



Planning & Development Services

DB-16-110 SUB

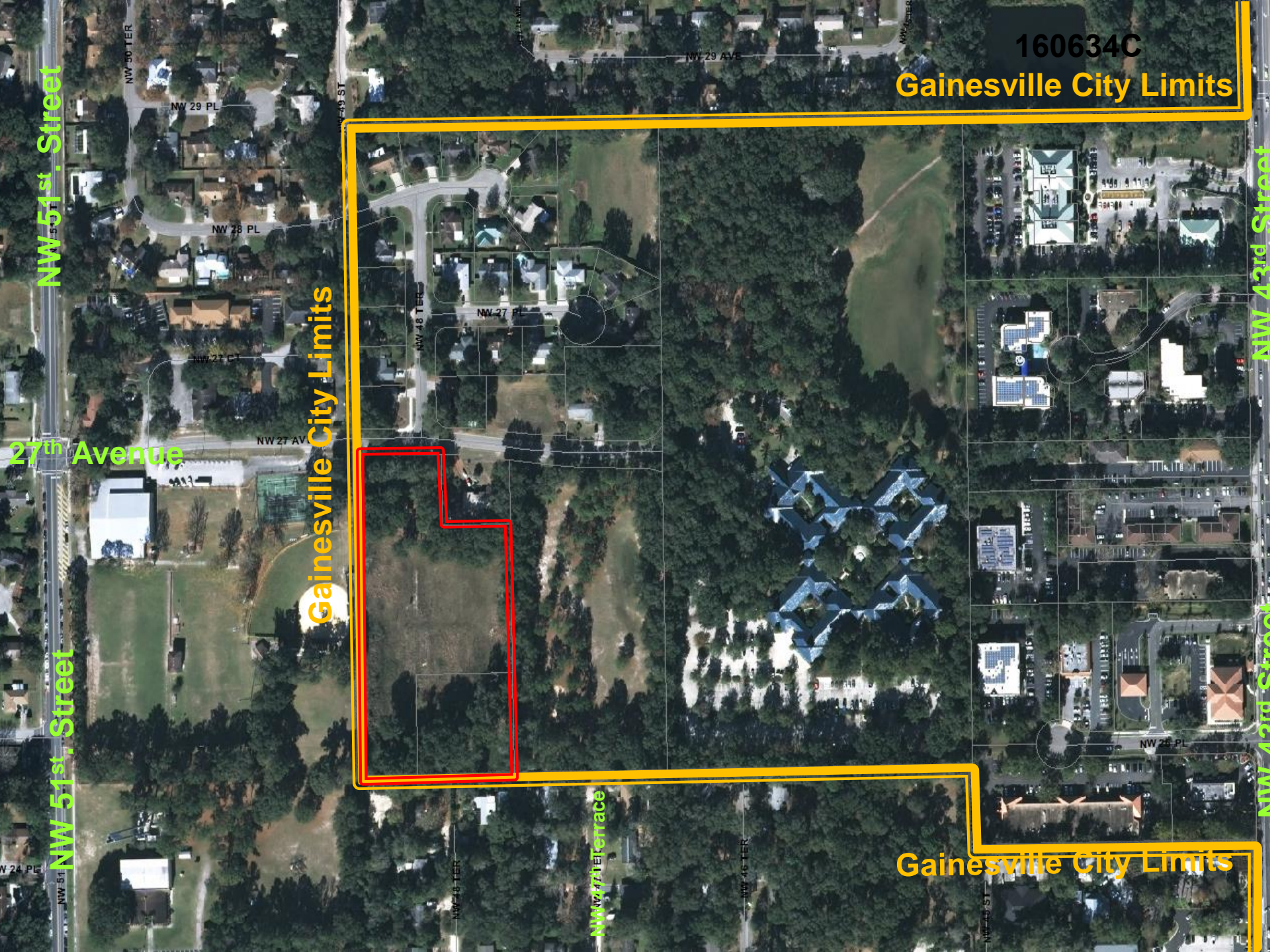
Design Plat Review for Villas of Buckridge Subdivision

18 lots on 4.54 acres zoned RSF-4 (Single-Family Residential 8 units/acre).

Legistar No. 160634

1/19/2017

Presentation by Lawrence Calderon



160634C

Gainesville City Limits

Gainesville City Limits

Gainesville City Limits

NW 51st Street

27th Avenue

NW 51st Street

NW 48th Terrace

NW 46th Terrace

NW 43rd Street

NW 42nd Street

NW 29 PL

NW 28 PL

NW 27 CT

NW 27 AV

NW 48 TER

NW 27 PL

NW 26 PL

NW 24 PL

NW 46 TER

NW 43 ST

NW 42 ST

160634C

NW 29 Pl

NW 50 Terrace

NW 49th St

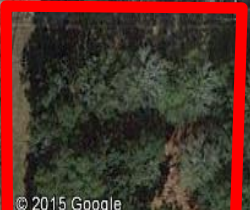
AREA TO THE
NORTHWEST

NW 48th Terrace

NW 27 Ct

NW 27th Ave

NW 51st St

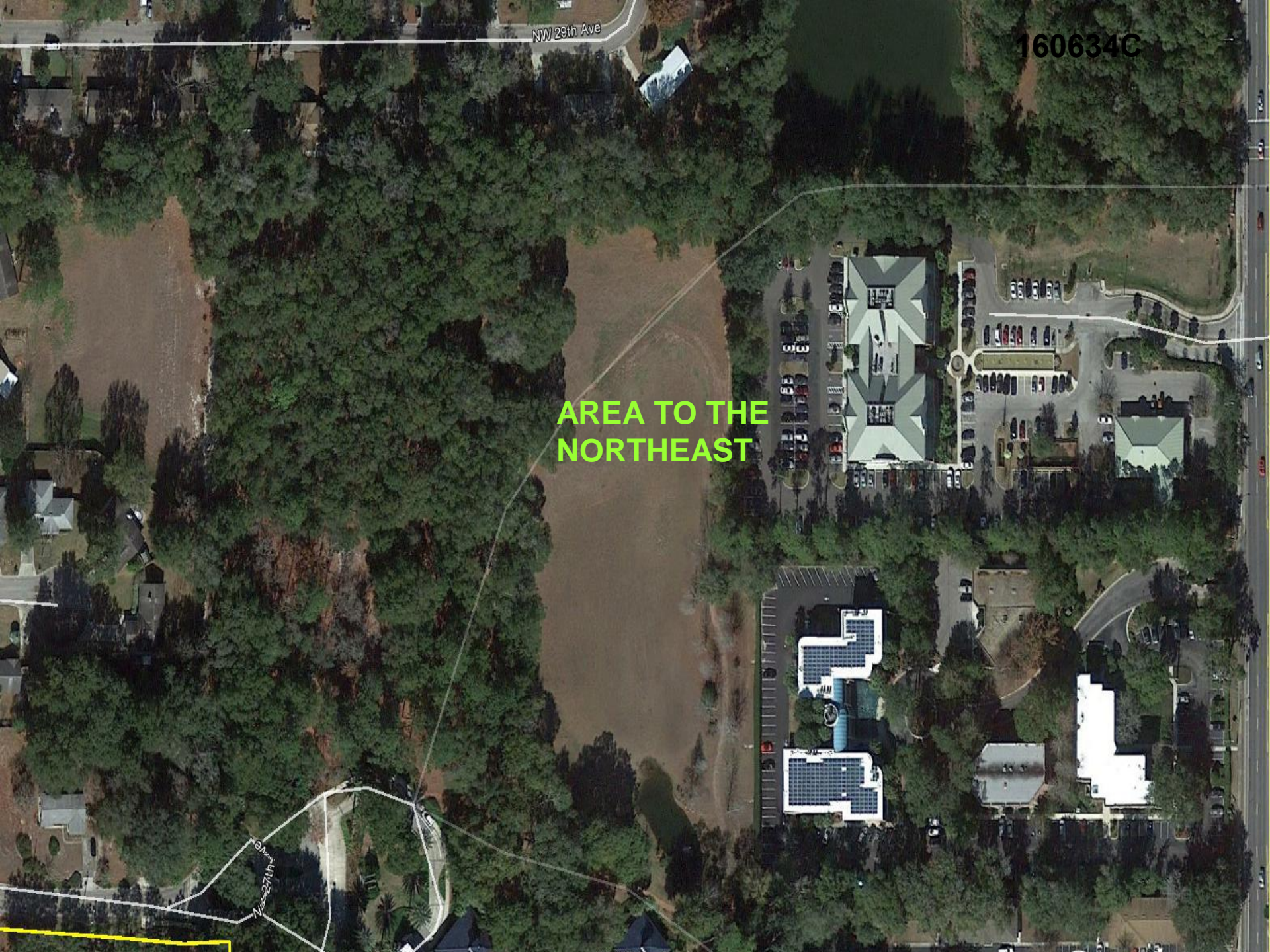


NW 29th Ave

160634C

AREA TO THE
NORTHEAST

NW 29th Ave



1606340

AREA TO THE EAST

01/11/2012

NW 43rd St

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**AREA TO THE
SOUTH AND
SOUTHEAST**

NW 45th St

NW 46 Terrace

NW 46th Terrace

NW 47 Terrace

NW 48th Terrace

NW 23 Ave

NW 23rd Ave



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NW-27th-Ave

AREA TO THE WEST



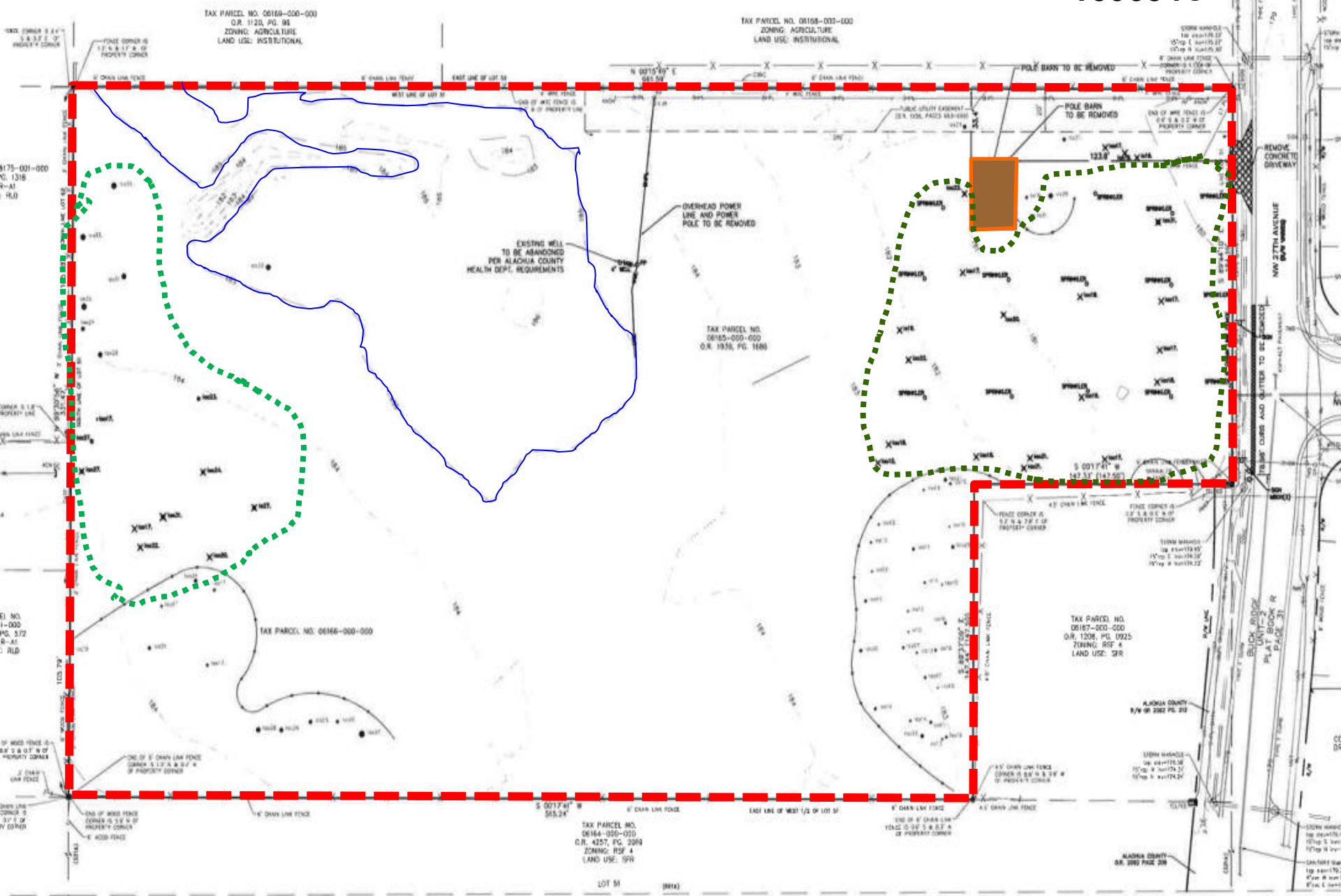
NW 51st St

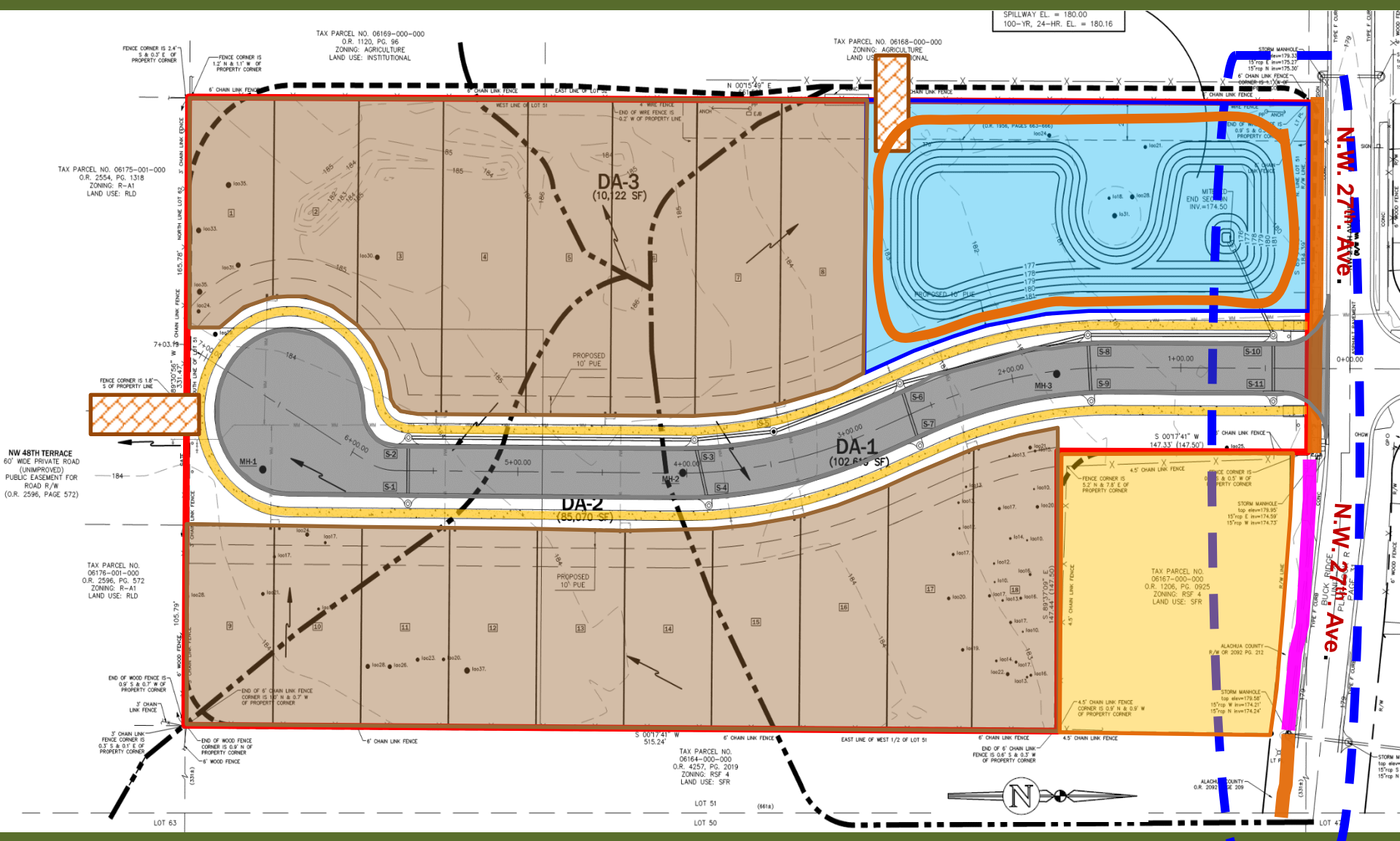
7th Ave

Terrace



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TAX PARCEL NO. 06169-000-000
 O.R. 1120, PG. 96
 ZONING: AGRICULTURE
 LAND USE: INSTITUTIONAL

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 ZONING: AGRICULTURE
 LAND USE: INSTITUTIONAL

SPILLWAY EL. = 180.00
 100-YR, 24-HR. EL. = 180.16

TAX PARCEL NO. 06175-001-000
 O.R. 2554, PG. 1318
 ZONING: R-1
 LAND USE: RLD

NW 48TH TERRACE
 60' WIDE PRIVATE ROAD
 (UNIMPROVED)
 PUBLIC EASEMENT FOR
 ROAD R/W
 (O.R. 2596, PAGE 572)

TAX PARCEL NO.
 06176-001-000
 O.R. 2596, PG. 572
 ZONING: R-1
 LAND USE: RLD

TAX PARCEL NO.
 06164-000-000
 O.R. 4257, PG. 2019
 ZONING: RSF 4
 LAND USE: SFR

TAX PARCEL NO.
 06167-000-000
 O.R. 1206, PG. 0925
 ZONING: RSF 4
 LAND USE: SFR

ALACHUA COUNTY
 O.R. 2001
 SE. 209

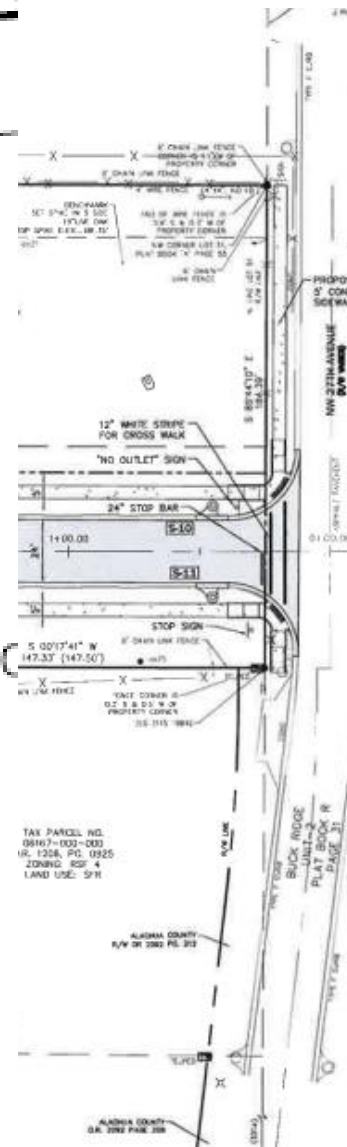
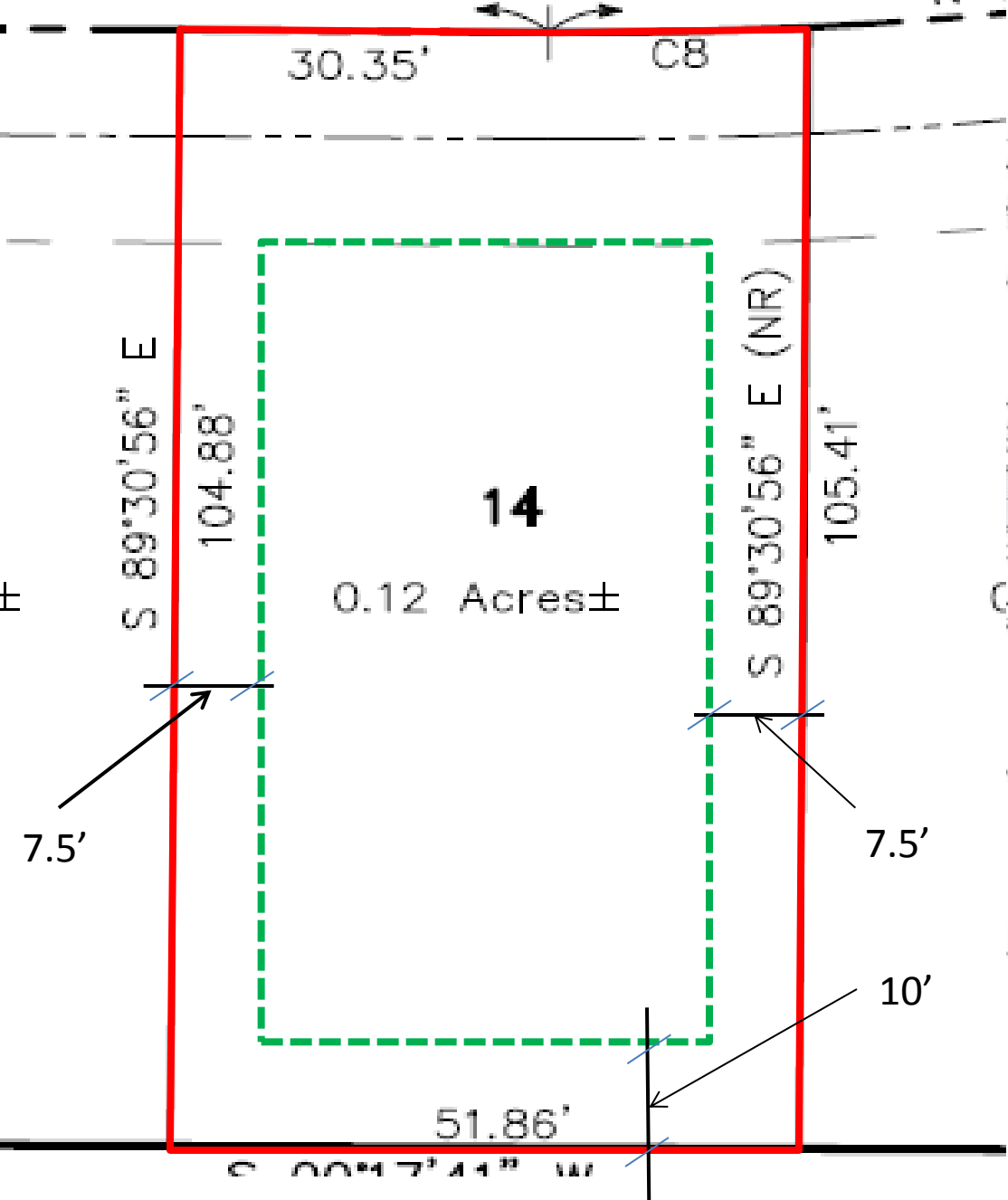
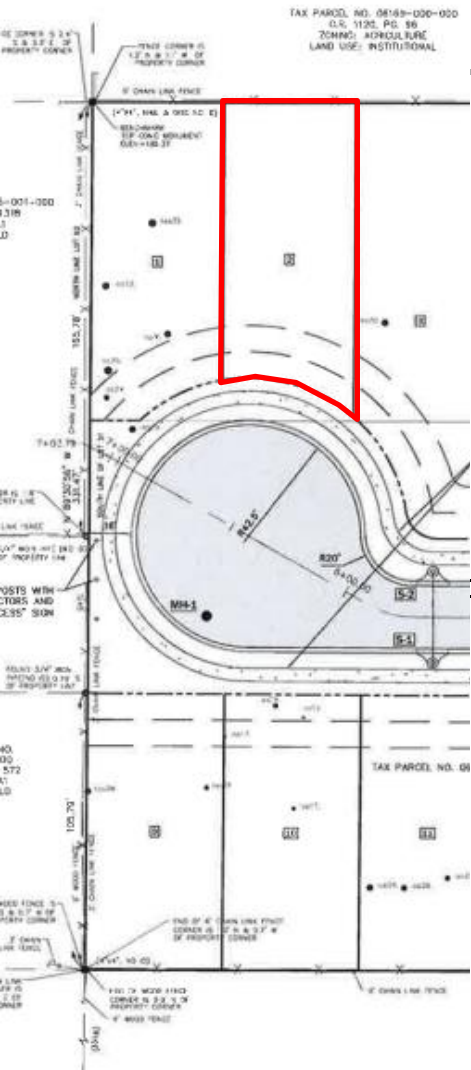
N.W. 27th Ave.

N.W. 27th Ave.



REQUIRED & PROPOSED STANDARDS

		RSF-1	RSF-2	RSF-3	RSF-4	Proposed
Maximum density		3.5 du/a	4.6 du/a	5.8 du/a	8 du/a	3.96 du/a
Minimum lot area		8,500 sq. ft.	7,500 sq. ft.	6,000 sq. ft.	4,300 sq. ft.	5,549 - 8,294 sq. ft.
Minimum lot width at minimum front yard setback		85 ft.	75 ft.	60 ft.	50 ft.	>50 ft.
Minimum lot depth		90 ft.	90 ft.	90 ft.	80 ft.	106 – 166 ft.
Minimum yard setbacks:						
	Front	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
	Side (interior)	7.5 ft.	7.5 ft.	7.5 ft.	7.5 ft.	7.5 ft.
	Side (street)	10 ft.	10 ft.	7.5 ft.	7.5 ft.	7.5 ft.
	Rear	20 ft.	20 ft.	15 ft.	10 ft.	10 ft.
Maximum building height		35 ft.	35 ft.	35 ft.	35 ft.	35 ft.

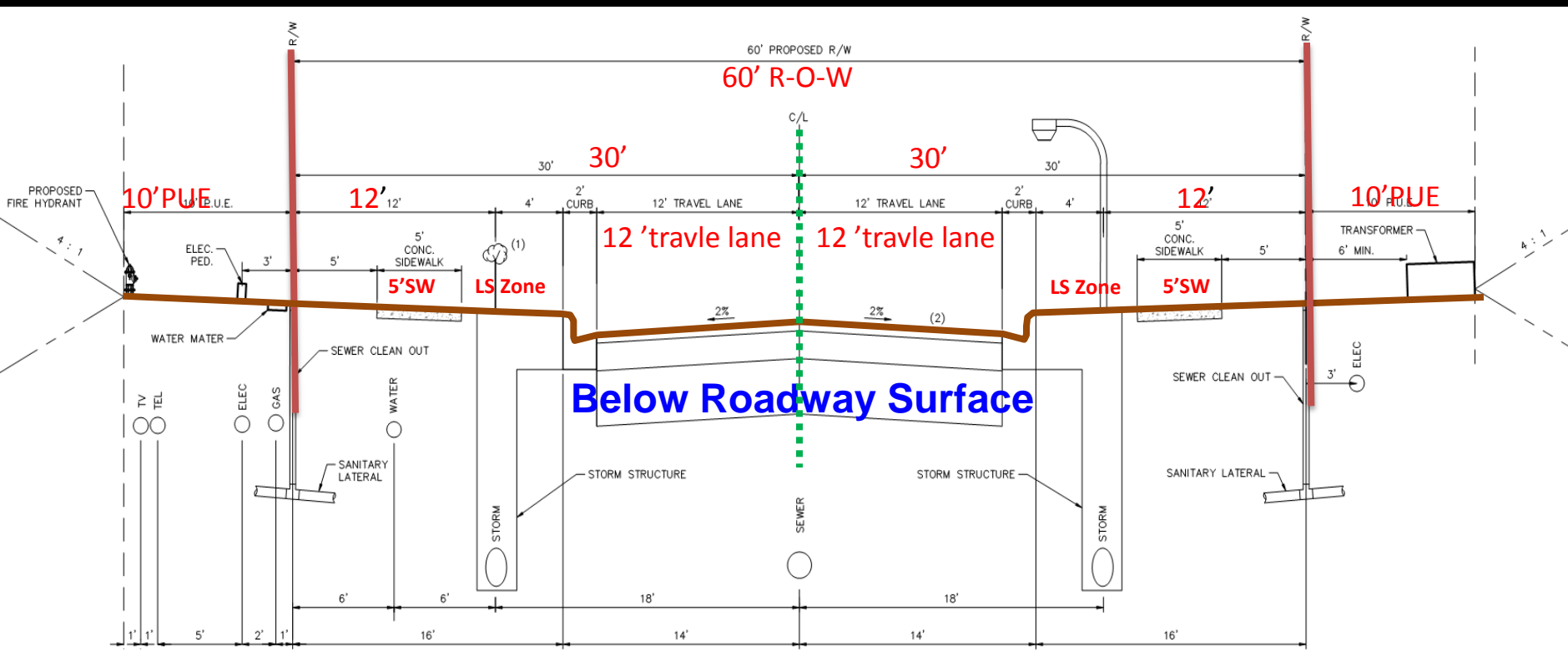


7.5'

7.5'

10'

S 00°17'41" W

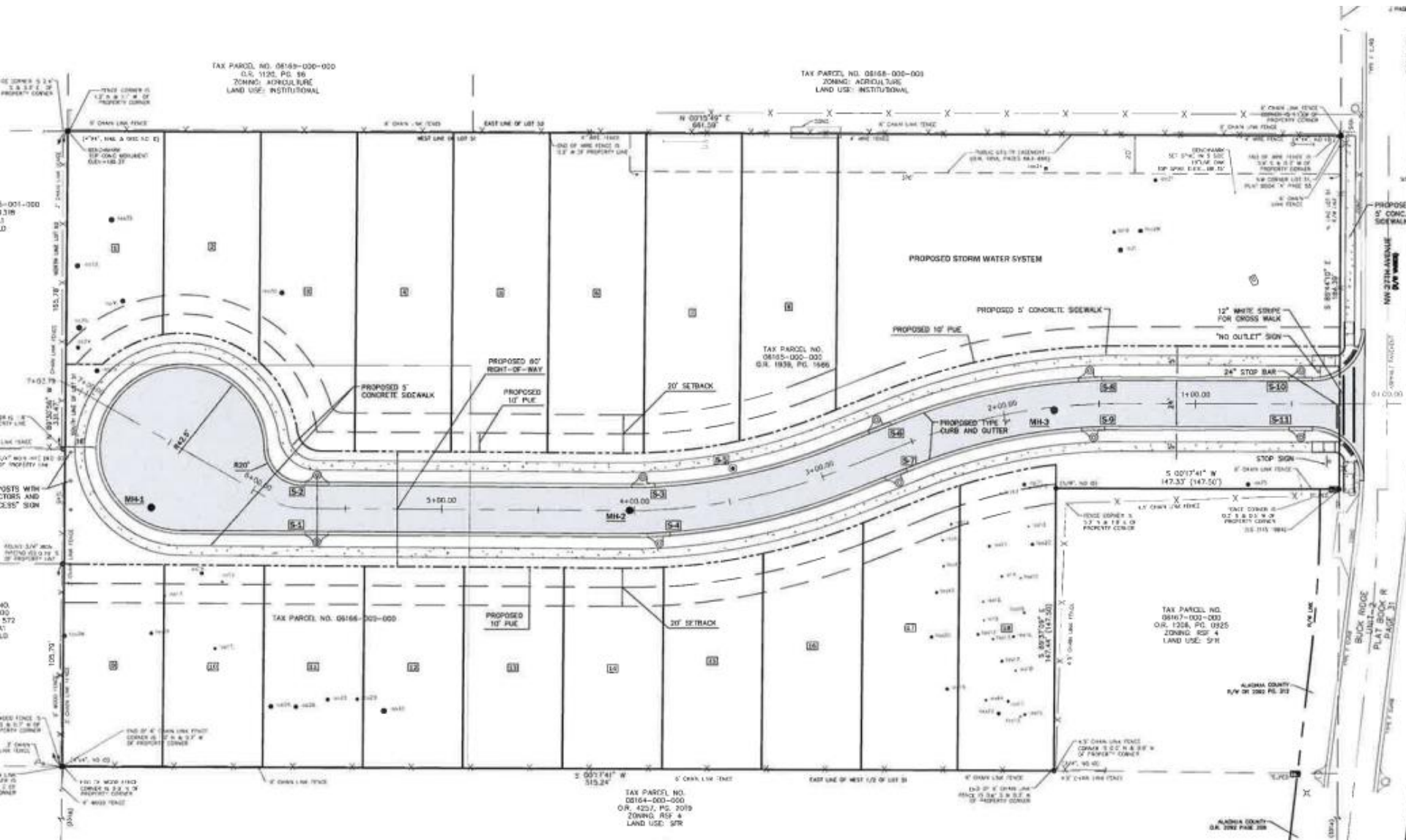


TYPICAL CROSS-SECTION AND UTILITY ALLOCATION

NOTE:

- 1) TREE AND LIGHT POLE WILL STAGGER AT EACH SIDE OF THE ROAD.
- 2) ASPHALT PAVEMENT TYPICAL CROSS SECTION WILL BE 2" SP 9.5 ASPHALT; 6" BASE-LIME ROCK AND 12" STABILIZED SUBGRADE.
- 3) ONE HYDRANT IS PROPOSED STAGGERED BETWEEN LIGHT POLES.

- N.T.S.
1. Tree and Light Pole will stagger at each side of the road
 2. Asphalt pavement typical cross section will be 2" sp 9.5 asphalt 6" base lime rock and 12' stabilized subgrade.
 3. One hydrant is proposed staggered between light poles.



- Staff to City Commission

Approve the Development Review Board's recommendation.

Development Review Board to City Commission

Approve Petition DB-16-110 SUB with staff conditions and comments.

Staff to Development Review Board

Forward a recommendation to the City Commission, approving the design plat, Petition DB-16-110 SUB with conditions and recommendations listed in the staff report and the TRC comments.

STAFF RECOMMENDED CONDITIONS

Condition 1.

Except as specifically modified through this petition, the development shall comply with all requirements of the Land Development Code.

Condition 2.

A minimum 10-foot wide corridor shall be created at the end of the cul-de-sac and at a point along the west property line adjacent to the stormwater basin. The corridor shall be use to accommodate future construction of pedestrian/bicycle routes as needed to establish connectivity to adjacent uses.

Condition 3.

Except as modified under this petition, all roadways shall be constructed to the standards as specified in the Public Works Design Manual.

STAFF RECOMMENDED CONDITIONS

Condition 4.

During Construction Drawing review, the applicant must demonstrate that all sidewalks, utilities, stormwater, fire service, solid waste services and street landscaping can be accommodated within the proposed rights-of way and/or available easement within the subdivision. Failure to comply with all requirements may require a re-consideration of the design plat by the City Commission.

Condition 5.

Signage for the subdivision shall be in accordance with the adopted sign ordinance.

Condition 6.

During Construction Drawing review, a landscape plan shall be proposed to provide suitable landscaping along the north side of the internal roadway.

STAFF RECOMMENDED CONDITIONS

Condition 7.

The developer shall provide mitigation for removal of high quality heritage trees in accordance with the requirements stated in the Land Development Code.

Condition 8.

Pedestrian lighting shall be provided in accordance with the Land Development Code for all bicycle and pedestrian routes internal and external to the site.

Condition 9.

At the sole expense of the developer lighting shall provide in all the rights-of-way similar to standards for public street lighting requirements.

Condition 10.

All accessory structures shall comply with the setback lines as shown on the approved plat.

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