

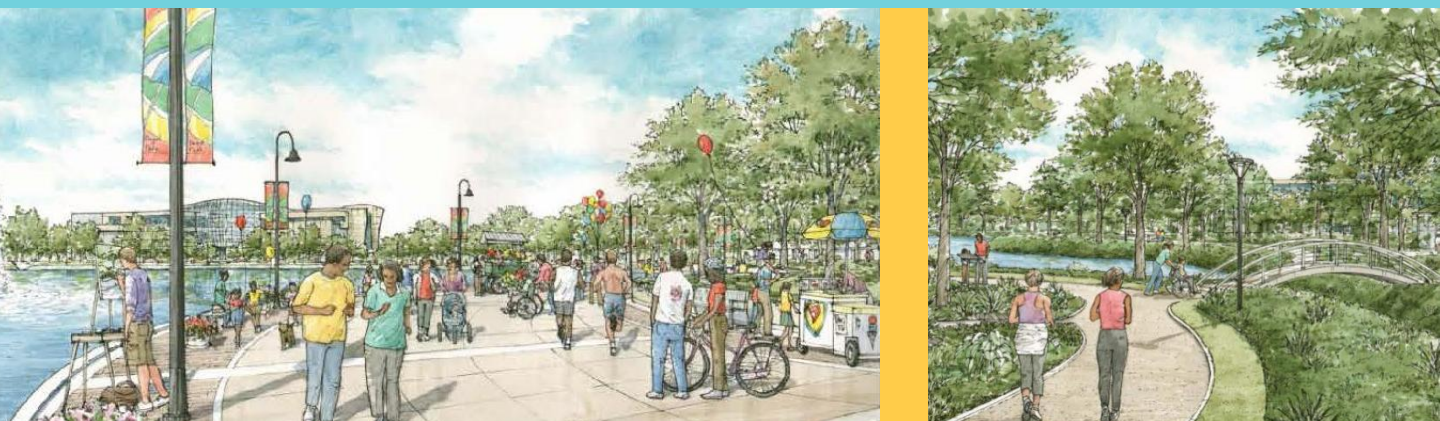


Guaranteed Maximum Price

DEPOT PARK - PHASE 2

COMMUNITY REDEVELOPMENT AGENCY

December 5, 2014



Oelrich Construction, Inc.

25125 West Newberry Road Newberry, FL 32669

Phone: (352) 472-1334 Fax: (352) 472-1335

CBC059971 CGC1510579

December 5, 2014

Diane Gilreath
CRA Manager
Gainesville Community Redevelopment Agency
802 NW 5th Avenue Suite 200
Gainesville, FL 32601



**Re: Depot Park – Phase 2
Guaranteed Maximum Price**

Ms. Gilreath:

Oelrich Construction, Inc. is pleased to present this Guaranteed Maximum Price for the coordination, labor and materials required to complete the construction of the Depot Park project, Phase Two.

The Guaranteed Maximum Price for this project is:

Five Million Nine Hundred Ninety Eight Thousand Eight Hundred and Four

Dollars.....\$5,998,804.00

Please find the attached GMP overview, GMP breakdown, Qualifications, Site Utilization plan, Schedule, and a List of Construction Documents used to generate this GMP.

We appreciate the opportunity to be a part of this project, and we look forward to its successful completion. Please feel free to contact me at any time if you have any questions.

Sincerely,
Oelrich Construction, Inc.

A handwritten signature in blue ink, appearing to read 'J. Blackford', is written over a horizontal line.

Joshua P. Blackford
Principal, Project Manager



**CRA Depot Park Multi-Phase Construction
90% GMP Overview**

Oelrich Construction, Inc.
Friday, December 05, 2014



Bid Package	Package Description	90% Construction Drawings	100% Construction Drawings	Project Bid Day	After Scope Reviews
BP 1A	General Conditions	\$ 262,652			
BP 1B	Construction Aids	\$ 83,800			
BP 2A	Sitework	\$ 1,124,597			
BP 2C	Landscape	\$ 332,738			
BP 3A	Concrete	\$ 627,096			
BP 4A	Masonry	\$ 21,000			
BP 5A	Misc Metals	\$ 415,734			
BP 6A	Rough Carpentry	\$ 153,500			
BP 7B	Roofing	\$ 91,200			
BP 7C	Sealants	\$ 6,000			
BP 8A	Doors and Hardware	\$ 11,000			
BP 9B	Flooring	\$ 6,000			
BP 9D	Painting and Waterproofing	\$ 12,046			
BP 10A	Specialties	\$ 111,290			
BP 11A	Playground Area	\$ 1,115,320			
BP 11B	Splash Pad	\$ 354,775			
BP 11C	Bridge	\$ 94,390			
BP 15B	Plumbing	\$ 52,750			
BP 16A	Electrical	\$ 540,772			
Total of Bid Packages		\$ 5,416,660			
Contingency	2.6%	\$ 140,833.16			
Total of Project Costs		\$ 5,557,493			
CM Fee	7%	\$ 389,024.51			
Pre-Con Fee	0.60%	\$ 33,344.96			
Subtotal		\$ 5,979,862			
Builders Risk Insurance		\$ 2,500			
Payment and Performance Bonds		\$ 47,839			
General Liability Insurance		\$ 58,603			
COG Building Permit		\$ 15,000			
State Inspection Fee		\$ 5,000			
Utility Connection Fee		\$ 10,000			
ODP Savings		\$ (120,000)			
Total GMP Amount		\$ 5,998,804			



CRA Depot Park Multi-Phase Construction

Oelrich Construction, Inc.

90% CD's - GMP

December 5, 2014



Item Description	Qty	Unit	labor			material		subcontractor		Totals	Sub Totals
			unit price	%burden	amount	unit price	amount	unit price	amount		
Project Duration	52	wks									
General Conditions											
Project Manager	26	weeks	1,923.00	24.08%	62,038	-	-	-	-	62,038	
Project Engineer	15	weeks	1,009.60	24.86%	18,909	-	-	-	-	18,909	
Project Superintendent	40	weeks	1,615.60	23.92%	80,082	-	-	-	-	80,082	
Asst. Superintendent	45	weeks	1,058.00	24.75%	59,393	-	-	-	-	59,393	
Jobsite Construction Vehicle	12	months				250	3,000			3,000	
Vehicle Fuel/Oil	12	months				400	4,800			4,800	
Temporary Toilets	12	months				600	7,200			7,200	
Temporary Project Signage	1	ls				1,500	1,500			1,500	
Field Office Rental	12	months				350	4,200.00			4,200	
Jobsite Security	12	months				100	1,200.00			1,200	
Job Telephone	12	months				250	3,000.00			3,000	
Field Computer Services	12	months				250	3,000			3,000	
Copy Machine	12	months				65	780.00			780	
Safety/First Aid Supplies	1	ls				2,000	2,000			2,000	
Progress Photos	14	ea				300	4,200.00			4,200	
Drawing Reproduction	10	sets				200	2,000.00			2,000	
Advertising	1	ls				150	150.00			150	
Office Supplies	12	months				300	3,600			3,600	
Postage and Delivery Fees	12	ea				50	600			600	
As Built Documents	2	sets				250	500			500	
Project Closeout	1	ls				500	500.00			500	
											262652
Construction Aids											
Equipment Fuel/ Maintenance	1	ls				1,000	1,000.00			1,000	
SmallTools	12	months				500	6,000			6,000	
Dumpster Pulls	20	pulls				275	5,500			5,500	
Daily Clean up	100	days				115	11,500			11,500	
Equipment Rental	1	ls				3,500	3,500			3,500	
Contaminated Soil Testing	1	ls				15,000	15,000			15,000	
Standard Soil Testing	1	ls				5,000	5,000			5,000	
Concrete Testing	1	ls				15,000	15,000			15,000	
Survey	1	ls				5,000	5,000.00			5,000	
Temporary Fencing and Gates	3000	lf				3	9,000			9,000	
Temporary electric power & lighting	12	months				250	3,000			3,000	
Temporary water	12	months				150	1,800			1,800	
Temp water/power Setup	1	ls				2,500	2,500			2,500	
											83800
BP-2A Sitework											
Demolition	1	ls					61,645	61,645		61,645	
Cut	5704	cy					7	39,928		39,928	
Fill	11864	cy					9	106,776		106,776	
Site Grading	40114	cy					4	160,456		160,456	
Site Ripping/Mixing	40114	cy					2.5	100,285		100,285	
Pad Prep	2	ea					2,457	4,914		4,914	
Storm	1	ls					116,350	116,350		116,350	
Delete Two Area Drains @ Amph.	1	ls					(5,000)	(5,000)		(5,000)	
Water	1	ls					45,107	45,107		45,107	
Sewer	1	ls					1,875	1,875		1,875	
Parking Lot Asphalt	2061	cy					12	24,732		24,732	
Trail Asphalt	2405	cy					18	43,290		43,290	
Parking Lot Subgrade	2061	cy					20	41,220		41,220	
Parking Lot Striping	1	ls					5,000	5,000		5,000	
Trail Subgrade	2405	cy					31	74,555		74,555	
Curb & Gutter	1	ls					18,300	18,300		18,300	
Gravel Pave System	1	ls					13,000	13,000		13,000	
Train Track System	1	ls					137,750	137,750		137,750	
Delete Portion of Track System	1	ls					(40,000)	(40,000)		(40,000)	
East Entry Ramp Earth Berm	1	ls					15,000	15,000		15,000	
Testing	1	ls					10,000	10,000		10,000	
Surveying	1	ls					50,000	50,000		50,000	
MOT	1	ls					6,500	6,500		6,500	
Site Preparations	1	ls					36,599	36,599		36,599	
Gravel Bed at Buildings	1	ls					3,500	3,500		3,500	
6" Standard Curb for Parking Lot	980	lf					15	14,700		14,700	
6" Standard Curb Circles	425	lf					15	6,375		6,375	
12" Concrete Header Curb	317	lf					20	6,340		6,340	
24" Header Curb	335	lf					40	13,400		13,400	
Stake Contaminated Areas	1	ls					1,500	1,500		1,500	
Protect Test Wells	1	ls					500	500		500	
Unsuitable Soils/Dewatering	1	ls					10,000	10,000		10,000	



CRA Depot Park Multi-Phase Construction

Oelrich Construction, Inc.

90% CD's - GMP

December 5, 2014



Item Description	Qty	Unit	labor			material		subcontractor		Totals	Sub Totals
			unit price	%burden	amount	unit price	amount	unit price	amount		
BP-2C Landscape											
Irrigation	1	ls						70,000	70,000	70,000	
Use Native Sod - Delete Irrigation	1	ls						(15,000)	(15,000)	(15,000)	
Plant Material	1	ls						41,703	41,703	41,703	
Delete West Planting Beds	1	ls						(10,000)	(10,000)	(10,000)	
Sod	135000	sf						0.70	94,500	94,500	
Use Native Sod	1	ls						(47,250.00)	(47,250)	(47,250)	
Non-palm Trees	1	ls						76,985	76,985	76,985	
Delete Trees Around Future Amph.	1	ls						(4,000)	(4,000)	(4,000)	
Palm Trees	1	ls						144,200	144,200	144,200	
Delete Most Palms - 10ea Remaining	1	ls						(100,000)	(100,000)	(100,000)	
Fertilizer	1	ls						5,300	5,300	5,300	
Boulders	1	ls						17,000	17,000	17,000	
Delete Most Boulders	1	ls						(10,000)	(10,000)	(10,000)	
Mulch	1540	yds						45	69,300	69,300	
											332738
BP-3A Concrete											
Regular Flat Work	36932	sf						7	258,524	258,524	
Delete 10000sf of Concrete	10000	sf						-7	(70,000)	(70,000)	
Special Flat Work	26898	sf						8.5	228,633	228,633	
Delete 3000sf of Concrete	3000	sf						-8.5	(25,500)	(25,500)	
Curbs/Seat Walls/Seat Wall Foundations	1	ls						53500	53,500	53,500	
Reduce Curbing	1	ls						-12000	(12,000)	(12,000)	
NE Gateway	1	ls						64033	64,033	64,033	
Reduce NE Gateway by 25%	1	ls						-15000	(15,000)	(15,000)	
East Entry Ramp Retaining Wall Structures	1	ls						24150	24,150	24,150	
								120756	120,756	120,756	
											627096
BP-4A Masonry											
CMU Walls	2100	sf						10	21,000	21,000	
											21000
BP-5A Misc. Metals											
Structures	1	ls						185984	185,984	185,984	
Reduce NE Gateway by 25%	1	ls						-35000	(35,000)	(35,000)	
East Ramp - Guardrail	50	ft						255	12,750	12,750	
Guardrail @ Pond	1400	lf						180	252,000	252,000	
											415734
BP-6A Rough Carpentry											
Wood Framing	1	ls						149100	149,100	149,100	
General Trades	80	hrs						55	4,400	4,400	
											153500
BP-7B Roofing and Sheetmetal											
Pavilion Roofing	1	ls						81000	81,000	81,000	
Gutters & Downspouts	1	ls						21200	21,200	21,200	
Gutters & Downspouts	1	ls						-11000	(11,000)	(11,000)	
											91200
BP-7C Waterproofing and Sealants											
Sealants	2000	lf						3	6,000	6,000	
											6000
BP-8B Doors and Hardware											
Restroom Entry Doors	2	ea						4000	8,000	8,000	
Service Doors	2	ea						1500	3,000	3,000	
											11000
BP-9B Flooring											
Restroom Ceramic Wall Tile	1000	sf						6	6,000	6,000	
											6000
BP-9D Painting and Wallcovering											
Restroom Painting	1	ls						12046.00	12,046	12,046	
Restroom Ceiling - White								-	-	-	Not Included
Restroom Connectors - Black								-	-	-	Not Included
Pavilion Ceiling - White								-	-	-	Not Included
Pavilion Connections - Black								-	-	-	Not Included
Structural Steel Items								-	-	-	Not Included
Bridge Touch-up								-	-	-	Not Included
											12046



CRA Depot Park Multi-Phase Construction

Oelrich Construction, Inc.

90% CD's - GMP

December 5, 2014



Item Description	Qty	Unit	labor			material		subcontractor		Totals	Sub Totals
			unit price	%burden	amount	unit price	amount	unit price	amount		
BP-10A Specialties											
Benches	59	ea						1600	94,400	94,400	
Reduce Bench Areas	1	ls						-62400	(62,400)	(62,400)	
Trash Cans	35	ea						1360	47,600	47,600	
Reduce Trash Cans	1	ls						-21760	(21,760)	(21,760)	
Ring Bike Racks	38	ea						370	14,060	14,060	
Reduce Bike Racks	1	ls						-6660	(6,660)	(6,660)	
Install Site Accessories	130	ea						150	19,500	19,500	
Reduce Site Accessories	72	ea						-150	(10,800)	(10,800)	
Bollards	3	ea						450	1,350	1,350	
Dumpster Gates	1	ea						2,500	2,500	2,500	
Barrels	8	ea						1,000	8,000	8,000	
Chimes Allowance	1	ls						2,000	2,000	2,000	
Drums Allowance	1	ls						1,200	1,200	1,200	
Signage Allowance	1	ls						8,000	8,000	8,000	
Toilet Partitions	7	ea						1,300	9,100	9,100	
Restroom Misc Specialties	20	ea						150	3,000	3,000	
Fence Near Pond	100	lf						22	2,200	2,200	
											111290
BP-11B Playground Area											
Fines	1	ls						33000	33,000	33,000	
Equipment	1	ls						549700	549,700	549,700	
Reduce Equipment	1	ls						-26000	(26,000)	(26,000)	
Equipment Installation	1	ls						114480	114,480	114,480	
Surfacing	1	ls						305690	305,690	305,690	
Delete Turf add Mulch	1	ls						-67000	(67,000)	(67,000)	
Tables	4	ea						1225	4,900	4,900	
Half Pipe Play Eq.	1	ls						15000	15,000	15,000	
Fencing	900	lf						150	135,000	135,000	
Retaining Wall	810	sf						35	28,350	28,350	
Bartram Trail	420	sf						25	10,500	10,500	
Ticket Booth	1	ls						5000	5,000	5,000	
Platform	1	ls						3000	3,000	3,000	
Totem Pole	1	ea						1200	1,200	1,200	
Sand Box	1	ls						2500	2,500	2,500	
											1115320
BP-11B Splash Pad											
Concrete	2175							9	19,575	19,575	
Structure Allowance	1	ls						200000	200,000	200,000	
Simplify Design	1	ls						-50000	(50,000)	(50,000)	
Installation Allowance	1	ls						25000	25,000	25,000	
Surfacing	2175							22.2	48,285	48,285	
Delete Splash Pad Surface	1	ls						-48285	(48,285)	(48,285)	
Splash Equipment Allowance	1	ls						207000	207,000	207,000	
Simplify Splash Pad	1	ls						-57000	(57,000)	(57,000)	
Splash Pad Shade	320	sf						60	19,200	19,200	
Simplify Shade Structure	1	ls						-9000	(9,000)	(9,000)	
											354775
BP-11C Bridge											
Bridge	1	ls						60000	60,000	60,000	
Paint											Not Included
Deck	720	sf						7	5,040	5,040	
Abutments	2	ea						8000	16,000	16,000	
Pond Liner Repair	1	ls						1500	1,500	1,500	
Crane	1	ls						2500	2,500	2,500	
Installation	80	hrs						85	6,800	6,800	
Anchor Bolts	1	ls						550	550	550	
Testing	1	ls						2000	2,000	2,000	
											94390
BP-15B Plumbing											
Restroom	1	ls						52000	52,000	52,000	
Water Fountains											
Hose Bibs	5	ea						150	750	750	
											52750



CRA Depot Park Multi-Phase Construction

Oelrich Construction, Inc.

90% CD's - GMP

December 5, 2014



Item Description	Qty	Unit	labor			material		subcontractor		Totals	Sub Totals
			unit price	%burden	amount	unit price	amount	unit price	amount		
BP-16A Electrical											
Pole Bases	1	ls						33216	33,216	33,216	
Delete Playground Fixtures	1	ls						-4705	(4,705)	(4,705)	
Site Light Fixtures/Poles	1	ls						364353	364,353	364,353	
Delete Playground Fixtures	1	ls						-56470	(56,470)	(56,470)	
Site Conduits & Conductors	1	ls						103124	103,124	103,124	
Electrical Service & Building Ele.	1	ls						101254	101,254	101,254	
											540772
Subtotal										\$ 5,416,660	
Contingency	2.6%									\$ 140,833	
Total Construction Costs										\$ 5,557,493	
CM Fee	7%									\$ 389,025	
Preconstruction Fee	0.60%									\$ 33,345	
Subtotal										\$ 5,979,862	
Builders Risk Insurance										\$ 2,500	
Payment and Performance Bond										\$ 47,839	
General Liability Insurance	1.00%									\$ 58,603	
COG Building Permit	1	ls								\$ 15,000	
State Inspeccion Fee										\$ 5,000	
Utility Connection Fees	1	ls								\$ 10,000	
ODP	1	ls								\$ (120,000)	
Total										\$ 5,998,804	



Depot Park – Phase Two

December 5, 2014

Qualifications, Clarifications, Inclusions, and Exclusions

We have generated this GMP based on the 90% Construction Documents and included several value engineering options in our effort to help meet the budget. We reserve the right to compare the 90% Construction Documents to the 100% Construction Documents when they are available. At that time we will determine if any items have been added to the project resulting in an increase of cost or if the intended VE options are not present as previously agreed. If items are found that affect the project cost we will present this information with the associated cost prior to bidding the project. A separate document has been created in order to document the approved VE items. This information has been

Division 1- General Conditions

- The labor burden rates included in this proposal have been submitted to the owner.
- The estimated project construction duration will be fifty two weeks.
- Work will be accomplished during normal work hours. This will include various activities which will cause loud noises.
- A Builder's Risk Insurance policy has been included for the structures included with the project.
- We have included cost for temporary water and power as needed to complete the project.
- All required temporary enclosures, storage facilities, office trailer, dumpsters, toilets, signage etc. have been included as a part of the project.
- We are aware of the potential to encounter contaminate soils and will stage the project accordingly. Based on the reports we have been given by the owner, we expect most if not all of the areas to be clean but if, potentially contaminated soils are discovered we will have included \$15,000 allowance in order to follow the required methods to deal with the soil. It is assumed that we will be able to keep all soil onsite and not need to haul contaminated soil away.
- We have included an allowance of \$10,000 in order to address potentially contaminated ground water. Based on the reports we have we do not expect to encounter ground water. The allowance would be used to test the water and divert to sewer system.
- We have included cost for a washing station to address vehicles leaving the project site.
- Temporary project fencing will be maintained during project.
- We have included cost for monthly aerial photos.
- We have included cost for soil testing and concrete testing.
- We have included minimal survey cost in order to verify main grades and structure locations.

Division 2A- Sitework

- GMP includes a complete sitework package as shown in the project drawings.
- All clearing, grubbing, ripping, cutting, filling, excavating, backfilling and grading as required to complete the project.
- We have included a complete storm system as shown.
- We have included all water service connections and piping as required for structures, playground, and hose bibs throughout the park as shown.
- We have included preparation for building pads
- We have included sewer for the splash pad
- We have included all material and labor as required for subgrade stabilization and limerock.
- All asphalt required for main trail and parking lot.
- We have included concrete curb, ramps and aprons
- Gravel pave system will be installed as shown
- We have included all material and labor as required to complete the decorative train track sections as shown. These will match the existing at the Depot Building.
- We have included the earth berm as shown at the East Gateway.
- We have included all gravel as shown.
- We have included cost to protect the existing systems surrounding the project site.
- We have not included any cost to remove contaminated soils.
- We have not included any cost to provide top soil. It is assumed that the existing soils will support the sod and plant material.
- VE – Delete 250lf of train track décor

Division 2C- Landscaping

- Complete irrigation system as required to establish and maintain new plant material, and trees. Irrigation has not been included for sod areas.
- All plant material, trees, staking, and management have been included.
- We have included cost to fertilize new landscape as a part of the installation
- We have included an allowance of \$7000 for boulders
- All mulch for planting areas as shown.
- We have included planting soil for the trees as shown.
- VE – Bahia sod will be used throughout
- VE – Delete west planting beds
- VE – Delete amphitheater trees and sod
- VE – Reduce Sylvester Palms to 10ea total

Division 3A- Concrete

- All flat work as shown and detailed. Including: broom finish, exposed aggregate, and stamped concrete.
- We have included seat walls and header curbs.
- All foundations as required for structures.
- Bridge abutments will be cast in place as shown.
- We have included all SOG for buildings.
- We have all reinforcing steel as shown and detailed.
- The project drawings do not include a concrete jointing plan. Therefore, we have only included standard jointing methods at cold joints. We have not included any SS slip joints.
- VE – Delete 13,000sf of concrete pathways
- VE – Reduce seat walls and header curb
- VE – Reduce east gateway feature to 50' diameter

Division 4A- Masonry

- We have included all CMU's, steel, concrete, and mortar as required to construct the dumpster enclosure as shown.
- We have included restroom CMU walls as shown and detailed.

Division 5A- Metals

- We have included cost for all structural steel as shown, including: NW Gateway sign and NE Gateway Entry Structure.
- We have included an allowance of \$252,000 for the guardrail at the retention ponds.
- We have included a guardrail for the East Entry Ramp feature as shown.
- We have all anchor bolts for steel and bridge.
- GMP includes custom fabricated rafter seats for the site buildings.
- VE – East gateway entry feature will be reduced to 50' diameter

Division 6A- Rough Carpentry/General Trades

- All materials, labor, and equipment as required for the rough carpentry work associated with the restroom and picnic pavilions. This includes all metal connections as shown and specified.
- We have included all interior restroom walls as shown and detailed.
- All concealed blocking as required for the attachment of casework, counters, shelving, door frames, restroom accessories, etc. has been included.
- All materials and labor as required receiving, handling and installing doors, frames and associated hardware.
- All materials and labor required to receive, handle and install all bathroom accessories and other miscellaneous specialties.
- All restroom partitions as shown. We have assumed basic materials and stock colors.

Division 7B- Roofing & Sheetmetal

- We have included all roofing as shown for the restroom and picnic pavilions.
- We have included all gutters and downspouts as shown for restroom and picnic pavilions.
- VE – Replace copper gutters and downspouts with painted aluminum
- VE – Delete rain barrels

Division 7C- Sealants

- We have included an allowance of \$6000 for miscellaneous sealants.

Division 8- Doors and Windows

- Provide and install 2ea custom entry doors/gates for the restrooms.
- Provide and install 2ea standard commercial HM doors and frames for utility areas.

Division 9- Finishes

- Includes all durrock and ceramic tile as required for restroom walls. An allowance of \$3.50 per square foot has been included for the ceramic tile material.
- We have included a basic floor sealer for the restroom floors.
- All CMU walls will receive one primer coat and two finish coats. Colors are included from corner to corner; stripes and designs will be extra
- Paint all doors and frames as required

Division 10- Specialties

- Budget includes cost for standard bathroom partition walls.
- We have included all site accessories as shown, including: benches, trash receptacles, bike rings, and bollards.
- We have included standard gates for the dumpster enclosure

- We have included the following allowances:
 - Chimes - \$2,000
 - Drums - \$1,200
 - Signage - \$10,000
- We have included all restroom accessories as shown and detailed
- We have included standard fencing for the enclosure for the west control panels
- VE – Delete 39 benches, 16 trash receptacles, and 18 bike rings

Division 11A- Playground Area

- We have included all site preparation, final grading, and concrete fines as required to accept playground structures and equipment.
- We have included all playground equipment and structures by REP Services and Landscape Structures and shown and detailed.
- We have all playground safety surfacing as detailed
- We have included the following allowances:
 - Tables - \$4,900
 - Half Pipe Play Structures - \$15,000
 - Fencing - \$135,000
 - South Ramp - \$10,500
 - Ticket Booth - \$5,000
 - Platform Car - \$3,000
- We have included the sand box as shown
- We have included the retaining wall and separation curbs surrounding the splash pad
- VE – Swings have been changed to standard, beam has been deleted, toddler items have been reduced
- VE – Forever-lawn has been reduce by 7310sf. This will be replace with wood fiber mulch

Division 11B- Splash Pad

- We have included concrete as shown for the splash pad area
- The GMP includes an allowance of \$175,000 for the splash pad structure
- The GMP includes an allowance of \$150, 000 for the splash pad equipment
- We have included cost for a shade structure near the splash pad area
- VE – Safety surfacing was deleted from the splash pad area

Division 11C- Bridge

- We have included cost for a pre-manufactured bridge as shown and detailed.
- We have cost to cover all equipment, labor and materials needed to install the bridge
- We have included cost to adjust the pond liner after new bridge abutments are in place
- We have covered cost for the concrete deck required once the bridge is in place

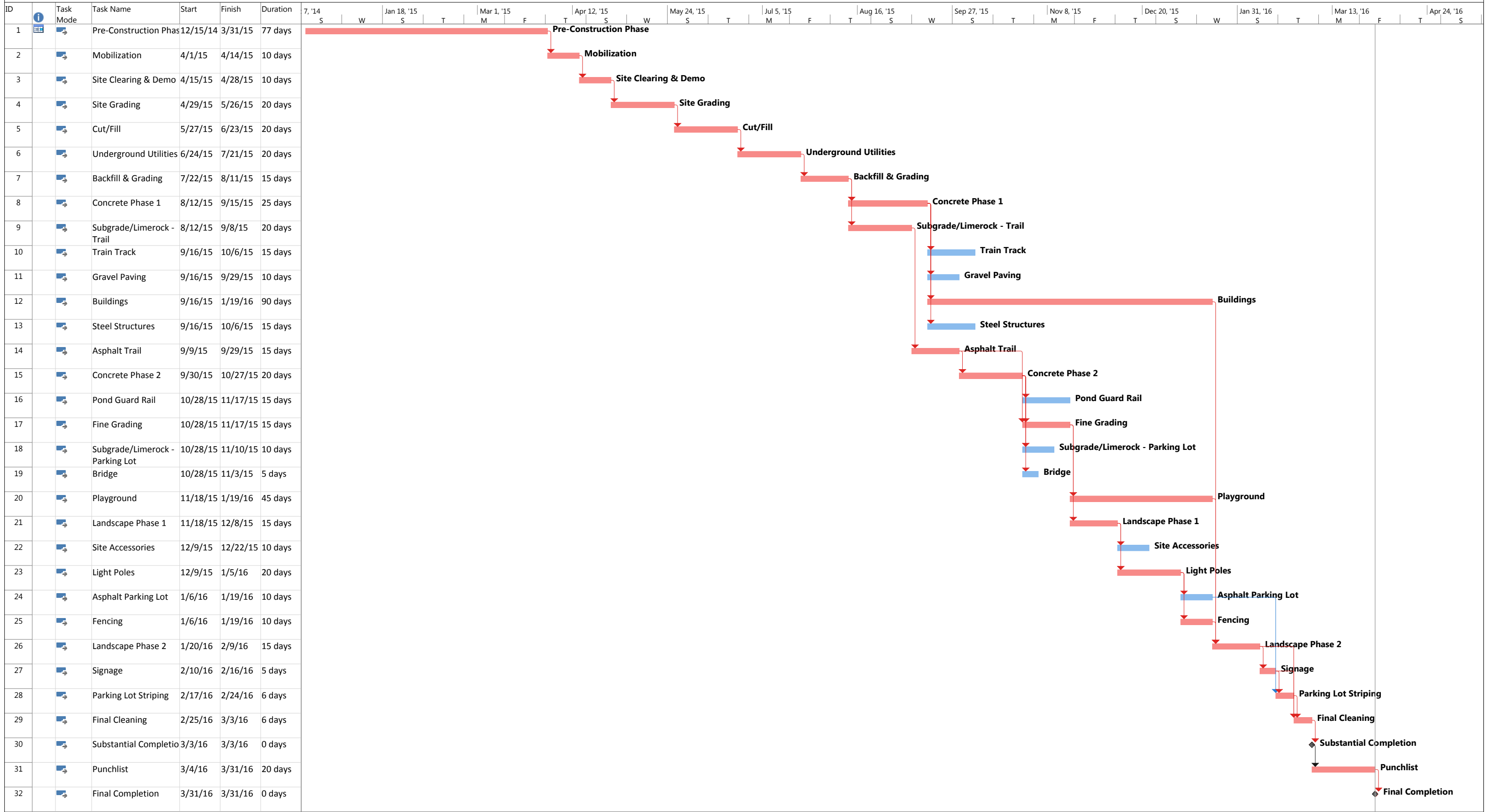
Division 15B- Plumbing

- Includes complete plumbing package required for restroom as shown
- We have included 5ea hose bibs to be located as shown
- Water fountain is to be provided and installed by owner

Division 16- Electrical Systems

- All required electrical gear, light fixtures, conduit, wire and supports to be provided and installed to meet project drawings, codes, and requirements
- We have include cost for all light pole bases as currently detailed
- We will coordinate with GRU as required to bring power to the site.
- VE – Amphitheater panels have been deleted from the site.
- VE – 17ea light poles have been deleted from the site

Depot Park - Phase Two - Overall Project Schedule

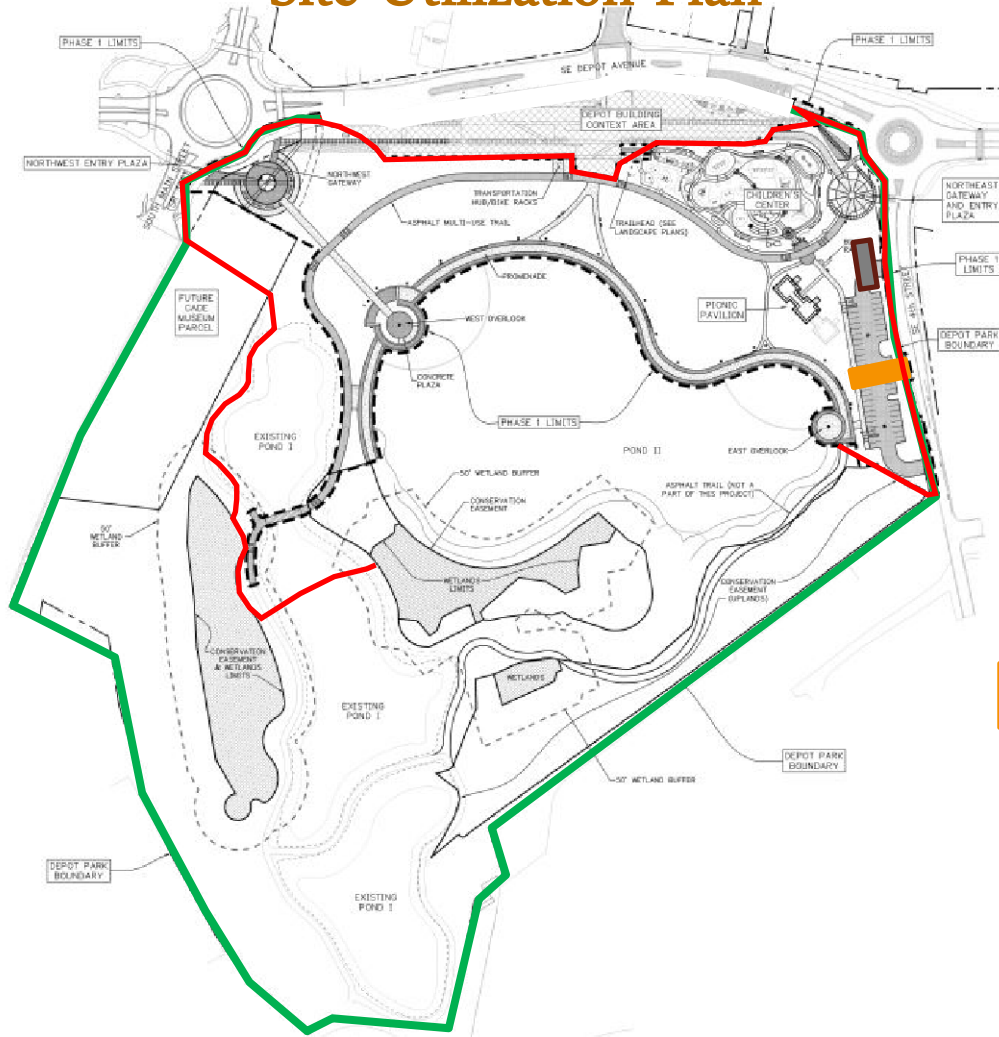


Project: Depot Park - GMP Schedule Date: 12/5/14	Task		Summary		Inactive Milestone		Duration-only		Start-only		External Milestone		Critical Split	
	Split		Project Summary		Inactive Summary		Manual Summary Rollup		Finish-only		Deadline		Progress	
	Milestone		Inactive Task		Manual Task		Manual Summary		External Tasks		Critical		Manual Progress	



Construction Management Services
for Multi-Phase Construction
at **Depot Park**

Site Utilization Plan



Total Site

OCI Office

Site Fence

Construction Entrance

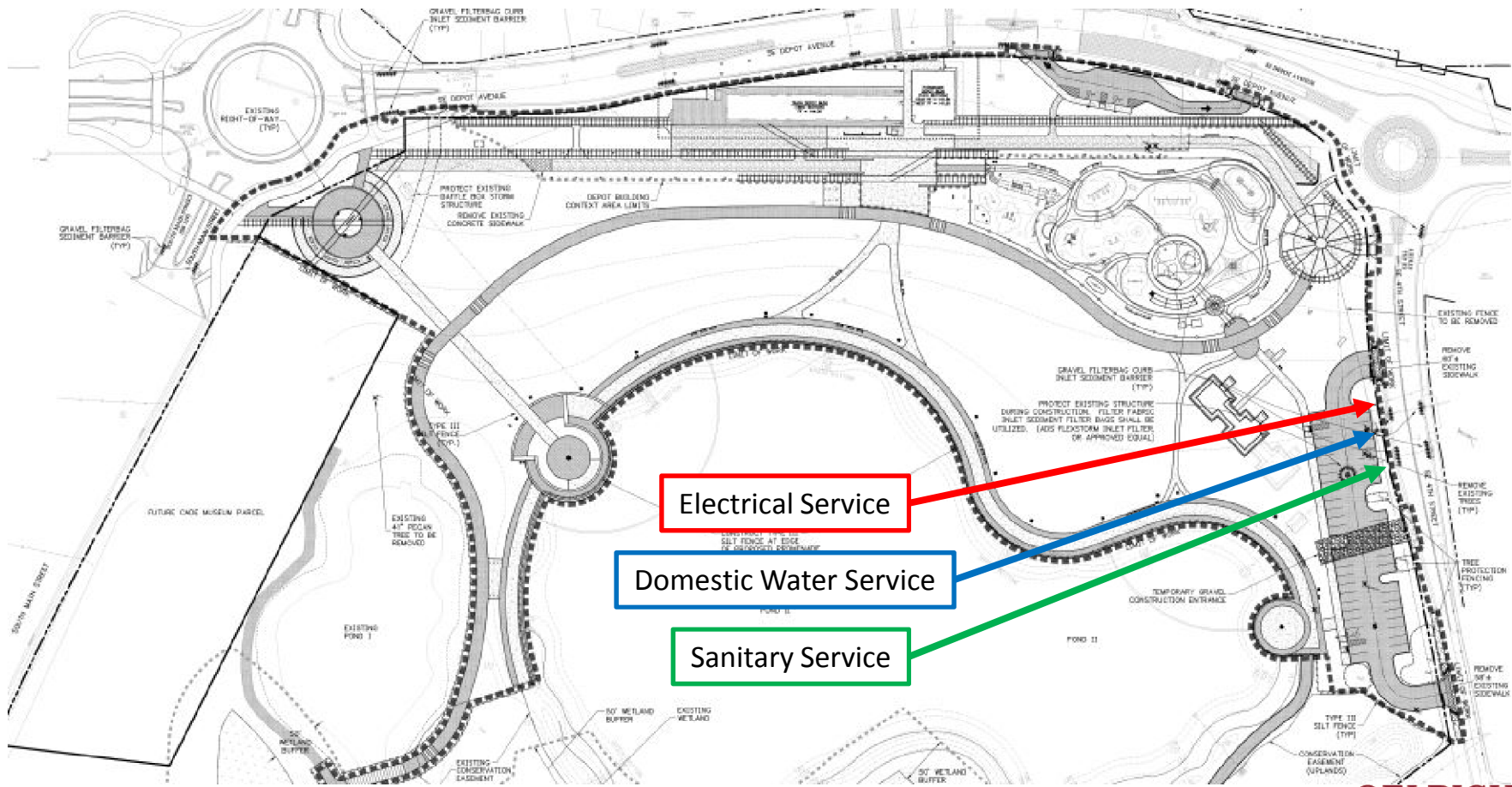


Construction Management Services

for Multi-Phase Construction

at Depot Park

Site Utility Locations



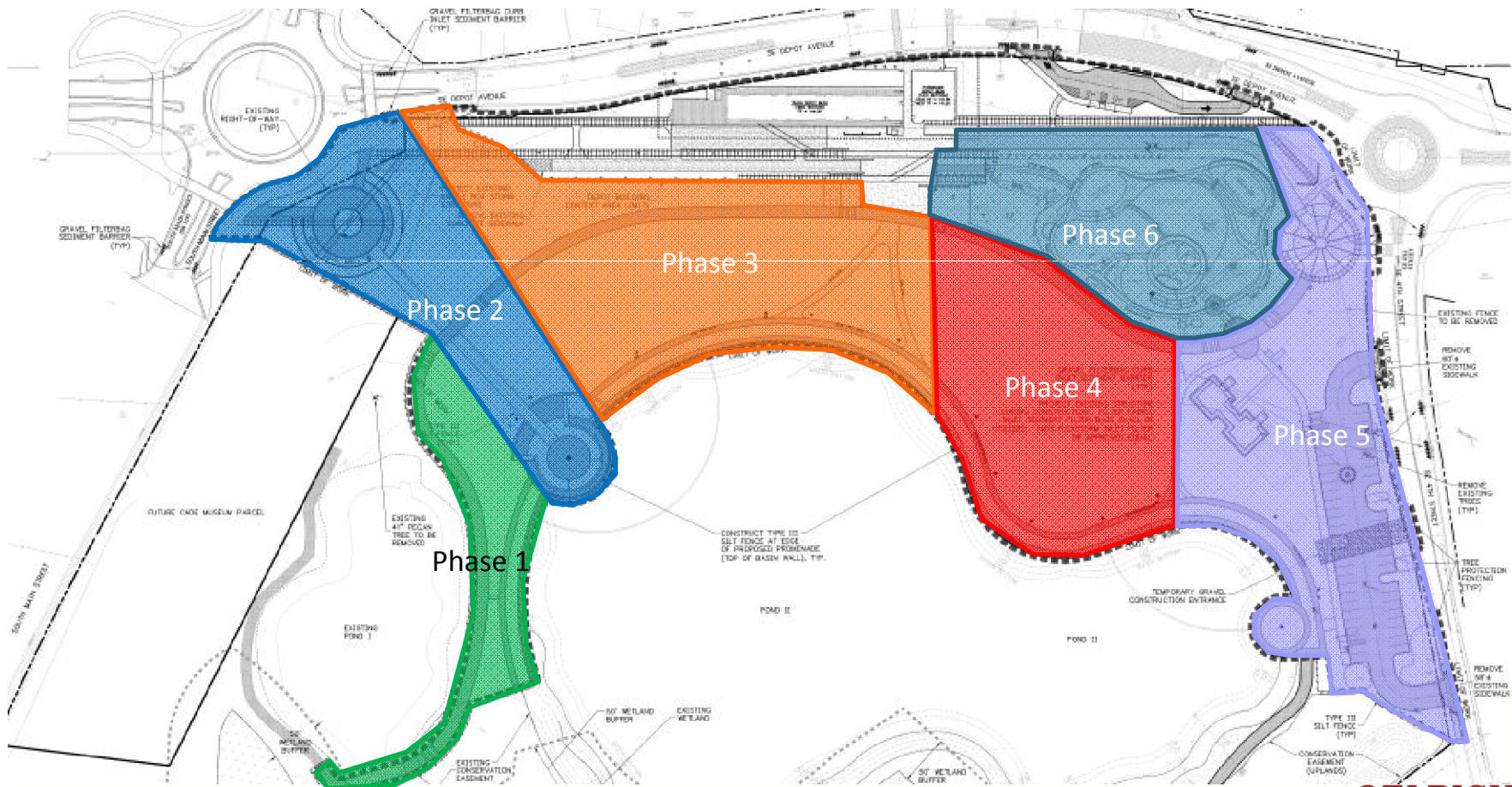


Construction Management Services

for **Multi-Phase Construction**

at Depot Park

Project Sequencing





Depot Park- Phase 2
City of Gainesville
Community Redevelopment Agency
90% Documents List

<u>Sheet #</u>	<u>Description</u>	<u>Date</u>
C0.0	Cover Sheet	12/2/14
C1.0	Legend, Abbreviations & Notes	12/2/14
C1.1	Master Plan	12/2/14
C1.2	Phase 2 Master Plan	12/2/14
C1.3	Emergency & Maintenance Route Plan	12/2/14
C1.4	Master Remediation & Contamination Plan	12/2/14
C2.0	Stormwater Pollution Prevention Plan	12/2/14
C2.1	Demolition, Erosion & Sedimentation Control Plan	12/2/14
C3.0	Dimension Plan - West	12/2/14
C3.1	Dimension Plan - East	12/2/14
C3.2	Dimension Plan - Playground	12/2/14
C4.0	Paving, Grading, & Drainage - West	12/2/14
C4.1	Paving, Grading, & Drainage - East	12/2/14
C4.2	Paving, Grading, & Drainage - Playground	12/2/14
C4.3	Bridge Plan & Details	12/2/14
C4.4	Paving, Grading & Drainage Details & Notes	12/2/14
C4.5	Paving, Grading & Drainage Details & Notes	12/2/14
C4.6	Paving, Grading & Drainage Details & Notes	12/2/14
C5.0	Utility Plan – West	12/2/14
C5.1	Utility Plan – East	12/2/14
C5.2	Utility Details & Notes	12/2/14
L1.00	Landscape Layout & Master Plan	11/26/14
L1.01	Planting Plan -Section 1	11/26/14
L1.02	Planting Plan Sections 2 & 3	11/26/14
L1.03	Planting Plan Section 4	11/26/14
L1.04	Planting Plan -Sections 5 & 6	11/26/14

L1.05	Gateway Landscape Plans	11/26/14
L1.06	Planting Plan Notes & Details	11/26/14
L2.00	Children's Playground Master Plan	4/30/14
L2.01	Playground Surface Materials	4/30/14
L2.02	Playground Equipment & Train Details	1/17/14
L2.03	Playground Equipment & Details	1/17/14
L2.04	Playground Equipment & Details	1/17/14
L2.05	Playground Equipment & Details	1/17/14
L3.00	Interactive Fountain Area	9/22/14
L3.01	Interactive Fountain Concept	1/17/14
L3.02	Interactive Fountain Details	1/17/14
L4.00	Depot Park Signage Plan	1/17/14
L4.01	Depot Park Signage Plan	1/17/14
L5.00	General Notes & Details	1/17/14
L5.01	Hardscape Details	1/17/14
L5.02	General Notes & Details	1/17/14
IR1.00	Irrigation Layout and Master Plan	12/2/14
IR1.01	Irrigation Plan - Section 1	12/2/14
IR1.02	Irrigation Plan - Sections 2 & 3	12/2/14
IR1.03	Irrigation Plan - Section 4	12/2/14
IR1.04	Irrigation Plan - Sections 5 & 6	12/2/14
IR1.05	Irrigation Plan Notes & Details	11/26/14
E0.1	Electrical Legend, General Notes & Site Lighting Statistics	12/2/14
E1.0	Electrical Site Plan - Northeast Portion	12/2/14
E1.1	Electrical Site Plan - Southwest Portion	12/2/14
E2.0	Electrical Pavilion Floor Plan - Lighting & Power	12/2/14
E2.1	Electrical Bathroom Floor Plans - Lighting & Power	12/2/14
E5.0	Electrical Details, Site Lighting, Fixtures, Poles & Bases	12/2/14
E5.1	Electrical Details, Site Lighting, Fixtures, Alternate Playground Luminare & Pole	12/2/14
E6.0	Electrical Power Riser Diagram & Load Calculations	12/2/14
E6.1	Grounding Riser Diagram & Grounding Details	12/2/14
EL1.0	Photometric Site Plan - Northeast Portion	12/2/14
EL1.1	Photometric Site Plan - Southwest Portion	12/2/14
A1.1	Northeast Gateway Overall Plan	12/2/14
A1.2	Northeast Gateway Enlarged Plan - North	12/2/14

A1.3	Northeast Gateway Enlarged Plan - South	12/2/14
A1.4	Northeast Gateway Exterior Elevations	12/2/14
A1.5	Northeast Gateway – Enlarged Elevations	12/2/14
A1.6	Northeast Gateway – Sections	12/2/14
A1.7	Details	12/2/14
A2.1	Northwest Gateway Sign Plan	12/2/14
A3.1	Bicycle Memorial – Plans & Elevations	12/2/14
A4.1	Architectural Site Plan - Bathroom Building & Pavilion	12/2/14
A4.2	Pavilion Floor Plan	12/2/14
A4.3	Pavilion Elevations	12/2/14
A4.4	Pavilion Sections	12/2/14
A4.5	Pavilion Details	12/2/14
A5.1	Bathroom Building Floor Plan	12/2/14
A5.2	Bathroom Building Interior Elevations & Details	12/2/14
A5.3	Bathroom Building Exterior Elevations	12/2/14
A5.4	Bathroom Building Sections	12/2/14
A5.5	Bathroom Building Details	12/2/14
S0.0	General Notes	12/2/14
S1.1	Foundation Plan – Northeast Gateway	12/2/14
S1.2	Steel Framing Plan – Northeast Gateway	12/2/14
S1.3	Structural Details – Northeast Gateway	12/2/14
S2.1	Northwest Gateway Sign Structure	12/2/14
S3.1	Foundation Plan - Pavilion	12/2/14
S3.2	Roof Framing Plan	12/2/14
S3.3	Structural Details	12/2/14
S4.1	Foundation Plan - Bathrooms	12/2/14
S4.2	Roof Framing Plan - Bathrooms	12/2/14
S5.1	Bridge Foundations	12/2/14
S6.1	Retaining Wall at Children's Play Area	12/2/14
SUR-1	Topographic Survey	8/5/14
SUR-2	Topographic Survey	8/5/14
SUR-3	Topographic Survey	8/5/14
SUR-4	Topographic Survey	8/5/14
SUR-5	Topographic Survey	8/5/14
SUR-6	Topographic Survey	8/5/14
SUR-7	Boundary Survey	7/23/14