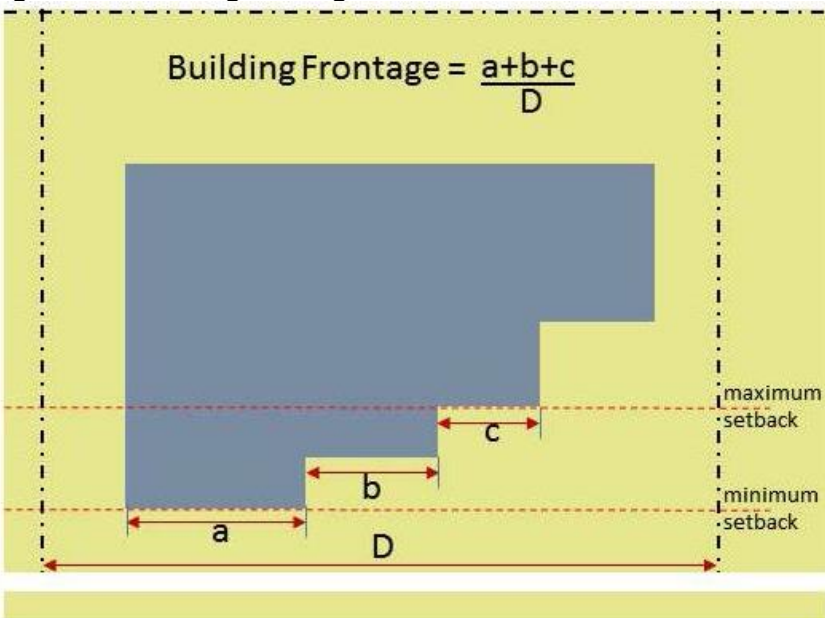


Sec. 30-4.13 Building Form Standards

- B. *Building frontage.* Building frontage requirements [are intended to help frame the public realm by creating ~~shall create a~~ continuous building presence along streets.](#)
1. The building frontage standards are a proportion of the building length relative to the width of the development site measured at the site frontage line, (see Figure V-3). [Building frontage standards shall not apply to new single-family home construction.](#)

Figure V-3: Building Frontage



2. *Frontage hierarchy.*
 - a. Where a development has frontage along multiple street types that do not include a thoroughfare, the urban street (storefront or principal, in that order of hierarchy) shall be considered the primary street for the front face of the building.
 - b. Where a development has frontage on a thoroughfare and any other street type, the thoroughfare shall be considered the primary street.
 - c. Where a development has frontage on two streets of equal type, then the city manager or designee shall make a determination as to which street frontage shall be considered primary.

Figure V-4: Example of Gateway



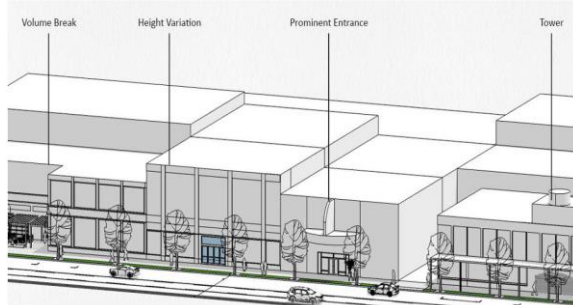
Floor above gateway not required

3. In the case where the required building frontage cannot be met due to the need to provide vehicular access from the primary frontage, a gateway, arch or similar feature may be provided to preserve the block continuity and may be counted toward meeting the building frontage requirement, (see Figure V-4).
4. Outdoor seating areas when located within the min/max street setback may be counted towards meeting (Up to 30%) the required building frontage requirements. Outdoor seating shall be located behind a 3-4' screening wall that is integral and aligned with the front building façade. The wall shall be architecturally consistent with the materials of the adjoining façade.
5. The appropriate reviewing board may consider alternative compliance proposals such as but not limited to, public art installations, innovative and unique landscape/hardscape improvements, or similar methods to enhance the public realm and create a consistent urban form along the street. Such proposals shall be considered at a public hearing by the appropriate reviewing board.
6. A preserved high quality heritage tree canopy within the street setback range may count towards meeting the building frontage requirement.
7. The ground floor along the street frontages shall contain active uses oriented to the street. Active uses may include, but are not limited to, display or floor areas for retail uses; waiting and seating areas for restaurants; atriums, lobbies, amenity areas, or dining areas for hotels or multi-family residential buildings; or ground floor offices. Active uses shall be concentrated along storefront and principal designated streets. In the event that all of the abutting roadways are local streets, active ground floor uses shall be concentrated along the most primary local street as determined by existing or anticipated pedestrian traffic.
8. In order to improve the leasability of ground floor commercial spaces the developer shall be responsible for the provision of mechanical, electrical, plumbing, and fire protection services to meet the functional requirements of future tenants. The provision of exhaust ventilation and grease interceptors during building construction is required. Grease interceptor size shall be determined by GRU during the Grease Trap/Interceptor Permitting Process and shall provide adequate capacity to serve all prospective ground floor tenant spaces.

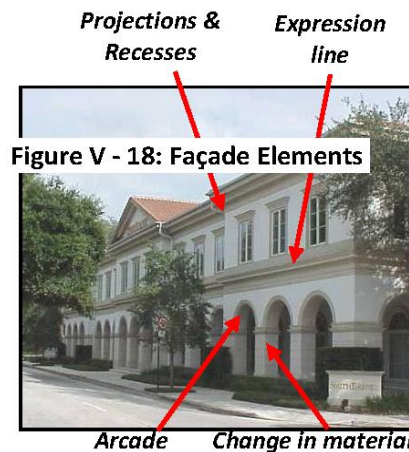
Sec. 30-4.14. - Building design standards.

- A. *Building massing.* Large building volumes shall be divided to appear as smaller volumes grouped together. Volume breaks may be achieved by volume projections and recesses, and varying heights and roof lines. Therefore, building facades shall not exceed 60 feet along a street frontage without providing a substantial volume break such as a volume projection or recess, a tower or bay, or an architecturally prominent public entrance. The recesses and projections shall have a minimum depth and width of ten feet.

Figure V-16: Building Massing



- B. *Facade articulation.* The standards contained in this section apply to multi-family, nonresidential and mixed-use buildings. Building facades along streets shall maintain a pedestrian scale by integrating the following architectural elements:



1. Façades shall not exceed 20 horizontal feet without including at least one of the following elements:
 - a. A window or door.
 - b. Awning, canopy or marquee.
 - c. An offset, column, reveal, void, projecting rib, band, cornice, or similar element with a minimum depth of six inches.
 - d. Arcade, gallery or stoop.
 - e. Complementary changes in façade materials or texture.
2. An expression line shall be provided between the first and second stories delineating the transition between ground and upper floors.

3. Architectural treatments on the façade, such as cornices or expression lines, shall be continued around the sides of the building visible from a street.
4. All building elevations (including secondary/interior side façades) shall use similar materials and appearance as the front/street facade.

C. Exterior Building Materials.

- (a) Exterior materials shall generally be durable and weather-resistant and shall be applied and maintained in accordance with the manufacturer's specifications or installation instructions.
- (b) Multi-family residential projects or mixed-use projects which include both residential and non-residential uses shall be subject to the following exterior material classification provisions where those projects:

- Meet the threshold of either intermediate or major development plan review; and
- Are greater than two stories

(1) Class I.

- a. Brick Masonry.
- b. Stone Masonry.
- c. Cast Stone Masonry.
- d. Precast Concrete, Architectural Finish.
- e. Concrete, Architectural Finish.
- f. Glass wall system.
- g. Metal Panel.

(2) Class II.

- a. Stucco.
- b. Fiber Cement Panel.
- c. Fiber Cement Lap Siding.
- d. Manufactured Stone.
- e. Wood.

(3) Class III.

- a. Concrete Masonry Unit, Architectural Finish.
- b. Concrete Masonry Unit, Unfinished.*
- c. Precast Concrete, Unfinished.*
- d. Concrete, Unfinished.*
- e. Wood Composite Lap Siding.
- f. EIFS (Exterior Insulation Finishing Systems) **

*Unfinished concrete, precast concrete, or concrete masonry units shall not be used on any building elevation facing a public street or sidewalk.

**Exterior Insulation and Finish System (EIFS) shall only be located at least 12-feet above ground level, measured from the base of the subject elevation.

(c) Exterior material standards. Each elevation of a building shall meet the following exterior material standards:

(1) The overall palette of materials should not be overly complex. Each elevation shall be limited to no more than three (3) materials. The material for trim, fascia, mechanical penetrations, and other similar features may be excluded from this material limitation.

(2) Exterior material classifications shall be allowed on each elevation at the percentages in Table X Exterior Building Material Percentages. Interior elevations which do not face a public street or sidewalk are exempt from the requirements of Table X. Material percentage calculations are based on the elevation area for each individual elevation excluding window or door areas.

Table X Exterior Building Material Percentages

<u>Development threshold</u>	<u>Class I %</u>	<u>Class II & III*%</u>
<u>Intermediate project</u>	<u>30 (min) - 100 (max)</u>	<u>0 (min) - 70 (max)</u>
<u>Major project</u>	<u>60 (min) -100 (max)</u>	<u>0 (min) – 40 (max)</u>

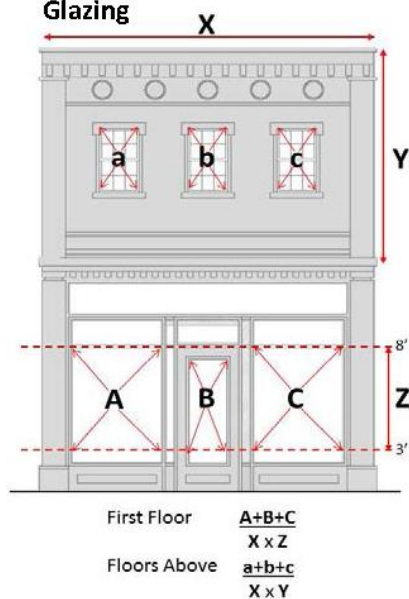
*Class III materials shall not constitute more than thirty (30) percent of any building elevation.

(3) The appropriate reviewing board may allow modifications of exterior building material standards including allowing the use of alternative materials not listed in Table X. In granting any modifications, the board shall consider the degree that the proposed unlisted substitute material is substantially similar in durability and longevity to the equivalent classified material.

C. D Glazing requirements.

1. Glazing percentages shall be calculated as follows:

Figure V - 17: Non-Residential Glazing



- a. Nonresidential first floor: The area of glass between three feet and eight feet above finished floor, divided by the area of the building façade also between three feet and eight feet above finished floor.
 - b. Nonresidential above first floor: The combined area of glass on all floors above the first divided by the total area of the building façade for those floors.
 - c. Residential: The area of glass divided by the area of the façade.
2. The approving authority may allow reduced glazing and/or glass transmittance for places of religious assembly and schools.
 3. There is no maximum limit on how much glazing may be provided. However, if glass walls are used, an architectural feature, such as a canopy/marquee, overhang, or a horizontal change in plane shall be provided between the first and second floors to ensure pedestrian scale at the sidewalk level.
 4. Windows and glass doors shall be glazed in clear glass with [870](#) percent minimum transmittance. The use of reflective glass and reflective film is prohibited on the ground floor of all buildings.

DE. *Building entrances.*

1. Each building shall provide a primary public entrance oriented toward the public right-of-way, and may be located at the building corner facing the intersection of two streets. Additional entrances may be provided on other sides of the building.
 2. Primary public entrances shall be operable, clearly-defined and highly-visible. In order to emphasize entrances they shall be accented by a change in materials around the door, recessed into the façade (alcove), or accented by an overhang, awning, canopy, or marquee. [Primary public entrances shall provide direct access to building areas dedicated to ground floor active uses specified in Sec. 30-4.13.B.5.](#)
 3. [All multi-family residential units along street frontages shall contain street facing entrances. Where a ground floor unit has an entrance from an interior hallway, a secondary entrance to the unit shall be provided with access to the adjoining sidewalk.](#)
- 3.4** Building frontages [for non-residential uses](#) along the street shall have functional entrances at least every 150 feet.