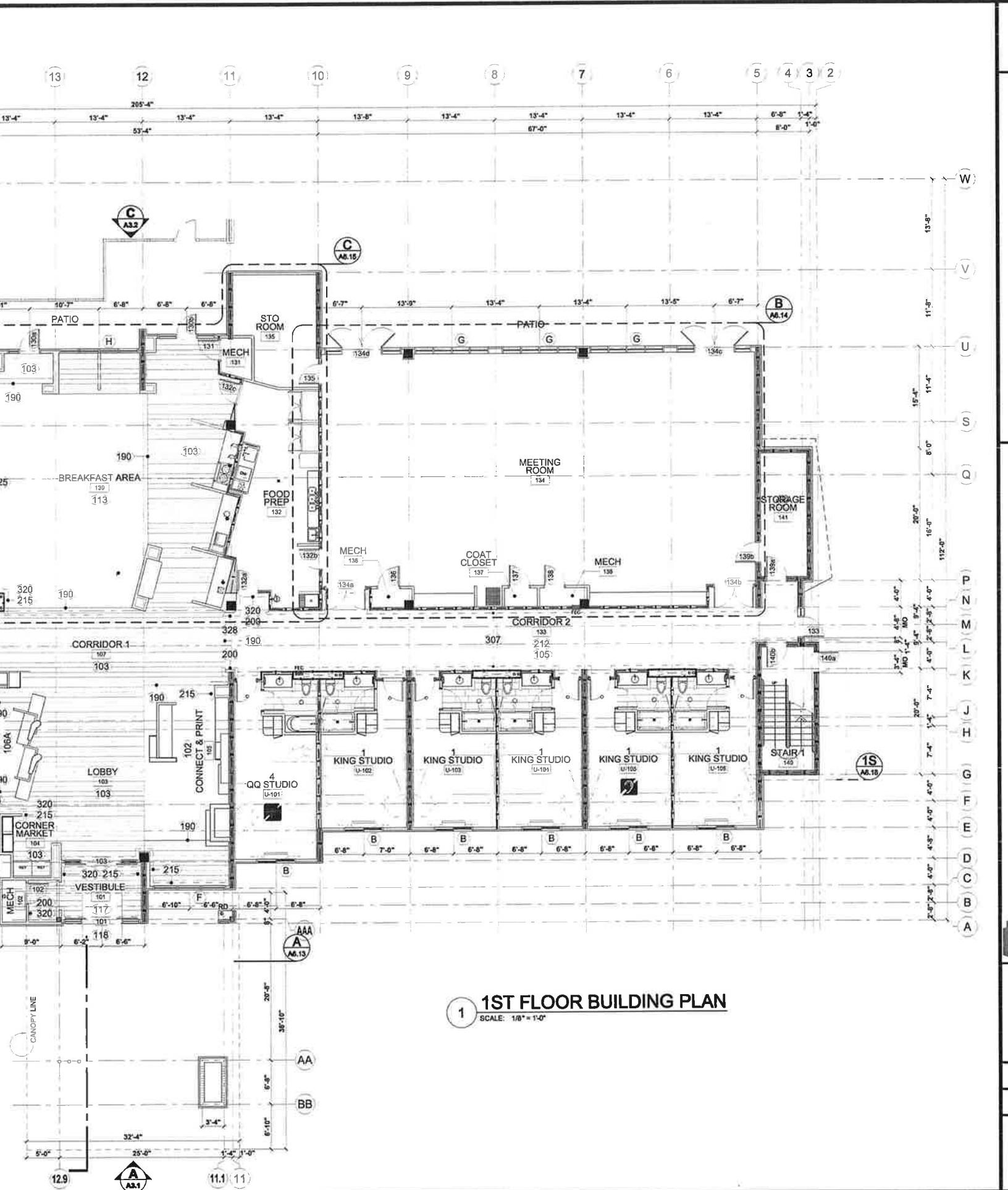
OF

1 1ST FLOOR BUILDING PLAN  
SCALE: 1:20 - 1:20

1011

1ST FLOOR UNIT DATA				
UNIT TYPE	TOTAL	SHOT/TUB	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 4	1 UNIT	TUB		U-101
KING STUDIO - 1	5 UNITS	SHO		U-105
<b>TOTAL UNITS: 6 UNITS</b>				<b>2 TOTAL</b>

**TOTAL AREA: - 15,651 SQ. FT.**





## HARTER - ADAMS P.A.

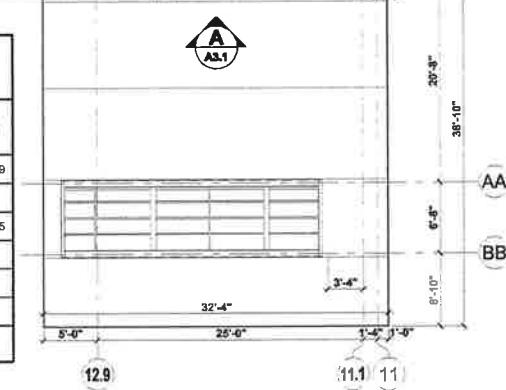
(C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z)

32'-0" 25'-0" 20'-0" 15'-0" 10'-0" 5'-0" 4'-0" 3'-0" 2'-0"

12'-0" 11'-0" 10'-0" 9'-0" 8'-0" 7'-0" 6'-0" 5'-0" 4'-0" 3'-0" 2'-0"

## TYPICAL 3RD &amp; 4TH FLOORS BUILDING PLAN

3 SCALE: 1/8" = 1'-0"



## TYPICAL 3RD &amp; 4TH FLOORS UNIT DATA

UNIT TYPE	TOTAL	SHOWER	ADA UNITS	HEARING IMPAIRED UNITS	UNIT TYPE	TOTAL	SHOWER	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 1	12 UNITS	TUB			KING STUDIO - 1	5 UNITS	SHO		
QQ STUDIO - 2	1 UNIT	TUB			KING STUDIO - 2	1 UNITS	SHO		
QQ STUDIO - ADA	1 UNIT	TUB	U-323; U-423		KING SUITE	3 UNITS	SHO		
QQ SUITE	2 UNITS	TUB	U-316; U-416						
QQ SUITE - ADA	2 UNITS	TUB	U-315; U-317; U-415; U-417						
TOTAL UNITS: 27 UNITS		2 TOTAL	4 TOTAL			8 UNITS			
							TOTAL	4 TOTAL	

TOTAL AREA: 13,338 SQ. FT.

HARTER — ADAMS P.A.

ARCHITECTS AND PLANNERS  
1370 GENE STREET, WINTER PARK, FLORIDA 32789  
PHONE 407-647-5767 FAX 407-647-21052

FARFIELD INN AND SUITES

MR. NICK PATEL  
GAINESVILLE, FLORIDA



REVISION

JOB NO.  
15008

DATE  
02-28-16

HEET

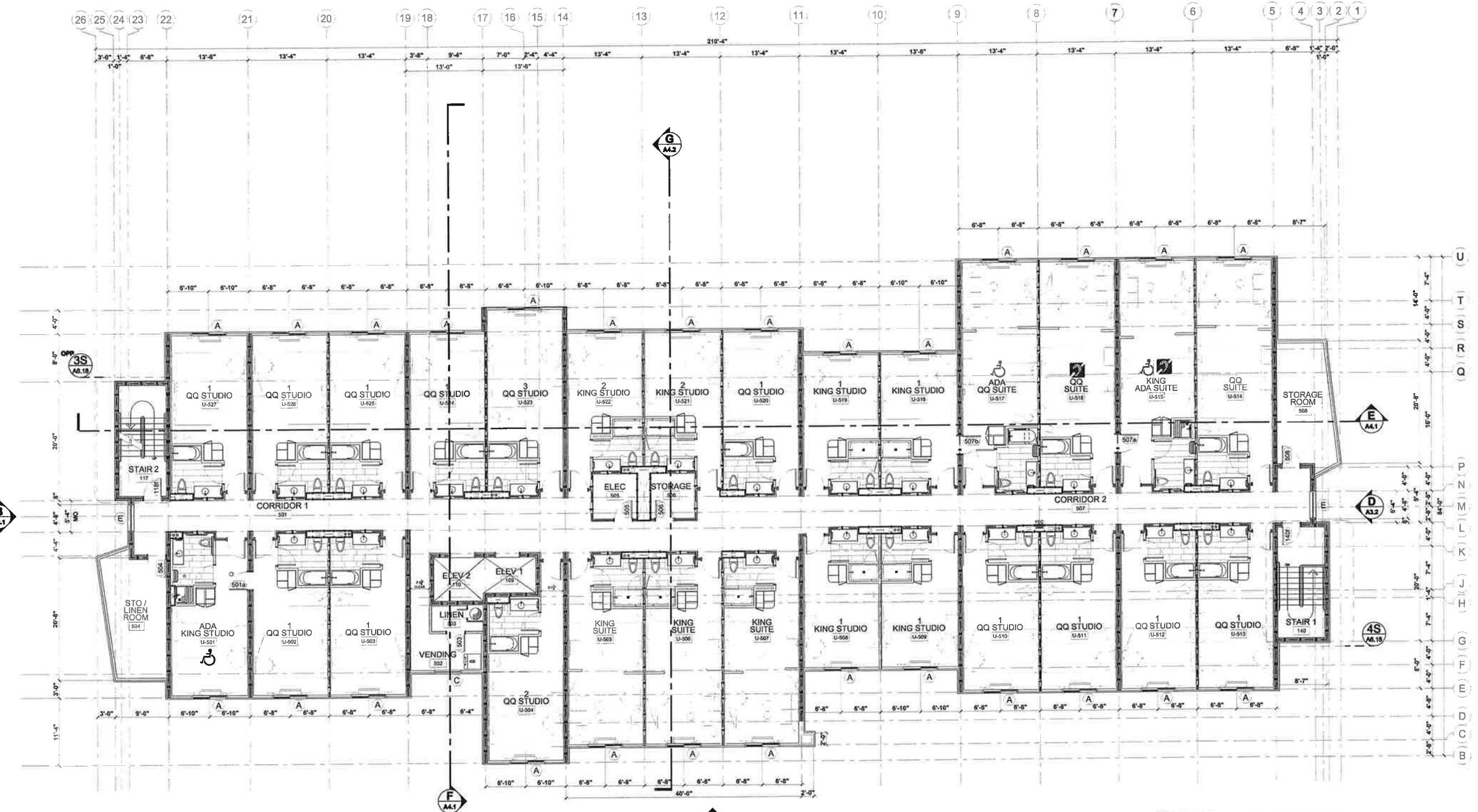
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AA C000608

5TH FLOOR BUILDING PLAN

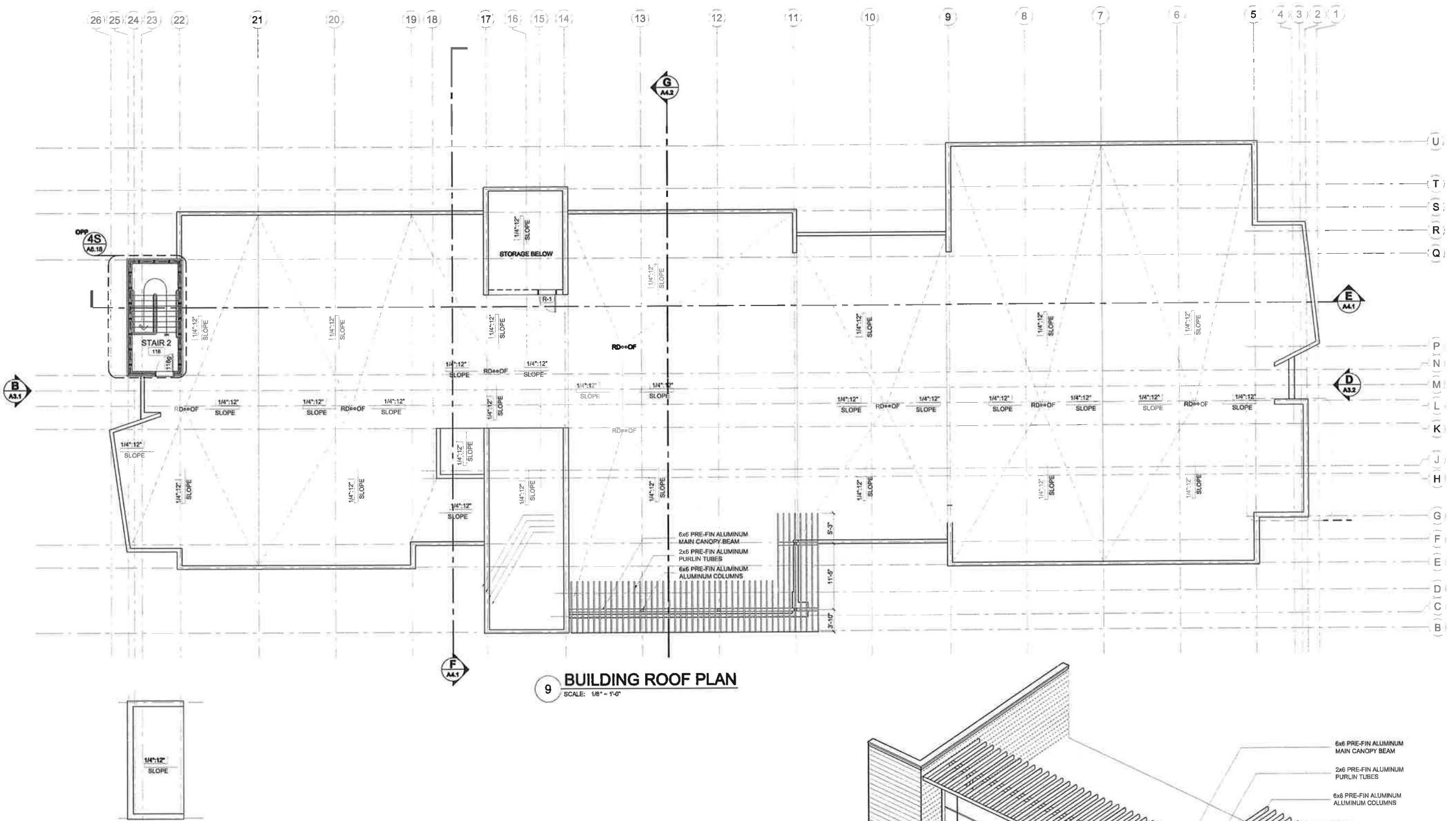
4 SCALE: 1/8" = 1'-0"



5TH FLOOR UNIT DATA

UNIT TYPE	TOTAL	SHOTUB	ADA UNITS	HEARING IMPAIRED UNITS	UNIT TYPE	TOTAL	SHOTUB	ADA UNITS	HEARING IMPAIRED UNITS
QQ STUDIO - 1	11 UNITS	TUB			KING STUDIO - 1	4 UNITS	SHO		
QQ STUDIO - 2	1 UNIT	TUB			KING STUDIO - 2	2 UNITS	SHO		
QQ STUDIO - 3	1 UNIT	TUB			KING STUDIO - ADA	1 UNIT	SHO	U-501	
QQ SUITE	2 UNITS	TUB			KING SUITE	3 UNITS	SHO		
QQ SUITE - ADA	1 UNIT	TUB	U-517		KING SUITE - ADA	1 UNIT	SHO	U-515	U-515
TOTAL UNITS: 27 UNITS		1 TOTAL	1 TOTAL		11 UNITS		1 TOTAL	1 TOTAL	

TOTAL AREA: 13,338 SQ. FT.



**10 STAIR 2 ROOF PLAN**

**9** BUILDING ROOF PLAN  
SCALE: 1/8" = 1'-0"

**11 CANOPY ISOMETRIC**

AA C000606

**MR. NICK PATEL**  
**GAINESVILLE, FLORIDA**

ARCHITECTS AND PLANNERS  
1370 GENE STREET • WINTER PARK, FLORIDA 32789  
PHONE 407.647-5967 FAX 407.647-2062

MR. JONES

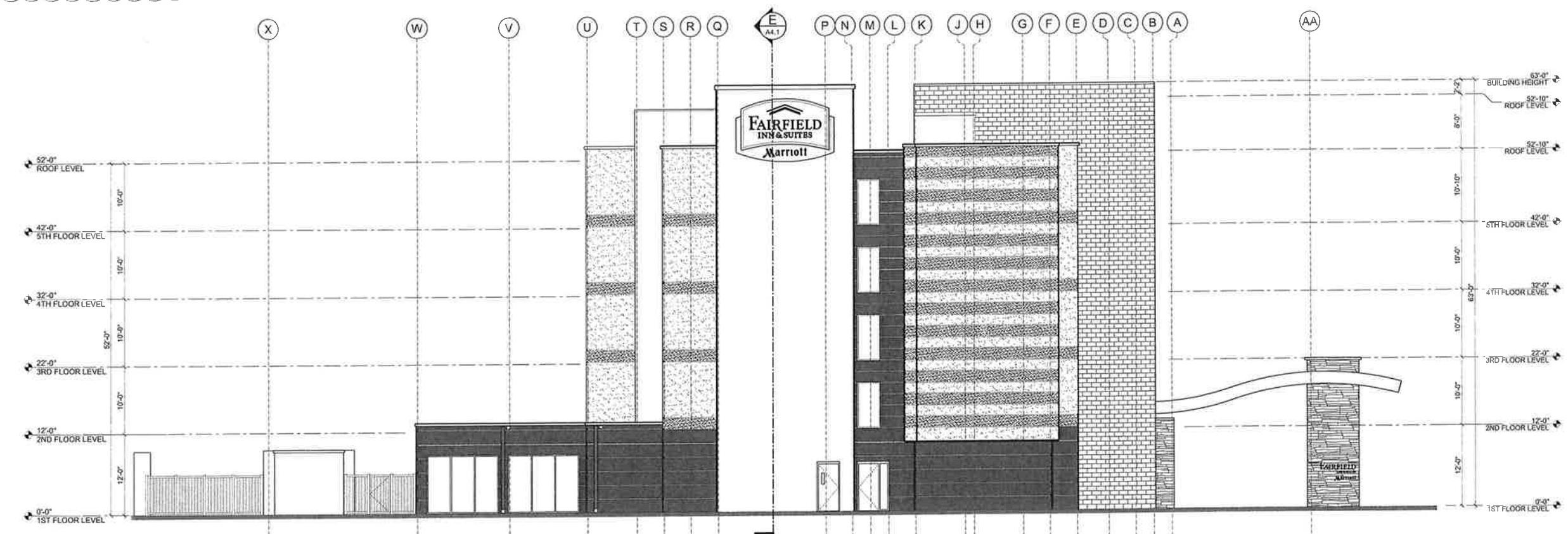
The logo for Courtyard by Marriott, featuring the brand name in a stylized font with a small graphic element above the 'C'.

3 NO.  
1900

ATE

MEET

2.9



HARTER - ADAMS P.A.

AA 000606

ARCHITECTS AND PLANNERS  
1370 GENE STREET, WINTER PARK, FLORIDA 32789  
PHONE 407-647-5767 FAX 407-647-2062

NEW HOTEL INN AND SUITES

MR. NICK PATEL  
GAINSVILLE, FLORIDA

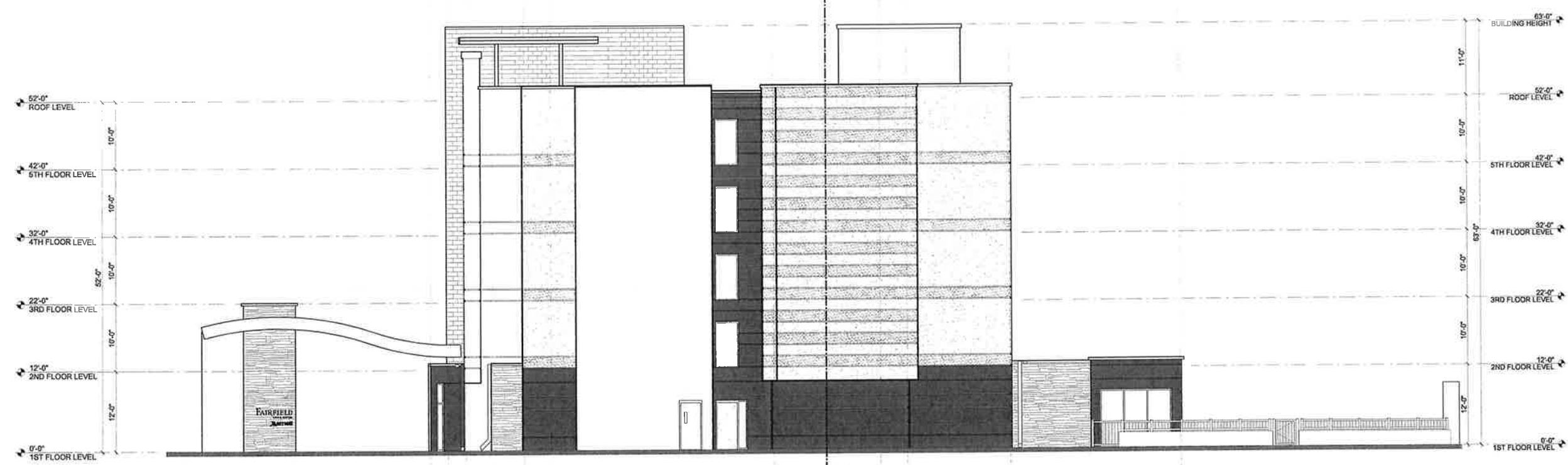


JOB NO.  
15009  
DATE  
03-21-16  
SHEET  
A3.1  
OF



**NORTH EAST ELEVATION**  
A3.2 SCALE: 1/8" = 1'-0"

(AA) (A) (B) (C) (D) (E) (F) (G) (H) (J) (K) (L) (M) (N) (P) (Q) (R) (S) (T) (U) (V) (W)



**SOUTH EAST SIDE ELEVATION**  
A3.2 SCALE: 1/8" = 1'-0"

AA C000606

ARCHITECTS AND PLANNERS  
1370 GENE STREET - WINTER PARK, FLORIDA 32789  
PHONE: 407-647-8767 FAX: 407-647-2062

HARTER - ADAMS P.A.

**FAIRFIELD INN AND SUITES**  
MR. NICK PATEL  
GAINESVILLE, FLORIDA

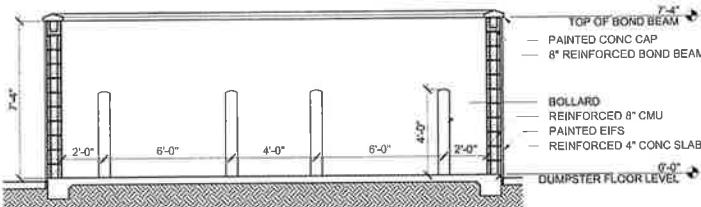


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02-26-16  
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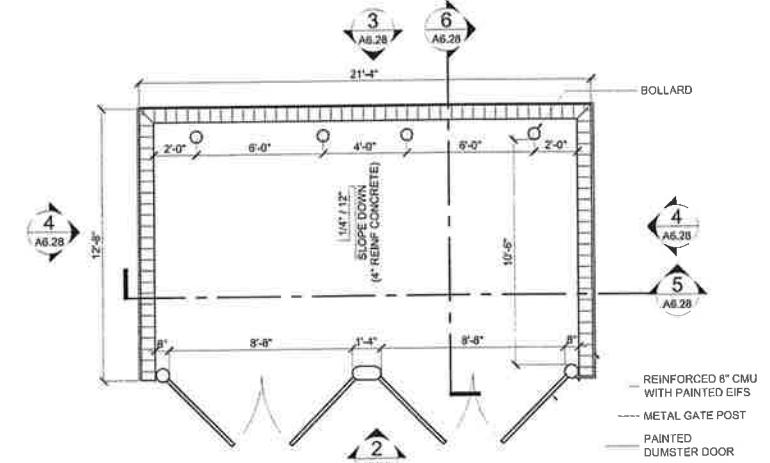
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REVISION  
4-13-16

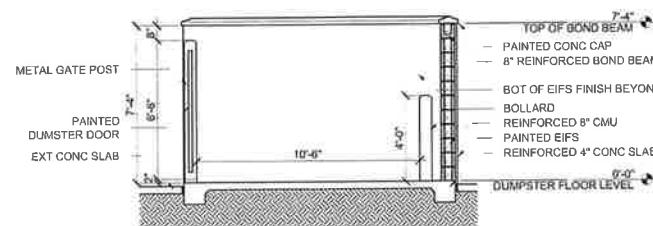
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15009  
DATE  
03-21-16  
SHEET  
A6.28  
OF



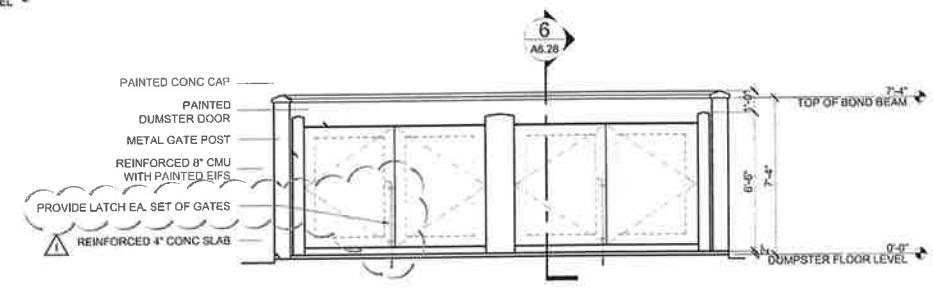
5 DUMPSTER LONGITUDINAL SECTION  
A6.28 SCALE: 1/4" = 1'-0"



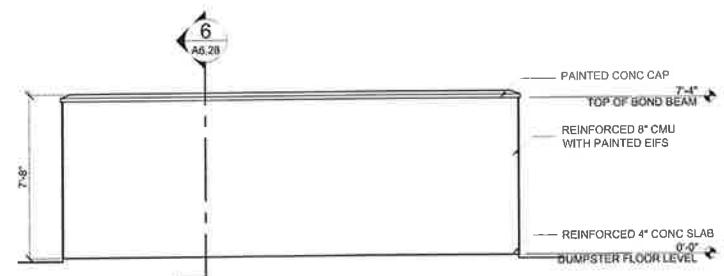
1 DUMPSTER PLAN  
A6.28 SCALE: 1/4" = 1'-0"



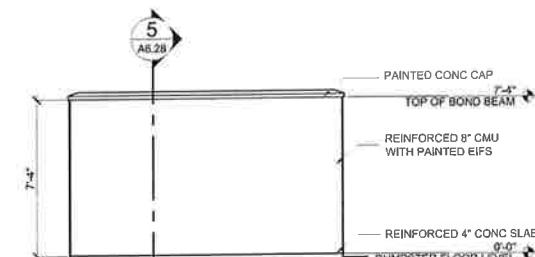
6 DUMPSTER CROSS SECTION  
A6.28 SCALE: 1/4" = 1'-0"



2 DUMPSTER FRONT ELEVATION  
A6.28 SCALE: 1/4" = 1'-0"

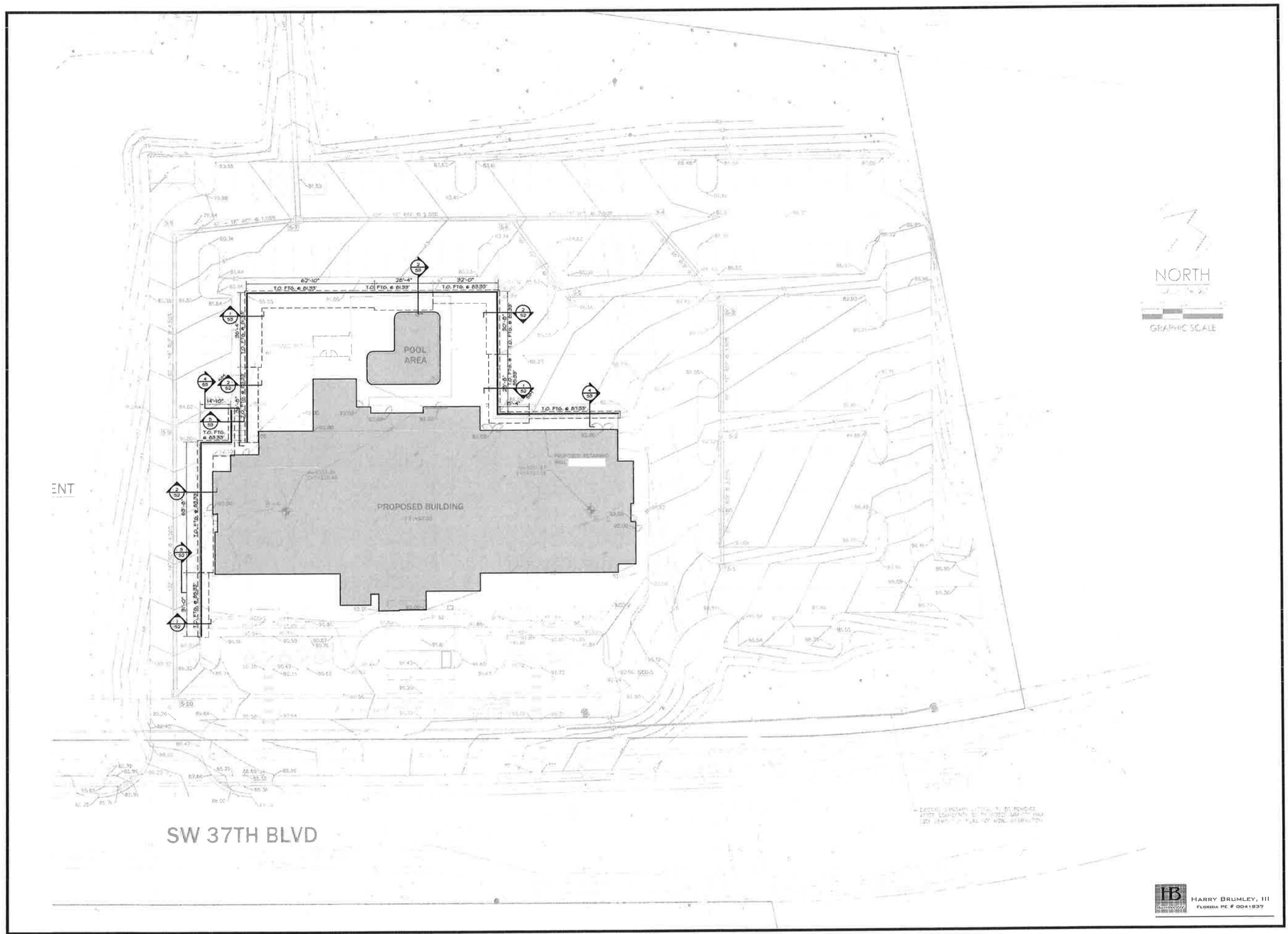


3 DUMPSTER REAR ELEVATION  
A6.28 SCALE: 1/4" = 1'-0"



4 DUMPSTER TYP SIDE ELEVATION  
A6.28 SCALE: 1/4" = 1'-0"

NOTES:  
- FINISH SHALL MATCH THE EXTERIOR OF THE PRINCIPAL BUILDING



Revisions

**HB ASSOCIATES, LLC**  
STRUCTURAL/CIVIL ENGINEERING  
FLORIDA • CA # 0007045

**377 MAINLAND AVENUE, SUITE #2007** 1407-740-5444  
**ALTAMONTE SPRINGS, FL 32701-5443**

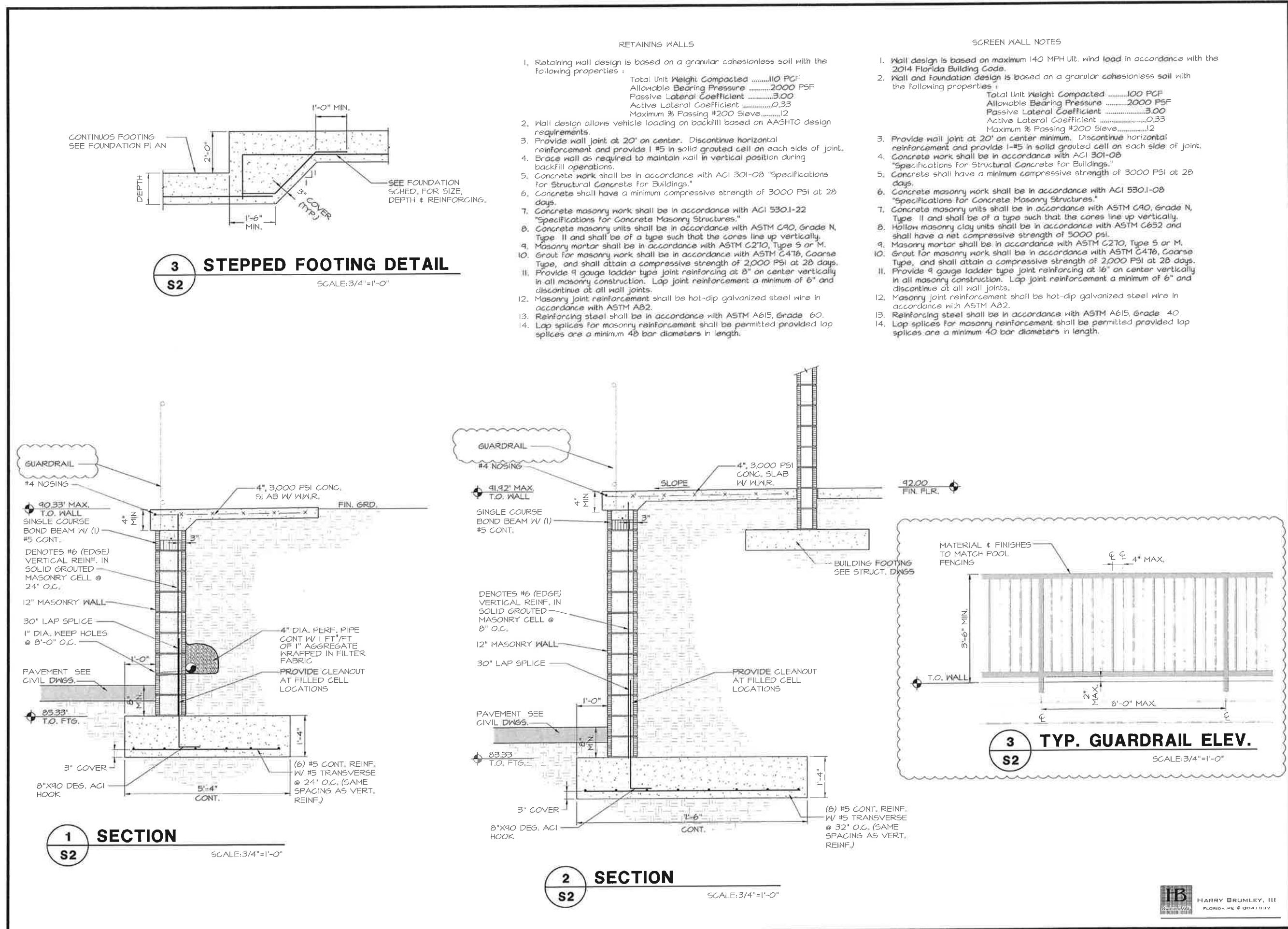
**RETAINING WALL PLAN**

**Drawn:** JM  
**Checked:** HB  
**Date:** 1-25-16  
**Scale:** 1" = 20'  
**Job No.:** 15-112.i

**Sheet: 1 of 3**

**S 1**

**File:**



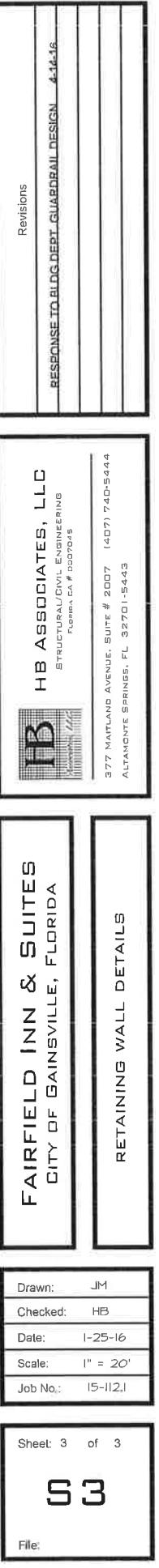
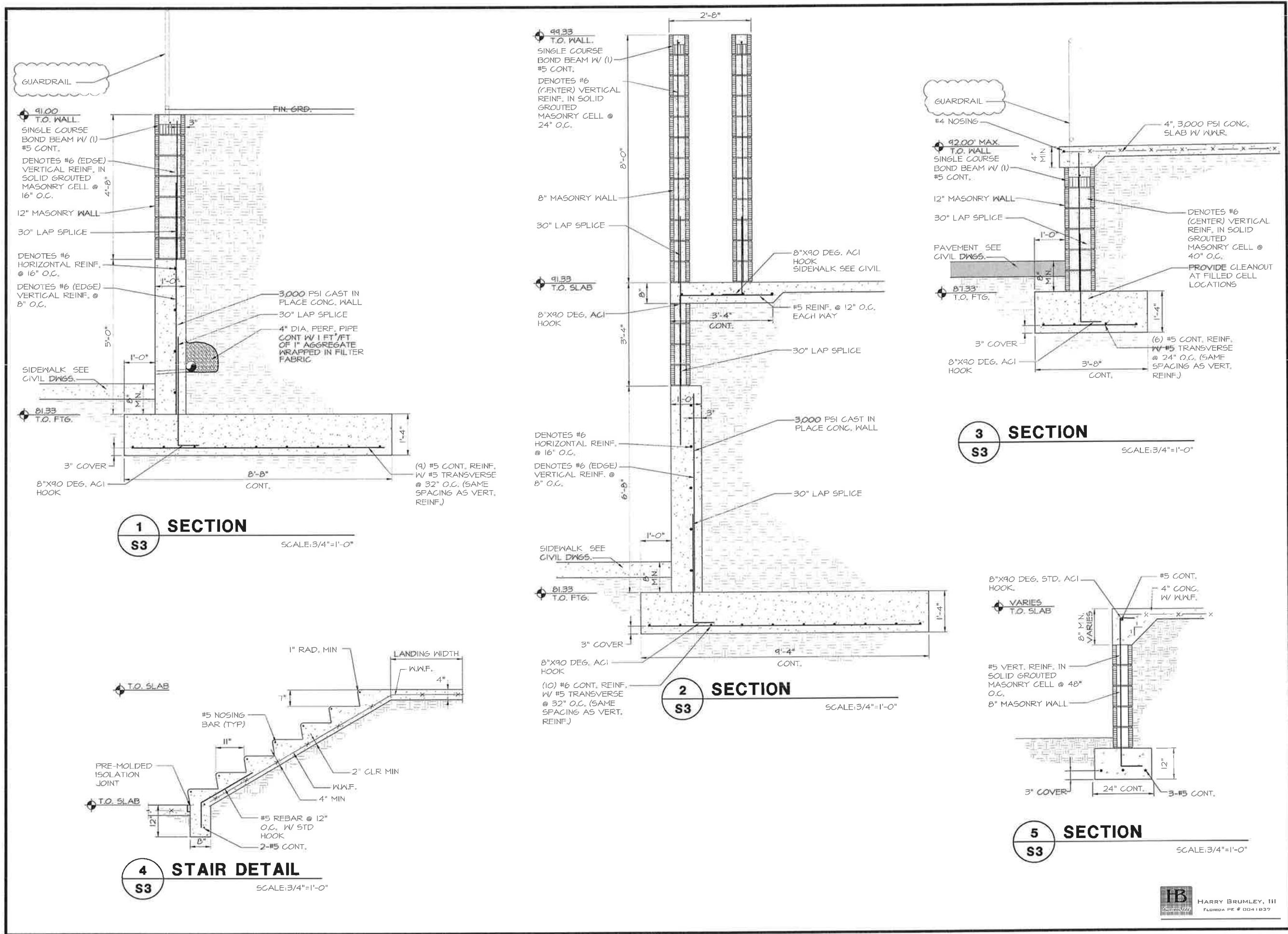
Revisions	RESPONSE TO BLDG DEPT. GUARDRAIL DESIGN 4-14-16
-----------	---

HB ASSOCIATES, LLC STRUCTURAL/CIVIL ENGINEERING Ft. Lauderdale, FL • 954.761.4444 (407) 740-5444
---

<b>FAIRFIELD INN &amp; SUITES</b> CITY OF GAINESVILLE, FLORIDA
RETAINING WALL DETAILS & NOTES

Drawn: JM Checked: HB Date: 1-25-16 Scale: 1" = 20' Job No.: 15-121
---

Sheet: 2 of 3 <b>S2</b> File:
-------------------------------------



FAIRFIELD INN  
TYPE PP

PHILIPS

GARDCO

Site & Area

SlenderForm

Square arm mount



Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat No: \_\_\_\_\_  
Type: \_\_\_\_\_  
Qty: \_\_\_\_\_  
Notes: \_\_\_\_\_

Philips Gardco SlenderForm luminaires combine LED performance excellence and advanced Philips Gardco LED thermal management technology with a distinct styling to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. SlenderForm is defined by its high performance, sleek low profile design and rugged construction.

APR 19 2016  
EDITION

#### Ordering guide

example: SFA-APD-1-5-105LA-NW-UNV-NP-PCB

Prefix	Controls	Mounting	Optical System <sup>4</sup>	Wattage	LED Temp	Voltage	Finish	Options
<b>SFA-</b> SlenderForm	— Standard luminaire	<b>1</b> Standard	<b>Standard Optic Position</b>	<b>350 mA</b> <b>Single array</b>	<b>CW</b> Cool White 5,700K 75 CRI (nominal)	<b>120</b> 120V	<b>BRP</b> Bronze Paint	<b>F<sup>5</sup></b> Fusing
Square		<b>2</b> 2@180°	<b>2</b> Type 2	<b>30LA<sup>6</sup></b>	<b>208</b> 208V		<b>LF<sup>8</sup></b> Line Fusing	
Standard		<b>2@90</b> 2@90°	<b>3</b> Type 3	<b>50LA</b>			<b>PC<sup>9,10</sup></b> Photocell with Receptacle (Includes PCRS Receptacle)	
Arm Mount			<b>4</b> Type 4	<b>70LA</b>			<b>PCB<sup>9,10</sup></b> Photocell Button	
luminaire			<b>5</b> Type 5	<b>90LA</b>			<b>PCRS<sup>11,12</sup></b> Photocell Receptacle only with 2 dimming connections	
<b>SFV-</b> SlenderForm			<b>Optic Rotated Left (90°)<sup>5</sup></b>	<b>530 mA</b> <b>Single array</b>	<b>NW</b> Neutral White 4,000K 70 CRI (nominal)	<b>240</b> 240V	<b>WP</b> White Paint	<b>PCR7<sup>12,13</sup></b> Photocell Receptacle only with 2 dimming and 2 auxiliary connections
Square			<b>2-90</b> Type 2	<b>55LA<sup>6</sup></b>	<b>277</b> 277V		<b>NP</b> Natural Paint	<b>PTF2</b> Pole Top Fitter for 2 $\frac{3}{4}$ "- 3" Tenon
Arm Mount			<b>3-90</b> Type 3	<b>80LA</b>	<b>347</b> 347V		<b>PTF3</b> Pole Top Fitter for 3"- 3 $\frac{1}{2}$ " Tenon	
luminaire			<b>4-90</b> Type 4	<b>105LA</b>	<b>480</b> 480V		<b>PTF4</b> Pole Top Fitter for 3 $\frac{1}{2}$ "- 4" Tenon	
<b>APD-</b> Automatic Profile Dimming			<b>Optic Rotated Right (270°)<sup>5</sup></b>	<b>130LA</b>	<b>UNV</b> 120-277V 50Hz/60Hz		<b>SPA1</b> Square Pole Adapter (for use with SFA only)	
<b>APD-MRO<sup>2</sup></b>	0-10V Dimming		<b>2-270</b> Type 2	<b>110LA</b>	<b>HVU<sup>6</sup></b> 347-480V 50Hz/60Hz		<b>SPA2</b> Square Pole Adapter (for use with SFV only)	
			<b>3-270</b> Type 3	<b>140LA</b>			<b>DL</b> Diffusing Lens (reduces performance significantly)	
			<b>4-270</b> Type 4	<b>170LA</b>				
<b>APD-MRI<sup>3</sup></b>	Auto Profile Dimming with Motion Response Override Pole mounted sensor			<b>530 mA</b> <b>Dual array</b>				
				<b>160LA</b>				
				<b>210LA</b>				
				<b>230LA</b>				

1. Available 120V-277V only.
2. MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See Accessories on page 2. Motion Response luminaires available 120V or 277V only.
3. MRI and APD-MRI luminaires include an integral motion sensor. Not compatible with SFV fixtures

4. Luminaire door frame and optic assembly provided standard with a clear glass lens. Specify DL option for a Diffuse glass lens. See Options on page 2. Featuring utilized optic lens construction.
5. See pages 7-8 for information on optical rotation prior to ordering.
6. 30LA and 55LA Wattage not available with 347/480/ HVU.
7. Consult factory for lead times on Warm White.
8. Provide specific input voltage.

9. Not available in 480V. Provide specific input voltage.
10. Not available with DCC configurations.
11. Works with 3-pin or 5-pin NEMA photocell/dimming device.
12. If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.
13. Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).

# SFA & SFV SlenderForm LED luminaire

## Square arm mount

### SlenderForm Accessories (order separately)

#### MS-A-120V

120V Input Area Motion Sensor

For MR50 (Motion Response) or APD-MRO  
(Automatic Profile Dimming with Motion  
Response Override)

#### MS-A-277V

277V Input Area Motion Sensor

For MR50 (Motion Response) or APD-MRO  
(Automatic Profile Dimming with Motion  
Response Override)

**Note:** Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 4-5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

### Description

Philips Gardco SlenderForm luminaires combine LED performance excellence and advanced Philips Gardco LED thermal management technology with a distinct styling to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. SlenderForm is defined by its high performance, sleek low profile design and rugged construction. The housing has a maximum profile of just 3". The advanced LED optical systems provide IES Types II, III, IV and V distributions. All LED wattages utilize high performance Class 1 LED

systems. The luminaire features a state of the art integral thermal control system to maximize LED performance and life, and to extend component life. The door frame is die cast aluminum. Luminaires are finished with a fade and abrasion resistant TGIC powdercoat. All SlenderForm luminaires provide full cutoff performance, with 0% lumens at or above 90° above nadir.



### LED Wattage and Lumen Values Standard SFA & SFV Luminaires

Order Code (standard units)	LED Quantity		LED Current (mA)	Average System Watts <sup>1</sup>	LED Selection	Initial Lumens <sup>2,3</sup>			
	Per Array	Total LEDs				2 Type 2	3 Type 3	4 Type 4	5 Type 5
<b>Single LED Arrays</b>									
30LA	32	32	350	34	NW	3,664	3,736	3,523	3,723
50LA	48	48	350	51	NW	5,547	5,883	5,589	5,650
70LA	64	64	350	67	NW	7,395	7,818	7,452	7,518
90LA	80	80	350	84	NW	9,244	9,690	9,315	9,314
55LA	32	32	530	52	NW	5,587	5,685	5,365	5,319
80LA	48	48	530	77	NW	7,923	8,404	7,985	8,071
105LA	64	64	530	102	NW	10,564	11,169	10,646	10,740
130LA	80	80	530	127	NW	13,205	13,790	13,307	13,174
<b>Dual LED Arrays</b>									
110LA	48	96	350	107	NW	10,797	11,426	10,918	10,915
140LA	64	128	350	139	NW	14,734	15,454	14,899	14,984
170LA	80	160	350	170	NW	18,187	19,200	18,391	18,247
160LA	48	96	530	156	NW	15,424	16,323	15,598	15,593
210LA	64	128	530	203	NW	20,718	21,834	20,952	21,034
230LA	1-64, 1-80	144	530	228	NW	23,021	24,308	23,280	23,281

1. Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.

2. Values shown are for luminaires without the DI or EHHS options. Tests are in process for configurations not shown.  
"(S)" following the value indicates that values are scaled from tests on similar, but not identical luminaire configurations.

Contact Gardco applications@philips.com if any approximate estimates are required for design purposes.

3. Lumen values based on tests performed in compliance with IESNA LM-79.

# SFA & SFV SlenderForm LED luminaire

FAIRFIELD INN  
TYPE PP

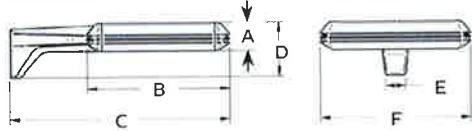
## Square arm mount

### Dimensions – SFA with Single LED Array

#### Top View



#### Side View



Approximate Motion  
Sensor Placement on MRI  
and APD-MRI luminaires.

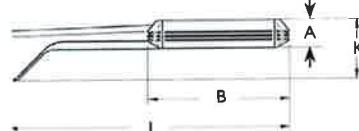
#### End View

### Dimensions – SFV with Single LED Array

#### Top View



#### Side View



Approximate Motion  
Sensor Placement on MRI  
and APD-MRI luminaires.

#### End View

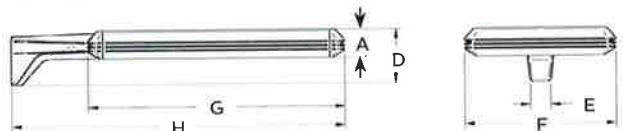


### Dimensions – SFA with Dual LED Array

#### Top View



#### Side View



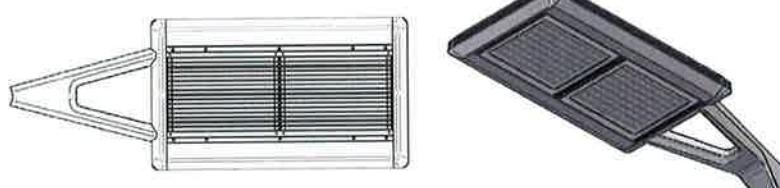
#### End View

### Effective Projected Area ft<sup>2</sup> / m<sup>2</sup>

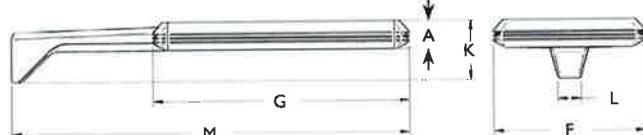
Type	Single	Twin @ 180	3/4
SFA-Single LED Array	0.52 / 0.050	1.04 / 0.097	1.38 / 0.128
SFA-Dual LED Arrays	0.77 / 0.071	1.54 / 0.143	1.88 / 0.175
SFV-Single LED Array	0.63 / 0.058	1.26 / 0.117	1.60 / 0.149
SFV-Dual LED Arrays	0.89 / 0.082	1.78 / 0.165	2.12 / 0.197

### Dimensions – SFV with Dual LED Array

#### Top View



#### Side View



Type	Approx. Single Luminaire Weight
SFA-Single LED Array	26 lbs / 11.794 kgs
SFA-Dual LED Arrays	44 lbs / 19.959 kgs
SFV-Single LED Array	28 lbs / 12.701 kgs
SFV-Dual LED Arrays	48 lbs / 21.773 kgs

### Dimensions: Inches / Centimeters

A	3.00" / 7.62cm
B	15.17" / 38.532cm
C	23.30" / 59.182cm
D	5.75" / 14.605cm
E	2.18" / 5.537cm
F	16.10" / 40.894cm
G	27.30" / 69.342cm
H	35.41" / 89.941cm
J	30.15" / 76.581cm
K	6.34" / 16.104cm
L	2.45" / 6.223cm
M	42.27" / 107.367cm

# SFA & SFV SlenderForm LED luminaire

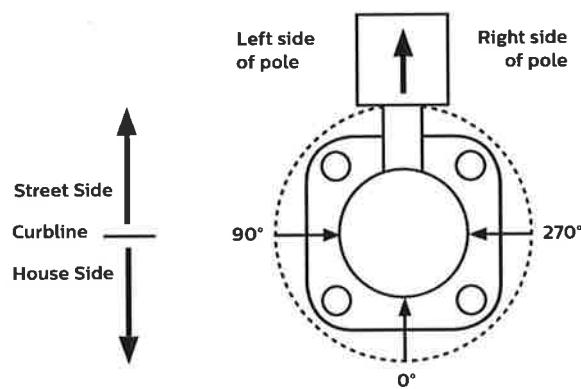
FAIRFIELD INN  
TYPE PP

## Square arm mount

### Asymmetric Optical Orientation Information

#### Standard Optic Position

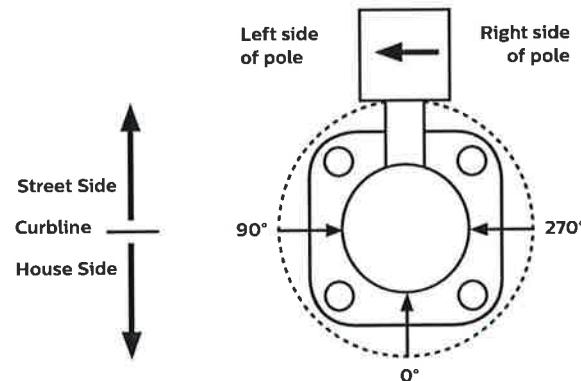
Luminaires ordered with asymmetric optical systems in the standard optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

#### Optic Rotated Left (90°) Optic Position

Luminaires ordered with asymmetric optical systems in the Optic Rotated Left (90°) optic position will have the optical system oriented as shown below:

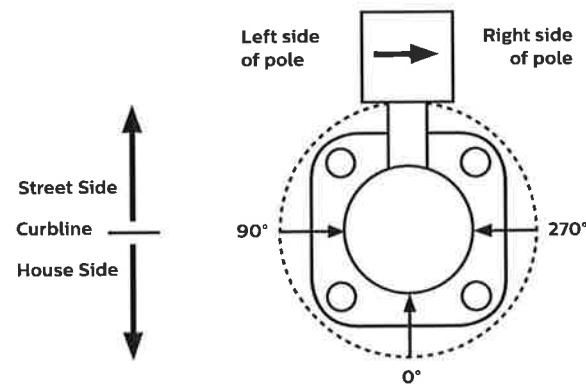


Note: The hand hole will normally be located on the pole at the 0° point.

### Asymmetric Optical Orientation Information

#### Optic Rotated Right (270°) Optic Position:

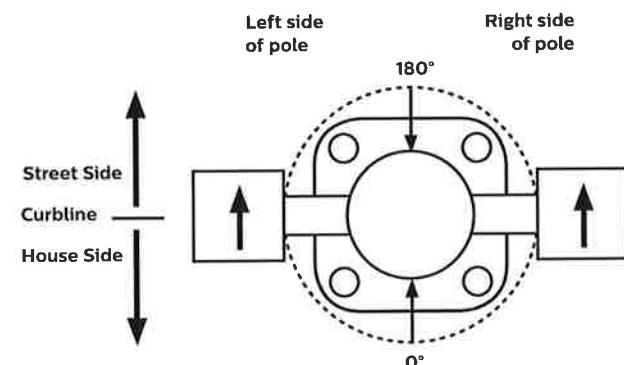
Luminaires ordered with asymmetric optical systems in the Optic Rotated Right (270°) optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

#### Twin Luminaire Assemblies With Rotated Optical Systems

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



Luminaires with Optic Rotated Right (270°) are installed on the LEFT Side of Pole

Luminaires with Optic Rotated Left (90°) are installed on the RIGHT Side of Pole

Note: The hand hole location will depend on the drilling configuration ordered for the pole.

# SFA & SFV SlenderForm LED luminaire

## Square arm mount

FAIRFIELD INN  
TYPE PP

### Specifications

#### Housing

The Philips Gardco SlenderForm housing consists of a rugged extruded aluminum housing body with an integral LED thermal management system, with die cast aluminum end caps. SFA and SFV luminaires arrive with the arm factory installed. As a result, the luminaires provide the functionality, strength and installation ease of an integral arm luminaire.

#### IP Rating

SlenderForm luminaires have a rating of IP66.

#### Vibration Resistance

SlenderForm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

#### Electrical

Luminaires are equipped with an LED driver that accepts 120V through 277V, or 347V through 480V, 50Hz to 60Hz, input. Driver output is based on the LED wattage selected. Component-to-component wiring within the luminaire will carry no more than 80% of rated current and is listed by UL for use at 600 VAC at 302°F / 150°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher. Power factor is not less than 90%. Luminaire consumes 0.0 watts in the off state. All motion sensors utilized consume 0.0 watts in the off state. Surge protector standard, 10KA per AN SI/IEEE C62.41.2.

#### LED Thermal Management

The Philips Gardco SlenderForm LED provides integral thermal radiation fins to provide the excellent thermal management so critical to long LED system life.

#### FULL Cutoff performance

Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle at or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.

#### Optical Systems

The advanced LED optical systems provide IES Types II, III, IV and V distributions. All optical systems feature unitized lens optic construction.

SlenderForm luminaires are provided standard with a clear glass lens, for maximized performance. A diffuse lens is available as an option, resulting in reduced performance. All SlenderForm luminaires provide full cutoff performance.

#### Listings

All luminaires bear UL or CUL (where applicable) Wet Location labels.

#### Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

#### Warranty

Philips Gardco luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer. See Warranty Information on [www.sitelighting.com](http://www.sitelighting.com) for complete details and exclusions. Polycarbonate lenses carry a 1 year warranty.

Predicted Lumen Depreciation Data		
Ambient Temperature °C	Driver (mA)	Calculated L <sub>70</sub> Hours <sup>1</sup>
25 °C	350 mA	175,000
	530 mA	120,000
40 °C	350 mA	170,000
	530 mA	115,000

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output.

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[philips.com/luminaires](http://philips.com/luminaires)



Philips Lighting, North America Corporation  
200 Franklin Square Drive, Somerset, NJ 08873  
Tel. 855-486-2216

Philips Lighting Canada Ltd.  
281 Hillmount Rd, Markham, ON, Canada L6C 2S3  
Tel. 800-668-9008

**IES ROAD REPORT**

**PHOTOMETRIC FILENAME : SFA-4-130LA-NW.IES**

**DESCRIPTIVE INFORMATION (From Photometric File)**

[IESNA:LM-63-2002  
[TEST] LRP0494E  
[TESTLAB] PHILIPS Lighting - San Marcos  
[ISSUEDATE] 11/13/2012  
[MANUFAC] PHILIPS GARDCO  
[LUMCAT] SFA-4-130LA-NW  
[LUMINAIRE] SlenderForm Square  
[LAMP] (1) LIGHT ARRAY OF 80 LEDs DRIVEN AT 530mA  
[OTHER] DATA SHOWN IS ABSOLUTE PHOTOMETRY AT RATED INPUT  
[OTHER] 11211 ABSOLUTE LUMENS DELIVERED  
[OTHER] TESTED IN COMPLIANCE WITH LM-79-08 PROCEDURES

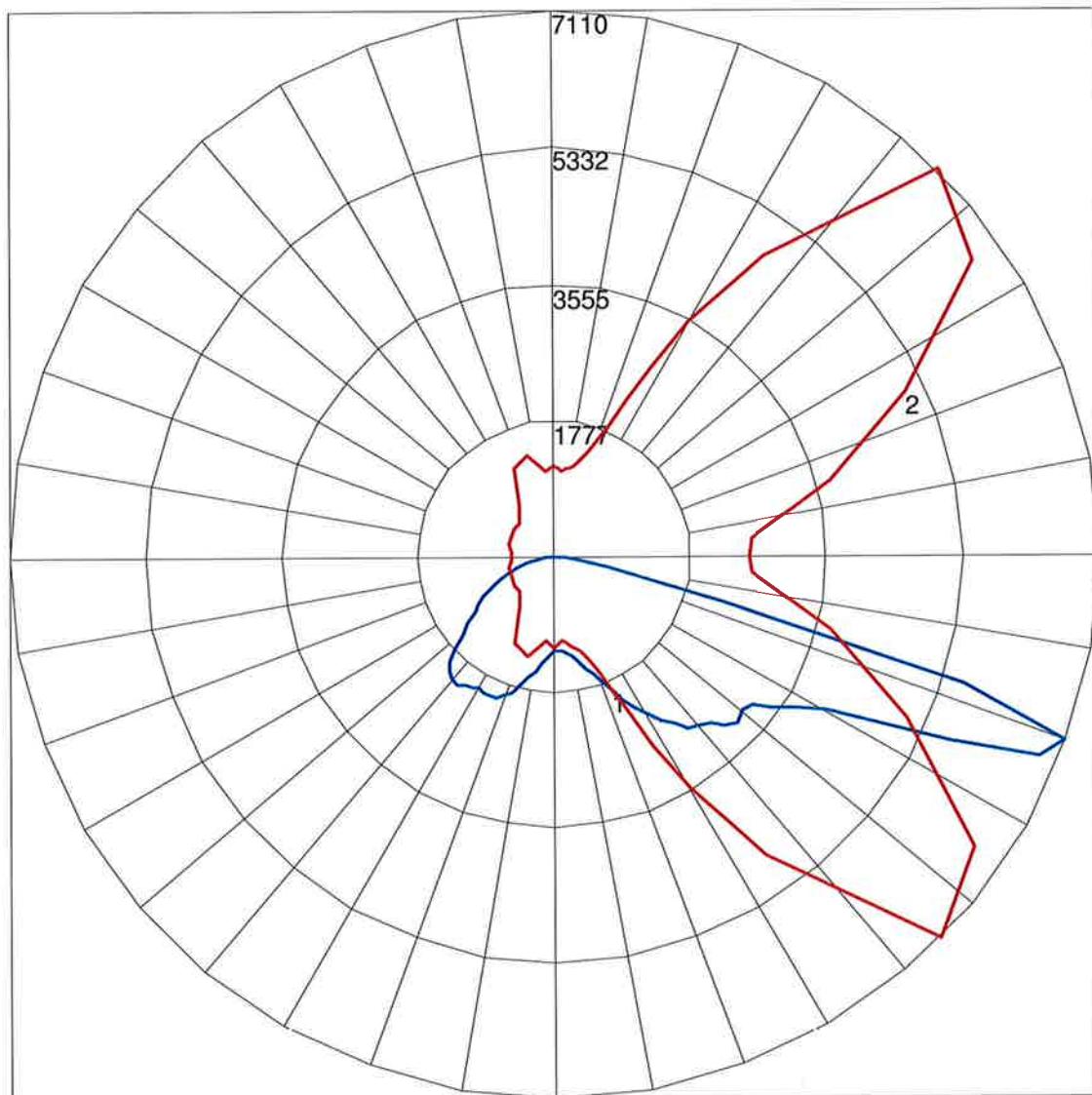
**CHARACTERISTICS**

IES Classification	Type IV
Longitudinal Classification	Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	11211
Downward Total Efficiency	N.A. (absolute)
Total Luminaire Efficiency	N.A. (absolute)
Luminaire Efficacy Rating (LER)	88
Total Luminaire Watts	127
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Maximum Candela	7109.836
Maximum Candela Angle	45H 70V
Maximum Candela (<90 Degrees Vertical)	7109.836
Maximum Candela Angle (<90 Degrees Vertical)	45H 70V
Maximum Candela At 90 Degrees Vertical	0 (0.0% Luminaire Lumens)
Maximum Candela from 80 to <90 Degrees Vertical	368.452 (3.3% Luminaire Lumens)
Cutoff Classification (deprecated)	N.A. (absolute)

LUMINAIRE CLASSIFICATION SYSTEM (LCS)

	Lumens	% Lamp	% Luminaire
FL - Front-Low (0-30)	740.0	N.A.	6.6
FM - Front-Medium (30-60)	3496.1	N.A.	31.2
FH - Front-High (60-80)	3068.0	N.A.	27.4
FVH - Front-Very High (80-90)	35.1	N.A.	0.3
BL - Back-Low (0-30)	744.9	N.A.	6.6
BM - Back-Medium (30-60)	2170.8	N.A.	19.4
BH - Back-High (60-80)	925.8	N.A.	8.3
BVH - Back-Very High (80-90)	30.1	N.A.	0.3
UL - Uplight-Low (90-100)	0.0	N.A.	0.0
UH - Uplight-High (100-180)	0.0	N.A.	0.0
Total	11210.8	N.A.	100.0
BUG Rating	B2-U0-G2		

POLAR GRAPH

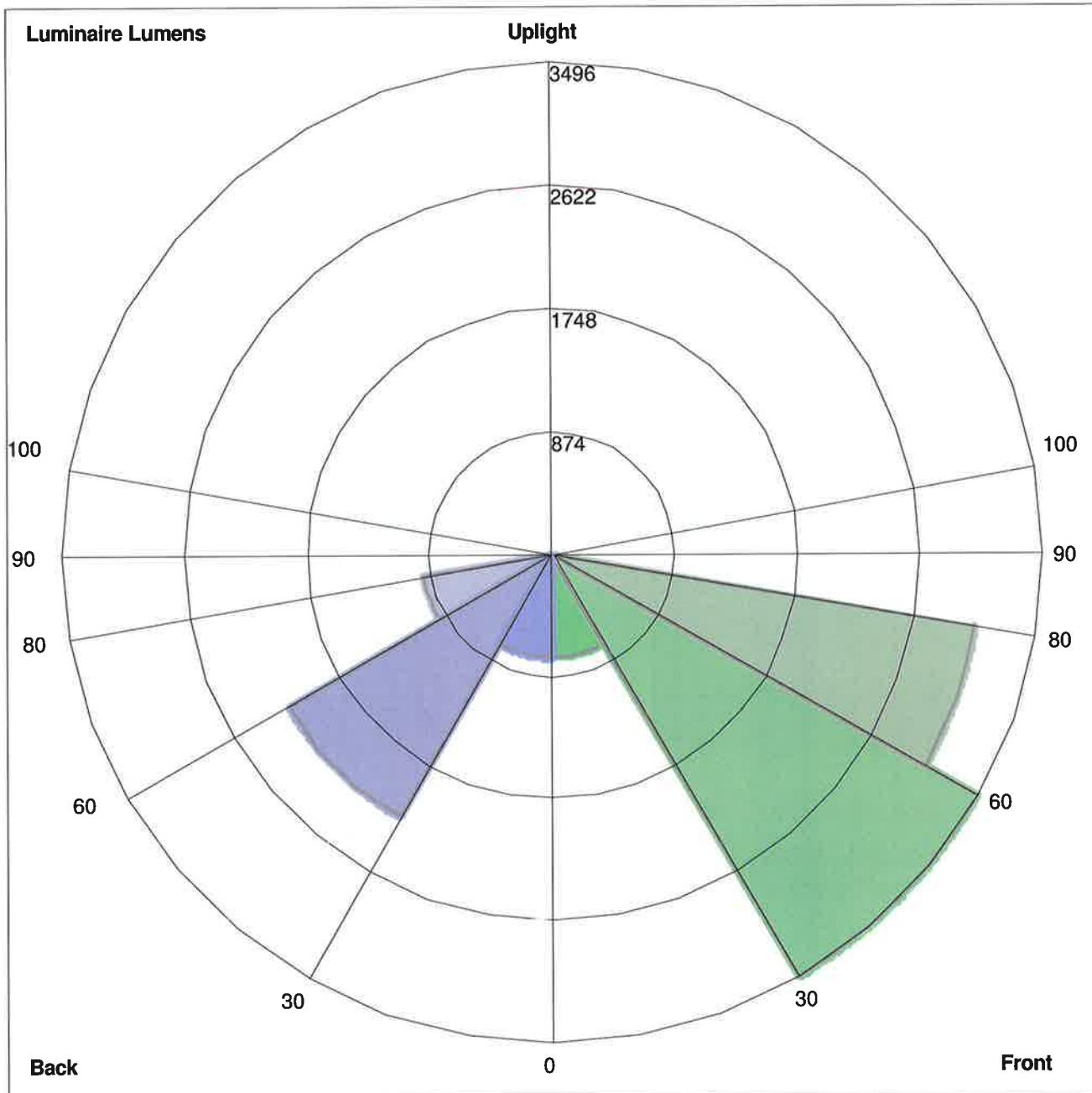


Maximum Candela = 7109.836 Located At Horizontal Angle = 45, Vertical Angle = 70

# 1 - Vertical Plane Through Horizontal Angles (45 - 225) (Through Max. Cd.)

# 2 - Horizontal Cone Through Vertical Angle (70) (Through Max. Cd.)

LUMINAIRE CLASSIFICATION SYSTEM (LCS) GRAPH



Luminaire Lumens:  
Front: Low=740.0, Medium=3496.1, High= 3068.0, Very High=35.1  
Back: Low=744.9, Medium=2170.8, High=925.8, Very High=30.1  
Uplight: Low=0.0, High=0.0

BUG Rating : B2-U0-G2

Job:

Type:

Notes:

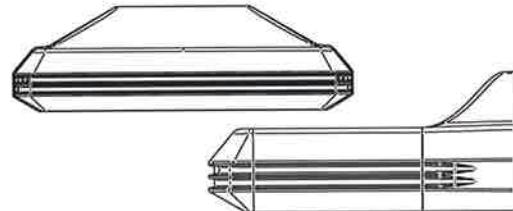
FAIRFIELD INN  
TYPE WP

# 120 Line LED

Page 1 of 3

## 122 SlenderForm Sconce Including Motion Response

Philips Gardco 122 SlenderForm high performance LED sconces are designed to integrate naturally to wall surfaces while providing the distinct SlenderForm look. Available with three (3) different distribution patterns, 122 LED sconces provide full cutoff performance (in the normal downlight position.) Luminaires feature advanced LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 122 LED luminaires are also available with Automatic Profile Dimming, automatically increasing savings by an additional 33%, and with Motion Response for maximized energy savings.



Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

### PREFIX

**122-CWL** SlenderForm LED Sconce - Constant Wattage / Full Light Output  
**122-DIM<sup>1</sup>** SlenderForm LED Sconce - 0 - 10V Dimming (Control system by others.)  
**122-APD<sup>1</sup>** SlenderForm LED Sconce with Automatic Profile Dimming  
**122-MR<sup>1</sup>** SlenderForm LED Sconce with Motion Response

<sup>1</sup>. Available 120V through 277V (UNIV) only.

See page 3 for more detailed luminaire configuration information.

### DISTRIBUTION

**2** Type II Wide Throw Optic, featuring Maximized Lateral Throw  
**3** Type III Preferred Wide Throw Optic, featuring Improved Forward Throw  
**4** Type IV Maximized Forward Throw Optic

### LED WATTAGE AND LUMEN VALUES

Ordering Code	Average System Watts <sup>2</sup>	LED Current (mA)	LED Selection	Luminaire Initial Absolute Lumens <sup>3</sup>		
				TYPE 2	TYPE 3	TYPE 4
35LA	33	350	NW	3,664	3,736	3,523
55LA	50	530	NW	5,587	5,685	5,365
75LA	70	700	NW	6,199	6,538	6,296

2. Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.

3. Tests are in process for luminaires with the DL option, CW and WW luminaires. Contact [OutdoorLighting.applications@philips.com](mailto:OutdoorLighting.applications@philips.com) if any approximate estimates are required for design purposes. Lumen values based on tests performed in compliance with IESNA LM-79.

### LED SELECTION

**CW** Cool White - 5700°K - 75 CRI  
**NW** Neutral White - 4000°K - 70 CRI  
**WW** Warm White - 3000°K - 80 CRI

### VOLTAGE

120  
208  
240  
277  
347  
480  
UNIV  
HVU  
120V through 277V, 50hz or 60hz  
347V through 480V, 50hz or 60hz  
(Available in 122CWL - 75LA only.)



122 SlenderForm Sconce Including Motion Response

**FINISH**

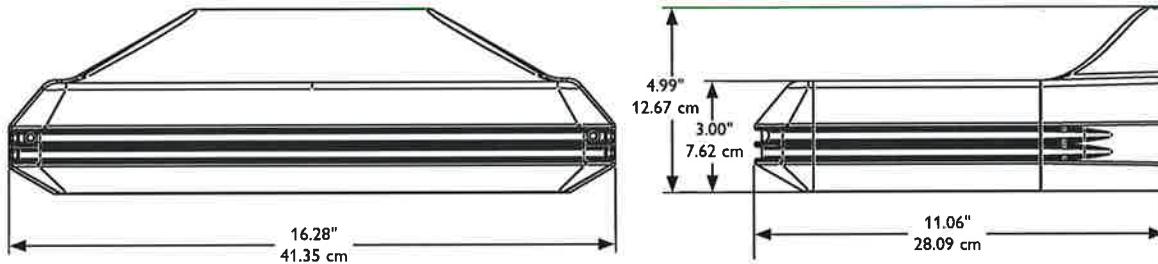
<b>BRP</b>	Bronze Paint
<b>BLP</b>	Black Paint
<b>WP</b>	White Paint
<b>NP</b>	Natural Aluminum Paint
<b>BGP</b>	Beige Paint
<b>OC</b>	Optional Color Paint Specify <i>Optional Color</i> or RAL ex: OC-LGP or OC-RAL7024.
<b>SC</b>	Special Paint Specify. Must supply color chip.

**OPTIONS**

<b>F<sup>4</sup></b>	Fusing
<b>PCB<sup>4,5</sup></b>	Button Type Photocontrol
<b>DL</b>	Diffusing Lens ( <i>reduces performance significantly</i> )
<b>WS<sup>6</sup></b>	Wall Mounted Box for Surface Conduit

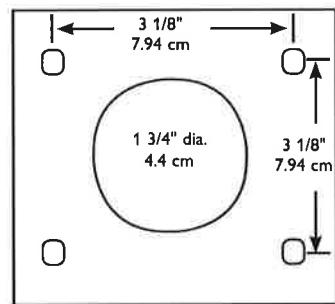
4. Specify input voltage.  
5. Not Available in 480V.  
6. Rear entry permitted.

**DIMENSIONS**



Approximate Luminaire Weight: 18 lbs (8.17 kg)

Mounting Plate



Mounting Bolt Pattern

Note: Mounting plate center is located in the center of the luminaire width. Splices must be made in the J-box (by others). Mounting plate must be secured by max. 5/16" (.79cm) diameter bolts (by others) structurally to the wall.

## 122 SlenderForm Sconce Including Motion Response

### LUMINAIRE CONFIGURATION INFORMATION

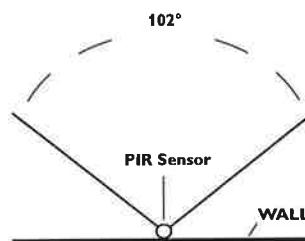
**122-CWL:** Philips Gardco performance LED sconce providing constant wattage and constant light output when power to the luminaire is energized.

**122-DIM:** Philips Gardco performance LED sconce provided with 0 -10V dimming for connection to a control system provided by others.

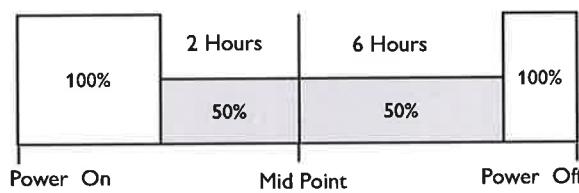
**122-APD:** Philips Gardco performance LED sconces with Automatic Profile Dimming are provided with a programmed LED Driver included. The LED driver is factory programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously calculated by the LED driver based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point. See APD Dimming Profile below.

**122-MR:** 122 LED sconce including a passive infrared (PIR) motion sensor capable of detecting motion within 30 feet of the 121 LED Sconce. The PIR sensor is mounted in the center of the luminaire, near the wall edge of the door frame, approximately 1.5" forward from the wall, and is less than .75" in diameter. When no motion is detected for 5 minutes, the Motion Response system reduces the power and light output by 75%, to 25%. When motion is detected by the PIR, the luminaire returns to full wattage and full light output. The PIR sensor is capable of motion detection across a total angle of 102° from the center of the sensor (51° to either side of center.) The sensor may be adjusted directionally to maximize detection of motion to one side of the luminaire if desired based on site traffic patterns. PIR sensor provided is the Panasonic EKMB1203112. If the PIR sensor fails, the luminaire will operate in default-high mode. Motion sensors utilized consume 0.0 watts in the off state. See the Sensor Coverage Pattern below.

#### Sensor Coverage Pattern



APD Dimming Profile



### SPECIFICATIONS

**GENERAL:** Philips Gardco 122 SlenderForm high performance LED sconces are designed to integrate naturally to wall surfaces while providing the distinct SlenderForm look. Available with three (3) different distribution patterns, 122 LED sconces provide full cutoff performance (in the normal downlight position.) Luminaires feature advanced LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. Surge protector standard. 10KA per AN SI/IEEE C62.41.2.

**THERMAL MANAGEMENT:** Philips Gardco 122 LED luminaires utilize integral aluminum thermal radiation fins to provide the excellent thermal management so critical to long LED system life.

#### LED RELIABILITY:

PREDICTED LUMEN DEPRECIATION DATA		
Ambient Temperature °C	LED Wattage / Driver mA	L <sub>70</sub> Hours <sup>b</sup>
25 °C	35LA / 350 mA	180,000
	55LA / 530 mA	125,000
	75LA / 700 mA	90,000
40 °C	35LA / 350 mA	175,000
	55LA / 530 mA	120,000
	75LA / 700 mA	85,000

<sup>b</sup>8. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on tests performed using IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output.

**OPTICAL SYSTEMS:** Philips Gardco 122 LED luminaires utilize LED arrays set to achieve IES Type II, Type III, and Type IV distributions. Individual LED arrays are replaceable. Luminaires feature high performance Class 1 LED systems.

**HOUSING:** Housings are die cast aluminum. A memory retentive gasket seals the housing to the door frame to exclude moisture, dust, insects and pollutants from the optical system. A black, die cast ribbed backplate dissipates heat for longer system life.

**DOOR FRAME:** A single-piece die cast aluminum door frame integrates to the housing form. The door frame is hinged closed and secured to the housing with captive stainless steel fasteners. The heat and impact resistant 1/8" (.32cm) tempered glass lens and one-piece gasket are mechanically secured to the door frame with galvanized steel retainers.

**IP RATING:** Luminaires are rated IP66.

**FINISH:** Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors are as listed. Consult factory for specs on custom colors.

**LABELS:** All luminaires bear UL or CUL (where applicable) labels. Lens down application is Wet Location and lens up is Damp Location.

**WARRANTY:** Philips Gardco LED luminaires feature a 5 year limited warranty, including a 5 year limited warranty covering the LED arrays and LED drivers. See Warranty Information on [www.sitelighting.com](http://www.sitelighting.com) for complete details and exclusions. Polycarbonate lenses carry a 1 year warranty only.

**FULL CUTOFF PERFORMANCE:** Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle at or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.



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G200-044 11/14 page 3 of 3 [www.philips.com/luminaires](http://www.philips.com/luminaires)

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# NIX ENGINEERING, INC.

## IES ROAD REPORT

PHOTOMETRIC FILENAME : 122-4-55LA-NW.IES

### DESCRIPTIVE INFORMATION (From Photometric File)

IESNA:LM-63-2002  
[TEST] LRP0551C  
[TESTLAB] PHILIPS Lighting - San Marcos  
[ISSUEDATE] 1/9/2013  
[MANUFAC] PHILIPS GARDCO  
[LUMCAT] 122L-4-55LA-NW  
[LUMINAIRE] 122 SlenderForm LED Sconce  
[LAMP] (1) LIGHT ARRAY OF 32 LEDs DRIVEN AT 530mA  
[OTHER] DATA SHOWN IS ABSOLUTE PHOTOMETRY AT RATED INPUT  
[OTHER] 4090 ABSOLUTE LUMENS DELIVERED  
[OTHER] TESTED IN COMPLIANCE WITH LM-79-08 PROCEDURES

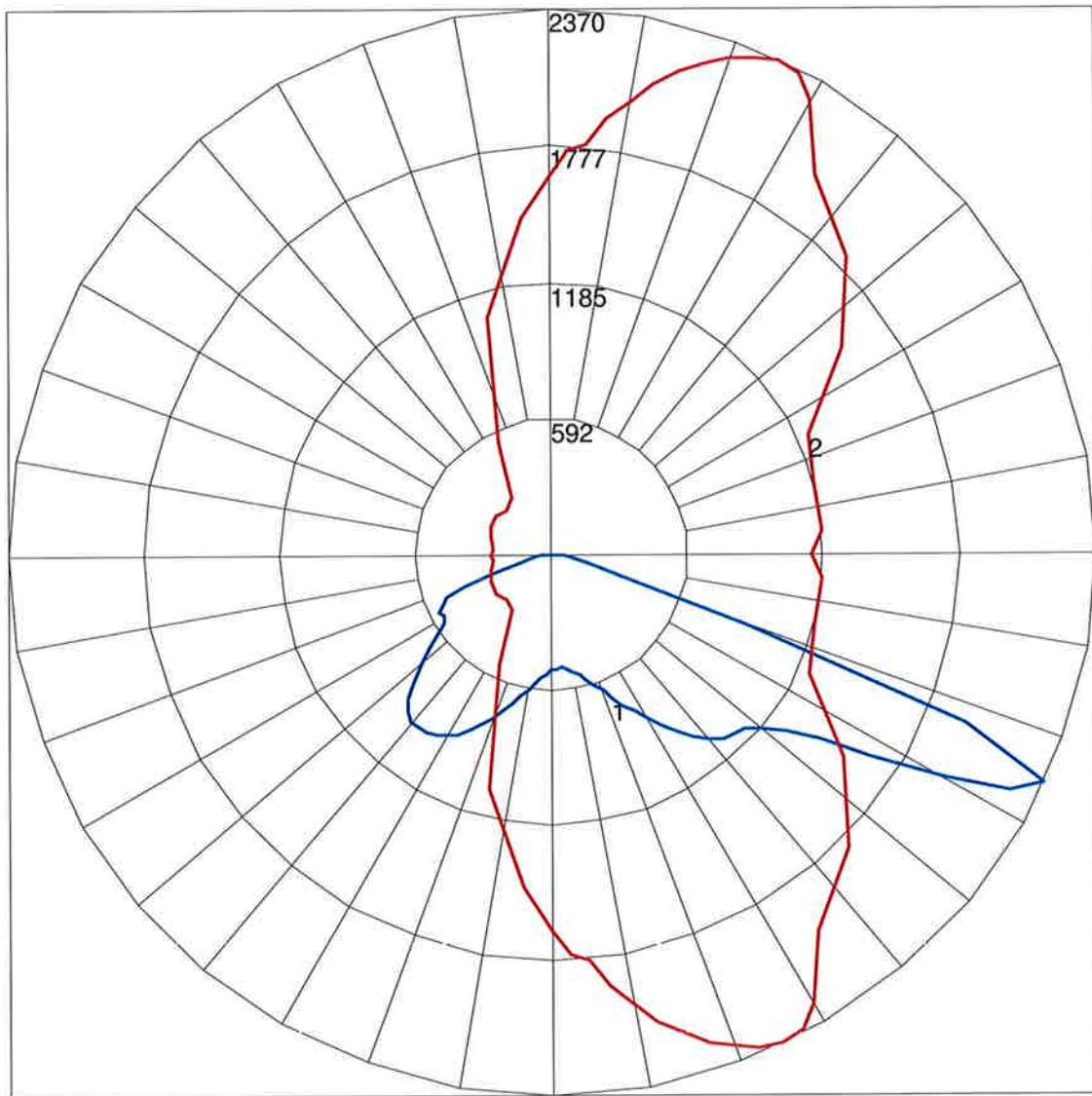
### CHARACTERISTICS

IES Classification	Type IV
Longitudinal Classification	Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	4090
Downward Total Efficiency	N.A. (absolute)
Total Luminaire Efficiency	N.A. (absolute)
Luminaire Efficacy Rating (LER)	82
Total Luminaire Watts	50
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Maximum Candela	2369.896
Maximum Candela Angle	65H 65V
Maximum Candela (<90 Degrees Vertical)	2369.896
Maximum Candela Angle (<90 Degrees Vertical)	65H 65V
Maximum Candela At 90 Degrees Vertical	0 (0.0% Luminaire Lumens)
Maximum Candela from 80 to <90 Degrees Vertical	118.284 (2.9% Luminaire Lumens)
Cutoff Classification (deprecated)	N.A. (absolute)

LUMINAIRE CLASSIFICATION SYSTEM (LCS)

	Lumens	% Lamp	% Luminaire
FL - Front-Low (0-30)	283.9	N.A.	6.9
FM - Front-Medium (30-60)	1300.7	N.A.	31.8
FH - Front-High (60-80)	1061.7	N.A.	26.0
FVH - Front-Very High (80-90)	10.2	N.A.	0.2
BL - Back-Low (0-30)	298.4	N.A.	7.3
BM - Back-Medium (30-60)	815.9	N.A.	19.9
BH - Back-High (60-80)	311.2	N.A.	7.6
BVH - Back-Very High (80-90)	8.2	N.A.	0.2
UL - Uplight-Low (90-100)	0.0	N.A.	0.0
UH - Uplight-High (100-180)	0.0	N.A.	0.0
Total	4090.2	N.A.	100.0
BUG Rating	B1-U0-G1		

POLAR GRAPH

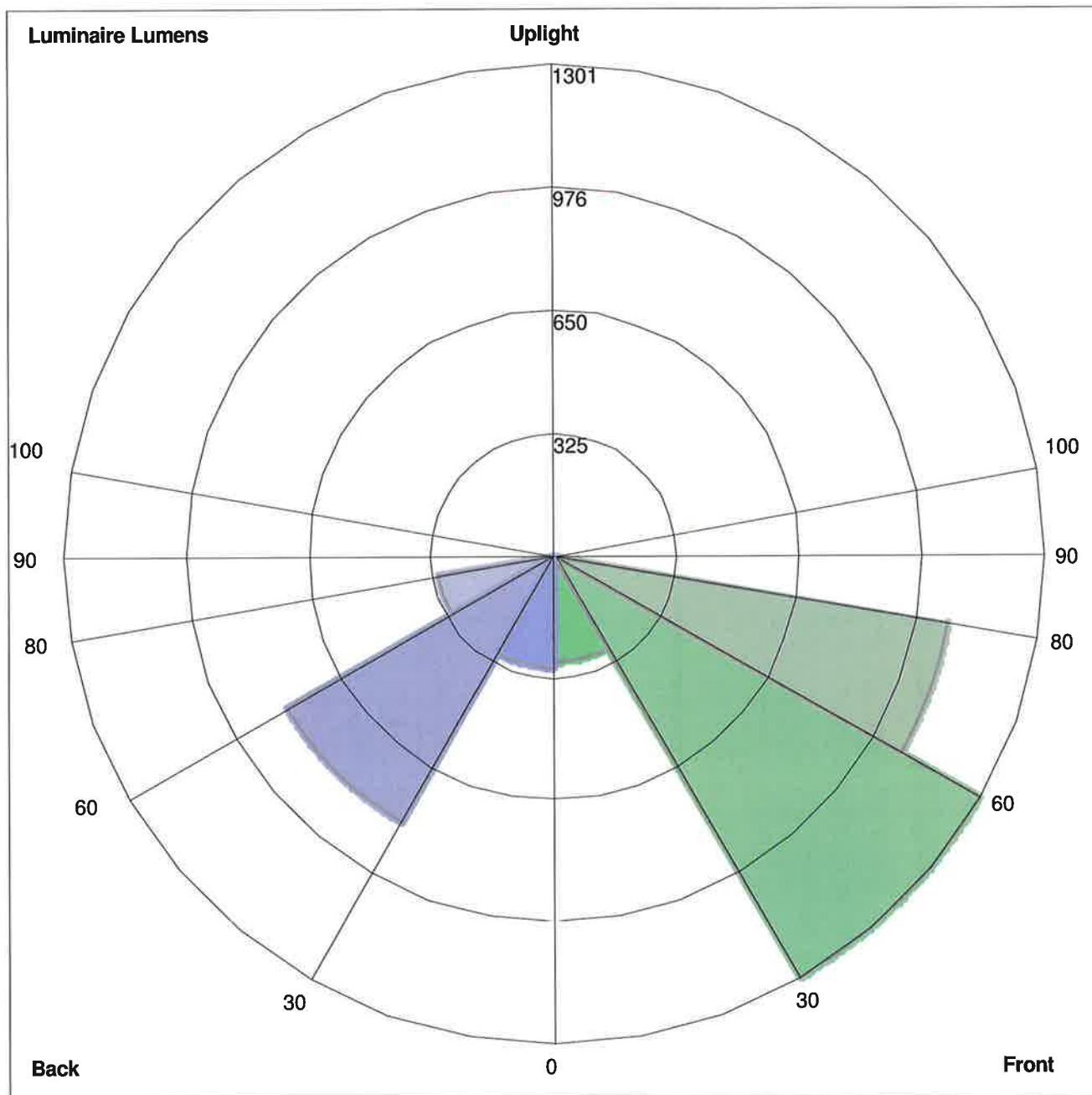


Maximum Candela = 2369.896 Located At Horizontal Angle = 65, Vertical Angle = 65

# 1 - Vertical Plane Through Horizontal Angles (65 - 245) (Through Max. Cd.)

# 2 - Horizontal Cone Through Vertical Angle (65) (Through Max. Cd.)

LUMINAIRE CLASSIFICATION SYSTEM (LCS) GRAPH



Luminaire Lumens:  
Front: Low=283.9, Medium=1300.7, High=1061.7, Very High=10.2  
Back: Low=298.4, Medium=815.9, High=311.2, Very High=8.2  
Uplight: Low=0.0, High=0.0

BUG Rating : B1-U0-G1