



City of Gainesville
Department of Doing
Planning Division

PO Box 490, Station 11
Gainesville, FL 32627-0490
306 NE 6th Avenue
P: (352) 334-5022
F: (352) 334-2648

CITY DEVELOPMENT REVIEW BOARD STAFF REPORT

PUBLIC HEARING DATE: August 28, 2018

ITEM NO: 1

PROJECT NAME AND NUMBER: Design Plat Tanglewood Residential Community (DB-18-56)

APPLICATION TYPE: Legislative

CITY PROJECT CONTACT: Andrew Persons

RECOMMENDATION: Approval of the proposed cluster subdivision design plat



Figure 1: Location Map

APPLICATION INFORMATION:

Agent/Applicant: CHW
Property Owner(s): Weseman Development, LLC.
Related Petition(s): DB-18-20 (Markets West Mixed-Use)
Legislative History: N/A
Neighborhood Workshop: April 12, 2018

SITE INFORMATION:

Address: Vacant
Parcel Number(s): 06677-003-000,06675-001-000,06675-003-000
Acreage: 92.65 acres
Existing Use(s): Vacant land
Land Use Designation(s): Residential Low Density (RL)
Zoning Designation(s): RMF-5: Single-Family/Multiple-Family Residential
Overlay District(s): N/A
Transportation Mobility Program Area (TMPA): Zone D
Census Tract: 22.18
Water Management District: St. Johns River Water Management District
Special Feature(s): N/A
Annexed: 2016
Code Violations: N/A

ADJACENT PROPERTY CHARACTERISTICS:

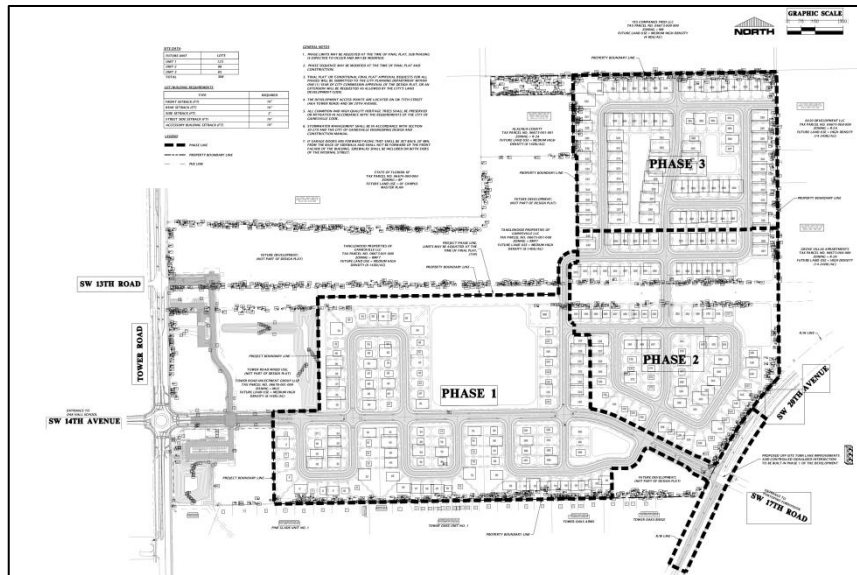
	EXISTING USE(S)	LAND USE DESIGNATION(S)	ZONING DESIGNATION(S)
North	Vacant	Residential Medium Density	RMF-7
South	Tower Oaks Condos	Medium Density	PD
East	The Grove Apartments, SW 20 th Avenue	High Density	R-2A
West	Vacant	Mixed-Use Medium	MU-2

PURPOSE AND DESCRIPTION:

This petition includes design plat review of a 308 lot single-family residential subdivision on a portion of a mixed use development which includes commercial and office uses planned to the west of the boundaries of the design plat as well as multi-family apartments planned to the north. The mixed-use and multi-family portions of the overall subject property depicted in Figure 1 are part of separate site plan applications. The residential subdivision is connected to the adjoining developments by a collector road that bisects the property north-south connecting Tower Road and SW 20th Avenue.

The subdivision is planned to be phased over three units detailed below:

Unit phase	Lots per phase
1	125
2	98
3	85
Total	308



The proposed design plat is proposed as a cluster subdivision under the Section 30-6.7 of the City’s Land Development Code. The purpose of a cluster subdivision is to allow residential development without strict adherence to the dimensional requirements of the zoning code of the city in order to provide for infill development where appropriate; to provide for better utilization of land; to provide for zero lot line development; to promote efficiency through design; and to provide for design flexibility to meet changing market conditions. Cluster subdivisions allow development to reduce the lot sizes below the underlying zoning and permit smaller setbacks. The cluster subdivision requires open space set-asides when lot sizes are being reduced below the minimum. Clustered open space is not required when the minimum lot sizes are not being reduced.

The proposed plat does not include lot size reductions but has proposed a 5' reduction to the interior side setback. The table below provides a setback comparison between the RMF-5 zoning and the design plat proposal.

Setback	RMF-5 standards	Proposed design plat
Front	10'	10'
Rear	10'	10'
Side, interior	10'	5'
Side, street	10'	10'
Accessory	5'	10'

Lot width	40'	55'
Lot depth	90'	110'

As shown by Figure 2, the design plat is connected to Tower Road and SW 20th Avenue by a collector roadway and a network of interior subdivision streets. Stub roads are proposed to the north and east. Connections to the adjacent multi-family and commercial/office parts of the development are also provided.

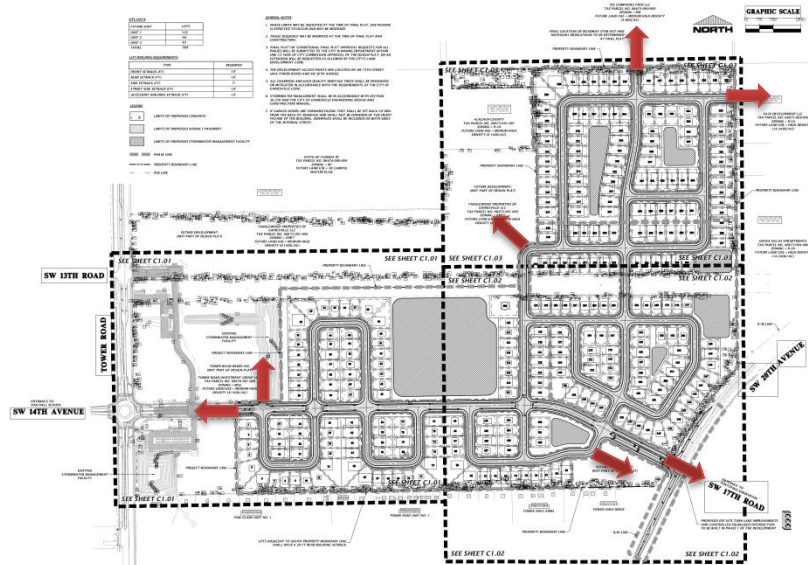
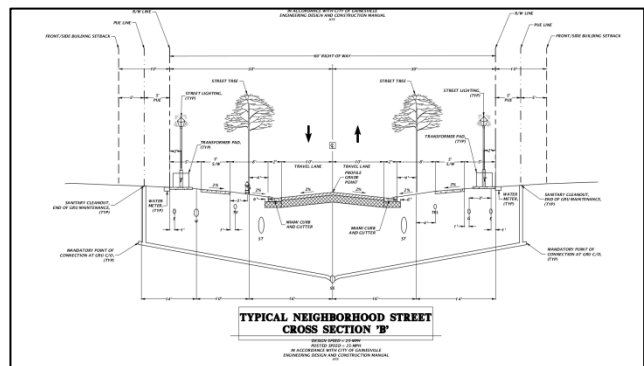
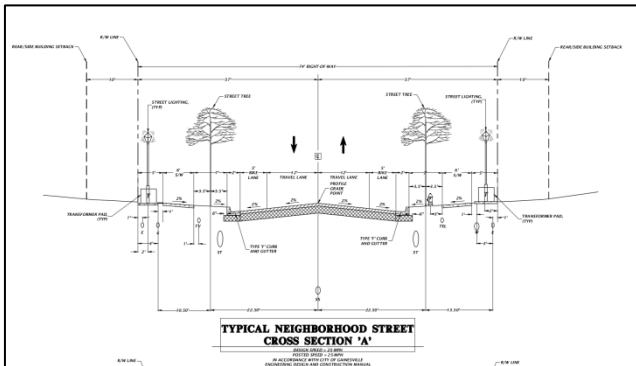


Figure 2: Road network/Layout

The typical street cross-sections are depicted below. The collector roadway (A) is designed with 12' travel lanes, 5' bike lanes, 7' tree lawns, and 6' sidewalks. The internal neighborhood streets (B) include 10' travel lanes, 8' tree lawns, and 5' sidewalks.



STAFF ANALYSIS AND RECOMMENDATION:

ANALYSIS:

Criteria for review of cluster subdivisions.

Cluster subdivision shall provide for better use of land and for a total environment, which is improved over that which could be achieved under standard regulations. The applicant shall present evidence that the proposed cluster subdivision uses the land better than a standard subdivision. If the city commission finds that a subdivision will be improved by the reasonable modification of the location, design or configuration of open space, building lots, streets and parking areas, the subdivision will be modified or denied. The following criteria shall guide the city in review of the proposed subdivision and in making any modifications thereof:

1. Individual lots, buildings, streets and parking areas shall be designed and situated to minimize alteration of the natural site features and topography. A minimum of 50 percent of all heritage trees shall be protected.

Heritage trees on the subject property shall be identified and protected during the development of the associated construction plan documents.

2. Individual lots, buildings and other structures shall be arranged and situated to relate to surrounding properties and to improve the view from, and the view of, buildings, lots and structures.

The proposed residential subdivision will connect to the adjacent commercial, office, and multi-family portions of the overall development site thereby promoting a mix of uses in an integrated development pattern.

3. Individual lots, buildings, streets and parking areas, and any accessory structures and improvements located in the cluster open space, shall be situated to avoid the adverse effects of shadows, noise and traffic on the residents of the site and to minimize the area devoted to motor vehicles.

The aforementioned interconnectivity between the subdivision and the adjacent development will limit vehicular trips on adjoining roadways such as Tower Road and SW 20th Avenue.

4. Cluster open space shall include any irreplaceable natural features located on the tract such as, but not limited to, stream beds and adjacent banks, wetlands, flood channels, floodplain areas, major tree groupings and individual trees of significant size.

As stated, the subdivision is not reducing the minimum lot size below the RMF-5 zoning therefore cluster open space is not required per code.

5. The usability of cluster open space intended for recreation or public use shall be determined by the size, shape, topographic and location requirements of the particular purpose proposed for the open space. Further, such space intended for recreation or public use shall be easily accessible to trail users including the elderly and handicapped, be integrated to form unbroken trail linkages between uses within the subdivision, and take advantage of opportunities to establish off-site linkages to nearby land uses, bikeways, sidewalks and greenways.

As stated, the subdivision is not reducing the minimum lot size below the RMF-5 zoning therefore cluster open space is not required per code.

6. To the extent practical, lands designated for greenways or other forms of public ownership or access in the conservation, open space or recreation element shall be included as cluster open space and dedicated as specified by section 30-6.6.

As stated, the subdivision is not reducing the minimum lot size below the RMF-5 zoning therefore cluster open space is not required per code.

7. Diversity and originality in lot layout and individual building design shall be encouraged to achieve the best possible relationship between the development and the land. Garage doors if forward facing shall be set back at least 20 feet from the back of sidewalk and shall not be forward of the front facade of the building. Sidewalks shall be included on both sides of the street internal to the cluster subdivision.

Residential single-family homes shall meet the cluster subdivision garage placement standards during building permit review. All streets within the subdivision will provide sidewalks on both sides of the road.

8. To the extent practical, cluster open space shall contain regulated surface waters and wetlands, and set-asides of regulated natural and archaeological resources.

As stated, the subdivision is not reducing the minimum lot size below the RMF-5 zoning therefore cluster open space is not required per code.

9. When lots abut wetlands or buffer areas, the property owner shall provide a ten-foot building construction setback from those areas for a construction work area, so that wetlands and buffer areas are not disturbed during any construction process.

There are no wetlands or wetland buffers on the subject property.

RECOMMENDATION: Approval of the proposed design plat review.

LIST OF APPENDICES:

- Appendix A** **Comprehensive Plan Goals, Objectives and Policies and Section 30-6.7 Cluster Subdivision**
- Appendix B** **Technical Review Committee (TRC) Conditions**
- Appendix C** **Development Plan**

Appendix A:

The proposed project is consistent with the goals, objectives, and policies contained within the Comprehensive Plan and referenced below:

Future Land Use Element:

GOAL 1: Improve the quality of life and achieve a superior, sustainable development pattern in the city by creating and maintaining choices in housing, offices, retail, and workplaces, and ensuring that a percentage of land uses are mixed, and within walking distance of important destinations.

Policy 1.2.3 The City should encourage mixed-use development, where appropriate.

Policy 1.2.5 The City should encourage creation of short-cuts for pedestrians and bicyclists with additional connections and cross access in order to create walking and bicycling connections between neighborhoods and neighborhood (activity) centers.

Policy 1.2.7 The City should strive, incrementally, and when the opportunity arises street by street to form an interconnected network of neighborhood streets and sidewalks supportive of car, bicycle, pedestrian, and transit routes within a neighborhood and between neighborhoods knitting neighborhoods together and not forming barriers between them. Dead ends and cul-de-sacs should be avoided or minimized. Multiple streets and sidewalks should connect into and out of a neighborhood.

GOAL 2: Redevelop areas within the city, as needed, in a manner that promotes quality of life, transportation choice, a healthy economy, and discourages sprawl.

Objective 2.1 Redevelopment should be encouraged to promote compact, vibrant urbanism, improve the condition of blighted areas, discourage urban sprawl, and foster compact development patterns that promote transportation choice.

Sec. 30-6.7. - Cluster subdivisions.

- A. *Purpose and intent.* The purpose of this section is to establish a process by which environmentally sensitive land and infill sites may be developed for residential purposes without strict adherence to the dimensional requirements of the zoning code of the city. The intent is to encourage better site planning than would normally occur by conventional subdivision procedures. Specifically, the objectives are to better preserve valuable open spaces, environmentally sensitive areas, existing tree cover; to provide for infill development where appropriate; to provide for better utilization of land; to provide for zero lot line development; to promote efficiency through design; and to provide for design flexibility to meet changing market conditions. Such development will be accomplished without an overall increase in density otherwise permitted in the zoning district in which the development is located as determined by the minimum lot size.
- B. *Permitted districts; minimum size.* A cluster subdivision may be permitted in any zoning district in which single-family dwellings are allowed as a permitted use and where the parcel to be subdivided has an area of five acres or more.
- C. *Approval procedure; design standards; name.*
1. Cluster developments shall be approved in accordance with the procedures established for plats. Further, cluster subdivisions involving attached housing in zoning districts that allow such housing types shall also secure development plan approval in accordance with article III.
 2. Design standards for improvements shall be in accordance with the provisions and regulations of this chapter.
 3. The name of a subdivision approved pursuant to this article shall be followed by the words "cluster subdivision," which shall become and be made a part of its official name.
 4. Application for cluster subdivision will be classified as either environmental or infill based on the following criteria:
 - a. *Environmental.* Development site contains regulated surface waters and wetlands or regulated natural and archaeological resources, or it is within a planning parcel that includes regulated natural and archaeological resources.
 - b. *Infill.* Cluster subdivision provides for infill development where appropriate, better use of land, zero lot line development, and/or promotes efficiency through design.
- D. *Dwelling types permitted.* Except in the RSF-1, RSF-2, RSF-3 and RSF-4 zoning districts, all types of attached and detached single-family residential dwellings may be permitted in a cluster subdivision. In the RSF-1, RSF-2, RSF-3 and RSF-4 districts only single-family detached dwellings will be permitted in a cluster subdivision. Within cluster subdivisions, a variety of lot sizes and architectural typologies shall be encouraged.
- E. *Modification of street, yard, and lot requirements.* Modifications to the lot area, lot width and depth, minimum yard setback, street width and layout requirements of the applicable zone may be permitted if shown on the design plat and such plat is approved by the city commission. No cluster subdivision of 50 acres or less in an RSF district shall have lot sizes reduced by more than 25 percent of that required by the district regulations. Each cluster subdivision may use zero lot line, regular lots or a combination of the two. However, each lot in a cluster subdivision that directly abuts developed property not in a cluster subdivision shall not have the following, unless the subdivision provides a 35-foot buffer around the entire subdivision:
1. An abutting side or rear yard that is less than that required for the abutting property; or
 2. A lot width that is less than 75 percent of the minimum lot width required in the zoning district for the abutting property.

- F. *Number of dwelling units permitted.* The total number of dwellings permitted in a cluster subdivision shall not exceed the number of dwelling units that would have been otherwise permitted by the density standards in the zoning district in which it is located. In the RSF-1, RSF-2, RSF-3, RSF-4, RMF-5 and RC districts, the permitted number of dwelling units may be calculated by dividing the total land area of the cluster subdivision by the minimum lot size required for the applicable zoning district. The number of dwelling units shall not exceed the density allowed by the zoning district.
- G. *Cluster open space requirement.*
1. Each cluster subdivision that reduces lot sizes below the minimum area required by the zoning district in which it is located shall provide cluster open space to be preserved and maintained for its scenic value, for recreational or conservation purposes and other related uses. This space shall be clearly indicated on the plat by the use of the words "cluster open space." The minimum amount of land to be designated as cluster open space shall be equivalent to 75 percent of the total amount of area by which each lot was reduced below the minimum lot size required in the zoning district plus any required wetland, creeks and associated buffer acreage in which the subdivision is located. Cluster open space is not required unless lot sizes are reduced below the minimum area required in a zoning district.
 2. Land area devoted to public or private vehicular streets and sidewalks, rights-of-way, and drainage structures shall not be included towards meeting cluster open space requirements, except when such land is being jointly used for a greenway corridor as specified by section 30-6.6. For the purposes of this section "drainage structures" shall be defined as culverts, storm drains and stormwater retention or detention ponds. Fifty (50) percent of drainage facilities (unfenced) that use existing topography, have side slopes that are stabilized by plantings, provide a recreational or aesthetic amenity, provide environmental quality and ecological value, and use native plants to create an aquatic or a temporary aquatic type of ecosystem to the development, may be included towards meeting cluster open space requirements. Unless otherwise restricted, cluster open space may contain accessory structures and improvements necessary for the educational, cultural, recreational or social enjoyment of the residents or citizens plus any necessary utility services. The appropriateness of accessory structures will be reviewed and considered in terms of their enhancement of the cluster open space, the purposes as provided in subsection A. of this section, and the criteria as provided in subsection I. below. Accessory structures may be approved during the design plat review process, or during the development plan review process subject to the provisions of this section and the provisions of article III. Accessory structures are prohibited within wetlands, creeks, lakes and associated buffers.
 3. Environmentally significant features such as but not limited to, creeks, creek setback buffers, wetland, wetland setback buffers, flood channels, floodplain areas, major tree groupings and individual trees of significant size shall be designated as cluster open space. Notwithstanding any contrary language contained in section 30-8.19 or other city regulations, all wetlands mitigation for a cluster subdivision shall be done on site.
 4. The cluster subdivision shall strive to protect healthy heritage trees. The restrictive covenants for the cluster subdivision shall require that homes and other improvements are designed to protect the trees.
- H. *Ownership of cluster open space.*
1. *Public ownership.* Cluster open space may be conveyed to the city unless the city commission finds that the size, location, nature and type of development, or fiscal impact (i.e., the cost and maintenance of development or open space) would make public use undesirable or unnecessary. Such conveyance shall be by statutory warranty deed free and clear of all liens and encumbrances, and shall take place on or before the recordation of the subdivision plat. In some instances, the city commission may authorize the conveyance of the cluster open space by a conservation easement as provided in F.S. § 704.06, when the

nature and character of the cluster open space are suitable for such easement. Where the cluster subdivision encompasses lands designated for greenways or other forms of public ownership or access under the recreation; conservation, open space and groundwater recharge; and stormwater management elements of the Comprehensive Plan, the city may require dedication of such areas to the city as specified by section 30-6.6.

2. *Private ownership.* Where open space is not dedicated to the city or public use, it shall be protected by legal arrangements satisfactory to the city attorney sufficient to assure its maintenance and preservation for the purpose(s) intended. Covenants or other legal agreements shall specify, at a minimum, the ownership of the cluster open space, method of maintenance, maintenance of taxes and insurance, compulsory membership and assessment provisions; guarantees that any homeowners' association formed to own and maintain cluster open space will not be dissolved without the consent of the city; and any other provisions deemed necessary by the city attorney to meet the requirements of this section.
- I. *Criteria for review of cluster subdivisions.* A cluster subdivision shall provide for better use of land and for a total environment, which is improved over that which could be achieved under standard regulations. The applicant shall present evidence that the proposed cluster subdivision uses the land better than a standard subdivision. If the city commission finds that a subdivision will be improved by the reasonable modification of the location, design or configuration of open space, building lots, streets and parking areas, the subdivision will be modified or denied. The following criteria shall guide the city in review of the proposed subdivision and in making any modifications thereof:
 1. Individual lots, buildings, streets and parking areas shall be designed and situated to minimize alteration of the natural site features and topography. A minimum of 50 percent of all heritage trees shall be protected.
 2. Individual lots, buildings and other structures shall be arranged and situated to relate to surrounding properties and to improve the view from, and the view of, buildings, lots and structures.
 3. Individual lots, buildings, streets and parking areas, and any accessory structures and improvements located in the cluster open space, shall be situated to avoid the adverse effects of shadows, noise and traffic on the residents of the site and to minimize the area devoted to motor vehicles.
 4. Cluster open space shall include any irreplaceable natural features located on the tract such as, but not limited to, stream beds and adjacent banks, wetlands, flood channels, floodplain areas, major tree groupings and individual trees of significant size.
 5. The usability of cluster open space intended for recreation or public use shall be determined by the size, shape, topographic and location requirements of the particular purpose proposed for the open space. Further, such space intended for recreation or public use shall be easily accessible to trail users including the elderly and handicapped, be integrated to form unbroken trail linkages between uses within the subdivision, and take advantage of opportunities to establish off-site linkages to nearby land uses, bikeways, sidewalks and greenways.
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9. When lots abut wetlands or buffer areas, the property owner shall provide a ten-foot building construction setback from those areas for a construction work area, so that wetlands and buffer areas are not disturbed during any construction process.

Department Review Status Report

Project Name: DB-18-00056 Tower Road Master Planned Community (Tanglewood)

Workflow Started: 04/17/2018 4:15 PM

Report Generated: 08/24/2018 05:16 PM

Cycle	Department	Reviewer	Email	Status	Reviewer Comments	Applicant Comments
1						
2						
3	Building Coordinator	John Freeland	freelandjc@cityofgainesville.org			
	Environmental	Mark Brown	brownmm@cityofgainesville.org			
	Gainesville Fire Rescue Department	Tom Burgett	burgettta@cityofgainesville.org	Approved	Approvable	
	GRU New Services Department	Wendy Mercer	MercerWL@gru.com	Approved		
	Electric West	Milvia Hidalgo	hidalgoma@gru.com	Approved for Board Review		
	Gas	Philip Lancaster	lancasterpd@gru.com	Approved for Board Review	See comment for details needed in project plan submittal.	
	GRUCom	Curtis Spencer	spencercr@gru.com	Approved		
	Real Estate	Tiffany Davis	davista@gru.com	Approved		
	Right of Way Permit - GRU Real Estate	Jennifer Rushing	RushingJR@gru.com	Approved		
	Water-Waste Water	Russ Ingram	ingramrd@gru.com	Approved		
	Water-Waste Water	Barbara Misener	MISENERBJ@gru.com	Approved		
	Planners	Andrew Persons	personsaw@cityofgainesville.org	Approved for Board Review		
	Public Works - Design	Rick Melzer	melzerra@cityofgainesville.org	Approved		
	Public Works Constructability	Matt Williams	williamsrm@cityofgainesville.org	Approved		
	Public Works Solid Waste	Steve Joplin	joplinsh@cityofgainesville.org	Approved		
Public Works Stormwater	Mary Frieg	FriegMC@cityofgainesville.org	Approved			
Public Works Survey	Pat Durbin	durbinpr@cityofgainesville.org	Approved			
RTS	Jesus Gomez	gomezjm@cityofgainesville.org				

Department Review Status Report

3	Transportation Mobility	Jason Simmons	simmonsja@cityofgainesville.org	Approved for Board Review	Prior to receiving approval of the final plat, this development must sign a TMPA Zone D Agreement for the provision of 16 Transportation Mobility element Policy 10.1.6 criteria.	
	Urban Forestry	Liliana Kolluri	kollurils@cityofgainesville.org	Approved		
	Public Works Traffic Studies	Debbie Leistner	leistnerdl@cityofgainesville.org	Corrections Required	<p>As discussed in meetings with the Consultant and Alachua County in May 2018, the following conditions must be noted on the plan cover sheet as overall site requirements given the agreement for a holistic approach to overall mitigation of traffic impacts of this site and associated developments related to the Weseman annexation:</p> <p>(1) Any Temporary Certificate of Occupancy (TCO) and Public Works Site Final Approval (PWSFA) in the development will require that the Tower Rd and SW 8th Ave improvements must be completed as well as the roundabout slip lanes at Tower Rd at the development entrance .</p> <p>(2) On SW 20th Ave the left and right turn lanes as well as the signal are a condition of the connection to SW 20th Ave. Such improvements must be constructed prior to the first TCO and PWSFA of the first home located within the design plat.</p>	

Appendix C

PUBLIC NOTICE

A Neighborhood Workshop will be held to discuss a design plat application for a ±115-acre site in Gainesville, FL (Alachua County Tax Parcels 06677-003-000, 06675-001-000, & 06675-003-000). The site is located off of SW 24th Avenue, directly across from the Portofino Subdivision and off SW 75th Street across from Westwood Subdivision. The proposed development will be constructed in numerous phases over the next five years.

This is not a public hearing. The purpose of this workshop is to inform the public about the nature of the proposal and seek their comments.

Time: 6:00 p.m. on Thursday, April 12, 2018


Location: FrontStreet Group, 132 NW 76th Drive, Gainesville, FL 32607

Contact: Josh Highlander, P.E.

Phone Number: (352) 331-1976



PROPERTY OWNER AFFIDAVIT

Owner Name: Weseman Development LLC			
Address: 1501 NW 98 th Street Gainesville, FL 32606		Phone:	
Agent Name: CHW			
Address: 11801 Research Drive Alachua, FL 32615		Phone: (352) 331-1976	
Parcel No.: 06677-003-000, 06675-001-000, 06675-003-000			
Acreage: +/- 100 acres		S: 09	T: 10 R: 19
Requested Action: To obtain approvals from the City of Gainesville, Alachua County, GRU, and St. Johns River Water Management District for the Tower Road Master Planned Community project.			
I hereby certify that: I am the property owner of record. I authorize the above listed agent to act on my behalf for the purposes of this application.			
Property owner signature: <u>Gary Weseman</u>			
Printed name: <u>Gary Weseman</u>			
Date: <u>4/3/18</u>			
The foregoing affidavit is acknowledged before me this <u>3rd</u> day of <u>April</u> , 20 <u>18</u> , by <u>Gary Weseman</u> , who is/are personally known to me, or who has/have produced <u>driver's license</u> as identification.			
NOTARY SEAL		<u>Shannon W Braddy</u>	
		Signature of Notary Public, State of <u>FL</u>	



APPLICATION FOR SUBDIVISION
Planning & Development Services

OFFICE USE ONLY	
Petition No. _____	Fee: \$ _____
1 st Step Mtg Date: _____	EZ Fee: \$ _____
Tax Map No. _____	Receipt No. _____
Account No. 001-660-6680-3401 []	
Account No. 001-660-6680-1124 (Enterprise Zone) []	
Account No. 001-660-6680-1125 (Enterprise Zone Credit []	

CHECK ONE:

Design Final Minor Single lot replat

(See Sec. 30-180 to 30-193 for a definition of the above.)

Owner(s) of Record (please print)	Applicant(s)/Agent(s), if different
Name: Weseman Development LLC	Name: CHW
Address: 1501 NW 98th Street Gainesville, FL 32606	Address: 11801 Research Drive Alachua, FL 32615
Phone: _____ Fax: _____	Phone: _____ Fax: _____
(If additional owners, please include on back)	(352) 331-1976
INFORMATION CONCERNING SUBDIVISION	
Tax parcel no(s): 06677-003-000, 06675-001-000, 06675-003-000	
Subdivision name: Tanglewood	
Parcel location: 6400 SW 24th Avenue	
Comprehensive Plan designation: <i>Medium high density</i> Zoning: RMF5	
Gross area of subdivision (in acres): 91.05 acres	
Total number of lots: 309	
Gross density (lots per gross acre): 3.39 acres	

I certify that the above statements are correct and true to the best of my knowledge.

Applicant's signature

4/16/18
Date

Certified Cashier's Receipt:

SIGN-IN SHEET

Tower Road Master Planned Community
17-0500



Event: NHWS – Tower Road Master Planned Community
Date/Time: April 12, 2018 at 6:00PM
Place: FrontStreet Group – 132 NW 76th Drive, Gainesville, FL 32607
Re: Neighbors of 06677-003-000, 06675-001-000, and 06675-003-000

	<u>Print Name</u>	<u>Street Address</u>	<u>Signature</u>
1	Sandra M. ...	6811 NW 196th St Alachua, FL	[Signature] sgmoorhouse@gmail.com
2	Gary Wasserman	Tanglewood Properties 828 SW 47th	[Signature]
3	Alice Boyette		[Signature]
4	William + Brittany Adams	1905 SW 65th Dr.	[Signature]
5	Brandontetrick@gmail.com BRANDON TETRICK	7306 SW 17TH PL	Brandon S. Tetrick
6			
7			
8			
9			
10			
11			
12			
13			

WILLIAM ADAMS 50
GMAIL.COM

Appendix C

Neighborhood Workshop Notice

06678-100-036 Tower Rd Master Plan
2 GALS INVESTMENTS INC
11351 NE 123RD PL
ARCHER, FL 32618

Neighborhood Workshop Notice

06675-004-000 Tower Rd Master Plan
64/20 VILLAS LLLP
PO BOX 141659
CORAL GABLES, FL 33114-1659

Neighborhood Workshop Notice

06678-050-004 Tower Rd Master Plan
ADAMS A T
1811 SW 67TH TER
GAINESVILLE, FL 32607-5314

Neighborhood Workshop Notice

06678-100-034 Tower Rd Master Plan
AGUILERA, CONNIE
2625 SW 75TH ST
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06678-100-006 Tower Rd Master Plan
AIM INVESTMENT PROPERTIES LLC
6908 SW 93RD AVE
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06668-500-003 Tower Rd Master Plan
AKRI ELIEZER & LINDSAY
11030 SW 15TH RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06675-001-001 Tower Rd Master Plan
ALACHUA COUNTY
5620 NW 120TH LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

06678-010-015 Tower Rd Master Plan
ALACHUA COUNTY HOUSING, AUTHOR
701 NE 1ST ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

06678-010-021 Tower Rd Master Plan
ANDERSON & BROWN
7324 SW 18TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-050 Tower Rd Master Plan
ANDERSON, CLAY
7011 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-003 Tower Rd Master Plan
ASHMORE, M C
13121 HIGHWAY 441 S
MICANOPY, FL 32667-5320

Neighborhood Workshop Notice

06678-050-024 Tower Rd Master Plan
AUDIO HOLDINGS INC
822 SW 75TH WAY
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-200-047 Tower Rd Master Plan
AVILES & LASAGA ASSOCIATES LLC
4500 BEIVEDERE RD STE A3
WEST PALM BEACH, FL 33415

Neighborhood Workshop Notice

06668-020-008 Tower Rd Master Plan
BACON & MARTIN
1205 SW 75TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-060-020 Tower Rd Master Plan
BALLESTAS JESUS DAVID
3134 NW 29TH PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06677-608-001 Tower Rd Master Plan
BARRAZA, ERIKA
12000 ROCK BROOK RUN # 1608
FORT MYERS, FL 33913

Neighborhood Workshop Notice

06678-100-059 Tower Rd Master Plan
BAUMSTEIN, BARRY & SANDRA
2026 NW 17TH LN
GAINESVILLE, FL 32605-3912

Neighborhood Workshop Notice

06678-100-056 Tower Rd Master Plan
BENSON & BENSON
PO BOX 262
WORTHINGTON SPRINGS, FL 32697-0262

Neighborhood Workshop Notice

06678-100-052 Tower Rd Master Plan
BLEASDALE B J & SHARI
7003 SW 17TH PL
GAINESVILLE, FL 32607-3708

Neighborhood Workshop Notice

06678-050-015 Tower Rd Master Plan
BLEICHNER & HENESY
16140 W HIGHWAY 316
WILLISTON, FL 32696

Neighborhood Workshop Notice

06678-050-014 Tower Rd Master Plan
BLU BUBBLES LLC
1729 SW 69TH WAY
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-050-005 Tower Rd Master Plan
BOGANS, LYDIA
1134 NE 25TH ST
GAINESVILLE, FL 32641-4864

Neighborhood Workshop Notice

06678-050-006 Tower Rd Master Plan
BOYETTE ALICE FAYE
1807 SW 67TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-014 Tower Rd Master Plan
BRYANT, PENNY L
1624 SW 188TH ST
NEWBERRY, FL 32669

Neighborhood Workshop Notice

06678-010-012 Tower Rd Master Plan
BUCKLEY, JAMES K
15879 SANCTUARY DR
TAMPA, FL 33647-1074

Neighborhood Workshop Notice

06678-100-018 Tower Rd Master Plan
BUSSENSO, JOHN SEBASTIAN
1822 SW 69TH TER
GAINESVILLE, FL 32607-3716

Neighborhood Workshop Notice

06678-010-007 Tower Rd Master Plan
CALIENDO, JAMES D & ZULMA L
7326 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-200-093 Tower Rd Master Plan
CAO & NGUYEN H/W
1826 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-200-050 Tower Rd Master Plan
CARTER WADE & SOPHIA YVETTE
1801 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-003 Tower Rd Master Plan
CASTILLO, RICARDO JR & TATIANA
PO BOX 141394
GAINESVILLE, FL 32614

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Neighborhood Workshop Notice

06678-138-003 Tower Rd Master Plan
CHAN & CHAN
11418 NW 34TH AVE
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06678-138-004 Tower Rd Master Plan
CHAN & CHAN
1716 SW 70TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-029 Tower Rd Master Plan
CHAN EDWARD & ANNIE
1669 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-045 Tower Rd Master Plan
CHAN, TAI SHAN & LIEN-HUONG
11418 NW 34TH AVE
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06678-100-013 Tower Rd Master Plan
CLARK CLARA E
1736 SW 69TH TER
GAINESVILLE, FL 32607-5342

Neighborhood Workshop Notice

06678-100-058 Tower Rd Master Plan
CLARK, EDWARD L
635 SW 28TH ST
GAINESVILLE, FL 32607-3139

Neighborhood Workshop Notice

06678-100-031 Tower Rd Master Plan
CLAY, LAWRENCE
6926 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-000 Tower Rd Master Plan
COMMUNITY ASSOCIATION FOR
PORTOFINO
2801 SW ARCHER RD
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06677-060-004 Tower Rd Master Plan
COMPREHENSIVE REALTY
CONSULTANTS INC
11609 NW 62ND PL
GAINESVILLE, FL 32653-2708

Neighborhood Workshop Notice

06678-100-047 Tower Rd Master Plan
COOK BRENDA
7021 SW 17TH PL
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

06677-060-003 Tower Rd Master Plan
COOPER, ANA G
PO BOX 142504
GAINESVILLE, FL 32614

Neighborhood Workshop Notice

06678-010-014 Tower Rd Master Plan
CORDERO-MENDEZ, BRIAN
7200 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-007 Tower Rd Master Plan
CROTHERS DAVID B & KRISTINE M
1616 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-025 Tower Rd Master Plan
CUMMINGS, AISHA R
1621 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-060-005 Tower Rd Master Plan
DANG VA KA
1801 SW 68TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-030 Tower Rd Master Plan
DANIEL, THOMAS A
623 N MAIN ST
GAINESVILLE, FL 32601-5328

Neighborhood Workshop Notice

06678-100-049 Tower Rd Master Plan
DAVANI BIJAN A
7015 SW 17TH PL
GAINESVILLE, FL 32607-5305

Neighborhood Workshop Notice

06678-100-054 Tower Rd Master Plan
DAVIS & DAVIS TRUSTEES
11065 NW 60TH DR
ALACHUA, FL 32615

Neighborhood Workshop Notice

06677-200-046 Tower Rd Master Plan
DAVIS & WITHERS
2735 NW 22ND DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06678-100-055 Tower Rd Master Plan
DIXON DAVID
PO BOX 827
BAYSIDE, CA 95524

Neighborhood Workshop Notice

06678-010-023 Tower Rd Master Plan
DOYLE J A JR
7304 SW 18TH PL
GAINESVILLE, FL 32607-5323

Neighborhood Workshop Notice

06677-100-001 Tower Rd Master Plan
DUONG KIM LOAN
1688 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-060-021 Tower Rd Master Plan
ELDRED, GARY W
1515 NW 18TH ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06677-100-009 Tower Rd Master Plan
EMMER DEVELOPMENT CORP
2801 SW ARCHER RD
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06668-020-004 Tower Rd Master Plan
ENGWALL R E
1221 SW 75TH DR
GAINESVILLE, FL 32607-3383

Neighborhood Workshop Notice

06677-100-010 Tower Rd Master Plan
ENOZA BENIGNO E & EVANGELINE
1566 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-060-002 Tower Rd Master Plan
EPO & RK DUPLEXES CORPORATION
11138 GOLDENROD FERN DR
RIVERVIEW, FL 33569

Neighborhood Workshop Notice

06677-060-015 Tower Rd Master Plan
ESTEVEZ LINA I
1725 SW 68TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-200-096 Tower Rd Master Plan
FAR JOSE R
1752 SW 66TH DR
GAINESVILLE, FL 32607-5368

Neighborhood Workshop Notice

06678-010-017 Tower Rd Master Plan
FIELDS & KACHIK
7221 SW 17TH PL
GAINESVILLE, FL 32607-3726

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Neighborhood Workshop Notice

06678-050-008 Tower Rd Master Plan
FRANKEL H J
1733 SW 67TH TER
GAINESVILLE, FL 32607-5337

Neighborhood Workshop Notice

06678-100-026 Tower Rd Master Plan
FUDGE & FUDGE
1735 SW 69TH WAY
GAINESVILLE, FL 32607-3718

Neighborhood Workshop Notice

06668-020-000 Tower Rd Master Plan
GAINESVILLE WEST INC
5192 VARDON DR
WINDERMERE, FL 34786-8960

Neighborhood Workshop Notice

06677-100-008 Tower Rd Master Plan
GARCIA, ADOLFO E & JULIA I
8650 SW 80TH PL
GAINESVILLE, FL 32608-5184

Neighborhood Workshop Notice

06678-010-025 Tower Rd Master Plan
GARNIER, GAIL L
7220 SW 18TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-002 Tower Rd Master Plan
GILLIS NADINE
1303 SW 75TH DR
GAINESVILLE, FL 32607-4912

Neighborhood Workshop Notice

06678-010-026 Tower Rd Master Plan
GIROUARD, STACY P & KRISTIN A
3007 SW 132ND TER
ARCHER, FL 32618

Neighborhood Workshop Notice

06677-100-011 Tower Rd Master Plan
GO & JUAREZ
1558 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-010-019 Tower Rd Master Plan
GOLOWENSKI STEVEN & JENNIE
7303 SW 17TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-062 Tower Rd Master Plan
GOMEZ, ZENTA
1734 SW 70TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-005 Tower Rd Master Plan
GRAHAM, LORENZA A
RR 2 BOX 118
MICANOPY, FL 32667-9802

Neighborhood Workshop Notice

06678-010-005 Tower Rd Master Plan
GUTHRIE JOSHUA R & ROBERTA L
1802 SW 74TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-037 Tower Rd Master Plan
HARRISON STACY
7018 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-045 Tower Rd Master Plan
HAYNES ROBERT THOMAS JR & JAIME
NOELLE
1708 SW 65TH DR
GAINESVILLE, FL 32607-5357

Neighborhood Workshop Notice

06668-500-004 Tower Rd Master Plan
HENSON, ERIK I & LISA B
1222 NW 58TH TER
GAINESVILLE, FL 32605-4491

Neighborhood Workshop Notice

06678-050-019 Tower Rd Master Plan
HERRING CHRISTOPHER & GINA
1732 SW 67TH TER
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06677-200-051 Tower Rd Master Plan
HERTZ JEFFREY CONRAD & KARINA E
PSC 470 BOX 3039
FPO, AP 96534

Neighborhood Workshop Notice

06678-100-012 Tower Rd Master Plan
HILBURN & MISNER W/H
1730 SW 69TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-050-021 Tower Rd Master Plan
HODGES, CHARLES G IV
1804 SW 67TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-060-018 Tower Rd Master Plan
HOLD EM LLC
13250 SW 3RD LN
NEWBERRY, FL 32669

Neighborhood Workshop Notice

06678-100-007 Tower Rd Master Plan
HU & LI
4014 NW 20TH TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06677-060-006 Tower Rd Master Plan
HUBER, GEORGE E TRUSTEE
830 NW 60TH ST
GAINESVILLE, FL 32605-4137

Neighborhood Workshop Notice

06677-060-019 Tower Rd Master Plan
HUSEMAN, DONNA S
9219 SW 12TH AVE
GAINESVILLE, FL 32607-3216

Neighborhood Workshop Notice

06668-500-001 Tower Rd Master Plan
ISAAC & ISAAC
14620 HAWTHORN AVE
FLUSHING, NY 11355

Neighborhood Workshop Notice

06678-100-033 Tower Rd Master Plan
JACKSON PATRICK
5872 SW 79TH WAY
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06678-010-027 Tower Rd Master Plan
JONES RONEY A & RHONDA
7202 SW 18TH PL
GAINESVILLE, FL 32607-5323

Neighborhood Workshop Notice

06677-609-003 Tower Rd Master Plan
JOUVENAS BRANDEN A
1719 SW 68TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-061 Tower Rd Master Plan
JOUZDANI, ELLAHE S
APT 314 7826 TOPANGA CANYON BLVD
CANOGA PARK, CA 91304-5587

Neighborhood Workshop Notice

06677-612-001 Tower Rd Master Plan
KALICHARAN & KALICHARAN
11920 SW 121ST AVE
MIAMI, FL 33186

Neighborhood Workshop Notice

06668-020-007 Tower Rd Master Plan
KALIF L S JR & CATHERINE
1207 SW 75TH DR
GAINESVILLE, FL 32607-3383

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Neighborhood Workshop Notice

06678-100-025 Tower Rd Master Plan
KANELY ILENE S
1801 SW 69TH WAY
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06678-100-008 Tower Rd Master Plan
KARMA ASSET MANAGEMENT LLC
1231 W NORTHERN LIGHTS BLVD #911
ANCHORAGE, AK 99503

Neighborhood Workshop Notice

06677-100-044 Tower Rd Master Plan
KATHURIA & KATHURIA & KATHURIA
1529 SUNSHINE TREE BLVD
LONGWOOD, FL 32779

Neighborhood Workshop Notice

06677-609-002 Tower Rd Master Plan
KBR INVESTMENTS LLC
5124 SW 82ND TER
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06677-100-026 Tower Rd Master Plan
KLEIN JONATHAN I
1633 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-016 Tower Rd Master Plan
KRAVATZ STEVEN & JILL
1310 SW 75TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-010-010 Tower Rd Master Plan
KUNG MICHAEL
2738 SW 87TH WAY
GAINESVILLE, FL 32608-9343

Neighborhood Workshop Notice

06677-609-004 Tower Rd Master Plan
LACINAK, DAVID J & CHRISTINE
15608 NW 32ND AVE
NEWBERRY, FL 32669-2846

Neighborhood Workshop Notice

06675-011-006 Tower Rd Master Plan
LAI REALTY LLC
PO BOX 4903
WINTER PARK, FL 32793

Neighborhood Workshop Notice

06678-100-023 Tower Rd Master Plan
LEMEER & SERPI H/W
6233 NW 36TH DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

06678-100-060 Tower Rd Master Plan
LOCAL RENTALS LLC
17070 COLLINS AVE UNIT 255
SUNNY ISLES, FL 33160

Neighborhood Workshop Notice

06677-200-095 Tower Rd Master Plan
LUONG & PHAM W/H
1776 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06675-011-007 Tower Rd Master Plan
MA & WANG
2801 CHANCELLORSVILLE DR APT 318
TALLAHASSEE, FL 32312

Neighborhood Workshop Notice

06677-200-098 Tower Rd Master Plan
MADHOSINGH, HARRINARINEDIANA
801 N WAYMAN ST
LONGWOOD, FL 32750-4309

Neighborhood Workshop Notice

06677-200-094 Tower Rd Master Plan
MAINIERI KYLE
1802 SW 66TH DR
GAINESVILLE, FL 32607-5372

Neighborhood Workshop Notice

06677-609-001 Tower Rd Master Plan
MANCINI & MANCINI
1715 SW 68TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-014 Tower Rd Master Plan
MARIGOLD INVESTMENT OF, ALACHU
821 SW 112TH ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-039 Tower Rd Master Plan
MCCLELLAN, TERESA M
2124 SW 72ND ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-050-022 Tower Rd Master Plan
MCKENZIE TIFFANY D
1806 SW 67TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-002 Tower Rd Master Plan
MEFTA, MILAD
7323 NW 21ST CT
GAINESVILLE, FL 32653-0925

Neighborhood Workshop Notice

06668-020-006 Tower Rd Master Plan
MERCER SHERRY G
1209 SW 75TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-010-024 Tower Rd Master Plan
MERRIMAN, LONETTE K
601 EMERSON ST
WASHINGTON, DC 20011

Neighborhood Workshop Notice

06678-100-028 Tower Rd Master Plan
MITCHELL, ROBERT A
201 NW 10TH AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

06678-010-008 Tower Rd Master Plan
MOORHOUSE, JOHN P & SANDRA
13250 SW 3RD LN
NEWBERRY, FL 32669

Neighborhood Workshop Notice

06677-613-001 Tower Rd Master Plan
MORAN, OSMAR OSORIO
1726 SW 68TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-038 Tower Rd Master Plan
MORRIS, JUDY
8604 NW 4TH PL
GAINESVILLE, FL 32607-1413

Neighborhood Workshop Notice

06678-100-063 Tower Rd Master Plan
MORRIS, JUDY L
8604 NW 4TH PL
GAINESVILLE, FL 32607-1413

Neighborhood Workshop Notice

06675-011-008 Tower Rd Master Plan
MOSLEY, ERNEST
1015 SE 19TH TER
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

06677-100-003 Tower Rd Master Plan
MYAT & TIN W/H
1664 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-004 Tower Rd Master Plan
NETO, JOAO VICENTE
CUIABA MT APTO 10 CENTRO SUL
CUIABA, BRASIL 780200-400

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Neighborhood Workshop Notice

06668-020-013 Tower Rd Master Plan
NGUYEN & VO W/H
183 LINDER DR
HOMOSASSA, FL 34446

Neighborhood Workshop Notice

06668-500-002 Tower Rd Master Plan
NGUYEN LINDY
1129 SW 75TH WAY
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-017 Tower Rd Master Plan
NGUYEN LONG
3805 SW 4TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-019 Tower Rd Master Plan
NGUYEN MINH TAM
1505 SW 66TH DR
GAINESVILLE, FL 32607-3701

Neighborhood Workshop Notice

06677-100-023 Tower Rd Master Plan
NGUYEN, ANDREW & LINH DIANA TA
PO BOX 218
TRENTON, FL 32693

Neighborhood Workshop Notice

06678-100-035 Tower Rd Master Plan
NGUYEN, DUC THUONG
7010 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-002-005 Tower Rd Master Plan
OAK HALL PRIVATE SCHOOL INC
8009 SW 14TH AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-005 Tower Rd Master Plan
OBRYAN ASHA B
1213 SW 75TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-050-012 Tower Rd Master Plan
OWENS, LERON
PO BOX 357184
GAINESVILLE, FL 32635-7184

Neighborhood Workshop Notice

06677-100-030 Tower Rd Master Plan
PAREDES MARIO & LISA
12531 HWY 71 WEST P 1102
AUSTIN, TX 78738

Neighborhood Workshop Notice

06678-010-006 Tower Rd Master Plan
PARKER EDWARD D TRUSTEE
1730 SW 64TH TER
GAINESVILLE, FL 32607-3730

Neighborhood Workshop Notice

06677-100-005 Tower Rd Master Plan
PASTRANA GLORIA CONSUELO
1640 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-200-048 Tower Rd Master Plan
PATEL DHARMENDRAKUMAR
RAOJIBHAI
1755 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-027 Tower Rd Master Plan
PATTON JAMES E & MELISSA A
1645 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-057 Tower Rd Master Plan
PAUCAR, RONALD MARLOND
617 SW 2ND AVE
HALLANDALE, FL 33009

Neighborhood Workshop Notice

06677-100-022 Tower Rd Master Plan
PEARSON RACHAEL L
1559 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-050-023 Tower Rd Master Plan
PEEK HELEN
1808 SW 67TH TER
GAINESVILLE, FL 32607-5312

Neighborhood Workshop Notice

06678-050-020 Tower Rd Master Plan
PERRY EARL
1802 SW 67TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-017 Tower Rd Master Plan
PESTO J L & SUSAN
7604 SW 13TH RD
GAINESVILLE, FL 32607-3321

Neighborhood Workshop Notice

06678-010-037 Tower Rd Master Plan
PINE GLADE HOMEOWNERS ASSOC
7306 SW 17TH PL
GAINESVILLE, FL 32607-5321

Neighborhood Workshop Notice

06678-050-018 Tower Rd Master Plan
RAINBOW YOUNG LLC
3724 NW 54TH LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

06678-100-040 Tower Rd Master Plan
RATLIFF, LARRY A & TONI J
208 SW 77TH TER
GAINESVILLE, FL 32607-1509

Neighborhood Workshop Notice

06678-100-015 Tower Rd Master Plan
RAWLS, ALPHONSO JR
3261 SE 20TH AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

06678-010-022 Tower Rd Master Plan
REYNOLDS CLAUDIA L
7314 SW 18TH PL
GAINESVILLE, FL 32607-5323

Neighborhood Workshop Notice

06678-100-011 Tower Rd Master Plan
RICHMAN & SANFORD-RICHMAN H/W
11118 NW 61ST TER
ALACHUA, FL 32615

Neighborhood Workshop Notice

06678-050-009 Tower Rd Master Plan
ROTHSCHILD, MARK J
2223 NW 47TH CIRCLE
OCALA, FL 34482

Neighborhood Workshop Notice

06677-100-006 Tower Rd Master Plan
SABZWARI, USAMA
9110 CHARTERHOUSE RD
FREDERICK, MD 21704-7327

Neighborhood Workshop Notice

06678-100-067 Tower Rd Master Plan
SCHMIDT, DANNY RAY TRUSTEE
97 TURKEY CRK
ALACHUA, FL 32615-9570

Neighborhood Workshop Notice

06678-100-051 Tower Rd Master Plan
SECY OF HUD
2401 NW 23RD ST STE 1D
OKLAHOMA CITY, OK 73107

Neighborhood Workshop Notice

06668-020-001 Tower Rd Master Plan
SHERMON SHANTA
1311 SW 75TH DR
GAINESVILLE, FL 32607

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Neighborhood Workshop Notice

06678-100-048 Tower Rd Master Plan
SIDWELL ROBERT T
7019 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-060-016 Tower Rd Master Plan
SAUL SILBER PROPERTIES
3434 SW 24TH AVE STE A
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-053 Tower Rd Master Plan
SKOFRONICK & SKOFRONICK, TRUST
441 MCDANIEL ST
TALLAHASSEE, FL 32303

Neighborhood Workshop Notice

06678-010-011 Tower Rd Master Plan
SLIVON RACHEL M
7222 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06674-000-000 Tower Rd Master Plan
UF PLANNING DESIGN & CONST
ATTN: LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611-5050

Neighborhood Workshop Notice

06677-100-028 Tower Rd Master Plan
STROM THOMAS C & RACHEL C
1657 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-010-013 Tower Rd Master Plan
SUAREZ LISABET
7204 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06677-100-020 Tower Rd Master Plan
TAMAYO & TAMAYO
1513 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06675-001-000 *** Tower Rd Master Plan
TANGLEWOOD PROPERTIES OF
GAINESVILLE LLC
1501 NW 98TH ST
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06678-100-046 Tower Rd Master Plan
TEDESCHI SHARON L HEIRS
1918 SW 69TH DR
GAINESVILLE, FL 32607-3741

Neighborhood Workshop Notice

06678-010-009 Tower Rd Master Plan
TETRICK BRANDON S
7306 SW 17TH PL
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-024 Tower Rd Master Plan
TIMOTHY IDA & LIVINGSTON
1805 SW 69TH WAY
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-078 Tower Rd Master Plan
TOWER OAKS HOME OWNERS ASSOC
1220 NW 12TH ST
GAINESVILLE, FL 32601-3026

Neighborhood Workshop Notice

06676-001-000 Tower Rd Master Plan
TOWER ROAD INVESTMENT GROUP LLLP
3917 NW 97TH BLVD
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06678-050-007 Tower Rd Master Plan
TROESCH, DAWN M
1804 BRIARCLIFF CT
HIGH POINT, NC 27265-2457

Neighborhood Workshop Notice

06678-100-065 Tower Rd Master Plan
TROMETER, TIMOTHY & LISA
PO BOX 463
WALDO, FL 32694

Neighborhood Workshop Notice

06677-100-002 Tower Rd Master Plan
TSUGAWA MAURICIO
6125 116TH AVE NE
KIRKLAND, WA 98033-8409

Neighborhood Workshop Notice

06677-100-043 Tower Rd Master Plan
TURPEN, RYAN & KLARK
136 COLONIAL WAY
DANVILLE, KY 40422

Neighborhood Workshop Notice

06678-100-064 Tower Rd Master Plan
URBINA, JULIO
2320 SW 70TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-016 Tower Rd Master Plan
VALENTIN, FERNANDO F & ELIZABE
4830 NW 43RD ST #1151
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06668-200-006 Tower Rd Master Plan
VANCE D A & JAN T
1111 SW 76TH TER
GAINESVILLE, FL 32607-3341

Neighborhood Workshop Notice

06677-200-097 Tower Rd Master Plan
VILLAHERMOSA LORENA C & LORETO T
1728 SW 66TH DR
GAINESVILLE, FL 32607-5368

Neighborhood Workshop Notice

06678-138-001 Tower Rd Master Plan
WEAVER JENNIFER
1722 SW 70TH TER
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06668-020-015 Tower Rd Master Plan
WEBBER LEWIS A & KRISTINE G
3237 BRECKENRIDGE DR E
COLORADO SPRINGS, CO 80906-4538

Neighborhood Workshop Notice

06675-003-000 *** Tower Rd Master Plan
WESEMAN DEVELOPMENT LLC
1501 NW 98TH ST
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06678-010-016 Tower Rd Master Plan
WESTBROOK RICHARD C & CINDY M
7213 SW 17TH PL
GAINESVILLE, FL 32607-3726

Neighborhood Workshop Notice

06668-200-005 Tower Rd Master Plan
WHITE, MARTIN A & ROBIN L
1543 BUNKER HILL RD
CAPE GIRARDEAU, MO 63701

Neighborhood Workshop Notice

06678-100-019 Tower Rd Master Plan
WILLIAMS & WILLIAMS
1414 NW 90TH TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

06677-100-024 Tower Rd Master Plan
WISOR DUANE N & JACLYN M
1609 SW 66TH DR
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06678-100-068 Tower Rd Master Plan
WOOD, FREDRIK D
300 SW 4TH AVE
GAINESVILLE, FL 32601

Appendix C

Neighborhood Workshop Notice

06668-500-000 Tower Rd Master Plan
WOODLANDS HOMEOWNERS ASSN
1105 SW 75TH WAY
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06675-011-009 Tower Rd Master Plan
WOODS, ROBERT
331 NE 25TH ST
POMPANO BEACH, FL 33064

Neighborhood Workshop Notice

06673-000-000 Tower Rd Master Plan
YES COMPANIES FRED LLC
1900 16TH ST STE 950
DENVER, CO 80202

Neighborhood Workshop Notice

06677-060-010 Tower Rd Master Plan
ZADEZENSKY & ZDROJEWSKI W/H
7919 JENSEN PL
BETHESDA, MD 20817-4671

Neighborhood Workshop Notice

06677-060-011 Tower Rd Master Plan
ZADEZENSKY, DORYS
10301 PROCTER ST
SILVER SPRINGS, MD 20901

Neighborhood Workshop Notice

06678-010-018 Tower Rd Master Plan
ZIE-BONZONGO, YVETTE
7231 SW 17TH PL
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06677-200-049 Tower Rd Master Plan
ZIMMERMAN ARTHUR DUDLEY &
CHELSEA FERGUSON
1779 SW 66TH DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

06678-100-009 Tower Rd Master Plan
ZIMMERMAN, CHESTER R JR
4450 NW 140TH ST
CHIEFLAND, FL 32626-8634

Appendix C

Neighborhood Workshop Notice

5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE
ATTN: MIKE HOGE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

REGINA HILLMAN
506 NW 30 STREET
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

b

Neighborhood Workshop Notice

Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

LEE NELSON
DIRECTOR OF REAL ESTATE – UF
PO BOX 113135
GAINESVILLE, FL 32611-3135

Neighborhood Workshop Notice

Gateway Park
HAROLD SAIVE
1716 NW 10 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Lamplighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

Appendix C

Neighborhood Workshop Notice

Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

North Lincoln Heights
ANDREW LOVETTE SR.
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Rainbows East
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

University Village
BRUCE DELANEY
1710 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice

LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

Parcel: 06675-001-000

Search Date: 4/20/2018 at 2:19:36 PM

Taxpayer: TANGLEWOOD PROPERTIES OF GAINESVILLE LLC Mailing: 1501 NW 98TH ST GAINESVILLE, FL 32606 Location: Sec-Twn-Rng: 09-10-19 Property Use: 05500 - Tmbr Si 80-89 Tax Jurisdiction: Gainesville - 3600 Area: 9-10-19 Subdivision: Placeholder	Legal: PB A-10 COM INT E R/W SW 75TH ST & N/L OF LOT 3 POB N 88 DEG 56 MIN 39 SEC E 1688.61 FT N 00 DEG 48 MIN 54 SEC W 323.56 FT N 89 DEG 01 MIN 18 SEC E 493.90 FT S 00 DEG 49 MIN 08 SEC E 499.93 FT S 89 DEG 30 MIN 21 SEC W 24.94 FT S 00 DEG 00 MIN 29 SEC E 195.50 FT S 89 DEG 30 MIN 21 SEC W 60 FT S 50.13 FT S 89 DEG 22 MIN 57 SEC W 2093.85 FT N 00 DEG 51 MIN 18 SEC W 405.78 FT POB OR 4475/1526
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	Property	Land	Land	Building	Misc	Total	Deferred	County	School	County	School	County	School
YeaR	Use	Assessed Value	Just Value	Value	Value	Just Value	Value	Assessed	Assessed	Exempt	Exempt	Taxable	Taxable
2017	Tmbr Si 80-89	5600	584600	0	0	584600	0	5600	5600	0	0	5600	5600
2016	Tmbr Si 80-89	3600	80700	0	0	80700	0	3600	3600	0	0	3600	3600
2015	Tmbr Si 80-89	3600	80700	0	0	80700	0	3600	3600	0	0	3600	3600
2014	Tmbr Si 80-89	3900	80700	0	0	80700	0	3900	3900	0	0	3900	3900
2013	Tmbr Not Clssfd	2200	100000	0	0	100000	0	2200	2200	0	0	2200	2200
2012	Tmbr Not Clssfd	2200	100000	0	0	100000	0	2200	2200	0	0	2200	2200
2011	Tmbr Not Clssfd	2200	100000	0	0	100000	0	2200	2200	0	0	2200	2200
2010	Tmbr Not Clssfd	2200	100000	0	0	100000	0	2200	2200	0	0	2200	2200
2009	Tmbr Not Clssfd	2200	100000	0	0	100000	0	2200	2200	0	0	2200	2200
2008	Tmbr Not Clssfd	2200	100000	0	0	100000	0	2200	0	0	0	2200	0

Land

Use	Zoning Type	Zoning Desc	Unit Type	Units
Timber 2	RMF7		Acre	24.16
Timber 2	MU2		Unit	1
			2017 Certified Land Just Value: 584600	2017 Certified Land Assessed Value: 5600

Sale

Date	Price	Vac/Imp	Qualified	OR Book	OR Page	Instrument
11/15/2016	509300	V	Q	4475	1526	SD

Parcel: 06675-003-000

Search Date: 4/20/2018 at 2:20:16 PM

Taxpayer: WESEMAN DEVELOPMENT LLC Mailing: 1501 NW 98TH ST GAINESVILLE, FL 32606 Location: Sec-Twn-Rng: 09-10-19 Property Use: 05500 - Tmbr Si 80-89 Tax Jurisdiction: Gainesville - 3600 Area: 9-10-19 Subdivision: Placeholder	Legal: PB A-10 COM INT E R/W OF SW 75TH ST & S LINE OF LOT 4 N 88 DEG 58 MIN 50 SEC E 2365.94 FT POB N 01 DEG 01 MIN 10 SEC W 158.78 FT E 75.87 FT NELY ALG CURVE 84.15 FT N 26 DEG 32 MIN 08 SEC E 66.22 FT NELY ALG CURVE 35.36 FT S 63 DEG 27 MIN 52 SEC E 357.42 FT S 25 DEG 22 MIN 50 SEC W 116.53 FT S 88 DEG 58 MIN 50 SEC W 477.63 FT POB OR 4475/1519
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	Property	Land	Land	Building	Misc	Total	Deferred	County	School	County	School	County	School
YeaR	Use	Assessed Value	Just Value	Value	Value	Just Value	Value	Assessed	Assessed	Exempt	Exempt	Taxable	Taxable
2017	Tmbr Si 80-89	500	78100	0	0	78100	0	500	500	0	0	500	500
2016	Tmbr Not Clssfd	900	36000	0	0	36000	0	900	900	0	0	900	900
2015	Tmbr Not Clssfd	900	36000	0	0	36000	0	900	900	0	0	900	900
2014	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	800	0	0	800	800
2013	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	800	0	0	800	800
2012	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	800	0	0	800	800
2011	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	800	0	0	800	800
2010	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	800	0	0	800	800
2009	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	800	0	0	800	800
2008	Tmbr Not Clssfd	800	36000	0	0	36000	0	800	0	0	0	800	0

Land

Use	Zoning Type	Zoning Desc	Unit Type	Units
Timber 2	MU1		Acre	2.23
			2017 Certified Land Just Value: 78100	2017 Certified Land Assessed Value: 500

Sale

Date	Price	Vac/Imp	Qualified	OR Book	OR Page	Instrument
11/15/2016	1948100	V	Q	4475	1519	MS

Parcel: 06677-003-000

Search Date: 4/20/2018 at 2:17:11 PM

Taxpayer: WESEMAN DEVELOPMENT LLC	Legal: PB A-10 COM INT E R/W LINE OF SW75TH ST & N LINE OF LOT 3 N 88 DEG 56 MIN 39 SEC E 1688.61 FT N 00 DEG 48 MIN 54 SEC W 323.56 FT N 89 DEG 01 MIN 18 SEC E 493.90 FT POB S 00 DEG 49 MIN 08 SEC E 499.93 FT S 89 DEG 30 MIN 21 SEC W 24.94 FT S 00 DEG 00 MIN 29 SEC E 195.50 FT S 89 DEG 30 MIN 21 SEC W 60 FT S 00 DEG 00 MIN 00 SEC W 50.13 FT S 89 DEG 22 MIN 57 SEC W 1293.85 FT S 00 DEG 51 MIN 18 SEC E 609.89 FT S 89 DEG 08 MIN 42 SEC W 250 FT S 00 DEG 51 MIN 18 SEC E 497.61 FT N 88 DEG 58 MIN 50 SEC E 1815.94 FT N 01 DEG 01 MIN 10 SEC W 158.78 FT NEWLY ALG CURVE 84.15 FT N 26 DEG 32 MIN 08 SEC E 66.22 FT NELY ALG CURVE 35.36 FT S 63 DEG 27 MIN 52 SEC E 357.42 FT N 25 DEG 22 MIN 50 SEC E 14.56 FT NELY ALG CURVE 636.83 FT N 00 DEG 30 MIN 02 SEC W 1637.56 FT S 89 DEG 01 MIN 31 SEC W 1535.09 FT S 00 DEG 51 MIN 50 SEC E 99.96 FT N 89 DEG 02 MIN 47 SEC E 435.62 FT S 00 DEG 49 MIN 08 SEC E 329.92 FT POB OR 4475/1519
Mailing: 1501 NW 98TH ST GAINESVILLE, FL 32606	
Location: 6400 SW 24TH AVE GAINESVILLE	
Sec-Twn-Rng: 09- 10- 19	
Property Use: 05500 - Tmbr Si 80-89	
Tax Jurisdiction: Gainesville - 3600	
Area:	
Subdivision:	

	Property	Land	Land	Building	Misc	Total	Deferred	County	School	County	School	County	School
YeaR	Use	Assessed Value	Just Value	Value	Value	Just Value	Value	Assessed	Assessed	Exempt	Exempt	Taxable	Taxable
2017	Tmbr Si 80-89	20200	3145500	0	0	3145500	0	20200	20200	0	0	20200	20200

Land

Use	Zoning Type	Zoning Desc	Unit Type	Units
Timber 2	RMF5		Acre	89.87
			2017 Certified Land Just Value: 3145500	2017 Certified Land Assessed Value: 20200

Sale

Date	Price	Vac/Imp	Qualified	OR Book	OR Page	Instrument
11/15/2016	1948100	V	Q	4475	1519	MS

Detail by Entity Name

Florida Limited Liability Company
TANGLEWOOD PROPERTIES OF GAINESVILLE, LLC

Filing Information

Document Number L16000196702
FEI/EIN Number 00-0000000
Date Filed 10/25/2016
Effective Date 10/25/2016
State FL
Status ACTIVE

Principal Address

1501 N.W. 98TH ST.
GAINESVILLE, FL 32606

Mailing Address

1501 N.W. 98TH ST.
GAINESVILLE, FL 32606

Registered Agent Name & Address

WESEMAN, GARY W
1501 N.W. 98TH ST.
GAINESVILLE, FL 32606

Authorized Person(s) Detail

Name & Address

Title MGR

WESEMAN, GARY W
1501 N.W. 98TH ST.
GAINESVILLE, FL 32606

Annual Reports

Report Year	Filed Date
2017	02/16/2017
2018	02/07/2018

Document Images

[02/07/2018 -- ANNUAL REPORT](#)

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[02/16/2017 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[10/25/2016 -- Florida Limited Liability](#)

[View image in PDF format](#)

Detail by Entity Name

Florida Limited Liability Company
WESEMAN DEVELOPMENT, LLC

Filing Information

Document Number L16000201066
FEI/EIN Number 81-4332332
Date Filed 11/02/2016
State FL
Status ACTIVE

Principal Address

1501 NW 98TH ST
GAINESVILLE, FL 32606

Mailing Address

1501 NW 98TH ST
GAINESVILLE, FL 32606

Registered Agent Name & Address

DELANEY, PHILIP A
2234 NW 40TH TER STE B
GAINESVILLE, FL 32605

Authorized Person(s) Detail

Name & Address

Title MGR

WESEMAN, GARY W
1501 NW 98TH ST
GAINESVILLE, FL 32606

Annual Reports

Report Year	Filed Date
2017	02/16/2017
2018	02/07/2018

Document Images

02/07/2018 -- ANNUAL REPORT	View image in PDF format
02/16/2017 -- ANNUAL REPORT	View image in PDF format
11/02/2016 -- Florida Limited Liability	View image in PDF format

City of Gainesville

PUBLIC SCHOOL STUDENT GENERATION CALCULATION FORM

PROJECT #

APPLICATION DATE

NAME & DESCRIPTION OF PROJECT

PROJECT ADDRESS (Contact 911 Addressing @ 352.338.7361)

Tax Parcel Numbers

Acreage

DEVELOPMENT DATA (check all that apply)

Single Family	Multi Family	Exempt (See exemptions on page 2)
Number of Units	Number of Units	

Level of Review

Pre-Application Conference	Preliminary	Final	Revised	Staff Administrative Review
----------------------------	-------------	-------	---------	-----------------------------

A determination that there is adequate school capacity for a specific project will satisfy requirements for review for school concurrency for the periods of time consistent with the Interlocal Agreement and specified in local government land development regulations; an agreement by the School Board with the developer and local government is required to extend the period for approvals for phased projects beyond the generally applicable time period

EXPLANATION OF STUDENT GENERATION CALCULATION

Student Generation is calculated based on the type of residential development and the type of schools. The number of student stations (by school type - Elementary, Middle and High School) used for calculating the school concurrency impacts is equal to the number of dwelling units by housing type multiplied by the student generation multiplier (for housing type & school type) established by the School Board. Calculations are rounded to the nearest whole number. Student Generation for each school type is calculated individually to assess the impact on the **School Concurrency Service Area (SCSA)** for each school type (Elementary, Middle and High School).

SCHOOL CONCURRENCY SERVICE AREAS (SCSA) FOR PROJECT LOCATION

Based on the project location, please identify the corresponding School Concurrency Service Areas for each school type. Maps of the SCSAs can be obtained from Alachua County Growth Management Department GIS Services by clicking on the "GIS Data" link.

http://growth-management.alachuacounty.us/gis_services/map_gallery/

SCHOOL CONCURRENCY SERVICE AREAS (SCSA)

Elementary

Middle

High

SINGLE FAMILY RESIDENTIAL DEVELOPMENT STUDENT GENERATION CALCULATIONS

ELEMENTARY	units X 0.15 Elementary School Multiplier	Student Stations
MIDDLE	units X 0.07 Middle School Multiplier	Student Stations
HIGH	units X 0.09 High School Multiplier	Student Stations

MULTI FAMILY RESIDENTIAL DEVELOPMENT STUDENT GENERATION CALCULATIONS

ELEMENTARY	units X 0.08 Elementary School Multiplier	Student Stations
MIDDLE	units X 0.03 Middle School Multiplier	Student Stations
HIGH	units X 0.03 High School Multiplier	Student Stations

Source: School Board of Alachua County 2015 Student Generation Multiplier Analysis

EXEMPT DEVELOPMENTS (click all that apply)

Existing legal lots eligible for a building permit

Development that includes residential uses that has received final development plan approval prior to the effective date for public school concurrency, or has received development plan approval prior to June 24, 2008, provided the development approval has not expired

Amendments to final development orders for residential development approved prior to the effective date for public school concurrency, and which do not increase the number of students generated by the development

Age-restricted developments that prohibit permanent occupancy by persons of school age, provided this condition is satisfied in accordance with the standards of the Public School Facilities Element or the ILA

Group quarters that do not generate public school students, as described in the ILA

AUTHORIZED AGENT

PROPERTY OWNER

Name:
Mailing Address:

Name:
Mailing Address

Phone:
Email:

Phone:
Email

CERTIFICATION

PROJECT NAME :

PROJECT #:

This application for a determination of the adequacy of public schools to accommodate the public school students generated by the subject development has been reviewed for compliance with the school concurrency management program and in accordance with the ILA. The following determinations have been made:

Approved based upon the following findings (see 2015-2016 Capacity Tables)

Elementary SCSA

Capacity Required

Capacity Available

Available Capacity

Capacity Available in 3 yrs

Available Capacity

Capacity Available in Adjacent SCSA

Available Capacity

Middle SCSA

Capacity Required

Capacity Available

Available Capacity

Capacity Available in 3 yrs

Available Capacity

Capacity Available in Adjacent SCSA

Available Capacity

High SCSA

Capacity Available

Available Capacity

Capacity Available in 3 yrs

Available Capacity

Capacity Available in Adjacent SCSA

Available Capacity

Denial for reasons stated

Approved by

City of Gainesville Staff

School Board Staff Certification

A complete application for the development project was accepted on

Date:

Vicki McGrath
Community Planning Director
School Board of Alachua County
352.955.7400 x 1423

Signed:

Printed Name:

Date:

MEMORANDUM

To: Neighbors of 6400 SW 24th Avenue, across from Portofino Subdivision 17-0500
From: CHW
Date: March 22, 2018
RE: Tower Road Master Planned Community Neighborhood Workshop

A Neighborhood Workshop will be held to discuss a design plat application for a ±115-acre site in Gainesville, FL (Alachua County Tax Parcels 06677-003-000, 06675-001-000, & 06675-003-000). The site is located off of SW 24th Avenue, directly across from the Portofino Subdivision and off SW 75th Street across from Westwood Subdivision. The proposed development will be constructed in numerous phases over the next five years.

This is not a public hearing. The purpose of this workshop is to inform the public about the nature of the proposal and seek their comments.

Time: 6:00 p.m. on Thursday, April 12, 2018
Location: FrontStreet Group, 132 NW 76th Drive, Gainesville, FL 32607
Contact: Josh Highlander, P.E.
Phone Number: (352) 331-1976

DESIGN PLAT

NOT FOR FINAL RECORDING

FOR

TANGLEWOOD

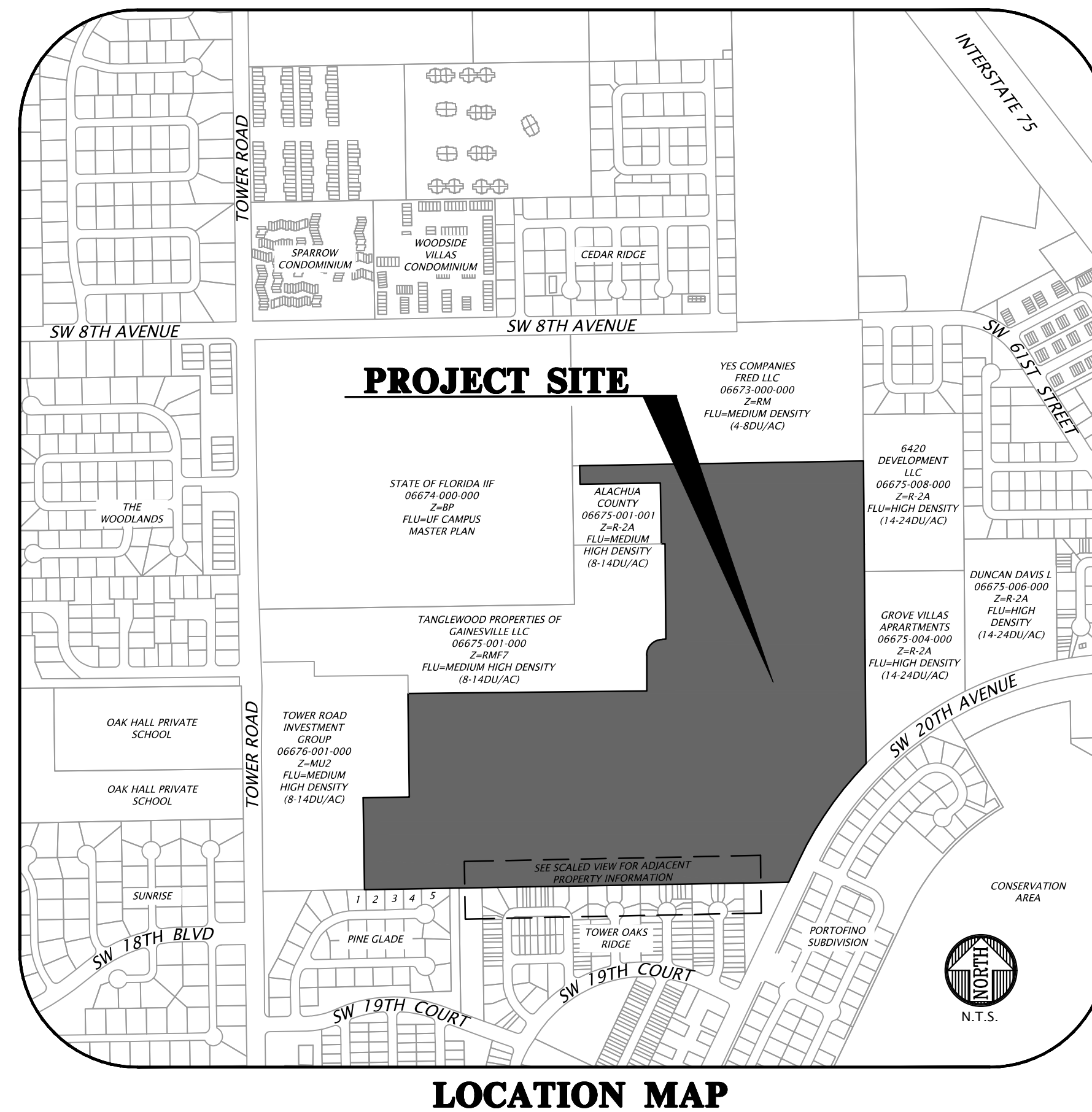
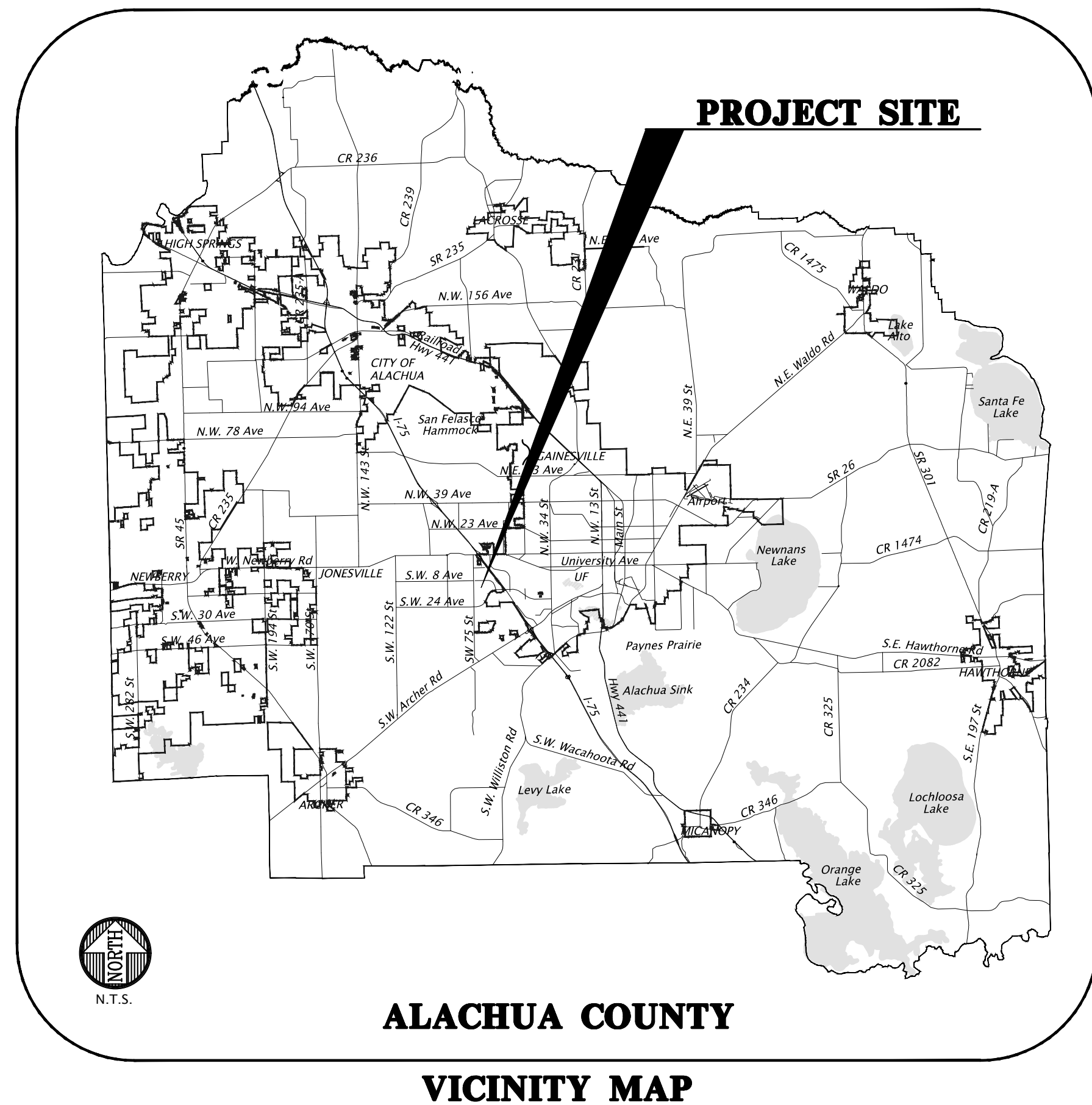
"A CLUSTER SUBDIVISION"

GAINESVILLE, FLORIDA

SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST

SUBMITTED TO
CITY OF GAINESVILLE

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C0.00	COVER SHEET AND INDEX
1 OF 12	BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY
C1.00	MASTER DESIGN PLAT PLAN
C1.01	DETAILED DESIGN PLAT PLAN
C1.02	DETAILED DESIGN PLAT PLAN
C1.03	DETAILED DESIGN PLAT PLAN
C2.00	PRELIMINARY DRAINAGE AND UTILITY PLAN
C3.00	PRELIMINARY PHASING PLAN
C4.00	PRELIMINARY ROADWAY CROSS SECTIONS
LS-1	PRELIMINARY LANDSCAPE MASTER PLAN



GENERAL NOTES

- PROPERTY OWNER/DEVELOPER:
GARY WESEMAN
WESEMAN DEVELOPMENT, LLC
1501 NW 98TH STREET
GAINESVILLE, FLORIDA 32606
PH: 352-480-6928
- ENGINEER OF RECORD:
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
PH: 352-331-1976
- SURVEYOR OF RECORD:
CHW
11801 RESEARCH DRIVE
ALACHUA, FL 32615
PH: 352-331-1976
- GENERAL DEVELOPMENT DATA:

TOTAL DEVELOPMENT (ALL PHASES)	ACRES	SQ. FEET	PERCENT
TOTAL AREA	92.65	4,035,834	100%
LOT AREA	47.20	2,056,032	50.94%
CLUSTER OPEN SPACE	N/A	N/A	N/A
STORMWATER MANAGEMENT AREA**	10.77	469,141	11.62%
RIGHT-OF-WAY	21.22	924,343	22.90%
COMMON AREA	13.46	586,317	14.53%
IMPERVIOUS AREA*	51.90	2,260,764	56.02%

* IMPERVIOUS AREA IS CALCULATED BY THE STREET RIGHT-OF-WAY AND ASSUMED 65% OF THE DEVELOPABLE AREA. THE IMPERVIOUS AREA CAN CHANGE IN FINAL DEVELOPMENT.
** STORMWATER MANAGEMENT AREAS SHALL BE MODIFIED IN FINAL DEVELOPMENT PLAN PREPARATION AND WILL BE IN ACCORDANCE WITH SECTION 30-270 AND THE CITY OF GAINESVILLE ENGINEERING DESIGN AND CONSTRUCTION MANUAL.
- CLUSTER OPEN SPACE CALCULATIONS:
CLUSTER OPEN SPACE IS NOT REQUIRED BECAUSE LOT SIZES ARE NOT REDUCED BELOW THE MINIMUM AREA REQUIRED.
- SURVEYOR'S NOTES:
BEARINGS SHOWN HEREON ARE BASED ON STATE PLAN FLORIDA NORTH ZONE (NAD 83/90) GRID.
- ZONING:
RMFS
- FUTURE LAND USE:
MEDIUM HIGH DENSITY (8 - 14 DU/AC)
- DEVELOPMENT NOTES:
 - THE DESIGN PLAT CONTAINS: ±92.65 ACRES
 - THE DESIGN PLAT INCLUDES: 308 SINGLE FAMILY DETACHED RESIDENTIAL LOTS
 - BUILDING SETBACK REQUIREMENTS:

LOT SIZE	SETBACK
55'x110'	10'
FRONT SETBACK (FT)	10'
REAR SETBACK (FT)	10'
SIDE SETBACK (FT)	5'
STREET SIDE SETBACK (FT)	10'
 - ACCESSORY STRUCTURES, EXCLUDING FENCES AND WALLS:

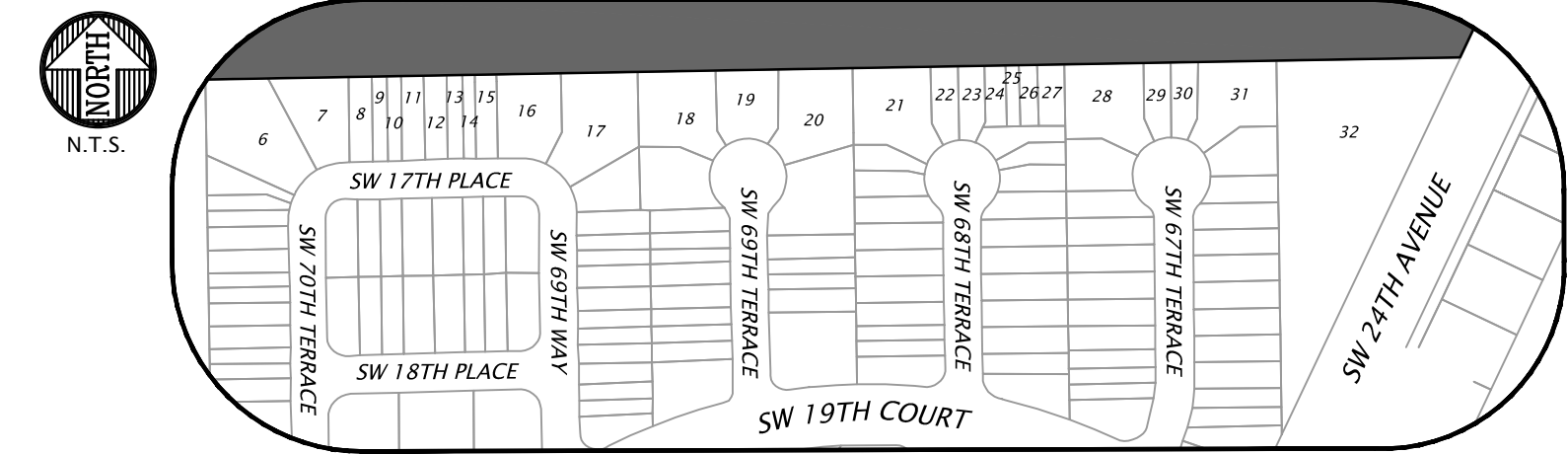
MINIMUM FRONT YARDS AND SIDE YARD SETBACKS	10'
MINIMUM REAR YARD SETBACK	10'
MAXIMUM BUILDING HEIGHT	25'
 - THERE SHALL BE NO DIRECT ACCESS FROM ANY LOT TO MAIN COLLECTOR ROAD RUNNING THROUGH THE DEVELOPMENT CONNECTING TO SW 20TH AVENUE.
 - ALL COMMON AREAS WILL BE DEDICATED TO THE OWNERS ASSOCIATION, AND WILL BE PRIVATELY OWNED/MAINTAINED. AMENITIES WITHIN COMMON AREAS MAY BE DEFINED AT THE TIME OF BUILDING PERMITS (AS APPLICABLE).

- DESCRIPTION OF NATURAL OR MANMADE FEATURES:
 - THE UPLAND AREAS HAVE BEEN CLEAR CUT AND HARVESTED BECAUSE TREES HAD MEET MATURITY. THE AREA CONSISTED MOSTLY OF PINES AND HARDWOOD.
 - THERE ARE NO WETLAND SOILS, VEGETATION, OR HYDROLOGY ON THE DEVELOPMENT SITE.
- UTILITIES:
 - GENERAL: WATER, WASTEWATER, ELECTRIC, AND NATURAL GAS WILL BE PROVIDED BY CONNECTION TO THE ADJACENT EXISTING FACILITIES FROM GAINESVILLE REGIONAL UTILITIES (GRU).
 - WATER: NEW WATER MAINS WILL BE EXTENDED FROM THE EXISTING WATER MAIN STUBBED FOR FUTURE CONNECTION LOCATED IN THE ADJACENT STREET RIGHT-OF-WAY. A FIRE HYDRANT WILL BE PLACED WITHIN 500' FROM EVERY SINGLE FAMILY RESIDENCE.
 - WASTEWATER: A GRAVITY COLLECTION SYSTEM WILL BE CONSTRUCTED TO DRAIN THE SANITARY SEWER GRAVITY COLLECTION SYSTEM AND CONNECT TO THE EXISTING SANITARY SEWER GRAVITY STUBBED FOR FUTURE CONNECTION LOCATED IN THE ADJACENT STREET RIGHT-OF-WAY.
- SURFACEWATER MANAGEMENT SYSTEM:
 - EXISTING CONDITIONS: THE PROJECT SITE IS 91.05 ACRES. THE SITE HAS MILD TOPOGRAPHIC CHANGES, THERE ARE OCCASIONS OF PEAKS AND VALLEYS. THESE ARE PRIMARILY LOCATED ON THE PROPERTY BOUNDARY LINE.
 - SITE SOILS INFORMATION:
ON-SITE SOILS CONSIST OF A MIXTURE OF ARREDONDO FINE SAND, KENDRICK SAND, JONESVILLE-CALLOUAC-BONEVAL COMPLEX, AND CAVLER FINE SAND. THESE SOILS DRAIN WELL AND WILL BENEFIT THE STORMWATER MANAGEMENT FACILITY SYSTEM BY REDUCING THE SIZE OF THE PONDS. THE HYDROLOGIC SOIL GROUP FOR SOIL TYPES ARE A AND B.
 - PROPOSED SURFACE WATER MANAGEMENT FACILITY (SMF):
THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL CONSIST OF DRY RETENTION PONDS AS LOCATED ON SHEET C2.00. THE DRAINAGE AND POND AREAS SHALL BE MODIFIED IN FINAL DEVELOPMENT PLAN PREPARATION AND WILL BE IN ACCORDANCE WITH SECTION 30-270 AND THE CITY OF GAINESVILLE ENGINEERING DESIGN AND CONSTRUCTION MANUAL.
- LANDSCAPING REQUIREMENTS (REF. SEC. 30-261 LDC)
 - THE CONSTRUCTION OF THE SUBDIVISION IMPROVEMENTS (IE: STORMWATER MANAGEMENT FACILITIES, ROAD RIGHT-OF-WAY, PUBLIC UTILITY EASEMENTS) NO TREES WILL BE REMOVED UNTIL APPLICATION HAS BEEN MADE TO THE CITY FOR THE PERMIT REQUIRING THEIR REMOVAL.
 - TREE BARRICADES SPECIFICATIONS WILL BE PART OF THE CONSTRUCTION DOCUMENTS. TREE BARRICADES WILL BE INSTALLED PRIOR TO SITE CONSTRUCTION TO PROTECT TREES DESIGNATED TO BE SAVED.
 - ALL HERITAGE TREES, IF ANY, LOCATED WITHIN THE INDIVIDUAL LOT YARD SETBACKS WILL REQUIRE A TREE REMOVAL PERMIT FOR REMOVAL.
 - STREET TREES SHALL BE PLANTED ALONG SIDES OF ALL STREETS WITHIN THE DEVELOPMENT AND ON THE DEVELOPMENT SIDE OF ANY CONTIGUOUS STREET. TREES SHALL BE PLANTED FOR EVERY 30 TO 50 FEET OF STREET FRONTAGE, DEPENDING ON THE CANOPY AREA NEEDED FOR THE TREE SPECIES. ALL TREES SHALL BE FLORIDA NURSERY GRADE NUMBER 1 OR BETTER, ACCORDING TO THE FLORIDA DEPARTMENT OF AGRICULTURE DIVISION OF PLANT INDUSTRY GRADES AND STANDARDS FOR NURSERY PLANTS. TREES SHALL HAVE A MINIMUM HEIGHT OF 7 FEET AND MINIMUM TRUNK CALIPER OF 2 INCHES.
 - SEE LANDSCAPE PLAN FOR PRELIMINARY LANDSCAPING WITHIN THE NEW STORMWATER MANAGEMENT FACILITIES.
- 'FINAL PLAT' OR 'CONDITIONAL FINAL PLAT' APPROVAL REQUESTS FOR ALL PHASES WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT WITHIN ONE (1) YEAR OF CITY COMMISSION APPROVAL OF THE DESIGN PLAT, OR AN EXTENSION WILL BE REQUESTED AS ALLOWED BY THE CITY'S LAND DEVELOPMENT CODE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH TABLE 600 FLORIDA BUILDING CODE FOR FIRE RESISTANCE RATINGS AND PERCENTAGE OF OPENING (S) ALONG COMMON PROPERTY LINES.
- TRAFFIC STATEMENT:
THE PROJECT TRAFFIC GENERATION IS CALCULATED FROM TRIP GENERATION RATES PUBLISHED IN THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION, AN INFORMATIONAL REPORT, 10TH EDITION.

PROPOSED LAND USE	QUANTITY	ADT	AM PEAK HR	PM PEAK HR
SINGLE FAMILY DETACHED HOUSING	308	2927	223	299
TOTAL	308	2927	223	299

THE DEVELOPMENT IS LOCATED IN ZONE D OF THE TRANSPORTATION MOBILITY PROGRAM AREA (TMPA), AND SHALL MEET ALL RELEVANT TRANSPORTATION MOBILITY ELEMENT POLICY 10.1.4 AND 10.1.9 CRITERIA. A FEE IN LIEU OF WILL BE MADE TO THE CITY TO SATISFY APPLICABLE TMPA ZONE D POLICY 10.1.9 CRITERIA.

THE TANGLEWOOD SUBDIVISION IS PART OF THE TOWER ROAD MIXED USE DEVELOPMENT. THE TOWER ROAD MIXED USE TRAFFIC STUDY WAS SUBMITTED TO THE CITY OF GAINESVILLE AND ALACHUA COUNTY WITH THE PHASE 1 DEVELOPMENT.



LIST OF ADJACENT LANDOWNERS

DIRECTION	TAX PARCEL NUMBER(S)	LANDOWNER(S)
1	06678-010-009	TETRICK BRANDON S
2	06678-010-010	KUNG MICHAEL
3	06678-010-011	SLIVON RACHEL M
4	06678-010-012	BUCKLEY JAMES K
5	06678-010-013	SUAREZ LISABET
6	06678-100-043	ALACHUA COUNTY HOUSING AUTHORITY
7	06678-100-041	TROMETER TIMOTHY D AND LISA
8	06678-100-040	RATLIFF LARRY A AND TONJ
9	06678-100-039	MCLELLAN TERESA M
10	06678-100-038	MORRIS JUDY
11	06678-100-037	HARRISON STACY
12	06678-100-036	2 GALS INVESTMENT INC
13	06678-100-035	NGUYEN DUC THONG
14	06678-100-034	AGUILERA CONNIE
15	06678-100-033	JACKSON PATRICK
16	06678-100-031	CLAY LAWRENCE
17	06678-100-030	DANIEL THOMAS A
18	06678-100-009	ZIMMERMAN CHESTER R JR
19	06678-100-008	KARMA ASSET MANAGEMENT LLC
20	06678-100-007	HU AND LI
21	06677-612-001	KALICHARAN AND KALICHARAN
22	06677-060-011	ZADEZENSKY DORYS
23	06677-060-010	ZADEZENSKY AND ZDROJEWSKI W/H
24	06677-609-001	MANCINI AND MANCINI
25	06677-609-002	KBR INVESTMENTS LLC
26	06677-609-003	JOUVENAS BRANDEN A
27	06677-609-004	LACINAK DAVID J AND CHRISTINE
28	06677-050-016	SILBER SAUL
29	06677-050-015	BLEICHER AND HENESY
30	06677-050-014	BLU BUBBLES LLC
31	06677-050-013	SILBER SAUL
32	06677-050-000	AFFORDABLE HOME INC

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
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est. 1988
FLORIDA
CA-5075

CHW
Professional Consultants

SCALE: N/A
VERIFY SCALE ON ORIGINAL DRAWING
0 INCHES = 100 FEET
THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION/REV. REVISIONS

DATE: 04/20/18 - CITY OF GAINESVILLE
06/01/18 - CITY OF GAINESVILLE
07/16/18 - CITY OF GAINESVILLE

CLIENT: WESEMAN DEVELOPMENT
PROJECT: TANGLEWOOD
SHEET TITLE: COVER SHEET AND INDEX
PROJECT NUMBER: 17-0500

DESIGNED BY: J. THOMAS
DRAWN BY: J. THOMAS
QUALITY CONTROL: J. HIGHLANDER
PROJECT NUMBER: 17-0500

SHEET NO.: C0.00

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Plot Date: Jul 16, 2018 9:33am
Plot Path: J:\2017\17-0500\Engineering\DWG\Production\Plan\17-0500_C0.00_C0.dwg

SITE DATA:

FUTURE UNIT	LOTS
UNIT 1	125
UNIT 2	98
UNIT 3	85
TOTAL	308

LOT/BUILDING REQUIREMENTS:

TYPE	REQUIRED
FRONT SETBACK (FT)	10'
REAR SETBACK (FT)	10'
SIDE SETBACK (FT)	5'
STREET SIDE SETBACK (FT)	10'
ACCESSORY BUILDING SETBACK (FT)	10'

LEGEND:

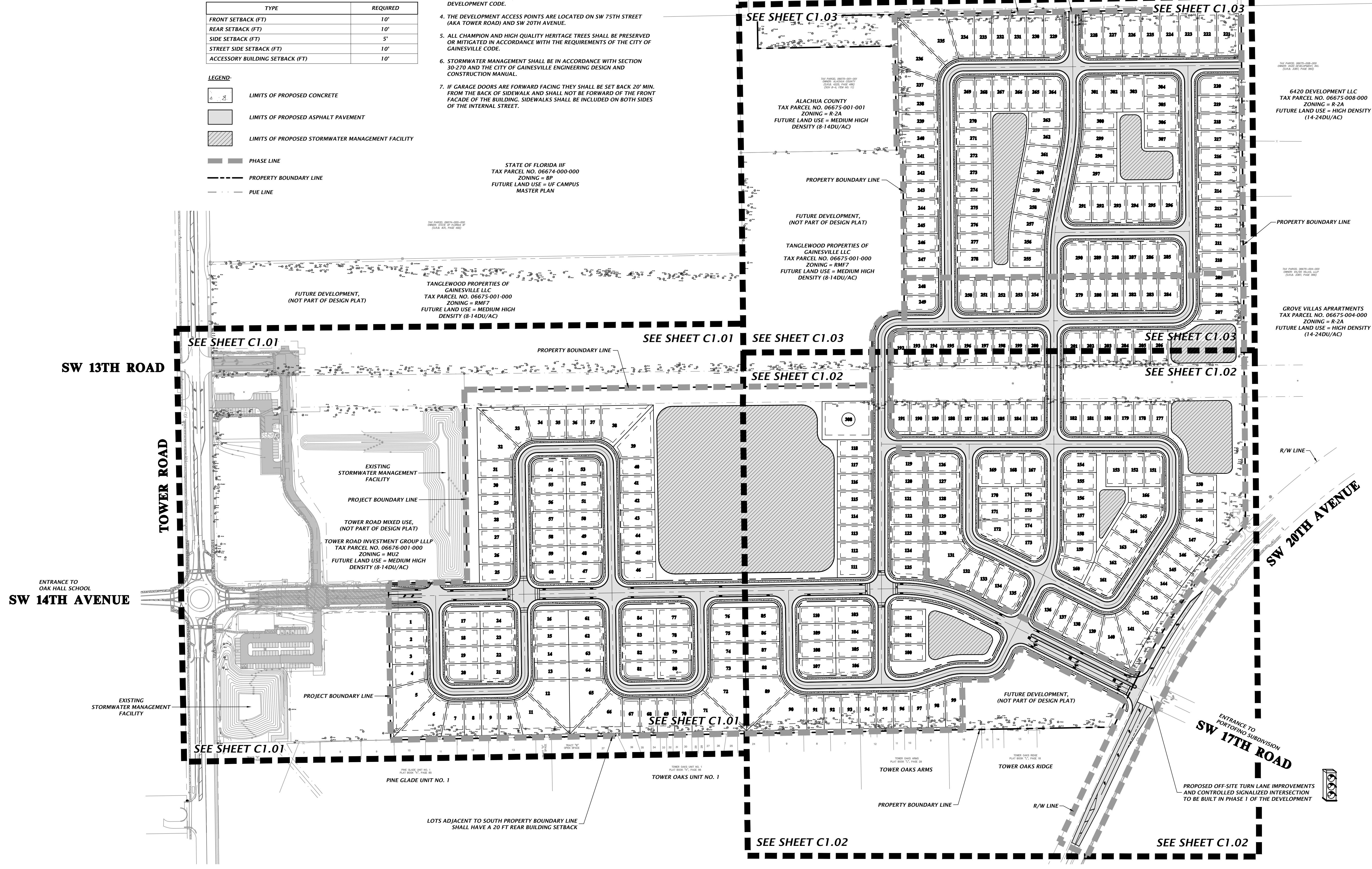
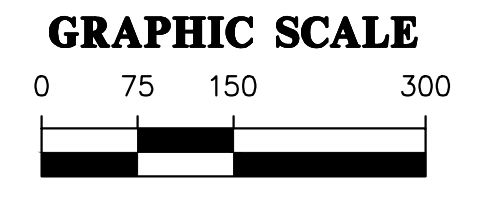
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- LIMITS OF PROPOSED ASPHALT PAVEMENT
- LIMITS OF PROPOSED STORMWATER MANAGEMENT FACILITY
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- PROPERTY BOUNDARY LINE
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GENERAL NOTES:

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STATE OF FLORIDA IIF
 TAX PARCEL NO. 06674-000-000
 ZONING = R-2A
 FUTURE LAND USE = UF CAMPUS
 MASTER PLAN

YES COMPANIES FRED LLC
 TAX PARCEL NO. 06673-000-000
 ZONING = RM
 FUTURE LAND USE = MEDIUM HIGH DENSITY
 (4-8DU/AC)



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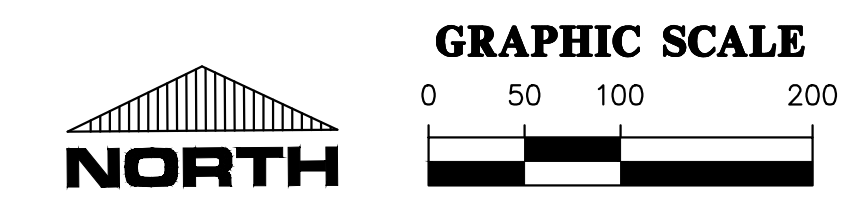
CONSTRUCTION REVISIONS

DATE: 04/20/18 - CITY OF GAINESVILLE
 06/01/18 - CITY OF GAINESVILLE
 07/16/18 - CITY OF GAINESVILLE

CLIENT: WESEMAN DEVELOPMENT
 PROJECT: TANGLEWOOD
 SHEET TITLE: MASTER DESIGN PLAT PLAN

DESIGNER: J. THOMAS
 CHECKER: J. THOMAS
 QUANTITY CONTROL: J. HIGHLANDER
 PROJECT NUMBER: 17-0500

SHEET NO.: C1.00



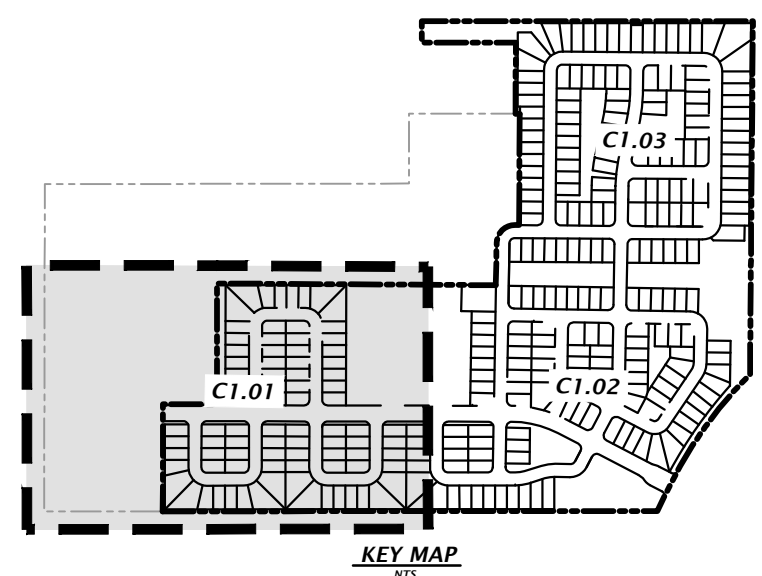
SITE DATA

FUTURE UNIT	LOTS
UNIT 1	125
UNIT 2	98
UNIT 3	85
TOTAL	308

LOT/BUILDING REQUIREMENTS

TYPE	REQUIRED
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ACCESSORY BUILDING SETBACK (FT)	10'

- LEGEND**
- LIMITS OF PROPOSED CONCRETE
 - LIMITS OF PROPOSED ASPHALT PAVEMENT
 - LIMITS OF PROPOSED STORMWATER MANAGEMENT FACILITY
 - PHASE LINE
 - PROPERTY BOUNDARY LINE
 - PUE LINE

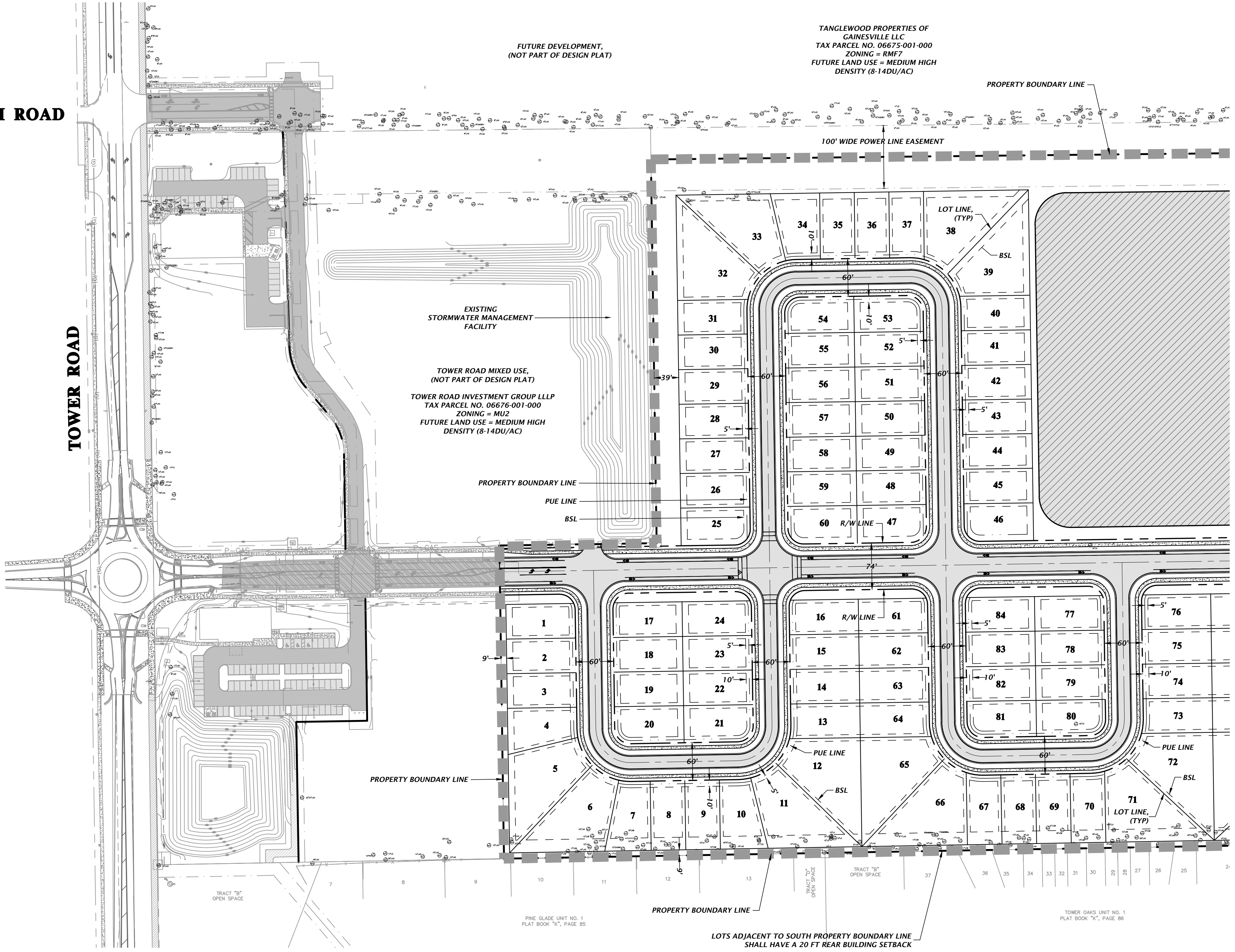


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ENTRANCE TO
OAK HALL SCHOOL
SW 14TH AVENUE

SW 13TH ROAD

TOWER ROAD



TANGLEWOOD PROPERTIES OF
GAINESVILLE LLC
TAX PARCEL NO. 06675-001-000
ZONING = RMF7
FUTURE LAND USE = MEDIUM HIGH
DENSITY (8-14 DU/AC)

TOWER ROAD MIXED USE,
(NOT PART OF DESIGN PLAT)
TOWER ROAD INVESTMENT GROUP LLLP
TAX PARCEL NO. 06676-001-000
ZONING = M12
FUTURE LAND USE = MEDIUM HIGH
DENSITY (8-14 DU/AC)

SEE SHEET C1.01 FOR CONTINUATION

SEE SHEET C1.02 FOR CONTINUATION

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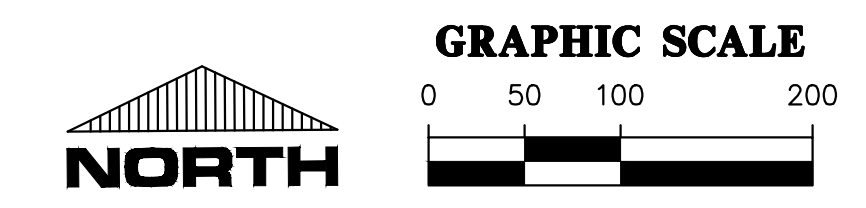
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REVISIONS
DATE: 04/20/18 - CITY OF GAINESVILLE
06/01/18 - CITY OF GAINESVILLE
07/16/18 - CITY OF GAINESVILLE

CLIENT: WESEMAN DEVELOPMENT
PROJECT: TANGLEWOOD
SHEET TITLE: DETAILED DESIGN PLAT PLAN

DESIGNER: J. THOMAS
QUANTITY CONTROL: J. THOMAS
PROJECT NUMBER: 17-0500

SHEET NO.: C1.01



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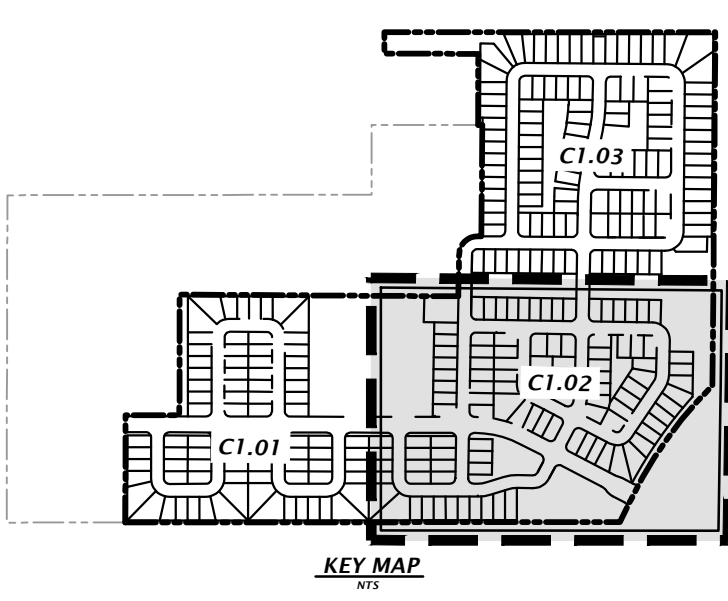
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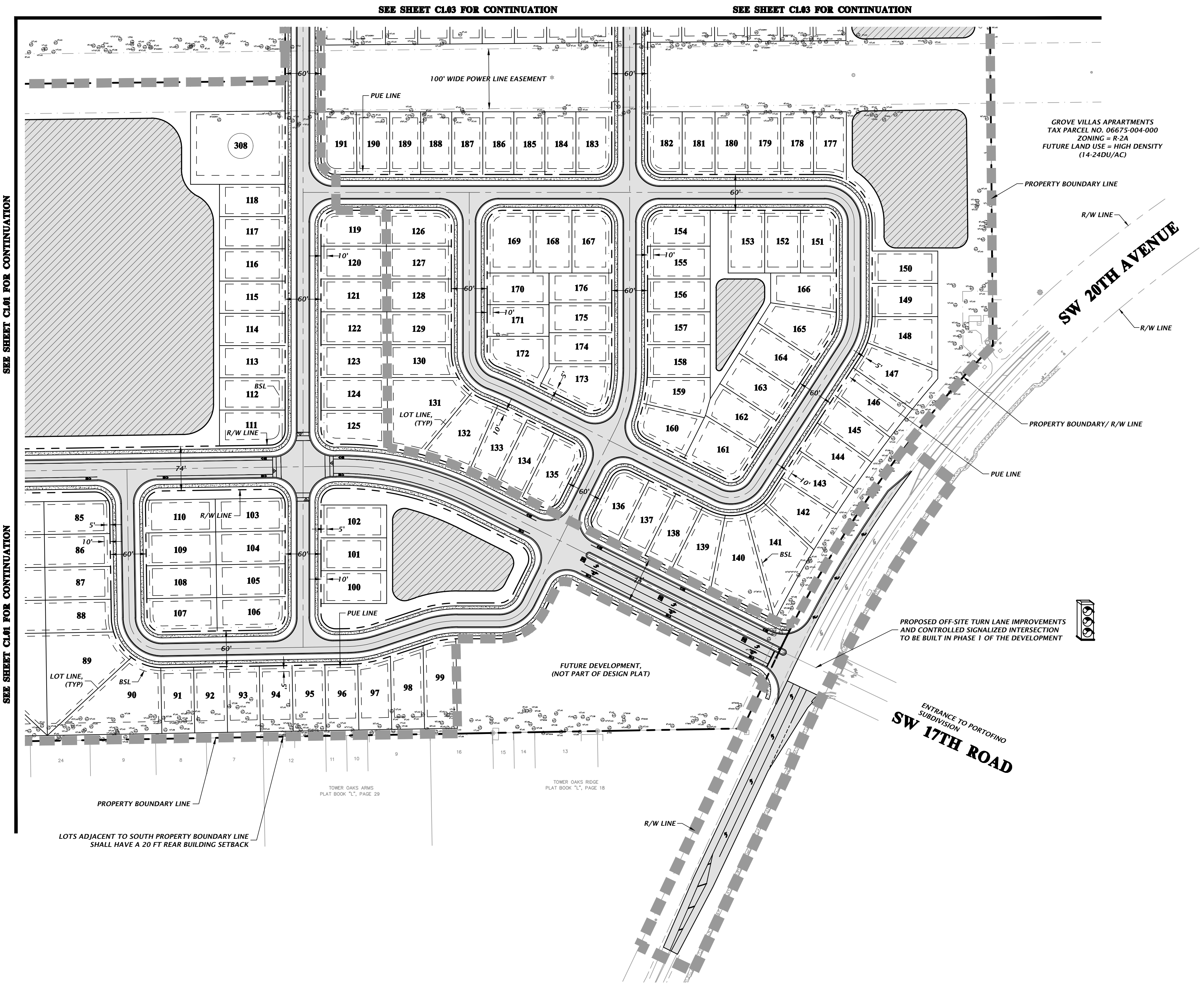
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GENERAL NOTES:

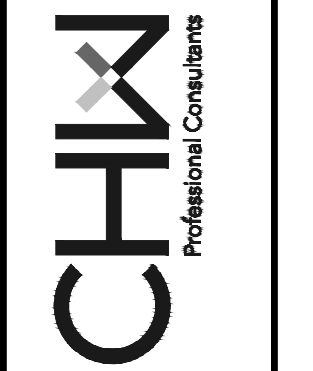
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SEE SHEET C1.01 FOR CONTINUATION

SEE SHEET C1.01 FOR CONTINUATION

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SCALE: 1"=100'
THIS SCALE IS FOR REFERENCE ONLY. ALL DIMENSIONS SHALL BE TAKEN FROM THE ORIGINAL DRAWING.
IF ANY DIMENSIONS DO NOT MATCH THIS SHEET, ADJUST SCALES ACCORDINGLY.

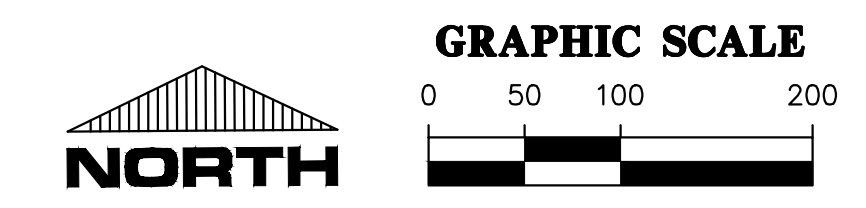
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CLIENT: WESEMAN DEVELOPMENT
PROJECT: TANGLEWOOD

DESIGNER: J. THOMAS
QUANTITY CONTROL: J. THOMAS
PROJECT NUMBER: 17-0500

SHEET TITLE: DETAILED DESIGN PLAT PLAN
SHEET NUMBER: 17-0500
SHEET NO.: C1.02



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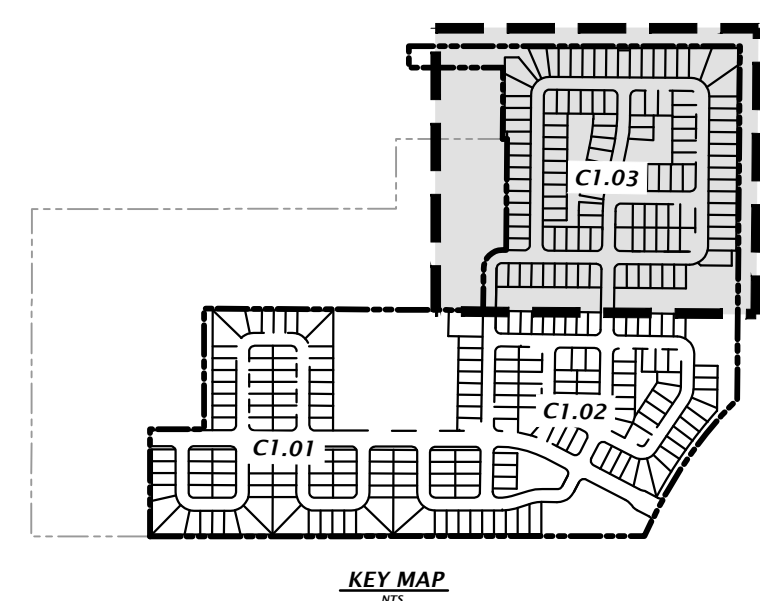
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LOT/BUILDING REQUIREMENTS:

TYPE	REQUIRED
FRONT SETBACK (FT)	10'
REAR SETBACK (FT)	10'
SIDE SETBACK (FT)	5'
STREET SIDE SETBACK (FT)	10'
ACCESSORY BUILDING SETBACK (FT)	10'

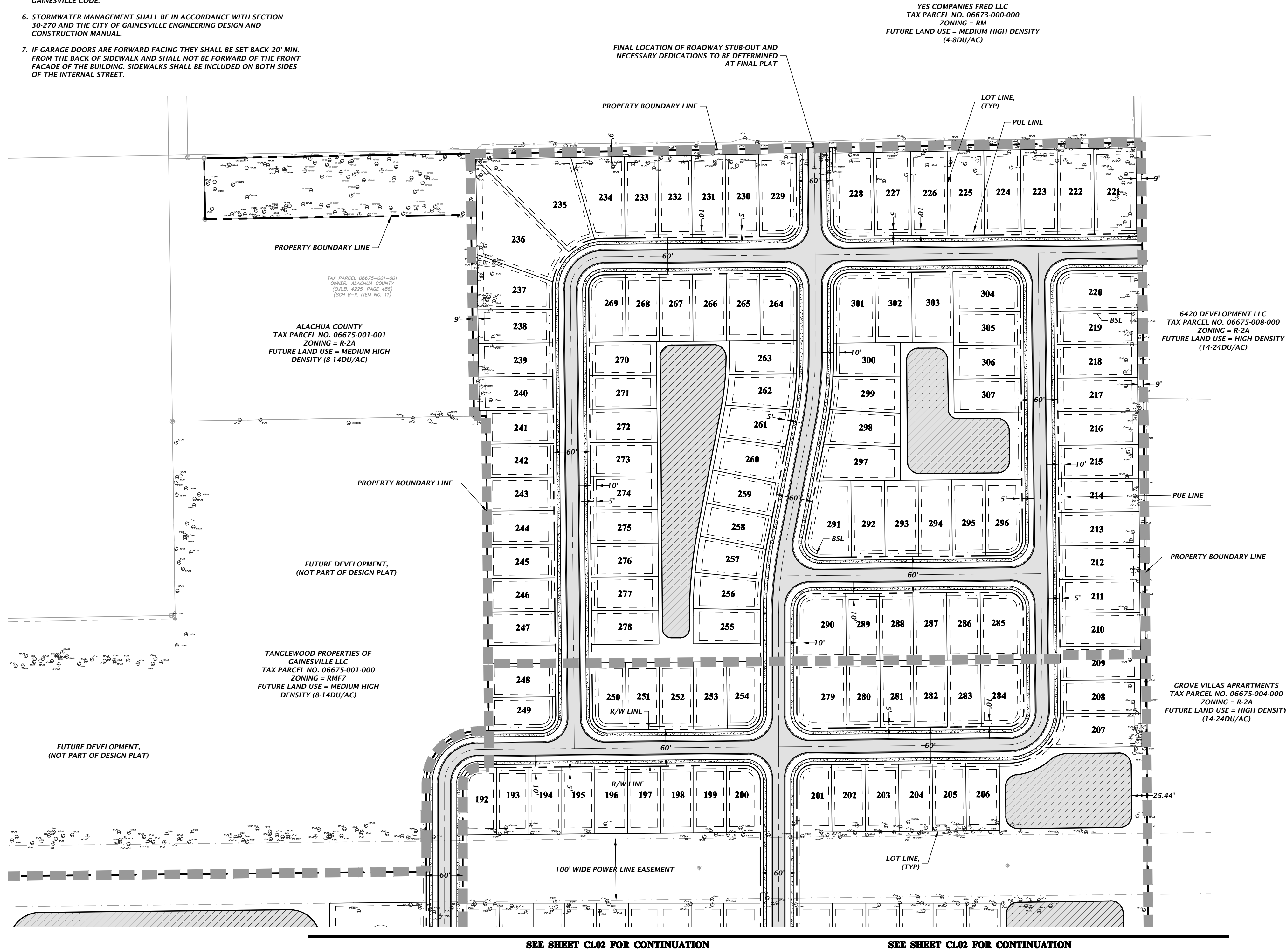
LEGEND:

- LIMITS OF PROPOSED CONCRETE
- LIMITS OF PROPOSED ASPHALT PAVEMENT
- LIMITS OF PROPOSED STORMWATER MANAGEMENT FACILITY
- PHASE LINE
- PROPERTY BOUNDARY LINE
- PUE LINE



GENERAL NOTES:

- PHASE LIMITS MAY BE ADJUSTED AT THE TIME OF FINAL PLAT. SUB PHASING IS EXPECTED TO OCCUR AND MAY BE MODIFIED.
- PHASE SEQUENCE MAY BE MODIFIED AT THE TIME OF FINAL PLAT AND CONSTRUCTION.
- 'FINAL PLAT' OR 'CONDITIONAL FINAL PLAT' APPROVAL REQUESTS FOR ALL PHASES WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT WITHIN ONE (1) YEAR OF CITY COMMISSION APPROVAL OF THE DESIGN PLAT, OR AN EXTENSION WILL BE REQUESTED AS ALLOWED BY THE CITY'S LAND DEVELOPMENT CODE.
- THE DEVELOPMENT ACCESS POINTS ARE LOCATED ON SW 75TH STREET (AKA TOWER ROAD) AND SW 20TH AVENUE.
- ALL CHAMPION AND HIGH QUALITY HERITAGE TREES SHALL BE PRESERVED OR MITIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GAINESVILLE CODE.
- STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH SECTION 30-270 AND THE CITY OF GAINESVILLE ENGINEERING DESIGN AND CONSTRUCTION MANUAL.
- IF GARAGE DOORS ARE FORWARD FACING THEY SHALL BE SET BACK 20' MIN. FROM THE BACK OF SIDEWALK AND SHALL NOT BE FORWARD OF THE FRONT FAÇADE OF THE BUILDING. SIDEWALKS SHALL BE INCLUDED ON BOTH SIDES OF THE INTERNAL STREET.



SEE SHEET C1.02 FOR CONTINUATION

SEE SHEET C1.02 FOR CONTINUATION

Title: sheet1 Plot Date: Jul 14, 2018 8:35am Filename: L:\2017\17-0550\Engineering\DWG\Production\Plan\Design\Plan\17-0550_C1.03_05B.dwg

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 est. 1988 FLORIDA CA-5075

CHW

Professional Consultants

SCALES: 1"=100'
 REFER TO SCALE BAR FOR THE SCALE ON ORIGINAL DRAWING.
 0"=1" MAY BE USED FOR THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION/REVISIONS:
 04/20/18 - CITY OF GAINESVILLE
 06/01/18 - CITY OF GAINESVILLE
 07/16/18 - CITY OF GAINESVILLE

CLIENT: WESEMAN DEVELOPMENT
 PROJECT: TANGLEWOOD
 SHEET TITLE: DETAILED DESIGN PLAT PLAN
 PROJECT NUMBER: 17-0500

SHEET NO.: C1.03

SITE DATA:

FUTURE UNIT	LOTS
UNIT 1	125
UNIT 2	98
UNIT 3	85
TOTAL	308

LOT/BUILDING REQUIREMENTS:

TYPE	REQUIRED
FRONT SETBACK (FT)	10'
REAR SETBACK (FT)	10'
SIDE SETBACK (FT)	5'
STREET SIDE SETBACK (FT)	10'
ACCESSORY BUILDING SETBACK (FT)	10'

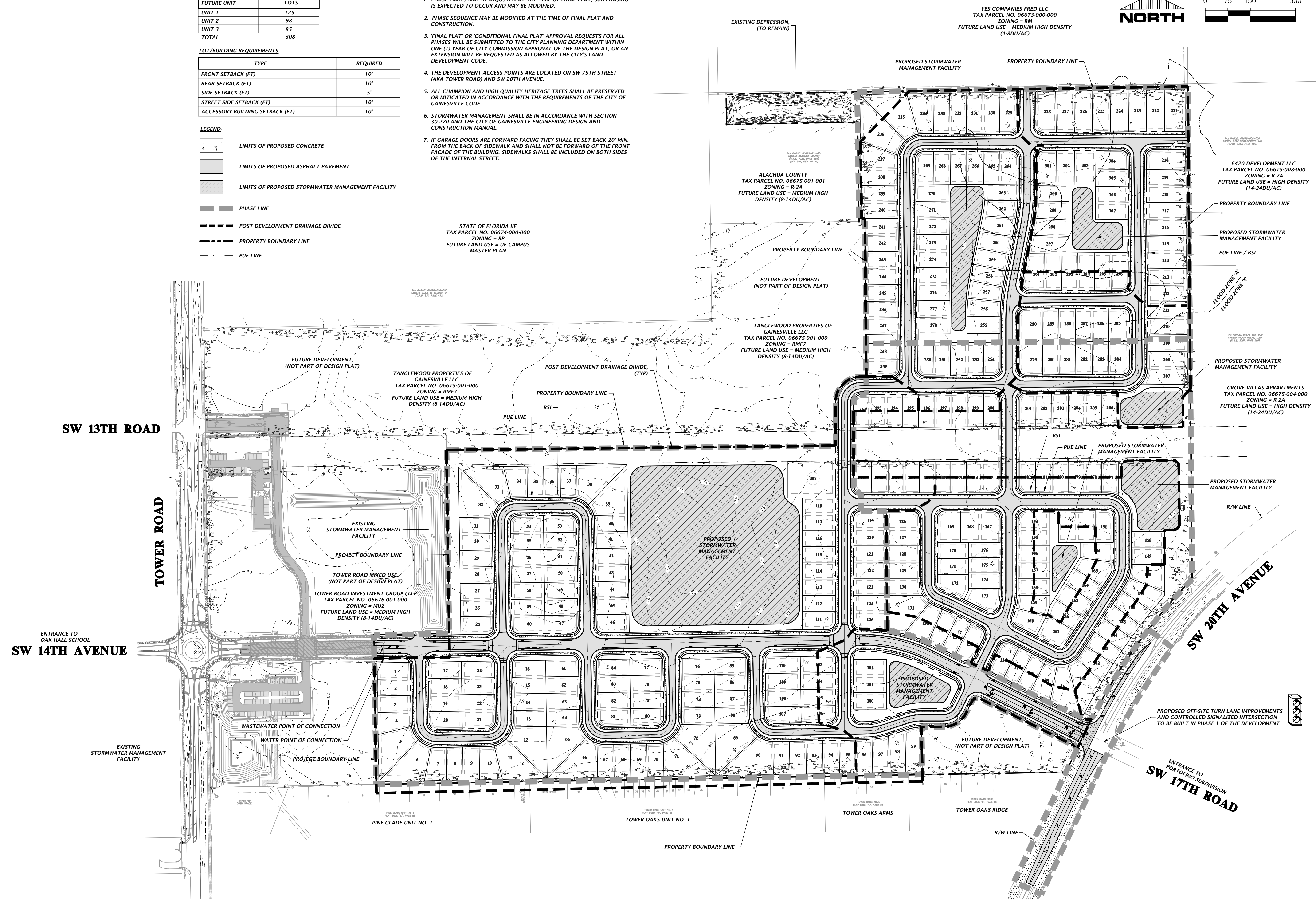
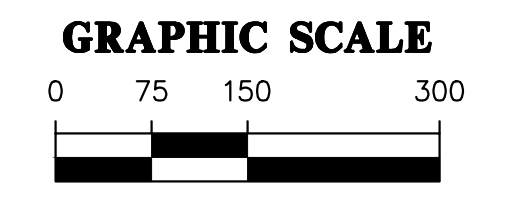
LEGEND:

- LIMITS OF PROPOSED CONCRETE
- LIMITS OF PROPOSED ASPHALT PAVEMENT
- LIMITS OF PROPOSED STORMWATER MANAGEMENT FACILITY
- PHASE LINE
- POST DEVELOPMENT DRAINAGE DIVIDE
- PROPERTY BOUNDARY LINE
- PUE LINE

GENERAL NOTES:

1. PHASE LIMITS MAY BE ADJUSTED AT THE TIME OF FINAL PLAT, SUB PHASING IS EXPECTED TO OCCUR AND MAY BE MODIFIED.
2. PHASE SEQUENCE MAY BE MODIFIED AT THE TIME OF FINAL PLAT AND CONSTRUCTION.
3. 'FINAL PLAT' OR 'CONDITIONAL FINAL PLAT' APPROVAL REQUESTS FOR ALL PHASES WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT WITHIN ONE (1) YEAR OF CITY COMMISSION APPROVAL OF THE DESIGN PLAT, OR AN EXTENSION WILL BE REQUESTED AS ALLOWED BY THE CITY'S LAND DEVELOPMENT CODE.
4. THE DEVELOPMENT ACCESS POINTS ARE LOCATED ON SW 75TH STREET (AKA TOWER ROAD) AND SW 20TH AVENUE.
5. ALL CHAMPION AND HIGH QUALITY HERITAGE TREES SHALL BE PRESERVED OR MITIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GAINESVILLE CODE.
6. STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH SECTION 30-270 AND THE CITY OF GAINESVILLE ENGINEERING DESIGN AND CONSTRUCTION MANUAL.
7. IF GARAGE DOORS ARE FORWARD FACING THEY SHALL BE SET BACK 20' MIN. FROM THE BACK OF SIDEWALK AND SHALL NOT BE FORWARD OF THE FRONT FACADE OF THE BUILDING. SIDEWALKS SHALL BE INCLUDED ON BOTH SIDES OF THE INTERNAL STREET.

STATE OF FLORIDA IIF
TAX PARCEL NO. 06674-000-000
ZONING = R-2A
FUTURE LAND USE = UF CAMPUS
MASTER PLAN



Title: 17-0500-01.dwg
 Date: Jul 14, 2018 11:35am
 Filename: L:\2017\17-0500\Engineering\DWG\Production\17-0500-01.dwg
 Plotter: HPGL
 Plot Date: Jul 14, 2018 11:35am
 Plotter: HPGL

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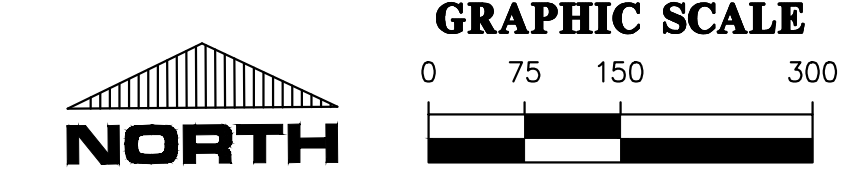
SCALES: 1" = 150'
 REFER TO SCALE ON ORIGINAL DRAWING
 0" MEANS USE THIS SHEET AS A GUIDE ONLY. ADJUST SCALES ACCORDINGLY.

CONSTRUCTION/REV. REVISIONS:

NO.	DATE	DESCRIPTION
1	04/20/18	CITY OF GAINESVILLE
2	06/01/18	CITY OF GAINESVILLE
3	07/16/18	CITY OF GAINESVILLE

CLIENT: WESMAN DEVELOPMENT
 PROJECT: TANGLEWOOD
 SHEET TITLE: PRELIMINARY DRAINAGE AND UTILITY PLAN
 PROJECT NUMBER: 17-0500

SHEET NO.: C2.00

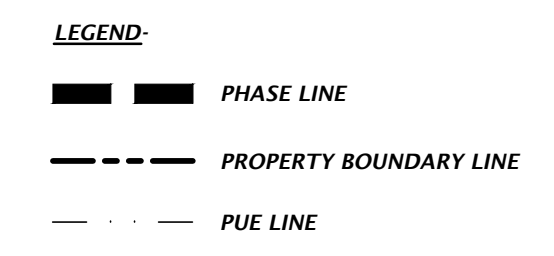


SITE DATA:

FUTURE UNIT	LOTS
UNIT 1	125
UNIT 2	98
UNIT 3	85
TOTAL	308

LOT/BUILDING REQUIREMENTS:

TYPE	REQUIRED
FRONT SETBACK (FT)	10'
REAR SETBACK (FT)	10'
SIDE SETBACK (FT)	5'
STREET SIDE SETBACK (FT)	10'
ACCESSORY BUILDING SETBACK (FT)	10'



- GENERAL NOTES:**
1. PHASE LIMITS MAY BE ADJUSTED AT THE TIME OF FINAL PLAT, SUB PHASING IS EXPECTED TO OCCUR AND MAY BE MODIFIED.
 2. PHASE SEQUENCE MAY BE MODIFIED AT THE TIME OF FINAL PLAT AND CONSTRUCTION.
 3. 'FINAL PLAT' OR 'CONDITIONAL FINAL PLAT' APPROVAL REQUESTS FOR ALL PHASES WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT WITHIN ONE (1) YEAR OF CITY COMMISSION APPROVAL OF THE DESIGN PLAT, OR AN EXTENSION WILL BE REQUESTED AS ALLOWED BY THE CITY'S LAND DEVELOPMENT CODE.
 4. THE DEVELOPMENT ACCESS POINTS ARE LOCATED ON SW 75TH STREET (AKA TOWER ROAD) AND SW 20TH AVENUE.
 5. ALL CHAMPION AND HIGH QUALITY HERITAGE TREES SHALL BE PRESERVED OR MITIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GAINESVILLE CODE.
 6. STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH SECTION 30-270 AND THE CITY OF GAINESVILLE ENGINEERING DESIGN AND CONSTRUCTION MANUAL.
 7. IF GARAGE DOORS ARE FORWARD FACING THEY SHALL BE SET BACK 20' MIN. FROM THE BACK OF SIDEWALK AND SHALL NOT BE FORWARD OF THE FRONT FACADE OF THE BUILDING. SIDEWALKS SHALL BE INCLUDED ON BOTH SIDES OF THE INTERNAL STREET.

YES COMPANIES FRED LLC
 TAX PARCEL NO. 06673-000-000
 ZONING = RM
 FUTURE LAND USE = MEDIUM HIGH DENSITY (4-8DU/AC)

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SCALE: 1"=150'
 REFER TO SCALE ON ORIGINAL DRAWING
 THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION/REV. REVISIONS

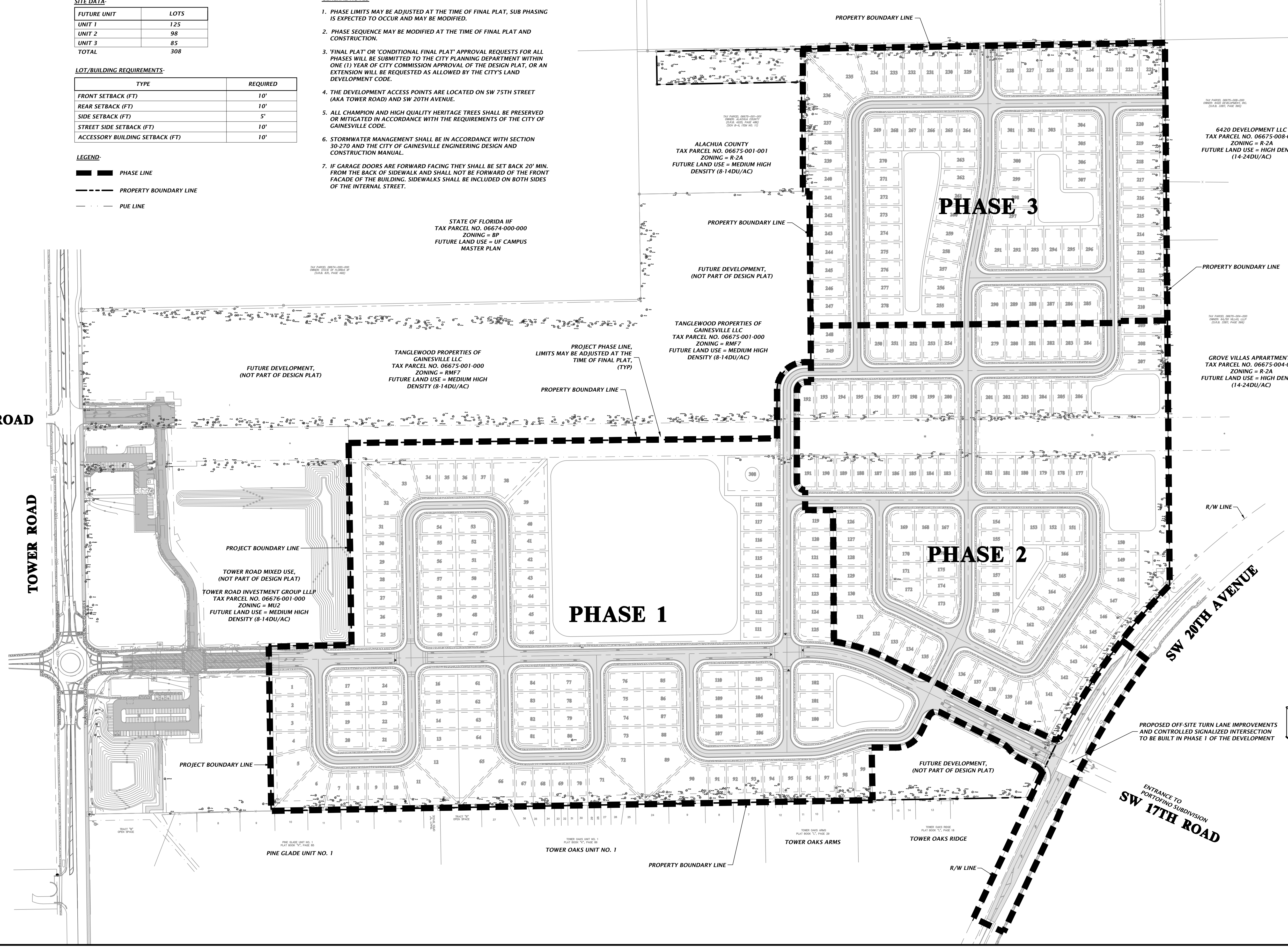
DATE: 04/20/18 - CITY OF GAINESVILLE
 06/01/18 - CITY OF GAINESVILLE
 07/16/18 - CITY OF GAINESVILLE

CLIENT: WEESMAN DEVELOPMENT
 PROJECT: TANGLEWOOD
 SHEET TITLE: PRELIMINARY PHASING PLAN

DESIGNER: J. THOMAS
 CHECKER: J. THOMAS
 QUANTITY CONTROL: J. HIGHLANDER
 PROJECT NUMBER: 17-0500

SHEET NO.: C3.00

SW 13TH ROAD
 TOWER ROAD
 SW 14TH AVENUE
 ENTRANCE TO OAK HALL SCHOOL



File Name: L:\2017\17-0500\Engineering\Drawings\Production Files\Design Plan\17-0500_C3.00_MUP.dwg
 Plot Date: Jul 14, 2018 8:33pm
 User: jthomas

RIGHT OF WAY WIDTH:	74'
PAVEMENT WIDTH:	24' TRAVEL LANES
DESIGN SPEED:	25 MPH
TRAVEL LANES:	2 - 12' TRAVEL LANES FOR MOTORIZED VEHICLES
BIKE LANES:	2 - 5' TRAVEL LANES
CURB RADIUS:	40'
WALKWAY TYPE:	6' SIDEWALK
LANDSCAPE TYPE:	STREET TREES

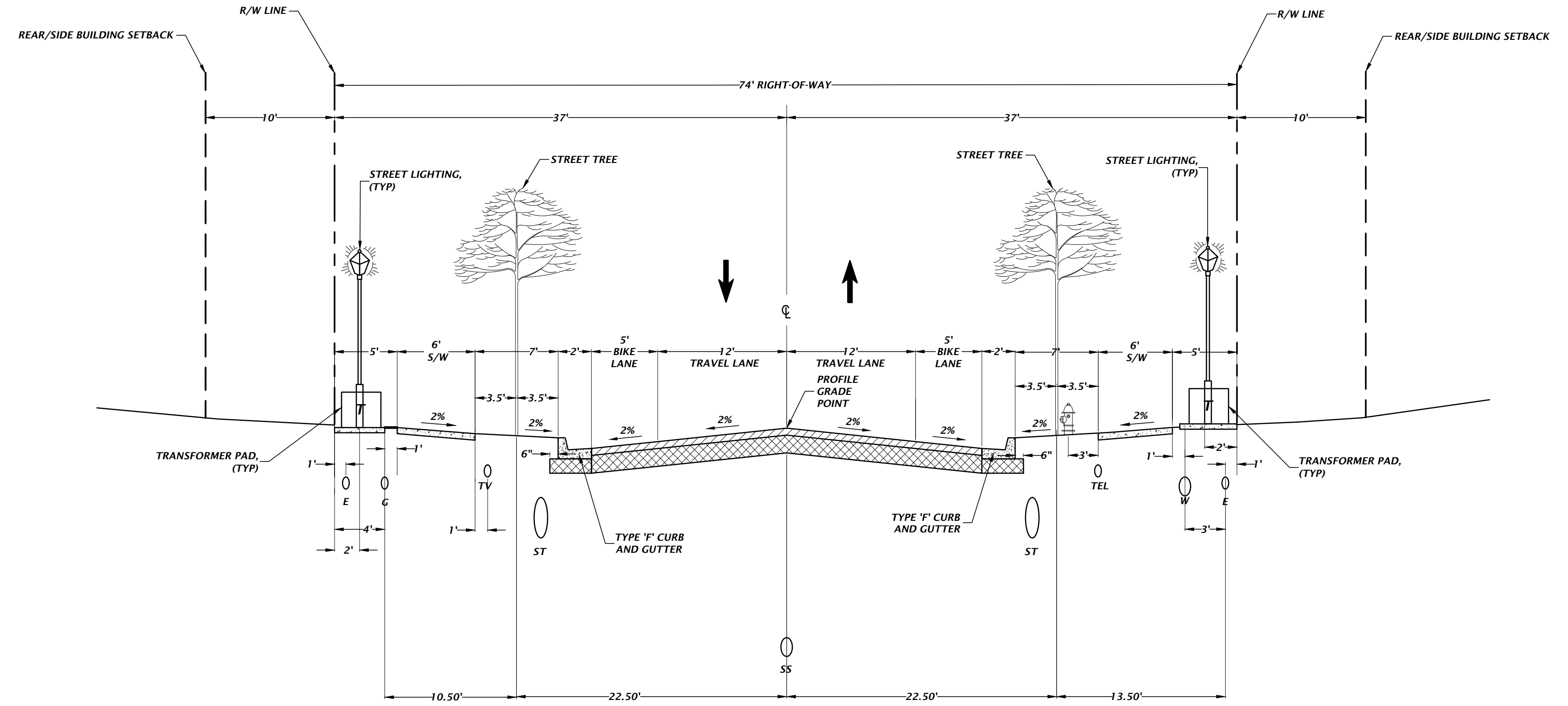
LEGEND:
 E = ELECTRIC
 G = GAS
 SS = SANITARY SEWER (GRAVITY)
 ST = STORM
 TEL = TELEPHONE
 TV = CABLE TELEVISION
 W = WATER
 IRR = IRRIGATION
 FH = FIRE HYDRANT

GENERAL NOTES:

1. **GENERALLY:** THE TRANSPORTATION NETWORK PROVIDED IS DESIGNED AS A CONTINUOUS INTERCONNECTED NETWORK OF STREETS, AND PEDESTRIAN CIRCULATION SYSTEMS DESIGNED TO CALM TRAFFIC SPEEDS AND ENCOURAGE NON-VEHICULAR TRAVEL THROUGHOUT THE DEVELOPMENT.
2. **UTILITIES:** ALL UTILITIES THROUGHOUT THIS PHASE OF THE DEVELOPMENT WILL BE LOCATED WITHIN OR ADJACENT TO THE PROVIDED TRANSPORTATION NETWORK. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED FOR ANY UTILITIES REQUIRED TO EXTEND BEYOND THE LIMITS OF THE PROVIDED TRANSPORTATION NETWORK.
3. **THE STREET SECTIONS SHOWN ARE CONSISTENT WITH THE CITY OF GAINESVILLE ENGINEERING DESIGN AND CONSTRUCTION MANUAL**
4. **UTILITY STATEMENT:** THE POTABLE WATER, SANITARY SEWER, NATURAL GAS, AND ELECTRICITY WILL BE PROVIDED BY GAINESVILLE REGIONAL UTILITIES.
5. **UTILITY PROVIDERS:**

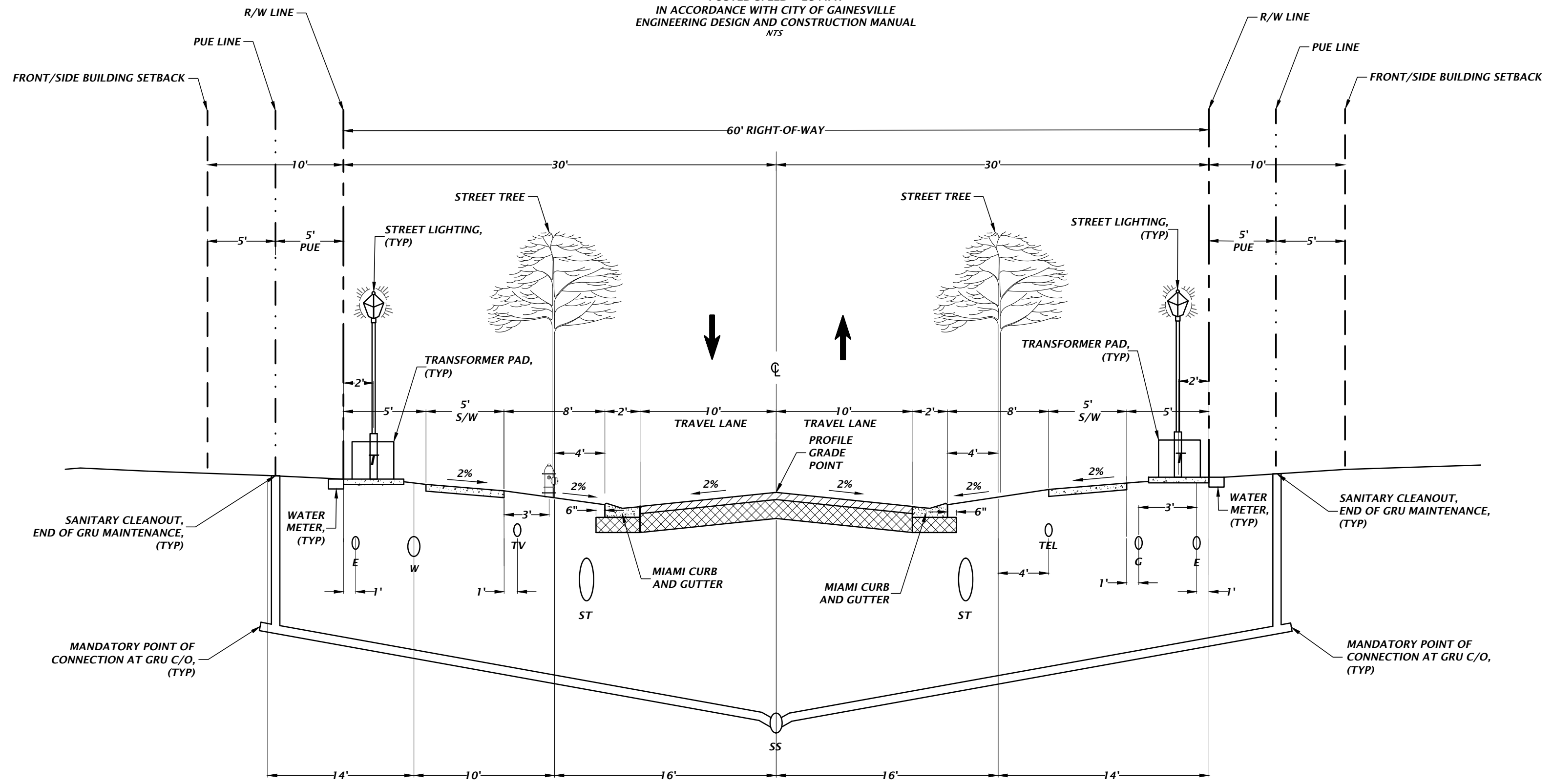
POTABLE WATER GAINESVILLE REGIONAL UTILITIES P.O. BOX 147117 MS A-122 GAINESVILLE, FLORIDA 32614 (352) 334-3400	ELECTRIC GAINESVILLE REGIONAL UTILITIES P.O. BOX 147117 GAINESVILLE, FLORIDA 32614 (352) 334-3400
SANITARY SEWER GAINESVILLE REGIONAL UTILITIES P.O. BOX 147117 MS A-122 GAINESVILLE, FLORIDA 32614 (352) 334-3400	GAS GAINESVILLE REGIONAL UTILITIES P.O. BOX 147117 MS A-122 GAINESVILLE, FLORIDA 32614 (352) 334-3400

RIGHT OF WAY WIDTH:	60'
PAVEMENT WIDTH:	20' TRAVEL LANES
DESIGN SPEED:	25 MPH
TRAVEL LANES:	2 - 10' TRAVEL LANES FOR MOTORIZED VEHICLES
CURB RADIUS:	40'
WALKWAY TYPE:	5' SIDEWALK
LANDSCAPE TYPE:	STREET TREES



TYPICAL NEIGHBORHOOD STREET CROSS SECTION 'A'

DESIGN SPEED = 25 MPH
 POSTED SPEED = 25 MPH
 IN ACCORDANCE WITH CITY OF GAINESVILLE
 ENGINEERING DESIGN AND CONSTRUCTION MANUAL
 NTS

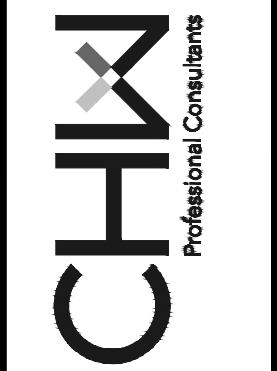


TYPICAL NEIGHBORHOOD STREET CROSS SECTION 'B'

DESIGN SPEED = 25 MPH
 POSTED SPEED = 25 MPH
 IN ACCORDANCE WITH CITY OF GAINESVILLE
 ENGINEERING DESIGN AND CONSTRUCTION MANUAL
 NTS

Title: sheet Plot Date: Jul 16, 2018 8:38am Filename: L:\2017\17-0500\Engineering\DWG\Production\Sheet\17-0500_C4.00_C5.dwg

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 CA-5075



Professional Consultants
 SCALES: N/A
 REFER TO SCALE ON ORIGINAL DRAWING
 THIS SHEET MUST BE USED WITH THIS SHEET. ADJUST SCALES ACCORDINGLY.

CONSTRUCTION/REVISIONS

DATE: 04/20/18 - CITY OF GAINESVILLE
 06/01/18 - CITY OF GAINESVILLE
 07/16/18 - CITY OF GAINESVILLE

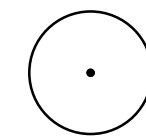
CLIENT: WESMAN DEVELOPMENT
 PROJECT: TANGLEWOOD
 SHEET TITLE: PRELIMINARY ROADWAY CROSS SECTIONS

DESIGNER: J. THOMAS
 CHECKER: J. THOMAS
 QUANTITY CONTROL: J. HIGHLANDER
 PROJECT NUMBER: 17-0500

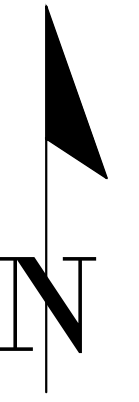
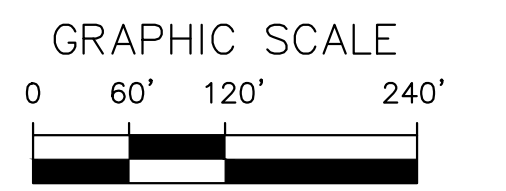
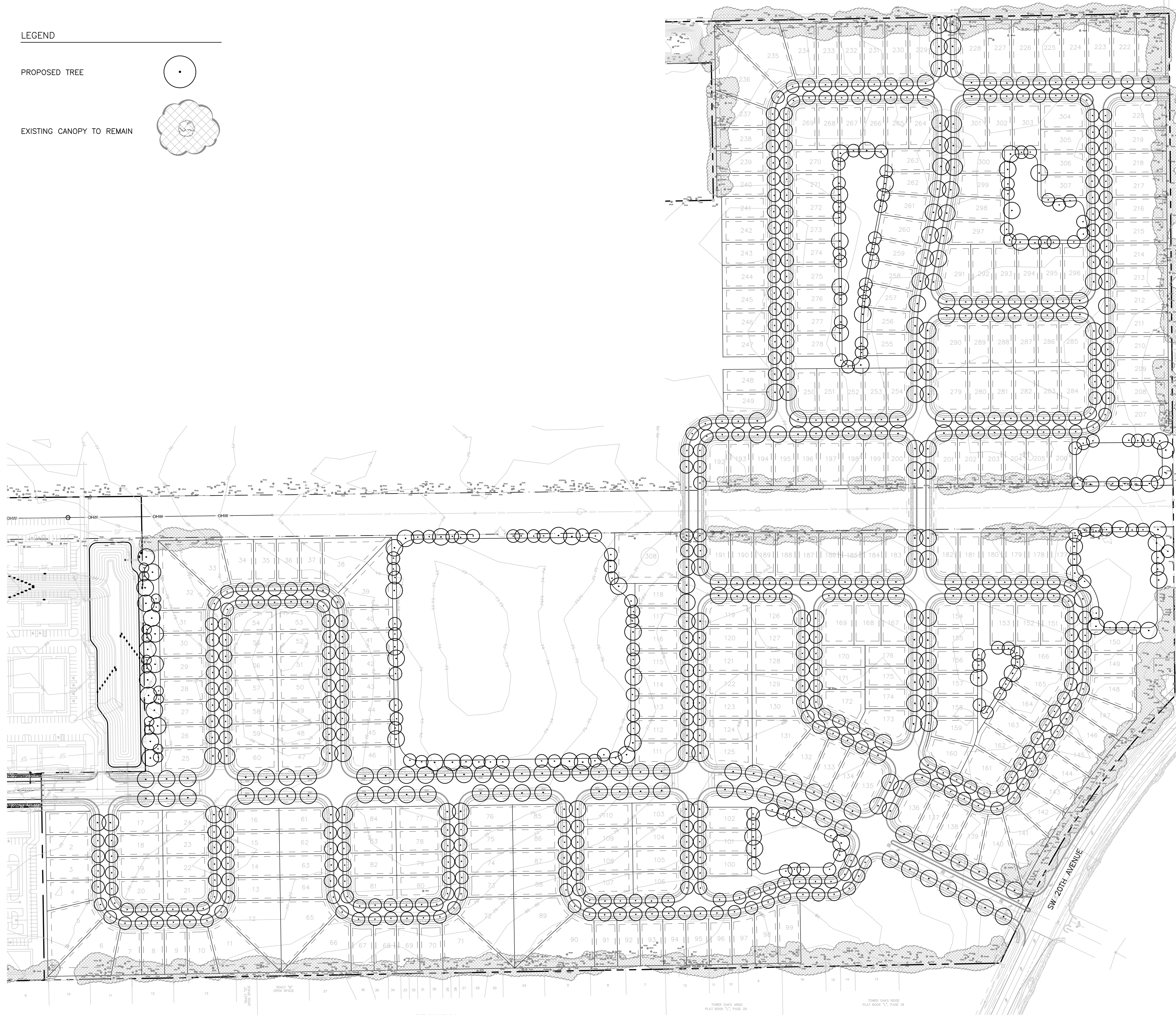
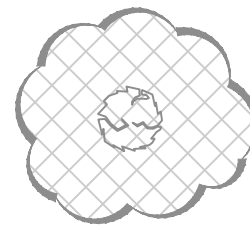
SHEET NO.: C4.00

LEGEND

PROPOSED TREE

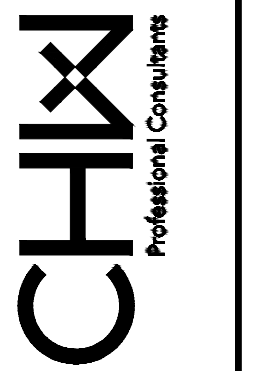


EXISTING CANOPY TO REMAIN



Title: callit Plot Date: Jul 16, 2018 10:08am Filename: L:\2017\17-0500\Design\03_Production\02_SPK\02_Current\17-0500_MP_Design_Review.dwg

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 Alachua, Florida 32615
 (352) 331-1976
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 est. 1988 FLORIDA
 LC26000564



SCALE: 1" = 120'
 REFER TO SCALE ON
 BASE SHEET FOR
 ORIGINAL DRAWING
 0' 60' 120' 180' 240'
 THIS SHEET, ADJUST
 SCALES ACCORDINGLY.

COMMENTS:
 2018-04-20 DESIGN PLAN FOR REVIEW
 2018-06-01 DESIGN PLAN FOR REVIEW
 2018-07-16 DESIGN PLAN FOR REVIEW

CLIENT: WEESMAN DEVELOPMENT
 PROJECT: TANGLEWOOD
 SHEET TITLE: PRELIMINARY LANDSCAPE MASTERPLAN

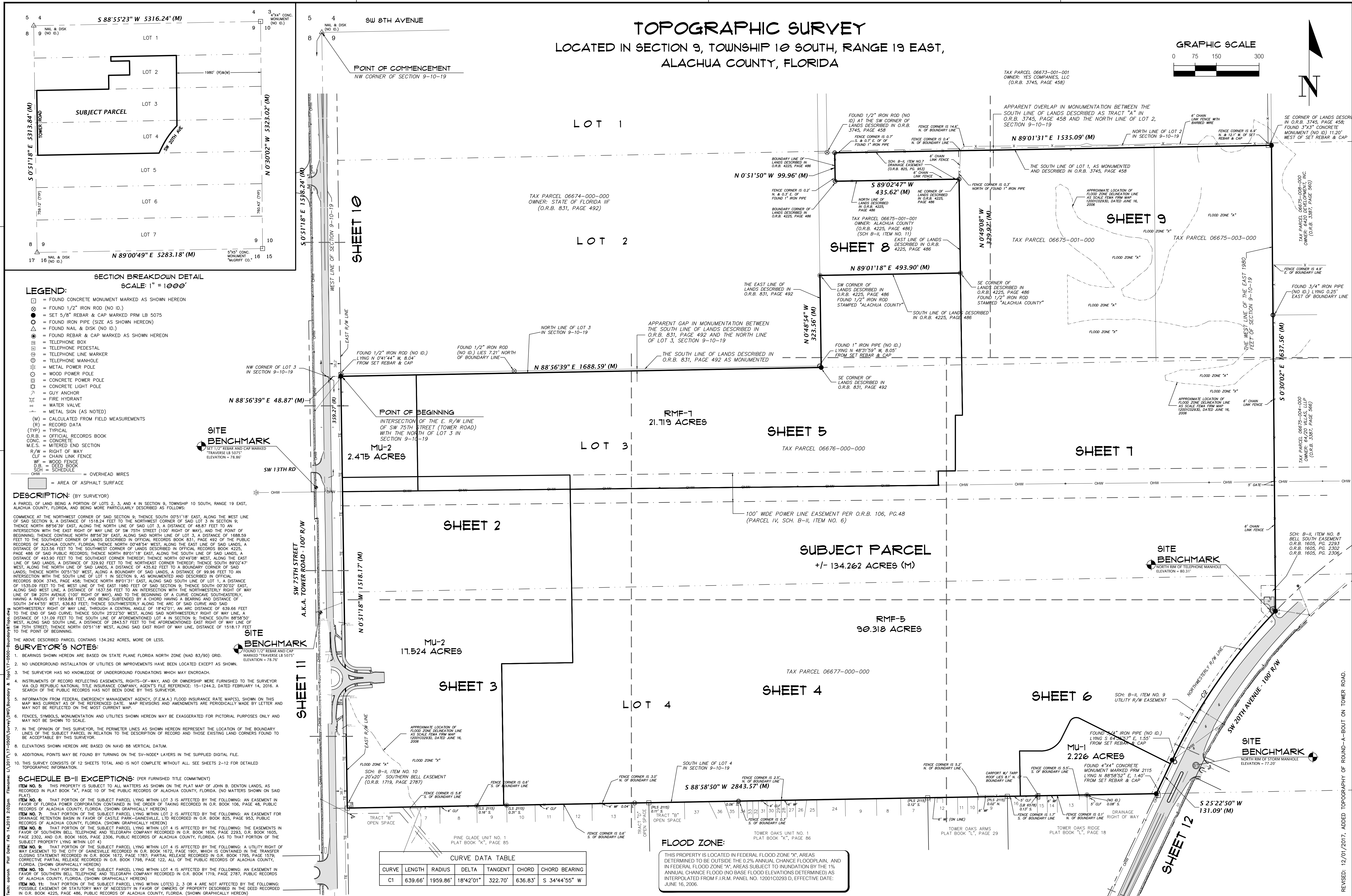
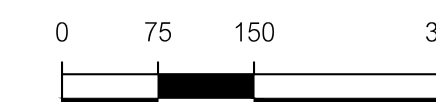
DESIGNER: SK
 CHECKER: SK
 QUALITY CONTROL: LH
 PROJECT NUMBER: 17-0500

SHEET NO: LS-1

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA

GRAPHIC SCALE



SECTION BREAKDOWN DETAIL

SCALE: 1" = 100'

LEGEND:

- ☐ = FOUND CONCRETE MONUMENT MARKED AS SHOWN HEREON
- = FOUND 1/2" IRON ROD (NO ID.)
- = SET 5/8" REBAR & CAP MARKED PRM LB 5075
- = FOUND IRON PIPE (SIZE AS SHOWN HEREON)
- = FOUND NAIL & DISK (NO ID.)
- = FOUND REBAR & CAP MARKED AS SHOWN HEREON
- ☐ = TELEPHONE BOX
- ☐ = TELEPHONE PEDESTAL
- ☐ = TELEPHONE LINE MARKER
- ☐ = TELEPHONE MANHOLE
- ☐ = WOOD POWER POLE
- ☐ = METAL POWER POLE
- ☐ = CONCRETE POWER POLE
- ☐ = CONCRETE LIGHT POLE
- ☐ = GUY ANCHOR
- ☐ = FIRE HYDRANT
- ☐ = WATER VALVE
- ☐ = METAL SIGN (AS NOTED)
- (M) = CALCULATED FROM FIELD MEASUREMENTS
- (R) = RECORD DATA
- (TY) = TYPICAL
- O.R.B. = OFFICIAL RECORDS BOOK
- CONC. = CONCRETE
- M.E.S. = MITERED END SECTION
- R/W = RIGHT OF WAY
- CLF = CHAIN LINK FENCE
- WF = WOOD FENCE
- D.B. = DEED BOOK
- SCH. = SCHEDULE
- OHW = OVERHEAD WIRES
- ASH = AREA OF ASPHALT SURFACE

DESCRIPTION: (BY SURVEYOR)
A PARCEL OF LAND BEING A PORTION OF LOTS 2, 3, AND 4 IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 9; THENCE SOUTH 00°51'18" EAST, ALONG THE WEST LINE OF SAID SECTION 9, A DISTANCE OF 1518.24 FEET TO THE NORTHWEST CORNER OF SAID LOT 3 IN SECTION 9; THENCE NORTH 88°56'39" EAST, ALONG THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 48.87 FEET TO AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF SW 75TH STREET (100' RIGHT OF WAY), AND THE POINT OF BEGINNING; THENCE CONTINUE EAST, ALONG SAID EAST RIGHT OF WAY LINE OF SW 75TH STREET, A DISTANCE OF 1688.99 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 831, PAGE 492 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE NORTH 07°48'54" WEST, ALONG THE EAST LINE OF SAID LANDS, A DISTANCE OF 323.56 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4225, PAGE 486 OF SAID PUBLIC RECORDS; THENCE NORTH 89°01'31" EAST, ALONG THE SOUTH LINE OF SAID LANDS, A DISTANCE OF 483.62 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 07°49'00" WEST, ALONG THE EAST LINE OF SAID LANDS, A DISTANCE OF 329.92 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 89°02'47" WEST, ALONG THE NORTH LINE OF SAID LANDS, A DISTANCE OF 435.62 FEET TO AN INTERSECTION WITH THE WEST LINE OF SAID SECTION 9; THENCE NORTH 00°51'18" WEST, ALONG A BOUNDARY OF SAID LANDS, A DISTANCE OF 99.96 FEET TO AN INTERSECTION WITH THE SOUTH LINE OF LOT 1, AS MONUMENTED AND DESCRIBED IN OFFICIAL RECORDS BOOK 3745, PAGE 458; THENCE NORTH 89°01'31" EAST, ALONG SAID SOUTH LINE OF LOT 1, A DISTANCE OF 1535.09 FEET TO THE WEST LINE OF SAID SECTION 9; THENCE SOUTH 00°51'18" EAST, ALONG SAID SOUTH LINE OF SAID SECTION 9, A DISTANCE OF 1518.24 FEET TO THE NORTHWEST CORNER OF SAID SECTION 9; THENCE SOUTH 00°51'18" EAST, ALONG SAID WEST LINE, A DISTANCE OF 1637.56 FEET TO AN INTERSECTION WITH THE NORTHWESTERLY RIGHT OF WAY LINE OF SW 20TH AVENUE (100' RIGHT OF WAY), AND TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1959.86 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 34°44'55" WEST, 636.83 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID NORTHWESTERLY RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 18°42'01", AN ARC DISTANCE OF 636.83 FEET TO THE END OF SAID CURVE; THENCE SOUTH 25°22'50" WEST, ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE, A DISTANCE OF 131.09 FEET TO THE SOUTH LINE OF SAID SECTION 9; THENCE SOUTH 88°56'39" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 2843.57 FEET TO THE NORTHWESTERLY RIGHT OF WAY LINE OF SW 75TH STREET; THENCE NORTH 00°51'18" WEST, ALONG SAID EAST RIGHT OF WAY LINE, DISTANCE OF 1518.17 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE FLORIDA NORTH ZONE (NAD 83/90) GRID.
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR VIA OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AGENT'S FILE REFERENCE: 15-1244-2, DATED FEBRUARY 14, 2016. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THIS SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 VERTICAL DATUM.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE+ LAYERS IN THE SUPPLIED DIGITAL FILE.
- THIS SURVEY CONSISTS OF 12 SHEETS TOTAL AND IS NOT COMPLETE WITHOUT ALL SEE SHEETS 2-12 FOR DETAILED TOPOGRAPHIC INFORMATION.

SCHEDULE B-II EXCEPTIONS: (PER FURNISHED TITLE COMMITMENT)
ITEM NO. 5: THIS PROPERTY IS SUBJECT TO ALL MATTERS AS SHOWN ON THE PLAT MAP OF JOHN B. DENTON LANDS, AS RECORDED IN PLAT BOOK "K", PAGE 19 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (NO MATTERS SHOWN ON SAID PLAT).
ITEM NO. 6: THAT PORTION OF THE SUBJECT PARCEL LYING WITHIN LOT 3 IS AFFECTED BY THE FOLLOWING: AN EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION CONTAINED IN THE ORDER OF TAKING RECORDED IN O.R. BOOK 106, PAGE 48, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (SHOWN GRAPHICALLY HEREON).
ITEM NO. 7: THAT PORTION OF THE SUBJECT PARCEL LYING WITHIN LOT 2 IS AFFECTED BY THE FOLLOWING: AN EASEMENT FOR DRAINAGE RETENTION BASIN IN FAVOR OF CASTLE PARK-GAINESVILLE, LTD RECORDED IN O.R. BOOK 825, PAGE 953, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (SHOWN GRAPHICALLY HEREON).
ITEM NO. 8: THAT PORTION OF THE SUBJECT PARCEL LYING WITHIN LOT 4 IS AFFECTED BY THE FOLLOWING: THE EASEMENTS IN FAVOR OF SOUTHERN BELL TELEPHONE AND TELEGRAPH COMPANY RECORDED IN O.R. BOOK 1605, PAGE 2293, O.R. BOOK 1605, PAGE 2302, AND O.R. BOOK 1605, PAGE 2306, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (AS TO THAT PORTION OF THE SUBJECT PROPERTY LYING WITHIN LOT 4).
ITEM NO. 9: THAT PORTION OF THE SUBJECT PARCEL LYING WITHIN LOT 4 IS AFFECTED BY THE FOLLOWING: A UTILITY RIGHT OF WAY EASEMENT TO THE CITY OF GAINESVILLE RECORDED IN O.R. BOOK 1672, PAGE 1901, WHICH IS CONTAINED IN THE TRANSFER FLOODING STATEMENT RECORDED IN O.R. BOOK 1872, PAGE 1787; PARTIAL RELEASE RECORDED IN O.R. BOOK 1795, PAGE 1579; CORRECTIVE PARTIAL RELEASE RECORDED IN O.R. BOOK 1798, PAGE 122, ALL OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (SHOWN GRAPHICALLY HEREON).
ITEM NO. 10: THAT PORTION OF THE SUBJECT PARCEL LYING WITHIN LOT 4 IS AFFECTED BY THE FOLLOWING: AN EASEMENT IN FAVOR OF SOUTHERN BELL TELEPHONE AND TELEGRAPH COMPANY RECORDED IN O.R. BOOK 1719, PAGE 2787, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (SHOWN GRAPHICALLY HEREON).
ITEM NO. 11: THAT PORTION OF THE SUBJECT PARCEL LYING WITHIN LOTS 2, 3 OR 4 ARE NOT AFFECTED BY THE FOLLOWING: POSSIBLE EASEMENT OR STATUTORY WAY OF NECESSITY IN FAVOR OF OWNERS OF PROPERTY DESCRIBED IN THE DEED RECORDED IN O.R. BOOK 4225, PAGE 486, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. (SHOWN GRAPHICALLY HEREON).

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	639.66'	1959.86'	18°42'01"	322.70'	636.83'	S 34°44'55" W

FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AND IN FEDERAL FLOOD ZONE "A" AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (NO BASE FLOOD ELEVATIONS DETERMINED) AS INTERPOLATED FROM F.I.R.M. PANEL NO. 12001C0293 D, EFFECTIVE DATE: JUNE 16, 2006.

Professional Consultants

192 NW 76th Drive
Gainesville, Florida, 32607
(850) 331-1876 / (850) 331-2476
www.chx-fl.com

REG. NO. 1507
GARY WEISSMAN
SCULLOGS & CARMICHAEL
SALTER FEEBER, P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RENASANT BANK

DATE: 12/01/2017
PROJECT NO.: 17-0500
FIELD BOOK & PAGE: 488/59-68

REVISIONS:
REV. DATE: 02/17/2017
BY: A.A.H.
CHECKED BY: A.A.H.
DATE: 12/01/2017

DATE: 12/01/2017
BY: AARON H. HICKMAN
CHECKED BY: AARON H. HICKMAN
DATE: 12/01/2017

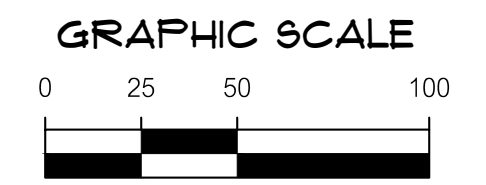
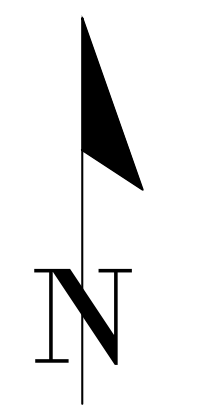
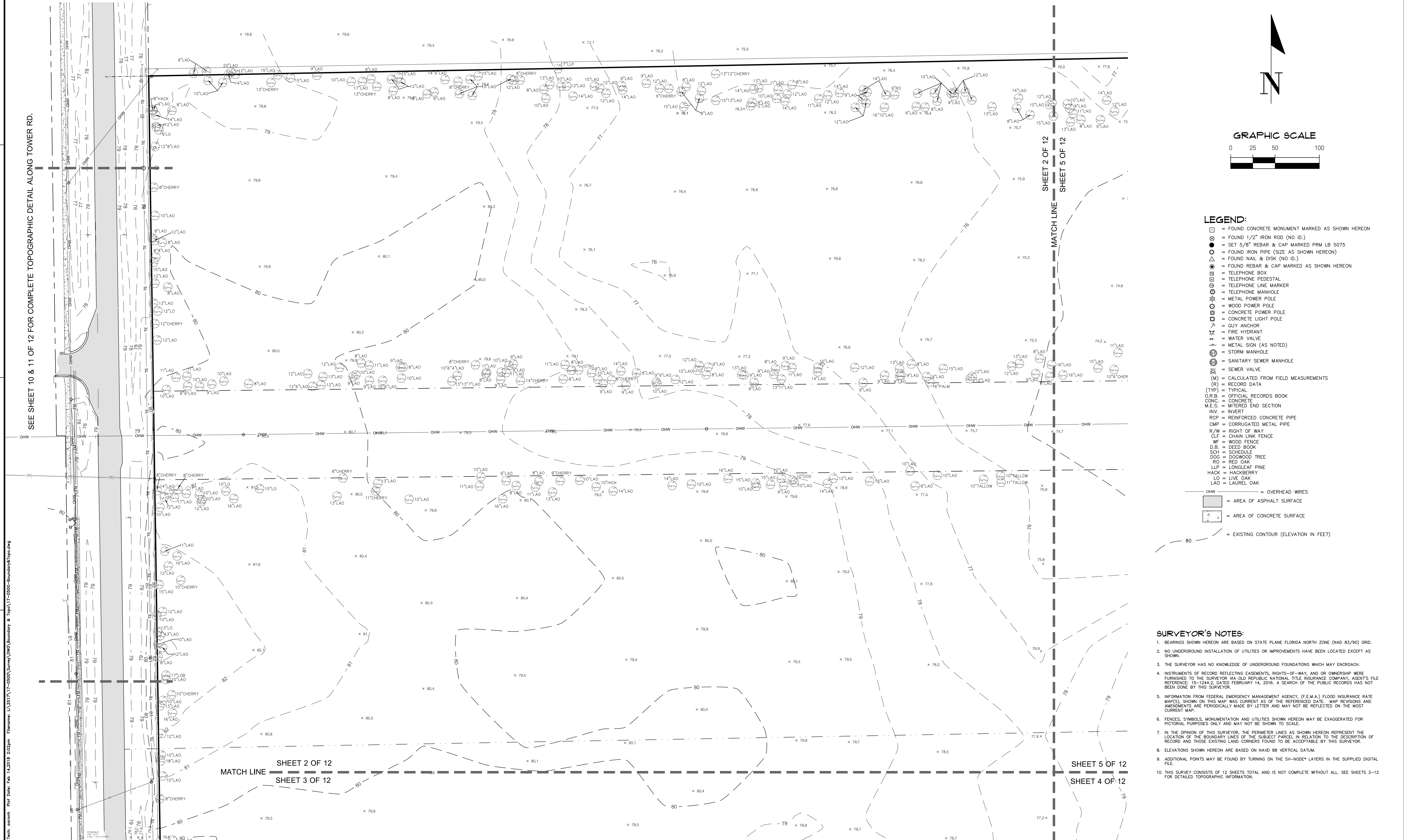
This map prepared by:
AARON H. HICKMAN
Professional Surveyor & Mapper, Fla. License No. 6791

Certificate of Authorization No. LB 5075
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

SHEET NO.: 1 OF 12

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST,
ALACHUA COUNTY, FLORIDA



LEGEND:

- = FOUND CONCRETE MONUMENT MARKED AS SHOWN HEREON
- = FOUND 1/2" IRON ROD (NO ID.)
- ⊙ = SET 5/8" REBAR & CAP MARKED PRM LB 5075
- = FOUND IRON PIPE (SIZE AS SHOWN HEREON)
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- ⊞ = METAL SIGN (AS NOTED)
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- LAO = LAUREL OAK
- OHW = OVERHEAD WIRES
- ASPH = AREA OF ASPHALT SURFACE
- CONC = AREA OF CONCRETE SURFACE
- 80 = EXISTING CONTOUR (ELEVATION IN FEET)

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE FLORIDA NORTH ZONE (NAD 83/90) GRID.
2. NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCRoACH.
4. INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR VIA OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AGENT'S FILE REFERENCE: 15-1244.2, DATED FEBRUARY 14, 2016. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THIS SURVEYOR.
5. INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
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7. IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
8. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 VERTICAL DATUM.
9. ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE* LAYERS IN THE SUPPLIED DIGITAL FILE.
10. THIS SURVEY CONSISTS OF 12 SHEETS TOTAL AND IS NOT COMPLETE WITHOUT ALL. SEE SHEETS 2-12 FOR DETAILED TOPOGRAPHIC INFORMATION.

SEE SHEET 10 & 11 OF 12 FOR COMPLETE TOPOGRAPHIC DETAIL ALONG TOWER RD.

MATCH LINE
SHEET 2 OF 12
SHEET 3 OF 12

MATCH LINE
SHEET 5 OF 12
SHEET 4 OF 12

Tech: searoth Plot Date: Feb 14, 2018 2:02pm Filename: L:\3017\17-0500\Survey\W\Boundary & Topo\17-0500-Boundary&Topo.dwg

192 NW 75th Drive
Gainesville, Florida 32607
(882) 331-1976 / (882) 331-2476
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est. 1988 FLORIDA
LS-0775

SCALE: 1" = 50'
RENDERING SHALL BE BASED ON THE ORIGINAL DRAWING.
IF ANY DISCREPANCY EXISTS, THIS SHEET SHALL ADJUST TO THE ORIGINAL DRAWING'S SCALE ACCORDINGLY.

DESIGNED BY: AARON H. HICKMAN
SURVEY DATE: 02/17/2017
REVISION DATE:

DRAWN BY: AARON H. HICKMAN
CHECKED BY: AARON H. HICKMAN
FIELD BOOK & PAGE: 488/59-68

PROJECT NUMBER: 17-0500

THIS MAP PREPARED BY: AARON H. HICKMAN
Certificate of Authorization No. LB 5075
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Professional Surveyor & Mapper Fla. License No. 6791

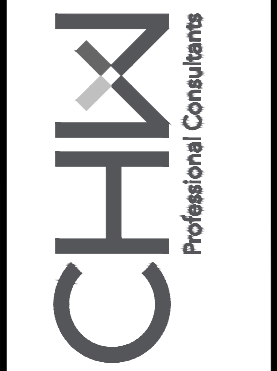
THIS SHEET IS ONE OF 12 SHEETS TOTAL

SHEET NO.: 2 OF 12

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST,
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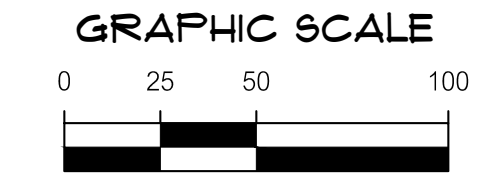
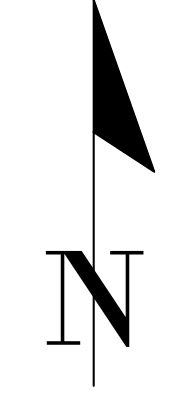
GARY WESSEMAN
SCULLOGS & CARMICHAEL
SALTER FEEBER, P.A.
OLD REPUBLIC NATIONAL INSURANCE COMPANY
RENASANT BANK

CERTIFIED TO:
SURVEY DATE: 02/17/2017
REVISION DATE:
PROJECT NUMBER: 17-0500
FIELD BOOK & PAGE: 488/59-68

DESIGNED BY: AARON H. HICKMAN
CHECKED BY: SEE SHEET 1 OF 12
PROJECT NUMBER: 17-0500

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SHEET NO.: 3 OF 12

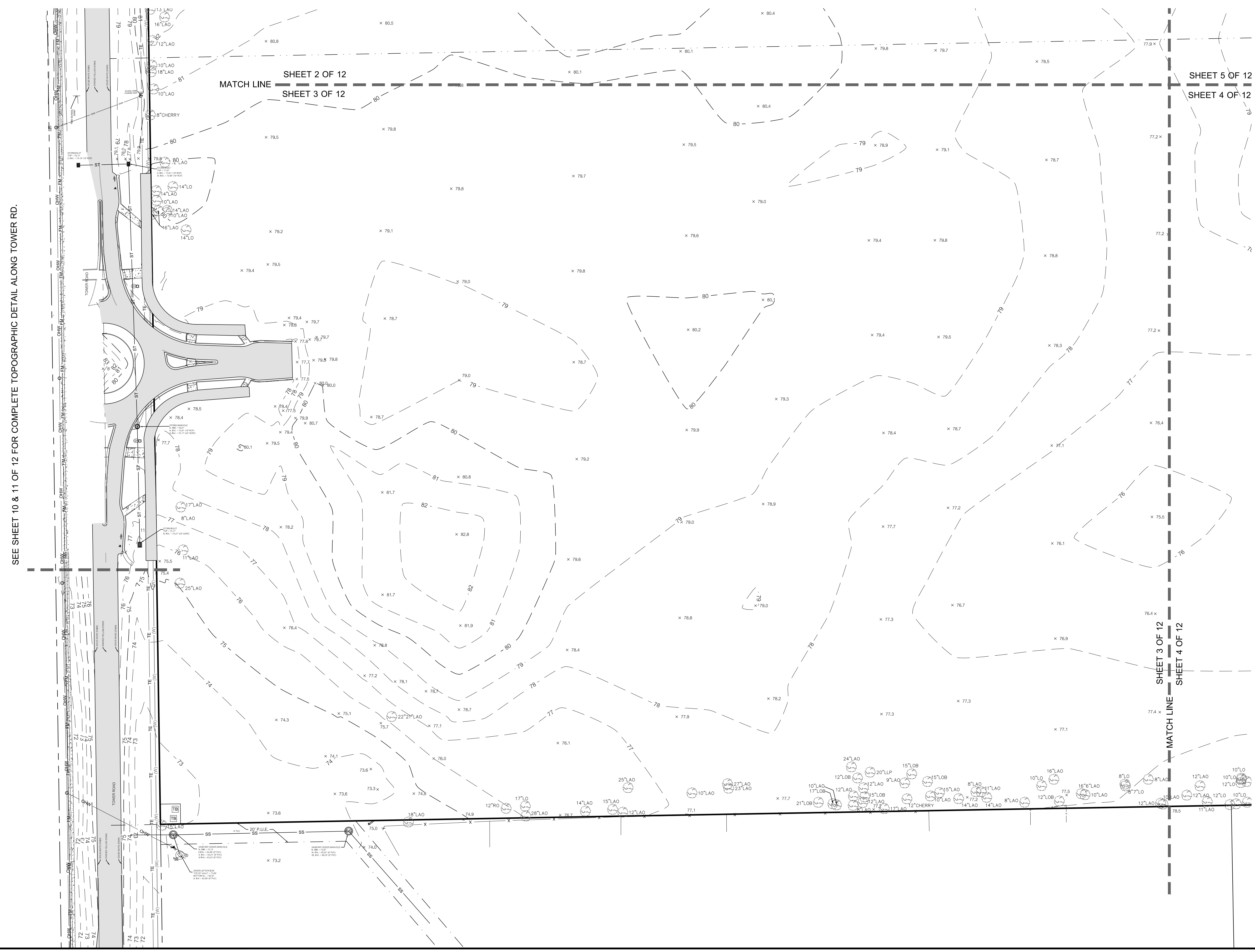


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Tech: searsh Plot Date: Feb 14, 2018 2:02pm Filename: L:\301\17-0500\Survey\W\Boundary & Topo\17-0500-Boundary&Topo.dwg

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST,
ALACHUA COUNTY, FLORIDA

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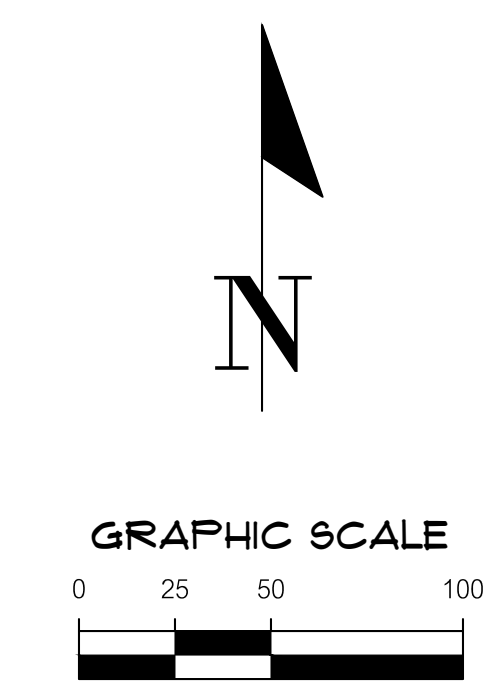
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GARY WESSEMAN
SCULLOGS & CARMICHAEL
SALTER FEEBER, P.A.
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RENASANT BANK

CERTIFIED TO:
SURVEY DATE: 02/17/2017
REVISION DATE:
PROJECT NUMBER: 17-0500
FIELD BOOK & PAGE: 488/59-68

TECHNICIAN: AARON H. HICKMAN
CHECKED BY: AHH
K.M.
AHH
FIELD BOOK & PAGE: 488/59-68

This map prepared by:
AARON H. HICKMAN
Certificate of Authorization No. LB 5075
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
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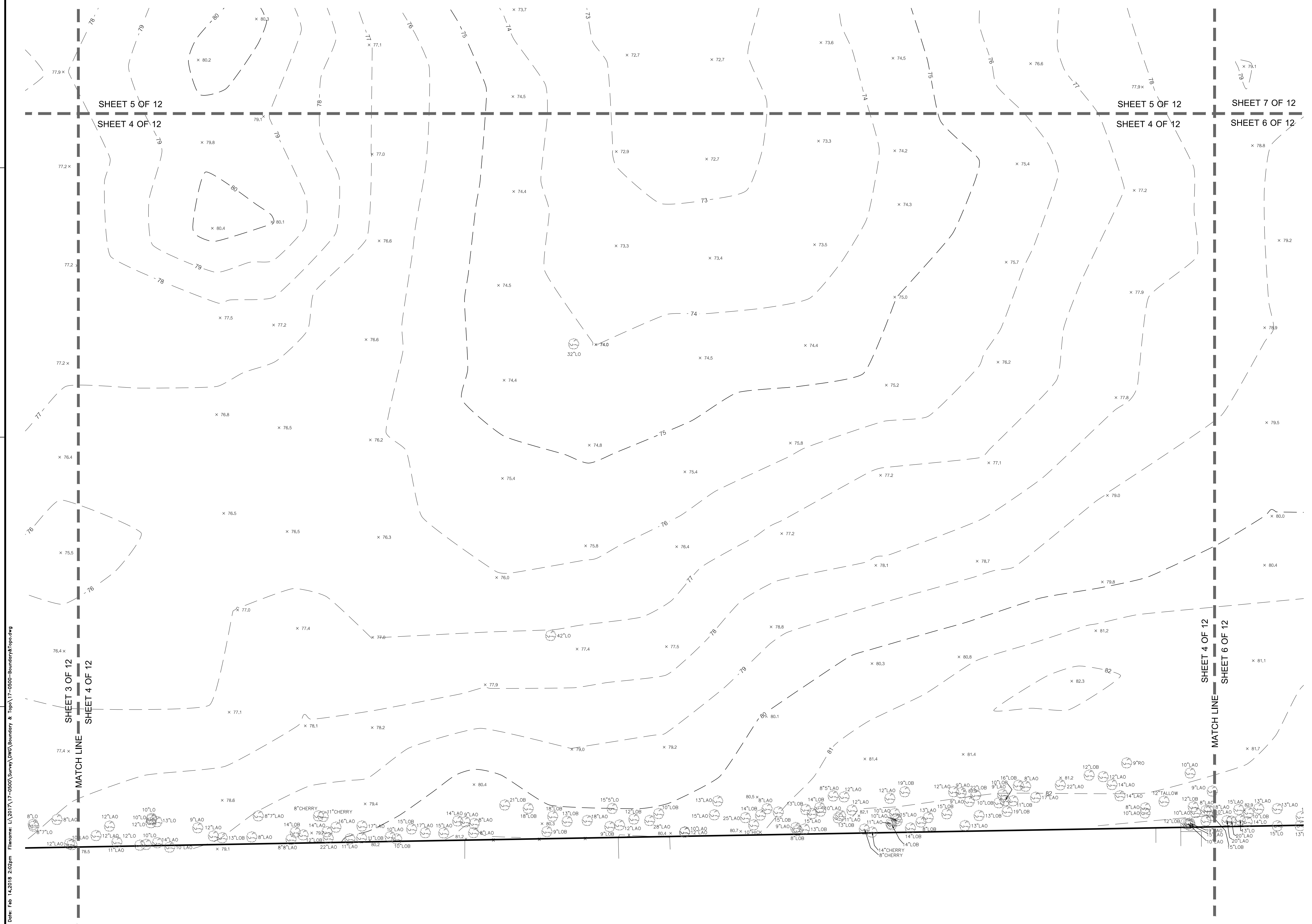


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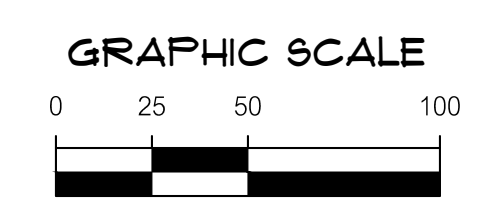
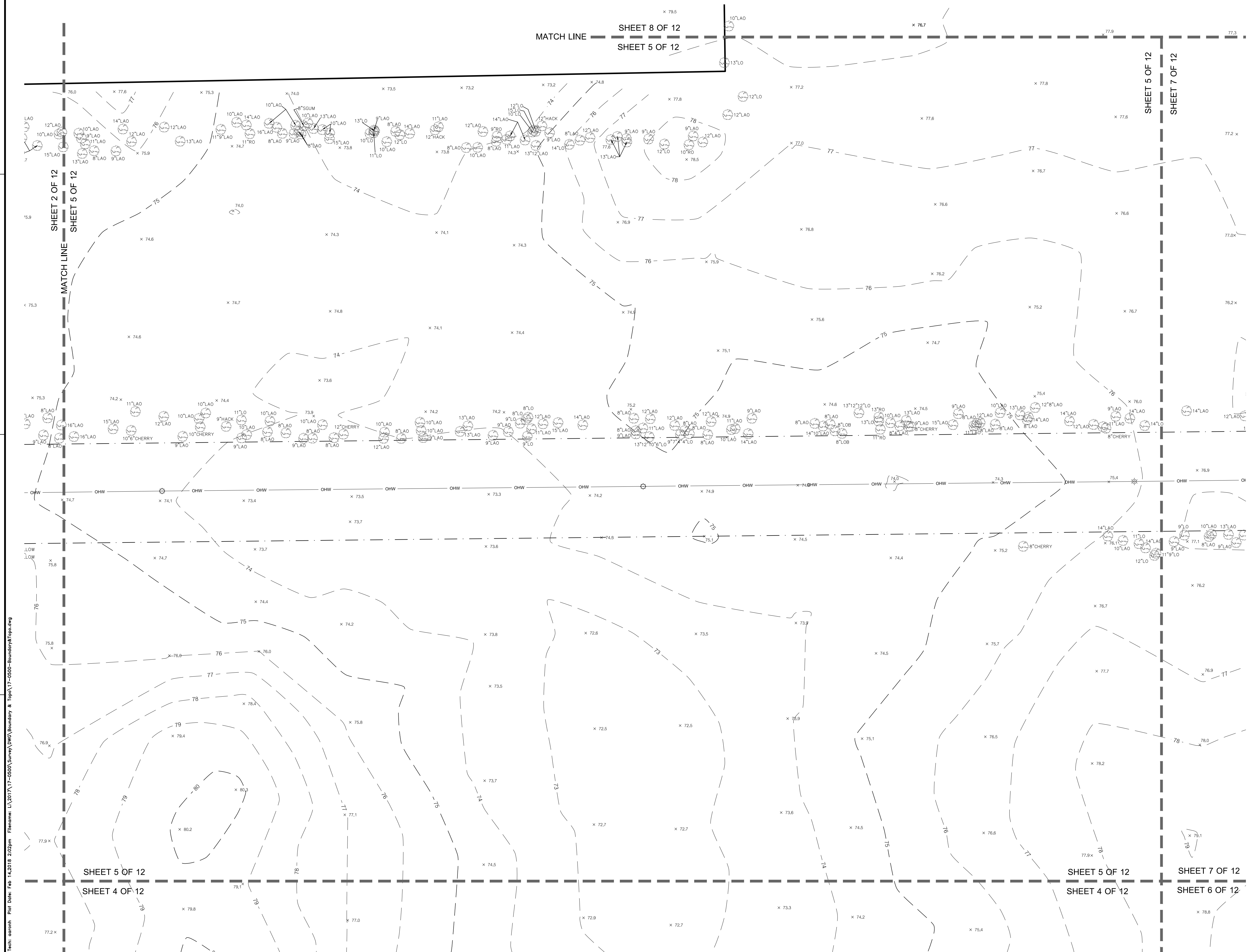
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Tech: aaron Plot Date: Feb 14, 2018 2:02pm Filename: L:\2017\17-0500\Survey\W\Boundary & Topo\17-0500-Boundary&Topo.dwg

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LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST,
ALACHUA COUNTY, FLORIDA



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130 NW 75th Circle
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SCALES ACCORDINGLY.

GARY WESSEMAN
SCULLOGS & CARMICHAEL
SALTER FEEBER, P.A.
OLD REPUBLIC NATIONAL
RENAISSANCE BANK

CERTIFIED TO:
SURVEY DATE: 02/17/2017
REVISION DATE:
PROJECT NUMBER:
17-0500
FIELD BOOK & PAGE:
488/59-68

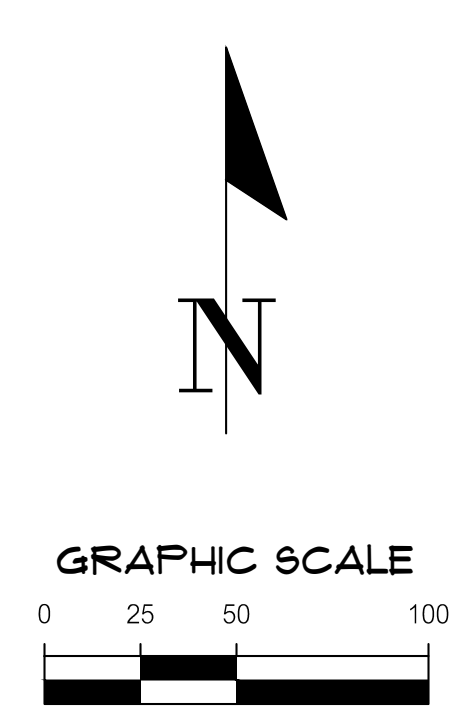
This map prepared by:
AARON H. HICKMAN
SEE SHEET 1 OF 12
Professional Surveyor & Mapper Fla. License No. 6791

Certificate of Authorization No. LB-5075
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ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

SHEET NO:
5 OF 12

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST,
ALACHUA COUNTY, FLORIDA



- LEGEND:**
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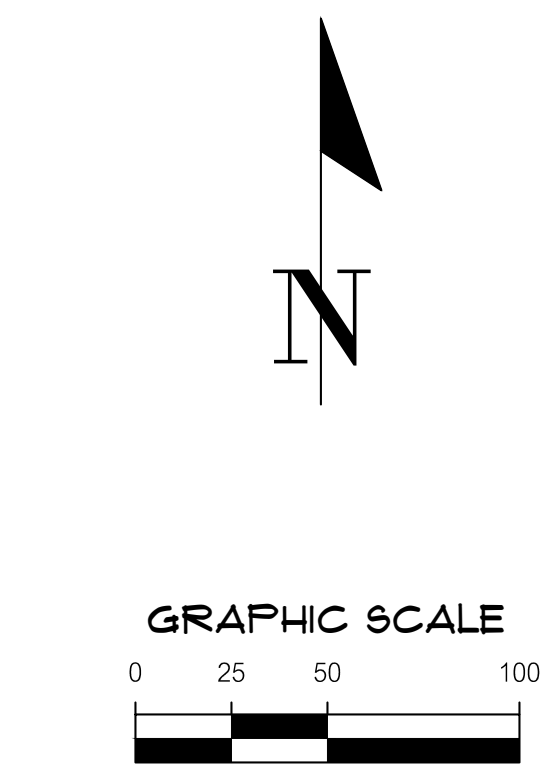
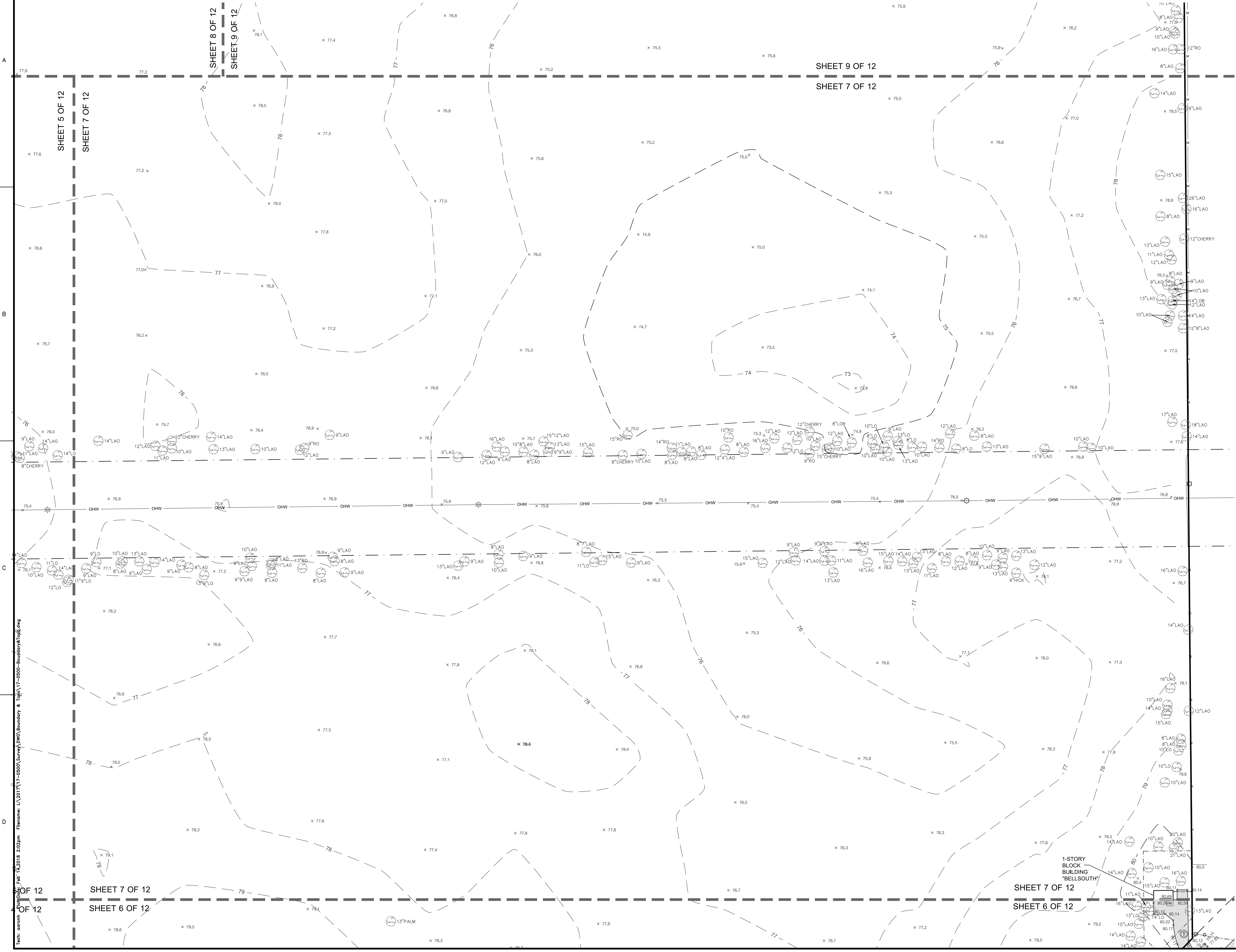
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AARON H. HICKMAN
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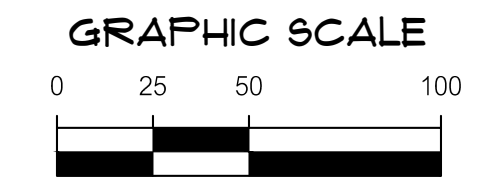
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SHEET NO.: 7 OF 12

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST,
ALACHUA COUNTY, FLORIDA

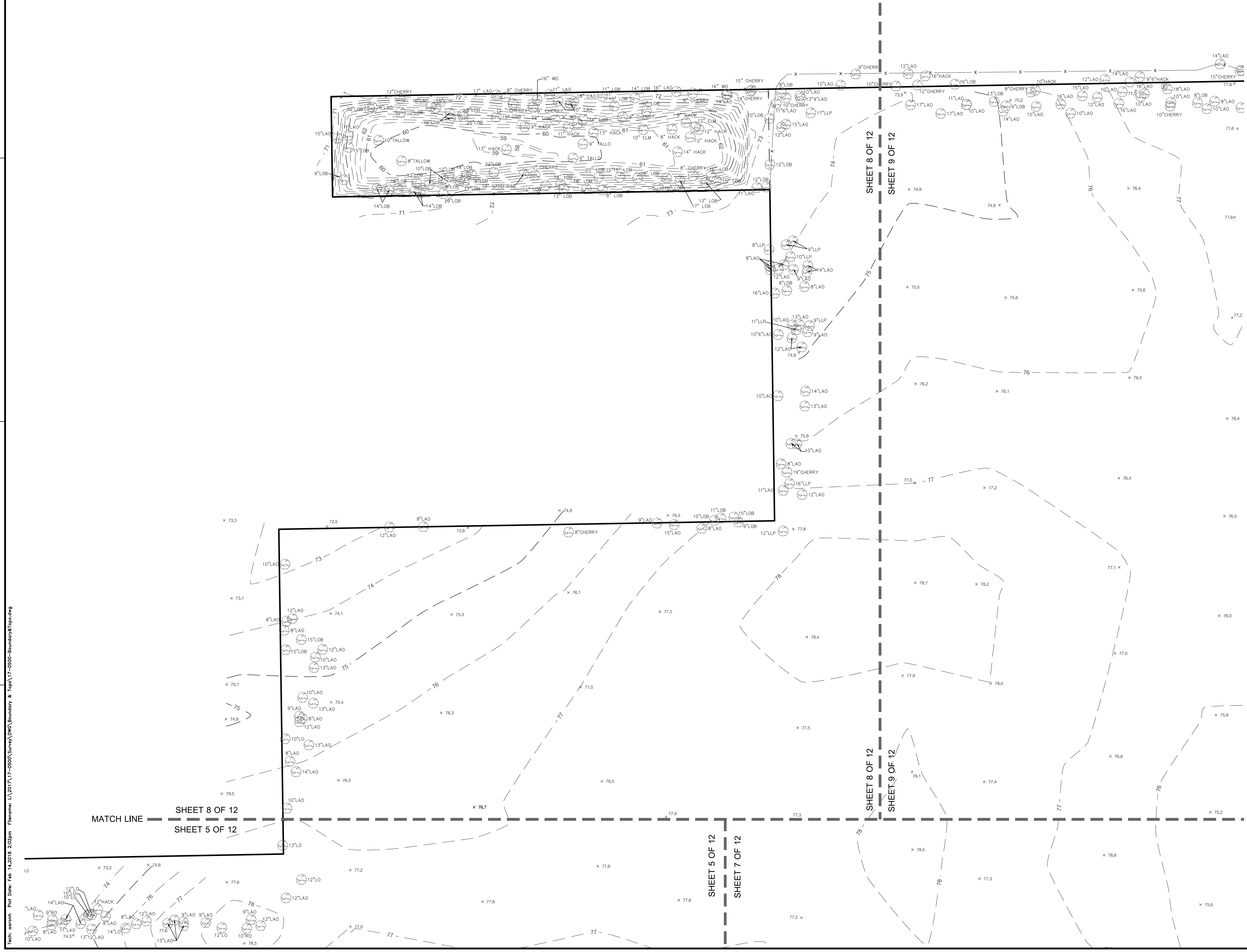


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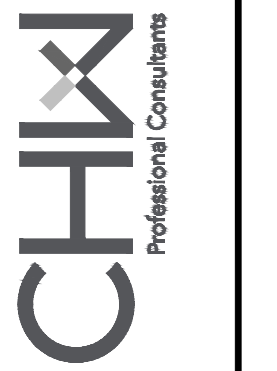
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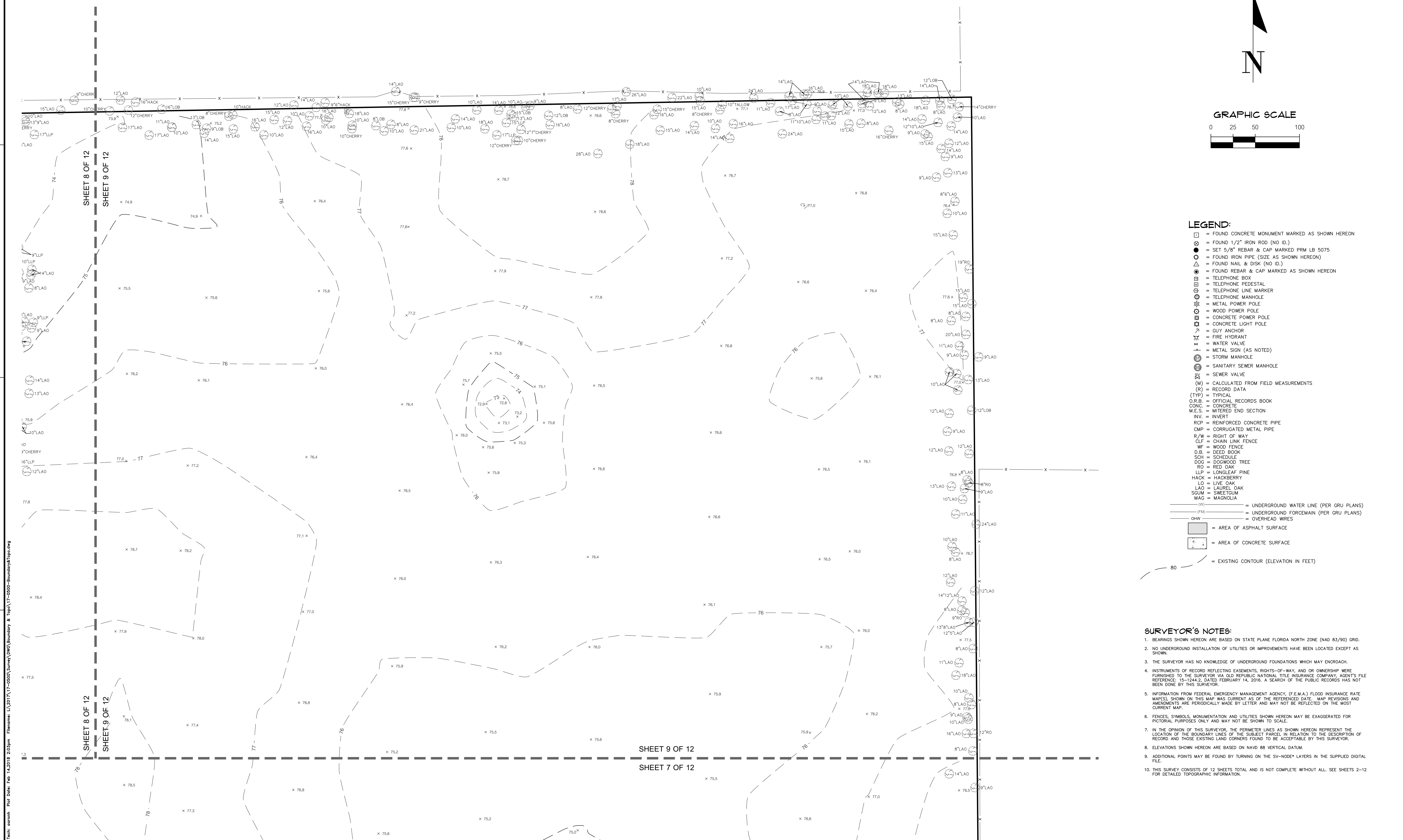
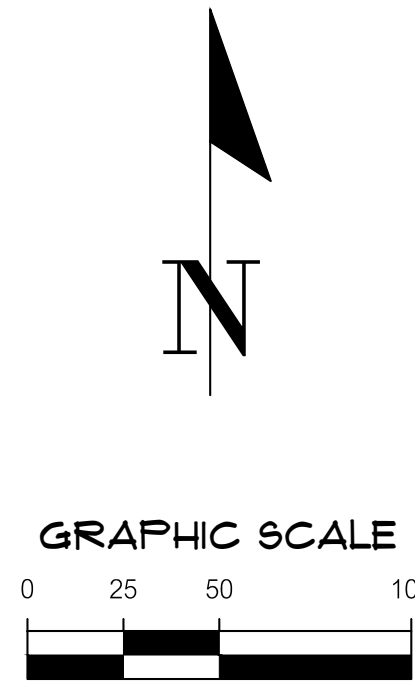
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SHEET NO:
8 OF 12

Title: 17-0500 Topo.dwg Plot Date: Feb 14, 2018 2:02pm Filename: L:\2017\17-0500\Survey\W\Boundary & Topo\17-0500-Boundary&Topo.dwg

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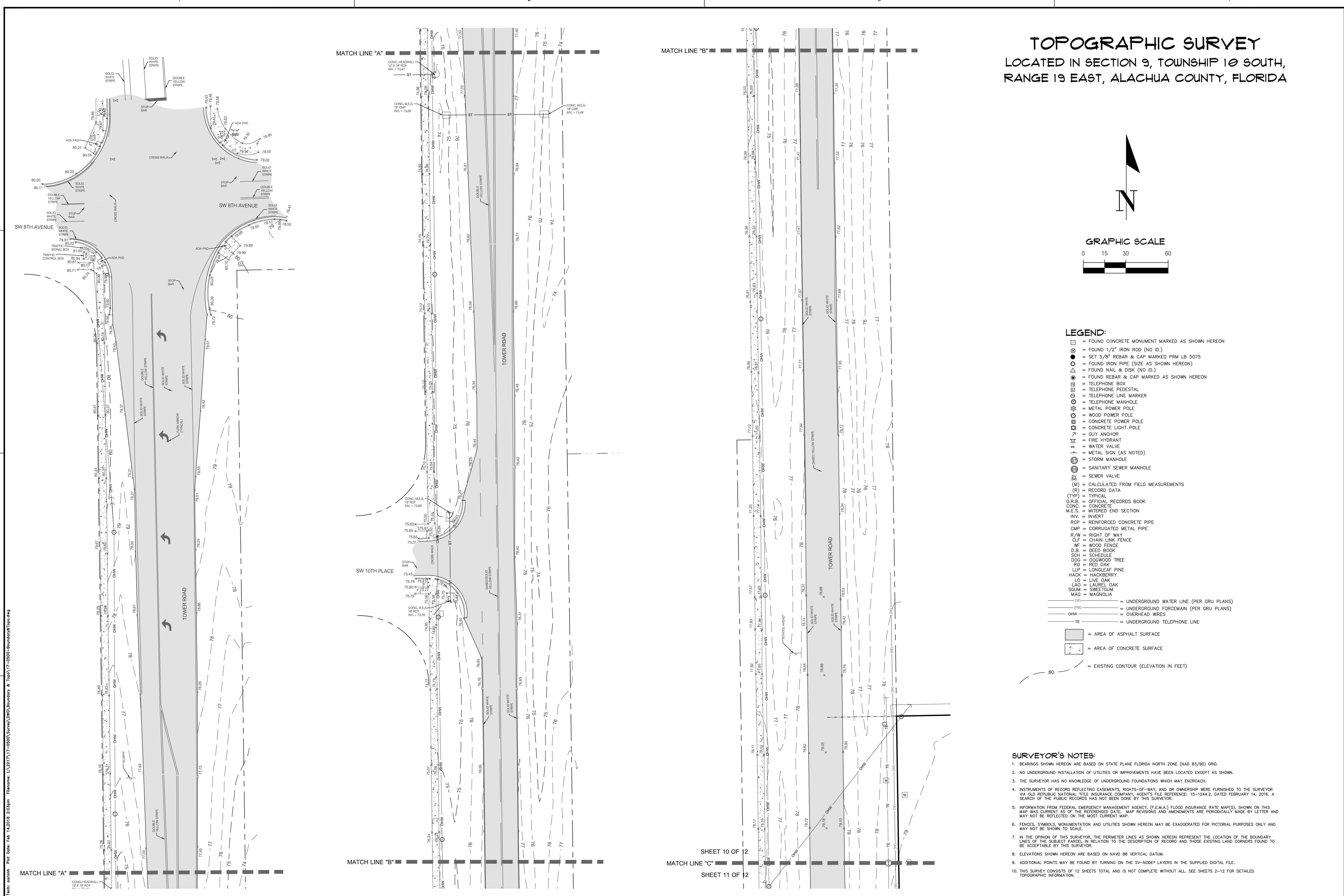
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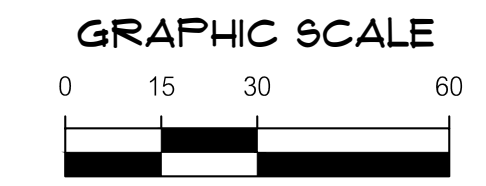
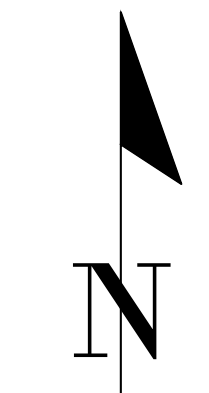
SHEET NO.: 9 OF 12

File Date: Feb 14, 2018 2:03pm Filename: L:\2017\17-0500\Survey\W\Boundary & Topo\17-0500-Boundary&Topo.dwg



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 - LLP = LONGLEAF PINE
 - HACK = HACKBERRY
 - LO = LIVE OAK
 - LAD = LAUREL OAK
 - SGUM = SWEETGUM
 - MAG = MAGNOLIA
 - (wavy line) = UNDERGROUND WATER LINE (PER GRU PLANS)
 - (solid line) = UNDERGROUND FORCE MAIN (PER GRU PLANS)
 - (dashed line) = OVERHEAD WIRES
 - (dotted line) = UNDERGROUND TELEPHONE LINE
 - ▭ = AREA OF ASPHALT SURFACE
 - ▭ = AREA OF CONCRETE SURFACE
 - (dashed line) = EXISTING CONTOUR (ELEVATION IN FEET)

- SURVEYOR'S NOTES:**
- BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE FLORIDA NORTH ZONE (NAD 83/90) GRID.
 - NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
 - THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
 - INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR VIA OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, AGENT'S FILE REFERENCE: 15-1244-Z, DATED FEBRUARY 14, 2016. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THIS SURVEYOR.
 - INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
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 - ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 VERTICAL DATUM.
 - ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE LAYERS IN THE SUPPLIED DIGITAL FILE.
 - THIS SURVEY CONSISTS OF 12 SHEETS TOTAL AND IS NOT COMPLETE WITHOUT ALL. SEE SHEETS 2-12 FOR DETAILED TOPOGRAPHIC INFORMATION.

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CFW
Professional Consultants

GARY WESSEMAN
SCULLOGS & CARMICHAEL
SALTER FEEBER, P.A.
OLD REPUBLIC NATIONAL
RENASANT BANK

SCALE: 1" = 30'
VERTICAL SCALE ON
BASED ON THE ORIGINAL DRAWING
HORIZONTAL SCALE ON THIS SHEET ADJUST
SCALES ACCORDINGLY.

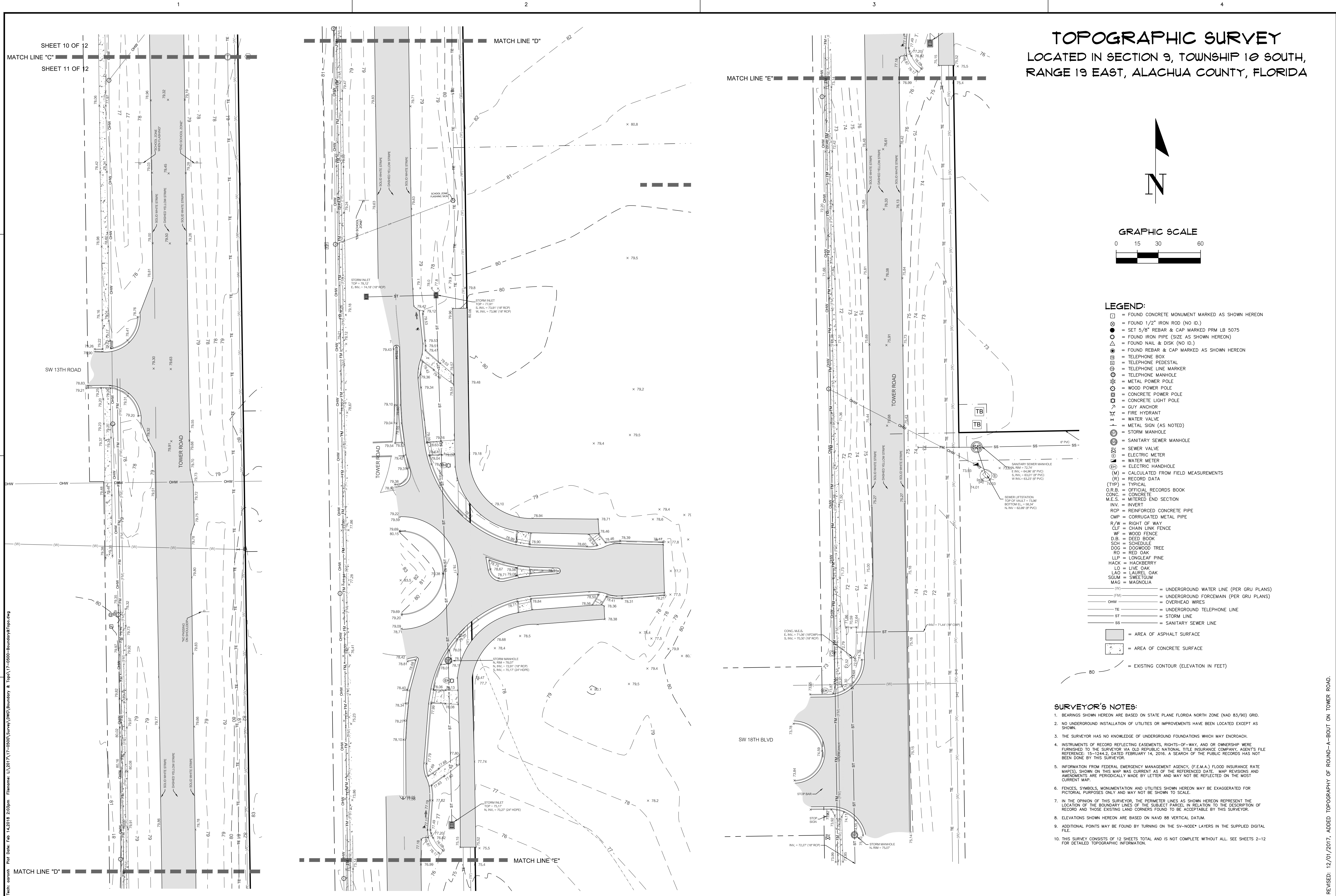
DATE: 02/17/2017
REVISION DATE:
PROJECT NUMBER:
17-0500

THIS MAP PREPARED BY:
AARON H. HICKMAN
SEE SHEET 1 OF 12
Professional Surveyor & Mapper Fla. License No. 6791

Certificate of Authorization No. LB-5075
NOT VALID WITHOUT THE SIGNATURE AND
ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

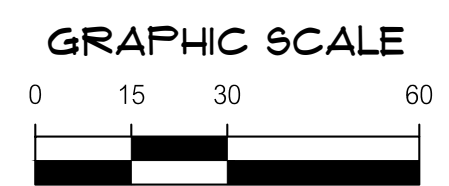
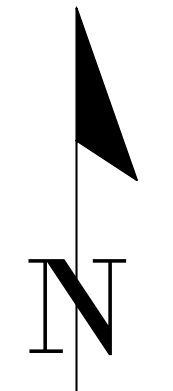
SHEET NO.:
10 OF 12

FLORIDA
LB-5075



TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH,
RANGE 19 EAST, ALACHUA COUNTY, FLORIDA



LEGEND:

- = FOUND CONCRETE MONUMENT MARKED AS SHOWN HEREON
- = FOUND 1/2" IRON ROD (NO ID.)
- = SET 5/8" REBAR & CAP MARKED PRM LB 5075
- = FOUND IRON PIPE (SIZE AS SHOWN HEREON)
- = FOUND NAIL & DISK (NO ID.)
- = FOUND REBAR & CAP MARKED AS SHOWN HEREON
- = TELEPHONE BOX
- = TELEPHONE PEDESTAL
- = TELEPHONE LINE MARKER
- = TELEPHONE MANHOLE
- = METAL POWER POLE
- = WOOD POWER POLE
- = CONCRETE POWER POLE
- = CONCRETE LIGHT POLE
- = GUY ANCHOR
- = FIRE HYDRANT
- = WATER VALVE
- = METAL SIGN (AS NOTED)
- = STORM MANHOLE
- = SANITARY SEWER MANHOLE
- = SEWER VALVE
- = ELECTRIC METER
- = WATER METER
- = ELECTRIC HANDHOLE
- (M) = CALCULATED FROM FIELD MEASUREMENTS
- (R) = RECORD DATA
- (TYP) = TYPICAL
- O.R.B. = OFFICIAL RECORDS BOOK
- CONC. = CONCRETE
- M.E.S. = MITERED END SECTION
- INV. = INVERT
- ROP = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- R/W = RIGHT OF WAY
- CLF = CHAIN LINK FENCE
- WF = WOOD FENCE
- D.B. = DEED BOOK
- SCH = SCHEDULE
- DO = DOGWOOD TREE
- RO = RED OAK
- LLP = LONGLEAF PINE
- HACK = HACKBERRY
- LO = LIVE OAK
- LAD = LAUREL OAK
- SGUM = SWEETGUM
- MAG = MAGNOLIA
- (W)--- = UNDERGROUND WATER LINE (PER GRU PLANS)
- (S)--- = UNDERGROUND FORCEMAIN (PER GRU PLANS)
- (O)--- = OVERHEAD WIRES
- (T)--- = UNDERGROUND TELEPHONE LINE
- (ST)--- = STORM LINE
- (SS)--- = SANITARY SEWER LINE
- = AREA OF ASPHALT SURFACE
- = AREA OF CONCRETE SURFACE
- (E)--- = EXISTING CONTOUR (ELEVATION IN FEET)

SURVEYOR'S NOTES:

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SCALE: 1" = 30'
REVISIONS SHALL BE MADE ON ORIGINAL DRAWING
0. ANY SIZE CHANGES TO THIS SHEET, ADJUST SCALES ACCORDINGLY.

GARY WESMAN
SCULLOGS & CARMICHAEL
SALTER FEEBER, P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RENASANT BANK

DESIGNER:	AARON H. HICKMAN
DATE:	02/17/2017
REVISION DATE:	12/01/2017
PROJECT NUMBER:	17-0500
CHECKED BY:	AHH
FIELD BOOK & PAGE:	488/59-68

This map prepared by:
AARON H. HICKMAN
SEE SHEET 1 OF 12
Professional Surveyor & Mapper Fla. License No. 6791

Certificate of Authorization No. LB-5075
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

TOPOGRAPHIC SURVEY

LOCATED IN SECTION 9, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA

LEGEND:

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- △ = FOUND NAIL & DISK (NO ID.)
- ⊗ = FOUND REBAR & CAP MARKED AS SHOWN HEREON
- ☐ = TELEPHONE BOX
- ☐ = TELEPHONE PEDESTAL
- = TELEPHONE LINE MARKER
- = TELEPHONE MANHOLE
- = METAL POWER POLE
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Tech: searsh Plot Date: Feb 14, 2018 2:55pm Filename: L:\2017\17-0500\Survey\W\Boundary & Topo\17-0500-Boundary&Topo.dwg

 Professional Consultants		190 NW 76th Drive Gainesville, Florida 32607 (352) 331-1876 / (352) 331-2476 www.chw-fl.com est. 1988 FLORIDA LB-075
SCALES: 1" = 30' VERIFY ALL DIMENSIONS ON THIS DRAWING AGAINST THE ORIGINAL DRAWING 0 DIMENSIONS MAY VARY FROM THE SHOWN DIMENSIONS THIS SHEET ADJUST SCALES ACCORDINGLY.	GARY WESEMAN SCHEUGS & CARMICHAEL SALTER FEEBER, P.A. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY RENASANT BANK	
SURVEY DATE: 02/17/2017	CERTIFIED TO: 17-0500	PROJECT NUMBER: 17-0500
DESIGNER: AIH	CHECKED BY: AIH	FIELD BOOK & PAGE: 488/59-68
This map prepared by: AARON H. HICKMAN License No. 6791 Certificate of Authorization No. LB-5075 NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER		
SEE SHEET 1 OF 12		
12 OF 12		