

City of Gainesville

Inter-Office Communication

Department of Community Development
Phone 334-5022, FAX 334-2282, Station 11

Item No. 4

To: City Plan Board **Date:** December 16, 1999
From: Planning Division Staff
Subject: **Petition 153TCH-99 PB.** City Plan Board. Amend the College Park Special Area Plan to include revisions to definitions, sidewalks, landscaping built-to lines, building additions, trash dumpsters, façade treatment, parking and other design requirements.

Recommendation

Planning Division staff recommends approval of Petition 153TCH-99 PB.

Explanation

On October 26, 1999, the City Plan Board was shown a videotaped presentation by Victor Dover, the urban design consultant hired by the City to prepare revisions to the special area plan for the College Park neighborhood. As a part of that meeting, the Board was given a draft of this plan. Attached is the same plan with several corrections made by staff.

In the summer of 1998, the City of Gainesville hired the Dover-Kohl urban design firm to prepare plans for College Park, University Heights, and University Avenue from West 6th Street to West 13th Street.

The firm held a series of charrettes and public presentations to analyze the need to correct problems being experienced by staff trying to administer the 1992 College Park Special Area Plan, developers trying to comply with the Plan, and citizens trying to understand the Plan. Attached is a draft of proposed amendments to the Special Area Plan based on these meetings.

Overall, the Plan and the proposed amendments supplement and complement the existing Traditional City overlay ordinance that applies to the neighborhood. The Plan, the proposed amendments, and the overlay promote walkability and quality of life for the neighborhood.

Summary of changes. The Dover-Kohl team recommends the following:

1. **Definitions.** New definitions for Arcade Building, Build-to Line, Renovations.
2. **New Regulations.** New or revised stand-alone regulations for:
 - ⇒ **Maximum block face length.** Maximum length is 480 feet.
 - ⇒ **Build-to line.** Stoops, stairs, chimneys, and bay windows can extend beyond build-to line, but cannot exceed 25 percent of the front façade.
 - ⇒ **Building additions.** Walls of additions must be the same or compatible materials. Windows of additions must use similar proportion and style as the windows of the existing structure. Roof additions must use materials similar to existing roof.
 - ⇒ **Location of trash receptacles.** As is called for by the Traditional City ordinance, receptacles must be at side or rear of building, and screened from the street.

- ⇒ **Façade features.** Façade must be detailed and front façade must face the primary street. Glazing percentage required.
- ⇒ **Location of structured parking.** Structured parking must be at least 40 feet from property lines. Liner buildings must be between the structure and the lot frontage, and be at least as high as the parking structure, and at least 2 stories in height.
- ⇒ **Landscape required.** One shade tree required for every 1,200 square feet of private outdoor space. The Gainesville Land Development Code provisions apply for off-street parking lots and selection of trees. Trees required by off-street parking lots and existing trees on the lot may count toward the required trees that must be installed. Street trees must be at least 14 feet tall. Other trees must be at least 8 feet tall. On major or mixed-use streets, trees must have an average spacing of 45 feet, and are not required when arcades or colonnades are present. For residential streets, trees must have an average spacing of 35 feet.
- ⇒ **Off-street parking requirements.** Parking may be provided within 600 feet of the building.

In the Type 1, 2, and 3, and Civic land use categories, new or revised requirements are proposed for:

- ⇒ **Building placement.**
- ⇒ **Side setbacks.**
- ⇒ **Encroachments.**
- ⇒ **Location of surface parking.**
- ⇒ **Building height.**
- ⇒ **Maximum building frontage.**
- ⇒ **Specifications for garden walls and fences.**

Other changes address:

- ⇒ **Building elements.** Requirements for cantilevered balconies.
- ⇒ **Roofs.** Flat roofs allowed, as long as a parapet at least 36 inches high is used.
- ⇒ **Windows and doors.** Exterior doors must have a paneled appearance. Retail and office buildings must have a first floor façade that is 50 to 90 percent glazing. Other floors must be 10 to 50 percent glazing.

Note that other options for landscaping standards would include one shade tree for every 2,500 to 3,500 square feet of lot size, rather than Dover's approach of one shade tree for every 1,200 square feet of private open space. Street tree spacing could be reduced to as close as every 30 feet, as shown in the attached plan. Staff supports the Dove recommendations on both issues.

Affordable Housing

To the extent that the proposed amendments to the College Park Special Area Plan creates more compact, walkable, people-oriented public realm that will reduce the number of cars needed for a household, and to the extent that the plan creates opportunities for construction of accessory dwelling units and mixed use, this petition will have a positive impact on the supply of affordable housing.

Respectfully Submitted,



Ralph Hilliard
Planning Manager

RW:DM:DN

4. **Petition 153TCH-99 PB** City Plan Board. Amend the College Park Special Area Plan to include revisions to definitions, sidewalks, landscaping build-to lines, building additions, trash dumpsters, façade treatment, parking and other design requirements.

Mr. Dom Nozzi was recognized. Mr. Nozzi indicated that the petition was based upon a video by the City's design consultants, Dover/Kohl. He reviewed the changes made to the document since it was presented to the board on October 26th. He noted that the issues were similar to those in the University Height's Special Area Plan. Mr. Nozzi indicated that he believed the consultant had greatly improved the readability of the College Park Plan. He offered to answer any questions from the board.

Ms. Dowling referred to the architectural sign regulations and indicated that she did not understand the prohibition on colored plastic covering.

Mr. Hilliard indicated that staff had difficulty with the concept too, but the recommendations came from the College Park Redevelopment Advisory Board. He explained that the consultant did not review sign code issues.

Ms. Dowling pointed out that she did not understand what the ordinance was attempting to achieve. She asked if the wording could be changed.

Mr. Hilliard indicated that the board could make a recommendation to the City Commission for changes to the plan.

Ms. Dowling discussed the example of the Juice Stop restaurant at the corner of NW 13th Street and University Avenue. She noted that the business had an attractive logo sign which had been replaced with an unattractive painted wood sign. She suggested that, if a business had a registered logo, they should be able to use the colors in that logo.

Ms. Myers noted that Mr. Nozzi referred to "the quality sought by the market." She asked if a market study had been done.

Mr. Nozzi indicated that the statement was based upon his professional opinion. He stated that there had been no survey of the College Park area.

There was no public comment on the petition.

Ms. Dowling made the motion and Mr. Carter seconded.

Dr. Fried cited a concern that construction such as steps and chimneys could extend beyond the build-to line. He asked if there were any specific limitations.

Mr. Nozzi explained that the City's engineers had to sign off on any plans to be sure that the spacing was adequate.

Dr. Fried cited the examples of outdoor café's in the downtown area that blocked the sidewalks. He noted that two persons walking abreast could not pass, let alone a wheelchair or a person with a baby carriage. He suggested that the City had permitted private uses to impinge on public rights-of-way.

Mr. Hilliard explained that, in the downtown area, there was a requirement that at least 44 inches of sidewalk remain clear beyond the sidewalk cafes. He pointed out that the proposed College Park Plan required that the minimum unobstructed width be two feet less than the required sidewalk width as long as five feet of unobstructed width is retained.




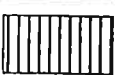

<u>Motion By:</u> Ms. Dowling	<u>Seconded By:</u>
<u>Moved to:</u> Approve Petition 153TCH-99PB, as presented except changing the sign regulations, Paragraph 1-h, to read, "stained glass may be internally illuminated" and 1-i, to read, "neon, including individual channel letters that are internally illuminated."	<u>Upon Vote:</u> Motion Carried 5-0 Yeas: Guy, Fried, Dowling, Myers, Carter

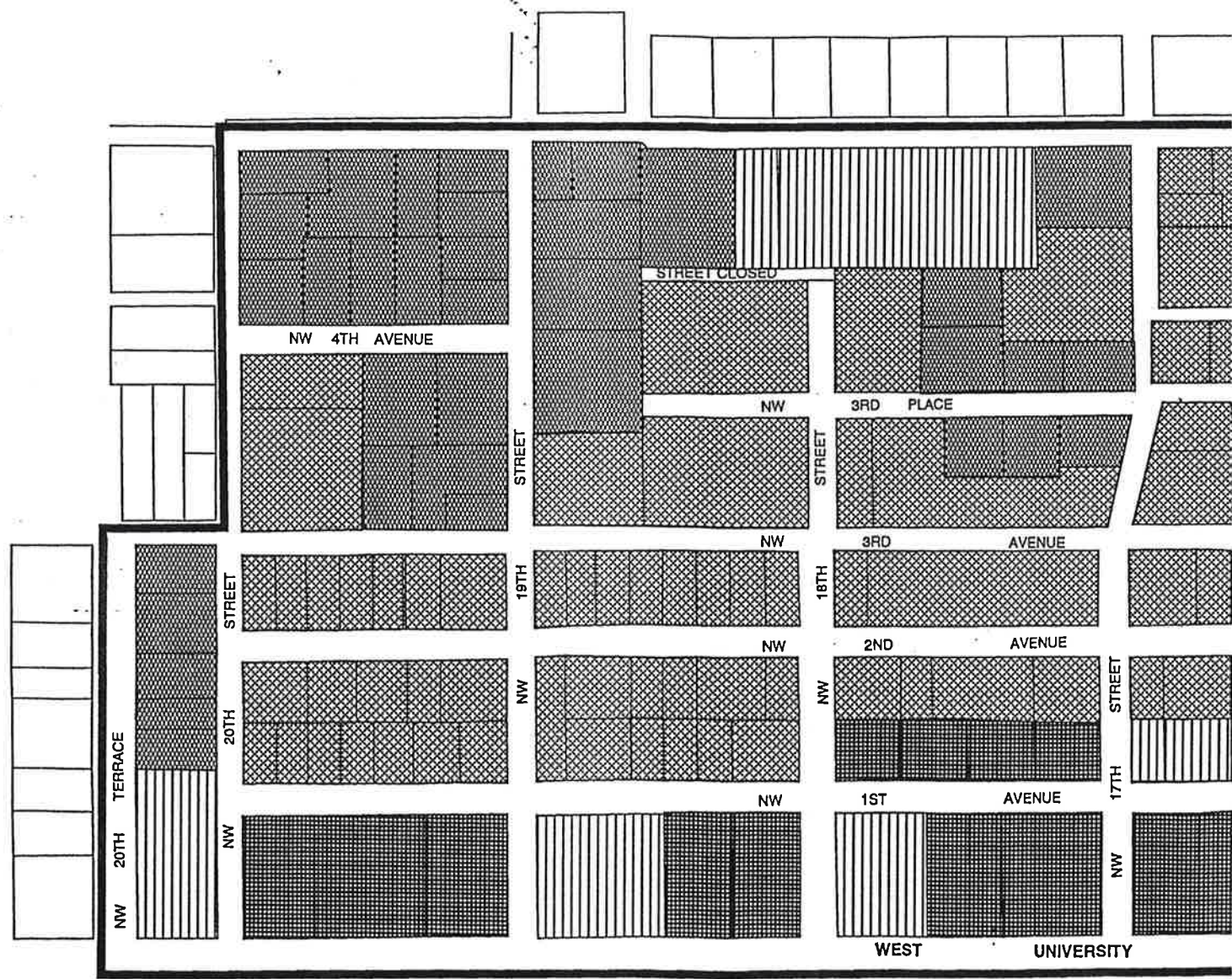
College Park



December 1999

COLLEGE PARK - MASTER PLAN REGULATING PLAN FOR NEW CONSTR

-  TYPE I - SHOPFRONT/OFFICE/APARTMENT
-  TYPE II - APARTMENT/HOUSE
-  TYPE III - HOUSE
-  TYPE IV - CIVIC
-  COLLEGE PARK BOUNDARY



Definitions

1

2

3 **Adjacent:** Property that physically abuts the
4 subject property on the same side of the street.

5
6 **Arcade Building:** a building with a ground level
7 passageway through a portion of the building.
8 The passage is covered and lined with shops or
9 booths. The passage may be more than one
10 story in height with projecting balconies and
11 walkways. An exterior covered passageway
12 along a building façade open to the street
13 frontage.

14
15 **Build-to line:** a line parallel to the property line,
16 along which the principal plane of the building
17 shall be built. The Build-to line is determined in
18 relation to the property line. The line at which
19 construction of a building façade is to occur on a
20 lot. A build-to line runs parallel to the front
21 property line and is established to create an even
22 (or more or less even) building façade line on a
23 street.

24
25 **Civic:** Administrative or legislative government
26 offices, schools.

27
28 **Expansion:** For expansions to existing
29 structures resulting in an increase of floor area in
30 excess of 10%, all new construction shall meet
31 standards for new construction contained herein.

32
33 **Facade:** The principle face, front elevation, or
34 vertical surface of a building which is set along a
35 frontage.

36
37 **Frontage:** That side of a lot abutting a street
38 right-of-way. When a lot abuts more than one
39 street, it is that side that abuts the more primary
40 street or street designed for the highest
41 pedestrian scheme. For a corner lot, all sides
42 abutting a street shall be considered frontage.

43
44 **Intent:** To provide standards for consistent,
45 quality construction which will protect and
46 enhance the stability, scale and pedestrian
47 character of the neighborhood, and promote
48 lasting redevelopment.

49 **Main Entrance:** The entrance of the building
50 which is most architecturally prominent and
51 contains operable doors.

52
53 **Maintenance:** These standards shall not be
54 applied to regular maintenance activities
55 including repairs necessitated by fires or natural
56 disaster which restore the structure to its original
57 conditions.

58
59 **Mechanical Equipment:** A heating,
60 ventilation, or air conditioning unit placed
61 outside of a building.

62
63 **Parapet:** A low, solid, protective screening or
64 decorative wall often used around a balcony or
65 balconet, or along the edge of a roof.

66
67 **Renovations:** When renovations are valued at
68 under 50% of the tax assessed value of the
69 structure, only the new construction shall be
70 made to meet these standards. When
71 renovations are valued at 50% or more of the tax
72 assessed value of the structure, the entire
73 structure shall be made to meet the standards
74 except roof expansions which are regulated
75 specifically as contained herein.

76
77 **Roof Renovation:** Roof renovations shall meet
78 either these standards or match the existing roof
79 structure, type and style.

80
81 **Roof Expansion:** Roof expansions may meet
82 standards or match existing roof type and
83 material up to 100% of the existing roof area at
84 which point entire roof will be brought into
85 compliance with these standards.

86
87 **Screening Wall:** A wall made of fieldstone,
88 brick, stucco, wrought iron (or equivalent to
89 wrought iron), or a combination of these
90 materials, excluding round industrial railing and
91 chain link. The wall shall create a visual buffer
92 and shall be at least 25% solid.

93
94 **Street Edge:** The vertical face formed by
95 building facades, street trees, and screening
96 walls which is aligned along a street, forming a
97 comfortable people-scaled space.

Exception Criteria

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- | | | | |
|----|--|----|--|
| 4 | Exceptions to the architectural standards | 21 | |
| 5 | contained in this special area plan can be granted | 22 | |
| 6 | upon the finding of the Development Review | 23 | |
| 7 | Board or Director of Community Development, | 24 | |
| 8 | when appropriate, that the proposed | 25 | |
| 9 | development activity meets both of the | 26 | |
| 10 | following criteria: | 27 | |
| 11 | | 28 | |
| 12 | 1. The proposed construction is consistent with | 29 | |
| 13 | the overall intent of the Special Area Plan | 30 | |
| 14 | and; | 31 | |
| 15 | | 32 | |
| 16 | 2. The applicant proves an undue hardship, | 33 | |
| 17 | owing to conditions peculiar to the existing | 34 | |
| 18 | structure and not the result of the action of | 35 | |
| 19 | the applicant, would result from the strict | | |
| 20 | adherence to these standards because: | | |
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|--|--|--|--|
| | | | a. The structure is officially designated as |
| | | | historically significant and these |
| | | | standards conflict with standards |
| | | | established for the preservation of |
| | | | historic structures, or; |
| | | | b. The application of these standards |
| | | | would result in inconsistency of |
| | | | proportion and scale with the existing |
| | | | structure, or; |
| | | | c. The application of these standards |
| | | | would result in the project being made |
| | | | financially infeasible. |

Regulations For The College Park Neighborhood Plan

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Sidewalks

Intent. Sidewalks, when properly designed and maintained, provide the pedestrian with a pleasant, safe, and convenient place to walk, and mitigate traffic impacts by making the area more walkable. They are therefore an important public space in the Traditional City. Sidewalks which are too narrow are inconvenient, especially in areas with large volumes of pedestrians, for pedestrians walking side-by-side (which requires a minimum sidewalk width of 5 feet unobstructed), and for people using wheelchairs. In addition, sidewalks that are too curvilinear or that wrap around large block faces are an impediment to pedestrian convenience.

Standard. All buildings or developments must provide sidewalks along the street edge(s) of their property. Sidewalks shall be placed to align with existing sidewalks. Sidewalk connections from the principal building to the public sidewalk must be provided, and be aligned to minimize walking distance. Curvilinear sidewalks are not allowed unless they are necessary to avoid significant trees, stormwater basins, or topography, as determined by the appropriate reviewing board, City Manager or designee. The maximum length of a block face shall be 480 feet, unless shortened

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with cross-access sidewalks, arcades buildings or alleys, so that the face is no more than 480 feet. The minimum unobstructed width shall be 2 feet less than the required sidewalk width, as long as at least 5 feet of unobstructed width is retained. At transit stops, the minimum width is 8 feet of unobstructed width. Minimum width for a tree strip shall be 4 feet, or such other width as may be adequate for tree placement, unless the tree strip requirement is waived by the appropriate reviewing board, City Manager or designee. In order to maintain a consistent street edge of adjacent buildings, the appropriate reviewing board, City Manager or designee may modify the required sidewalk width and the tree strip width in order to achieve the above-stated intent. In areas where a sidewalk pattern as to materials and width has been adopted, the appropriate reviewing board, City Manager or designee can allow the pattern to be continued by each new development. If the sidewalks installed are less than the minimums provided above, sufficient space shall be provided in order for these minimum sidewalk widths to be added in the future.

Minimum Sidewalk widths

Multi-Family Residential/Industrial	
Street Classification	Sidewalk Width
Local	6 feet
Collector	7 feet
Arterial	7 feet

Commercial/Institutional Office/Mixed Use	
Street Classification	Sidewalk Width
Local	7 feet
Collector	8 feet
Arterial	<u>12</u> 10 feet

1 **Build-to Line**

2
3 **Intent.** The intent of a build-to line is to pull
4 the building façade close to the street and
5 streetside sidewalk. By doing so, building
6 facades along a block face will be aligned to
7 form a street edge that frames the public realm,
8 while retaining sufficient width for people to
9 walk, and sufficient space to provide formal
10 landscape created by street trees (see figures 6 &
11 7). The street edge shapes the public realm to
12 provide a sense of comfort and security for the
13 public space. The build-to prevents overly large
14 setbacks. Overly large setbacks are
15 inconvenient and unpleasant. They increase
16 walking distances from the public sidewalk.
17 They prevent the pedestrian on the public
18 sidewalk from enjoying building details and
19 activity within the building. Similarly, overly
20 large setbacks contribute to sign proliferation
21 and visual blight because a building set back a
22 large distance often needs to “shout,” with signs,
23 at passing motorists and transit users, bicyclists,
24 and pedestrians in order to be noticed.
25 Buildings pulled up to the street sidewalk have
26 more of a human scale, and allow for the
27 construction of canopies which create shade and
28 shield the pedestrian from wet weather.

29
30 In general, the goal of a commercial build-to
31 line should be that the width of the street
32 corridor (as measured by opposing building
33 facades) and the height of the buildings shall be
34 at least a ratio of 1:1 to 3:1. (The width should
35 be no more than three times the height. See
36 Figure 8.) When the building across the street is
37 not properly pulled up to the street, the desired
38 ratio is 1.5:1 as measured from the street
39 centerline.

40
41 **Standard.** A build-to line range is specified by
42 building lot type. The build-to line (see Figure 9)
43 shall be that which achieves the above stated
44 intent, as determined by the appropriate
45 reviewing board, city manager or designee, and
46 shall apply even if the facade faces a street
47 outside of the overlay affected area. Building
48 walls along a street that are not within the
49 overlay affected area that are entirely more than
50 250 feet from the Traditional City shall be
51 exempt from the Build-to-Line standard. If a

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53
54 ~~portion of the wall along a street is within 250~~
55 ~~feet, all of the wall is affected by the standard.~~
56 ~~In most instances, the build-to line shall be 20~~
57 ~~feet from the curb or edge of pavement for at~~
58 ~~least 70 percent of the building facade. Factors~~
59 ~~to be considered for variations to this build-to~~
60 ~~line shall be as follows:~~

- 61
62 ● ~~When considering a closer build to~~
63 ~~line, the building facade shall, in~~
64 ~~most instances, be no closer than 14~~
65 ~~feet from the curb or edge of~~
66 ~~pavement along an arterial, 12 feet~~
67 ~~along a collector, and 11 feet along~~
68 ~~a local street, in order to leave space~~
69 ~~for adequate sidewalks and tree~~
70 ~~strips (see Map A).~~
- 71
72 ● ~~When the proposed building is~~
73 ~~adjacent to existing buildings on an~~
74 ~~abutting property the facade shall, in~~
75 ~~most instances, be built at the facade~~
76 ~~of the adjacent building closest to~~
77 ~~the street, or at the 20-foot build-to~~
78 ~~line, whichever is closer to the~~
79 ~~street. (see Figure 10)~~
- 80
81 ● ~~The appropriate reviewing board,~~
82 ~~city manager or designee can~~
83 ~~approve a facade closer to the curb~~
84 ~~or edge of pavement than the~~
85 ~~previously listed distances so that a~~
86 ~~consistent street edge of adjacent~~
87 ~~buildings can be maintained.~~
- 88
89 ● ~~Buildings on corner lots or buildings~~
90 ~~on more than one street frontage~~
91 ~~shall, in most instances, have the 20-~~
92 ~~foot build-to line requirement on the~~
93 ~~more primary street frontage area.~~
- 94
95 ● ~~Buildings may have a build-to line~~
96 ~~that exceeds (is deeper than) the~~
97 ~~above requirement in order to create~~
98 ~~a courtyard or outdoor sidewalk~~
99 ~~eafe, if a screening wall 3 feet to 4~~
100 ~~feet in height is provided at the~~
101 ~~required build-to line.~~

1 • ~~Places of religious assembly and~~
2 ~~other civic buildings may have a~~
3 ~~build to line up to 60 feet to allow~~
4 ~~congregational/assembly/open~~
5 ~~space, as long as at least 50 percent~~
6 ~~of the building facade is built at the~~
7 ~~required 20-foot build to line.~~

8
9 • ~~The appropriate reviewing board,~~
10 ~~city manager or designee may~~
11 ~~approve a greater build to line~~
12 ~~(farther from the street) than the~~
13 ~~required build to line when site~~
14 ~~constraints such as significant tree~~
15 ~~features, or significant design~~
16 ~~features warrant it. If such approval~~
17 ~~by the appropriate reviewing board,~~
18 ~~city manager or designee is granted,~~
19 ~~the front yard area must be~~
20 ~~landscaped to provide shade for~~
21 ~~pedestrians with tree plantings and~~

22 ~~to establish the street edge~~
23 ~~articulation.~~

24
25 • ~~The standards described in this~~
26 ~~subsection shall supersede any~~
27 ~~landscape buffer width requirements~~
28 ~~found in Article VIII of the Land~~
29 ~~Development Code for frontage~~
30 ~~areas, except in front of surface~~
31 ~~parking lots.~~

32
33 Stoops, stairs, chimneys, and bay windows are
34 allowed to extend beyond the build-to line as
35 long as they do not exceed more than 25 percent
36 of the front façade. Open porches, projecting
37 signs, balconies, arcades, awnings and outdoor
38 cafes may also extend beyond the build-to line.
39 However, at least 5 feet of unobstructed
40 sidewalk width and room for any required tree
41 strip must be retained.

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46 **Building Additions**

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48 **Intent.** Building additions shall be in keeping
49 with the Special Area Plan. The primary
50 structure on the site shall be classified into one
51 of the Building Type categories by City staff.
52 The building addition shall then follow the
53 requirements as described for the appropriate
54 Building Type or standards set by City staff.

55
56 **Standard.** Additions should be in keeping with
57 the architectural style of the existing structure.
58

- 59 • Exterior walls should be of the same or
60 compatible material and finish as the
61 existing structure.
62 • Windows should have a similar proportion
63 and style of mullions as the windows of the
64 existing structure.

65
66 New roof additions should be a similar material
67 to the existing roof.

1 **Façade Requirements**

2
3 **Intent.** Well designed building facades can
4 encourage pedestrian activity, and improve
5 safety and visual appearance.

6
7 **Standard.** Building façades shall have
8 windows, sills, lintels, expression lines and a
9 cornice. The front façade of the building is also
10 required to have its primary entrance face the
11 street.

12
13 Expression lines are required on stucco and
14 brick buildings.

15
16 “Main Street” Shopfront buildings do not
17 require sills or lintels on first floor windows that
18 display merchandise.

19 On attached building types such as Shopfront
20 buildings or Rowhouses, the sides located on
21 interior property lines do not require windows,
22 expression lines, or cornices.

23
24 On detached building types, windows are
25 required on sides of all structures set back 3 or
26 more feet from the side property line. A
27 minimum of 10 % glazing is required.

28
29 Detailed façade requirements are specified in the
30 building types. City staff may further define
31 building façade requirements.

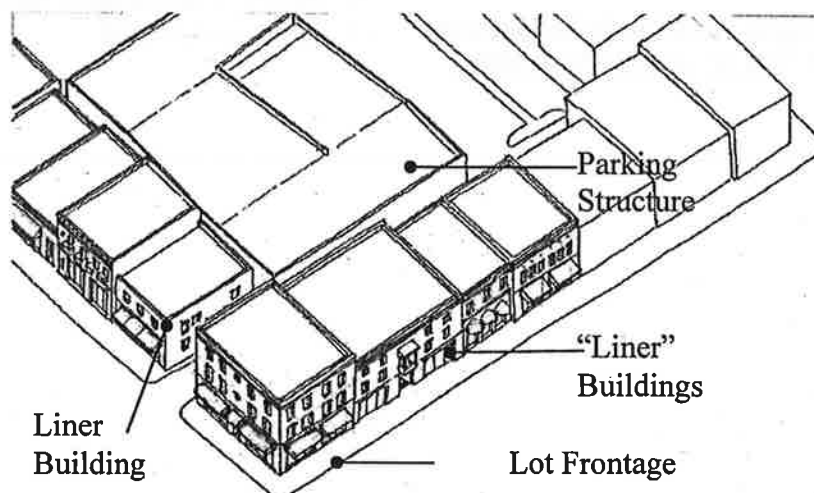
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37 **Structured Parking Lot Placement**

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39 **Intent.** Parking structures shall not be visible
40 from a frontage street.

41
42 **Standard.** Parking structures shall be set back a
43 minimum of 40 feet from the property lines of
44 all adjacent streets. “Liner buildings” shall be
45 placed between parking structures and the lot

46 frontage. The liner building shall have a height
47 greater than or equal to the parking structure.
48 Liner buildings shall be no less than two stories
49 or 34 feet in height. Liner buildings may be
50 detached from or incorporated into parking
51 structures. A point of entry is allowed on side
52 streets.

53
54
55 [new graphic below]



1 **Off-Street Parking Requirements** 29
 2 30
 3 **Parking Mitigation.** The minimum off-street 31
 4 parking requirement may be mitigated by the 32
 5 amount of on-street parking directly abutting 33
 6 each parcel proposed for development. This 34
 7 provision shall encourage a reduction of off- 35
 8 street paving and result in better use of the 36
 9 property, thus encouraging redevelopment. 37
 10 38
 11 **Parking Requirements.** Except as provided for 39
 12 herein, design requirements for vehicle and 40
 13 bicycle parking shall be in accordance with 41
 14 Article IX of the City of Gainesville Land 42
 15 Development Regulations. Parking may be 43
 16 provided within 600 feet of the building. 44
 17 45
 18 A. **Multiple-family dwelling.** The number 46
 19 of off-street vehicle and bicycle parking 47
 20 spaces required for multiple-family 48
 21 dwellings located in the Special Area 49
 22 Plan shall be as stipulated in this 50
 23 section. For the purposes of this section, 51
 24 multiple-family is as defined in the City 52
 25 of Gainesville Land Development 53
 26 Regulations. 54
 27 55
 28 56

Automobiles

Minimum—one parking space per two bedrooms
 Maximum—one parking space per bedroom
 Excess—none allowed

Bicycles

Minimum—one bicycle parking facility per two bedrooms

- B. ~~Non-residential uses~~ **Business uses.** No minimum number of parking spaces required except as provided herein. ~~All off-street parking spaces and facilities shall comply with the requirements of Article IX of the City of Gainesville Land Development Regulations.~~
- C. ~~All other uses.~~ Except as provided herein, all off-street parking spaces and facilities shall comply with the requirements of Article IX of the City of Gainesville Land Development Regulations.

Note: Back-out parking repealed by Ordinance 960426 on 2/17/97.

62
 63 **Landscape Standards**

64
 65 **Total Number of Trees Required.**
 66 Redeveloping properties are required to provide
 67 shade trees based on the lot's private outdoor
 68 space. The property owner is also required to
 69 improve the adjacent public right-of way to the
 70 standard set by the Special Area Plan and City
 71 staff.
 72
 73 One shade tree is required for every 1,200
 74 square feet of private outdoor space on the lot.
 75 Corner lots may only include trees on the
 76 primary frontage street toward the required total,
 77 and not the side street.
 78

79 Parking lots in the rear or side of commercial
 80 buildings, such as the Main Street shopfront
 81 building and
 82 the office building, shall follow the landscape
 83 requirements specified in the Land Development
 84 Code for off-street parking lots. Trees required
 85 by off-street parking lots may be included to
 86 meet the required total count.
 87
 88 **Right-of Way Planting.** Commercial and
 89 mixed-use streets (such as University Avenue)
 90 shall have shade trees planted with an average
 91 spacing of 45 feet on center. Trees are not
 92 required when arcades and colonnades are
 93 present.

1 Residential streets shall have shade trees planted
2 an average spacing of 30 feet on center in the
3 swale.

4
5 Where a swale does not exist, trees shall be
6 planted on the private property within 5 feet of
7 the front property line.

8
9 Existing trees on the lot and on the adjacent
10 swales may count toward the total number of
11 trees required. The City Manager, designee or
12 appropriate reviewing board shall approve which
13 existing trees may count towards the total
14 required trees.

15
16 Quality of Trees. Street trees intended to
17 provide pedestrian shade shall be located in the

18 right-of way swale or near the public sidewalk
19 on the private property. Shade trees shall be 14
20 feet tall with 7 feet of clear trunk, with a trunk
21 caliper of at least 2 ½ inches in at least a 50-
22 gallon container, Florida Grade A #1 or better.

23
24 Trees located on private property may be
25 ornamental or shade trees. Trees shall be 8 feet
26 tall with a trunk caliper of at least 2 inches in at
27 least a 25-gallon container, Florida Grade A #1
28 or better.

29
30 Refer to City staff and the Gainesville Tree List
31 for appropriate trees species.

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35

36 **Mechanical equipment**

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38 **Intent.** Mechanical equipment, when
39 improperly located on a site or improperly
40 screened, can contribute to noise problems and
41 create visual blight.

42
43 **Standard.** All mechanical equipment must be
44 placed on the roof, in the rear or side of the

45
46

47
48
49 building, or otherwise visually screened from the
50 street. In no case shall mechanical equipment be
51 allowed along street frontage(s). (see Figure 19)
52 Mechanical equipment on the roof shall be
53 screened from abutting streets with parapets or
54 other types of visual screening

55
56

Trash Receptacles

Intent. Trash receptacles shall be provided without compromising the quality of the street. Trash receptacles shall not be visible or malodorous to pedestrians.

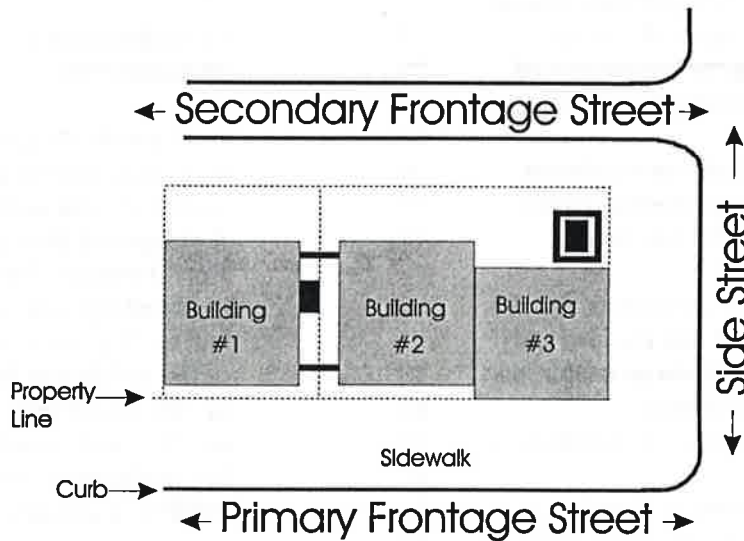
Standard. All trash receptacles must be placed in the side or the rear of the building. Trash receptacles shall not be visible from the street. Trash receptacles shall be visually screened from the street. Screening such as decorative walls or fencing shall be tall enough to buffer receptacles from view. Screening shall be a maximum height of 7 feet.

Note: Type I and Civic lots are located on blocks that are only one lot deep. This creates a

fronts and backs problem where buildings have two street frontages. Trash receptacles shall be accessed from the rear of the building, the secondary frontage. Type I and Civic buildings that face the street on two sides are encouraged to locate trash receptacles in the side yard.

The sharing of a common location for the storage of trash for several buildings or businesses is acceptable.

“Trash Shacks,” a sealed and cooled self-compacting container, may be used.



[new graphic above]

Buildings #1 and 2 are sharing a side yard for the storage of trash receptacles. They have placed a decorative gate and fence between the two buildings.

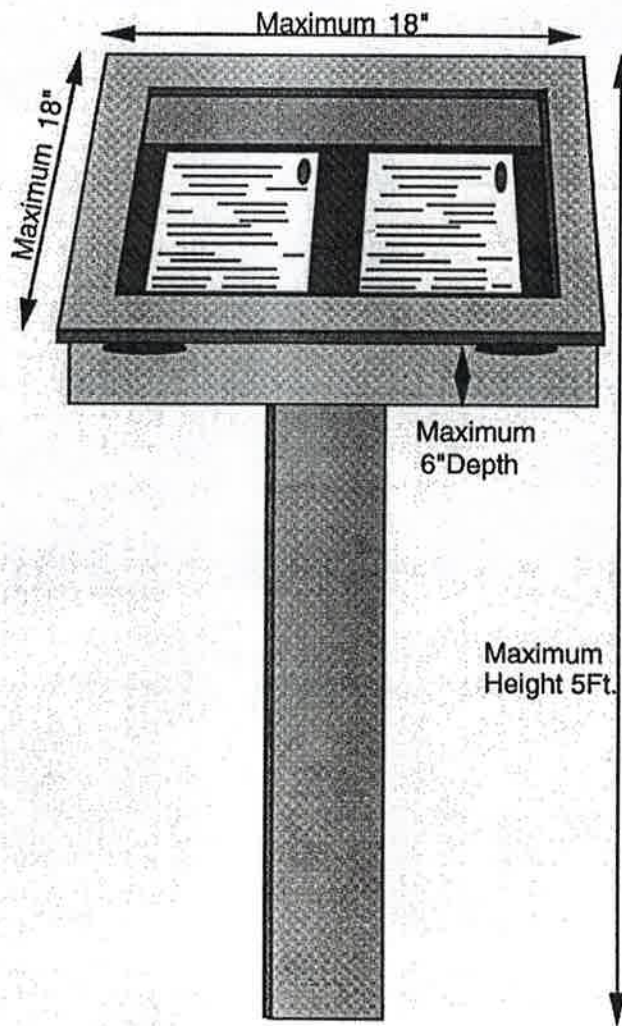
Building #3 has no side yard, the trash dumpster is away from the property line and is hidden from the street by a decorative fence.

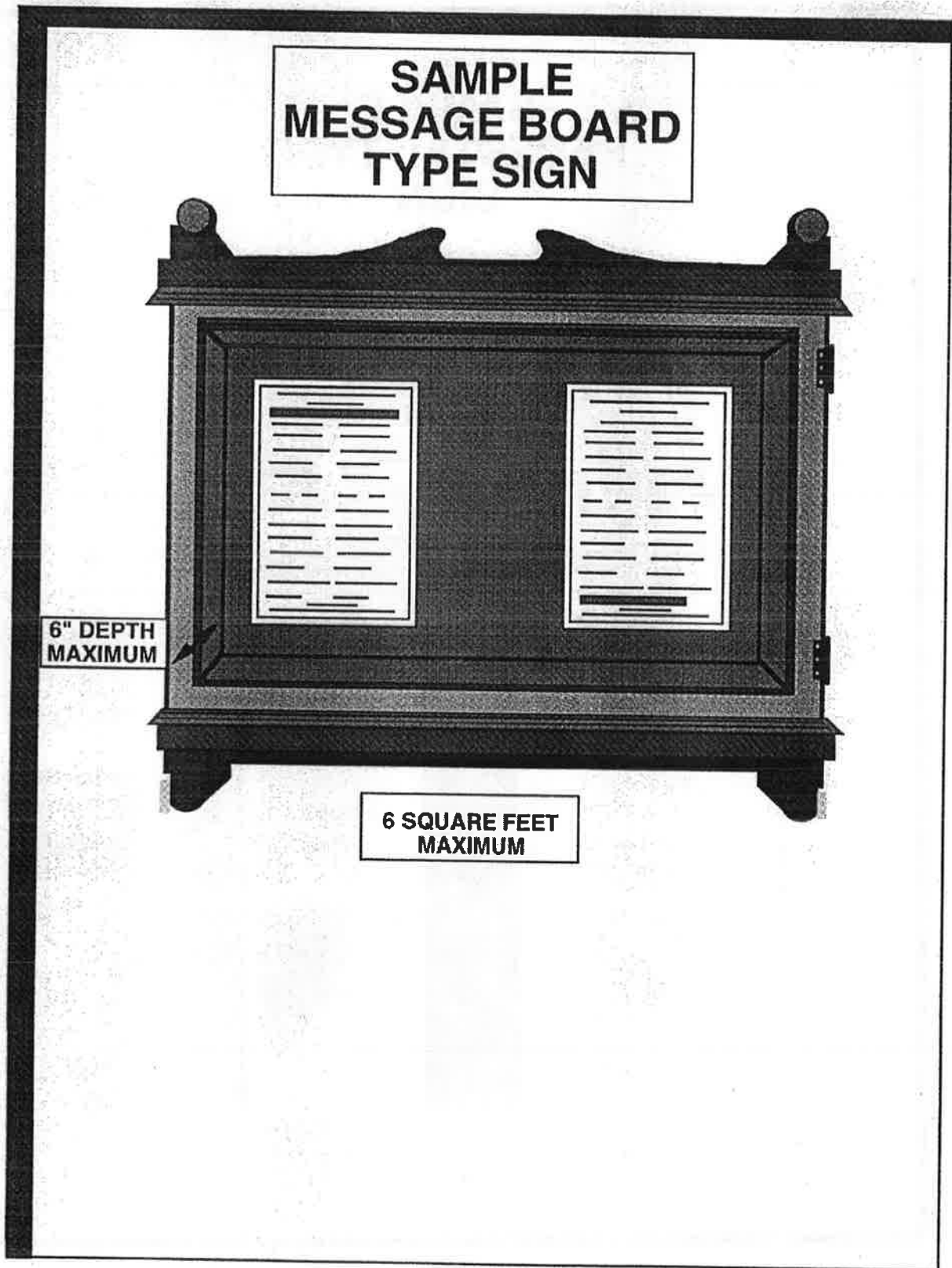
1	Signs	51	
2		52	
3	Signs shall be regulated by both these	53	4. The maximum height of ground
4	regulations and Article IX, Division 1: Signs	54	mounted signs shall be 8 feet for Type I
5	Regulations, in the Land Development Code.	55	and Type IV development and five feet
6	Where there is conflict between Article IX and	56	for Type II and Type III development.
7	these regulations, these regulations shall prevail.	57	
8		58	5. Maximum Sign Area shall be measured
9	1. Signs may be externally illuminated.	59	by using the largest surface area
10	Signs must be constructed of the	60	viewable at one time from any one
11	following materials and may not be	61	direction parallel to the ground. Lots
12	painted directly on walls.	62	with frontage on two or more streets
13		63	may have an additional 50 percent of
14	a. fabric	64	secondary sign area, contained in a
15	b. wood	65	single sign located on the secondary
16	c. material other than plastic with a	66	building frontage. The following
17	wood-like appearance	67	maximum standards shall apply:
18	d. unpainted stone	68	
19	e. unpainted brick	69	a. Type I (MU-1) single-occupancy
20	f. stucco-finished material	70	development:
21	g. cast- or hand-wrought iron, bronze,	71	Ground-mounted:
22	brass or other material (except	72	16 square feet
23	plastic) having the appearance of	73	
24	cast- or hand-wrought iron, brass or	74	Each single-occupancy develop-
25	bronze.	75	ment may display up to two wall-
26	h. stained glass (with an uncolored	76	mounted signs on the side of the
27	clear plastic or protective acrylic	77	development facing its primary
28	covering —may be internally	78	street frontage. The total wall-
29	illuminated)	79	mounted sign area shall be equiva-
30	i. neon (including individual channel	80	lent to 10 percent of the surface area
31	letter neon signs that are internally	81	of the building at the street frontage
32	illuminated and have an uncolored	82	or 100 square feet, whichever is
33	clear plastic covering)	83	smaller. Only one building side will
34	j. lettering on transparent windows or	84	be considered as being the
35	doors	85	building's primary street frontage.
36	k. neon strip lighting in accordance	86	
37	with Section 30-316(d)(2) of the	87	b. Type I (MU-1) multiple occupancy
38	Land Development Code.	88	development:
39		89	Ground-mounted:
40	2. Roof mounted signs are prohibited.	90	16 square feet for the development
41		91	as a whole
42	3. Ground mounted signs must be placed a	92	
43	minimum of 10 feet from the side	93	Each occupant of a multiple-
44	property line and must be placed outside	94	occupancy development may
45	of the vision triangle. Only one ground-	95	display up to two wall-mounted
46	mounted sign is allowed per	96	signs on the portion of the building
47	development.	97	which is included as part of the
48		98	occupant's individually leased or
49		99	
50		100	

- 1 owned premises. The sign must be 51
 2 placed on the side which is the 52
 3 primary entrance/exit. The total 53
 4 sign area for wall-mounted signs 54
 5 shall be equivalent to 10 percent of 55
 6 the surface area of the exterior wall 56
 7 which is the primary entrance/exit to 57
 8 the occupancy or 100 square feet, 58
 9 whichever is less. In addition, each 59
 10 unit shall be allowed one under- 60
 11 canopy sign with a maximum 61
 12 vertical height of one foot and a 62
 13 maximum width of three feet. An 63
 14 under-canopy sign shall be defined 64
 15 as a sign suspended beneath a 65
 16 canopy, ceiling, roof, or marquee. 66
 17 The under-canopy sign must 67
 18 maintain a vertical clearance of 9 68
 19 feet over any pedestrian walkway or 69
 20 public right-of-way. 70
 21
 22 c. Multifamily Type II (RMU) 72
 23 development: 12 sq. ft. 73
 24
 25 d. Civic buildings shall be allowed 75
 26 signage in keeping with their zoning 76
 27 designation and consistent with the 77
 28 standards established above. 78
 29
 30 6. Each single-occupancy development 80
 31 may have one projecting sign, up to a 81
 32 maximum of 6 square feet in sign area, 82
 33 in lieu of one of the allowable wall- 83
 34 mounted signs. Projecting signs must be 84
 35 constructed entirely of a non- 85
 36 combustible material. The projection 86
 37 may extend over public right-of-way. 87
 38 At least a 9 foot vertical clearance must 88
 39 be maintained above public right-of-way 89
 40 or any pedestrian walkway; otherwise 90
 41 the vertical clearance must be 8 feet 91
 42 above grade. The projection may not 92
 43 extend more than 4 feet horizontally 93
 44 from a wall. Its outside edge must be at 94
 45 least 2 feet from an imaginary line 95
 46 drawn perpendicular to the curb when 96
 47 the sign projects over public right-of- 97
 48 way. The sign may not intrude on the 98
 49 vision triangle. 99
 50
 51 7. Each occupant of a multiple-occupancy 100
 52 development may have one projecting 101
 53 sign, up to a maximum of 6 square feet
 54 in sign area, in lieu of one of the
 55 allowable wall-mounted signs.
 56 Projecting signs must be constructed
 57 entirely of a non-combustible material.
 58 The projection may extend over public
 59 right-of-way. At least a 9-foot vertical
 60 clearance must be maintained above
 61 public right-of-way or any pedestrian
 62 walkway; otherwise the vertical
 63 clearance must be 8 feet above grade.
 64 The projection may not extend more
 65 than 4 feet horizontally from a wall. Its
 66 outside edge must be at least 2 feet from
 67 an imaginary line drawn perpendicular
 68 to the curb when the sign projects over
 69 public right-of-way. The sign may not
 70 intrude on the vision triangle.
 71
 72 8. Pedestrian-oriented signs shall be
 73 allowed for businesses to attract
 74 pedestrian traffic. A pedestrian-oriented
 75 sign may be used to advertise changing
 76 specials such as food items, menus or
 77 other promotions; and shall only be used
 78 to advertise products or services
 79 available or for sale at the site where the
 80 sign is located. The allowable sign area
 81 for pedestrian-oriented signs shall not be
 82 counted against the total allowable sign
 83 area for a development or business. A
 84 permit must be obtained for pedestrian-
 85 oriented signs.
 86
 87 a. *Permitted number of signs.* Each
 88 single-occupancy development and each
 89 occupant of a multiple-occupancy
 90 development may display either one
 91 message-board sign or one pedestal-type
 92 sign.
 93
 94 b. *Pedestal-type signs.*
 95 Figure 1 illustrates the sample
 96 pedestal-type sign.
 97
 98 1. The maximum height of a
 99 pedestal-type sign is 5 feet.
 100
 101 2. Pedestal-type signs shall be
 permanently mounted in the

- 1 ground, and shall not be 23
2 placed in the public right- 24
3 of-way or any pedestrian 25
4 walkway. 26
5 3. Pedestal-type signs shall 27
6 have a maximum sign 28
7 length and width of 18 29
8 inches, for a maximum sign 30
9 area of 2.25 square feet. 31
10 4. Pedestal-type signs may be 32
11 internally illuminated. 33
12
13 c. *Message-board signs, including 34*
14 *chalk boards and bulletin 35*
15 *boards.* Figure 2 illustrates the 36
16 sample message-board sign. 37
17 1. The maximum area of a 38
18 message-board sign is 6 39
19 square feet. 40
20 2. Message-board signs must 41
21 be mounted on a wall, door, 42
22 or window of a business.
3. Message-board signs may be mounted in a protective frame with a covering of up to 6 inches deep; and may project into the public right-of-way by 6 inches.
4. Message-board signs may be internally illuminated.
9. Non-conforming signs must be made to conform with these regulations when a change of use (according to the Standard Building Code) occurs.
10. Fabric signs may be internally lit only.
- See Figure #1 (Sample Pedestal-Type Sign) and Figure #2 (Sample Message Board Type Sign) on next page. (Revised by Ordinance 96494, 8/25/97)

SAMPLE PEDESTAL-TYPE SIGN





1
2
3
4
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6

Urban Regulations For New Construction - Type I

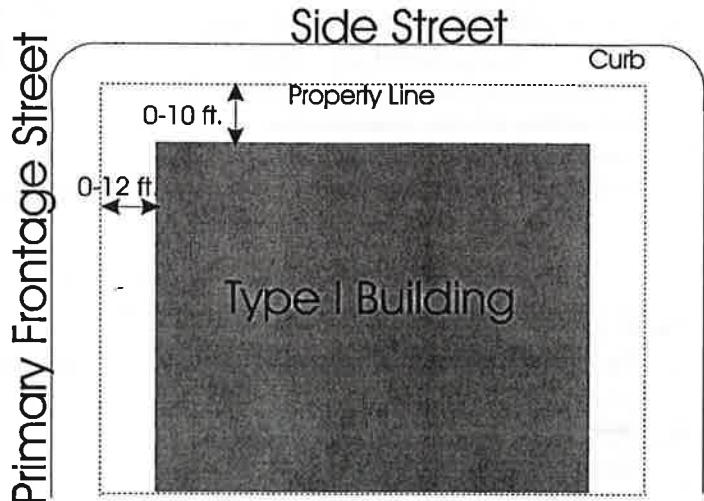
Instructions

This building type includes shopfronts, offices, apartments or townhouses.

Building Placement

1. Shopfront and Office buildings
0 ft. to 12 ft. from the front property line, 0 ft. to 10 ft. from the side street property line. The City Manager, designee or appropriate board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. In cases where the block is only one lot deep, new buildings should be oriented towards the street of greater hierarchy, known as the Primary Frontage Street.
 1. Buildings shall be set on lots relative to the property lines as shown here.
 2. Buildings and street facades shall extend along the frontage to the percentage of lot width as shown here.
 3. In the absence of building walls, garden walls shall be built on property lines.
 4. Walls shall be mandatory.
 5. See build to line on page 11a.

[replace existing graphic with graphic below]



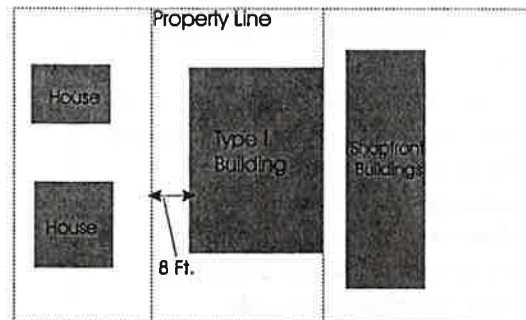
Min. build-out 80% for primary frontage street;
Minimum 70% build-out for rear street

7

Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Townhouses or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.

[new graphic below]

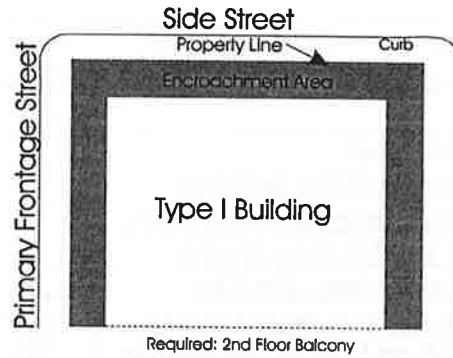


1

Urban Regulations For New Construction - Type I (Continued)

Encroachments Easements

1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
 2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
 3. For encroachment into right-of-way, permission is required from public entity responsible for right-of-way.
- ~~1. Balconies, stoops, open porches shall be permitted to encroach within the area shown here.~~



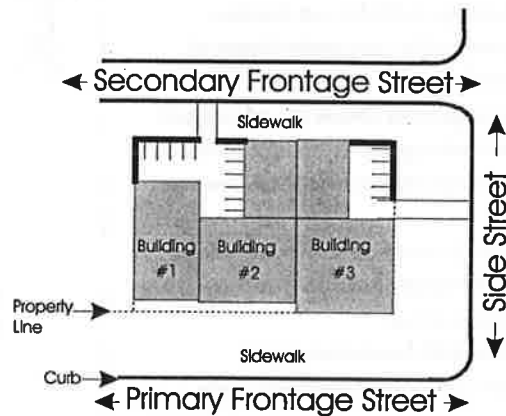
[replace existing graphic with graphic above]

2

Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
 2. Driveways may be shared to reduce the number of curb cuts.
 3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner. On mid-block lots, driveways may occur on either frontage streets or rear streets.
- ~~1. Parking spaces may be provided within the areas shown here.~~
- ~~2. Trash containers shall be located within the parking area.~~

[replace existing graphic with graphic below]



3

Building Use

1. Allowable uses are those permitted in the MU-1 zoning district of the Land Development Code (Chapter 30).
2. New construction or expansion of drive-throughs is prohibited within the Special Area Plan Area. Existing drive-throughs shall be allowed as non-conforming uses, as regulated by Sec. 30-346 of the Land Development Code.



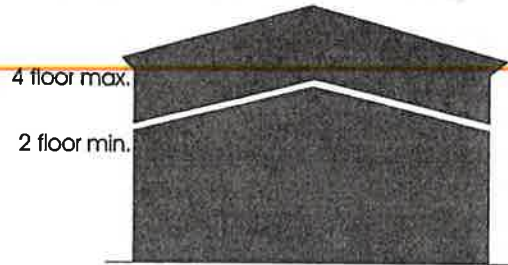
[replace existing graphic with graphic above]

Urban Regulations For New Construction - Type I (Continued)

Building Height

1. Specific heights shall be measured relative to the fronting street elevation and a specified point as shown here.
2. Minimum and maximum building height shall be measured in number of floors. Ground floors may be up to 16 ft. floor to ceiling height. All other floors may be up to 12 ft. floor to ceiling height each not to exceed 13 ft. floor to ceiling.

[add new graphic]



1

Building Frontage

1. Maximum building frontage for Shopfront and Office Buildings is 80 ft.

Garden Walls & Fences

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when walls built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary, the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
 - 30 in. min. height for all fences, garden walls & hedges
 - 42 in. max. along public rights-of-way, including alleys
 - 72 in. max. along all other property lines.

2
3

Urban Regulations For New Construction - Type II

Instructions

This building type includes houses, apartments or townhouses.

Building Placement

1. Townhouses and Apartments - -
 10 ft. to 20 ft. from the front property line, 5 ft. to 10 ft. from the side property line. The City Manager, designee or appropriate reviewing board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.

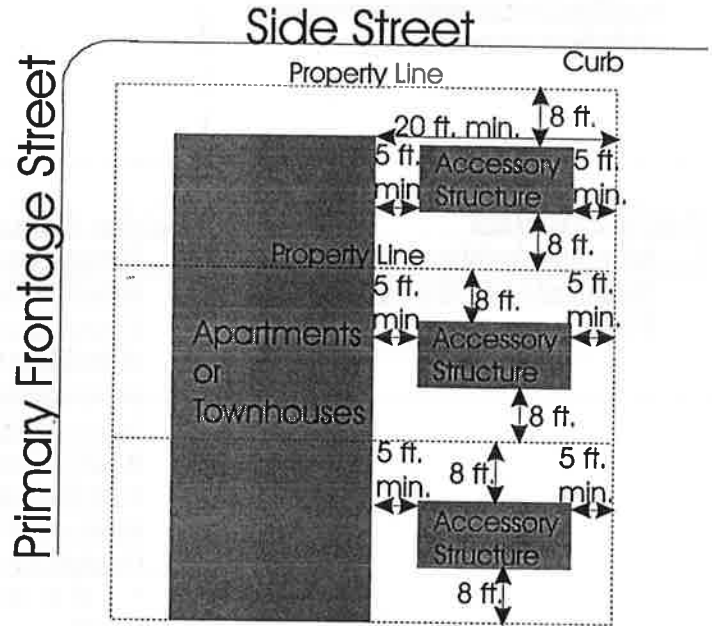
2. Houses - -
 5 ft. to 25 ft. from property line, 5 ft. to 10 ft. from the side property line. City staff shall set Build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.

3. Accessory structures shall be a minimum of 5 ft. from rear property line and 8 ft. from side property line.

1. Buildings shall be set on lots relative to the property lines as shown here.
2. Buildings and street facades shall extend along the frontage to the percentage of lot width as shown here.
3. In the absence of building walls, garden walls shall be built on property lines.
4. Walls shall be mandatory.

Required garden walls: 1) will be required to be set back the same amount as the principal building is being required to be set back; 2) are subject to the provisions of the vision triangle; 3) on other sides of the property, garden walls would be free to go to the property line; 4) garden walls only mandatory if needed to achieve the 90% façade requirement; 5) include a driveway if needed to get to on site parking, and 6) wrought iron is acceptable as a building material.

[replace existing graphic with graphic below]



Minimum frontage build-out	90%
Corner Lot	70%

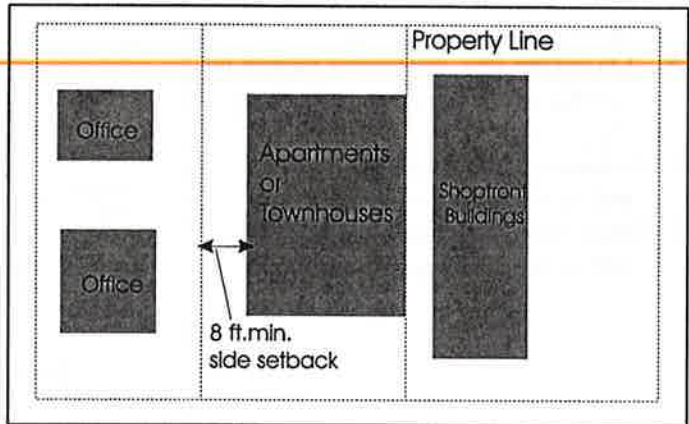
1
2

Urban Regulations For New Construction - Type II (Continued)

Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Townhouses, or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.

[new graphic below]

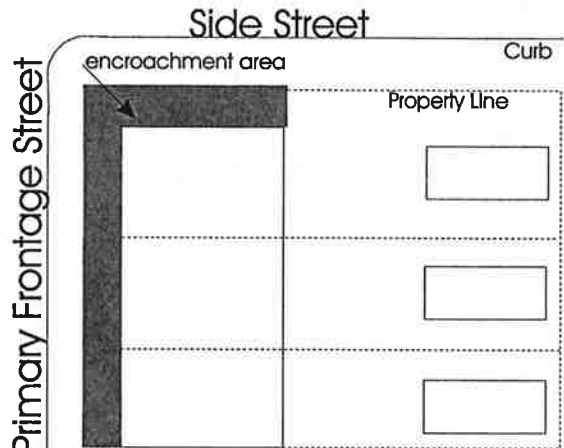


3

Encroachments Easements

1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. For encroachment into right-of-way, permission is required from public entity responsible for right-of-way.
1. Balconies, stoops, open porches, bay windows or dooryards shall be permitted to encroach within the area shown here.

[replace existing graphic with graphic below]



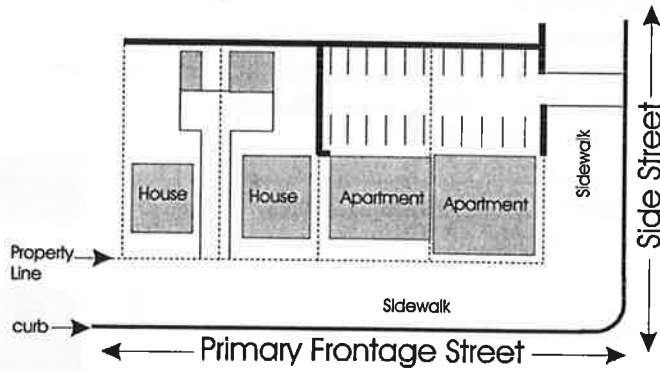
Permitted: Porch or Breezeway, Raised dooryard
Required: Stoop

4

1 Urban Regulations For New Construction - Type II (Continued)

Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner.
1. Parking spaces may be provided within the areas shown here.
2. Trash containers shall be located within the parking area.

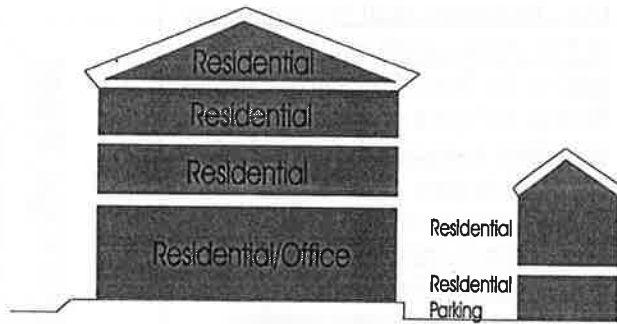


[replace existing graphic with graphic above]

Building Use

1. Uses permitted within the buildings shall be as shown here.
2. The office use shall not exceed 3 employees.
3. Up to 25% of any ground floor apartment may be used by its residents for any permitted OR use as long as the total of the OR uses in the complex does not exceed 10% of the square footage of the complex.

[replace existing graphic with graphic below]

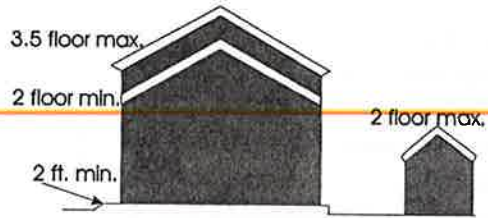


2

1 Urban Regulations For New Construction - Type II (Continued)

Building Height

1. Heights shall be measured relative to the fronting street elevation. The 2 ft. minimum shown in the diagram shall be the minimum distance above the street elevation for setting the principal structure. ~~The 5 ft. min. shown in the diagram shall be the min. distance above the street elevation for setting the accessory structure.~~
2. Minimum and maximum building height shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.



[replace existing graphic with graphic above]

2

Building Frontage

1. Maximum building frontage for Houses is 45 ft.
2. Maximum building frontage for Apartments is 55 ft. for any individual building.
3. Maximum building frontage for Townhouses is 35 ft. for any individual building.

Garden Walls & Fences

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
 - 30 in. min. height for all fences, garden walls & hedges
 - 42 in. max. along public rights-of-way, including alleys
 - 72 in. max. along all other property lines.

3

Urban Regulations For New Construction -Type III

Instructions

This building type includes houses.

Building Placement

1. Houses - -

5 ft. to 25 ft. from property line, 5 ft. to 10 ft. from the side property line, except as specified under side setback section below. The City Manager, designee or appropriate reviewing board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.

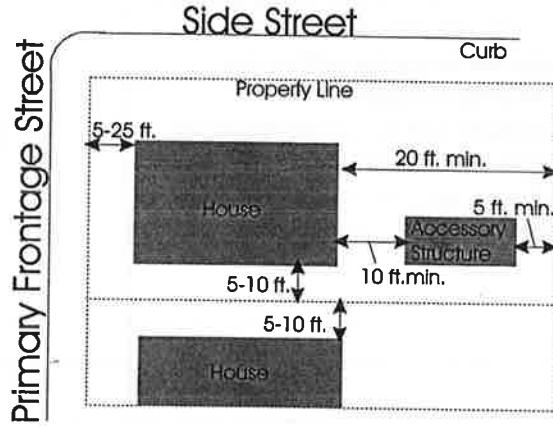
2. Accessory structures shall be a minimum of 5 ft. from rear property line and 5 ft. from side property line.

1. Buildings shall be set on lots relative to the property lines as shown here.

2. Buildings and street facades shall extend along the frontage to the percentage of lot width as shown here.

3. In the absence of building walls, fences shall be built on property lines.

4. See build to line on page 11a.

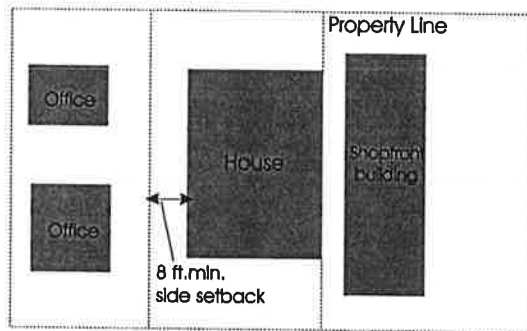


[replace existing graphic with graphic above]

Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Townhouses, or Civic buildings.

2. Minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.



[add new graphic above]

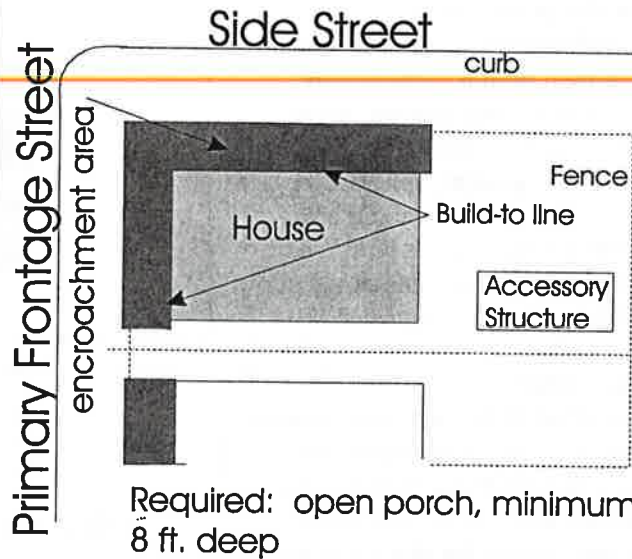
1

Urban Regulations For New Construction -Type III (Continued)

Encroachments Easements

1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line. Stoops and porches shall be a minimum of 42 in. behind the face of curb to maintain access. Permission is required from public entity responsible for right-of-way.
1. ~~Balconies, stoops, open porches, bay windows or dooryards shall be permitted to encroach within the area shown here.~~
2. ~~Fences shall be mandatory as shown here.~~

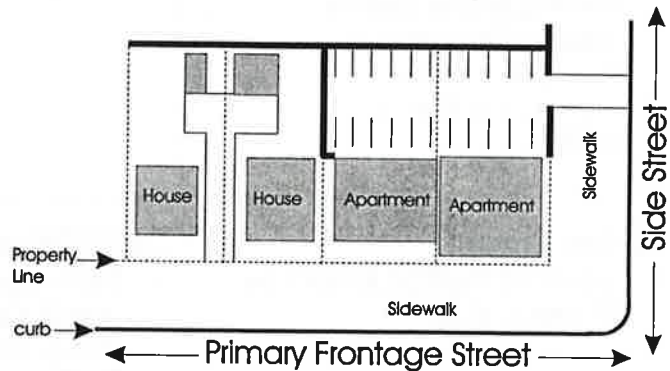
[new graphic below]



2

Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner.
1. ~~Parking spaces may be provided within the areas shown here.~~
2. ~~Trash containers shall be located within the parking area.~~



[new graphic above]

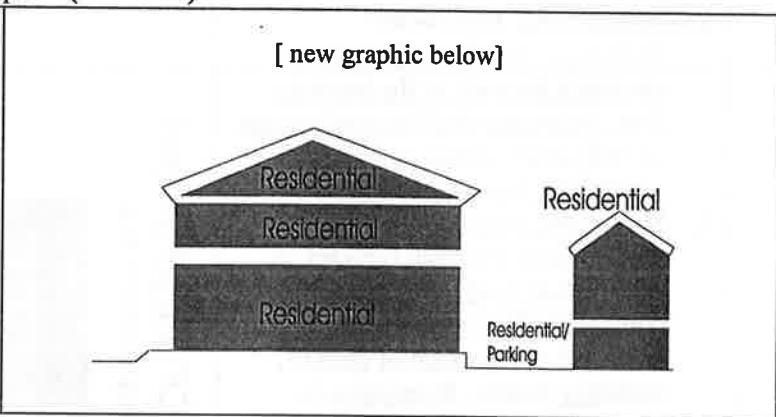
3

1

Urban Regulations For New Construction -Type III (Continued)

Building Use

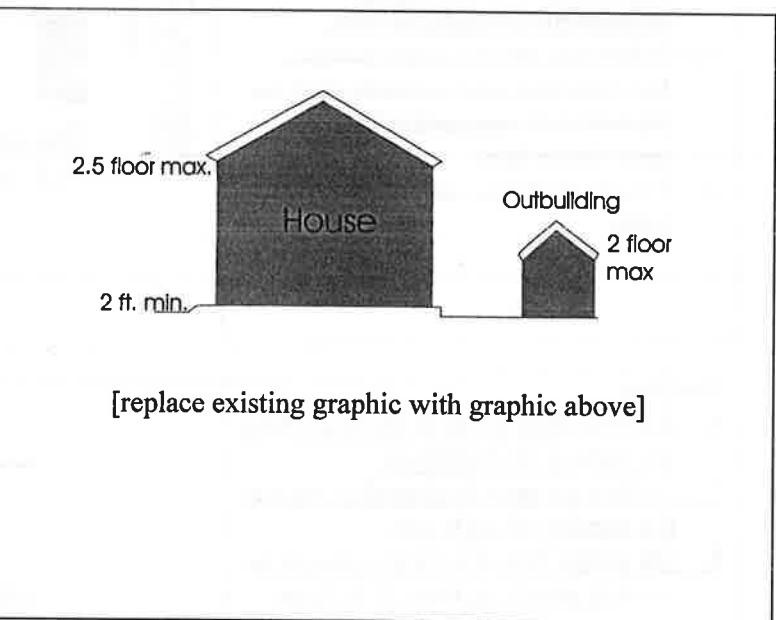
1. Uses permitted within the buildings shall be as shown here.
2. The following uses are additionally permitted within outbuildings: workshop; guest cottage; artist studio; sauna; pool house equipment enclosure; gazebo; conservatory.
3. Outbuildings with kitchens are allowed only in areas with underlying zoning that would allow multi-family dwellings.



2

Building Height

1. Heights shall be measured relative to the fronting street elevation. The 2 ft. minimum shown in the diagram shall be the minimum distance above the street elevation for setting the principal structure. The 5 ft. min. shown in the diagram shall be the min. distance above the street elevation for setting the outbuilding.
2. Minimum and maximum building heights shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.



3

Building Frontage

1. Maximum building frontage for Houses is 45 ft.

Garden Walls & Fences

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
 - 30 in. min. height for all fences, garden walls & hedges
 - 42 in. max. along public rights-of-way, including alleys
 - 72 in. max. along all other property lines.

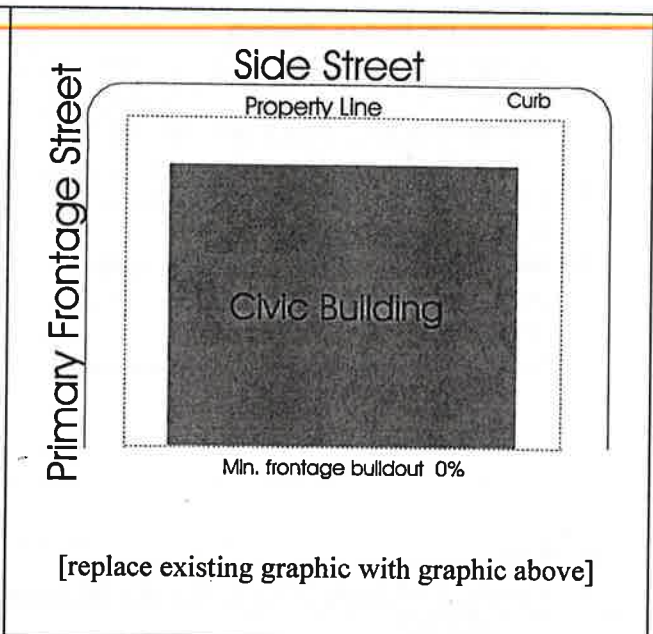
4

Urban Regulations For New Construction - Civic

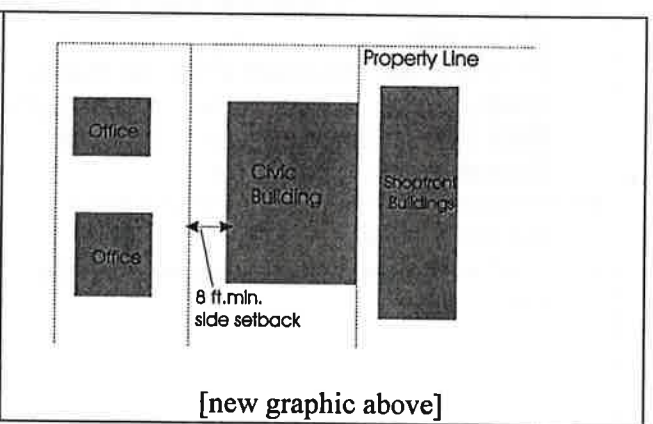
Instructions

This building type includes civic uses.

- Building Placement**
1. The City Manager, designee or appropriate board shall set build-to line range to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
 1. Buildings shall be set on lots relative to the property lines as shown here.
 2. Buildings and street facades shall extend along the frontage to the percentage of lot width as shown here.
 3. In cases where the block is only one lot deep, new buildings should be oriented towards the street of greater hierarchy, known as the primary frontage street.
 3. In the absence of building walls, garden walls shall be built on property lines.
 4. See build-to line on page 11a.



- Side Setback**
1. No side setback is required when next to existing or designated Shopfront buildings, Townhouses or Civic buildings.
 2. A minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.



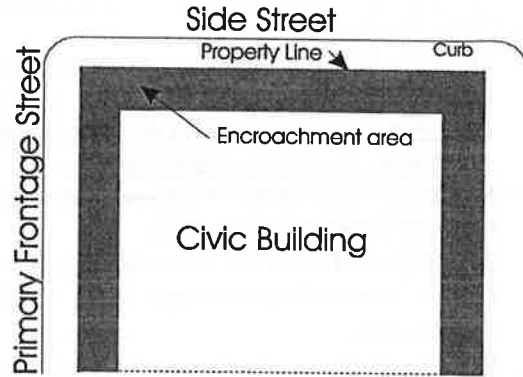
1

Urban Regulations For New Construction -Civic (Continued)

Encroachments Easements

1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line. Stoops and porches shall be a minimum of 42 in. behind the face of the curb to maintain access.
3. Permission is required from public entity responsible for right-of-way.
 1. ~~Balconies, stoops, open porches shall be permitted to encroach within the area shown here.~~
 2. ~~Walls shall be mandatory as shown here.~~

[replace existing graphic with graphic below]

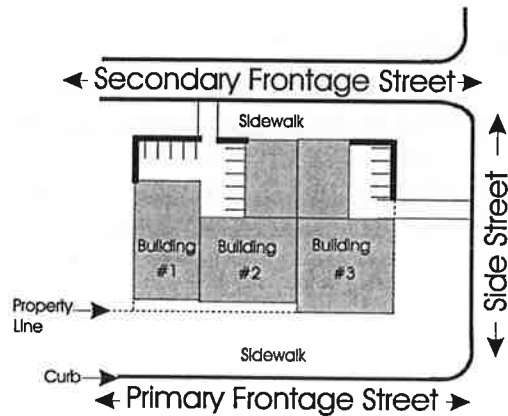


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Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner. On mid-block lots, driveways may occur on either frontage streets or rear streets.
 1. ~~Parking spaces may be provided within the areas shown here.~~
 2. ~~Trash containers shall be located within the parking area.~~

[replace existing graphic with graphic below]



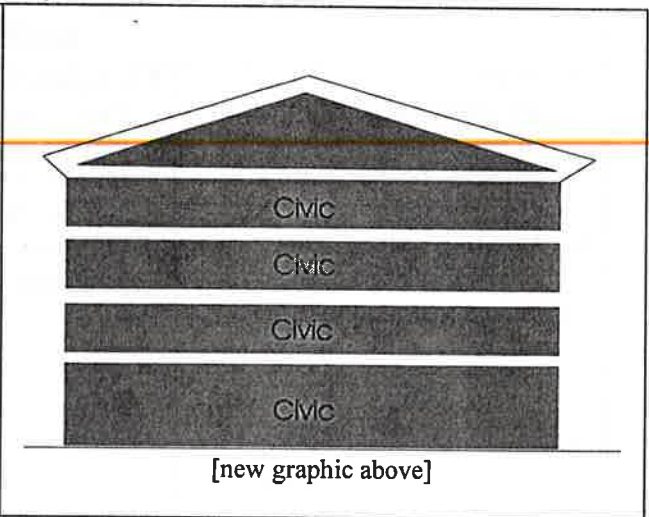
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Urban Regulations For New Construction - Civic (Continued)

Building Use

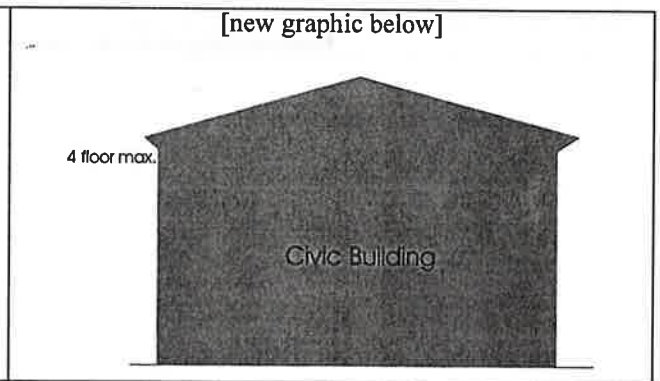
1. Uses permitted within the buildings shall be as shown here.
2. Definition: *Civic*—public or privately owned buildings of communal use such as places of religious assembly, libraries, post offices, schools, day care centers, clubhouses, and recreational facilities, and accessory residential uses customarily and clearly incidental.



2

Building Height

1. Specific heights shall be measured relative to the fronting street elevation and a specified point as shown here.
2. The height limits shall not apply to cupolas, church spires, radio masts, belfries, clock towers, scenery lofts or similar structures.

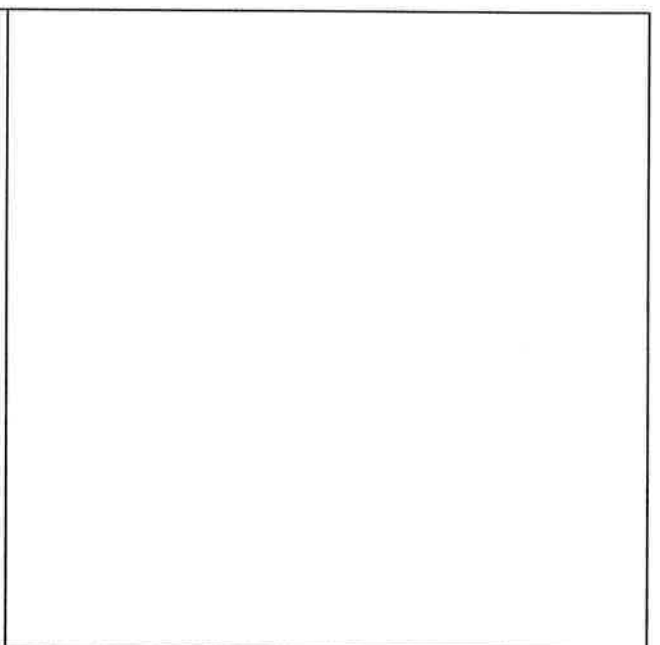


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4

Garden Walls & Fences

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary, the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
 - 30 in. min. height for all fences, garden walls & hedges
 - 42 in. max. along public rights-of-way, including alleys
 - 72 in. max. along all other property lines.



Architectural Regulations For New Construction

Building Walls		
Materials 1. Building walls shall be clad in lapped boards, wood shingles, boards, battens or <u>Hardie Plank</u> . 2. Building walls may be finished in brick, stucco, stone or cast stone.	Configurations 1. Two or more wall materials may be combined on one façade only horizontally (not side by side) or when used for balconies, porches and bay projections.	Techniques 1. Lapped board siding shall be individual pieces which provide not less than 5 in. nor more than 10 in. exposed face to the weather. Shingles shall not exceed 6 in. to the weather. Board and batten shall not exceed 10.5 in. and 1.5 in. running alternately. 2. Trim at corners and around openings shall be not less than 3.5 in.. 3. Brick walls shall not be laid in stack bond pattern.
The granting of variances shall be based on architectural merit.		

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1 Architectural Regulations For New Construction (Continued)


Building Elements		
Materials	Configurations	Techniques
<ol style="list-style-type: none"> 1. Balconies and porches shall be made of wood. 2. Columns, piers and arches may be clad with brick, stucco, wood, acrylic, concrete or metal. 3. Cantilevered balconies shall be a minimum of 7 ft. in depth and 9 ft. above grade. Balconies shall be 18 inches behind the face of the curb. 4. Railings and fences may be made of wood, brick or decorative metal excluding round industrial railing and chain link. 5. Garden walls may be siding matching the principal building or fieldstone, brick, or stucco or decorative metal excluding round industrial railing and chain link. 	<ol style="list-style-type: none"> 1. Round columns or pilasters, if provided, shall have proportions and moldings according to the latest edition of The American Vignolia by W.R. Ware. Square or rectangular columns or pilasters shall have a minimum dimension of 7.5 in. on each face and shall have trim or moldings at the base and capital. Pilasters may project less than 7.5 in. 2. Spindles and balusters on balconies, porches and decks shall not exceed 5 in. on center. 3. <u>Cantilevered balconies shall be a minimum of 7 feet in depth and 9 feet above grade. Balconies shall be 18 inches behind the face of the curb. Balconies shall not be cantilevered more than 3 ft.</u> 4. Exterior chimneys shall be finished in brick, stone, or stucco only. 5. Cantilevers, except as open balconies and porches, are not permitted unless supported by visible brackets. 6. The undercroft of decks and ventilated crawl space of buildings shall be enclosed by open patterned wood or brick. 7. Fences shall be in the form of pickets, lattice or boards and shall be made with no more than 3 in. gaps. 8. Garden walls shall be at least 50% solid and capped by a flat, round or pitched top overlapping no less than ¼ in. of the wall below. 9. Fences and Garden walls at street fronts shall be between 36 in. and 54 in. in height. 	<ol style="list-style-type: none"> 1. Arches shall be brick or stucco and shall be no less than 12 in. in depth. 2. Piers shall be no less than 12 in. by 12 in. 3. Wood deck and railing posts shall be no less than 5 in. x 5 in. and shall be chamfered at the corners. 4. Fabric signs may be internally lit only. 4. Pressure treated wood shall be painted/stained.

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1 Architectural Regulations For New Construction (Continued)

Roofs		
Materials	Configurations	Techniques
<ol style="list-style-type: none"> 1. Pitched roofs may be clad with wood, metal or asphalt shingles, clay or cement tile, or V-crimp or standing seam metal. 2. Gutters shall be made of painted galvanized steel, wood, copper, or painted aluminum. link. 	<ol style="list-style-type: none"> 1. Pincipal roofs of buildings shall be either hips, pitched between 8:12 and 12:12 or gables, pitched between 6:12 and 12:12. 2. Minor building elements may have gable roofs pitched between 4:12 and 12:12. 3. Minor building elements may have shed (monopitch) roofs only if the roof is attached to a higher building wall of a principal building. The pitch of the shed roof shall be between 4:12 and 12:12. 4. Flat roofs are permitted. Flat roofs shall be concealed by parapets along any street frontage or any side of the building that is visible from the street. Parapets shall be no less than 36 in. high and shall conceal any building systems placed on the roof. 5. Skylights shall be flat (non-bubble). 	<ol style="list-style-type: none"> 1. Overhanging eaves may have exposed rafters or be boxed.
The granting of variances shall be based on architectural merit.		

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Architectural Regulations For New Construction (Continued)		
Windows and Doors		
Materials	Configurations	Techniques
<ol style="list-style-type: none"> Exterior doors shall have a paneled appearance. Exterior doors with lights or panes of glass, such as French doors, are permitted. Windows and doors shall not be mil or clear finished aluminum. Windows and doors shall be glazed in clear glass with no more than 10% daylight reduction. Decorative stained glass shall be permitted. Shutters shall be wood or metal. Awnings shall be fabric. 	<ol style="list-style-type: none"> The total glazing area on the street façade of residential or office occupancies shall not exceed 30% of the façade surface. Civic Buildings are not subject to specific glazing requirements. Retail and office occupancies shall have a minimum of 50% glazing and a maximum of 90% glazing for the first floor. Percentages are based on the area of the façade surface covering the first floor only, including the front door. All other floors shall have a minimum of 10% glazing and a maximum of 50% glazing of the façade surface covering the upper floors. Windows and window subdivisions (lites) shall be rectangular with vertical proportion. Additionally, windows may be circular, rounded top or hexagonal. Garage doors shall be a maximum width of 9 ft. Shutters shall be sized to correspond with window width and height. Standard. The <i>main entrance</i> of buildings shall be on the first floor on the more primary street, even if the more primary street is outside of the overlay affected area. The building orientation standard applies if a portion of the wall along the more primary street outside of the overlay affected area is within 250 ft. of the overlay affected area. The <i>main entrance</i> shall not be oriented toward a parking lot. Direct access to the building shall be provided from the street (see figure below). Buildings on a corner lot or a lot fronting on two streets shall place the <i>main entrance</i> on the more primary street, even if the more primary street is outside of the overlay affected area (either street if they are similar) or at the corner of the intersection. This standard does not preclude additional rear or side entrances facing parking area. (Ord. 970452, 6/22/98) 	<ol style="list-style-type: none"> Rectangular windows shall be fixed, casement, single hung, or double hung. Circular and hexagonal windows may be fixed or pivot. Windows within the same opening but either above or below a principal window may be awning or hopper. Muntins, if provided, shall form true divided lites. All doors on street facades shall be hinged except garage doors. Sliding doors are permitted at other than street façade locations only.
 <p style="text-align: center;">Main Entrance Orientation</p>		
<p>The granting of variances shall be based on architectural merit.</p>		

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Landscape Regulations For New Construction & Renovation - Planting On Public Tracts	
Type	Instructions
<p>Neighborhood Square, Streets & Roads</p>	<ol style="list-style-type: none"> 1. Trees shall be used as a design element to provide visual identity to the neighborhood and reinforce street hierarchy. 2. Trees shall be used as a design element to provide visual identity to the neighborhood and reinforce street hierarchy. 3. Existing street trees shall be extended and reinforced. 4. There is to be only one predominate species (cultivar) of tree for each street. Trees are to be planted approximately 30 ft. on center although distances may vary, depending on factors such as the existing spacing, the mature size of the species, or considerations in framing the buildings, at the discretion of the Landscape Supervisor City Arborist. 5. Choice of trees with autumn foliage are encouraged although cultivation factors are paramount. 6. The minimum planted street height of trees is 16 ft., with a pruned clearance of 8 ft. on the street side. Exceptions may be made (by the Landscape Supervisor City Arborist) to take into account exceptional plant geometries and species, speed of growth, and non-littering cultivars. 7. Balled and burlapped trees are to be planted without soil amendments and staked accordingly to the best professional practice. Bare root material is encouraged. 8. The entire length of planting strips must be thoroughly uncompacted to the depth of 2 ft. and planted with grass which is maintained in a program that includes well rounded fertilizer. Loosely placed cobble or brick placed on a permeable membrane over uncompacted soil is permitted in high use areas. 9. Encouraging root growth underneath the sidewalk connecting with front lawns is essential. The mesh in the concrete in the sidewalk directly adjacent to the trees must be reinforced with steel and placed over a bed of gravel and coarse sand over an air permeable membrane. The soil underneath this special section of sidewalk must be uncompacted to a depth of 2 ft. and mixed with organic material. 10. See the Landscape Supervisor City Arborist for the full specifications.

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Landscape Regulations For New Construction & Renovation Planting On Public Tracts (Continued)

<p>Lanes</p>	<ol style="list-style-type: none"> 1. Lanes generally lack sidewalks, curb and gutter, and substantial non-porous pavement. Under the direction of the Landscape Supervisor City Arborist, planting should be in different groups (consisting of the same species) within a special landscape tree easement of up to 15 ft. on both sides of the lane. Planting the same species on both sides of the road (as if cutting through a long irregular grove) is recommended. 2. Pre-existing groups of trees should be reinforced or complemented. In shady situations, existing trees can be underplanted with the appropriate shade-tolerant or successional species. 3. Place autumn foliage trees in front of evergreens.
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Plant List

Landscape Regulations For New Construction & Renovation
Planting On Public Tracts and Private Property

<p>Large Trees Ulmus alata (Winged Elm) Yellow fall color Quercus shumardii (Shumard Oak) Scarlet fall color Magnolia grandiflora (Southern Magnolia) Evergreen Quercus virginiana (Live Oak) Evergreen Medium Trees Acer rubrum (Red Maple) Red fall color, red spring Flowers Ostrya virginiana (Ironwood) (Hop Hornbeam)* Yellow fall color Small Trees Prunus angustifolia or P. umbellata (Wild Plum) White flowers in early spring, sunny or part shade Osmanthus americanus (Wild Olive)* Evergreen, shady sites Lagerstroemia indica cv. Natchez (White Crape Myrtle) White flowers, yellow fall color</p>	<p>Hedge (Sun) Ilex vomitoria 'nana' (Dwarf Yaupon Holly) Especially cultivar 'Schillings Dwarf' Hedge (Shade) Rhododendron indicum Cultivars (vary in height) * Indicates availability may be limited.</p> <p>In the tree planting programs in College Park, the City of Gainesville Parks Division will use the trees suggested. As site plans for this area are reviewed, developers are encouraged to use the plants suggested by <u>the City</u>.</p> <p>Rev. by Ord. 960494, 8/25/97)</p>
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Landscape Regulations	
For New Construction & Renovation – Planting On Private Lots	
Type	Instructions
Tree	<ol style="list-style-type: none"> 1. The best neighborhoods are full of large, majestic trees with elegant foliage. In these neighborhoods, the ornamental trees relate directly to buildings and scale well with them, especially when used in small spaces, and flowering trees bloom through the neighborhood, providing a seasonal note. Private lot planting should extend both the existing neighborhood landscape and the proposed Public Tract Plant List to further the cohesiveness and feeling of the whole. In choosing species, do not hesitate to reproduce a neighbor's choice, as this adds to the effect of the whole street. 2. Existing trees shall not be removed except with permission of the Landscape Supervisor City Arborist. 3. There shall be at least one tree of the species listed below (on not less than 3 ½ in. caliper) planted in a front or rear yard for each 16 ft. of frontage. 4. The use of native species of trees, shrubs, vines, groundcovers and perennials is encouraged in order to make gardens compatible with the existing wildlife habitat and its regional context. 5. The use of fruit, berry and nut trees is encouraged in order to contribute to the existing wildlife habitat. Planting of fruit trees in 4 or greater (regularly spaced) is encouraged to create small orchards. Planting of nut trees in regular or irregularly spaced groups of 3 or more is encouraged.

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Landscape Regulations For New Construction & Renovation—Planting On Private Lots (Continued)	
Gardens	<ol style="list-style-type: none"> 1. Gardens are private and beyond the reach of the code but the recommendation as to the property edges is to avoid an over use of different shrubs (Vanburg's parcel of foolish plants). Beware of "foundation planting": hedges can be the beginnings of discipline in the front of the house either at its base or along the fence line. Low hedges can line the entrance as long as they do not edge it tightly. That way they can grow wide without crowding the path. Hedges constitute the most elegant landscaping framework for properties. They relate to the building and provide privacy. Formal hedges, if they are chosen with care as to density, eventual height and a degree of maintenance need not be a maintenance encumbrance. Looser, more informal flowering and fruiting hedges are also worth pursuing for the year yard. Plant many of the same. 2. All shrubs should be planted in groups of at least 3 (of like species) rather than as individuals. (Minimum spacing—2 ft. on center for hedges...up to 5 ft. on center maximum for open plantings. 3. Plants in immediate proximity to buildings should respect architectural lines and should be seen as extensions of the architectural walls, whereas plantings toward the backs of yards could take on more irregular and "naturalized" configurations and spacing. 4. Plantings toward the street should respect the integrity of the street. Planting should not obscure the buildings and should respect the integrity of the street. Plantings should not obscure the buildings and should respect views to and from streets, porches, walks and public parks. 5. In general gardening, all ferns and wildflowers (ferns in front of the house and wildflowers behind) are highly recommended. Much can be learned from imitating the natural areas in the vicinity. Mixed borders, i.e., those that have a framework of herbs mixed with selected flowers (always make flower groups larger than one thinks), are lower care than just flowers.

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Plant List
Landscape Regulations For New Construction & Renovation—Planting On Private Lots
See Plant List for Public Tracts

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