

TO: City Plan Board **Item Number: 2**

FROM: Planning & Development Services Department **DATE: September 22, 2016**


SUBJECT: Petition PB-16-94 SUP. eda engineers-surveyors-planners, inc., agent for Joyce and Jennifer, LLC, owner. Special use permit with development plan review to allow for the construction of a restaurant with a drive-through. Zoned: BUS (General business district). Located at 3208 SW Archer Road.

Recommendation

Staff recommends approval of Petition PB-16-94 SUP with the staff conditions stated in this report.



AERIAL PHOTOGRAPH

	Name	Petition Request	Petition Number
 No Scale	eda engineers-surveyors-planners, inc., agent for Joyce and Jennifer, LLC, owner	Special Use Permit with development plan review to construct a restaurant with a drive-through	PB-16-94 SUP

Description

This is a request for a Special Use Permit with associated development plan, to allow for the construction of a drive-through restaurant located at 3100 SW Archer Road. Freestanding drive-through facilities within the City’s Transportation Mobility Program Area (TMPA) are required to obtain Special Use Permit approval in accordance with Policies 10.4.5 and 10.4.4 of the City’s Transportation Mobility Element. The property has a General Business (BUS) zoning which allows eating places as a use by right. The property is also regulated by the Central Corridors Design Standards as applied through the Transportation Mobility Program Area (TMPA).

The site is located on the north side of Archer Road, east of SW 34th Street. The site is currently developed with the former Cody’s Roadhouse restaurant and its associated parking area. The site has primary street frontage along SW Archer Road with cross access to the adjacent AutoZone development to the west and small parking lot to the east. The proposed drive-through plans include the demolition of the existing 6,591 square foot sit down restaurant and associated parking and the construction of an approximately 3,886 square foot drive-through restaurant. The plans also include the provision of 44 vehicular parking spaces, 1 motorcycle space, and 4 bicycle spaces along with drainage, sidewalk, landscaping, and lighting improvements to the site. The proposed improvements will result in a .23-acre net reduction in impervious area from the current site conditions.

Basis for Recommendation

The staff recommendation is based on the general criteria for issuance of a SUP in the Land Development Code (Sec. 30-233) along with the criteria outlined in Policy 10.4.4. In order to approve this special use permit, the Plan Board must make findings that the design, location, and methods of operation for the proposed special use will conform with the specific standards outlined in the Comprehensive Plan.

General Special Use Permit Criteria

Section 30-233 requires that certain findings must be made in order to grant a special use permit, as follows:

- 1. **The proposed use and development complies with all required regulations and standards of Chapter 30 of the Land Development Code and all other applicable regulations.**

The conditions of the Technical Review Committee staff will ensure that this development conforms with the Land Development Code requirements.

- 2. **The proposed use and development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.**

The site for the proposed drive-through restaurant is currently developed as a sit down restaurant. The site is located adjacent to an existing auto parts store to the west, a

stormwater facility to the north, and a vacant parking lot to the east. The northeastern portion of the site abuts the Archer Woods apartment complex and is separated by a 6' wood privacy fence. Compatibility between the site and the adjacent residential area will be ensured through the retention of the existing fence and the provision of a 9' landscape buffer in accordance with City code.

3. Necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.

Electric, gas, water, and sanitary sewer are available to the site and have adequate capacity to service the proposed use.

4. The use and development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.

This development is located within Zone A of the Transportation Mobility Program Area and will comply with the requirements of Concurrency Management Element Policy 10.1.4.

5. Screening and buffers are proposed of such type, dimension and character that will improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.

The landscaping on this site has been designed in order to meet the standard requirements for site landscaping in the Land Development Code. The proposed vehicular use area is screened with a combination of shrubs and shade trees. The solid waste/recycling facilities will be screened will not be visible from the street. Mechanical equipment (such as transformers and generators) will be located away from the street and other mechanical equipment associated with the building will be located on the roof.

6. The use and development conforms to the general plans of the City as embodied in the Gainesville comprehensive plan.

The Commercial land use category identifies those areas most appropriate for large scale highway-oriented commercial uses. The site is directly adjacent to SW Archer Road and will facilitate the redevelopment of an existing site currently which has remained vacant for several years. This is supported by the Future Land Use Element Objective 2.1, which directs the City to encourage redevelopment to promote compact, vibrant urbanism, improve the condition of blighted areas, discourage urban sprawl, and foster compact development patterns that promote transportation choice.

7. The proposed use and development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of the Land Development Code as specified in Article III, Division 2.

The development is located within Zone A of the Transportation Mobility Program Area. The stormwater management level of service has been demonstrated through the development plan review process. All adopted level of service standards within the Comprehensive Plan are shown to be met and the proposed development may be granted a Certificate of Preliminary and Final Concurrency.

Transportation Mobility Element Policy 10.4.4

In addition to the review criteria set in the Land Development Code for Special Use Permits, the approval of a drive-through facility shall be based on the following criteria:

a. maximization of pedestrian and bicycle safety and convenience;

The proposed development includes the provision of sidewalk connections to the south face of the building from SW Archer Road and the east face of the building from the parking area. Four bicycle spaces are provided in accordance with the City's parking provisions near the building entrance. The applicant is proposing to retain the existing 8' sidewalk along Archer Road in its current configuration through a waiver request. As previously stated, the site is regulated by the Central Corridors SAP which stipulates a 10' sidewalk along all arterial roadways. The applicant's request to reduce the required sidewalk by 2' is in order to preserve the existing street trees along Archer Road.

b. adequate queuing space for vehicles such that there is no back-up of traffic onto adjacent roadways;

The proposed plans provide adequate queuing space for vehicles within the project site.

c. provision of a by-pass lane or sufficient driveway area around the drive-through lanes to assist internal vehicular circulation;

The plans include the provision of a by-pass lane to assist with internal circulation and access.

d. minimization of the visual impacts of the drive-through lanes on street frontage areas;

The proposed drive-through lanes are located to the side and rear of the building in order to reduce the visual impacts onto the street frontage.

e. minimization of the total number of drive-through lanes based on site conditions and the operating conditions of the impacted roadway segments;

The development plans do not include multiple drive-through lanes.

f. minimization of the number of access points to roadways;

Cross access is provided to the adjacent properties to the west and east thereby limiting the access points from the adjacent roadways.

g. design of access points and ingress/egress directional flows to minimize impacts on the roadway and non-motorized traffic;

As indicated, the project will utilize the existing access point on Archer Road, thus no additional access points are proposed over what is currently provided. The interior of the site includes clearly marked crosswalks to facilitate the safe flow of pedestrians to the building from the parking area and adjacent public sidewalk.

h. design of internal pedestrian access and safety as related to the position of the drive-through lane(s); and

As previously stated, the proposed crosswalks will convey pedestrians to the front entrances and thereby ensure pedestrian access and minimize potential conflict points with vehicular traffic on the site.

i. meeting any additional design criteria established in the Land Development Code.

The conditions of the Technical Review Committee staff will ensure that this development conforms with the Land Development Code requirements.

Development Plan Review

The site is zoned General Business (BUS) district. The proposed project meets the applicable dimensional and general requirements within the BUS zoning district. The property is also regulated by the Central Corridors Design Standards as applied through the Transportation Mobility Program Area (TMPA).

Landscaping:

The project proposes the removal of 11 existing trees and installation of a combination of 21 shade and understory trees distributed along the street frontage, parking lot areas, and the residential buffer along the site's northeastern boundary. The landscape plans also include an assortment of shrubs, grasses, and groundcovers. Parking lot screening is also provided in accordance with the Land Development Code. There are 6 existing trees consisting of a combination of magnolias, shumard oaks, and Chinese elms along SW Archer Road that are proposed to remain. The applicant has requested a waiver from compliance along SW Archer Road to leave the existing 8' sidewalk as shown. Expanding the existing sidewalk 2' additional feet to meet code would result in additional tree removals along the site's frontage.

Build-to line:

The Central Corridor SAP states that: In most instances, the *build-to line* shall be 80 feet from the curb or edge of pavement for at least 70 percent of the building *facade*. Factors to be considered for variations to this *build-to line* shall be as follows:

- When considering a closer *build-to line*, the building *facade* shall, in most instances, be no closer than 14 feet from the curb or edge of pavement along an arterial, 12 feet along a collector, and 11 feet along a local street, in order to leave space for adequate sidewalks, required utility separations and street trees.
- The appropriate reviewing board, city manager or designee can approve a *facade* closer to the curb or edge of pavement than the previously listed distances so that a consistent *street edge of adjacent* buildings can be maintained.

The applicant is requesting a 6.15' reduction to the 80' required build to line. The proposed 73.85' build to line will provide adequate space for street trees and utility separations. The applicant's request to reduce the sidewalk width to 8' is related to existing street tree retention and not to the requested build to line reduction.

Lighting:

Parking lot and building lighting has been provided as part of the development plan. Parking lot lighting will be provided via pole mounted LED full-cut off luminaires. Lighting for building entrances and walkways will be lit with a series of full-cut off LED wall sconces.

Parking:

The proposed development is subject to the Central Corridors requirements for parking. As a result, the site is not subject to the minimum parking amounts contained within Sec. 30-332. - *Required number of parking spaces* of the City's Land Development Code. The SAP also restricts the location of parking lots, except a double-loaded row of parking, to the rear or interior side or both, of the building. The proposed plans include one single-loaded row of parking between the front facade and the primary abutting street (SW Archer Road) and as such are in compliance with the SAP requirements.

Sidewalks:

The development proposes the retention of the existing 8' sidewalk along the site's SW Archer Road frontage. The plans include a proposed public sidewalk connection and crosswalk located at the building's northeastern corner. Another crosswalk connects the western parking area to the western face of the building.

Special Use Permit Conditions

Condition 1. All of the conditions of the Technical Review Committee (Exhibit B) shall be met prior to final development plan approval.

Respectfully submitted,

Andrew Persons
Interim Principal Planner

A handwritten signature in black ink, appearing to read 'Andrew Persons', with a long horizontal flourish extending to the right.

List of Exhibits

- Exhibit A Application, Waiver request letter, and Neighborhood Workshop Information**
- Exhibit B Technical Review Committee Conditions**
- Exhibit C Development Plans and Elevations**
- Exhibit D Comprehensive Plan Goals, Objectives and Policies**

**DEVELOPMENT PLAN REVIEW APPLICATION
PLANNING & DEVELOPMENT SERVICES**

OFFICE USE ONLY

Petition No. _____ Fee: \$ _____
 1st Step Mtg Date: _____ EZ Fee: \$ _____

Account No. 001-660-6680-3401 []
 Account No. 001-660-6680-1124 (Enterprise Zone) []
 Account No. 001-660-6680-1125 (Enterprise Zone Credit []

LEVEL OF REVIEW (check one)

MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER
	X			

Project Name: Bojangles' on Archer Road

Property Address: 3100 SW Archer Road

Tax Parcel #(s): 06783-000-000 and 06785-002-001

Site Area (acres): 4.33

CHECK ALL PROPOSED USES

<input type="checkbox"/> Residential	Density	<input checked="" type="checkbox"/> Non-residential
Multi-family	Units/acre:	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office
Total units:	Total bedrooms:	<input type="checkbox"/> Industrial <input type="checkbox"/> Other
		Gross floor area: 3,886 SF

Owner(s) of Record (please print)	
Name: <u>Joyce and Jennifer, LLC</u>	
Address: <u>2923 SW 40th Avenue</u> <u>Gainesville, FL 32608</u>	
Phone: _____	Fax: _____
(If additional owners, attach information)	

Applicant(s)/Agent(s), if different	
Name: <u>eda engineers, surveyors-planners, inc.</u>	
Address: <u>2404 NW 43th Street</u> <u>Gainesville, FL 32606</u>	
Phone: <u>352-373-3541</u>	Fax: _____
(If additional agents, attach information)	

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.

Signature of owner: Please see Affidavit Date: _____

I certify that all of the information contained in this application form is accurate and up-to-date.

Signature of Applicant: [Signature] Date: 6/29/16

STATE OF FLORIDA, COUNTY OF _____
 Sworn to and subscribed before me this _____ day of _____ 20____

Signature – Notary Public: _____

Personally Known _____ OR Produced Identification _____

Certified Cashier's Receipt:



eda

engineers • surveyors • planners, inc.

Special Use Permit Application



Project Request: A Special Use Permit application to permit a drive through facility per Transportation Mobility Element Policy 10.4.5.

Project Location: 3100 SW Archer Road
(tax parcels 06783-000-000 and a portion of 06785-002-001)

Project Owner: Joyce and Jennifer, LLC

Submittal Date: July 5, 2016

Prepared By: eda engineers – surveyors – planners, inc.

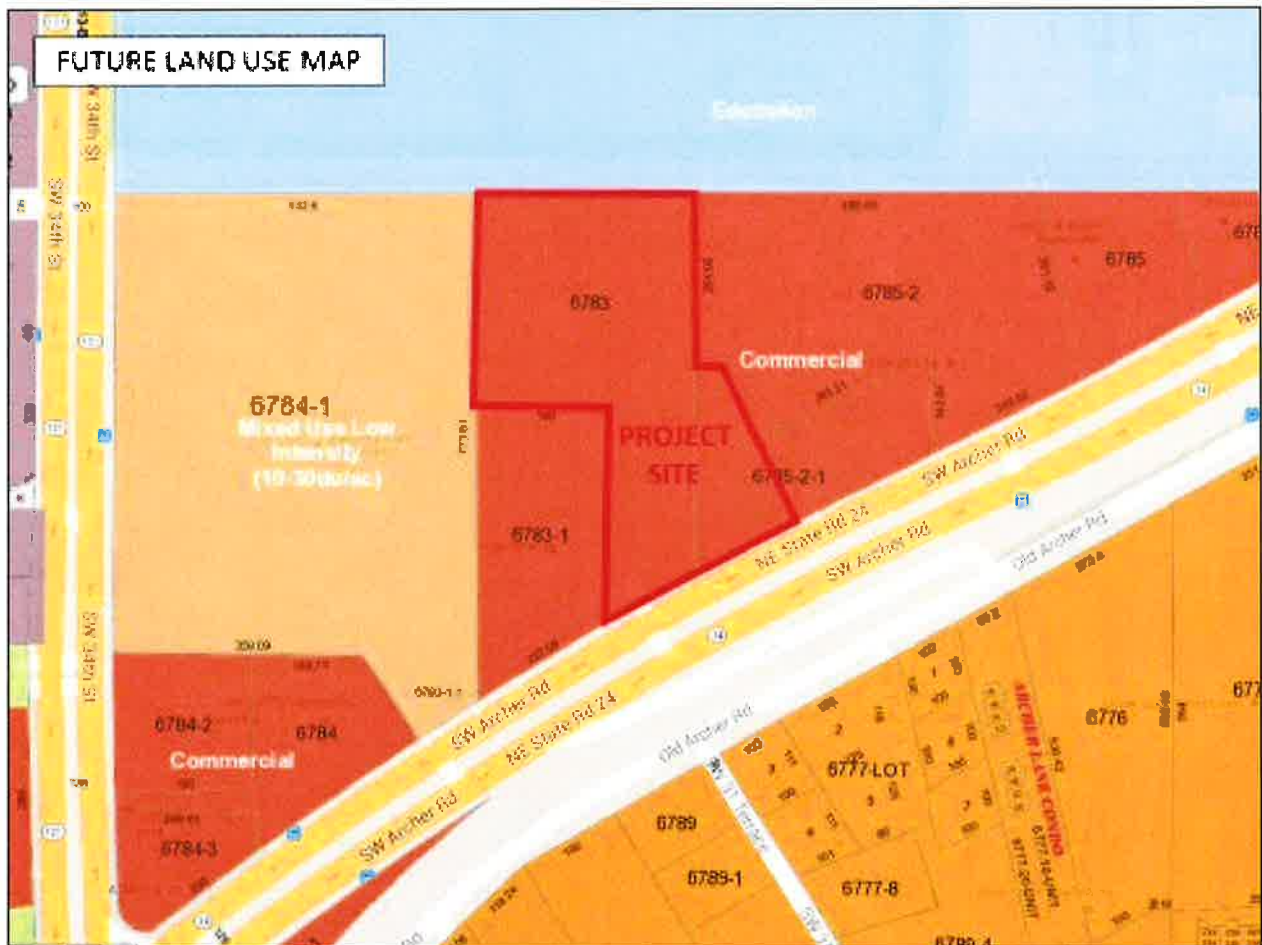
Project Background & Request

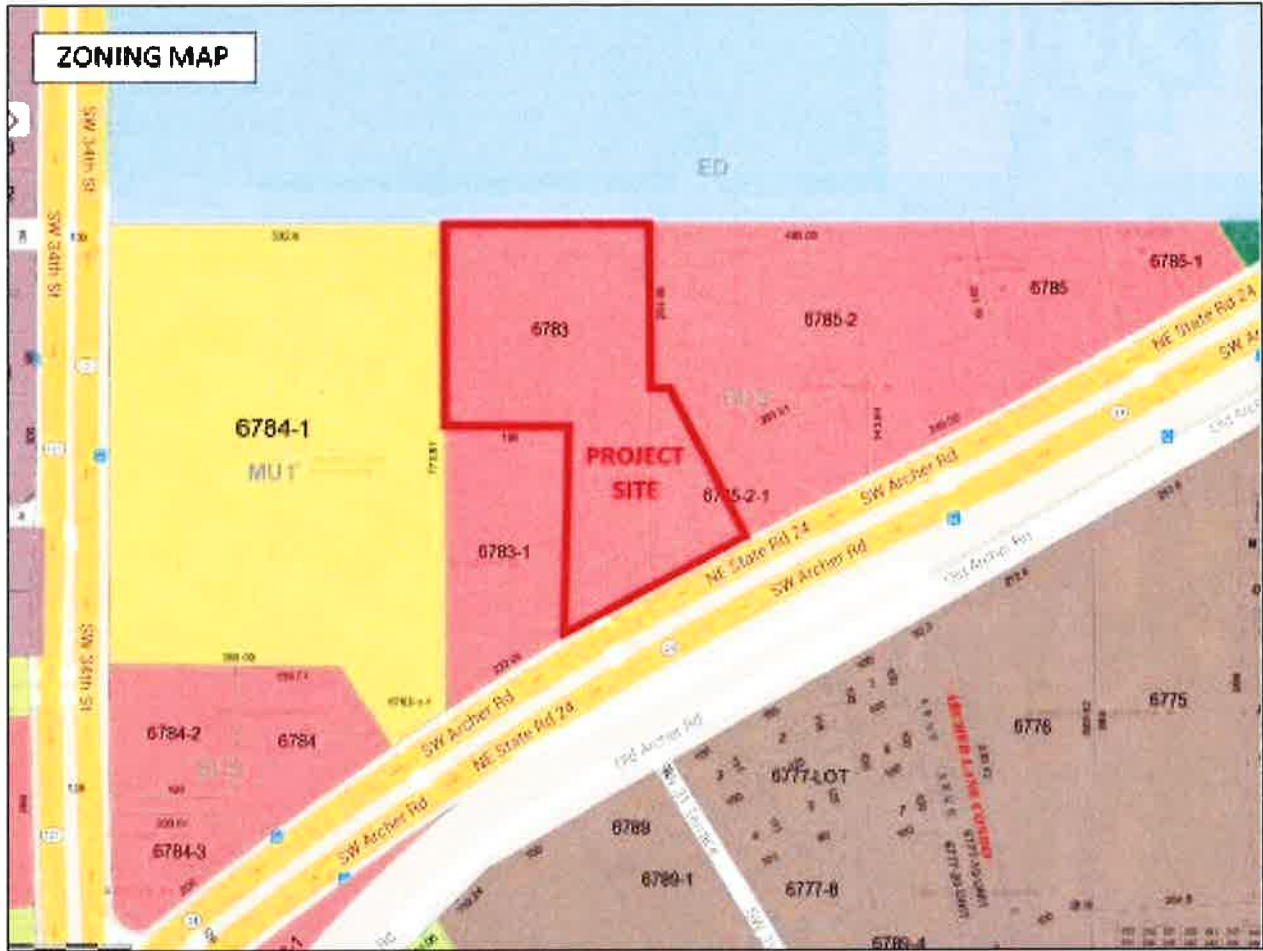
The owners of the subject property wish to construct a restaurant with a drive through facility with associated infrastructure improvements on the property. The project site is located on approximately 4.33 (+/-) acres and is vacant land surrounded by a variety of commercial and residential uses on the Archer Road corridor.

A Site Plan is required to permit the proposed site improvements, including a new building, and modifications to the parking lot. In addition, a Special Use Permit (SUP) application is required because the City of Gainesville Comprehensive Plan, Transportation Mobility Element Policy 10.4.5 requires that drive through facilities receive Special Use Permit approval from the City Plan Board. The proposed Site Plan / Special Use Permit is designed in compliance with the applicable criteria outlined in the Comprehensive Plan and LDC as described in this report and application.

Future Land Use Designation and Zoning District

The subject property currently has a Commercial Future Land Use Designation a BUS zoning district, as shown on the following maps:





Surrounding Property Characteristics

	Future Land Use	Zoning	Existing Use
North	Education	ED	Restaurant/Archer Road
South	Archer Road MUL RM	MU-1 RMF-8	Vacant Commercial Multi-family Residential
East	Commercial	BUS	Multi-family Residential Vacant Commercial
West	Commercial MUL	BUS MU-1	Commercial Multi-family Residential

Consistency with Comprehensive Plan

The subject property has Commercial Future Land Use Designation. Policy 4.1.1 of the Future Land Use Element defines the Commercial Future Land Use category as:

Commercial

The Commercial land use category identifies those areas most appropriate for large scale highway-oriented commercial uses. Land development regulations shall determine the appropriate scale of uses. This category is not appropriate for neighborhood centers. Intensity will be controlled by adopting height limits of 5 stories or less, requiring buildings to face the street, and modest build-to lines instead of a maximum floor area ratio; however, height may be increased to a maximum of 8 stories by special use permit.

As stated in the policy above, the Commercial future land use designation allows a supports highway oriented commercial uses, such as the proposed restaurant with drive-through along State Road 24 (Archer Road).

In addition, the subject property has a BUS zoning designation that implement the Commercial Future Land Use designation. The Gainesville Land Development Code, Section 30-46 includes a table which identifies the corresponding/implementing zoning district for each future land use category. This table indicates that the corresponding zoning districts for the Commercial future land use category are BA, BT, BUS, W, PD, CON & PS.

Consistency with Land Development Code

As stated, the subject property has a BUS zoning district designation. Section 30-61(a) describes the purpose of the BUS zoning district as:

The general business district is established to provide for a wide range of commercial, business and office uses located along major transportation arteries and frontage roads. The district shall be located so as to promote compatibility with residential uses while maintaining flexibility for commercial uses.

Eating places are specifically listed as a permitted uses by Special Use Permit in Sec. 30-61(c) of the Land Development Code. The restaurant (eating place) with drive through facility will provide services within close proximity of residential areas and other commercial development on the Archer Road corridor. This site plan includes all required buffers and setbacks to respect the residential property bordering the site.

Special Use Permit Criteria

The proposed restaurant (eating place) with drive through facility is consistent with the Comprehensive Plan and LDC criteria outlined below. The Comp Plan / Code citations are cited below, followed by the applicant's response to each requirement:

Comprehensive Plan

Policy 10.4.5 Unless otherwise prohibited or regulated by a special area plan, the development of new free-standing drive-through facilities or expansion of or development activity at existing free-standing drive-through facilities not meeting the provisions of

Policy 10.4.6 shall be required to obtain a Special Use Permit. These drive-through facilities shall meet the Special Use Permit criteria in the Land Development Code and review criteria shown in Policy 10.4.4. In addition, drive-through facilities not developed under the provisions of Policy 10.4.6 or 10.4.7 shall also meet the following standards:

Response: So noted. The SUP application has been prepared in compliance with these Comprehensive Plan regulations.

- a. *There shall be a minimum distance of 400 feet between the driveways of sites with free-standing drive-through facilities on roadways operating at 85% or more of capacity. Roadway capacity shall be measured using the latest version of Art-Plan or a method deemed acceptable by the Technical Advisory Committee Subcommittee of the Metropolitan Transportation Planning Organization. Available capacity shall include consideration of reserved trips for previously approved developments and the impacts of the proposed development. The 400 feet distance requirement shall not apply if any of the following criteria are met:*
 1. *Joint driveway access or common access is provided between the sites with free-standing drive-through facilities;*
 2. *Cross access is provided with an adjoining property;*
 3. *A public or private road intervenes between the two sites; or*
 4. *The development provides a functional design of such high quality that the pedestrian/sidewalk system and on-site/off-site vehicular circulation are not compromised by the drive-through facility. This determination shall be made as part of the Special Use Permit and development plan review process and shall be based on staff and/or board review and approval.*

Response: The 400 foot distance requirement does not apply because the proposed facility provides cross access with adjoining properties.

Policy 10.4.4 Drive-through facilities shall be defined to include banking facilities, payment windows, restaurant, food and/or beverage sales, dry cleaning, express mail services, and other services that are extended mechanically or personally to customers who do not exit their vehicles. The following uses shall not be considered drive-throughs: auto fuel pumps and depositories that involve no immediate exchange or dispersal to the customer, such as mail boxes, library book depositories, and recycling facilities.

In addition to the review criteria set in the Land Development Code for Special Use Permits, the approval of a drive-through facility shall be based on the following criteria:

- a. *maximization of pedestrian and bicycle safety and convenience;*

Response: The site design includes pedestrian amenities, including sidewalks along Archer Road and internal crosswalks along the front and one side of the building to provide safe crossing points for pedestrians from the restaurant to the street.

- b. adequate queuing space for vehicles such that there is no back-up of traffic onto adjacent roadways;*

Response: The site design has been configured to exceed the code requirement for vehicular queuing.

- c. provision of a by-pass lane or sufficient driveway area around the drive-through lanes to assist internal vehicular circulation;*

Response: A by-pass lane has been included in the site design.

- d. minimization of the visual impacts of the drive-through lanes on street frontage areas;*

Response: The site design proposes for the vehicular queuing and drive through window to be located to the side and rear of building, thus minimizing any visual impacts along street frontage areas.

- e. minimization of the total number of drive-through lanes based on site conditions and the operating conditions of the impacted roadway segments;*

Response: The site design proposes only one drive through lane and is oriented to the side and rear of the building in order to eliminate any adverse vehicular circulation patterns on-site.

- f. minimization of the number of access points to roadways;*

Response: The project proposes a redevelopment of an existing commercial site and will utilize the existing access points to Archer Road, thus no additional access points are proposed over what is currently provided.

- g. design of access points and ingress/egress directional flows to minimize impacts on the roadway and non-motorized traffic;*

Response: As prior mentioned, the project will utilize the existing access points to Archer Road, thus no additional access points are proposed over what is currently provided. The interior of the site includes a clear and safe circulation pattern for vehicles, thus allowing for safe use of the site by pedestrians.

- h. design of internal pedestrian access and safety as related to the position of the drive-through lane(s); and*

Response: Only one drive through lane is provided and it is located on the side of the building with queuing located to the side and rear of the building. Crosswalks are also proposed along the front and one side of the building to provide safe crossing points for pedestrians from the restaurant to the street.

- i. meeting any additional design criteria established in the Land Development Code.*

Response: The SUP application has been prepared in compliance with the applicable requirements of the LDC.

Land Development Code

Sec. 30-233 – Criteria for issuance

No special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

- (1) That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.*

Response: As indicated in this Report and associated Site Plan, the proposed restaurant is consistent with the underlying Commercial future land use designation and BUS zoning district and complies with all associated land development regulations. In addition, the project is located in an area with adequate urban public facilities and services to serve the proposed development.

- (2) That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.*

Response: The subject property is in a highly commercialized area along a major arterial state road. The project proposes the redevelopment of an existing commercial site with a similar commercial use. The Site Plan is compatible with the existing land use pattern of adjacent properties, including the aforementioned multi-family and commercial developments.

- (3) That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.*

Response: Electric, gas, water and sanitary sewer are available to serve the site at an adequate level of service.

- (4) That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.*

Response: The proposed project will not result in an increased impact that will exceed the approved level of service standards for the local road network. The project is located in Zone A of the Transportation Mobility Program Area (TMPA), which encourages infill development.

(5) *That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.*

Response: As part of the Site Plan submittal, a landscape plan prepared by a registered Landscape Architect is included to demonstrate code compliance for on-site landscaping. Buffers are also included between the proposed use and abutting residential areas.

(6) *That the use or development conforms with the general plans of the city as embodied in the city comprehensive plan.*

Response: The Commercial Future Land Use category identifies those areas within the City that allow are suitable for highway commercial uses. The proposed commercial redevelopment will integrate into the existing development pattern of the area in a compatible and complementary manner.

(7) *That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.*

Response: All required public facilities are readily available to serve the site and the proposed development associated with the proposed Special Use Permit application will not result in an increase beyond the approved level of service standards for the applicable public facilities serving the site and therefore, is in conformance with the level of service standards and concurrency management requirements in the Comprehensive Plan.



TO: Andrew Persons, AICP

FROM: Sergio Reyes, PE

DATE: August 16, 2016

RE: Waiver Requests for Bojangles on Archer Road (PB-16-94 SUP)

The proposed Bojangles at 3100 SW Archer Road is regulated by the Central Corridors Design Standards as applied through the Transportation Mobility Program Area (TMPA). The applicant is requesting two Board waivers from the Central Corridors Design Standards. These are modifications to the build-to line and sidewalk width.

The applicant is requesting a waiver from the 80-foot build-to line (LDC Appendix A., Sec. 5, Exhibit B. (k)(2)) to place the building closer to the curb. The reduction is **from 80 feet to approximately 73.85 feet** from back of curb. This reduction in the build-to line still maintains adequate space for street trees, the existing public sidewalk, and existing utilities along the Archer Road ROW. The area in front of the building includes only a single-loaded row of parking.

The applicant is also requesting a waiver from the sidewalk width requirement (LDC Appendix A., Sec. 5, Exhibit B (M) (2)). The stated sidewalk width along an arterial is 10 feet. The applicant is requesting a **reduction from 10 feet to 8 feet** because there is an existing sidewalk pattern in FDOT ROW along Archer Road. This reduction also preserves existing street trees along the frontage and accounts for existing utilities along the street frontage. This reduction is consistent with the recent approval of Petition AD-15-40 SPA (final approval August 2015) for the AutoZone development where the sidewalk width was maintained in the existing pattern.

If there are any questions about the justifications listed above for the requested modifications, please contact eda at 352-373-3541.



engineers • surveyors • planners, inc.

Memorandum

To: Ron Menjivar DATE: 5/4/2016
FROM: Brenna French
SUBJECT: Neighborhood Meeting – Bojangles – Archer Road

PUBLIC NOTICE

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed drive-thru restaurant and retail building on tax parcel numbers 06783-000-000 and 06785-002-001 located at 3100 SW Archer Road. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

The meeting will be held on Tuesday, May 24, 2016 at 6:00 p.m. at the Country Inn & Suites at 4015 SW 43rd Street, Gainesville, Florida.



Contact: Sergio Reyes, P.E.
eda engineers – surveyors – planners, inc.
(352) 373-3541

PUBLIC NOTICE

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed drive-thru restaurant and retail building on tax parcel numbers 06783-000-000 and 06785-002-001 located at 3100 SW Archer Road. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

The meeting will be held on Tuesday, May 24, 2016 at 6:00 p.m. at the Country Inn & Suites at 4015 SW 43rd Street, Gainesville, Florida.

Contact: Sergio Reyes, P.E.

eda engineers - surveyors-planners, inc.
(352) 373-3541



ACHEIVERS

Theater founder honored for work with children

By Aida Mallard
Correspondent

Florida Secretary of State Ken Detzner presented Rhonda Wilson with a Diversity and Inclusion Award from the state of Florida Department of Cultural Affairs in recognition of her work with children and also community theater.

The award was presented at the Convening Cultures Conference held recently at the Broward Performing Arts Center in Fort Lauderdale.

Wilson founded the Star Center Children's Theatre 15 years ago with a commitment to provide children with exposure to the performing arts — with no funding, but plenty of hopes, dreams and determination — to give youth who may not otherwise have had the opportunity to experience theater a chance to take acting, singing and instrumental classes at little or no cost.

Her other awards include the Allstate National Champion for Good Award, the Spirit of Gainesville Award, and the Distinguished Career Award presented by the Florida Theatre Conference for her work with children and community theatre.

Wilson said community theater provides benefits that extend beyond the arts.

"Theater not only provides performing skills, but life skills," she said. "My mission is to bring unity to people who would otherwise be divided. Theater provides that opportunity."

The Gainesville Woman's Club contributed \$15,000 to help fund a "Learning Scape" at the Duval Early Learning Academy. Pictured are, from left, Catherine Barnes, executive director with Alachua County Public Schools; Jo Moreta, president of the Woman's Club; Margaret Gilliland, chair of the Projects for Education and a Better Community initiative; and School Board member Leannetta McNealy.

"We recognize this project as one of the key components in preparing young children for success in their kindergarten through 12th-grade years," said Margaret Gilliland, project organizer of the Gainesville Woman's Club.

The project was born out of Alachua County Public Schools Superintendent Dr. Owen Roberts sharing with members of the club his interest in creating an outdoor learning area that would incorporate both man-made and natural elements. Club members embraced the project and raised funds through two dinner theater-style performances of a 1950s-era play featuring club members and local celebrities.

Originally founded in



Florida Secretary of State Ken Detzner presents Rhonda Wilson, founder of The Actors' Warehouse, with the Florida Diversity and Inclusion Award for her work with children and community theater. SUBMITTED PHOTOS



The Gainesville Woman's Club contributed \$15,000 to help fund a "Learning Scape" at the Duval Early Learning Academy. Pictured are, from left, Catherine Barnes, executive director with Alachua County Public Schools; Jo Moreta, president of the Woman's Club; Margaret Gilliland, chair of the Projects for Education and a Better Community initiative; and School Board member Leannetta McNealy.

1995 as the Twentieth Century Club, the Gainesville Woman's Club's civic and community contributions have spanned more than 100 years.

Florida Museum of Natural History curators emerita Kathleen Deagan and Jerald Milanich were recently honored with 2015 lifetime achievement awards from the Southeastern Archaeological Conference for their many years of research on early American and Caribbean societies.

The awards recognize members who have made important contributions to archaeology and the Southeastern Archaeological Conference, a professional conference that gathers annually in the fall to promote growth in the field and educate the public on advancements in archaeology.

Deagan, the Florida Museum distinguished

curator emerita of historical archaeology, has discovered multiple archaeological sites in the St. Augustine area and uncovered new information about the role women played in early Spanish American and Caribbean societies.

As archaeology curator at the Florida Museum for 35 years, Milanich explored many sites throughout Florida, uncovering ancient artifacts that detail the everyday lives and societies of some of North America's earliest human inhabitants, including the Paleoindians of 14,000 years ago.

Gainesville visual artist Alfred Phillips won Best of Show and a Merit Award in the annual "Spring Into Art" exhibit held at Turner Arts Center in Valdosta, Georgia. The exhibition draws an international following.

Phillips' work can be seen locally at the new Gainesville Fine Arts Gallery at 1314 S. Main St.

Drug Companies Nervous as Doctors and Patients Demand the AloeCure®

Big Pharma execs stand to lose billions as doctors and their patients abandon drugs like Nexium® and Prilosec®. Drug free remedy could put Big Pharma out of the digestion business.



Drug companies are understandably upset since AloeCure® delivers quicker and better health benefits.

By David Waxman
Seattle Washington

Drug company execs are nervous. That's because the greatest health advance in decades has hit the streets. And analysts expect it to put a huge crimp in "Big Pharma" profits.

So what's all the fuss about? It's about a new ingredient that's changing the lives of people who use it. Some call it "the greatest discovery since penicillin!" And others call it "a miracle!"

The name of the product is the AloeCure®. It's not a drug. It's something completely different. And the price is available to anyone who wants it, at a reasonable price. But demands may force future prices to rise.

TOP DOC WARNS: DIGESTION DRUGS CAN CRIPPLE YOU!

Company spokesperson, Dr. Liza Leal, a leading integrative health specialist out of Texas recommends AloeCure before she decides to prescribe any digestion drug. Especially after the FDA's stern warning about long-term use of drugs classified as proton pump inhibitors like Prilosec®, Nexium® and Prevacid®. In a nutshell, the FDA statement warned people should avoid taking these digestion drugs for longer than three 14-day treatment periods because there is an increased risk of bone fractures. Many people take them daily and for decades.

Dr. Leal should know. Many patients come to her with bone and joint complaints and she does everything she can to help them. One way to digestions suffers to help avoid possible risk of fragile joints and bone problems caused by overuse of digestion drugs is to take the AloeCure®.

AloeCure® Users Are Thrilled With The Results.

"The secret to AloeCure's "health adjusting" formula is scientifically tested Acemannan, a polysaccharide extracted from Aloe Vera. But not the same Aloe vera that must used to apply to your cuts, scrapes and burns. This is a perfect strain of Aloe that is organically grown in special Asian soil under very strict conditions. AloeCure is so powerful it begins to benefit your health the instant you take it. It soothes intestinal discomfort and you can avoid the possibility of bone and health damage caused by overuse of digestion drugs. We all know how well Aloe works externally on cuts, scrapes and burns. But did you know Acemannan has many of other health benefits..."

RAPID ACID AND HEARTBURN FIX

Aloe has proved to have an astonishing effect on users who suffer with digestion problems like bouts of acid reflux, heartburn, cramping, gas and constipation because it acts as a natural acid buffer and soothes the digestive system. But new studies prove it does a whole lot more.

HELPS CALM DOWN PAINFUL INFLAMMATION

According to a leading Aloe research scientist, the amazing Aloe plant has a powerful anti-inflammatory effect. Aloe Vera calms the fire in your belly like it does the sunburn on your skin and in many ways helps heal damaged cells. Inflammation is your body's first reaction to damage. So whether it's damage that is physical, bacterial, chemical or autoimmune, the natural plant helps soothe inflammation — rapidly reducing redness, heat and swelling.

SIDE STEP HEART CONCERNS

So you've been taking proton pump inhibitors (PPI's) for years and you feel just fine. In June of 2015 a major study shows that chronic PPI use increases the risk of heart attack in general population.

Debilitating brain disorders are on the rise. Cutting edge research shows that the health of your brain is closely linked by the state of healthy bacteria that comes from your gut. The things happening in your belly today might be deciding your risk to any number of brain conditions. Studies have been ongoing since the 1990's. New studies suggest that taking PPI's at both low and high dosage disrupts a healthy human gut.

DOCTOR'S EVERYWHERE ARE EXCITED ABOUT THE ALOECURE®

"My first experience recommending AloeCure was of a 40 year patient who developed a stomach ulcer after 10 years. I suggested that he take AloeCure and the worst was over within 3 days.

"To my colleagues, if you're not using AloeCure, you really need to. To all patients, there is powerful help available. Find a practitioner who knows of AloeCure.

Dr. Rick Marshall, Port Angeles, WA

SLEEP LIKE A BABY

A night without sleep really damages your body. And continued loss sleep can lead to all sorts of health problems, but what you may not realize is the reason why you're not sleeping. It sometimes call it "Just Reflux." A low-intensity form of acid discomfort that quietly keeps you awake in the background. AloeCure helps digestion so you may find yourself sleeping through the night.

CELEBRITY HAIR, SKIN & NAILS

One of the Best-Kept Secrets in Hollywood. Certain antioxidants may greatly reduce your body's ability to break down and absorb calcium. Aloe delivers calcium as it aids in balancing your stomach acidity. The result? Thicker, healthier looking hair... more youthful looking skin... And nails.

Doctors call it "The greatest health discovery in decades!"

OPTIMIZE YOUR LIVER

News outlets are reporting cases of Liver Failure are linked to PPI's. Your liver cleans out your blood and neutralizes its toxins. Without it, your body would be overrun with deadly toxins. Aloe helps your liver function properly. Studies suggest, if you started taking Aloe today, you'd see a big difference in the way you feel.

SPECIAL OPPORTUNITY FOR READERS OF THIS PUBLICATION

With this introductory offer, the makers of the AloeCure are excited to offer you a risk free supply. Readers of this paper are prequalified for up to 3 FREE months of product with their order. Take advantage of this special opportunity to try AloeCure in your own home and find out how to test AloeCure for a full 90 days. But that's not all... If you don't see remarkable changes in your digestion, your body, and your overall health... Simply return it for a full refund (less shipping and handling (when applicable)). Just call 1-877-376-2618 to take advantage of this free offer before it's too late. This offer is limited. Call now.

WEATHER

Highs in upper 80s will return this week

By Christopher Baldwin
Staff writer

A hot week is in store for Gainesville with sunny weather and daily highs ranging in the upper 80s and lower 90s, according to National Weather Service. Lows, meanwhile, are expected to hover in the mid- to high 60s, and some rain is expected on Friday and perhaps Thursday.

Today is forecast to be sunny with a high near 85 degrees, while this evening should be mostly clear with a low around 65 degrees.

Tuesday is expected to be mostly sunny with a high near 86, while Tuesday night should be mostly cloudy with a low around 67.

Wednesday is forecast to be partly sunny with a high near 89, while Wednesday evening is expected to be partly cloudy with a low

around 67.

A 20 percent chance of showers and thunderstorms is expected on Thursday, particularly after 9 a.m. Otherwise, Thursday is forecast to be partly sunny with a high near 89. Thursday Night also is expected to have a 20 percent chance of showers and thunderstorms, primarily before 9 p.m. Meanwhile, skies are forecast to be partly cloudy, and the low should be

around 67.

A 40 percent chance of showers and thunderstorms is expected on Friday, which should be mostly sunny with a high near 90. On Friday Night, there is an expected 40 percent chance of showers and thunderstorms. Otherwise, skies are forecast to be partly cloudy and the low should be around 66.

Sunny skies and a high near 91 are forecast for Saturday.

PUBLIC NOTICE

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed one-story residential and retail building on tax parcel numbers 88784-030-000 and 08785-002-000 located at 3109 SW Archer Road. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

The meeting will be held on Tuesday, May 26, 2016 at 6:00 p.m. at the Country Inn & Suites at 4015 SW 37th Street, Gainesville, Florida.

Contact: Sergio Reyes, PE, ebs engineers - surveyors-planners, inc. (352) 973-9541



MAILING LABEL APPLICATION
For Neighborhood Workshop

Mailing Address: City of Gainesville, Station 12
Planning and Development Services
P.O. Box 490
Gainesville, FL 32602-0490
Phone: 352-334-5023 Fax: 352-334-3259
Physical Address: 306 NE 6th Avenue
Thomas Center Building B, Room 158

Today's Date: 05/05/2016 Location Map Provided

Tax Parcel Number: 06783 -- 000 -- 000 & 06785-002-001

Property Address: 3100 SW Archer Road

Project Name: Bojangles - Archer Road

Project Description: Development Plan & Special Use Permit for a drive-thru restaurant
and a retail building

First Step Meeting Date 04 / 07 / 16 Planner: Andrew

Circle One: Owner Agent

Applicant: Brenna French Signature: 

Daytime Phone No.: 352-373-3541 Fax No.: 352-373-7249

*An incomplete application will not be processed and will be returned to you.
Applications may take up to five business days to be processed.*

<p><u>Office Use Only</u></p> <p>Due Date: <u> </u> / <u> </u> / <u> </u></p>
--

Neighborhood Workshop Notice

06777-010-004 Bojangles
3 OCALA INVESTMENTS LLC
8261 SW 16TH AVE
OCALA, FL 34476

Neighborhood Workshop Notice

06777-002-000 Bojangles
SOLOMON K ABRAHAM
4011 NW 23RD DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06777-020-002 Bojangles
ARCHER LANE LLC & HALLEY
5121 SW 87TH AVE
MIAMI, FL 33165

Neighborhood Workshop Notice

06785-001-000 Bojangles
AUTRY & MORRISON
3411 SW 103RD ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06777-010-003 Bojangles
JOHN BETZ
3025 SW ARCHER RD #1C
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06785-000-000 Bojangles
CAR WASH LLC
3162 CLUB DRIVE
DESTIN, FL 32550

Neighborhood Workshop Notice

06777-006-000 Bojangles
WILLIAM D CATON
13313 NW 214TH TER
HIGH SPRINGS, FL 32643

Neighborhood Workshop Notice

06777-010-001 Bojangles
PAUL W FOX
6860 SW 20TH ST
FORT LAUDERDALE, FL 33317

Neighborhood Workshop Notice

06777-004-000 Bojangles
CREED C GREER III
630 NE 11TH AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

06788-000-000 Bojangles
H I RESORTS INC
111 W FORTUNE ST
TAMPA, FL 33602-3206

Neighborhood Workshop Notice

06783-001-000 Bojangles
HANSELMAN & KUNDRAT JR ET AL
PO BOX 988
LAKE LAND, FL 33802-0988

Neighborhood Workshop Notice

06787-001-000 Bojangles
HARRIS & MOSLEY
3204 COUNTY CLUB DR
VALDOSTA, GA 31605

Neighborhood Workshop Notice

06783-000-000 *** Bojangles
JOYCE AND JENNIFER LLC
2923 SW 40TH AVE
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06775-000-000 Bojangles
OLD ARCHER COURT APT LTD
% ELON PROPERTY MANAGEMENT
590 WEST KENNEDY BLVD 2ND FL
LAKEWOOD, NJ 08701

Neighborhood Workshop Notice

06777-010-002 Bojangles
PADRON & PADRON
9760 SW 19TH ST
MIAMI, FL 33165

Neighborhood Workshop Notice

06777-020-001 Bojangles
SAULS & SAULS & SAULS
RR 1 BOX 62
MOUNTAIN GRV, MO 65711-9522

Neighborhood Workshop Notice

06777-020-003 Bojangles
RAJIV SHUKLA
62 CHRISTIE ST
EDISON, NJ 08820

Neighborhood Workshop Notice

06784-000-000 Bojangles
SAUL TRUSTEE SILBER
3434 NW 24TH AVE STE A
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06783-001-001 Bojangles
SILBER REGENCY OAKS INC
% SAUL SILBER PROPERTIES LLC
3434 SW 24TH AVE STE A
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06777-020-004 Bojangles
MATTHEW SMITH
1301 LANE PARKE CT
MOUNTAIN BROOK, AL 35223

Neighborhood Workshop Notice

06777-001-000 Bojangles
STEIN & STEIN TRUSTEES
1754 NW 16TH PL
GAINESVILLE, FL 32605-4057

Neighborhood Workshop Notice

06776-000-000 Bojangles
TITAN SILVER CREEK LLC
845 NE 79TH ST
MIAMI, FL 33138

Neighborhood Workshop Notice

06758-000-000 Bojangles
UF PLANNING, DESIGN &
CONSTRUCTION
ATTN: LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611-5050

Neighborhood Workshop Notice

5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE
ATTN: MIKE HOGE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Black Acres/Black Pines
JIM CONNOR
400 NW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

b

Neighborhood Workshop Notice

Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Elizabeth PL/Northwest 23rd ST
GALE FORD
715 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Gateway Park
HAROLD SAIVE
1716 NW 10 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Lamplighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Madison Park
CHARLES FLOYD
1911 N.W. 36 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Pineridge
BERNADINE TUCKER
9 TURKEY CREEK
ALACHUA, FL 32615

Neighborhood Workshop Notice

North Lincoln Heights
ANDREW LOVETTE SR.
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Mill Pond
HAROLD HANEL
309 NW 48 BLVD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Rainbows East
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

University Village
BRUCE DELANEY
75 SW 23 Way
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Pinebreeze
JUDITH MEDER
3460 NW 46 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
SANDRA WATTS KENNEDY
514 NW 31 LANE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Eagle Eyes
BEATRICE ELLIS
316 NE 14 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice

LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Phoenix Subdivision
APRIL JONES
3214 SW 26 TERR, Unit B
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

LEE NELSON
DIRECTOR OF REAL ESTATE – UF
204 TIGERT HALL
PO BOX 113100
GAINESVILLE, FL 32611-3100

Neighborhood Workshop Notice

For a proposed Development Plan and Special Use Permit located at 3100 SW Archer Road.

Date: May 24, 2016

Time: 6:00 p.m.

Place: Country Inn & Suites

4015 SW 43rd Street, Gainesville, FL

Contact: **eda** engineers – surveyors – planners at (352) 373-3541

A neighborhood workshop to discuss a proposed Development Plan and Special Use Permit for a proposed drive-thru restaurant and retail building on tax parcel number's 06783-000-000 and 06785-002-001 located at 3100 SW Archer Road. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.



GAINESVILLE
 FL 320
 09 MAY '16
 PM 11



Neighborhood Workshop Notice
 Swolen Foster Neighborhood Assoc. Inc

NIXIE 322 SE 1 0005/14/16

RETURN TO SENDER
 NOT DELIVERABLE AS ADDRESSED
 UNABLE TO FORWARD

BC: 32606660204 *1438-07502-09-42

32609-022314



Neighborhood Workshop Notice
 Madison Park

NIXIE 322 7E 1 0005/14/16

RETURN TO SENDER
 NOT DELIVERABLE AS ADDRESSED
 UNABLE TO FORWARD

BC: 32606660204 *1438-08301-09-42

32609-084134



Neighborhood Workshop Notice
 Pineidge
 BERNADINE TRICKER

NIXIE 322 SE 1 0005/12/16

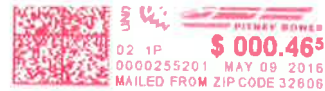
RETURN TO SENDER
 NOT DELIVERABLE AS ADDRESSED
 UNABLE TO FORWARD

BC: 32606660204 *1438-07310-09-42

32613-581369

Gainesville, FL 32606

09 MAY '16
 PM 11



Neighborhood Workshop Notice

NIXIE 322 SE 1 0005/13/16

RETURN TO SENDER
 NOT DELIVERABLE AS ADDRESSED
 UNABLE TO FORWARD

BC: 32606660204 *1438-05399-09-43

32653-793960

Gainesville, FL 32606

PM 11



Neighborhood Workshop Notice

322 NTE 1 0005/10/16

FORWARD TIME EXP RTN TO SEND
 FORD
 4300 S BEACH PKWY APT 3110
 JAX BCH FL 32250-8120

RETURN TO SENDER

32607-262015



Neighborhood Meeting Minutes

Location: Country Inn & Suites
4015 SW 43rd Street
Gainesville, FL

Meeting Date & Time: May 24, 2016 @ 6:00pm

Attendees: Lisa Fiorentino 720 SW 2nd Ave 294-2726

Project Representatives:

Engineer: Sergio Reyes **eda**

Meeting Minutes:

Sergio opened the meeting with a brief description of the proposed project; the demolition of the existing restaurant building, construction of a fast food restaurant and the construction of a separate bank/retail building. No improvements are currently proposed for the existing driveways and will not conflict with existing Archer Road conditions.

Q: Hasn't this property been vacant for years?

A: The property has changed uses several times over the years and has sat vacant for approximately the last year.

Q: Have the owner's purchased the land?

A: They are currently in the process of purchasing the land.



Bojangles
PB-16-00094
Special Use Permit W/Development Plan

Technical Review Committee:

Planning Comments (Approvable with comments)
Andrew Persons, 334-5023

1. Lighting levels near the east facade entrance are very high. Building entrances, stairways, ramps and main walkways shall not exceed an average horizontal illuminance of five footcandles at ground level. Please provide additional lighting data for the building entrances and walkways.

Concurrency Comments (Approvable)
Jason Simmons, Concurrency Planning, 334-5022

Public Works Review (Approvable subject to comments)
352-334-5070

STORMWATER MANAGEMENT:

As the proposed site is served by an existing stormwater management facility, per EDCM Sec. 4.4, please provide the calculations and documentation necessary to establish the right to use the facility and that the contribution of stormwater runoff of the proposed development will be within the design parameters of the existing system.

INSPECTIONS:

Verify that all light poles meet applicable clearance zone / overhang requirements behind curb.

Fire and Life Safety Services (approvable)
Tom Burgett, Fire Inspector, 334-5065

Urban Forestry Comments (Approvable with conditions)
Earline Luhrman, Urban Forestry Inspector, 393-8188

8/25/16

1. Landscape island requires large shade so please replace the Hollies (IAE) with large shade trees with the exception along Archer Road due to the over-head power lines.

2. Why is the 18" Live oak being removed? (eastside)

3. Is the 13" Ash tree being protected or removed? If to be preserved, please indicate a tree barricade so the tree will be protected during construction. (eastside)

4. Palm trees do not count towards the shade tree requirements so if required shade trees please replace with shade trees.

5. In the landscape strip on the western side of the property, there are several Yaupon Hollies proposed and these are understory trees and the code requires large shade trees. So replace with large shade trees.

6. Vehicular use buffers require large shade trees so please replace the three Crape myrtles with shade trees.

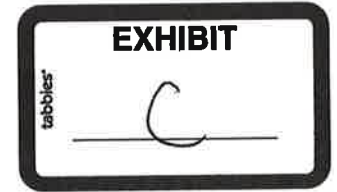
GRU Comments

Michelle Farnsworth, Utility Services Supervisor, 352-393-1413

GRU comments are being provided to the applicant in the form of redline markups of the plans.

August 16, 2016

Andrew Persons
Planning & Development Services
306 NE 6th Avenue
Gainesville, FL



**RE: Bojangles – PB 16-00094
Response to Review Comments**

Mr. Persons:

The applicant's responses to the staff comments issued on May 6, 2016 are below. Please find included in this package the following attachments:

- 6 sets of plans
- 2 CDs
- Sidewalk and Build-to-Line Waiver Request
- Trip Generation Memo
- Concurrency Long Form

Planning Comments (Approvable with comments) Andrew Persons, 334-5023

1. Transportation Mobility Element Policy 10.3.1 applies to the site and as such the City's Central Corridor's SAP regulations with respect to building placement, parking, sidewalks, building wall articulation, and placement of mechanical equipment are applicable.

Response: Please refer to the attached waiver request and refer to C1.00 to see the build-to-line.

2. Per the SAP requirements for commercial projects along an arterial roadway, a 10' sidewalk is required unless a waiver is provided by the City's Plan Board.

Response: Please refer to the attached waiver request.

3. Please provide a continuous landscape hedge along the entire vehicular use area.

Response: The east side of the property will be addressed in Phase 2.

4. The eastern parking area appears to be included in the development area and as such must be brought into compliance with the landscape and photometric requirements of the City's landdevelopment code.

Response: The existing eastern parking area is not a part of the project development area. Please refer to sheet C1.00 for project area limits.

5. The proposed photometric plan does not appear to meet the requirements of Sec 30-344(4) with respect to lighting levels.

Response: See revised photometric plans,

6. Lighting levels adjacent to the north appear to exceed 0.5 footcandles maximum for adjacent property with a residential dwelling.

Response: Reading at the north PL are below .5 FC, see photometric plan

7. The wall sconces shown on the elevations are listed as metal halide fixtures whereas the photometric sheets are listed as LED. Please clarify.

Response: LED wall sconces are a Bojangles standard.

8. Please provide both the uniformity ratio and maximum uniformity ratio. 8. Please indicate whether the proposed pole and wall fixtures are full cut-off.

Response: AVG/Min and Max/Min uniformity ratio are under Lot Summary / Fixtures have 0 upright with flat lens.

9. Please note, that all signage is permitted separately through the Building Inspections division.

Response: Noted. A note has been added to the cover sheet stating that "All signage is permitted separately through the Building Inspection Division." See note 23 on sheet C0.00.

10. Are the easternmost parking lot spaces included in the overall parking space totals?

Response: No. The easternmost parking lot spaces are existing and not a part of the project area. Please refer to sheet C1.00 for the project limits.

Concurrency Comments (Approvable subject to below) Jason Simmons, Concurrency Planning, 334-5022

1. Please submit a notarized concurrency/TMPA long form. The submitted form is not notarized.

Response: The submitted concurrency form is notarized.

2. The square footage on the concurrency form (6,591) does not match the square footage in the trip generation memorandum. Please clarify.

Response: The trip generation memo has been adjusted to match the building area to be demolished on the concurrency long form.

3. Please revise the trip generation numbers for the previous restaurant land use, specifically the AM and PM trips. The City of Gainesville uses AM and PM peak hour trips based on adjacent street traffic. The trip generation calculations used the AM and PM Peak Hour of Generator numbers.

Response: The trip generation calculation has been revised. Please refer to sheet C0.00 and the attached trip generation memo.

4. Please revise the trip generation numbers for the proposed restaurant land use, specifically the AM and PM trips. The City of Gainesville uses AM and PM peak hour trips based on

adjacent street traffic. The trip generation calculations used the AM and PM Peak Hour of Generator numbers. Also, please add the decimal to the average daily total (1834.9, but it is shown as 18349 in the trip generation memorandum and on sheet C0.00.

Response: The trip generation calculation has been revised. Please refer to sheet C0.00 and the attached trip generation memo.

5. Please revise the overall net trip total for the average daily trips. The total shown in Table 3 of the trip generation memorandum and on sheet C0.00 is 103, which is not correct based on the calculations (1834.9 - 996.5 = 838.4 / 25% of 838.4 = 209.6 / 838.4 - 209.6 = 628.8).

Response: The trip generation calculation has been revised. Please refer to sheet C0.00 and the attached trip generation memo.

6. Please provide a revised trip generation sheet to be attached to the concurrency/TMPA long form.

Response: A revised trip generation memo has been attached to the concurrency/TMPA long form.

7. Please amend note #22 on sheet C0.00, as it refers to Policy 10.4.1 when it should refer to Policy 10.1.4.

Response: Note 22 on sheet C0.00 has been revised as requested.

Public Works Review (Approvable subject to comments) 352-334-5070

ROADWAY & SITE DESIGN"

1. "Do Not Enter" signs must be placed on the south side of the proposed parking bay on the west side of the proposed building.

Response: "Do Not Enter" signs have been added as requested. See sheet C1.00.

STORMWATER MANAGEMENT:

1 - Per the City of Gainesville Engineering Design and Construction Manual (EDCM) Sec. 4.27, provide the following information on the cover sheet - Total impervious area (sf); Total semi-impervious area (ie grass parking) (sf); and a table containing the following information - SMF ID; Lowest discharge elevation; Retention volume below lowest discharge elevation (cf); Retention area at lowest discharge elevation (sf). It is understood that this is part of a master system, but the credit for SMU is based off of the formula provided by the City ordinance and therefore this information is needed for this purpose.

Response: Please refer to sheet C2.10 for the City of Gainesville Stormwater Summary sheet for the total impervious area (SF), SMF ID, lowest discharge elevation (CF) and retention area (SF). The total semi-impervious area (SF) has been included in the impervious area calculation table on sheet C0.00.

2 - A reference for a detail calls out sheet C3.10. Please update the reference note to an appropriate sheet or provide sheet C3.10.

Response: The note has been revised. Please refer to sheet C0.50.

INSPECTIONS

Please add the following to Sheet C2.0 and remove all notes contradicting the following; Verify the following notes are included in the design plans; All work within or on City owned or maintained facilities, ROW or easement will require as-built plans. As-built plans shall show the constructed conditions of the City owned or maintained area and be performed by a Florida Licensed Professional Surveyor and Mapper. The Contractor shall provide the City with an as-built survey of the retention / detention basin, including underground systems and associated structures, prepared by a registered land surveyor. The survey shall be submitted on paper copy and electronically (.pdf autodesk CAD) Any construction in the City of Gainesville Public ROW will require permits from the Public Works Department prior to beginning work. A MOT permit is required for any activity in the ROW the either directly or indirectly affects vehicular or pedestrian traffic. Open cut restoration shall be performed in accordance with FDOT Index 307, and using the flowable fill option

Response: The notes have been added as requested. Please refer to note #15 on sheet C2.10.

**Building Department Comments Linda Patrick, Plans Examiner (PX934), 334-5050
patricklr@cityofgainesville.org**

Fire and Life Safety Services (approvable) Tom Burgett, Fire Inspector, 334-5065

1. Please add a note to the cover sheet: The development shall comply with The Florida Fire Prevention Code. [Gainesville Fire Prevention and Protection Code Section 10-5(a) & (b)]

Response: The note has been added as requested. Please refer to sheet C0.00, note #20.

2. Please indicate the approximate location of the features of fire protection, including: --Fire department connection: Fire department connections shall be located at the nearest point of fire department apparatus accessibility or at a location approved by the authority having jurisdiction. (NFPA 13- 8.17.2.4.6) -- Post Indicator Valve and/or Backflow Preventer for each building: Every connection from the private fire service main to a building shall be provided with a listed indicating valve located so as to control all sources of water supply. The post indicator valve shall be located not less than 40 ft. from the building, or as close to 40 ft. as is possible considering site limitations. (NFPA 24- 6.2) [Gainesville Land Development Code Section 30-157(d) (15)]

Response: Not applicable- the building will not be sprinkled.

3. Fire Department access to the proposed building(s) is inadequate. [Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-18.2.3)] The NW corner turn is too tight for our ladder truck.

Response: Please refer to the attached fire truck exhibit.

Urban Forestry Comments (Approvable with conditions) Earline Luhrman, Urban Forestry Inspector, 393-8188 7/27/16

1. Please add shrubs on the north- eastern side of the parking lot for the vehicular use buffer.

Response: The east side of the property will be addressed in Phase 2.

2. Please add shrubs and one additional shade tree along the property line (between the 24" & 37" diameter trees. Trees need to be proposed no less than 55' feet apart.

Response: The east side of the property will be addressed in Phase 2.

3. Head-to-head parking rows shall contain an eight-foot-wide landscape strip between the rows allowing for a two-foot vehicle over-hang on each side. Shade trees shall be planted every 50 feet on average within these landscaped areas, but outside of the two-foot vehicle overhangs. (two shade trees)

Response: The head-to-head parking is existing and not a part of the project area.

4. Along the frontage of Archer Road shade trees need to be proposed in the landscape islands and provide street shade trees also. If utilities separations are an issue, then please reference the code section 30-251 (1) (b) 1-5. This section provides methods in order to install shade trees so this site will be in compliance with the landscape development code requirements.

Response: The east side of the property will be addressed in Phase 2.

5. Provide a continuous row of shrubs for the entire frontage along Archer Road.

Response: The east side of the property will be addressed in Phase 2.

6. Parking space requires a terminal landscape island with shade trees proposed in these islands.

Response: The east side of the property will be addressed in Phase 2.

7. Please make certain that light fixtures have a 10 foot separation from both sides of the trees.

Response: A 10 foot separation from the light fixtures has been provided for the proposed trees.

8. Add shrubs along the frontage of the building near the handicap parking in the planting strip.

Response: Landscaping has been added to the planting strip near the handicap parking.

9. Please provide tree barriers for the trees to be preserved for the development indicating the entire drip line for heritage trees and 2/3 of the drip line for regulated trees on the landscape sheet.

Response: Barricades are now provided and shown on Landscape Plans LS-1 and LS-2.

10. Please add these notes to sheet LS-3; call the urban forestry inspector at 352-393-8188 for a tree barricade inspection before clearing and grubbing work begins. Call the urban forestry inspector at 352-393-8188 for a pre-site visit before purchasing any plant materials.

Response: Notes have been added to Landscape Plan sheet LS-3.

11. The pine trees that are shown to be removed are not regulated trees until they are 20" in diameter.

Response: Agreed. No pine trees shown are regulated.

12. Please provide a continuous barricades for all trees located on the property line so these trees are not impacted by development.

Response: Continuous barricades have been added to the plans for trees located along the property lines.

GRU Comments (Design Not approved, approvable for DRB) Neal Beery, 352-393-1413
GRU comments are being provided to the applicant in the form of redline markups of the plans. This link contains all redlines and comments from reviewers:

https://www.dropbox.com/sh/4vsaz7wgcwlniqo/AAAXGp_CbRBVBjMCuNVETmEzA?dl=0 W-WW: (Design not approved) See link above for redlines and comments. electric: (Design not approved) See link above for redlines. Real Estate: (Not approved) Existing Blanket Easement over Eastern Portion of site. (U-E-25-77 OR 1063, Page 162) Show proposed easement over new TX and UGE feeding TX. GRUCom: approved Gas: waiting on comment, 7-25-16

Hazardous Materials - ACEPD (INSERT REVIEW RESULT) Agustin Olmos, Water Resources Supervisor, PE, 264-6800

Environmental Comments (INSERT REVIEW RESULT) Mark Brown, Environmental Coordinator E-mail: brownmm@cityofgainesville.org; Phone: 352-393-8692

GPD Crime Prevention Unit Comments (Not Approved) Dr. Richard Schneider, rschnei@ufl.edu

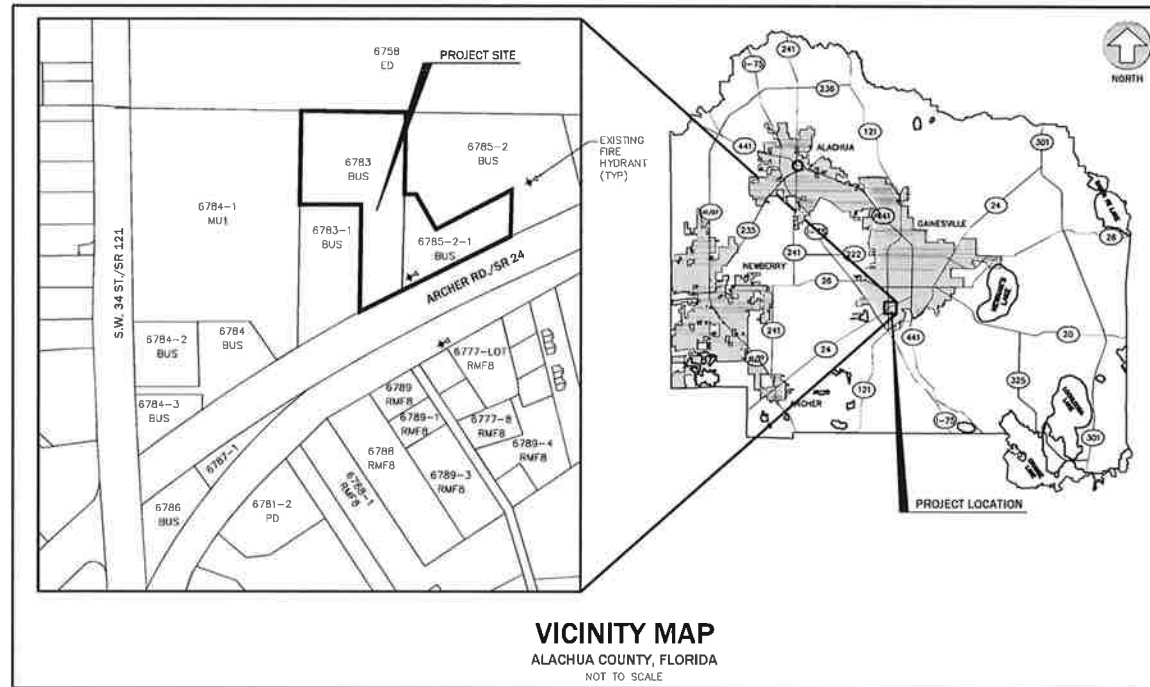
1. Many cut sheets from manufacturers. Overall area lighting levels, including the parking area are too low such as the 0.0 in center lanes. Part of the concrete walkway are also too low. (should be .5 fc at least) Not approvable as is.

Response: The photometric plan has been revised to provide more light on the concrete walkway.

BOJANGLES' RESTAURANT (ARCHER ROAD)

CITY OF GAINESVILLE, FLORIDA

DEVELOPMENT INFORMATION	
1. PROPERTY OWNER:	JOYCE AND JENIFER, LLC 2923 SW 40TH AVENUE GAINESVILLE, FL 32608
2. DEVELOPER:	PRIMAX PROPERTIES LLC 1100 E. MOREHEAD STREET CHARLOTTE, N.C. 28204
2. NAME OF PROJECT:	BOJANGLES ON ARCHER ROAD
3. PROJECT DESCRIPTION:	PROPOSED DRIVE THROUGH RESTAURANT WITH SEATING AND PARKING AND UTILITIES IMPROVEMENTS.
4. PROJECT ADDRESS:	3100 SW ARCHER ROAD GAINESVILLE, FL, 32608
5. TAX PARCEL NUMBER:	6783-000-000 6785-002-001
6. SECTION/TOWNSHIP/RANGE:	SECTION 13, TOWNSHIP 10 SOUTH, RANGE 19 EAST
7. ZONING:	GENERAL BUSINESS DISTRICT (BUS)
8. FUTURE LAND DESIGNATION:	COMMERCIAL (C)
9.	THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT OR FLOOD PLAIN.
10.	IRRIGATION SYSTEM IS PROVIDED FOR LANDSCAPED AREAS.
11.	THERE IS AN EXISTING STORMWATER SYSTEM WHICH WAS (SURVMD PERMIT NO. 31605-1) PERMITTED WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE CITY OF GAINESVILLE.
12.	THIS PROJECT IS NOT AFFECTED BY THE GATEWAY, GREENWAY, SURFACE WATER, WELL FIELD OR NATIVE PARK DISTRICTS.
14.	NO SPECIAL FIRE PROTECTION CONCERNS ARE PROPOSED ON THIS BUILDING, THE BUILDING SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.
15.	THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.
16.	TRASH AND RECYCLING FACILITIES ARE PROPOSED AND LOCATED ON SITE.
17.	FIRE HYDRANTS AND STABILIZED SURFACES MUST BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE.
18.	IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ.
19.	THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION PER GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16).
20.	THE PROPOSED BUILDING SHALL COMPLY WITH THE CURRENT EDITION OF THE FLORIDA BUILDING CODE, [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE 10-5(a) & (b)]
21.	THE SITE IS LOCATED IN ZONE A OF THE TRANSPORTATION MOBILITY PROGRAM AREA (TMPA) AND WILL COMPLY WITH APPLICABLE PROVISIONS OF THE TRANSPORTATION MOBILITY ELEMENT POLICY 10.3.1 AND 10.1.4.
22.	THE DEVELOPMENT SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.
23.	ALL SIGNAGE IS PERMITTED SEPARATELY THROUGH THE BUILDING INSPECTIONS DIVISION.



LEGAL DESCRIPTION

PARCEL 1:
A TRACT OF LAND SITUATED IN SECTION 13, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 10 SOUTH, RANGE 19 EAST, AND RUN SOUTH 89°10'50" EAST, ALONG THE NORTH LINE OF SAID SECTION 13, 584.10 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°10'50" EAST, ALONG SAID NORTH LINE, 325.20 FEET; THENCE RUN SOUTH 01°44'10" WEST, 555.43 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 24 (ARCHER ROAD); THENCE RUN SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE WITH A CURVE CONCAVE SOUTHERLY, SAID CURVE HAVING A CENTRAL ANGLE OF 01°12'46", A RADIUS OF 7,185.68 FEET, AN ARC LENGTH OF 152.10 FEET AND A CHORD BEARING AND DISTANCE OF S 01°44'40" WEST, 152.10 FEET; THENCE RUN N 01°25'17" EAST, 329.33 FEET; THENCE RUN NORTH 89°10'50" WEST, 190.00 FEET; THENCE RUN NORTH 01°25'17" EAST, 299.98 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
COMMENCE AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 10 SOUTH, RANGE 19 EAST, AND RUN S 89°57'00" E., ALONG THE NORTH LINE OF SAID SECTION, A DISTANCE OF 912.19 FEET; THENCE CONTINUE S 89°57'00" ALONG SAID SECTION LINE, A DISTANCE OF 485.05 FEET; THENCE RUN S 14°08'00" E., A DISTANCE OF 281.19 FEET TO A POINT ON A CURVE, WHICH IS CONCAVE NORTHWESTERLY AND ON THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 24 (A 128 FOOT RIGHT OF WAY), SAID CURVE HAVING A CENTRAL ANGLE OF 02°01'56", A RADIUS OF 7054.58 FEET, AND A CHORD BEARING AND DISTANCE OF S 64°24'47" W., 249.52 FEET, RESPECTIVELY, THENCE RUN SOUTHWESTERLY ALONG SAID CURVE AND RIGHT OF WAY LINE, AN ARC DISTANCE OF 249.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 00°05'52" FOR AN ARC DISTANCE OF 1.80 FEET, HAVING A CHORD BEARING AND DISTANCE OF S 65°28'01" W., AND 1.80 FEET, RESPECTIVELY, TO A POINT OF REVERSE CURVATURE, WITH A CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A CENTRAL ANGLE OF 03°42'18", A RADIUS OF 5807.43 FEET AND A CHORD BEARING AND DISTANCE OF S 63°35'19" W., 375.47 FEET, RESPECTIVELY; THENCE RUN SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE AND WITH SAID CURVE, AN ARC DISTANCE OF 375.53 FEET, THENCE RUN N 00°58'00" E., A DISTANCE OF 131.28 FEET; THENCE RUN N 61°58'38" E., A DISTANCE OF 383.21 FEET, THENCE RUN S 00°58'00" W., A DISTANCE OF 143.84 FEET TO THE POINT OF BEGINNING.

PARCEL 3:
COMMENCE AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 10 SOUTH, RANGE 19 EAST FOR A POINT OF REFERENCE; THENCE RUN SOUTH 89°10'50" EAST ALONG THE NORTH LINE OF SAID SECTION 13, A DISTANCE OF 912.19 FEET; THENCE RUN SOUTH 01°45'00" WEST, A DISTANCE OF 254.69 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 88°14'54" EAST, A DISTANCE OF 35.92 FEET; THENCE RUN SOUTH 29°44'27" EAST, A DISTANCE OF 124.71 FEET TO A POINT ON THE NORTHERLY LINE OF DESCRIPTION 2 IN THE INSTRUMENT RECORDED IN O.R. BOOK 2194, PAGE 2784; THENCE RUN SOUTH 62°42'41" WEST ALONG SAID NORTHERLY LINE A DISTANCE OF 115.80 FEET TO THE NORTHWEST CORNER OF THE AFORESAID PARCEL IN DESCRIPTION 2; THENCE RUN NORTH 01°45'06" EAST, A DISTANCE OF 162.46 FEET TO THE SAID POINT OF BEGINNING.

PARCEL 4:
ALL OF THE RIGHT, TITLE AND INTEREST IN AND TO THOSE CERTAIN LANDS CONVEYED BY THAT WARRANTY DEED RECORDED MAY 26, 1998 AT O.R. BOOK 2170, PAGE 377, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

IMPERVIOUS AREA CALCULATIONS			
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	PERCENTAGE (%)
1.	TOTAL PARCEL AREA:	188,687	100.00
2.	PROPOSED BUILDING COVERAGE:	3,888	2.02
3.	PAVEMENT AND SIDEWALK AREA:	32,338	17.14
4.	TOTAL EXISTING IMPERVIOUS AREA:	63,598	33.72
5.	EXISTING IMPERVIOUS TO BE REMOVED:	46,054	24.42
6.	EXISTING IMPERVIOUS TO REMAIN:	17,544	9.30
7.	TOTAL IMPERVIOUS AREA:	53,768	28.41
8.	OPEN AREA:	83,559	44.30
9.	EXISTING BASIN AREA (PER SURVMD ERP 31605-1):	51,360	27.25
10.	TOTAL SEMI-IMPERVIOUS AREA:	0	0.00

BUILDING INFORMATION	
BUILDING HEIGHT:	24'-2"
SPRINKLERED:	NO
OCCUPANCY CLASS:	ASSEMBLY, BOOTH SEATING, COMMERCIAL KITCHEN, STANDING SPACE, STORAGE, BUSINESS
CONSTRUCTION TYPE:	TYPE V-B
NUMBER OF STORIES:	1
GROSS FLOOR AREA:	3,472 SF
BUILDING AREA:	3,472 SF

TRIP GENERATION						
ITE LAND USE 932: HIGH TURNOVER (SIT-DOWN RESTAURANT)						
EXISTING RESTAURANT: (CODY'S ROADHOUSE) 7,837 S.F. NOTE: CODY'S ROADHOUSE HOURS 11AM-11PM						
(PER 1000 SF)		TRIP DISTRIBUTION		PROJECT TRIPS		
PERIOD	RATE	SF	TRIPS	ENTER	EXIT	IN / OUT
AM	10.81	6591	N/A	55%	45%	N/A / N/A
PM	9.85	6591	64.9	60%	40%	39.0 / 26.0
AVG	127.15	6591	838.0	50%	50%	419.0 / 419.0
SOURCE: ITE TRIP GENERATION, 9TH EDITION, PAGES 1685						

TRIP GENERATION						
ITE LAND USE 934: FAST FOOD RESTAURANT WITH DRIVE THROUGH WINDOW						
PROPOSED RESTAURANT: 94 SEATS						
(PER 1000 SF)		TRIP DISTRIBUTION		PROJECT TRIPS		
PERIOD	RATE	SEATS	TRIPS	ENTER	EXIT	IN / OUT
AM	1.27	94	119.4	53%	47%	63.3 / 56.1
PM	0.95	94	89.3	53%	47%	47.3 / 42.0
AVG	19.52	94	1834.9	50%	50%	917.4 / 917.4
SOURCE: ITE TRIP GENERATION, 9TH EDITION, PAGES 1921, 1924-1925						

NET IMPACT					
PERIOD	EXISTING	PROPOSED	INCREASE	25% REDUCTION PER RTS TRANSFER STATION	OVERALL NET TRIPS
AM	0	119.4	119.4	-29.85	90
PM	64.9	89.3	24.4	-6.1	18
AVG	838.0	1834.9	996.9	-249.225	748

PARKING CALCULATIONS			
#	DESCRIPTION	CRITERIA	PROVIDED
1.	VEHICULAR PARKING	DRIVE THROUGH EATING AND DRINKING ESTABLISHMENTS WITH SEATING: 3 SPACES, PLUS 1 FOR EACH 3 SEATS OF SEATING CAPACITY WHERE SERVICE IS PROVIDED	44* INCLUDING 2 HANDICAP SPACES
2.	BICYCLE PARKING	10% OF REQUIRED NUMBER OF VEHICLE PARKING	4 SPACES 2 RACKS
3.	MOTORCYCLE PARKING	1 MOTORCYCLE SPACE PER 40 VEHICLE SPACES REQUIRED	1 SPACES
4.	QUEING SPACES	PER COG PUBLIC WORKS DEPARTMENT DETERMINATION	13 SPACES

* 10 ADDITIONAL PARKING SPACES PROVIDED PER SEC. 30-3330F LAND DEVELOPMENT CODE

DRAWING INDEX	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	LEGEND, SYMBOLS AND NOTES
C0.50	DEMOLITION PLAN
C1.00	DIMENSION PLAN
C2.00	PAVING, GRADING AND DRAINAGE PLAN
C2.10	PAVING, GRADING AND DRAINAGE DETAILS
C3.00	STORMWATER POLLUTION PREVENTION PLAN
C4.00	UTILITY PLAN
V-001 ~ V-004	BOUNDARY & TOPOGRAPHIC SURVEYS
L-1	LANDSCAPE PLAN (BY OTHERS)
SD1~5, E6	ARCHITECTURAL PLANS (BY OTHERS)
1 OF 1	PHOTOMETRIC PLAN (BY OTHERS)

Project: BOJANGLES' RESTAURANT (ARCHER ROAD) GAINESVILLE, FLORIDA

Project phase: CITY/GRS SUBMITTAL

Design: [Signature]

Project No: [Number]

Professional Engineer of Record: [Signature]

State of: FLORIDA

Professional Seal: [Seal]

Scale: [Scale]

Sheet No: [Number]

engineers • planners

engineers • surveyors • planners

1450 N.W. 42nd St., Gainesville, Florida 32608-4602

TEL: 352-339-1100 FAX: 352-339-1101

WWW.CODS.COM

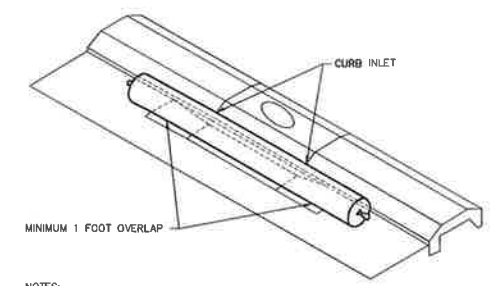
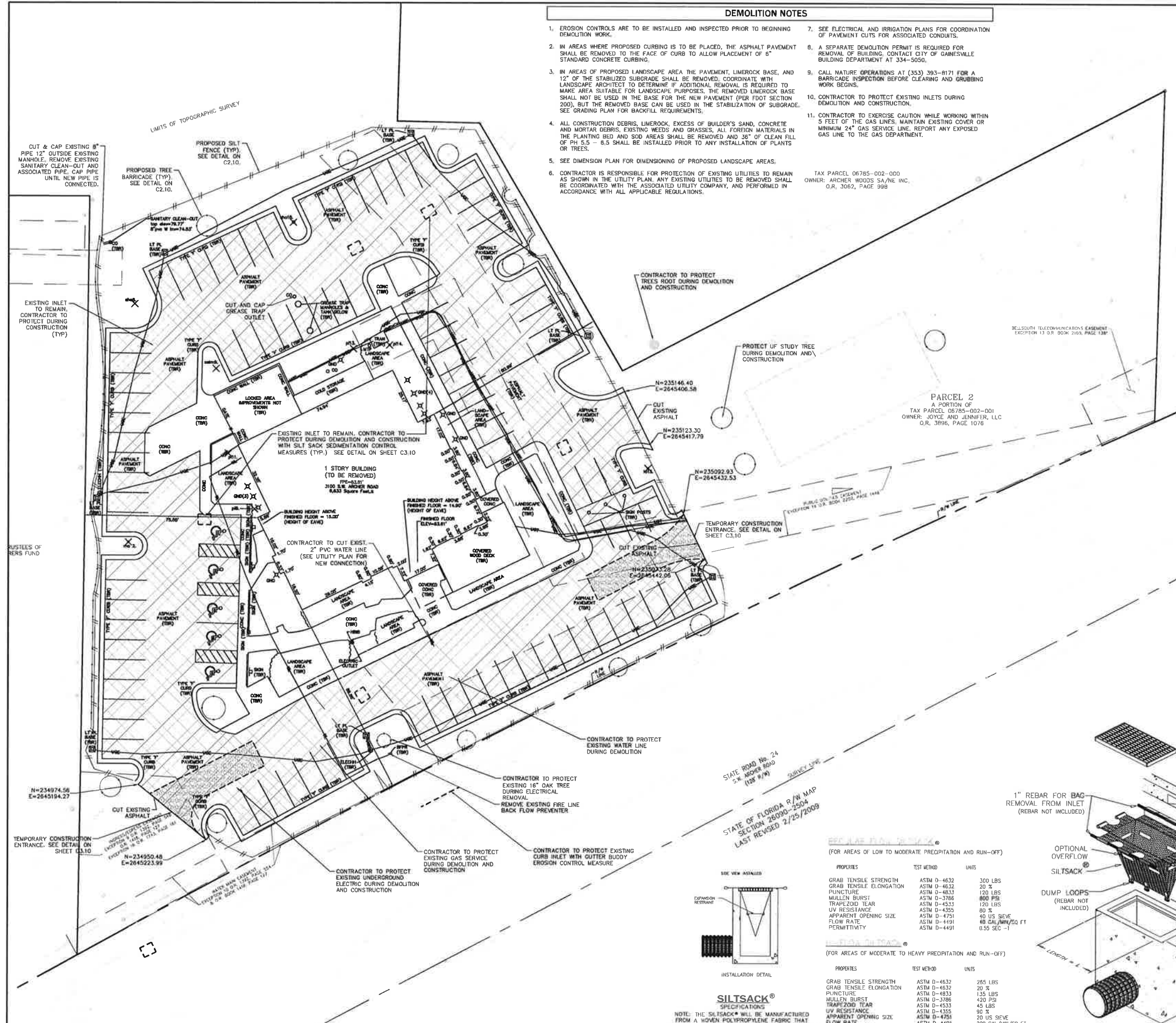
COVER SHEET

C0.00

DEMOLITION NOTES

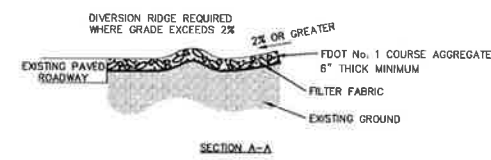
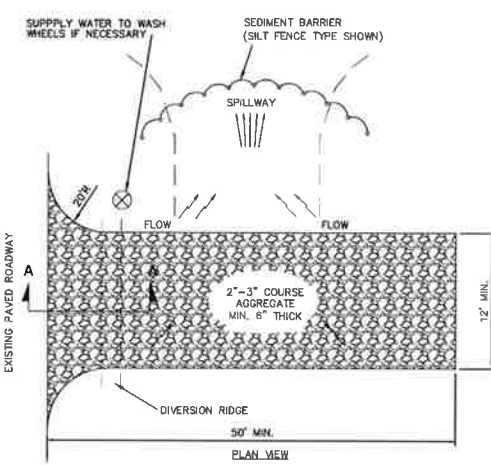
1. EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
2. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
3. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FDOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
4. ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
5. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
7. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.
8. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR REMOVAL OF BUILDING. CONTACT CITY OF GAINESVILLE BUILDING DEPARTMENT AT 334-3050.
9. CALL NATURE OPERATIONS AT (352) 393-8171 FOR A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS.
10. CONTRACTOR TO PROTECT EXISTING INLETS DURING DEMOLITION AND CONSTRUCTION.
11. CONTRACTOR TO EXERCISE CAUTION WHILE WORKING WITHIN 5 FEET OF THE GAS LINES. MAINTAIN EXISTING COVER OR MINIMUM 24" GAS SERVICE LINE. REPORT ANY EXPOSED GAS LINE TO THE GAS DEPARTMENT.

TAX PARCEL 06785-002-000
OWNER: ARCHER WOODS SA/NE INC.
O.R. 3062, PAGE 998



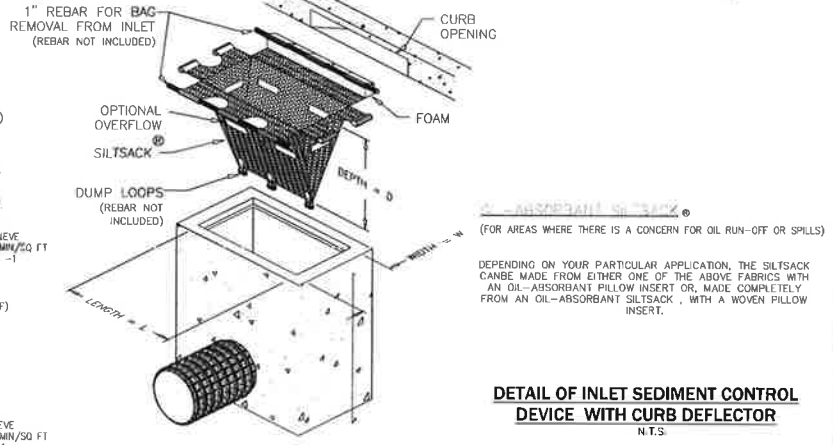
- NOTES:**
1. INSTALL THE GUTTERBUDDY IN FRONT OF THE CURB INLET OPENING. EACH END OF THE GUTTERBUDDY SHOULD OVERLAP THE CURB INLET APPROXIMATELY 12".
 2. THE GUTTERBUDDY SHOULD BE CLEANED IF A VISUAL INSPECTION SHOWS SILT AND DEBRIS BUILD UP AROUND THE GUTTERBUDDY.
 3. PONDING IS LIKELY IF SEDIMENT IS NOT REMOVED REGULARLY. INSPECTION OF THE GUTTERBUDDY SHOULD BE ON A REGULAR BASIS AND IMMEDIATELY AFTER MAJOR RAIN EVENTS.

GUTTERBUDDY TYPICAL DETAIL
N.T.S.



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

TYPICAL GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR
N.T.S.

SILTSACK®
SPECIFICATIONS

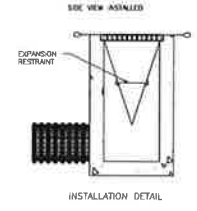
NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3765	600 PSF
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4791	40 US SEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3766	420 PSF
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4791	20 US SEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1



NORTH
SCALE: 1"=20'
0 10 20 40
GRAPHIC SCALE

**BOJANGLES' RESTAURANT (ARCHER ROAD)
GAINESVILLE, FLORIDA**

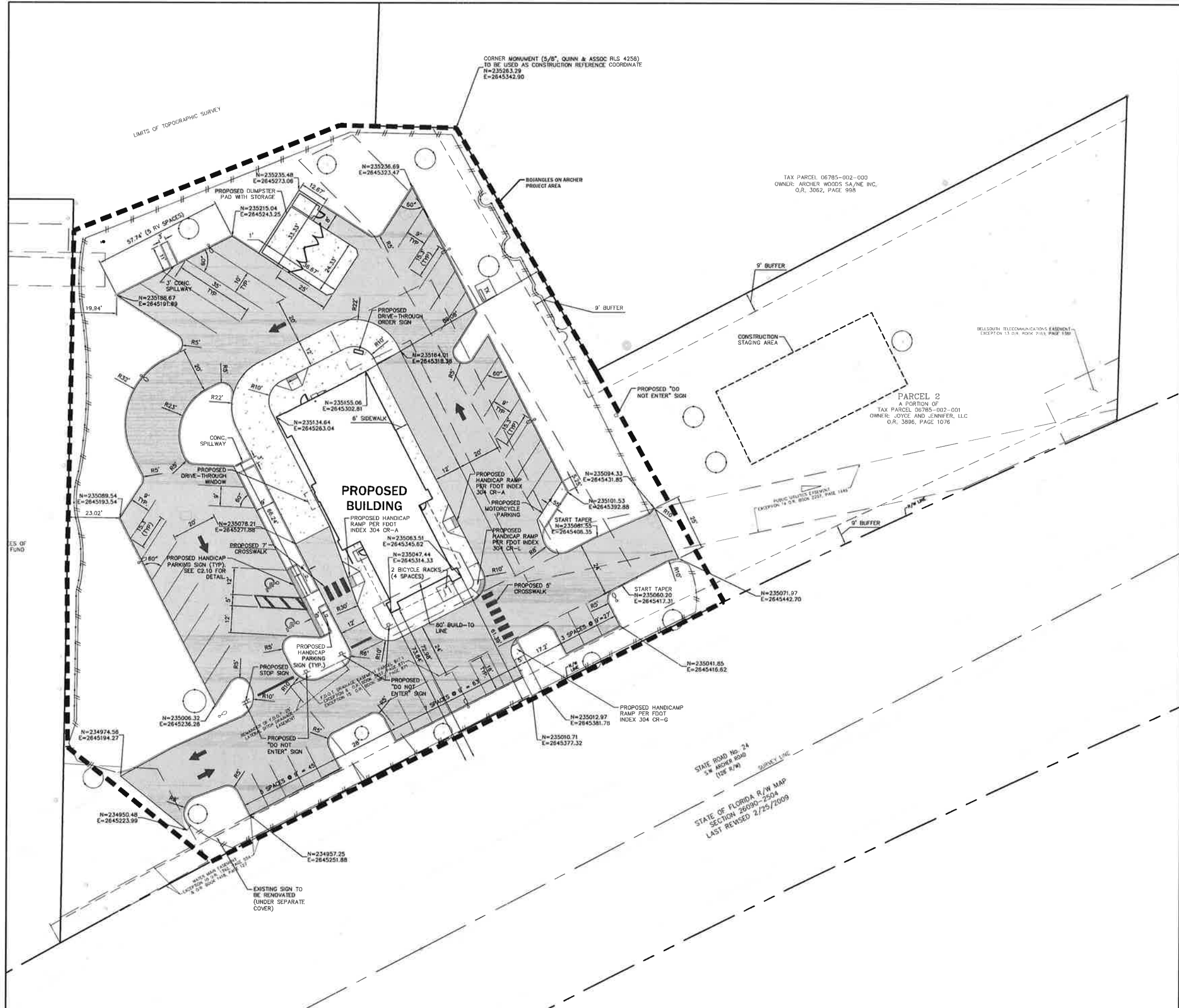
DEMOLITION PLAN

Project phase: CITY/CORP SUBMITTAL
Designed by: [Signature]
Project No.: [Number]
Sheet No.: [Number]

Professional Engineer of Surveying
Sergio J. [Signature]
No. 7111
Professional Engineer of Surveying

C0.50

\\server\planning\bojangles\restaurant - 1100\w\archer\road\plans\current\dwg\816121.dwg, C:\DWG\115202\16 08 10 PM\engineers



GENERAL NOTES

1. ALL PARKING LOT DIMENSIONS AND RADI SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NOT CURB PROPOSED. ALL RADIAL PARKING IS 9' MIN. WIDTH AT NARROWEST POINT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
3. ELECTRIC SERVICE TO BE COORDINATED WITH G.R.U., ELECTRIC ENGINEERING DEPARTMENT.
4. SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.

NORTH
SCALE: 1"=20'

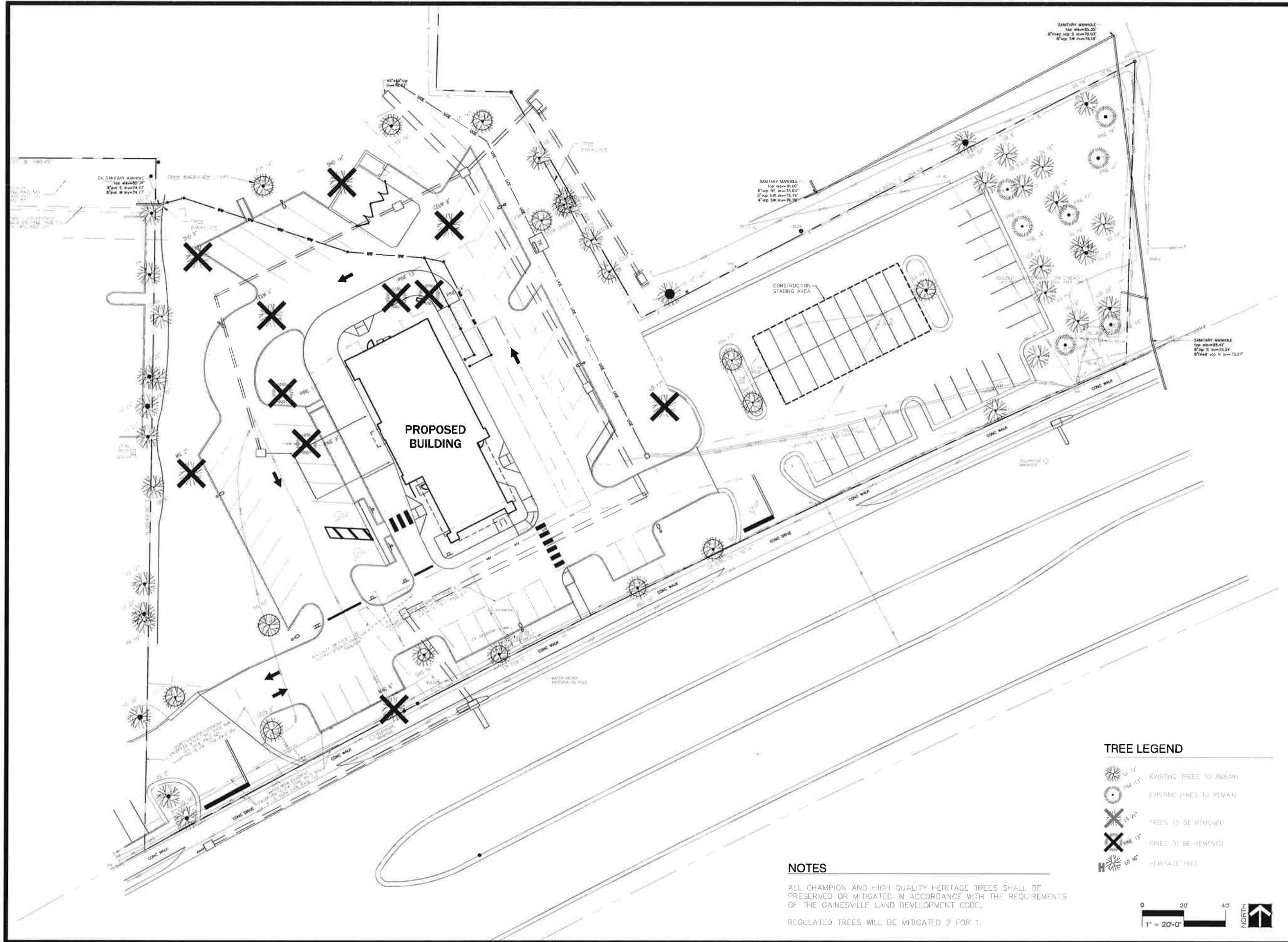
0 10 20 40
GRAPHIC SCALE

**BOJANGLES' RESTAURANT (ARCHER ROAD)
GAINESVILLE, FLORIDA**

DIMENSION PLAN

Project phase: CITY/CRIU SUBMITTAL
 Designer: [Signature]
 Project: [Signature]
 Professional Engineer of Record: [Signature]
 State of Florida: [Signature]
 License No.: [Number]

Sheet No.: **C1.00**



NOTES

ALL CHAMPION AND HIGH QUALITY HERITAGE TREES SHALL BE PRESERVED OR MITIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GAINESVILLE LAND DEVELOPMENT CODE.

REGULATED TREES WILL BE MITIGATED 2 FOR 1.

TREE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING PINES TO REMAIN
- TREES TO BE REMOVED
- PINES TO BE REMOVED
- HERITAGE TREE



PREPARED BY:
ZAMIA DESIGN
 Landscape Architecture
 3450 NW 13th Avenue
 Gainesville, Florida 32605
 Ph. 352-373-8220 Fax 866-845-7717
 LC 28000252

PREPARED FOR:
PRIMAX PROPERTIES, LLC
 CHARLOTTE, NC

PROJECT:
BOJANGLES RESTAURANT
ARCHER ROAD
GAINESVILLE, FL

SHEET TITLE:
TREE MITIGATION

PROJECT PHASE:
GRU SUBMITTAL

ISSUE DATE:
JULY 5, 2016

REVISIONS		
NO.	DATE	COMMENTS
1	8/15	REV COMMENTS

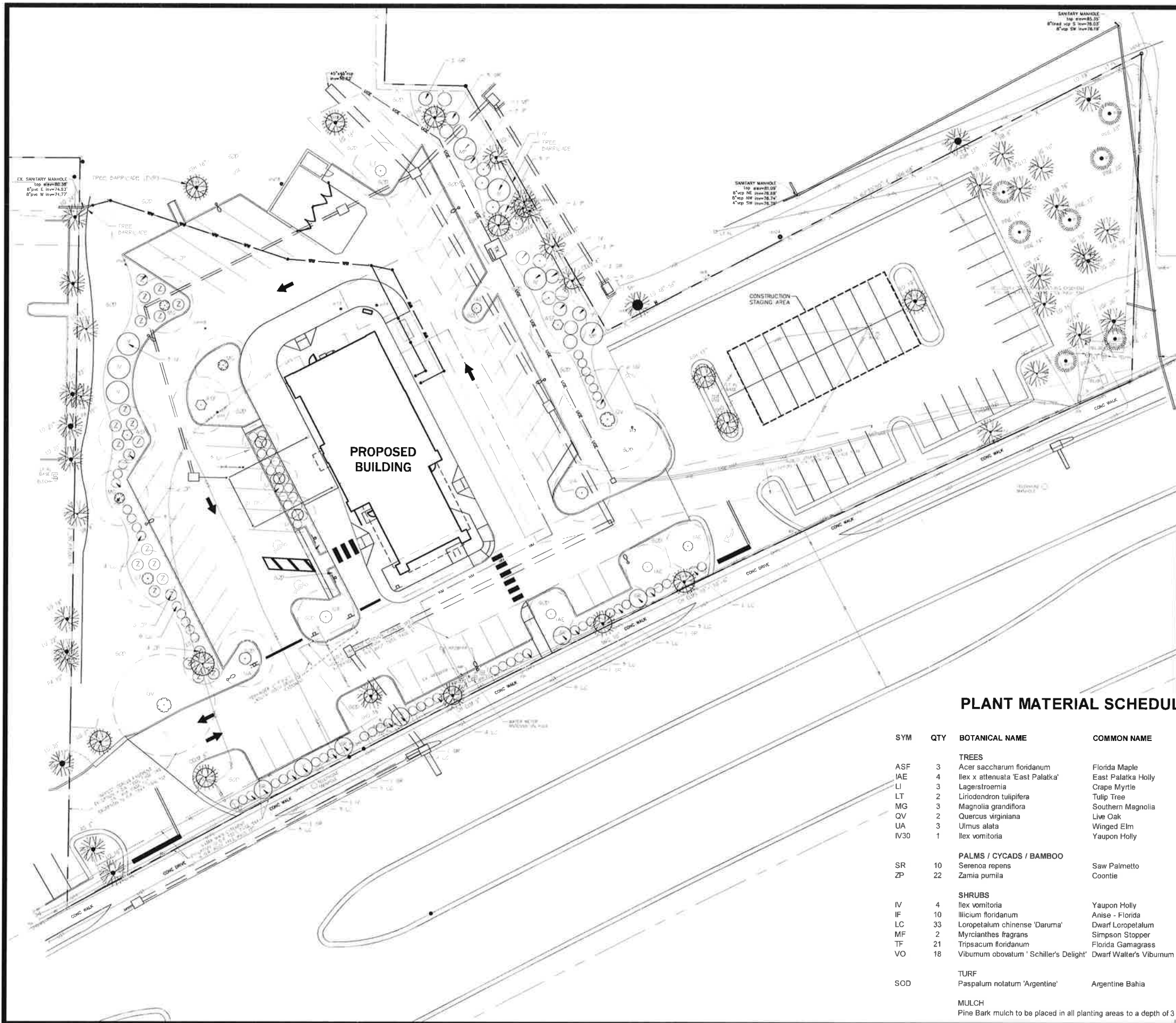
PROFESSIONAL SEAL:

LAWRENCE E. TEAGUE
 FLORIDA: LA0001582

PROJECT NUMBER:
16013.1

DRAWN BY: ALZ CHECKED BY: LET

SHEET NUMBER:
LS-1



LEGEND

- PROPOSED TREES TO REMAIN
- PROPOSED SHADE TREE
- PROPOSED LIGHTING

PLANT MATERIAL SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER	HT X WIDTH (Caliper)	SPACING	FLA NATIVE
TREES							
ASF	3	Acer saccharum floridanum	Florida Maple	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
IAE	4	Ilex x attenuata 'East Palatka'	East Palatka Holly	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
LI	3	Lagerstroemia	Crape Myrtle	30 Gal	8-10' x 4' (2" cal)	As Shown	N
LT	2	Liriodendron tulipifera	Tulip Tree	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
MG	3	Magnolia grandiflora	Southern Magnolia	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
QV	2	Quercus virginiana	Live Oak	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
UA	3	Ulmus alata	Winged Elm	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
IV30	1	Ilex vomitoria	Yaupon Holly	30 Gal	8-10' x 4' (2" cal)	As Shown	Y
PALMS / CYCADS / BAMBOO							
SR	10	Serenoa repens	Saw Palmetto	3 Gal	18" x 20"	As Shown	Y
ZP	22	Zamia pumila	Coontie	3 Gal	18" x 16"	4' O.C.	Y
SHRUBS							
IV	4	Ilex vomitoria	Yaupon Holly	3 Gal	18" x 20"	As Shown	Y
IF	10	Illicium floridanum	Anise - Florida	3 Gal	18" x 20"	5' O.C.	Y
LC	33	Loropetalum chinense 'Daruma'	Dwarf Loropetalum	3 Gal	18" x 20"	4' O.C.	N
MF	2	Myrcianthes fragrans	Simpson Stopper	3 Gal	18" x 20"	As Shown	Y
TF	21	Tripsacum floridanum	Florida Gamagrass	3 Gal	18" x 20"	4' O.C.	Y
VO	18	Viburnum obovatum 'Schiller's Delight'	Dwarf Walter's Viburnum	3 Gal	18" x 20"	4' O.C.	Y
TURF							
SOD		Paspalum notatum 'Argentine'	Argentine Bahia				
MULCH							
Pine Bark mulch to be placed in all planting areas to a depth of 3 inches.							

PREPARED BY:
ZAMIA DESIGN
 Landscape Architecture
 3459 NW 13th Avenue
 Gainesville, Florida 32605
 Ph. 352-373-8220 Fax 866-845-7717
 LC 26000252

PREPARED FOR:
PRIMAX PROPERTIES, LLC
 CHARLOTTE, NC

PROJECT:
BOJANGLES RESTAURANT
 ARCHER ROAD
 GAINESVILLE, FL

SHEET TITLE:
LANDSCAPE PLAN

PROJECT PHASE:
GRU SUBMITTAL

ISSUE DATE:
JULY 5, 2016

REVISIONS		
NO.	DATE	COMMENTS
1	8/15	REV COMMENTS

PROFESSIONAL SEAL:
 LAWRENCE E. TEAGUE
 FLORIDA: LA0001582

PROJECT NUMBER:
16013.1

DRAWN BY: ALZ CHECKED BY: LET

SHEET NUMBER:
LS-2

LANDSCAPE NOTES - GENERAL

GENERAL

MULCH ALL LANDSCAPE AREAS WITH A THREE (3) INCH MINIMUM LAYER OF PINE BARK MULCH EXCEPT IN THE RETENTION AREAS WHERE PINE STRAW IS REQUIRED.

CMO, CONCRETE, MORTAR, EXISTING WEEDS AND GRASSES, AND ANY OTHER FOREIGN MATERIALS SHALL BE REMOVED FROM PLANTING AREAS TO A DEPTH OF THREE (3) FEET.

REQUIRED FILL FOR PLANTING AREAS SHALL BE FLORIDA SOURCED, FREE OF WEED SEEDS, AND WITH A PH OF 5.5 - 6.5

OWNER RESPONSIBLE FOR THE SURVIVAL OF ALL PLANTING MATERIAL FOR ONE (1) YEAR AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY.

TREE INSTALLATION

ALL PROPOSED TREES TO BE A MINIMUM SEVEN (7) FT IN HEIGHT AND TWO (2) INCH CALIPER UNLESS SPECIFIED BY THE LANDSCAPE ARCHITECT.

ALL PROPOSED TREES TO MAINTAIN A MINIMUM 7.5 FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.

ALL TREES IN SOO AREAS TO BE PROTECTED FROM MOWERS AND STRING TRIMMERS BY:

- A FOUR (4) FOOT MINIMUM MULCH RING AROUND THE TRUNK BASE,
- A TEN (10) INCH PLASTIC PROTECTOR (CORRUGATED DRAIN PIPE) AROUND THE TRUNK BASE,

TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED; THE TOPMOST ROOT SHOULD BE 1 TO 2 INCHES ABOVE THE SURROUNDING GRADE.

TREES TO BE STAKED IF DEEMED NECESSARY. IF STAKED, GUYING TO BE A BIO-DEGRADABLE MATERIAL. STAKING TO BE REMOVED WITHIN ONE YEAR OF INSTALLATION.

INVASIVE EXOTIC PLANT MATERIAL

ALL INVASIVE EXOTIC SPECIES TO BE REMOVED FROM SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

GRASSING

ALL DISTURBED UNPAVED AREAS SHALL BE GRASSED, MULCHED OR PLANTED. AREAS TO BE TURF GRASS SHALL BE GRADED SMOOTH AND EITHER GRASSED WITH SOO THAT IS CERTIFIED FREE OF NOXIOUS WEEDS OR SEEDS BY A HYDRO-SEED PROCESS OR SEEDS WITH A STRAW MULCH COVER.

PLANT MATERIAL

CALL THE URBAN FORESTRY INSPECTOR AT 352-393-8188 FOR A PRE-SITE VISIT BEFORE PURCHASING ANY PLANT MATERIALS.

ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER, GRADED IN ACCORDANCE WITH FLORIDA DIVISION OF PLANT INDUSTRY'S GRADES AND STANDARDS FOR NURSERY PLANTS.

IRRIGATION NOTES

LANDSCAPE IRRIGATION TO BE PROVIDED BY AN AUTOMATIC IRRIGATION SYSTEM.

THE IRRIGATION SYSTEM SHALL PROMOTE WATER CONSERVATION BY UTILIZING METHODS SUCH AS DRIP IRRIGATION, EFFICIENT SPRINKLER ZONING, AND REDUCED RUN TIMES AS PLANTS BECOME MORE ESTABLISHED.

BUBBLERS TO BE PROVIDED FOR EACH PROPOSED TREE TO INSURE THE ENTIRE ROOT BALL IS IRRIGATED.

TREE BARRICADE NOTES

CALL THE URBAN FORESTRY INSPECTOR AT 352-393-8188 FOR A TREE BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS.

TREE REMOVAL MITIGATION SCHEDULE

HERITAGE TREES

TO BE MITIGATION AT INCH FOR INCH REPLACEMENT OF EACH TREE REMOVED.

THERE ARE NO HERITAGE TREES FOUND ON THE SITE.

REGULATED TREES

MITIGATION AT 2 TREES FOR EACH TREE REMOVED UNLESS NOTED.

QTY	SPECIES	SIZE	QTY TO BE MITIGATED
1	SHUMARD OAK	8"	2 TREES
2	CHINESE ELMS	9"	4 TREES
1	LIVE OAK	13"	2 TREES
1	SHUMARD OAK	18"	2 TREES

1	PINE	9"	0 (PINE LESS THAN 20")
1	PINE	11"	0 (PINE LESS THAN 20")
1	PINE	13"	0 (PINE LESS THAN 20")
1	PINE	14"	0 (PINE LESS THAN 20")

TOTAL MITIGATION REQUIREMENT 10 TREES

TOTAL PROPOSED TREES FOR MITIGATION

TREES PROPOSED:	REQUIREMENT
SHADE TREES	18
UNDERSTORY TREES	5
TOTAL TREES PROPOSED	18
TOTAL TREES REQUIRED	10

PROPOSED TREES

STREET TREES:

ARCHER ROAD
TOTAL LINEAR FT 247 LF
REQUIREMENT: 1 TREE PER 40 LF 7 TREES

PROVIDED:
EXISTING TREES 4
PROPOSED UNDERSTORY TREES* 7
~~PROVIDED DUE TO OVERHEAD ELECTRIC LINES~~

TOTAL STREET TREES PROVIDED 5

NOTE: TWO ADDITIONAL TREES ARE BEING PROVIDED ONSITE.

PARKING LOT TREES:

TOTAL LINEAR FT OF PARKING PERIMETER 613 LF
REQUIREMENT: 3 TREES PER 100 LF 19 TREES

PROVIDED:
EXISTING TREES 11
PROPOSED TREES 8

TOTAL PROVIDED 19

TOTAL INTERIOR LANDSCAPE ISLANDS REQUIREMENT: 1 TREE PER ISLAND 10 TREES

PROVIDED:
EXISTING TREES 2
PROPOSED TREES 8

TOTAL PROVIDED 10

Basin Trees:

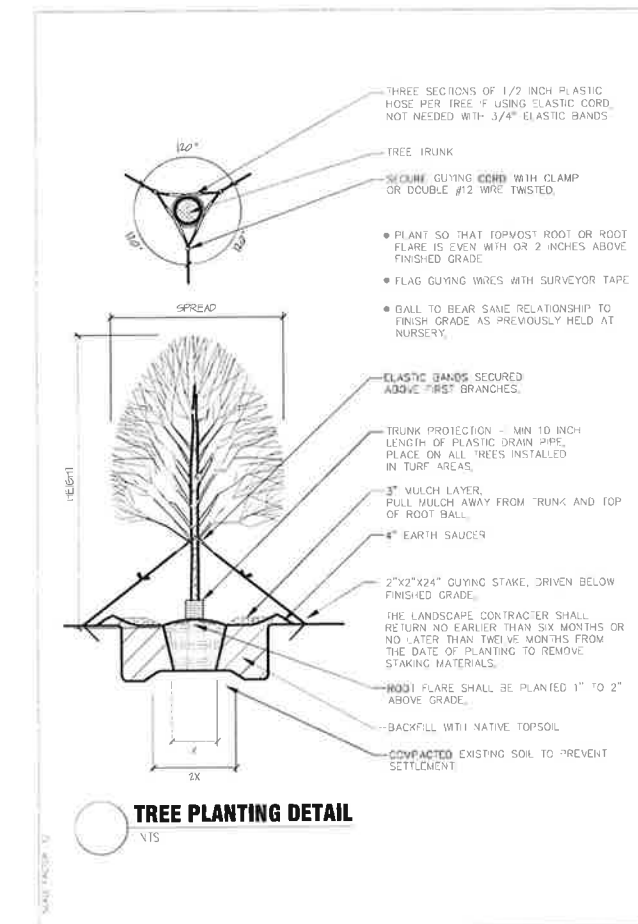
EXISTING BASIN NOT BEING MODIFIED

BUFFER CALCULATIONS:

ARCHER WOODS BUFFER

BUFFER TYPE: B
LENGTH @ WIDTH: 1.25 LF @ 9 FT WIDE

MATERIAL:	REQUIRED:	EXISTING:	PROPOSED:
SHADE TREES	1.25 x 3 = 4.1	3	2 TREES
UNDERSTORY TREES	1.25 x 2 = 2.7	3	0 TREES
SHRUBS	1.25 x 20 = 27	0	30 SHRUBS



PREPARED BY:



3458 NW 13th Avenue
Gainesville, Florida 32605
Ph. 352-373-8270 Fax 856-845-7717
LC 26000252

PREPARED FOR:

**PRIMAX
PROPERTIES, LLC**

CHARLOTTE, NC

PROJECT:

**BOJANGLES
RESTAURANT**
ARCHER ROAD
GAINESVILLE, FL

SHEET TITLE:

**TABLES, NOTES
&
DETAILS**

PROJECT PHASE:

**GRU
SUBMITTAL**

ISSUE DATE:

JULY 5, 2016

NO.	DATE	COMMENTS
1	8/15	REV COMMENTS

PROFESSIONAL SEAL:

LAWRENCE E. TEAGUE
FLORIDA: LA0001582

PROJECT NUMBER:

16013.1

DRAWN BY:

ALZ

CHECKED BY:

LET

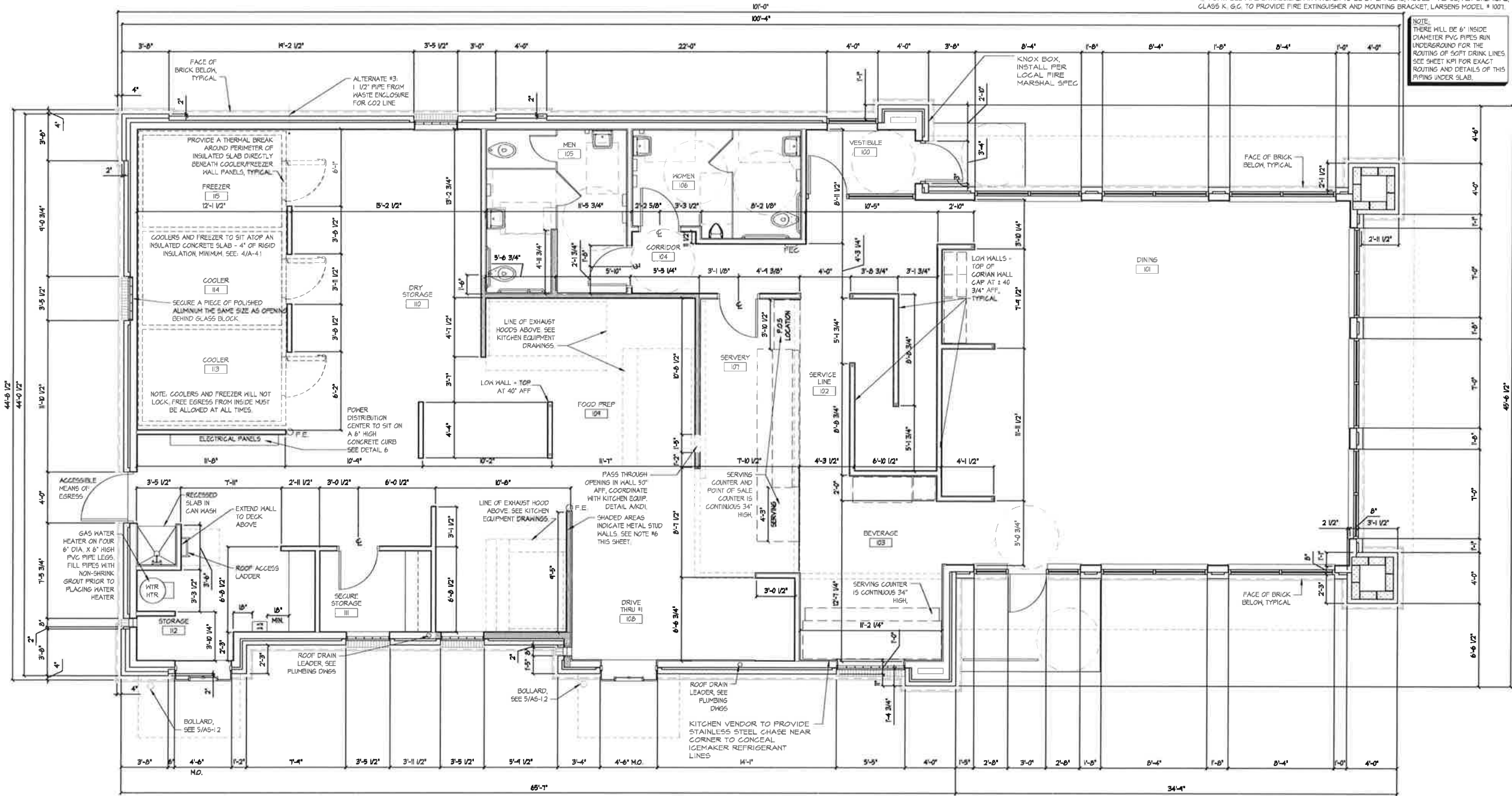
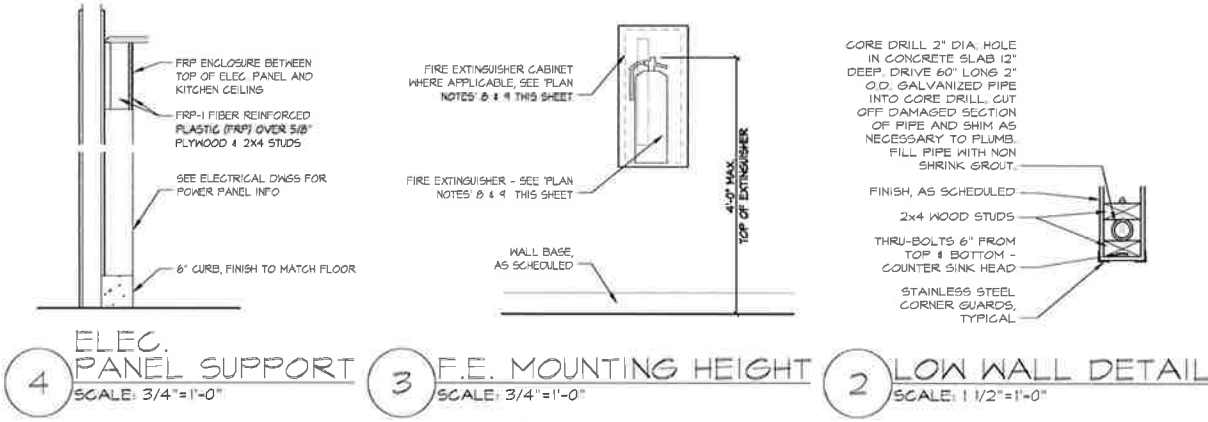
SHEET NUMBER:

LS-3

THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE. IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.

PLAN NOTES:

- DIMENSIONS ARE FROM FACE OF STUD & FACE OF MASONRY/EIFS, UNLESS OTHERWISE NOTED. REFER ALSO TO K DRAWINGS FOR CRITICAL CLEAR DIMENSIONS.
- ALL EXTERIOR WALLS ARE TO BE 2x6 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS ARE TO BE 2x4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD IS TO BE 5/8" THICK TYPE-X.
- ALL INTERIOR PARTITIONS ARE TO EXTEND UP PAST THE ADJACENT CEILING 4" MINIMUM. DIAGONALLY BRACE ALL PARTITIONS TO STRUCTURE ABOVE WITH 2x4 STUDS AT 48" O.C. TYPICAL.
- SHADED WALLS INDICATE INSTALLATION OF METAL STUDS IN LIEU OF WOOD STUDS ADJACENT TO VENT HOODS AS REQUIRED BY CODE. INTERIOR PARTITIONS ARE TO BE 3/2" METAL STUDS AND EXTERIOR WALLS ARE TO BE 5/2" METAL STUDS WHERE INDICATED. ALL METAL STUDS ARE TO EXTEND A MINIMUM OF 18" PAST THE VENT HOODS HORIZONTALLY AS WELL AS 18" ABOVE THE TOP OF THE VENT HOODS. ANY PIPING, WIRING, OR OTHER CONSTRUCTION MATERIALS ADJACENT OR INSIDE WALL, MUST BE NON-COMBUSTIBLE.
- ALL TERMINATIONS AND TRANSITIONS OF THE EXTERIOR INSULATING FINISH SYSTEM (EIFS) ARE TO BE CONSTRUCTED PER THE EIFS MANUFACTURER'S RECOMMENDED DETAILS SO AS TO MAINTAIN THE PRODUCT'S FULL WARRANTY.
- FIRE EXTINGUISHER CABINET IS TO BE BY LARSENS, MODEL # 2401-6R, G.G. TO PROVIDE LARSENS MULTI-PURPOSE PORTABLE FIRE EXTINGUISHER MODEL # HP10 FOR INSTALLATION IN CABINET.
- PORTABLE FIRE EXTINGUISHER IN KITCHEN TO BE BY LARSENS, MODEL # WC-6L, WET CHEMICAL, CLASS K, G.G. TO PROVIDE FIRE EXTINGUISHER AND MOUNTING BRACKET, LARSENS MODEL # 100T.



OCCUPANCY CLASS: A2
CONSTRUCTION TYPE: V-B
SQUARE FOOTAGE: 3086 SF (FOOTPRINT)

1 FLOOR PLAN
SCALE: 1/4"=1'-0"

BOJANGLES' 8 RESTAURANT
ARCHER ROAD NEAR
SOUTHWEST 34TH STREET
GAINESVILLE, FLORIDA

ISSUE DATE: 07-01-16
REVISION 1: _____
REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
PROJECT # : _____
CONTENT: FLOOR PLAN & DETAILS
PROJECT ARCHITECT: JDP
DRAWN BY: WCH
CADD FILE NAME: _____

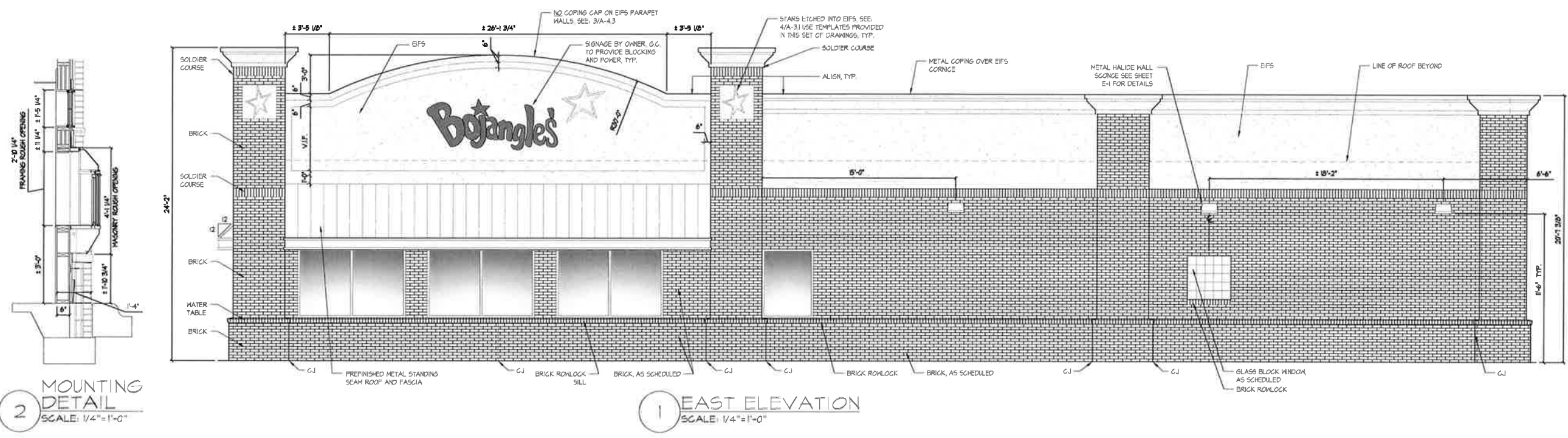
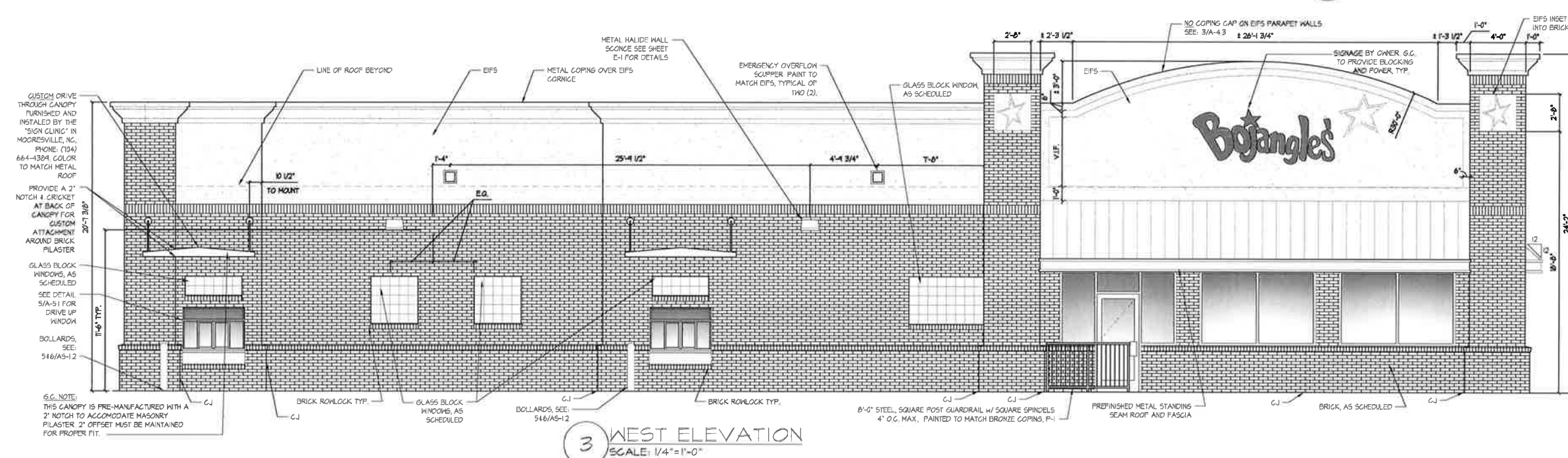
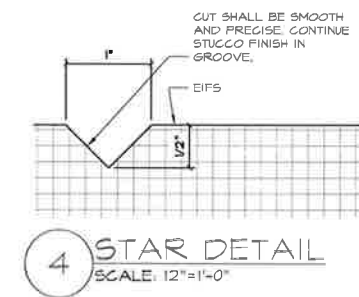
THIS DRAWING AND THE DESIGN SHOWN HEREIN ARE THE PROPERTY OF BOJANGLES' RESTAURANTS, INC. THE REPRODUCTION OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION.
Sheet
SD-1



421 Penman Street, Suite 200, Charlotte, NC 28203
Email: esd@esdarch.com • Fax: 704-373-0902 • Phone: 704-373-1900

NOTE: ALL SIGNAGE, AS WELL AS ETCHED STARS, ARE TO BE REVIEWED AND APPROVED BY LOCAL ZONING AUTHORITIES, PRIOR TO INSTALLATION

THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS, ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE; IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK, NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.



ESD
architecture + interior design

421 Penman Street, Suite 200, Charlotte, NC 28203
Email: esd@esdarch.com • Phone: 704-373-0902 • Fax: 704-373-1900

BOJANGLES' 8 RESTAURANT
ARCHER ROAD NEAR
SOUTHWEST 34TH STREET
GAINESVILLE, FLORIDA

ISSUE DATE: 07-01-16

REVISION 1: _____
 REVISION 2: _____
 REVISION 3: _____
 REVISION 4: _____

PROJECT #: -
 CONTENT: EXTERIOR ELEVATIONS

PROJECT ARCHITECT: JDP
 DRAWN BY: WCH
 CADD FILE NAME: _____

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF BOJANGLES RESTAURANTS, INC. THE REPRODUCTION OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY INFREEMENT IS SUBJECT TO LEGAL ACTION.

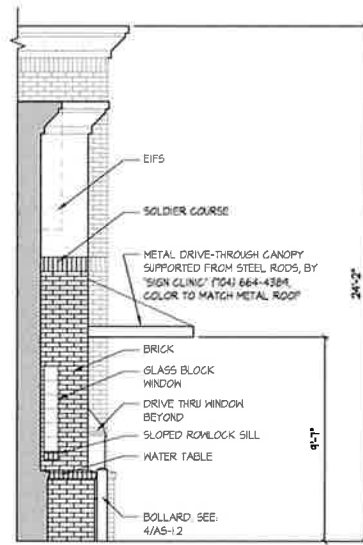
Sheet
SD-2

NOTE: ALL SIGNAGE, AS WELL AS ETCHED STARS, ARE TO BE REVIEWED AND APPROVED BY LOCAL ZONING AUTHORITIES, PRIOR TO INSTALLATION

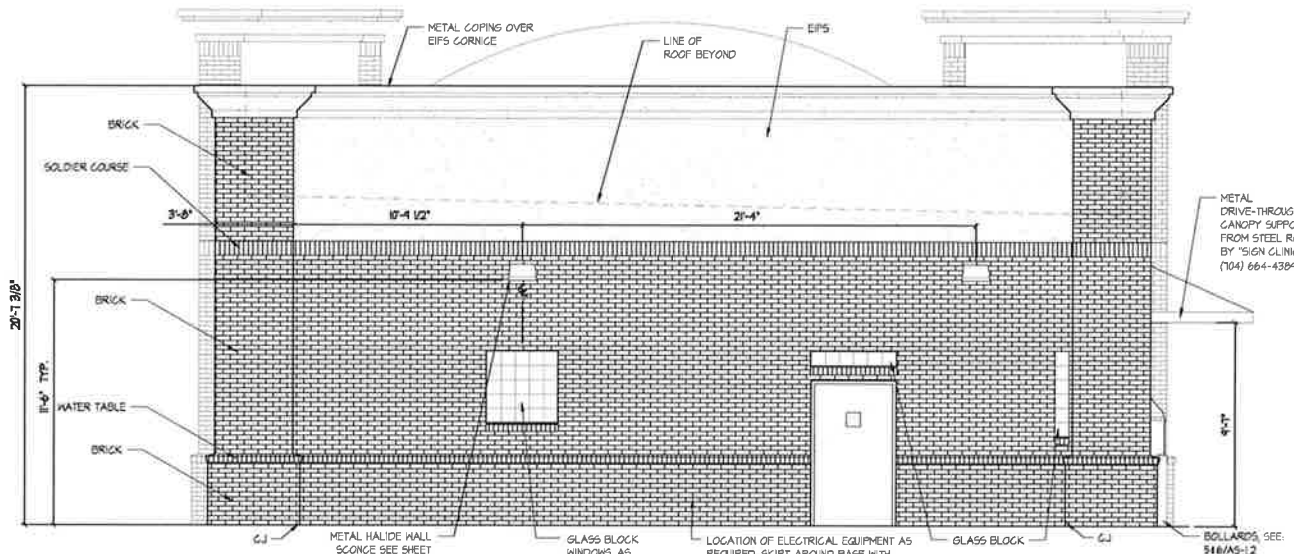
THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE; IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.

EXTERIOR FINISH SCHEDULE					
MATERIAL	DESCRIPTION	MANUFACTURER	STYLE / MODEL	COLOR / FINISH	REMARKS
EIFS	EXTERIOR INSULATING FINISH SYSTEM WITH DRAINAGE	STO CORP	StoTherm CI Essence INSULATED WALL CLADDING SYSTEM	NA12-2023 IN StoFoverwall FINE (80246) FINISH	INSTALL OVER STOWARD LIQUID APPLIED WEATHER RESISTIVE BARRIER
BRICK	MODULAR MASONRY UNITS	TRIANGLE BRICK CO	OLD SOUTH HANDFORM	---	---
MORTAR	MORTAR CEMENT	ESSROC CEMENT CORP.	BRIMPTON-IN-COLOR	TO MATCH EIFS COLOR	---
ALUM. STOREFRONT	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	KAWNEER	451-T CENTER SET	CLEAR ANODIZED	---
METAL ROOF	STANDING SEAM METAL ROOF	CONSTRUCTION METAL PRODUCTS 888-750-4821	16" - NO RIBS	CUSTOM COLOR - MATCH FANTONE COLOR: T3 G	CUSTOM FACIA SHAPED BY ROOF MANUF
COPING CAP	METAL COPING CAP ON PARAPET	DURO-LAST COPING	GANTED COPING	REFINISHED BRONZE	CUSTOM FABRICATED
GLASS BLOCK WINDOWS	PRE-ASSEMBLED WINDOW UNIT	PITTSBURGH-CORNING	LIGHTWISE	DECORA BLOCK SANDSTONE FRAME	---
EXT. PAINT	EXTERIOR PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL URETHANE ALKYD ENAMEL	MATCH TO BRONZE COPING	USE ON KITCHEN DOOR, EXT STORAGE & WASTE ENCLOSURE GATES

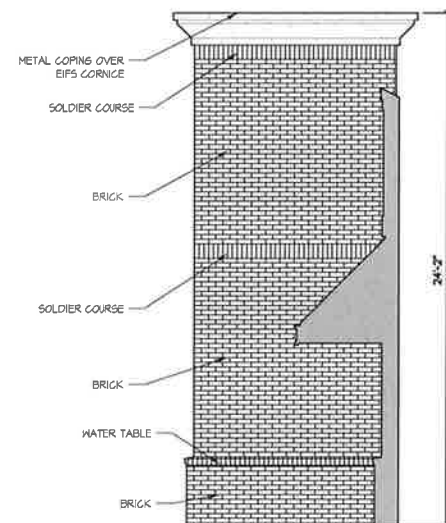
- NOTES:
- SUBSTITUTIONS ARE ALLOWED ONLY WITH THE PRIOR APPROVAL OF BOJANGLES' RESTAURANTS, INC. AND IF THE SUBSTITUTION MEETS OR EXCEEDS THE STANDARD SET BY THE PRODUCT SPECIFIED HERE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - ALL EXPOSED FLASHING AT METAL ROOFS TO MATCH ROOF COLOR; OTHER LOCATIONS TO BE "BRONZE" COLOR.
 - SUBMIT SAMPLES OF METAL ROOF COLORS TO OWNER FOR APPROVAL PRIOR TO PROCUREMENT.



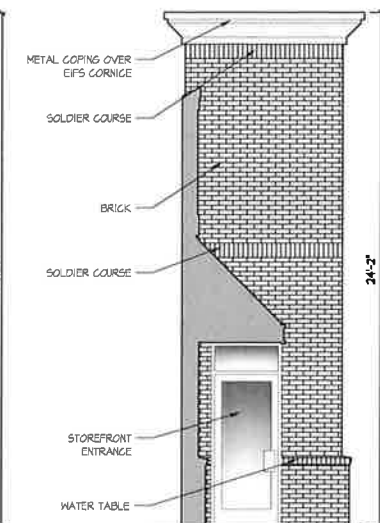
5 PARTIAL ELEVATION
SCALE: 1/4"=1'-0"



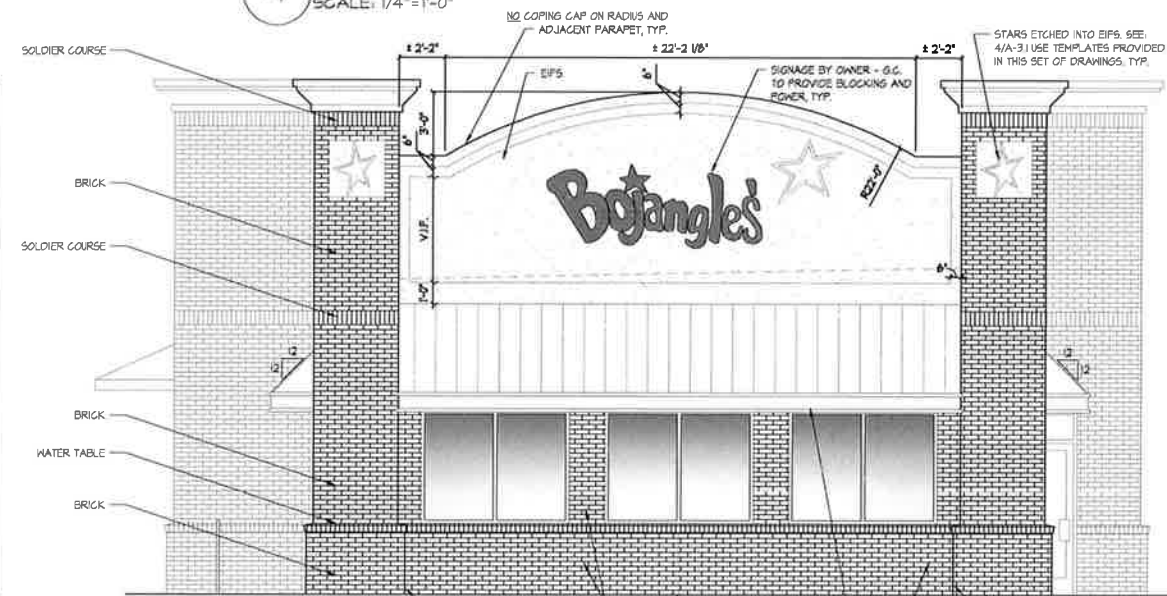
4 NORTH ELEVATION
SCALE: 1/4"=1'-0"



3 PARTIAL ELEVATION
SCALE: 1/4"=1'-0"



2 PARTIAL ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

TOTAL AREA: 172.8
GLASS AREA: 87.6
GLAZING IS 50.7% OF THE FRONT AREA REQUIRED FOR CALCULATION.
NOTE: GLASS IS CLEAR LOW E

P:\CLIENT FILES\Bojangles\Projects Preliminary\Bojangles - Gainesville, FL (Archer Road)\SD\AO3-2 EXTERIOR ELEVATIONS.dwg, Plotted By: cdavis, Plotted: Jun 30, 2016 - 8:43am

BOJANGLES' 8 RESTAURANT
ARCHER ROAD NEAR
SOUTHWEST 34TH STREET
GAINESVILLE, FLORIDA

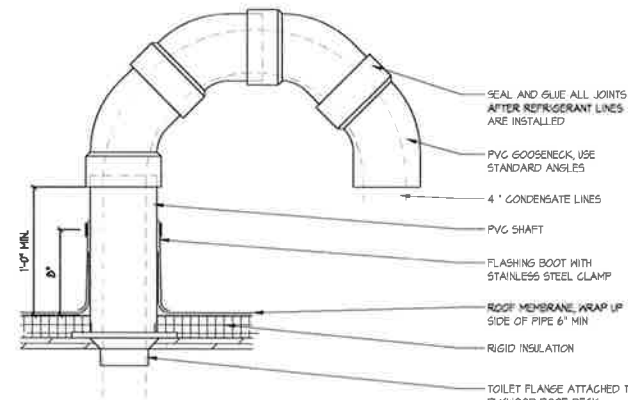
ISSUE DATE: 07-01-16
REVISION 1: _____
REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
PROJECT #: _____
CONTENT: EXTERIOR ELEVATIONS
PROJECT ARCHITECT: JDP
DRAWN BY: WCH
CADD FILE NAME: _____

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF BOJANGLES' RESTAURANTS, INC. THE REPRODUCTION OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION.

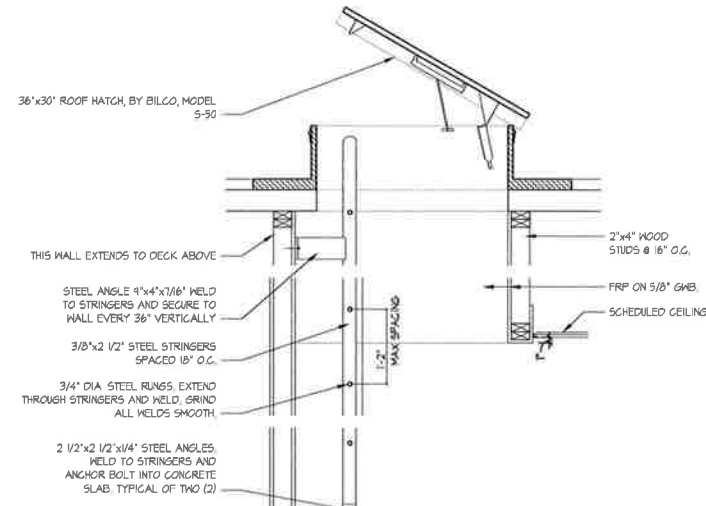
Sheet
SD-3



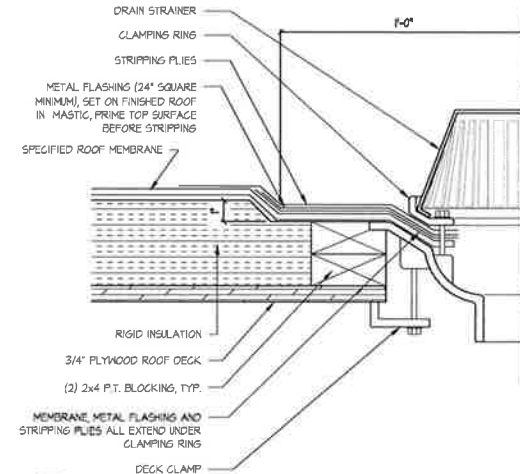
421 Penman Street, Suite 200, Charlotte, NC 28203
Email: esd@esdarch.com • Phone: 704-373-1900



5 PENETRATION DETAIL
SCALE: N.T.S.

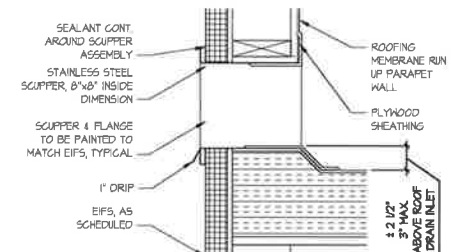


4 ROOF HATCH DETAIL
SCALE: 3/4"=1'-0"



3 ROOF DRAIN DETAIL
SCALE: 3"=1'-0"

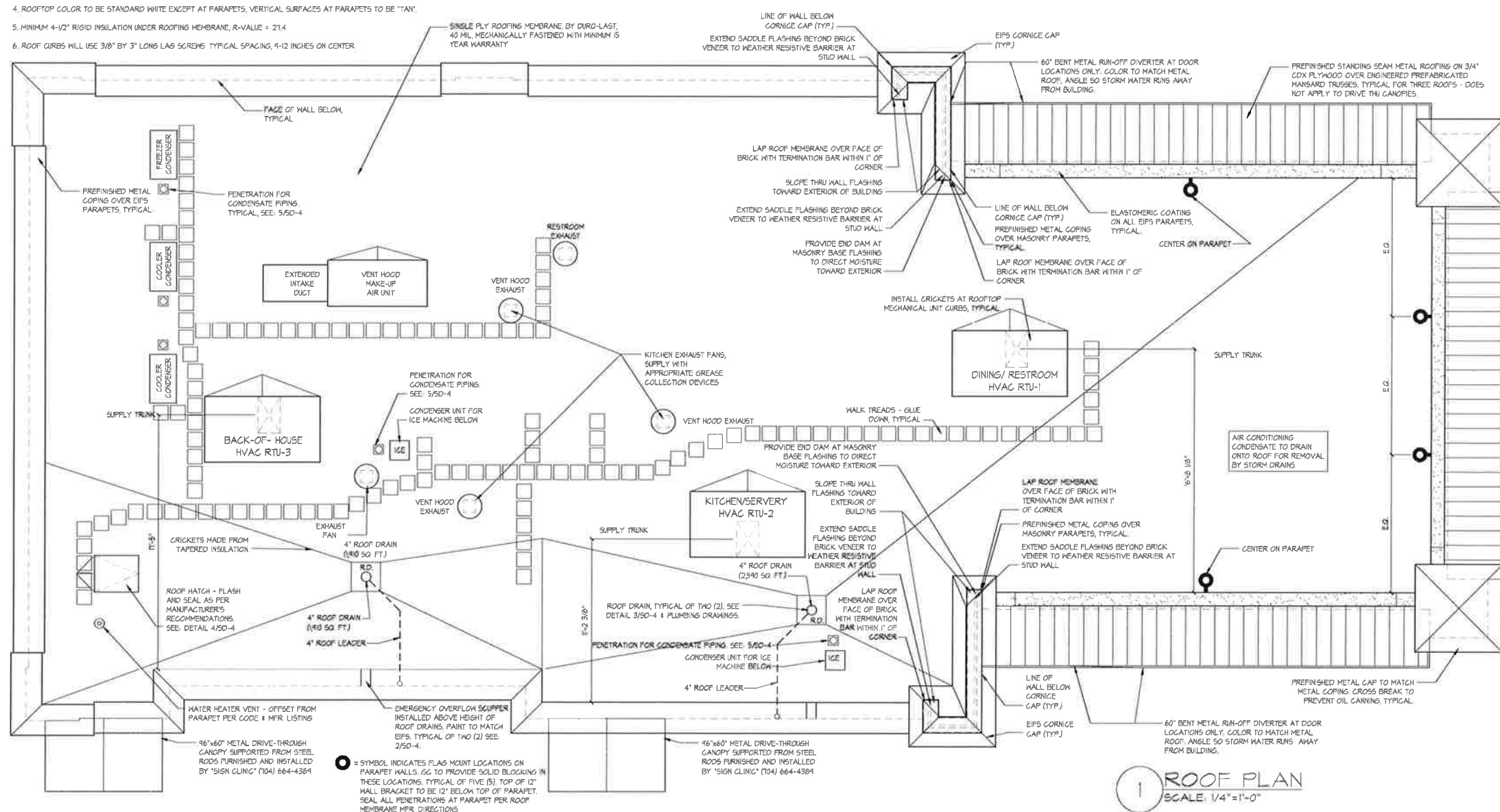
THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE. IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.



2 EMERGENCY OVERFLOW SCUPPER DETAIL
SCALE: 1 1/2"=1'-0"

ROOF PLAN NOTES:

1. PROVIDE 2X6 BLOCKING BETWEEN ROOF TRUSSES DIRECTLY BENEATH ANY EQUIPMENT LOCATED ON THE ROOF. SEE STRUCTURAL DRAWINGS.
2. INCLUDE CANT STRIPS IF REQUIRED BY ROOFING MANUFACTURER TO MAINTAIN WARRANTY.
3. ROOFTOP EQUIPMENT CONDENSATE LINES SHALL BE ROUTED TO ROOF DRAINS TYP.
4. ROOFTOP COLOR TO BE STANDARD WHITE EXCEPT AT PARAPETS, VERTICAL SURFACES AT PARAPETS TO BE "TAN".
5. MINIMUM 4-1/2" RIGID INSULATION UNDER ROOFING MEMBRANE, R-VALUE = 21.4
6. ROOF CURBS WILL USE 3/8" BY 3" LONG LAG SCREWS TYPICAL SPACING, 9-12 INCHES ON CENTER



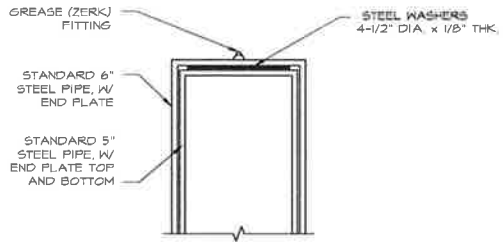
1 ROOF PLAN
SCALE: 1/4"=1'-0"

BOJANGLES' 8 RESTAURANT
ARCHER ROAD NEAR
SOUTHWEST 34TH STREET
GAINESVILLE, FLORIDA

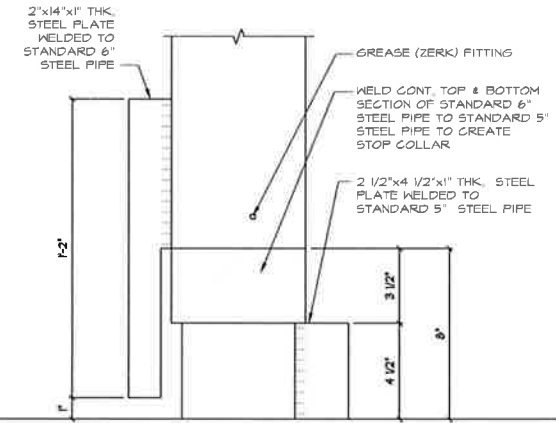
ISSUE DATE: 07-01-16
REVISION 1: _____
REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
PROJECT #: _____
CONTENT: **ROOF PLAN & DETAILS**
PROJECT ARCHITECT: JDP
DRAWN BY: WCII
CADD FILE NAME: _____
THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF BOJANGLES' RESTAURANTS, INC. THE REPRODUCTION OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION.
Sheet
SD-4

ESD
architecture + interior design
421 Periman Street, Suite 200, Charlotte, NC 28203
Email: esd@esdarch.com • Fax: 704-373-0902 • Phone: 704-373-1900

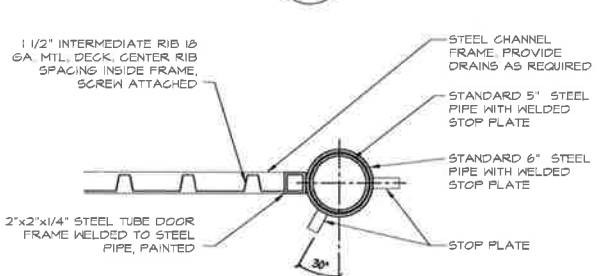
P:\CLIENT FILES\Bojangles\Projects Preliminary\Bojangles - Gainesville, FL (Archer Road)\SD\AS01-1 SITE DETAILS.dwg, Plotted By: cdavis, Plotted: Jun 30, 2016 - 9:06am



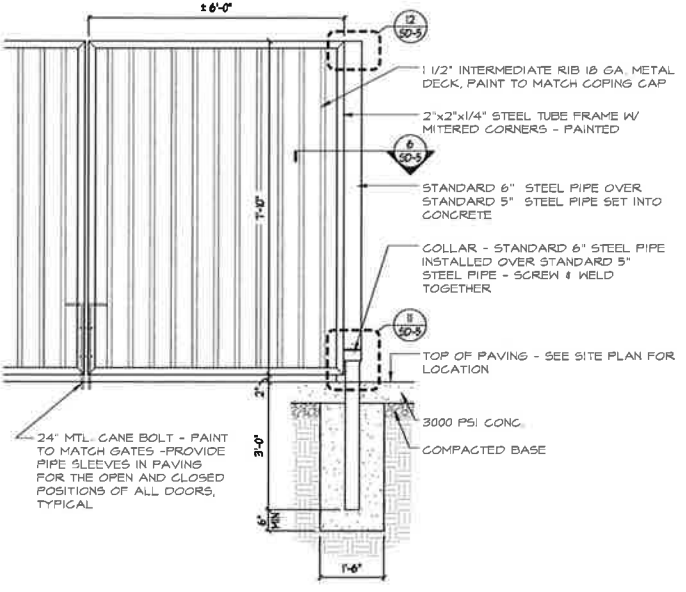
12 GATE DETAIL
SCALE: 1/2"=1'-0"



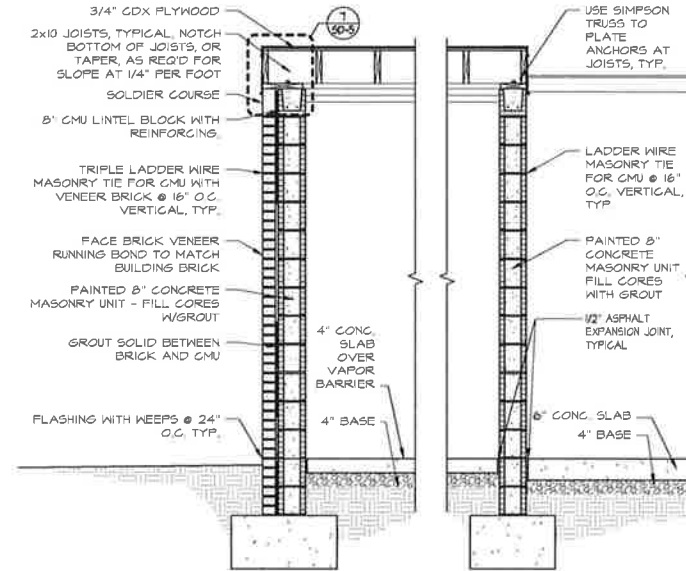
11 GATE DETAIL
SCALE: 1/2"=1'-0"



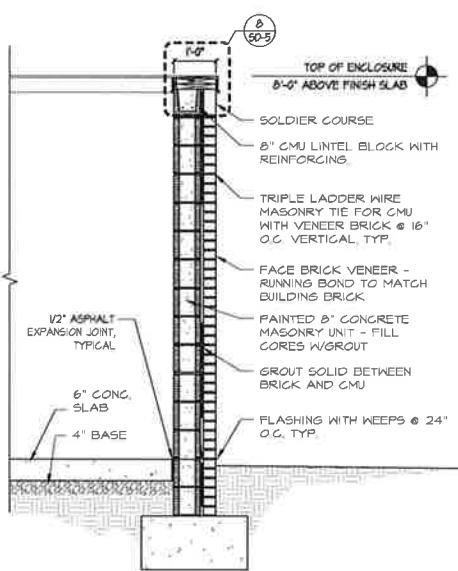
6 GATE DETAIL
SCALE: 1/2"=1'-0"



3 GATE ELEVATION DETAIL
SCALE: 1/2"=1'-0"



10 WASTE ENCLOSURE SECTION
SCALE: 1/2"=1'-0"

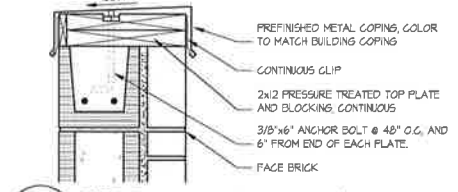


9 WASTE ENCLOSURE WALL SECTION
SCALE: 1/2"=1'-0"

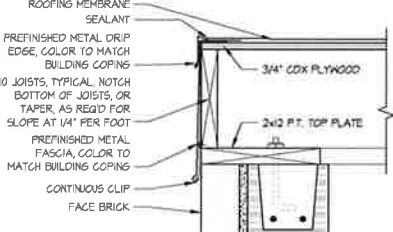
THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECTS AND ENGINEER'S SCOPE. IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.

PLAN NOTES:

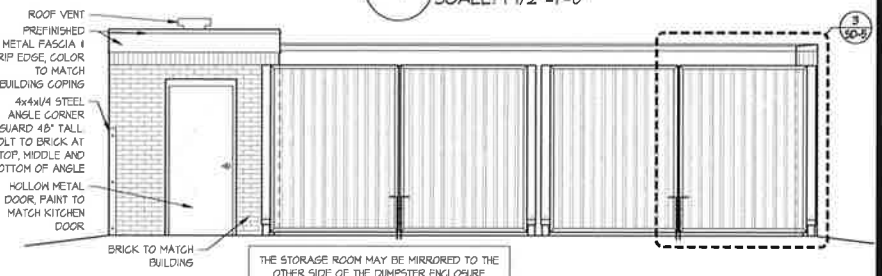
1. ALL STEEL TO BE WELDED AND GROUND SMOOTH.
2. GATES AND ALL STEEL COMPONENTS ARE TO BE PRIMED AND PAINTED TO MATCH BRONZE COLORED MASONRY COPING CAP
3. STANDARD SIZE 6" STEEL PIPE IS 6.325" O.D. THICKNESS OF 0.28"
4. STANDARD SIZE 5" STEEL PIPE IS 5.563" O.D. THICKNESS OF 0.258"



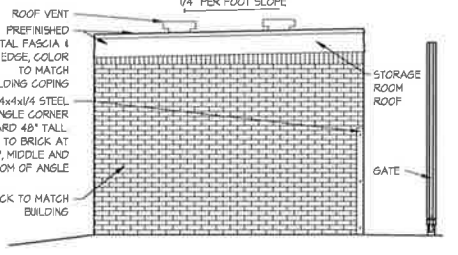
8 SECTION DETAIL
SCALE: 1/2"=1'-0"



7 SECTION DETAIL
SCALE: 1/2"=1'-0"

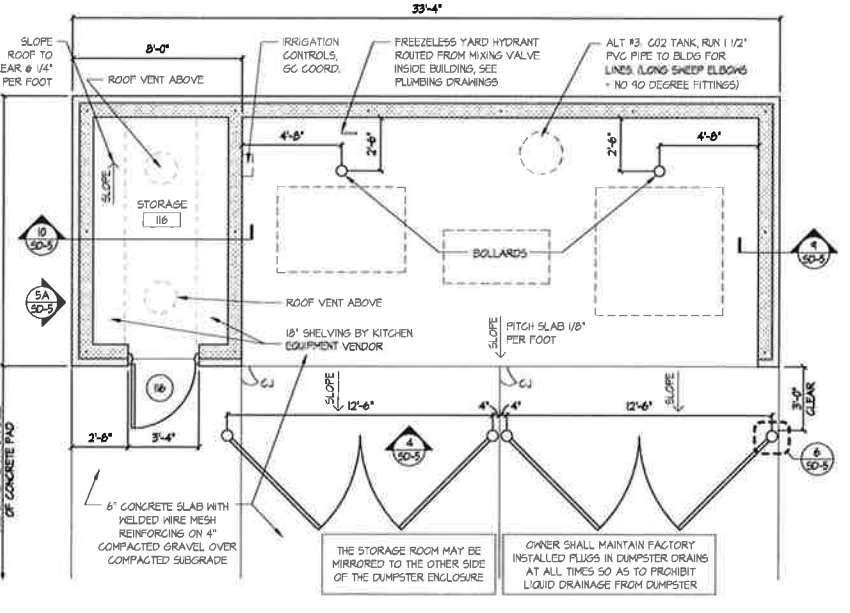


4 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



5A WEST ELEVATION
SCALE: 1/4"=1'-0"

5 NOT USED
SCALE: 1/4"=1'-0"



1 WASTE ENCLOSURE PLAN
SCALE: 1/4"=1'-0"

2 NOT USED
SCALE: 1/4"=1'-0"

BOJANGLES' 8 RESTAURANT
ARCHER ROAD NEAR
SOUTHWEST 34TH STREET
GAINESVILLE, FLORIDA

ISSUE DATE: 07-01-16

REVISION 1: --
REVISION 2: --
REVISION 3: --
REVISION 4: --

PROJECT #: --
CONTENT: SITE DETAILS

PROJECT ARCHITECT: JDP
DRAWN BY: WCI
CADD FILE NAME:

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF BOJANGLES' RESTAURANTS, INC. THE REPRODUCTION OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION.

Sheet
SD-5



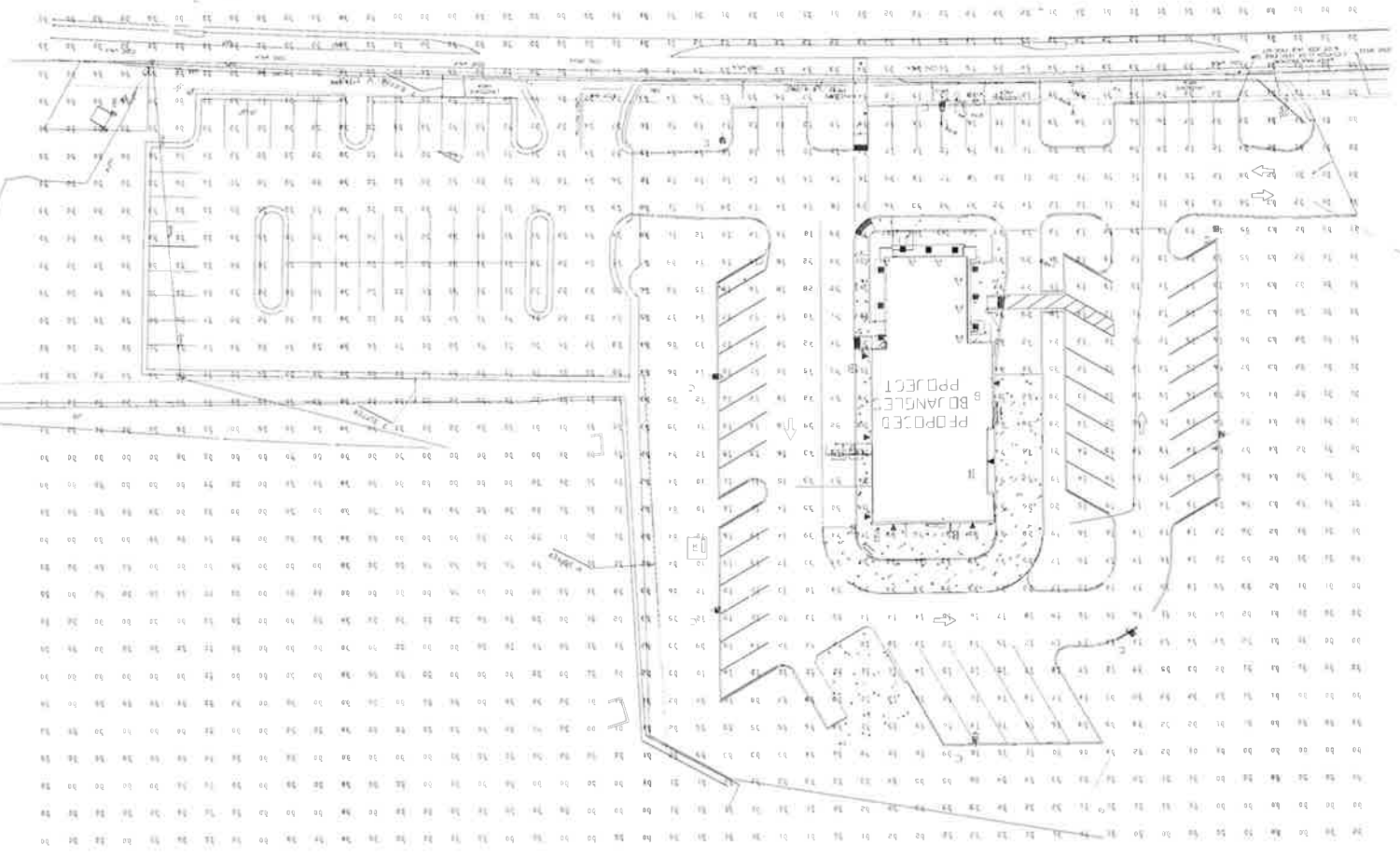
architecture + interior design
421 Penman Street, Suite 200, Charlotte, NC 28203
Email: esd@esdarch.com • Fax: 704-373-0902 • Phone: 704-373-1900

Scale: 1/8" = 1'-0"
 Date: 08/15/13
 Project: 13-001
 Drawing: 13-001-02
 Title: LIGHTING PLAN
 Designer: [Signature]
 Checker: [Signature]
 Date: 08/15/13

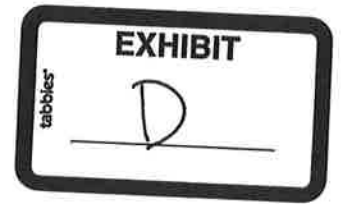
REV	DATE	DESCRIPTION
1	08/15/13	ISSUE FOR PERMIT
2	08/15/13	REVISIONS
3	08/15/13	REVISIONS
4	08/15/13	REVISIONS

NO.	DESCRIPTION	QTY	UNIT
1	XSL2-S-50 LED Crossover Sign	1	EA
2	XGBWM3 LED Crossover Wall Mount Light	1	EA
3	XLCM LED Crossover Free Light	1	EA

LIGHTS SUPPLIED BY LSI INDUSTRIES
CONTACT: Art Boelke
PH: 336-877-3486 FAX: 336-877-1056
E-MAIL: a.boelke@shannonandassoc.com



This drawing is a preliminary design and is not to be used for construction. It is intended for informational purposes only. The designer shall not be responsible for any errors or omissions in this drawing. The client shall verify all information and dimensions before construction.



COMPREHENSIVE PLAN GOALS, OBJECTIVES, AND POLICIES:

Following is an analysis of the consistency of the proposed plan with the applicable policies of the Comprehensive Plan.

The proposed project is consistent with the goals, objectives, and policies contained within the Comprehensive Plan and referenced below:

Future Land Use Element:

GOAL 1: Improve the quality of life and achieve a superior, sustainable development pattern in the city by creating and maintaining choices in housing, offices, retail, and workplaces, and ensuring that a percentage of land uses are mixed, and within walking distance of important destinations.

GOAL 2: Redevelop areas within the city, as needed, in a manner that promotes quality of life, transportation choice, a healthy economy, and discourages sprawl.

Objective 2.1 Redevelopment should be encouraged to promote compact, vibrant urbanism, improve the condition of blighted areas, discourage urban sprawl, and foster compact development patterns that promote transportation choice.

Policy 4.1.1 Land Use Categories on the Future Land Use Map shall be defined as follows:

Commercial

The Commercial land use category identifies those areas most appropriate for large scale highway-oriented commercial uses. Land development regulations shall determine the appropriate scale of uses. This category is not appropriate for neighborhood centers. Intensity will be controlled by adopting height limits of 5 stories or less, requiring buildings to face the street, and modest build-to lines instead of a maximum floor area ratio; however, height may be increased to a maximum of 8 stories by special use permit.

Transportation Mobility Element:

Objective 10.4 Automobile-oriented developments/uses within the TMPA, including drive-through facilities, surface parking lots as a principal use, parking garages, car washes, and gasoline service stations, shall be regulated as follows.

Policy 10.4.4 Drive-through facilities shall be defined to include banking facilities, payment windows, restaurant, food and/or beverage sales, dry cleaning, express mail services, and other services that are extended mechanically or personally to customers who do not exit their vehicles. The following uses

shall not be considered drive-throughs: auto fuel pumps and depositories that involve no immediate exchange or dispersal to the customer, such as mail boxes, library book depositories, and recycling facilities.

In addition to the review criteria set in the Land Development Code for Special Use Permits, the approval of a drive-through facility shall be based on the following criteria:

- a. maximization of pedestrian and bicycle safety and convenience;
- b. adequate queuing space for vehicles such that there is no back-up of traffic onto adjacent roadways;
- c. provision of a by-pass lane or sufficient driveway area around the drive-through lanes to assist internal vehicular circulation;
- d. minimization of the visual impacts of the drive-through lanes on street frontage areas;
- e. minimization of the total number of drive-through lanes based on site conditions and the operating conditions of the impacted roadway segments;
- f. minimization of the number of access points to roadways;
- g. design of access points and ingress/egress directional flows to minimize impacts on the roadway and non-motorized traffic;
- h. design of internal pedestrian access and safety as related to the position of the drive-through lane(s); and
- i. meeting any additional design criteria established in the Land Development Code.

Policy 10.4.5

Unless otherwise prohibited or regulated by a special area plan, the development of new free-standing drive-through facilities or expansion of or development activity at existing free-standing drive-through facilities not meeting the provisions of Policy 10.4.6 shall be required to obtain a Special Use Permit. These drive-through facilities shall meet the Special Use Permit criteria in the Land Development Code and review criteria shown in Policy 10.4.4. In addition, drive-through facilities not developed under the provisions of Policy 10.4.6 or 10.4.7 shall also meet the following standards:

- a. There shall be a minimum distance of 400 feet between the driveways of sites with free-standing drive-through facilities on roadways operating at 85% or more of capacity. Roadway capacity shall be measured using the latest version of Art-Plan or a method deemed acceptable by the Technical Advisory Committee Subcommittee of the Metropolitan Transportation Planning Organization. Available capacity shall include consideration of reserved trips for previously approved developments and the impacts of the proposed development. The 400 feet distance requirement shall not apply if any of the following criteria are met: 1. Joint driveway access or common access

is provided between the sites with free-standing drive-through facilities; 2. Cross access is provided with an adjoining property; 3. A public or private road intervenes between the two sites; or 4. The development provides a functional design of such high quality that the pedestrian/sidewalk system and on-site/off-site vehicular circulation are not compromised by the drive-through facility. This determination shall be made as part of the Special Use Permit and development plan review process and shall be based on staff and/or board review and approval.

- b. There shall be no credit for pass-by trips in association with the drivethrough facility. Criteria that must be met for any of the zones shall be based on total trip generation for the use and shall not include any net reduction for pass-by trips.