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TO: Historic Preservation Board

Item Number: 1

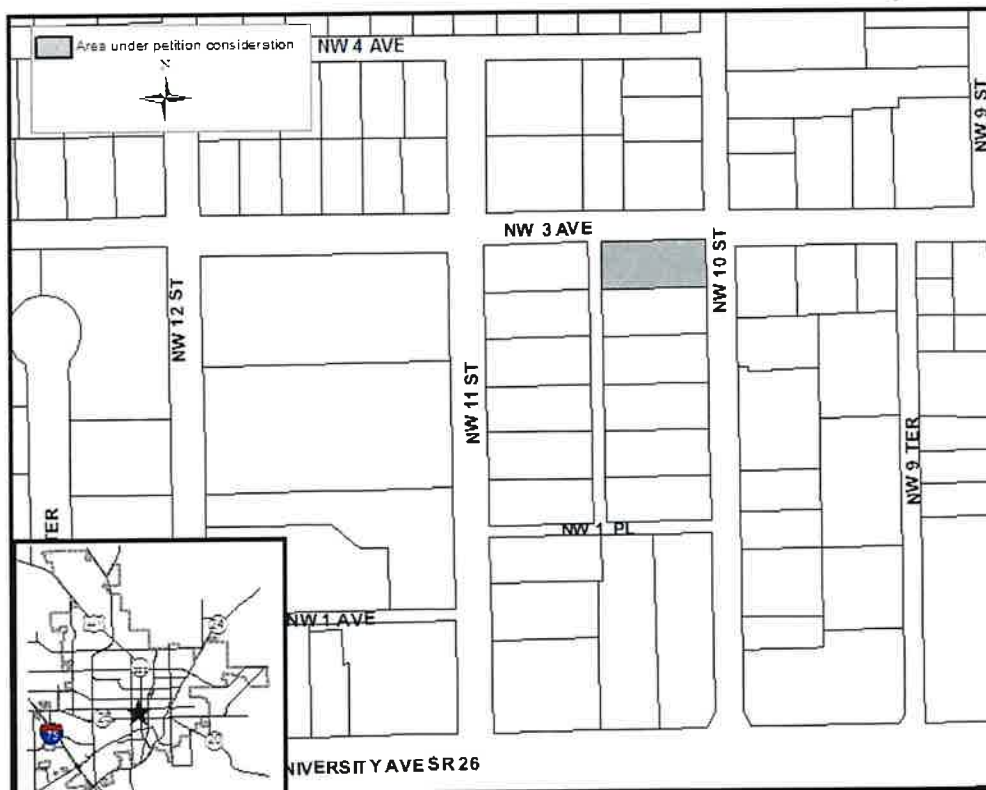
FROM: Planning & Development Services Department Staff

DATE: January 2, 2018

SUBJECT: Petition HP-17-70. Ken Wetherington, agent for James McCauley. After-The-Fact Certificate of Appropriateness for a reroof from shingle to metal and repair of fire damage of a multiple-family structure including interior repairs, replacement of damaged siding, replacement of hand rails on all porches, and the installation of new windows and entry doors. Located at 1009, 1011 and -1013 NW 3rd Avenue. This building is contributing to the University Heights Historic District – North.

Recommendation

Staff recommends approval of Petition HP-17-70.



The applicant is proposing to obtain a Certificate of Appropriateness (COA) for work that has been done for a multiple-family residential building at 1009 – 1013 NW 3rd Avenue. Part of the work also involved the repair of damage caused by a fire. The building is a contributing structure in the University Heights Historic District - North. The applicants did pay an after-the-fact COA penalty for the work that was done without a COA.

Property Information

The contributing building was built in 1940 according to the Alachua County Property Appraisers Office. The two-story frame vernacular building has wood novelty siding with cornerboards and a gable roof. It appears that the building was built as a house, and later became a multiple-unit residential building. The building is one of two multiple-family buildings on the parcel as there is a non-contributing structure on the corner of NW 10th Street and NW 3rd Avenue that is not part of this petition. The property is zoned Urban 6 and is approximately 0.17 acres in size. The building has approximately 1,656 square feet of floor area.

Project Description

The fire occurred in February of 2017. There was fire damage as well as extensive smoke damage throughout the structure. The windows were not in proper working order. Some of the siding suffered fire damage as well as extensive termite damage on the framing and siding throughout the structure. The electrical and plumbing systems were outdated and faulty. No insulation was present at the time of the fire.

In August of 2017, a roofer filed a COA application for the repair of the metal roof for the subject building, indicating that it had been damaged by a fire. The metal roof had not received a COA for the change from a shingle roof, but there was a building permit for the reroof and the roof had suffered some damage; therefore the COA was issued for the repair. Later in the year, the contractor for the overall repair and rehabilitation of the building filed a COA indicating that the original COA for the roof repair was not complete and did not include the complete scope of work. Although there were building permits and inspections scheduled for review of the proposed work, apparently there was no indication to the contractor that the property was in a historic district and a COA was needed for the proposed work until building inspectors came to the site for inspections.

The scope of work for the repair and renovation of the building includes:

- Replacing 7 fire damaged rafters;
- Replacing 4 fire damaged ceiling joists;
- Replace burned walls as necessary;
- Replace or scab studs with termite damage;
- Replace all electrical wiring;
- Replace all interior plumbing;
- Install new tankless water heaters;

- Replace hand railings on all porches;
- Replace fire damaged siding and all termite damaged siding as needed with like material;
and
- Install new windows and exterior doors.

Many of the work items are repairs and /or interior changes to the structure that do not affect outside elements and these items do not need a COA. This application is also intended to obtain COA approval for the reroof of the building from a shingle roof to a metal roof.

Basis for Approval

Consideration of a Certificate of Appropriateness application is pursuant to the City of Gainesville's *Historic Preservation Rehabilitation and Design Guidelines* and *The Secretary of the Interior's Standards for Rehabilitation*.

Staff Approved Items

The review of the hand railings on the porches is based upon the Design Guidelines for Entries, Porches and Balconies.

The three existing porches are outlined by the wooden railings. The proposed wooden railings on the first floor are the same height and the same slot width as the existing railings. The proposed rails are handmade and more articulated with every other rail having carved detail work in the middle of the rail. The partially completed new railing on the second floor replaces x-shaped railing that was in place until recently. The new railing will be painted to match the existing railing color. Staff finds that the replacement railing is compatible with the railing to be replaced.

The review of the entry doors is based upon the Design Guidelines for Doors and Entrances.

Replace missing or deteriorated doors with doors that match the original, or that are of compatible contemporary design. Staff finds that the new Therma-Tru fiberglass entry doors are compatible with the previous entry doors.

The review of the exterior siding is based upon the Design Guidelines for Exterior Fabric.

The historic building has existing horizontal wood siding. The intent of the applicants was to replace fire damaged siding but further inspection revealed termite damage as well; thus that was also replaced. The replacement materials are compatible with the existing siding in terms of the wood, the style and the dimensions. Staff finds that the work on the exterior siding is approvable as it meets staff approval guidelines for Exterior Fabric.

Board Approved Items

The review of the roof is based upon the Design Guidelines for Roof and Roof Surface.

The applicant replaced the previous composition shingle roof with a 5V Crimp metal roof in June of 2016. There was a building permit for the work but no COA was filed with the City.

Roofs are a highly visible component of historic buildings and are an integral part of a building's overall design and architectural style. The Historic Preservation Board discussed and adopted a policy on April 2, 2013 concerning styles of metal roofing which would be allowed within the historic districts. The Historic Preservation Board approves metal roofing on a case-by-case basis depending on the style and use of the building. It should be noted that the Historic Preservation Board has approved metal roofs in the immediate area including 5V-Crimp for the house at 1108 NW 3rd Avenue (HP-16-58) and a GulfRib metal roof at 927 NW 3rd Avenue (HP-16-80).

The review of the windows is based upon the Design Guidelines for Windows.

When choosing replacements, the qualities of the original windows should be used as criteria. If these criteria are fulfilled, the new windows need not be exact replicas of the originals. The Standards further permit new windows to be constructed of non-historic materials such as aluminum and to have a tint of up to 10 percent. Of course, matching the original materials and visual qualities is always preferable. In general, changes to window openings should be avoided. The rhythm of window and door openings is an important part of the character of buildings.

The project replaced the original double-hung wood windows with SilverLine by Andersen single hung and twin single hung windows, with extruded vinyl as the material, in a 3 over 1 configuration. The new windows were placed within existing window openings. Staff finds that the installed windows maintain the same general appearance that the windows have historically had and are a match in design, color, texture and other visual qualities. They do not appear to have been a dominant feature of the building, as the old picture from the site file survey shows the front porches appear to have been screened which obscures the view of the front elevation windows and doors.

Staff Recommendation: Approval of Petition HP-17-70. The unauthorized work on the property has stopped subject to approval of a COA for the scope of work. Staff recommends that the work be allowed to finish so that this contributing structure in the University Heights Historic District – North can be fully repaired and updated in accordance with the Secretary of the Interior's Standards and the Design Guidelines.

Respectfully submitted,



Andrew Persons
Interim Principal Planner

Prepared by:



Jason Simmons

List of Exhibits

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|------------------|---|
| Exhibit 1 | Historic Preservation Rehabilitation and Design Guidelines |
| Exhibit 2 | Application |
| Exhibit 3 | Florida Master Site File |
| Exhibit 4 | Window & Door Cutsheets |
| Exhibit 5 | COA Application for Repair of Fire-damaged Roof |
| Exhibit 6 | Photos |

Exhibit 1 Historic Preservation Rehabilitation and Design Guidelines

THE *HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES*, BASED ON THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION, WHICH HAS BECOME THE AUTHORITATIVE GUIDELINES FOR REHABILITATION STATE:

Roof and Roof Structures

Applicable Secretary Standards

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
9. *New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

The roof shape of the building, structure or object shall be visually compatible with the buildings to which it is visually related. It is important to identify, retain and preserve roofs and their functional and decorative features that are important in defining the overall historic character of the building. This includes the roof's shape as hipped, gambrel or mansard; decorative features such as cupolas, cresting and chimneys; and roofing materials such as slate, clay and tile.

Roofs are highly visibly components of historic buildings in Gainesville's Historic Districts. They are an integral part of a building's overall design and often help define its architectural style. Examples include mansard and belvederes, which are primary features of the Second Empire and the Airplane Bungalow styles, respectively. Materials such as clay tile and ornamental metals, which cover roofs in Gainesville are also significant and should be preserved in the course of rehabilitating a building.

Roof forms comprise an important part of streetscapes in the historic district and create a unified

rhythm with neighboring buildings. The most numerous residential roof types are gable, hip, or a combination. Other common examples are pyramidal, gambrel, and clipped gable (jerkinhead). Flat roofs with parapets predominate in commercial buildings in the Pleasant Street District.

In planning roof repairs, it is important to identify significant features and materials and treat them with sensitivity under Standards 2 and 5. Under Standard 6, significant features and materials should be repaired rather than replaced. If replacement of a deteriorated feature is necessary, the new materials should closely match the original.

Roofs perform an essential function in keeping a building weather tight. As a result, they are particularly subject to change. In the local district the most common original roofing materials were embossed or crimped sheet metal and sawn wood shingles. Virtually all-original wood shingle coverings have been removed and often replaced with ornamental sheet metal. Such historic changes to roofs have gained significance in their own right and should be respected under Standard 4.

Where existing roofing material is non-original and not significant, there is greater flexibility. The existing roof may be retained, or replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style in compliance with Standards 6 and 9. In reviewing replacement of non-historic roof surfacing, it is important to keep in mind, Standard 9. Even if the existing surfacing is inappropriate, the replacement material must be compatible with the overall design of the building.

Rooftop additions are another common change to historic buildings. They are generally not suitable for smaller buildings of three stories or less or for buildings with very distinctive rooflines. They can, however, meet Standard 9 if certain conditions are met. The addition should be designed to be distinguished from the historic portion of the building; be set back from the wall plane; and be placed so it is inconspicuous when viewed from the street.

Recommended

1. Alterations to the configuration or shape of a historic roof should be confined to portions of the building not visible from the right-of-way.
2. Repointing of chimney mortar joints shall match the existing composition, joint size, and profile.
3. Retain and preserve the roof's shape, historic roofing materials and features.
4. Preserve the original roof form in the course of rehabilitation.
5. Provide adequate roof drainage and insure that the roofing material provides a weather tight covering for the structure.
6. Replace deteriorated roof surfacing with matching materials or new materials, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture.
7. Retain or replace where necessary dormer windows, cupolas, cornices, brackets, chimneys, cresting, weather vanes, and other distinctive architectural or stylistic features that give a roof its essential character.
8. Design rooftop additions, when required for a new use that are set back from a wall plane

and are as inconspicuous as possible when viewed from the street.

Not Recommended

1. Removal of existing chimneys is discouraged. Removal of historic or architectural roofing features should be avoided, if possible. If removal is unavoidable, replacement material should match the existing fabric in composition, design, color, texture and other visual qualities.
2. Mortar with high Portland cement content shall not be used.
3. Masonry surfaces shall not be sandblasted.
4. Avoid applying paint or other coatings to roofing materials, which historically have not been painted.

Windows, Shutters & Awnings

Applicable Secretary Standards

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place and use. Do not undertake changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
9. *New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

Windows

Identify, retain, and preserve windows and their functional features that contribute to defining the building. Such features include frames, sash muntins, glazing, sills and moldings.

The placement, design, and materials of windows are often a significant part of the architectural character of a building. Common historic windows in the Gainesville's Historic Districts are double-hung sash in a 1/1, 2/2, 6/6 or multi-light/1 pattern, wooden or steel casement types, and commercial show windows. Windows often offer or contain significant stylistic elements. Examples include lancet windows with stained glass in Gothic Revival churches; multi-light upper sash in Bungalows; and round arch windows in buildings associated with Mediterranean influenced styles. Non-historic windows include awning, jalousie, and pivot types.

Under Standard 2, the visual role of historic window design and its detailing or craftsmanship should be carefully considered in planning window repair or replacement. Factors to consider include the size and number of historic windows in relationship to a wall surface and their pattern of repetition; their overall design and detailing; their proximity to ground level and key entrances; and their visibility, particularly on key elevations.

Whether to repair or replace windows is an issue that can pose considerable problems in rehabilitation. Distinctive windows that are a significant part of the overall design of a building should not be destroyed under Standard 6. Careful repair is the preferred approach. If repair is not technically or economically feasible, new windows that match the original in size, general

muntin/mullion configuration, and reflective qualities may be substituted for missing or irreparable windows.

Window design to enhance appearance is not permissible under the standards. The proper procedure is to improve existing windows first. Weather stripping and other energy conservation methods should be employed. If after careful evaluation, window frames and sashes are so deteriorated they need replacement, they should be duplicated in accordance with Standard 6.

The following steps are recommended for evaluating historic windows. First, analyze their significance to the building. Consider their size, shape, color, and detailing. Then consider the condition of the window. Inspect the sill, frame, sash, paint and wood surface, hardware, weather-stripping, stops, trim, operability, and glazing. Then, establish repair and replacement needs for existing windows.

If, following careful evaluation, window frames are deteriorated, and then they can be replaced. Replacement windows must be selected with care. They should match the original sash, pane size, configuration, glazing, muntin detailing, and profile. Small differences between replacement and historic windows can make big differences in appearance.

If 50 percent or more are deteriorated or missing, then wholesale replacement of windows is allowable. When choosing replacements, the qualities of the original windows should be used as criteria. Consider the following features of the original:

1. trim detail;
2. size, shape of frame, sash;
3. location of meeting rail;
4. reveal or setback of window from wall plane;
5. separate planes of two sash;
6. color, reflective qualities of glass;
7. muntin, mullion profiles, configuration.

If these criteria are fulfilled, the new windows need not be exact replicas of the originals. The Standards further permit new windows to be constructed of non-historic materials such as aluminum and to have a tint of up to 10 percent. Of course, matching the original materials and visual qualities is always preferable. In general, changes to window openings should be avoided.

Owners often wish to replace windows to create a new look, for energy efficiency, to decrease maintenance costs or because of problems operating existing units. Highly tinted windows, windows with reflective qualities, or stock windows of incompatible design and materials often result from such an approach and conflict with Standards 3, 6, and 9.

The rhythm of window and door openings is an important part of the character of buildings. In some instances, new window or door openings may be required to fulfill code requirements or for practical needs. New openings should be located on nonsignificant walls. For commercial buildings these would be common or party walls or secondary elevations. For residential buildings, these would be side or rear walls not readily visible from a main thoroughfare.

Alterations

The alteration of historic windows may be approved by staff if the replacement sash is of the same material, design, features size and configuration of that of the original window. When replacing historic windows, special care should be taken to match the trim detail, the width of the frames and sash, the location of the meeting rail, the setback of the window from the wall plane, the separate planes of the two sashes, and the reflective qualities of the glass. "Snap-in" grids are not allowed.

Repairing window frames and sashes by patching, splicing, consolidating, or otherwise reinforcing the window is encouraged.

The design of replacement windows, which seek to replicate or duplicate a missing historic window, must be documented through historical, physical or photographic sources.

Enclosing historic window openings is discouraged. If a window is no longer needed for its intended use, the glass should be retained and the backside frosted, screened, painted black, or shuttered so that it gives a functional appearance.

Window openings on facades or highly visible elevations shall not be relocated, enlarged or reduced.

Altering historic windows by use of awning, glass jalousie, picture or any other modern window material is not permissible in any wall of an historic structure that is visible from a right-of-way.

Replacement windows for irreparable historic windows should be made of the same materials. Compatible substitute materials may be considered only on a case-by-case basis depending on building use and generally when the replacement window is on a less-visible secondary elevation.

Window Additions

New window openings are inappropriate on the principal facade(s); new openings should be placed on secondary elevations.

The addition of modern windows, metal sash, sliding glass windows or any type of window, which is inappropriate to the period, shall be confined to "less visible secondary elevations."

Shutters

Shutters, which are appropriate to the period and design of the building, can be introduced to facilitate energy efficiency.

Under Standard 3, unless there is physical or documentary evidence of their existence, shutters should not be mounted. If shutters are found to be appropriate, they should be operable or appear to be operable and measure the full height and one-half the width of the window frame. They should be attached to the window casing rather than the exterior finish material. Wooden shutters with horizontal louvers are the preferred type although exact types vary with style. Avoid metal and vinyl types except in new construction.

Awnings

Awnings shall be considered on a case-by-case basis depending on the proposal's impact on the historic character and materials of the building.

Canvas awnings were sometimes featured on buildings, particularly Mediterranean styled buildings, Bungalows, and commercial buildings. They are functional, decorative, and appropriate to the many historic buildings. Standard 3 should be considered when awnings are proposed as part of a rehabilitation plan.

Under Standard 9, new awnings should be of compatible contemporary design. They should follow the lines of the window opening. Round or bell shaped is appropriate for Mediterranean styled buildings. Angled, rectangular canvas awnings are most appropriate for flat-headed windows and storefronts. Fiberglass and metal awnings and awnings that obscure significant detailing are inappropriate.

Recommended

1. Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves, hardware, awnings and shutters where they contribute to the architectural and historic character of the building.
2. Improve the thermal performance of existing windows and doors through adding or replacing weather-stripping and adding storm windows which are compatible with the character of the building and which do not damage window frames.
3. Replace missing or irreparable windows on significant elevations with new windows that match the original in material, size, general mintage and mullion proportion and configuration, and reflective qualities of the glass.
4. Install awnings that are historically appropriate to the style of the building or that are of compatible contemporary design. Awnings should follow the lines of window or door opening they are intended to cover.

Not Recommended

1. Introducing or changing the location or size of windows, and other openings that alter the architectural and historic character of a building.
2. Replacing window features on significant facades with historically and architecturally incompatible materials such as anodized aluminum, mirrored or tinted glass.
3. Removing window features that can be repaired where such features contribute to the historic and architectural character of a building.
4. Changing the size or arrangement of windowpanes, muntins, and rails where they contribute to the architectural and historic character of a building.
5. Installing on significant facades shutters, screens, blinds, security grills, and awnings, which are historically inappropriate and detract from the building's character.
6. Replacing windows that contribute to the character of a building with those that are incompatible in size, configuration, and reflective qualities or which alter the setback relationship between window and wall.
7. Installing heating/air conditioning units in window frames when the sash and frames may be damaged. Window installations should be considered only when all other visible heating/cooling systems would result in significant damage to historic materials. If installation proves necessary, window units should be placed on secondary elevations not readily visible from public thoroughfares.
8. Installing metal or fiberglass awnings.
9. Installing awnings that obscure architecturally significant detailing or features.
10. Replacing architecturally significant detailing, such as commercial canopies, with awnings.

Staff Approval Guidelines

Staff can approve repair of existing historic windows.

Additions of the new windows that meet the italicized conditions can be approved by staff:

New window openings can be introduced on "less-visible secondary elevations" provided that they are of the same size or proportions as the nearest window and utilize the same material as the historic windows. "Less visible secondary elevation" is defined as the portion of the building, which is more than halfway behind the front and not fronting on street;

Alterations to non-historic portions of contributing buildings provided they are compatible in scale, design and materials with but distinguishable for the historic proportions.

Board Approval Guidelines

New windows on additions should be compatible with those of the nearest window on the historic building in terms of proportions, frames, sills and lintels. Installing window designs reflective of a historic period is discouraged. Designs that match the proportions of existing historic windows, but are simple in detailing, are preferred.

Doors and Entrances

Applicable Secretary Standards

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

Principal doors and entrances are an integral part of historic buildings. They frequently contain decorative or stylistic features, such as transom and sidelights or detailed surrounds. Under Standard 2, doors and entrances and associated detailing should be preserved. Changes to door size and configuration should be avoided. If a historic entrance cannot be incorporated into a contemporary use for the building, the opening and any significant detailing should, nevertheless, be retained.

Replacement doors should either match the design of the original under Standard 6, or substitute new materials and designs sympathetic to the original under Standard 9. Under Standard 3, historic doors that do not match the composition and stylistic details of the building should not be substituted. Contemporary stock doors and screen doors are inappropriate replacements. Replacement screen doors should be simple and any ornamentation should be based on historic precedent and in keeping with the character of the entry. Aluminum, metal, and jalousie doors should be avoided except where documented historically.

Codes or practicality may require new entrances. Placement on principal facades should be avoided under Standard 2. Under Standard 9, new doors should not be readily visible from the public right-of-way.

Recommended

1. Retain and repair historic door openings, doors, screen doors, trim and details such as transom, sidelights, pediments, frontispieces, hoods and hardware where they contribute to the architectural character of the building.
2. Replace missing or deteriorated doors with doors that match the original, or that are of compatible contemporary design.
3. Place new entrances on secondary elevations away from the main elevation. Preserve non-functional entrances that are architecturally significant.
4. Add simple or compatibly designed wooden screen doors where appropriate.

Not Recommended

1. Introducing or changing the location of doors and entrances that alter the architectural character of the building.
2. Removing significant door features that can be repaired.
3. Replacing deteriorated or missing doors with stock doors or doors that are inappropriate designs or constructed of inappropriate materials.
4. Replacing historic doors, transoms or sidelights with blocking.
5. Adding aluminum or other inappropriate screen doors.

Staff Approval Guidelines

Staff can approve any rehabilitation of entrances and doors that meet the following conditions:

New entrances that do not occur on facades facing principal streets and whose design and materials are compatible with that of the existing building.

Board Approval Guidelines

The board may consider new designs that utilize different materials for entry projects provided the new entry does not destroy contributing architectural features of the main entrance.

Exterior Fabric

Applicable Secretary Standards

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Standard 3 states that historic buildings shall be recognized as products of their time and that alterations that have no historical basis shall be discouraged. Aluminum, vinyl, and permastone are clearly non-historic materials and violate this standard. Artificial siding also frequently damages the fabric underneath. It can trap moisture and encourage decay and insect infestation. Furthermore, despite manufacturer's claims, artificial siding requires maintenance. All materials have a limited life span and vinyl and aluminum are no exceptions. Within twenty years the finish of these materials will begin to deteriorate and weather, requiring painting, repair, or replacement.

In cases where artificial siding is already in place, its removal is not necessary under the guidelines. An owner may retain the material or remove it. If, however, the material is removed, it must be replaced with historically appropriate materials in accordance with Standard 9.

Compatibility of Materials and Textures

The relationship of material and texture of the facade of a building, structure or object shall be visually compatible with the predominant materials used in the buildings to which it is visually related. For instance, if wood siding is proposed for new construction, the dimensions of the siding should relate to the surrounding buildings. Stucco on concrete masonry unit construction may be appropriate if other architectural details such as window and door trim, door surrounds, and molded cornices are added to enhance the complexity of the design proposal, as is found on Mediterranean influence and Mission style buildings.

Recommended

1. Retain wooden materials and features such as siding, cornices, brackets, soffits, fascia, window architrave, and doorway pediments, wherever possible. These are essential components of a building's appearance and architectural style.
2. Repair or replace, where necessary, deteriorated material. New construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
3. Artificial siding may be permitted if the material is shown to be compatible in quality, shape

and scale with the historic buildings.

4. The complexity of architectural articulation on surrounding historic buildings (i.e., bay windows, bracketing, belt courses, window designs) should be reflected on the new buildings.
5. Wood is preferred siding material when replacing asbestos siding.
6. When repairing stucco, maintain the existing texture as well as the existing decorative elements or details around the windows, doors or roof lines.
7. Use of pervious sealants is acceptable.
8. Clean unpainted masonry with the gentlest effective means possible. The best method is low-pressure water wash (600-1000 pounds per square inch) with detergents and natural bristle brushes.

Not Recommended

1. The use of T111 vertical siding, diagonal siding, vinyl and aluminum siding is discouraged.
2. Do not cover exposed wood, masonry, stone or other surfaces with stucco unless historically documented.
3. Replacement wood siding should be consistent with the original in size, direction, materials and lap dimension. Original wall shingles should be maintained.
4. Synthetic and composition siding is generally not appropriate replacement material for historic buildings. On a case-by-case basis, however, such siding may be an acceptable alternative only if (1) the existing siding is so deteriorated or damaged that it cannot be repaired; (2) the substitute material can be installed without damaging or obscuring the architectural features of the building; and (3) the substitute material can match the historic material in size, profile and finish so that there is no change in the character of the building.
5. The use of Portland cement should be avoided when repointing brick unless technical reasons demand its use.
6. Avoid using cleaners that damage masonry or leave chemical residue. Do not clean marble or limestone with acid cleaners. Do not use abrasive cleaning methods such as sandblasting.
7. Do not paint unpainted masonry.
8. Avoid using high-pressure water wash which can damage the brick.

Staff Approval Guidelines

Staff can approve alterations to siding that utilizes compatible materials, matches existing depth and width and type of lap and approximates textures consistent with the historic building.

Alterations to non-historic portions of contributing buildings can be approved by staff provided they are compatible in scale, design and materials.

Board Approval Guidelines

Wood siding for new additions should match existing materials, if present, in terms of lap width, type and depth.

When matching brick and tile work with new brick and tile work, care must be taken to match the color, texture, composition and size of the bricks or tile, the width or the joints between the bricks and tile, the color and tone of the mortar and the type of joint with the original.

Planning & Development Services 306 N.E. 6th Avenue
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www.cityofgainesville.org/planningdepartment

REQUIREMENTS

CONTACT THE HISTORIC PRESERVATION OFFICE FOR A PRE-APPLICATION CONFERENCE 334.5022

REVIEW THE CHECKLIST FOR A COMPLETE SUBMITTAL (If all requirements are not submitted it could delay your approval.)

PLEASE PROVIDE ONE (1) DISK OR USB FLASH DRIVE CONTAINING ALL OF THE FOLLOWING:

1 ORIGINAL SET OF PLANS TO SCALE SHOWING ALL DIMENSIONS AND SETBACKS.

LIST IN DETAIL YOUR PROPOSED REPAIR AND/OR RENOVATION

A SITE PLAN OR CERTIFIED SURVEY

PHOTOGRAPHS OF EXISTING CONDITIONS

ANY ADDITIONAL BACKUP MATERIALS AS NECESSARY

AFTER THE PRE-CONFERENCE, TURN IN YOUR COMPLETED COA APPLICATION TO THE PLANNING OFFICE (RM 210, THOMAS CENTER-B), PAY APPROPRIATE FEES, AND PICK UP PUBLIC NOTICE SIGN TO BE POSTED 10 DAYS IN ADVANCE OF THE MEETING.

MAKE SURE YOUR APPLICATION HAS ALL THE REQUIREMENTS.

FAILURE TO COMPLETE THE APPLICATION AND SUBMIT THE NECESSARY DOCUMENTATION WILL RESULT IN DEFERRAL OF YOUR PETITION TO THE NEXT MONTHLY

PROJECT TYPE: Addition Alteration Demolition New Construction Relocation
Repair Fence Re-roof Other

PROJECT LOCATION:

Historic District: UNIVERSITY HEIGHTS NORTH
Site Address: 1011-1013 N.W. 3RD AV.
Tax Parcel # 13972-000-000

OWNER

JAMES M'CAULEY
Owner(s) Name
ALACHUA IMAGING CENTER
Corporation or Company
15260 N.W. 147TH DR.
Street Address
ALACHUA FL 32615
City State Zip

Home Telephone Number
352-258-5403
Cell Phone Number

Fax Number

E-Mail Address

APPLICANT OR AGENT

KEN WETHERINGTON
Applicant Name
WETHERINGTON CONST INC.
Corporation or Company
3730 SE 14TH TRL
Street Address
GAINESVILLE FL 32641
City State Zip

Home Telephone Number
352-538-6096
Cell Phone Number

Fax Number

KENWETHERINGTON@YAHOO.COM
E-Mail Address

TO BE COMPLETED BY CITY STAFF

(PRIOR TO SUBMITTAL)

HP # -17-70
Contributing Y N
Zoning Urban 6
Pre-Conference Y N
Application Complete Y N
Enterprise Zone Y N

Request for Modification of Setbacks
Y N

Received By Jason Simmons
Date Received 11/14/17

Fee: \$ 429.25 *after the fact COA fee*
EZ Fee: \$ 289.38
718.63

- Staff Approval—No Fee (HP Planner initial _____)
- Single-Family requiring Board approval (See Fee Schedule)
- Multi-Family requiring Board approval (See Fee Schedule)
- Ad Valorem Tax Exemption (See Fee Schedule)
- After-The-Fact Certificate of Appropriateness (See Fee Schedule)
- Account No. 001-660-6680-3405
- Account No. 001-660-6680-1124 (Enterprise Zone)
- Account No. 001-660-6680-1125 (Enterprise—Credit)

OVERVIEW

DID YOU REMEMBER?

CHECK YOUR ZONING AND SETBACKS FOR COMPLIANCE

REVIEW THE HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES

REVIEW THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION

CHECK TO SEE IF YOU WOULD BE ELIGIBLE FOR A TAX EXEMPTION FOR REHABILITATION OF A HISTORIC PROPERTY

THE HPB MEETINGS ARE HELD MONTHLY AT CITY HALL, 200 EAST

UNIVERSITY AVE, GAINESVILLE, FL 32601, CITY HALL AUDITORIUM AT 5:30PM. THE SCHEDULE OF MEETINGS IS AVAILABLE ON THE PLANNING DEPARTMENT WEBSITE.

THE HISTORIC PRESERVATION OFFICE STAFF CAN PROVIDE ASSISTANCE AND GUIDANCE ON THE HP BOARD'S REVIEW PROCESS, AND ARE AVAILABLE TO MEET WITH PROPERTY OWNERS OR AGENTS. IF YOU NEED ASSISTANCE, PLEASE CONTACT THE HISTORIC PRESERVATION PLANNER AT (352) 334-5022 OR (352) 334-5023.

PERSONS WITH DISABILITIES AND CONTACT INFORMATION

PERSONS WITH DISABILITIES WHO REQUIRE ASSISTANCE TO PARTICIPATE IN THE MEETING ARE REQUESTED TO NOTIFY THE EQUAL OPPORTUNITY DEPARTMENT AT 334-5051 (TDD 334-2069) AT LEAST 48 HOURS PRIOR TO THE MEETING DATE. FOR ADDITIONAL INFORMATION, PLEASE CALL 334-5022.

The Historic Preservation Board (HPB) is an advisory board to the City of Gainesville's Commission composed of citizens who voluntarily, without compensation commit their time and expertise to the stewardship of historic resources in our community.

The HPB approval is a procedure which occurs for alterations, construction, restorations, or other significant changes to the appearance of an structure in Gainesville's Historic Districts which have an impact on the significant historical, architectural, or cultural materials of the structure and/or the district. The City's historic review guidelines are available online at www.cityofgainesville.org/planningdepartment and within the Land Development Code, Section 30-112.

After submission of an application, the Historic Preservation Planner prepares a written recommendation for the board meeting which addresses whether the proposed changes are compatible with the criteria of the SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION and the City of Gainesville's HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES. Once staff has prepared and completed the staff report, an Agenda of the proposed meeting and the staff report will be posted online approximately 5 to 7 days prior to the HPB meeting and can be found at www.cityofgainesville.org/planningdepartment – Citizen Advisory Boards – Historic Preservation Board.

Public notice signage is required to be posted at the property by the applicant no later than 10 day s prior to the scheduled Historic Preservation Board meeting. The notarized *Public Notice Signage Affidavit* must be submitted once the sign is posted.

The applicant and/or owner of the property should be present at the Historic Preservation Board meeting and be prepared to address inquiries from the board members and/or the general public. The HPB meeting is a quasi-judicial public hearing with procedural requirements. The review body may approve, approve with conditions, or deny projects. It is not necessary for owners to be present at the HPB meeting if your COA has been staff approved.

In addition to a Certificate of Appropriateness (COA), a building permit may be required for construction from the Building Department. This is a separate process with submittal requirements. Building permits will not be issued without proof of a COA and the Historic Preservation Planner signing the building permit. After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

CERTIFICATION

BY SIGNING BELOW, I CERTIFY THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AT THE TIME OF THE APPLICATION. I ACKNOWLEDGE THAT I UNDERSTAND AND HAVE COMPLIED WITH ALL OF THE SUBMITTAL REQUIREMENTS AND PROCEDURES AND THAT THIS APPLICATION IS A COMPLETE SUBMITTAL. I FURTHER UNDERSTAND THAT AN INCOMPLETE APPLICATION SUBMITTAL MAY CAUSE MY APPLICATION TO BE DEFERRED TO THE NEXT POSED DEADLINE DATE.

1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Planning and Development Services Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that Certificates of Appropriateness are only valid for one year from issuance.
4. It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.
5. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
6. Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).

SIGNATURES

Owner
Applicant or Agent



Date
Date 11-14-17 2

PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

BUILDING CURRENTLY HAS NEWER METAL ROOF. THERE IS FIRE DAMAGE WITH EXTENSIVE SMOKE DAMAGE THRU-OUT. WINDOWS ARE NOT IN PROPER WORKING ORDER. EXTENSIVE TERMITES DAMAGE IN FRAMING AND SIDING THRU-OUT STRUCTURE. OUTDATED AND FAULTY ELECTRICAL AND PLUMBING. NO INSULATION EXISTS CURRENTLY

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

- ① REPLACE 7 FIRE DAMAGED RIFTERS
- ② REPLACE 4 FIRE DAMAGED CEILING JOISTS
- ③ REPLACE BURNT WALLS AS NECESSARY
- ④ REPLACE OR SCAB STUDS WITH TERMITES DAMAGE
- ⑤ REPLACE ALL ELECTRICAL WIRING
- ⑥ REPLACE ALL INTERIOR PLUMBING
- ⑦ INSTALL NEW TANKLESS WATER HEATERS
- ⑧ INSTALL NEW WINDOWS & DOORS THRU-OUT
- ⑨ REPLACE HAND RAILINGS ON ALL PORCHES
- * REPLACE FIRE DAMAGED SIDING AND ALL TERMITES DAMAGED SIDING AS NEEDED WITH LIKE MATERIAL

DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b. Please describe the zoning modification and attach completed, required forms.

A pre-application conference with the Historic Preservation Planner is required before the submission of a Certificate of Appropriateness (COA) application. A concept review with the City of Gainesville's Historic Preservation Board is optional.

For a single-family structure, accessory structures and all other structures which require Historic Preservation Board review, there is an application fee. Fees vary by the type of building and change annually. Please consult with planning staff or online at www.cityofgainesville.org/planningdepartment to determine the amount of the application fees for your project. There is no fee for a staff approved Certificate of Appropriateness. Please consult the FAQ's *Living and Developing in a Historic District* and the *Historic Preservation Rehabilitation and Design Guidelines* for restoration & rehabilitation that is staff approvable. The COA review time period will not commence until your application is deemed complete by staff.

The application is due by 11:00 a.m. on the application deadline date as noted on the attached annual meeting and cut-off schedule.

THIS CHECKLIST IS A GUIDE TO BE USED FOR PROPER COA SUBMITTAL. SOME ITEMS MAY NOT APPLY TO YOUR PERMIT APPLICATION.

Please provide all documents on one (1) disk or USB Flash Drive. One full sized printed set of drawings may also be requested on a case-by-case basis. Materials will not be returned to applicant.

A completed application may include the following:

SUBMITTAL REQUIREMENT CHECKLIST

		Applicant	HP Planner
Survey and Site Plan	A drawing giving dimensions of property; location of building(s) showing distances from property lines (building set-back lines (dimensioned), names of streets front and sides, and north/south orientation. A current site plan or survey may be submitted for this requirement, if it provides the requested information.	<input type="checkbox"/>	<input type="checkbox"/>
Drawings to Scale <ul style="list-style-type: none"> ▪ Elevations ▪ Floor Plan ▪ Square Footage ▪ Dimensions & Height ▪ Materials & Finishes 	One complete set of plans (with all (4) exterior elevations) and specifications for the project. All drawings must be clear, concise and drawn to scale. All rooms shall be dimensioned and labeled for use. Height measurement and square footage of different areas shall be on plans. Indicate features on the exterior (i.e.: chimney), the roof pitch, placement of windows and doors and label all materials and textures. A scaled line elevation drawing & footprint drawing is required for all new construction.	<input type="checkbox"/>	<input type="checkbox"/>
Photographs	Photographs of existing building(s) (all facades or elevations of structure) and adjacent buildings. Photographs should clearly illustrate the appearance and conditions of the existing building(s) affected by the proposed project, close-up views of any specific elements under consideration i.e., windows or doors if proposed to be modified or removed, as well as photographic views of its relationship with neighboring buildings. Photos shall be submitted in jpeg or PDF format. (City staff may take photographs of your property prior to the board meeting as part of their review procedure. The photos will be used for presentation to the Historic Preservation Board.)	<input type="checkbox"/>	<input type="checkbox"/>
Specific Items	Specific items may be requested, such as landscape plans, wall sections, roof plans, perspective drawings, a model, a virtual illustration and/or verification of economic hardship.	<input type="checkbox"/>	<input type="checkbox"/>
Modification of Existing Zoning	Attach separate form requesting a zoning modification based on competent demonstration by the petitioner of Section 30-112(d)(4)b.	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Report	In the case of demolition provide substantiating report(s) based on competent demonstration by the petitioner of Section 30-112(d)(6)c.	<input type="checkbox"/>	<input type="checkbox"/>
Notarized Consent Letter	Notarized letter of consent from the property owner, if the applicant is not the owner of the property or is in the process of purchasing the property.	<input type="checkbox"/>	<input type="checkbox"/>

CERTIFICATE OF APPROPRIATENESS

(TO BE COMPLETED BY CITY STAFF)

IF STAFF APPROVAL ALLOWS THE ISSUANCE OF THE CERTIFICATE OF APPROPRIATENESS, THE BASIS FOR THE DECISION WAS:

This meets the *Secretary of Interior's Standards for Rehabilitation* and the *City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines*.

HISTORIC PRESERVATION PLANNER _____ DATE _____

THE HISTORIC PRESERVATION BOARD CONSIDERED THE APPLICATION OF HP _____ AT THE _____ MEETING. THERE WERE _____ MEMBERS PRESENT. THE APPLICATION WAS APPROVED DENIED BY A _____ VOTE, SUBJECT TO THE FOLLOWING CONDITIONS:

THE BASIS FOR THIS DECISION WAS:

This meets the *Secretary of Interior's Standards for Rehabilitation* and the *City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines*.

CHAIRPERSON _____ DATE _____

It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department. After the application approval, the COA is valid for one year.

TAX SAVINGS FOR HOMEOWNERS OF HISTORIC PROPERTIES

The improvements to your historic property may qualify for a property tax exemption. The City of Gainesville permits an Ad Valorem property tax exemption for renovations, rehabilitations, and restorations to contributing properties within Historic Districts.

The amount of the exemption shall be determined by the Alachua County Property Appraiser based upon its usual process for post-construction inspection and appraisal of property following rehabilitation or renovation. The duration of the exemption shall continue regardless of any change in the authority of the City to grant such exemptions or any change in ownership of the property. In order to retain an exemption, however, the historic character of the property, and improvements which qualified the property for an exemption, must be maintained over the period for which the exemption was granted.

This is an excerpt from the Code of Ordinances ARTICLE IV. TAX EXEMPTION FOR HISTORIC PROPERTIES Sec. 25-61—66

An Overview of the Application Process:

An applicant (owner of record or authorized agent) seeking an ad valorem tax exemption for historic properties must file with the city manager or designee the two-part Historic Preservation Property Tax Exemption Application with "Part 1: Preconstruction Application" (Part 1) completed. In addition, the applicant shall submit the following:

- A completed application for a Certificate of Appropriateness for the qualifying restoration, renovation, or rehabilitation.
- An application fee of not more than five hundred dollars (\$500.00) to be determined by the city manager or designee based on the estimated cost of the work to be performed and the administrative costs to be incurred by the city in processing the application and monitoring compliance.

The City of Gainesville Historic Preservation Board (HPB) shall review Part 1 applications for exemptions. The HPB shall determine whether the property is an eligible property and whether the Part 1 proposed improvement is consistent with the Secretary of Interior's *Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and is therefore an eligible improvement.

Upon completion of work specified in the "Part 1" application, the applicant shall submit a "Part 2: Final Application for Review of Completed Work" (Part 2). The HPB shall conduct an inspection of the subject property to determine whether or not the completed improvements are in compliance with the work described and conditions imposed in the approved Part 1 application. Appropriate documentation may include paid contractor's bills and canceled checks, as well as an inspection request by the applicant within two (2) years following approval of the Part 1 application.

On completion of review of the Part 2 application, the HPB shall recommend that the city commission grant or deny the exemption. The recommendation and reasons therefore, shall be provided in writing to the applicant and to the city commission.

A majority vote of the city commission shall be required to approve a Part 2 application and authorize the ad valorem tax exemption. If the exemption is granted, the city commission shall adopt an ordinance.

The property owner shall have the historic preservation exemption covenant recorded in the official records of Alachua County, and shall provide a certified copy of the recorded historic preservation exemption covenant to the city manager or designee.

The effective date of the ad valorem tax exemption shall be January 1 of the year following the year in which the application is approved by the city commission and a historic preservation exemption covenant has been transmitted to the Alachua County Appraiser. Please submit Part 2 applications by the **October** Historic Preservation Board deadline in order to ensure enough time for it to go before the City Commission and be processed by the Tax Appraiser's office.

To qualify for an exemption, the property owner must enter into a covenant with the City of Gainesville for the term for which the exemption is granted. The covenant shall be binding on the current property owner, transferees, and their heirs, successors, or assigns.

Violation of the covenant or agreement will result in the property owner being subject to the payment of the differences between the total amount of taxes which would have been due in March in each of the previous years in which the covenant or agreement was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in F.S. § 212.12(3), as amended.

Please review City of Gainesville's Code of Ordinances Section 25-61 for qualification and process information.

This information is available online at www.municode.com for the City of Gainesville, FL Chapter 25 Section 25-61—25-65.

For an application form, please contact the Planning Department at (352) 334-5022 or (352) 334-5023.



PLANNING


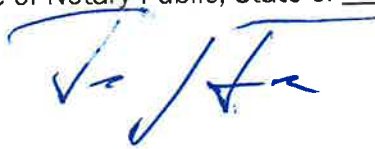

P.O. Box 490, Station 11
Gainesville, Florida 32602-0490

352.334.5022

352.334-5023

Fax: 352.334.3259

www.cityofgainesville.org/planningdepartment

Owners Name: <u>JAMES M^c Carley - ALACHUA IMAGING CENTER</u>			
Address: <u>Alachua FL 32015</u> <u>15260 N.W 147th DR</u>		Phone: <u>352-258-5403</u>	Email:
Agent Name: <u>KEW WETHERINGTON</u>			
Address: <u>3730 S.E 14th TERL GAINESVILLE</u> <u>FL 32641</u>		Phone: <u>352 538-0096</u>	Email: <u>KEW.WETHERINGTON@YAHOO.COM</u>
Parcel No.: <u>13972-000-000</u>			
Acreage:	S:	T:	R:
<p>I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.</p>			
Property owner signature: <u>James McCarley</u>			
Printed name: <u>James Mc Carley</u>			
Date: <u>11/15/17</u>			
<p>The foregoing affidavit is acknowledged before me this <u>15</u> day of <u>Nov</u>, 2017 by <u>FDL</u>, who is/are personally known to me, or who has/have produced <u>FDL</u> as identification.</p>			
NOTARY SEAL			
Signature of Notary Public, State of _____			
			
			

CERTIFICATE OF APPROPRIATENESS

Pre-Application Conference with Staff and Petitioner
352.334.5022

Petitioner submits application materials and corresponding fee
(Refer to submission deadlines)

Staff reviews application

Incomplete
or insufficient

Board Approval
Required

Staff Approval
Required

Property is posted no less than ten
days

Written decision issued

Historic Preservation Board Meeting
1st Tuesday of month
5:30 PM City Hall Auditorium

Grant COA
with/without condi-

Deny COA

Continue COA
Additional infor-

Written decision issued

Can be appealed to City Commission
(must be submitted 14 days following written decision)

Affirm

Amend

Reverse

Court Appeal

Commission issues written decision



STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
DS-HSP-3AAA Rev. 3-79

FLORIDA MASTER SITE FILE Site Inventory Form

FDAH RM 802 = =
1009 = =

Site Name _____ Site No. 9 AL 1556
830 = = Survey Date 8007 820 = =
Address of Site: 1011-1013 N. W. 3rd Avenue, Gainesville, FL 32601 905 = =
Instruction for locating _____

(Tax No. 13973) 813 = =
Location: Brown Addition 12 2 868 = =
subdivision name block no. lot no.

County: Alachua 808 = =

Owner of Site: Name: Sawyer, E. M. & Ruth ;
Address: 1015 N. W. 3rd Avenue

Type of Ownership _____ 848 = = Recording Date _____ 832 = =

Recorder: Name & Title: Ann DeRosa Byrne, (Consultant) ;
Address: The History Group 300 W. Peachtree St.

Suite 16 DE Atlanta, Ga. 30308 818 = =

Condition of Site: Integrity of Site: Original Use _____ 838 = =

- | | | |
|--|---|--|
| Check One | Check One or More | Present Use _____ 850 = = |
| <input type="checkbox"/> Excellent 863 = = | <input type="checkbox"/> Altered _____ 858 = = | Dates: Beginning <u>C+1932</u> 844 = = |
| <input type="checkbox"/> Good 863 = = | <input type="checkbox"/> Unaltered _____ 858 = = | Culture/Phase <u>American</u> 840 = = |
| <input checked="" type="checkbox"/> Fair 863 = = | <input type="checkbox"/> Original Site _____ 858 = = | Period _____ 845 = = |
| <input type="checkbox"/> Deteriorated 863 = = | <input type="checkbox"/> Restored () (Date: <u>X</u>) 858 = = | |
| | <input type="checkbox"/> Moved () (Date: <u>X</u>) 858 = = | |

NR Classification Category: building 916 = =

Threats to Site:

- Check One or More
- | | |
|--|---|
| <input type="checkbox"/> Zoning (<u>X</u>) _____ <u>X</u>) 878 = = | <input type="checkbox"/> Transportation (<u>X</u>) _____ <u>X</u>) 878 = = |
| <input type="checkbox"/> Development (<u>X</u>) _____ <u>X</u>) 878 = = | <input type="checkbox"/> Fill (<u>X</u>) _____ <u>X</u>) 878 = = |
| <input type="checkbox"/> Deterioration (<u>X</u>) _____ <u>X</u>) 878 = = | <input type="checkbox"/> Dredge (<u>X</u>) _____ <u>X</u>) 878 = = |
| <input type="checkbox"/> Borrowing (<u>X</u>) _____ <u>X</u>) 878 = = | |
| <input type="checkbox"/> Other (See Remarks Below): _____ 878 = = | |

Areas of Significance: architecture, local history 910 = =

Significance:

This house contributes in scale and character to the Fifth Avenue Neighborhood which has been evolving since the mid-nineteenth century.

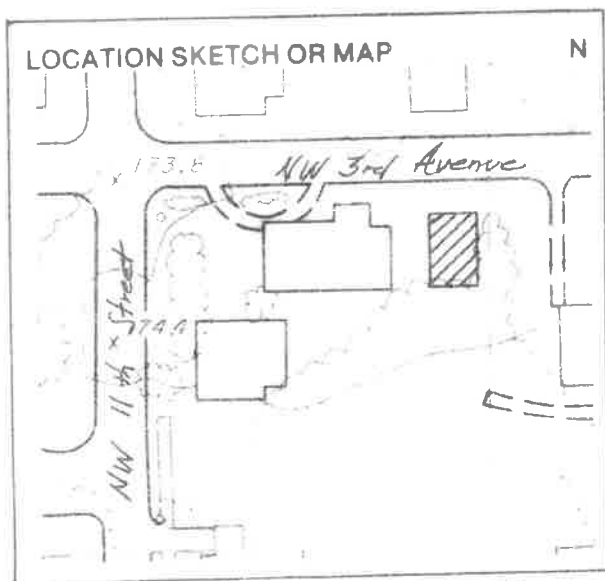
SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

5

1

ARCHITECT _____ 872 = =
 BUILDER _____ 874 = =
 STYLE AND/OR PERIOD frame vernacular 984 = =
 PLAN TYPE irregular; unknown 988 = =
 EXTERIOR FABRIC(S) wood; novelty siding with cornerboards. 854 = =
 STRUCTURAL SYSTEM(S) wood frame: balloon 856 = =
 PORCHES N/2 story screened porch. 942 = =
 FOUNDATION: Piers 942 = =
 ROOF TYPE: Gable 942 = =
 SECONDARY ROOF STRUCTURE(S): Porch; shed 942 = =
 CHIMNEY LOCATION: _____ 942 = =
 WINDOW TYPE: DHS, Wood 942 = =
 CHIMNEY: _____ 882 = =
 ROOF SURFACING: Composition Shingles 882 = =
 ORNAMENT EXTERIOR: _____ 882 = =
 NO. OF CHIMNEYS _____ 952 = = NO. OF STORIES 2 950 = =
 NO. OF DORMERS _____ 954 = =
 Map Reference (incl. scale & date) _____ 809 = =
 Latitude and Longitude: _____ 800 = =
 Site Size (Approx. Acreage of Property): LT 1 833 = =



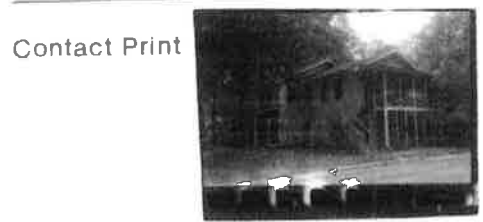
Township	Range	Section	
105	20E	05	812 = =

UTM Coordinates:

Zone	Easting	Northing

890 = =

Photographic Records Numbers 12B1, PBA-64, PBA-111 860 = =



PLAN REVIEW WORKSHEET

1 & 2 Family Dwellings

THIS SHEET SHALL BECOME PART OF THE APPROVED CONSTRUCTION PLANS

1013 NW 3RD AVE.

BP-17-03919

A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT SHALL BE POSTED ON THE JOB SITE PRIOR TO THE FIRST INSPECTION.

THIS CONSTRUCTION SHALL COMPLY WITH THE CITY OF GAINESVILLE ZONING ORDINANCES AND CONSTRUCTION CODES INCLUDING THE FOLLOWING CODES:

FLORIDA BUILDING CODE – Building	5th Edition **
FLORIDA BUILDING CODE – Existing	5th Edition **
FLORIDA BUILDING CODE – Energy Conservation	5th Edition **
FLORIDA BUILDING CODE – Accessibility	5th Edition
NATIONAL ELECTRICAL CODE	2011 EDITION
Florida Building Code, 5th Edition implemented June 30, 2015, includes 2011 NEC	
** 2016 Supplement (Code Fixes per HB 535 & SB 1602) 7/1/2016	
View the Florida Building Code – www.floridabuilding.org	

GENERAL REQUIREMENTS:

- Where Applicable, Separate Permits are required for Electrical, Plumbing, Mechanical (AC & Heating), Gas, Roofing, Canopy/Awnings, Tree Removal, Site Work and Driveways.
- Individual Permit Holders/Contractors are Responsible for Calling in their own Inspections. Please Call the Working Day Prior by 4:00 to Schedule an Inspection.
- The Issued Permit, Inspection Card, Plan Review Worksheet, and Reviewed Plans must be on the Jobsite for Inspections.
- No Structures Shall be placed under or within 10 Feet of Existing Power Lines.
- Call 811 for utility locates before beginning work.
- Sanitary Facilities are required on all New Construction and Areas where Facilities are Not Available.
- All Buildings Shall have their Assigned Address Properly Displayed. It Shall be Affixed to the Front of the Building, or to a Separate Structure in Front of the Building (Mailbox, Post, Wall, Fence, etc.), in Such a Manner so as to be Clearly Visible and Legible from the Public or Private Way on which the Building Fronts. Numerals shall be Arabic, 4 Inches High and 1/2 Inch Wide, and contrasting with the Structure it is attached to. Section 23-30 City of Gainesville's Code of Ordinances.
- In Addition to the Requirements of this Permit, there may be Additional Restrictions Applicable to this Property that may be found in the Records of this County, and there may be Additional Permits Required from other Governmental Entities, such as Water Management Districts, State Agencies, or Federal Agencies.
- The Building Inspection Department shall be notified for Inspections as Indicated on the Inspection Card.

Reset Form

PRODUCT APPROVAL SHEET FOR THE CITY OF GAINESVILLE

FLORIDA BUILDING CODE 5TH EDITION (2014)

Print Form



Project: McCauley Fire Damage Repair

Project Address: 01013 NW 3RD AVE, Gainesville, FL, 32601

As required by Florida Statute 553.842 and Florida Administrative Code 61G20-3, please provide the information and product approval number(s) for the building components listed below as applicable to the building construction project listed above. You should contact your product supplier if you do not know the product approval number for any of the applicable listed products. Information regarding statewide product approval may be obtained at: http://www.floridabuilding.org.

Table with 4 columns: Building Component, Manufacturer, Product Description, Product Approval #. Rows include Exterior Door, Window, Panel Wall, RoofingProd, Structural, Skylight, Shutters, and New Products.

In addition to completing the above list of manufacturers, product descriptions and State approval numbers for the products used on this project, it is the Contractor's or Authorized Agent's responsibility to have a legible copy of each manufacturer's printed instructions, along with the list above, on the job site available to the inspector.

Contractor/Agent: Kenneth Wetherington / ptm

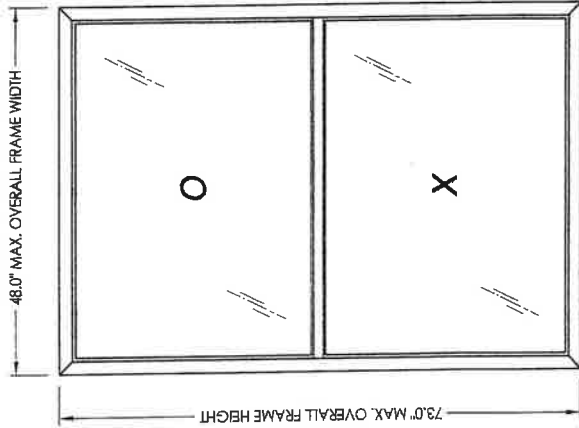
Date: 2017-07-17

Phone: (352) 538-6096

Email: kenwetherington@yahoo.com



**SERIES 2000 - MODEL 2001
EXTRUDED VINYL
SINGLE HUNG WINDOW
"NON-IMPACT"**



GENERAL NOTES

1. This product has been evaluated and is in compliance with the 5th Edition (2014) Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product is required to be protected with an impact resistant covering that complies with Section 1.609.1.2 of the FBC.
4. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
5. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	Typical elevation, design pressures & general notes
2	Horizontal & vertical cross sections
3	Horizontal & vertical cross sections
4	Buck & frame anchoring
5	Bill of materials, glazing details & components

OVERALL FRAME DIMENSION	MAX. D.I.O. DIMENSION	GLASS TYPE	DESIGN PRESSURE (PSF)	
			POSITIVE	NEGATIVE
36.0" x 62.0"	31.69" x 28.0"	G1	+35.0	-35.0
36.0" x 62.0"	31.69" x 28.0"		+50.0	-50.0
45.0" x 62.0"	40.69" x 28.0"	G2	+40.0	-40.0
48.0" x 73.0"	43.69" x 33.50"		+30.0	-30.0

RESERVE MILLIE
REVIEWED FOR COMPLIANCE

L. F. SCHMIDT
L. LICENSE
No. 43408

3.22.11

Documents Prepared By: Lyndon F. Schmidt
P.E. No. 43409

Building Consultant
P.O. Box 230
Phone No.: 813.659.9177
FBPE C.A. No. 9815

Product: SINGLE HUNG WINDOW

Part or Assembly: TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

REVISIONS

NO.	DATE	BY
1	9/9/13	JRK
2	3/24/15	LFS

Update to 5th Ed. (2014) FBC
REVISE ANCHORING/DWG. NO.

DATE: 10/24/11

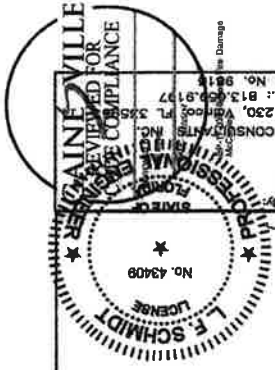
SCALE: N.T.S.

DWG. BY: KV

CHEK. BY: LFS

DRAWING NO.: FL-14911.10

SHEET 1 OF 5



Documents Prepared by:
Lyndon F. Schmidt
P.E. No. 43408

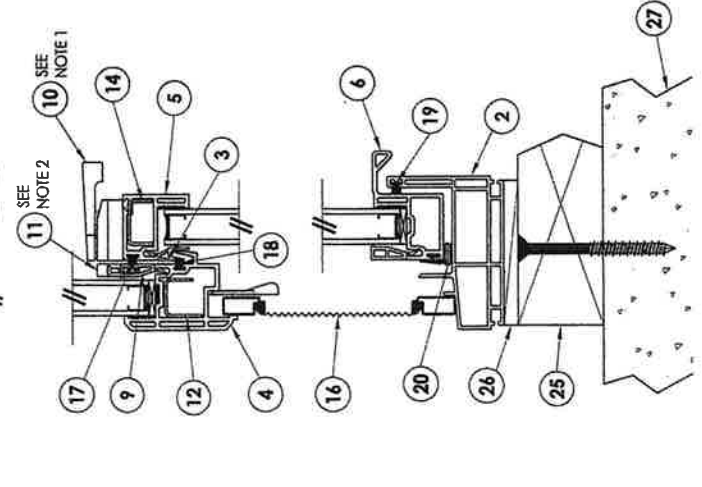
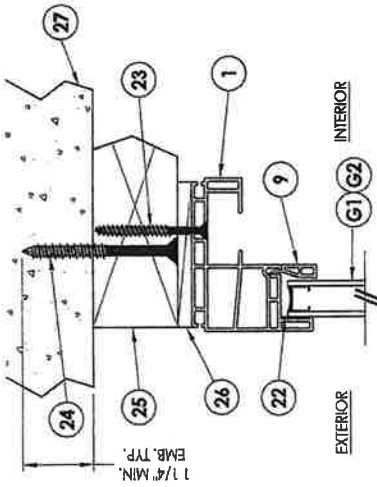
RFW
BUILDING CONSULTANTS, INC.
P.O. Box 230, Venice, FL 33596-0230
Phone No.: 813.959.9177
FBIPE C.A. No. 9815

PRODUCT: SINGLE HUNG WINDOW
PART OR ASSEMBLY: LFS
REVISE ANCHORING/DRWG. NO.: JK
NO. DATE: 1 9/8/13
2 3/24/15
DATE: 10/24/11
SCALE: N.T.S.
DWG. BY: KV
CHK. BY: LFS
DRAWING NO.: FL-14911.10
SHEET 2 OF 5

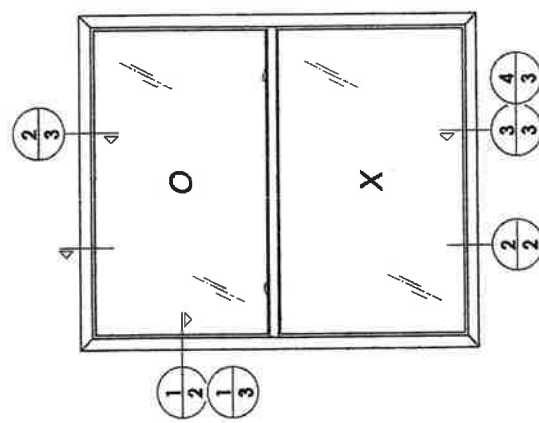
REVISIONS	
NO.	DATE
1	9/8/13
2	3/24/15

UPDATE TO 5TH ED. (2014) FBC
REVISE ANCHORING/DRWG. NO. JK

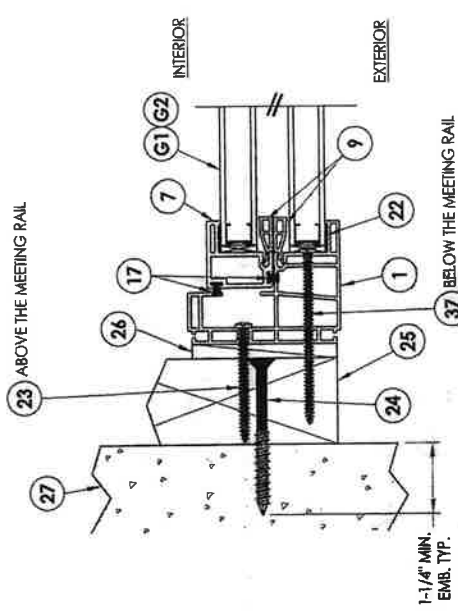
© 2011 R.W. BUILDING CONSULTANTS INC.



2 VERTICAL CROSS SECTION



NOTE:
1. LOCATE OPERATING SASH LOCKS 7.5\"/>

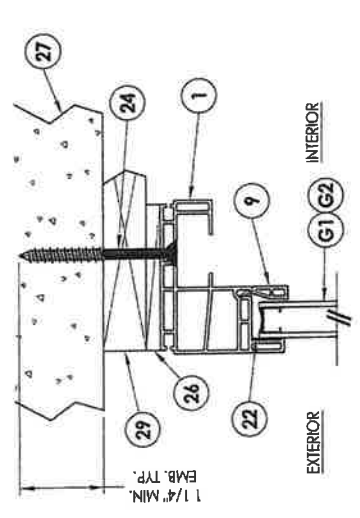


1 HORIZONTAL CROSS SECTION

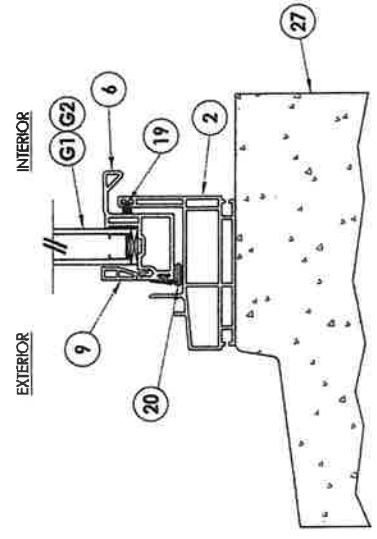
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NO. 1	DATE 9/8/13	REVISIONS			
2	3/24/15	UPDATE TO 5TH ED. (2014) FBC			
3	9/8/13	REVISE ANCHORING/DWG. NO.			
LFS		PART OR ASSEMBLY:			
JK		HORIZONTAL & VERTICAL CROSS SECTIONS			
BY		SINGLE HUNG WINDOW			

PRODUCT: SINGLE HUNG WINDOW
 Lynden F. Schmidt
 P.E. No. 43409
 BUILDING CONSULTANTS, INC.
 P.O. Box 230, Venice, FL 33596-9157
 Phone No.: 813.658.9157
 FBPE C.A. No. 9513

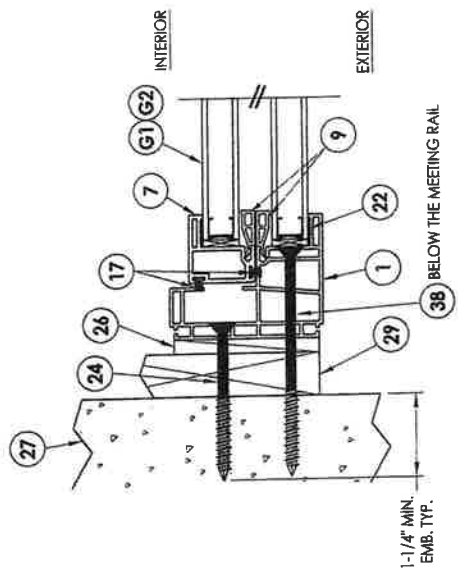
SEALINE MILLE
 APPROVED FOR COMPLIANCE
 L. SCHMIDT
 LICENSE
 No. 43409
 3.2.15
 LFS



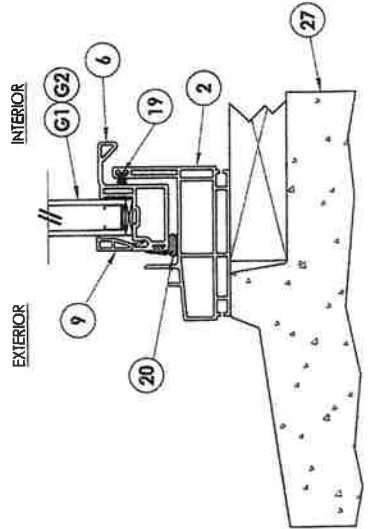
2 VERTICAL CROSS SECTION
 3 Shown w/IX sub-buck



4 VERTICAL CROSS SECTION
 3 Optional masonry sill



1 HORIZONTAL CROSS SECTION
 3 Shown w/IX sub-buck



3 VERTICAL CROSS SECTION
 3 Optional masonry sill

REVIEWED FOR COMPLIANCE

REVAINEVILLE

PROFESSIONAL ENGINEER

STATE OF FLORIDA

NO. 43409

L. F. SCHMIDT

License

Documents Prepared By: Lyndon F. Schmidt
P.E. No. 43409

Building Consultants, Inc.
P.O. Box 230, Vero Beach, FL 33498
Phone No.: 888.693.9199

Damage

BUCK & FRAME ANCHORING

REVISIONS

NO. DATE

1 8/8/13 REVISE ANCHORING/DRWG. NO.

2 3/24/15 UPDATE TO 5TH ED. (2014) FBC LFS

DATE 10/24/11

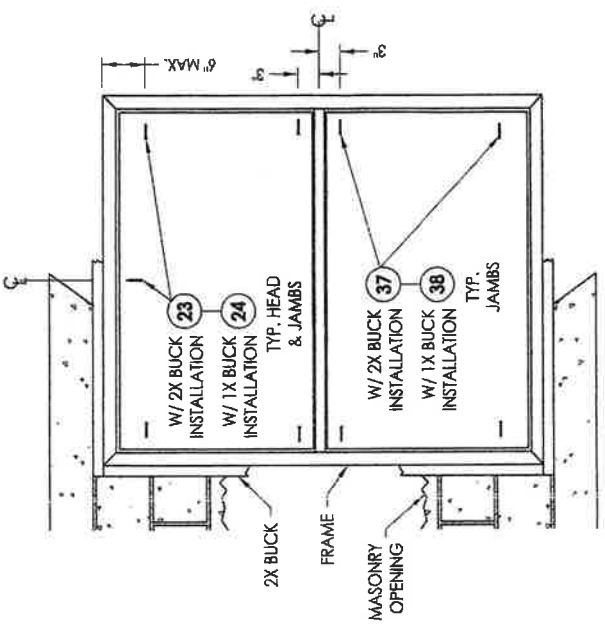
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DRW. BY: KV

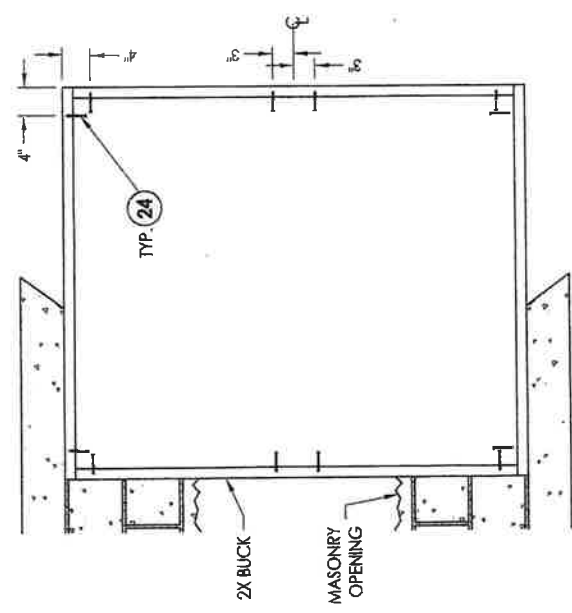
CHK. BY: LFS

DRAWING NO.: FL-14911.10

SHEET 4 OF 5



FRAME ANCHORING



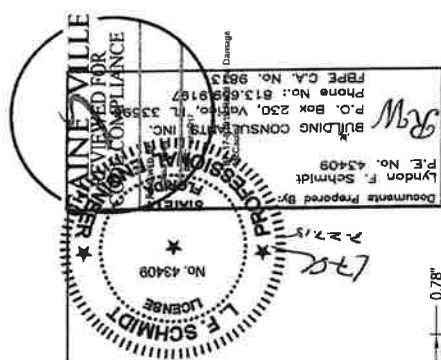
BUCK ANCHORING MASONRY

- CONCRETE ANCHOR NOTES:**
1. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints.
 2. Concrete anchor locations noted as "MAX. O.C. (TYP.)" must be adjusted to maintain the min. edge distance to mortar joints. Additional concrete anchors may be required to ensure the "MAX. O.C. (TYP.)" dimensions are not exceeded.
 3. Concrete anchor table:

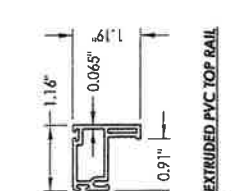
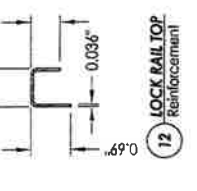
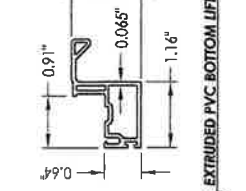
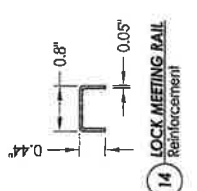
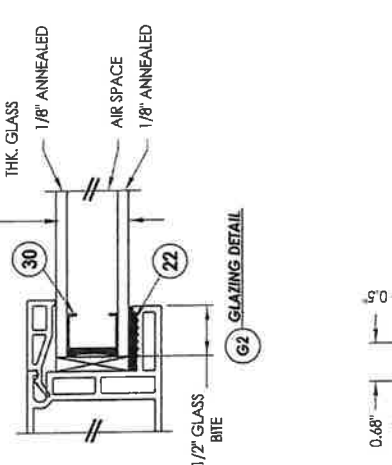
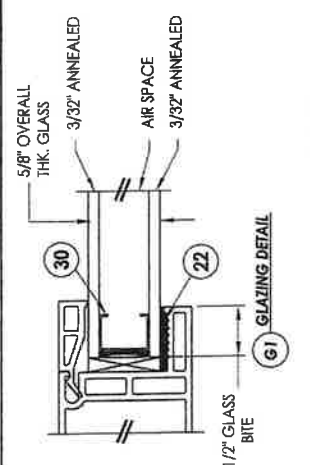
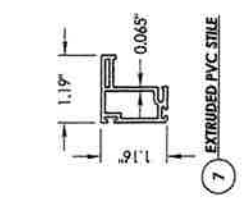
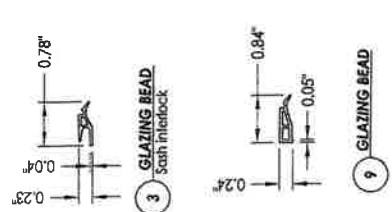
ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW TAPCON®	1/4"	1-1/4"	2"	4"
ELCO	1/4"	1-1/4"	1"	4"
ULTRACON®	1/4"	1-1/4"	1"	4"

WOOD SCREW INSTALLATION NOTES:

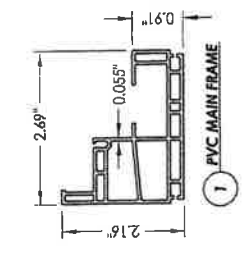
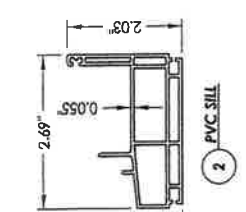
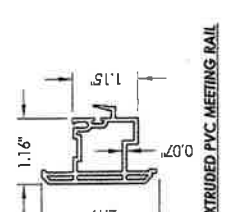
1. Maintain a minimum 5/8" edge distance, 1" end distance, & 1" o.c. spacing of wood screws to prevent the splitting of wood.



Documents Prepared By: F. Schmidt T. E. No. 43408 P.O. Box 230, Vero Beach, FL 33595 Phone No.: 813.688.9187 FBPE C.A. No. 9933		BUILDING CONSULTANTS INC. 2011 R.W. BUILDING CONSULTANTS INC.
PRODUCT: SINGLE HUNG WINDOW	PART OR ASSEMBLY: LFS	REVISIONS NO. DATE 1 9/8/13 2 3/24/15 3 9/8/15
BILL OF MATERIALS, GLAZING DETAILS & COMPONENTS	UPDATE TO 5TH ED. (2014) FBC	SCALE: N.T.S. DWG. BR: KV CHK. BR: LFS DRAWING NO.: FL-14911.10 SHEET 5 of 5



BILL OF MATERIALS		
ITEM	DESCRIPTION	MATERIAL
1	EXTRUDED PVC MAIN FRAME #52-2661*	PVC
2	EXTRUDED PVC SILL #52-2663*	PVC
3	EXTRUDED PVC GLAZING BEAD (INTERLOCK) #52-1257*	PVC
4	EXTRUDED PVC MEETING RAIL #52-2907*	PVC
5	EXTRUDED PVC TOP RAIL #52-2908*	PVC
6	EXTRUDED PVC BOTTOM LIFT RAIL #52-2949*	PVC
7	EXTRUDED PVC STILE #52-2905*	PVC
9	EXTRUDED PVC GLAZING BEAD (VERT. & HORT.) #52-1227*	PVC
10	OPERABLE SASH LOCK	-
11	SASH KEEPER	STEEL
12	FIXED MEETING RAIL REINFORCEMENT #51-2919	STEEL
14	LOCK RAIL REINFORCEMENT #51-2621	STEEL
16	WINDOW SCREEN	-
17	WEATHERSTRIP PILE W/FIN .187 x .270, LOCK RAIL & SASH (ULTRAFAB)	-
18	WEATHERSTRIP PILE W/FIN .187 x .230, FIXED MEETING RAIL (ULTRAFAB)	-
19	WEATHERSTRIP PILE W/FIN .187 x .150, SILL (ULTRAFAB)	-
20	WEATHERSTRIP VINYL BULB .187" x .375" Ø (AMESBURY)	-
22	GLAZING COMPOUND (DOW #1199)	SILICONE
23	#10 X 2" PPH SMS	STEEL
24	1/4" X 2-3/4" PPH ELCO OR ITW CONCRETE SCREW	STEEL
25	2X BUCK SG >= 0.42	WOOD
26	1/4" MAX. SHIM SPACE	-
27	MASONRY - 3,000 PSI MIN. CONCRETE CONFORMING TO ACI	CONCRETE
29	1X BUCK SG >= 0.42	WOOD
30	INTERCEPT SPACER	STEEL
37	#10 X 3" PPH SMS	STEEL
38	1/4" X 4" PPH ELCO OR ITW CONCRETE SCREW	STEEL



* THE APPROVED WHITE RIGID PVC EXTERIOR EXTRUSIONS FOR WINDOWS ARE TO BE PRODUCED BY EXTRUDERS LICENSEES IN "AAMA CERTIFICATION PROGRAMS FOR RIGID PVC EXTRUSIONS".

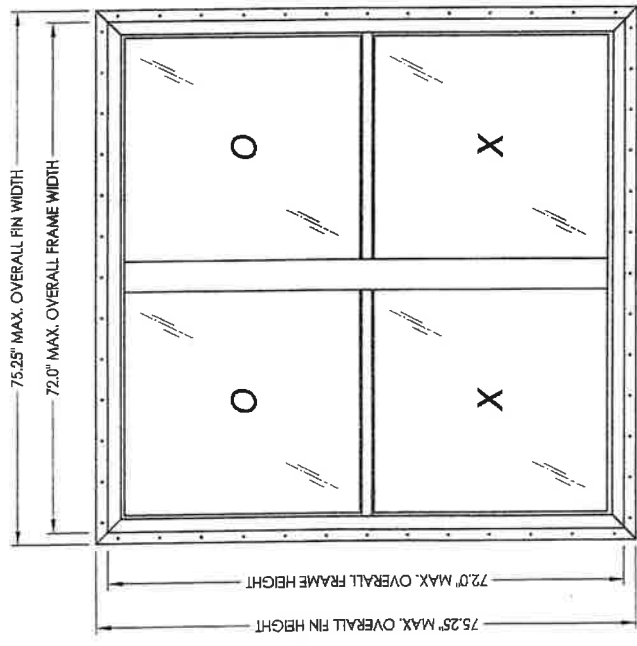


SERIES 2200/2300 - MODEL 2202/2302
EXTRUDED VINYL
TWIN SINGLE HUNG WINDOW
W/ NAILING FIN
"NON-IMPACT"

GENERAL NOTES

1. This product has been evaluated and is in compliance with the 5th Edition (2014) Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product is required to be protected with an impact resistant covering that complies with Section 1609.1.2 of the FBC.
4. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	Typical elevation, design pressures & general notes
2	Horizontal & vertical cross sections
3	Horizontal & vertical cross sections
4	Buck & frame anchoring
5	Bill of materials, glazing detail & components



OVERALL FIN DIMENSION	OVERALL FRAME DIMENSION	MAX. D.L.O. DIMENSION	GLASS TYPE	DESIGN PRESSURE (PSF)	
				POSITIVE	NEGATIVE
75.25" x 75.25"	72.0" x 72.0"	31.69" x 33.0"	G1	+25.0	-25.0

REVISIONS

NO.	DATE	BY
1	9/8/13	JK
2	3/24/15	LFS

UPDATE TO 5TH ED. (2014) FBC
 REVISE ANCHORING/DRWG. NO.

DATE: 10/24/11
 SCALE: N.T.S.
 DWG. BR: KV
 CHK. BR: LFS
 DRAWING NO.: FL-14911.15
 SHEET: 1 OF 5

PRODUCT: SINGLE HUNG WINDOW

PART OR ASSEMBLY: TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

BY: [Signature]

Documents Prepared By: Lyndon F. Schmidt
 P.E. No. 43409

BUILDING CONSULTANTS, INC.
 P.O. Box 250, Vero Beach, FL 33596
 Phone No.: 813.686.9157
 FBPE C.A. No. 9852

FLORIDA PROFESSIONAL ENGINEERING
 L. F. SCHMIDT
 No. 43409
 LICENSE

SEBASTIANVILLE
 REVIEWED FOR
 COMPLIANCE

REVIEWED FOR COMPLIANCE
REMAINING
 PROFESSIONAL ENGINEER
 L. F. SCHMIDT
 No. 43408
 License

3.27.15
 LFS

Documents Prepared By: Lyndon F. Schmidt
 P.E. No. 43408
 BUILDING CONSULTANTS, INC.
 P.O. Box 230, Vero Beach, FL 33568
 Phone No.: 813.686.9157
 FBPE C.A. No. 9833

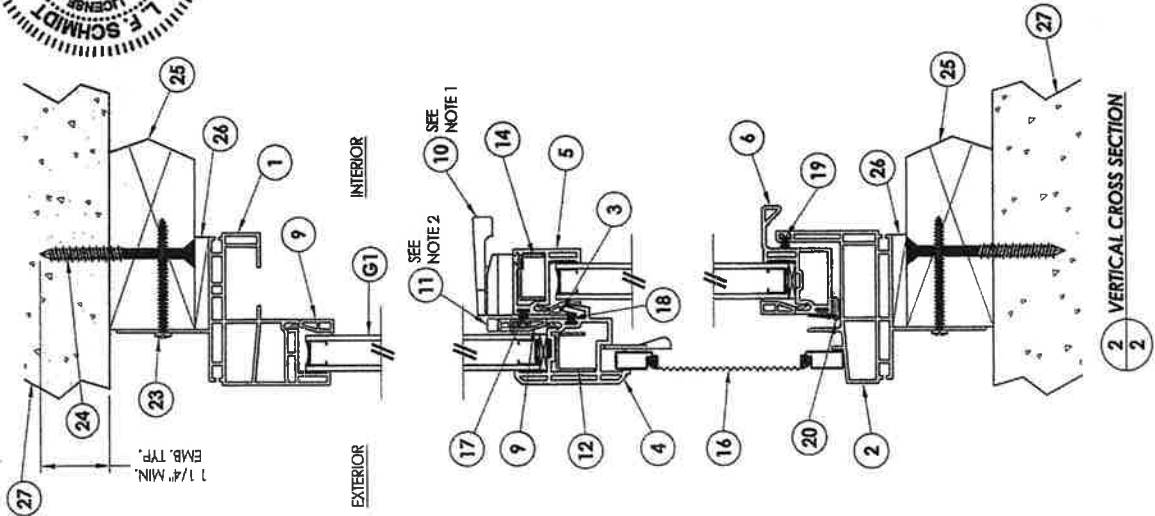
REVISIONS	
NO.	DATE
1	9/9/13
2	3/24/19

DATE: 10/24/11
 SCALE: N.T.S.
 DWG. BR: KV
 CHK. BR: LFS

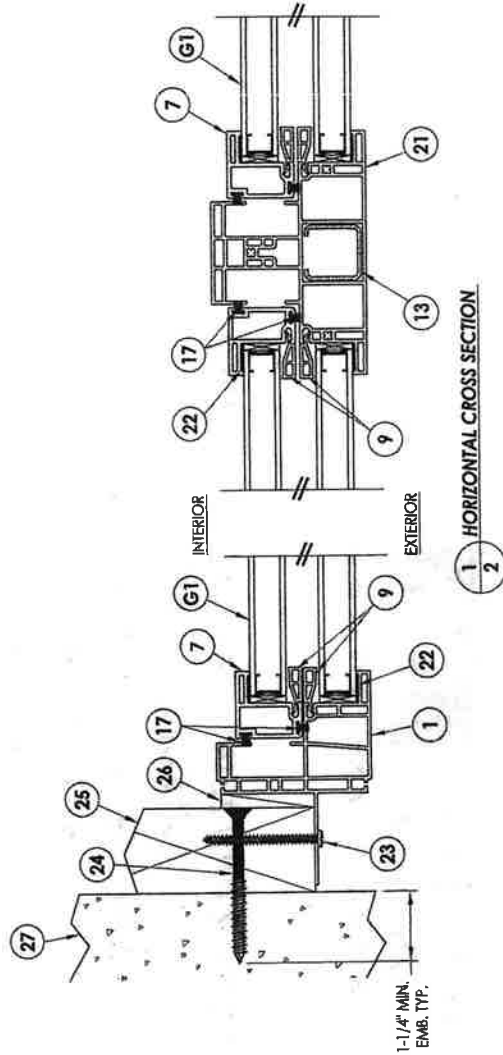
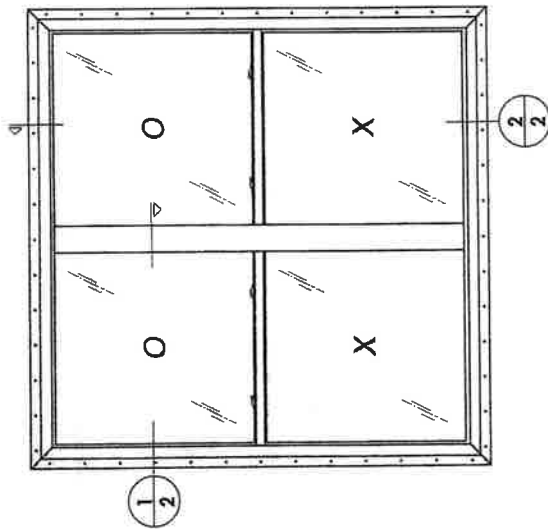
DRAWING NO.: FL-14911.15
 SHEET 2 OF 5

BY	DATE	DESCRIPTION
JK		HORIZONTAL & VERTICAL CROSS SECTIONS
LFS		PART OR ASSEMBLY

PRODUCT: SINGLE HUNG WINDOW



- NOTE:
1. LOCATE OPERATING SASH LOCKS 7.5" FROM EACH END OF THE ACTIVE MEETING RAIL. FASTEN WITH (2) #8 x 3/4" SELF TAPPING SCREWS.
 2. LOCATE SASH KEEPER 6.5" FROM EACH END OF THE MEETING RAIL. FASTEN WITH (2) #6 x 3/4" SCREWS.



1 HORIZONTAL CROSS SECTION

2 VERTICAL CROSS SECTION

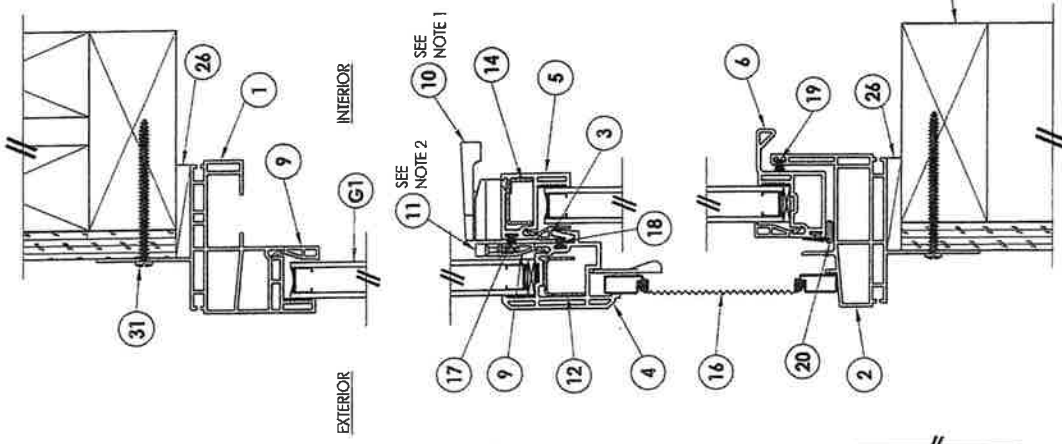
RESNAIS MILLE
 REVIEWED FOR
 COMPLIANCE

PROFESSIONAL ENGINEER
 L. F. SCHMIDT
 No. 43408
 LICENSE

3.27.15

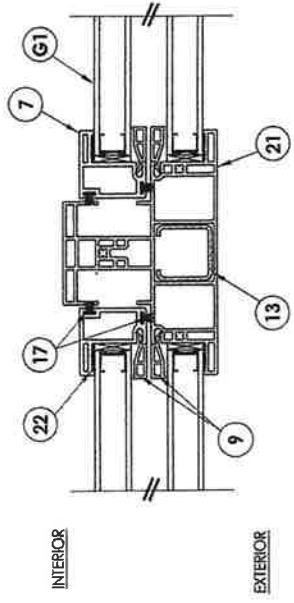
Documents Prepared By: Lyndon F. Schmidt
 P.E. No. 43408
 BUILDING CONSULTANTS, INC.
 P.O. Box 250, Vero Beach, FL 33569
 Phone No.: 813.088.9157
 FBPE C.A. No. 9893

PRODUCT: SINGLE HUNG WINDOW	
PART OR ASSEMBLY: HORIZONTAL & VERTICAL CROSS SECTIONS	
REVISIONS	
NO.	DATE
1	9/9/13
2	3/24/15
UPDATE TO 5TH ED. (2014) FBC	
REVISE ANCHORING/DRAWG. NO.	
BY	JK
DATE	10/24/11
SCALE:	N.T.S.
DWG. BR:	KV
CHK. BR:	LFS
DRAWING NO.:	FL-14911.15
SHEET	3 OF 5

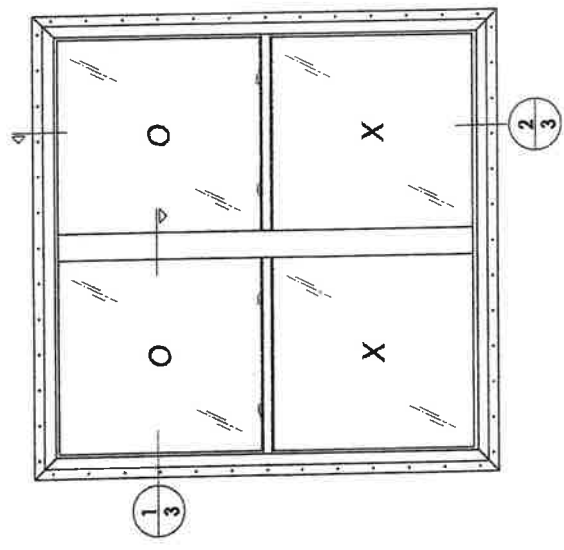


2 VERTICAL CROSS SECTION
 3

NOTE:
 1. LOCATE OPERATING SASH LOCKS 7.5" FROM EACH END OF THE ACTIVE MEETING RAIL. FASTEN WITH (2) #8 x 3/4" SELF TAPPING SCREWS.
 2. LOCATE SASH KEEPER 6.5" FROM EACH END OF THE MEETING RAIL, FASTEN WITH (2) #6 x 3/4" SCREWS.



1 HORIZONTAL CROSS SECTION
 3



REVISIONS

NO.	DATE	DESCRIPTION
1	8/8/13	REVISE ANCHORING/DRAWG. NO.
2	3/24/15	UPDATE TO 5TH ED. (2014) FBC

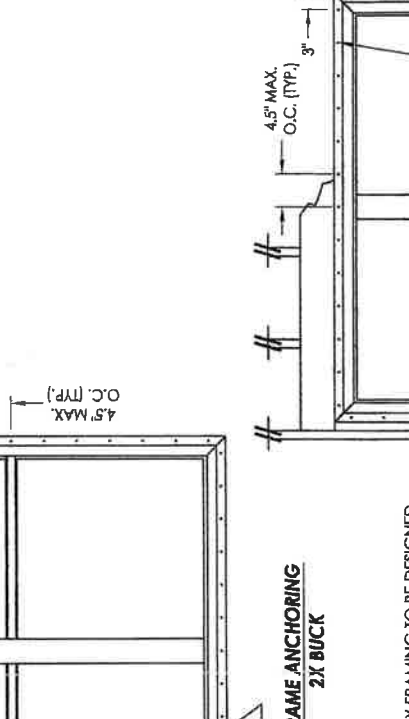
DATE: 10/24/11
 SCALE: N.T.S.
 DWD. BR: KV
 CHK. BR: LFS
 DRAWING NO.: FL-14911.15
 SHEET 4 OF 5

PRODUCT: SINGLE HUNG WINDOW
 BUCK & FRAME ANCHORING
 PART OR ASSEMBLY: BUCK & FRAME ANCHORING

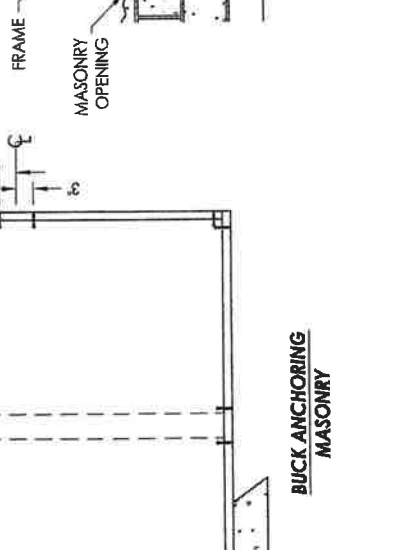
Documents Prepared By: Lynden F. Schmidt
 P.E. No. 43408
 BUILDING CONSULTANTS, INC.
 P.O. Box 250, Vero Beach, FL 33592
 Phone No.: 813.858.8157
 FBPE CA. No. 9833

327.5
 L.F. SCHMIDT
 No. 43409
 LICENSE

VERIFIED FOR COMPLIANCE
 REGAINEVILLE



FRAME ANCHORING
 2X STUD



FRAME ANCHORING
 2X BUCK

2X FRAMING TO BE DESIGNED BY THE ENGINEER OR ARCHITECT OF RECORD BASED ON WIND LOADS AND THE CLADDING BEING USED.

CONCRETE ANCHOR NOTES:

- Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints.
- Concrete anchor locations noted as "MAX. O.C. (TYP.)" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. O.C. (TYP.)" dimensions are not exceeded.
- Concrete anchor table:

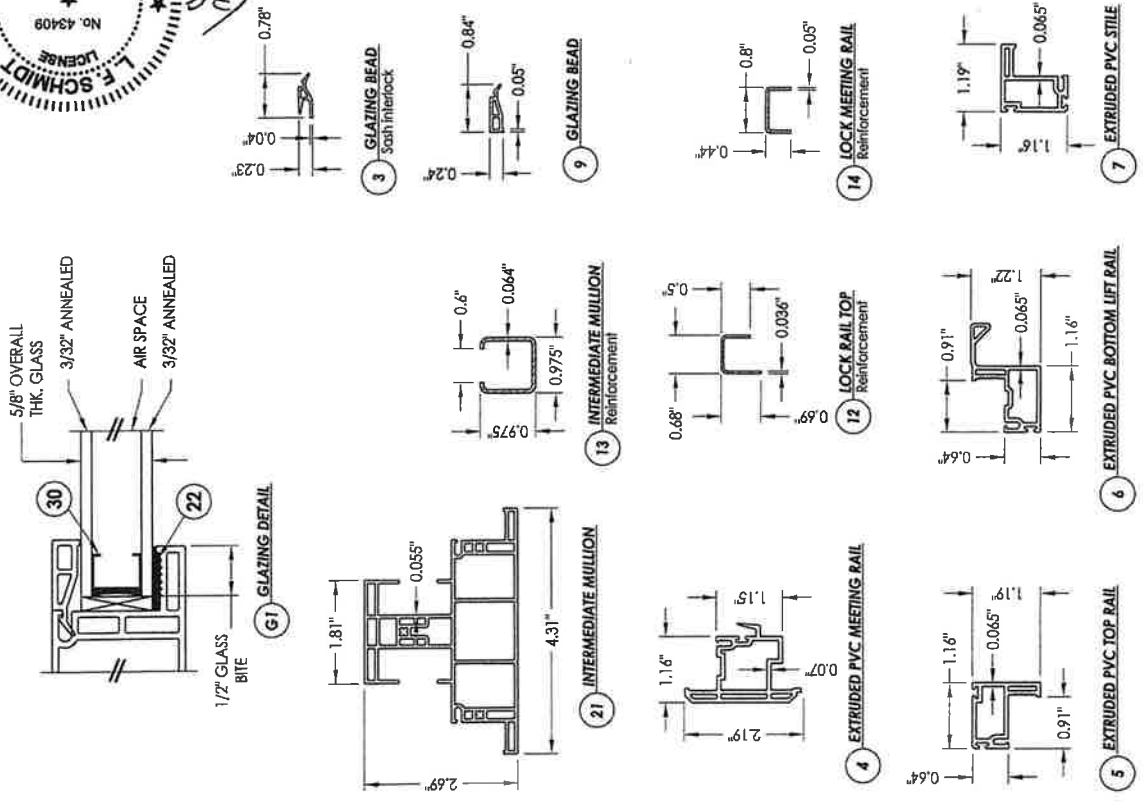
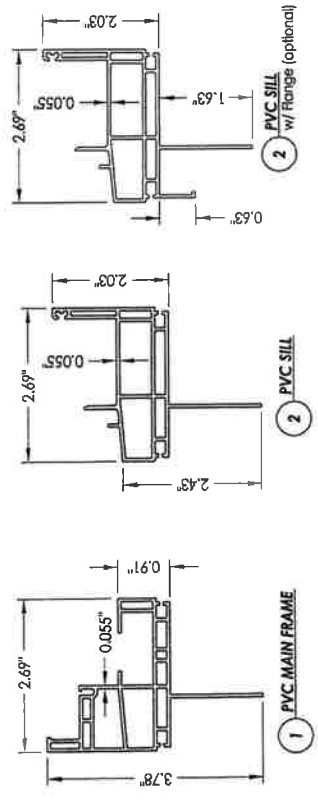
ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW TAPCON®	1/4"	1-1/4"	2"	4"
ELCO ULTRACON®	1/4"	1-1/4"	1"	4"

WOOD SCREW INSTALLATION NOTES:

- Maintain a minimum 5/8" edge distance, 1" end distance, & 1" o.c. spacing of wood screws to prevent the splitting of wood.

BILL OF MATERIALS	
ITEM DESCRIPTION	MATERIAL
1	EXTRUDED PVC MAIN FRAME #52-2601*
2	EXTRUDED PVC SILL #52-2603*
3	EXTRUDED PVC GLAZING BEAD (INTERLOCK) #52-1257*
4	EXTRUDED PVC MEETING RAIL #52-2907*
5	EXTRUDED PVC TOP RAIL #52-2908*
6	EXTRUDED PVC BOTTOM LIFT RAIL #52-2949*
7	EXTRUDED PVC STILE #52-2905*
9	EXTRUDED PVC GLAZING BEAD (VERT. & HORT.) #52-1227*
10	OPERABLE SASH LOCK
11	SASH KEEPER
12	FIXED MEETING RAIL REINFORCEMENT #51-2919
13	INTERMEDIATE MULLION REINFORCEMENT #51-2934
14	LOCK RAIL REINFORCEMENT #51-2821
16	WINDOW SCREEN
17	WEATHERSTRIP PILE W/FIN .187 x .270, LOCK RAIL & SASH (ULTRAFAB)
18	WEATHERSTRIP PILE W/FIN .187 x .230, FIXED MEETING RAIL (ULTRAFAB)
19	WEATHERSTRIP PILE W/FIN .187 x .150, SILL (ULTRAFAB)
20	WEATHERSTRIP VINYL BULB .187" x .375" Ø (AMESBURY)
21	INTERMEDIATE MULLION #52-2121*
22	GLAZING COMPOUND (DOW #11199)
23	#10 X 2" PPH SMS
24	1/4" X 2-3/4" ELCO OR T/W CONCRETE SCREW
25	2X BUCK SG >= 0.42
26	1/4" MAX. SHIM SPACE
27	MASONRY - 3,000 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90
30	INTERCEPT SPACER
31	#10 X 2-1/2" PPH SMS
32	2X FRAMING SG >= 0.42

* THE APPROVED WHITE RIGID PVC EXTERIOR EXTRUSIONS FOR WINDOWS ARE TO BE PRODUCED BY EXTRUDERS LICENSEES IN "AAMA CERTIFICATION PROGRAMS FOR RIGID PVC EXTRUSIONS".



REVIEWED FOR COMPLIANCE
FLORIDA PROFESSIONAL ENGINEERING COMPLIANCE
 L.F. SCHMIDT
 No. 43409
 License
 State of Florida
 Building Consultant
 P.O. Box 230, Vero Beach, FL 33595
 Phone No.: 813.658.9187
 F9PE C.A. No. 9833
 RSM
 BUILDING CONSULTANTS INC.
 1700 W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Documents Prepared By: L.F. Schmidt
 T. E. No. 43409

PRODUCT: SINGLE HUNG WINDOW	
BILL OF MATERIALS, GLAZING DETAIL & COMPONENTS	
DATE: 10/24/11	SCALE: N.T.S.
DWG. BY: KV	CHK. BY: LFS
NO. DATE	REVISIONS
1 9/9/13	UPDATE TO 5TH ED. (2014) FBC
2 3/24/15	REVERSE ANCHORING/DRWG. NO.

THERMA TRU®

THERMA TRU DOORS
1118 INDUSTRIAL DR., EDBERTON, OH 43517

"Smooth-Star" and "Benchmark by Therma-Tru"

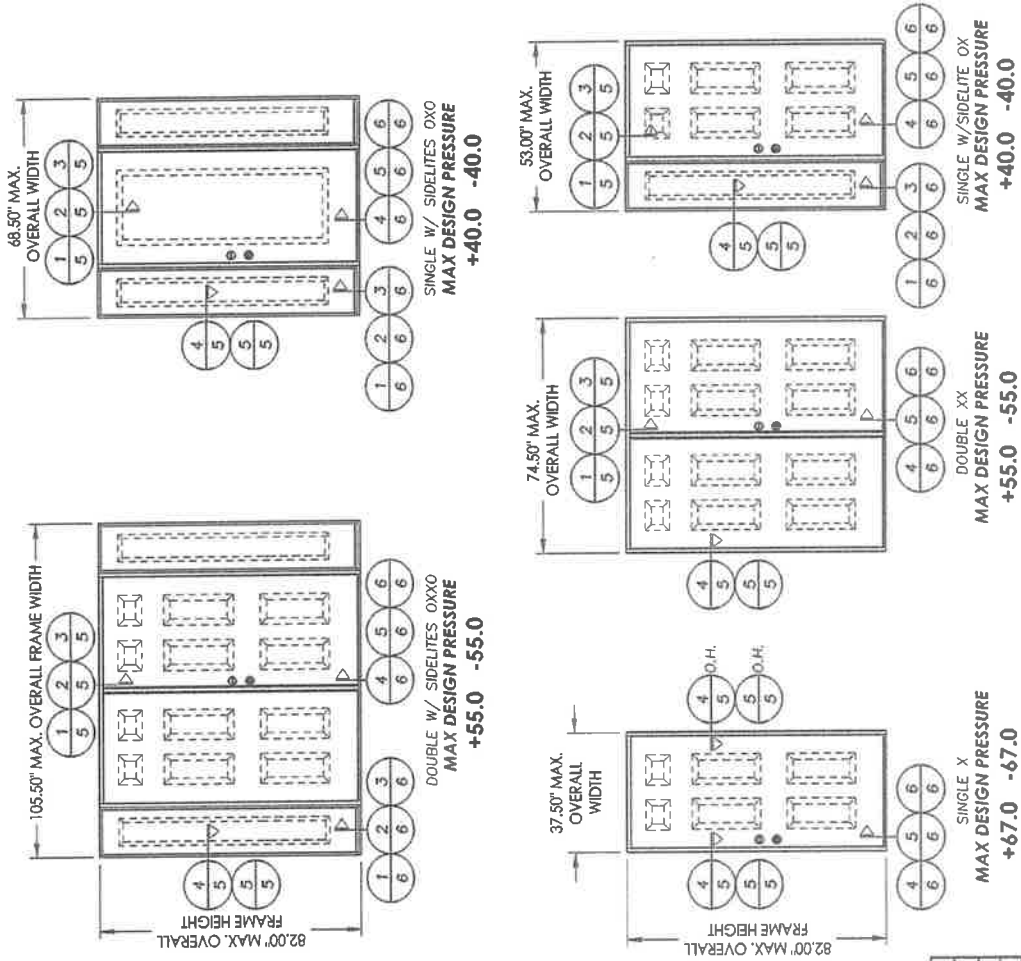
6'8" SINGLE AND DOUBLE OPAQUE OR GLAZED PANELS
W/ & W/OUT SIDELITES
INSWING / OUTSWING
INSULATED FIBERGLASS DOOR WITH WOOD FRAMES

General Notes

1. This product anchoring drawing has been developed in compliance with the 2010 Florida Building Code (FBC) excluding the "High Velocity Hurricane Zone". See the Certification Agency Certificate for sizes, specifications and ratings.
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing, stucco, foam, brick and other wall coverings.
3. Wood screws shall be installed following installation instructions of ANSI/ AF&PA NDS 2005. All other fastener types to be installed following fastener manufacturer's installation instructions.
4. Fastener embedment depths, edge distances and center-center distances shall be as specified by the fastener manufacturer but in no instance shall they be less than shown in this drawing.
5. Where shims are used, they must be a "rigid / stiff" material that complies with the requirements of the 2010 FBC.
6. Positive and negative design pressure requirements for use with this drawing shall be determined by others for specific jobs in accordance with the governing code.
7. Site conditions not covered by this drawing are subject to further engineering analysis.

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes
2	Buck anchoring
3	Frame anchoring
4	Frame anchoring & bill of materials
5	Horizontal & vertical cross sections
6	Vertical cross sections



Documents Prepared By: **RPM BUILDING CONSULTANTS, INC.**
P.O. Box 230 Venice FL 33595
Phone No: 813.659.9197
Florida Board of Professional Engineers
Certificate Of Authorization No. 9913
Lendon F. Schmidt, P.E. No. 43409
2.21.12

PRODUCT: THERMA-TRU FIBERGLASS DOOR
PART OR ASSEMBLY: TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	REVISIONS

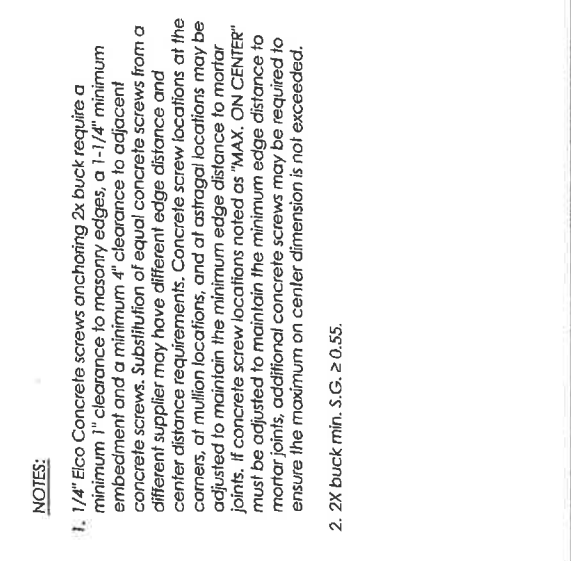
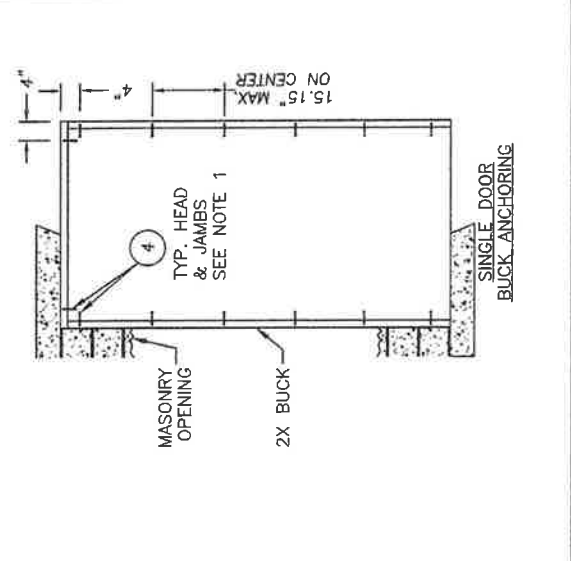
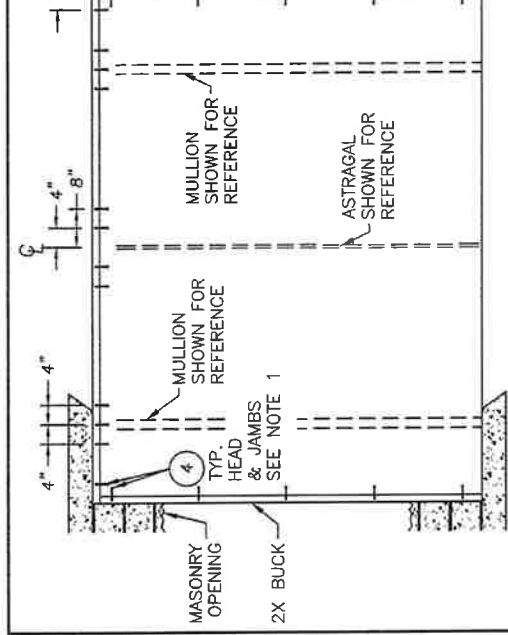
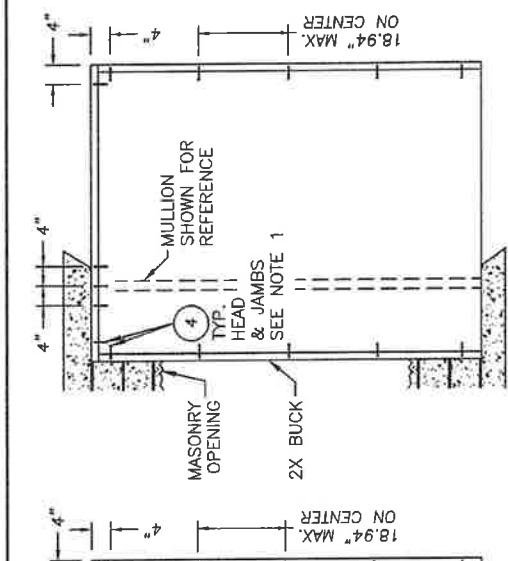
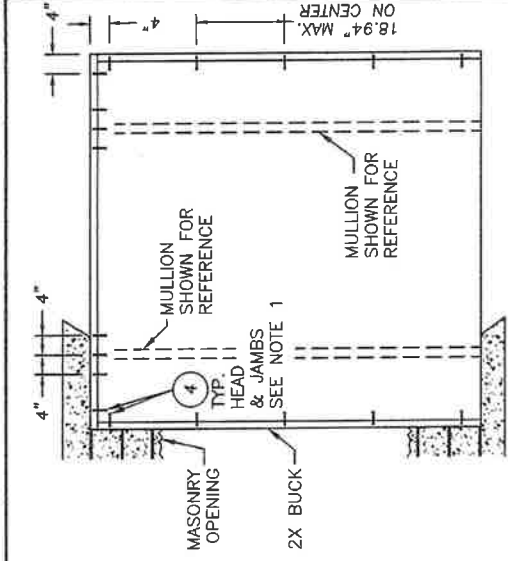
DATE: 2/21/12
SCALE: N.T.S.
DWS. BY: JJK
CHK. BY: LFS
DRAWING NO.: FL-15225.5-68
SHEET 1 OF 6

Documents Prepared By:
 BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice, FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
 Lyndon F. Schmidt, P.E. No. 43409
 2/21/12

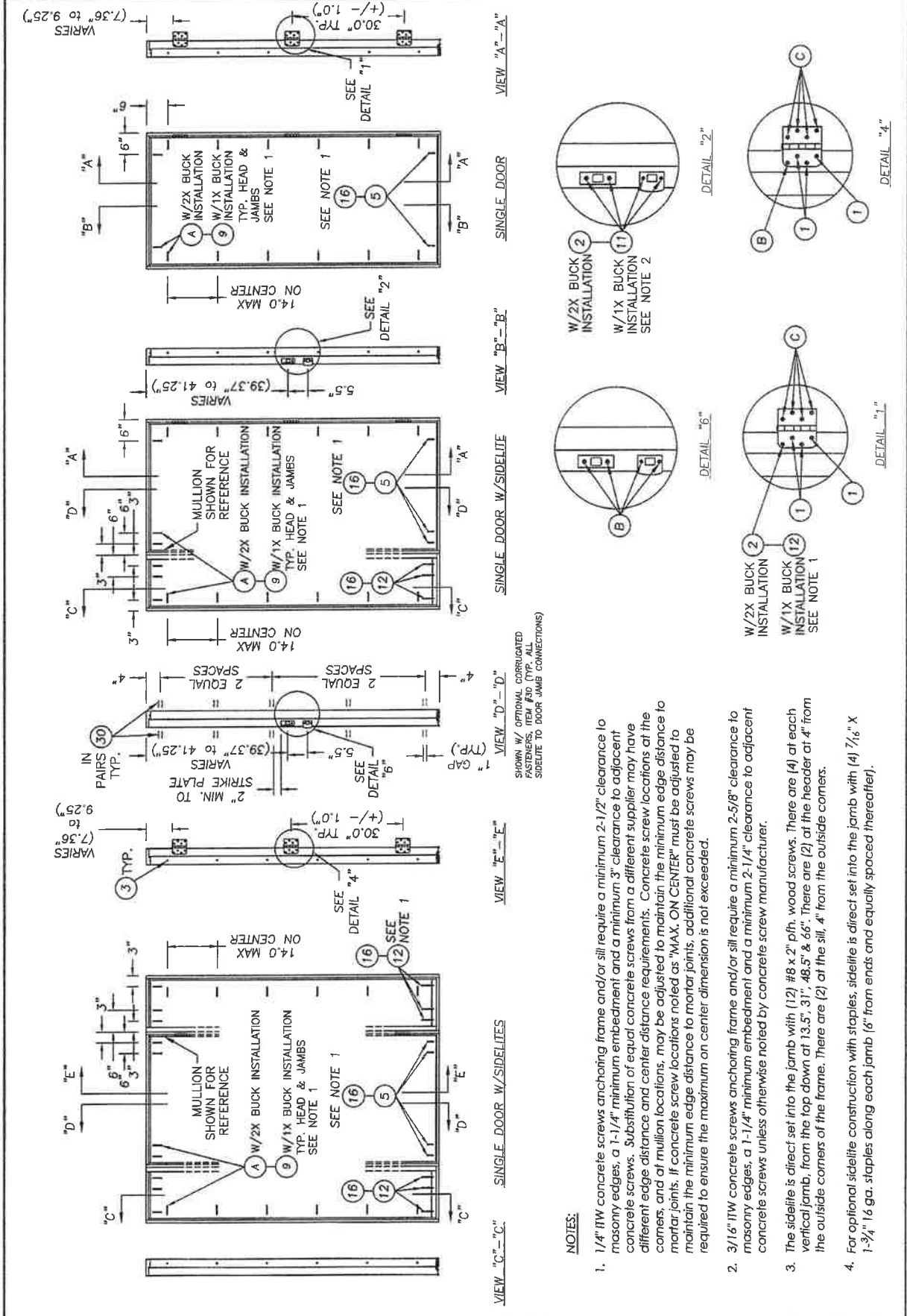
PRODUCT: THERMA-TRU FIBERGLASS DOOR
 PART OR ASSEMBLY: BUCK ANCHORING

NO.	DATE	BY

DATE: 2/21/12
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.: FL-15225.5-68
 SHEET 2 OF 6



- NOTES:
1. 1/4" Eico Concrete screws anchoring 2x buck require a minimum 1" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 4" clearance to adjacent concrete screws. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements. Concrete screw locations at the corners, at mullion locations, and at astragal locations may be adjusted to maintain the minimum edge distance to mortar joints. If concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional concrete screws may be required to ensure the maximum on center dimension is not exceeded.
 2. 2X buck min. S.G. ≥ 0.55.



NOTES:

- 1/4" IW concrete screws anchoring frame and/or sill require a minimum 2-1/2" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 3" clearance to adjacent concrete screws. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements. Concrete screw locations at the corners, and at mullion locations, may be adjusted to maintain the minimum edge distance to mortar joints. If concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional concrete screws may be required to ensure the maximum on center dimension is not exceeded.
- 3/16" IW concrete screws anchoring frame and/or sill require a minimum 2-5/8" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 2-1/4" clearance to adjacent concrete screws unless otherwise noted by concrete screw manufacturer.
- The sidelite is direct set into the jamb with (12) #8 x 2" pfn. wood screws. There are (4) at each vertical jamb, from the top down at 13.5", 31", 48.5" & 66". There are (2) at the header at 4" from the outside corners of the frame. There are (2) at the sill, 4" from the outside corners.
- For optional sidelite construction with staples, sidelite is direct set into the jamb with (4) 7/16" x 1-3/4" 16 ga. staples along each jamb, 6" from ends and equally spaced thereaftier).

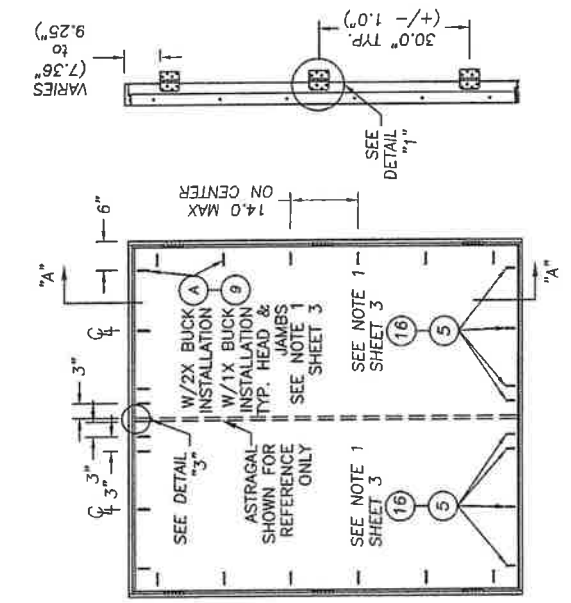
SHOWN W/ OPTIONAL CORRUGATED FASTENERS, ITEM #30 (TYP. ALL SIDELITE TO DOOR JAMB CONNECTIONS)

RVM BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice, FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 8813
 Lyndon F. Schmidt, P.E. No. 43409
 2-21-12

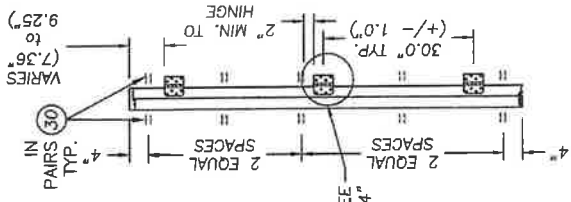
Documents Prepared By:
 THERMA-TRU
 FIBERGLASS DOOR
 PART OR ASSEMBLY:
 FRAME ANCHORING
 & BILL OF MATERIALS

REVISIONS
 NO. DATE BY

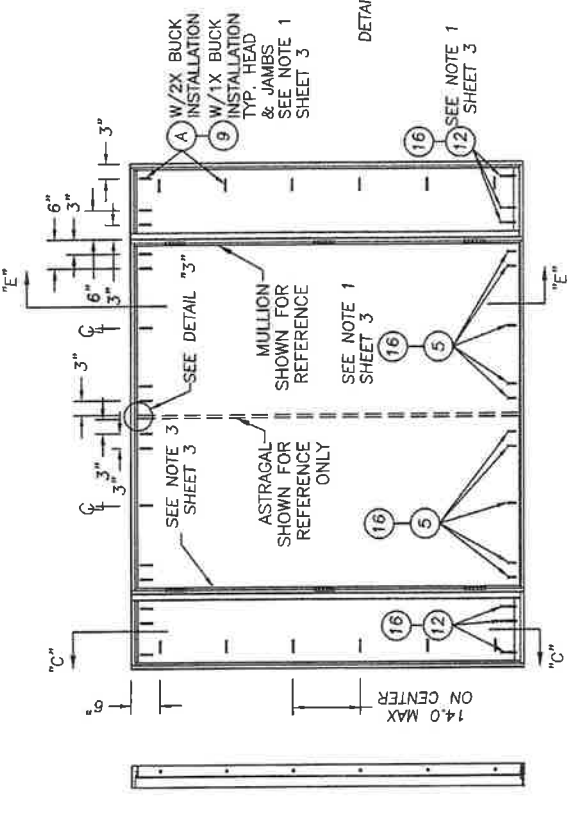
DATE: 2/21/12
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.:
 FL-15225.5-68
 SHEET 4 OF 6



VIEW "A"- "A"

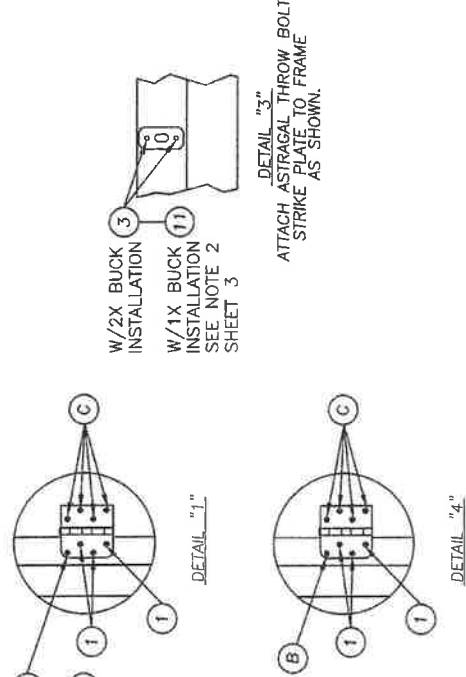


VIEW "E"- "E"



VIEW "C"- "C"

SHOWN W/ OPTIONAL CORRUGATED FASTENERS ITEM #60 (TYP. ALL SIDELITE TO DOOR JAMB CONNECTIONS)



W/2X BUCK INSTALLATION
W/1X BUCK INSTALLATION
SEE NOTE 2
SHEET 3

DETAIL "1"

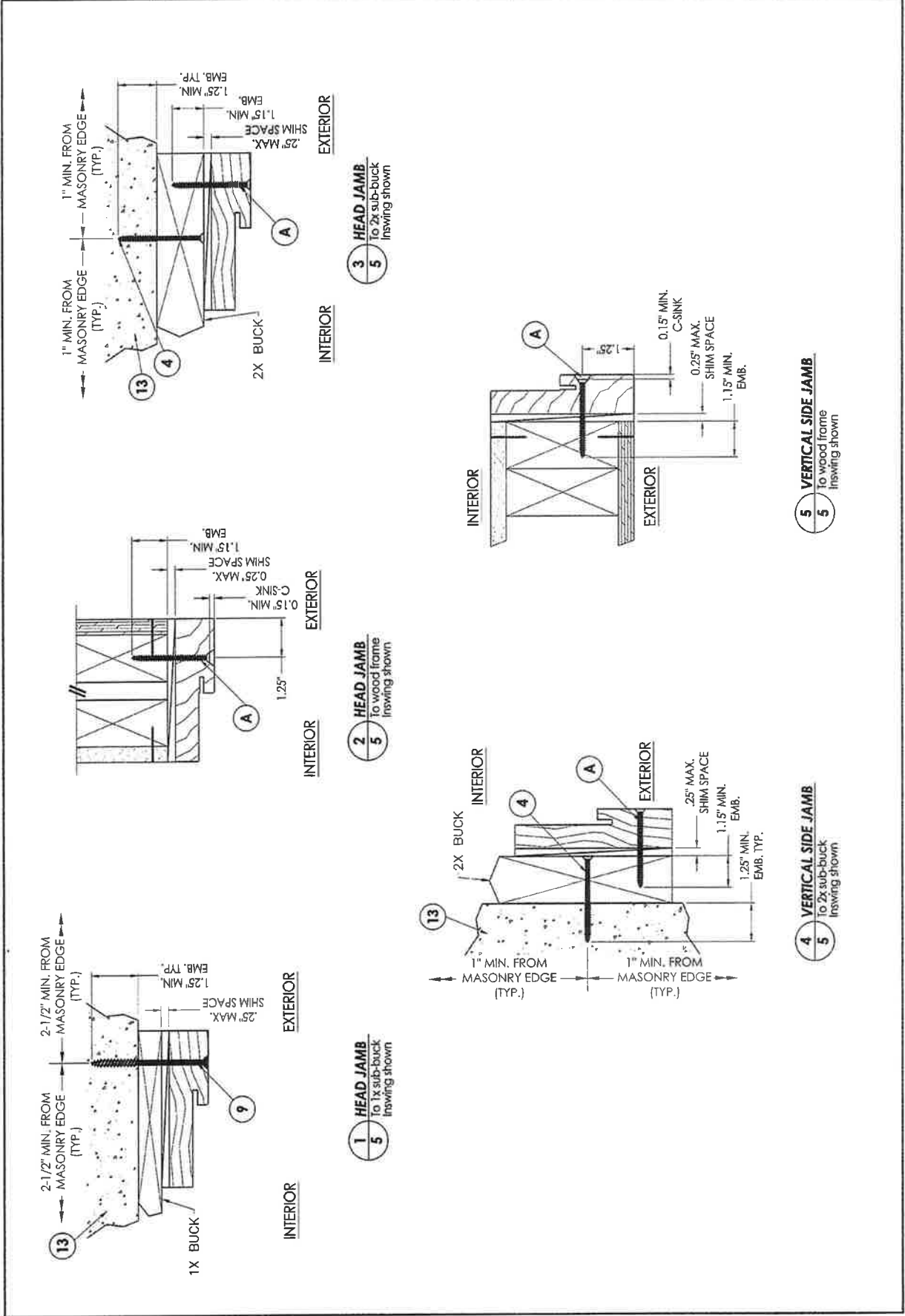
DETAIL "2"

Item	DESCRIPTION	Material
A	#10 x 2-1/2" PFH WOOD SCREW	STEEL
B	#10 x 1-3/4" PFH WOOD SCREW	STEEL
C	#10 x 1" PFH WOOD SCREW	STEEL
1	#10 x 3/4" LG. PFH WOOD SCREW (Hinge to Frame)	STEEL
2	#10 x 2" LG. PFH WOOD SCREW	STEEL
3	#8 x 2-1/2" LG. PFH WOOD SCREW	STEEL
4	1/4" x 2-3/4" PFH ELCO CONCRETE SCREW	STEEL
5	1/4" x 1-3/4" ITW PFH CONCRETE SCREW	STEEL
9	1/4" x 3-3/4" ITW PFH CONCRETE SCREW	STEEL
11	3/16" x 3-1/4" ITW PFH CONCRETE SCREW	STEEL
12	1/4" x 3-1/4" ITW PFH CONCRETE SCREW	STEEL
13	MASONRY - 3,192 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90	CONCRETE
16	1/4" x 2-1/4" PFH ITW CONCRETE SCREW	STEEL
20	HEADER JAMB (4.656" X 1.25" THERMA-TRU, SUGAR PINE) SG >= 0.34	WOOD
21	3/4" THK. PRESSURE TREATED SIDELITE PAD	WOOD
30	1/2" X 1" X 25 GA. CORRUGATED FASTENER	STEEL

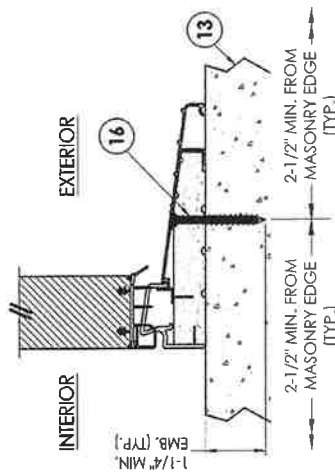
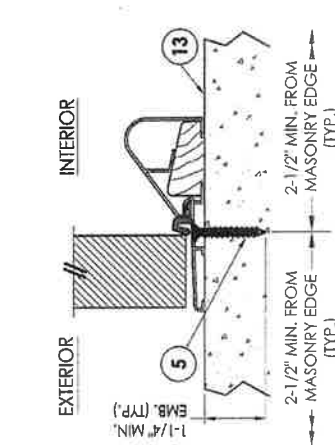
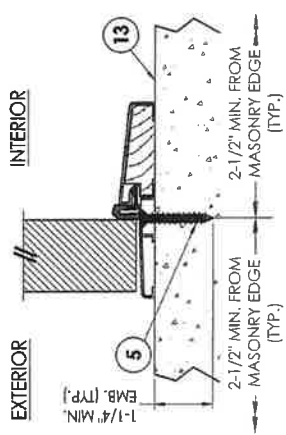
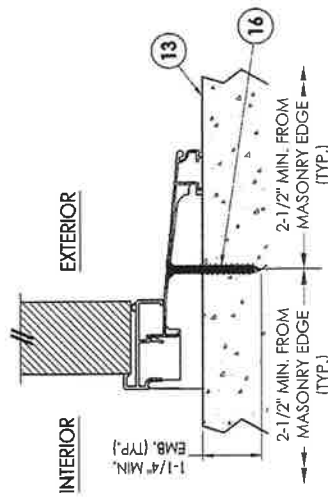
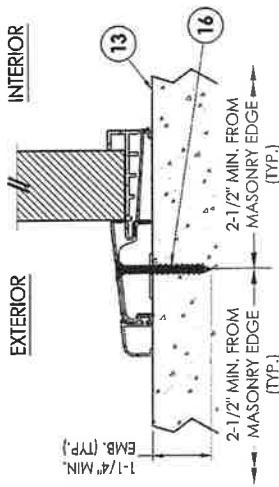
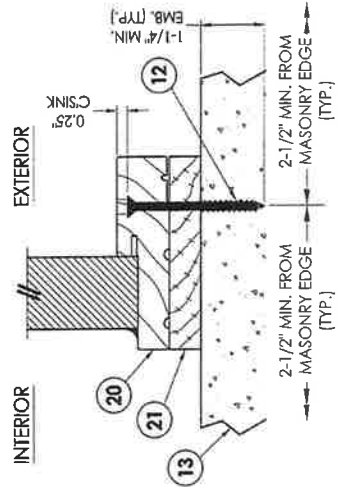
2012 R.W. BUILDING CONSULTANTS INC.

DATE: 2/21/12	SCALE: N.T.S.	DWG. BY: JK	CHK. BY: LFS	DRAWING NO.: FL-15225.5-68	SHEET 5 OF 6
PART OR ASSEMBLY: FIBERGLASS DOOR PRODUCT: THERMA-TRU					
HORIZONTAL & VERTICAL CROSS SECTIONS					
NO.	DATE	REVISIONS			

Building Consultants, Inc.
 P.O. Box 230 Venice, FL 33595
 Phone No: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
 Lyndon F. Schmidt, P.E. No. 43409



PRODUCT: THERMA-TRU FIBERGLASS DOOR PART OR ASSEMBLY: VERTICAL CROSS SECTIONS REVISIONS:		NO. _____ DATE _____ BY _____
BUILDING CONSULTANTS, INC. P.O. Box 230 Venice FL 33585 Phone No: 813.659.9197 Florida Board of Professional Engineers Certificate of Authorization No. 9813 Lydon F. Schmidt, P.E. No. 43408 2-21-12		DATE: 2/21/12 SCALE: N.T.S. DWG. BY: JK CHK. BY: LFS DRAWING NO.: FL-15225.5-68 SHEET 6 OF 6



PROFESSIONAL SERVICES BY
DRISCOLL ENGINEERING, INC.
PO BOX 357577
GAINESVILLE, FL 32635
PH (352)-331-1513
CA 6880

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practices. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all contractors in his or her Client/Contractor contract and shall require all subcontractors at any level to contain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional.

1. THIS BUILDING SHALL BE REPAIRED IN ACCORD WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE EXISTING 2014 5TH EDITION
2. ALL CEILING SHEETROCK SHALL BE MIN 5/8"
3. ALL AREAS EXCEPT WHERE GFI RECEPTICALS ARE REQUIRED RECEPTICALS SHALL BE ARC FAULT ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING.
6. SMOKE DETECTORS SHALL BE WIRED TO ALARM SIMULTANIOUS WITH BATTERY BACKUP.

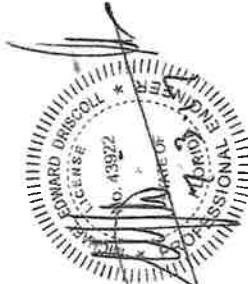
Design Criteria

1. Wood framing and fasteners to meet NDS-2005 requirements.
2. Fastener requirements: (1) All nails are Common galvanized; (2) all bolts are to be galvanized steel and include nuts and washers; and (3) all other hardware (Simpson, etc.) is to be installed according to manufacturers specifications and recommendations. Nailing (size and number) shall satisfy Tables 2306.3.1, 2306.3.2 and 2306.4.1 if not otherwise indicated. Note: fasteners exposed to the weather are to be treated for weather resistance and compatible with the type of pressure treated wood used (connectors, nails, bolts, nuts and washers).
3. Fasteners shall be driven flush with surface of sheathing.

I certify this to be a true copy of the original ~~invoice~~ document.

Signature: *[Signature]*

Date: 7/17/17

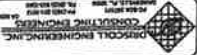


FIRE DAMAGE REPAIR

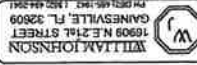
6-27-17
Michael E Driscoll PE
FL Reg # 43922

GAINESVILLE
REVIEWED FOR
CODE COMPLIANCE

REVIEWED BY:
Date: 6/27/17



MCCAULEY FIRE DAMAGE REPAIR
1013 NW 3RD AVE
GAINESVILLE, FL 32617-44



BUILDING INSPECTION DEPARTMENT PLAN REVIEW NOTES

These plans were reviewed for code compliance based on the requirements of the FBC Section 107.3.5 for Residential (one- and two-family). Final approval is subject to field inspection.

A permit issued shall be construed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. FBC-B 105.4.1

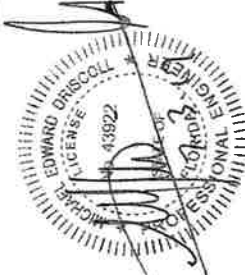
Work shall be installed in accordance with the approved construction documents, and any changes made during construction that are not in compliance with the approved construction documents shall be resubmitted for approval as an amended set of construction documents. FBC-B 107.4

Plans lack specific details demonstrating compliance with the Florida Building Code. Deviations for the Scope of Work provided by the applicant may require additional information as determined by the field inspection, including but not limited to structural and non-structural framing, and electrical, plumbing, mechanical and gas work.

All electrical work shall comply with Part VIII-Electrical, FBC-R, including Chapters 34 through 41 and the 2011 National Electrical Code. Work shall be field inspected for code compliance.

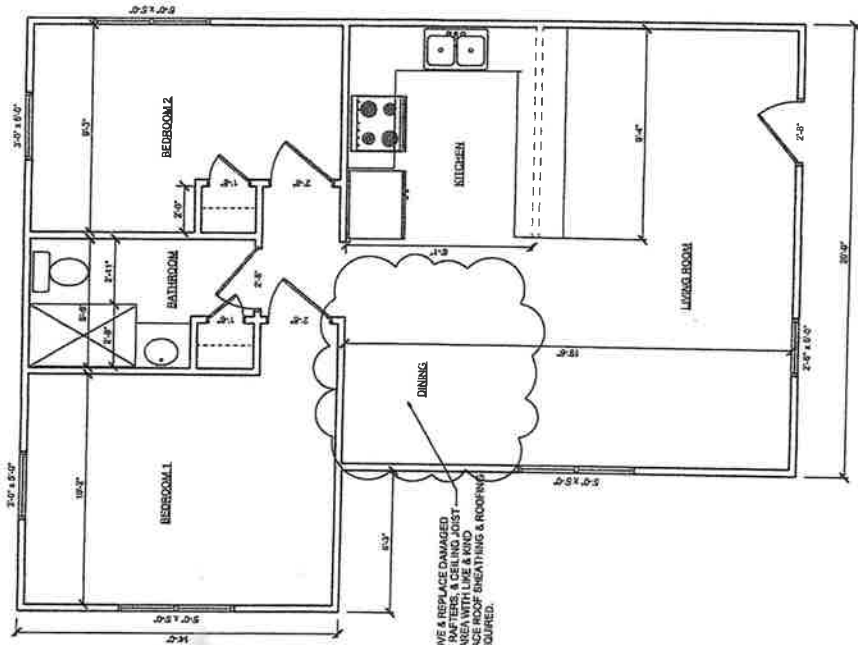
If structural alterations to the existing structure are required but not part of the submittal documents, the permit holder must submit applicable engineering.

A continuous load path shall be provided to transmit the applicable uplift forces from the roof assembly to the foundation. FBC-R301.2.1



I certify this to be a true copy of the original invoice/document.

Signature: *[Signature]*
Date: 7/17/17



FLOOR PLAN

MICHAEL E DRISCOLL PE
FL REG #43922

DRISCOLL ENGINEERING, INC.
CONSULTING ENGINEERS
GENERAL ENGINEERING
2100 NW 34th Ave
GAINESVILLE, FL 32609
P: 352-381-1111
F: 352-381-1112
www.driscolleng.com

McCAULEY FIRE DAMAGE REPAIR
1013 NW 3RD AVE
GAINESVILLE, FL 32609

DATE: 6-27-16
2



Planning & Development Services 306 N.E. 6th Avenue
Gainesville, Florida 32601
352.334.5022 Fax 352.334.3259
www.cityofgainesville.org/planningdepartment

REQUIREMENTS

CONTACT THE HISTORIC PRESERVATION OFFICE FOR A PRE-APPLICATION CONFERENCE 334.5022

REVIEW THE CHECKLIST FOR A COMPLETE SUBMITTAL (If all requirements are not submitted it could delay your approval.)

PLEASE PROVIDE ONE (1) DISK OR USB FLASH DRIVE CONTAINING ALL OF THE FOLLOWING:

1 ORIGINAL SET OF PLANS TO SCALE SHOWING ALL DIMENSIONS AND SETBACKS.

LIST IN DETAIL YOUR PROPOSED REPAIR AND/OR RENOVATION

A SITE PLAN OR CERTIFIED SURVEY

PHOTOGRAPHS OF EXISTING CONDITIONS

ANY ADDITIONAL BACKUP MATERIALS AS NECESSARY

AFTER THE PRE-CONFERENCE, TURN IN YOUR COMPLETED COA APPLICATION TO THE PLANNING OFFICE (RM 210, THOMAS CENTER-B), PAY APPROPRIATE FEES, AND PICK UP PUBLIC NOTICE SIGN TO BE POSTED 10 DAYS IN ADVANCE OF THE MEETING.

MAKE SURE YOUR APPLICATION HAS ALL THE REQUIREMENTS.

FAILURE TO COMPLETE THE APPLICATION AND SUBMIT THE NECESSARY DOCUMENTATION WILL RESULT IN DEFERRAL OF YOUR PETITION TO THE NEXT MONTHLY



STAMP

PROJECT TYPE: Addition Alteration Demolition New Construction Relocation
Repair Fence Re-roof Other

PROJECT LOCATION:

Historic District: University Heights - North
Site Address: 1011-1013 NW 31st Ave
Tax Parcel #: 13972-000-000

OWNER

Alachua Imaging Center
Owner(s) Name
James McCauley
Corporation or Company
15260 NW 147th Dr
Street Address
Alachua FL 32615
City State Zip

Home Telephone Number
352-258-5403
Cell Phone Number

Fax Number

E-Mail Address

Jimmy053@gmail.com CustomRoofing@gmail.com

APPLICANT OR AGENT

Daryle Flesher
Applicant Name
Custom Roofing and Coatings
Corporation or Company
4221-B SE 53rd Ave
Street Address
Ocala FL 32480
City State Zip

Home Telephone Number
352-694-1516
Cell Phone Number
352-553-8204

Fax Number
352-553-8204
E-Mail Address
352-694-7575

TO BE COMPLETED BY CITY STAFF

(PRIOR TO SUBMITTAL)

Fee: \$
EZ Fee: \$

HP # 17-42
Contributing Y N
Zoning RH-2
Pre-Conference Y N
Application Complete Y N
Enterprise Zone Y N

Request for Modification of Setbacks
Y N

Received By Jason Simmons
Date Received 8/22/2017

- Staff Approval—No Fee (HP Planner initial JS)
- Single-Family requiring Board approval (See Fee Schedule)
- Multi-Family requiring Board approval (See Fee Schedule)
- Ad Valorem Tax Exemption (See Fee Schedule)
- After-The-Fact Certificate of Appropriateness (See Fee Schedule)
- Account No. 001-660-6680-3405
- Account No. 001-660-6680-1124 (Enterprise Zone)
- Account No. 001-660-6680-1125 (Enterprise—Credit)

DID YOU REMEMBER?

CHECK YOUR ZONING AND SETBACKS FOR COMPLIANCE

REVIEW THE HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES

REVIEW THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION

CHECK TO SEE IF YOU WOULD BE ELIGIBLE FOR A TAX EXEMPTION FOR REHABILITATION OF A HISTORIC PROPERTY

THE HPB MEETINGS ARE HELD MONTHLY AT CITY HALL, 200 EAST UNIVERSITY AVE., GAINESVILLE, FL 32601, CITY HALL AUDITORIUM AT 5:30PM. THE SCHEDULE OF MEETINGS IS AVAILABLE ON THE PLANNING DEPARTMENT WEBSITE.

THE HISTORIC PRESERVATION OFFICE STAFF CAN PROVIDE ASSISTANCE AND GUIDANCE ON THE HPB BOARD'S REVIEW PROCESS, AND ARE AVAILABLE TO MEET WITH PROPERTY OWNERS OR AGENTS. IF YOU NEED ASSISTANCE, PLEASE CONTACT THE HISTORIC PRESERVATION PLANNER AT (352) 334-5022 OR (352) 334-5023.

PERSONS WITH DISABILITIES AND CONTACT INFORMATION

PERSONS WITH DISABILITIES WHO REQUIRE ASSISTANCE TO PARTICIPATE IN THE MEETING ARE REQUESTED TO NOTIFY THE EQUAL OPPORTUNITY DEPARTMENT AT 334-5051 (TDD 334-2069) AT LEAST 48 HOURS PRIOR TO THE MEETING DATE. FOR ADDITIONAL INFORMATION, PLEASE CALL 334-5022.

OVERVIEW

The Historic Preservation Board (HPB) is an advisory board to the City of Gainesville's Commission composed of citizens who voluntarily, without compensation commit their time and expertise to the stewardship of historic resources in our community.

The HPB approval is a procedure which occurs for alterations, construction, restorations, or other significant changes to the appearance of an structure in Gainesville's Historic Districts which have an impact on the significant historical, architectural, or cultural materials of the structure and/or the district. The City's historic review guidelines are available online at www.cityofgainesville.org/planningdepartment and within the Land Development Code, Section 30-112.

After submission of an application, the Historic Preservation Planner prepares a written recommendation for the board meeting which addresses whether the proposed changes are compatible with the criteria of the SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION and the City of Gainesville's HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES. Once staff has prepared and completed the staff report, an Agenda of the proposed meeting and the staff report will be posted online approximately 5 to 7 days prior to the HPB meeting and can be found at www.cityofgainesville.org/planningdepartment — Citizen Advisory Boards — Historic Preservation Board.

Public notice signage is required to be posted at the property by the applicant no later than 10 days prior to the scheduled Historic Preservation Board meeting. The notarized *Public Notice Signage Affidavit* must be submitted once the sign is posted.

The applicant and/or owner of the property should be present at the Historic Preservation Board meeting and be prepared to address inquiries from the board members and/or the general public. The HPB meeting is a quasi-judicial public hearing with procedural requirements. The review body may approve, approve with conditions, or deny projects. It is not necessary for owners to be present at the HPB meeting if your COA has been staff approved.

In addition to a Certificate of Appropriateness (COA), a building permit may be required for construction from the Building Department. This is a separate process with submittal requirements. Building permits will not be issued without proof of a COA and the Historic Preservation Planner signing the building permit. After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

CERTIFICATION

BY SIGNING BELOW, I CERTIFY THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AT THE TIME OF THE APPLICATION. I ACKNOWLEDGE THAT I UNDERSTAND AND HAVE COMPLIED WITH ALL OF THE SUBMITTAL REQUIREMENTS AND PROCEDURES AND THAT THIS APPLICATION IS A COMPLETE SUBMITTAL. I FURTHER UNDERSTAND THAT AN INCOMPLETE APPLICATION SUBMITTAL MAY CAUSE MY APPLICATION TO BE DEFERRED TO THE NEXT POSED DEADLINE DATE.

1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Planning and Development Services Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that Certificates of Appropriateness are only valid for one year from issuance.
4. It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.
5. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
6. Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).

SIGNATURES

Owner

Applicant or Agent

Date

Date 8-22-17 2

PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

Building has newer metal roof currently

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

Due TO Fire Damage Below Roof, some decking is in need of Replacing, And some Panels are warped due to Heat,

We ARE removing existing Metal Roof For Repair of Decking, After All Wood Repaired, re-Dry in Roof and ReInstall existing Metal except Damaged Panel They will Be Replace to Match exist.

DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b. Please describe the zoning modification and attach completed, required forms.

A pre-application conference with the Historic Preservation Planner is required before the submission of a Certificate of Appropriateness (COA) application. A concept review with the City of Gainesville's Historic Preservation Board is optional.

For a single-family structure, accessory structures and all other structures which require Historic Preservation Board review, there is an application fee. Fees vary by the type of building and change annually. Please consult with planning staff or online at www.cityofgainesville.org/planningdepartment to determine the amount of the application fees for your project. There is no fee for a staff approved Certificate of Appropriateness. Please consult the *FAQ's Living and Developing in a Historic District* and the *Historic Preservation Rehabilitation and Design Guidelines* for restoration & rehabilitation that is staff approvable. The COA review time period will not commence until your application is deemed complete by staff.

The application is due by 11:00 a.m. on the application deadline date as noted on the attached annual meeting and cut-off schedule.

THIS CHECKLIST IS A GUIDE TO BE USED FOR PROPER COA SUBMITTAL. SOME ITEMS MAY NOT APPLY TO YOUR PERMIT APPLICATION.

Please provide all documents on one (1) disk or USB Flash Drive. One full sized printed set of drawings may also be requested on a case-by-case basis. Materials will not be returned to applicant.

A completed application may include the following:

SUBMITTAL REQUIREMENT CHECKLIST

		Applicant	HP Planner
Survey and Site Plan	A drawing giving dimensions of property; location of building(s) showing distances from property lines (building set-back lines (dimensioned), names of streets front and sides, and north/south orientation. A current site plan or survey may be submitted for this requirement, if it provides the requested information.	<input type="checkbox"/>	<input type="checkbox"/>
Drawings to Scale	One complete set of plans (with all (4) exterior elevations) and specifications for the project. All drawings must be clear, concise and drawn to scale. All rooms shall be dimensioned and labeled for use. Height measurement and square footage of different areas shall be on plans. Indicate features on the exterior (i.e.: chimney), the roof pitch, placement of windows and doors and label all materials and textures. A scaled line elevation drawing & footprint drawing is required for all new construction.	<input type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> ▪ Elevations ▪ Floor Plan ▪ Square Footage ▪ Dimensions & Height ▪ Materials & Finishes 			
Photographs	Photographs of existing building(s) (all facades or elevations of structure) and adjacent buildings. Photographs should clearly illustrate the appearance and conditions of the existing building(s) affected by the proposed project, close-up views of any specific elements under consideration i.e., windows or doors if proposed to be modified or removed, as well as photographic views of its relationship with neighboring buildings. Photos shall be submitted in jpeg or PDF format. (City staff may take photographs of your property prior to the board meeting as part of their review procedure. The photos will be used for presentation to the Historic Preservation Board.)	<input type="checkbox"/>	<input type="checkbox"/>
Specific Items	Specific items may be requested, such as landscape plans, wall sections, roof plans, perspective drawings, a model, a virtual illustration and/or verification of economic hardship.	<input type="checkbox"/>	<input type="checkbox"/>
Modification of Existing Zoning	Attach separate form requesting a zoning modification based on competent demonstration by the petitioner of Section 30-112(d)(4)b.	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Report	In the case of demolition provide substantiating report(s) based on competent demonstration by the petitioner of Section 30-112(d)(6)c.	<input type="checkbox"/>	<input type="checkbox"/>
Notarized Consent Letter	Notarized letter of consent from the property owner, if the applicant is not the owner of the property or is in the process of purchasing the property.	<input type="checkbox"/>	<input type="checkbox"/>

CERTIFICATE OF APPROPRIATENESS

(TO BE COMPLETED BY CITY STAFF)

IF STAFF APPROVAL ALLOWS THE ISSUANCE OF THE CERTIFICATE OF APPROPRIATENESS, THE BASIS FOR THE DECISION WAS:

This meets the Secretary of Interior's Standards for Rehabilitation and the City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines.

Repair of damaged roof. Replace damaged parts with same material, metal to metal.

HISTORIC PRESERVATION PLANNER Jason Simmons DATE 8/22/17

THE HISTORIC PRESERVATION BOARD CONSIDERED THE APPLICATION OF HP _____ AT THE _____ MEETING. THERE WERE _____ MEMBERS PRESENT.

THE APPLICATION WAS APPROVED DENIED BY A _____ VOTE, SUBJECT TO THE FOLLOWING CONDITIONS:

THE BASIS FOR THIS DECISION WAS:

This meets the Secretary of Interior's Standards for Rehabilitation and the City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines.

CHAIRPERSON _____ DATE _____

It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department. After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

TAX SAVINGS FOR HOMEOWNERS OF HISTORIC PROPERTIES

The improvements to your historic property may qualify for a property tax exemption. The City of Gainesville permits an Ad Valorem property tax exemption for renovations, rehabilitations, and restorations to contributing properties within Historic Districts.

The amount of the exemption shall be determined by the Alachua County Property Appraiser based upon its usual process for post-construction inspection and appraisal of property following rehabilitation or renovation. The duration of the exemption shall continue regardless of any change in the authority of the City to grant such exemptions or any change in ownership of the property. In order to retain an exemption, however, the historic character of the property, and improvements which qualified the property for an exemption, must be maintained over the period for which the exemption was granted.

This is an excerpt from the Code of Ordinances ARTICLE IV. TAX EXEMPTION FOR HISTORIC PROPERTIES Sec. 25-61—66

An Overview of the Application Process:

An applicant (owner of record or authorized agent) seeking an ad valorem tax exemption for historic properties must file with the city manager or designee the two-part Historic Preservation Property Tax Exemption Application with "Part 1: Preconstruction Application" (Part 1) completed. In addition, the applicant shall submit the following:

- A completed application for a Certificate of Appropriateness for the qualifying restoration, renovation, or rehabilitation.
- An application fee of not more than five hundred dollars (\$500.00) to be determined by the city manager or designee based on the estimated cost of the work to be performed and the administrative costs to be incurred by the city in processing the application and monitoring compliance.

The City of Gainesville Historic Preservation Board (HPB) shall review Part 1 applications for exemptions. The HPB shall determine whether the property is an eligible property and whether the Part 1 proposed improvement is consistent with the Secretary of Interior's *Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and is therefore an eligible improvement.

Upon completion of work specified in the "Part 1" application, the applicant shall submit a "Part 2: Final Application for Review of Completed Work" (Part 2). The HPB shall conduct an inspection of the subject property to determine whether or not the completed improvements are in compliance with the work described and conditions imposed in the approved Part 1 application. Appropriate documentation may include paid contractor's bills and canceled checks, as well as an inspection request by the applicant within two (2) years following approval of the Part 1 application.

On completion of review of the Part 2 application, the HPB shall recommend that the city commission grant or deny the exemption. The recommendation and reasons therefore, shall be provided in writing to the applicant and to the city commission.

A majority vote of the city commission shall be required to approve a Part 2 application and authorize the ad valorem tax exemption. If the exemption is granted, the city commission shall adopt an ordinance.

The property owner shall have the historic preservation exemption covenant recorded in the official records of Alachua County, and shall provide a certified copy of the recorded historic preservation exemption covenant to the city manager or designee.

The effective date of the ad valorem tax exemption shall be January 1 of the year following the year in which the application is approved by the city commission and a historic preservation exemption covenant has been transmitted to the Alachua County Appraiser. Please submit Part 2 applications by the **October** Historic Preservation Board deadline in order to ensure enough time for it to go before the City Commission and be processed by the Tax Appraiser's office.

To qualify for an exemption, the property owner must enter into a covenant with the City of Gainesville for the term for which the exemption is granted. The covenant shall be binding on the current property owner, transferees, and their heirs, successors, or assigns.

Violation of the covenant or agreement will result in the property owner being subject to the payment of the differences between the total amount of taxes which would have been due in March in each of the previous years in which the covenant or agreement was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in F.S. § 212.12(3), as amended.

Please review City of Gainesville's Code of Ordinances Section 25-61 for qualification and process information.

This information is available online at www.municode.com for the City of Gainesville, FL Chapter 25 Section 25-61—25-65.

For an application form, please contact the Planning Department at (352) 334-5022 or (352) 334-5023.



PLANNING

P.O. Box 490, Station 11

Gainesville, Florida 32602-0490

352.334.5022

352.334-5023

Fax: 352.334.3259

www.cityofgainesville.org/planningdepartment

EXHIBIT
tabbles
6



1011-1013 NW 3rd Avenue

Write a description for your map.



Legend



1009-1013 NW 3rd Avenue

Write a description for your map.

Legend



-  1009 NW 3rd Ave
-  Feature 1



1009-1013 NW 3rd Avenue

Write a description for your map.

Legend

-  1009 NW 3rd Ave
-  Feature 1











