



City of Gainesville
Department of Doing
Planning Division

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CITY PLAN BOARD STAFF REPORT

PUBLIC HEARING DATE: September 27, 2018

ITEM NO: 2

PROJECT NAME AND NUMBER: Oaks Mall Rezoning (PB-18-117 ZON)

APPLICATION TYPE: Rezoning (General business district (BUS) to U8 (Urban 8). Quasi-judicial.

RECOMMENDATION: Staff recommends approval of Petition PB-18-117 ZON based on a finding of compliance with all applicable review criteria.

CITY PROJECT CONTACTS: Dean Mimms & Andrew Persons



Figure 1: Location Map

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APPLICATION INFORMATION:

Agent/Applicant: City Plan Board

Petition PB-18-117 ZON. City Plan Board. Rezone from General business district (BUS) to U8 (Urban 8). This developed property is the site of the Oaks Mall and is located at the southwest corner of the intersection of W Newberry Road (S.R. 26) and SW 62nd ST.

Related to Petition PB-18-116 LUC.

Property Owner(s): OAKS MALL GAINESVILLE LTD c/o THOMSON REUTERS; OAKS MALL GAINESVILLE LTD c/o BOSTON MARKET CORPORATION, PROPERTY ADMINISTRATION #559; SERITAGE SRC FINANCE, LLC; OAKS MALL GAINESVILLE LTD c/o GENERAL GROWTH PROPERTIES; OAKS MALL GAINESVILLE LTD c/o BJ'S RESTAURANT INC.; OAKS MALL GAINESVILLE LTD

Related Petition(s): PB-18-116 LUC

Legislative History: Board of County Commissioners of Alachua County on July 1, 1975 approved the application for development approval (ADA) and issued a development order (DO) for the Oaks Mall as a Development of Regional Impact (DRI) per Section 380.06, Florida Statutes (F.S.) approved Resolution Z-07-31. The County Commission on December 11, 1979 amended the Oaks Mall DRI development order (DRI DO) by adopting Resolution No. 79-52. On September 2, 1992, the City of Gainesville annexed the Oaks Mall property pursuant to Ordinance No. 3769. In accordance with the DRI-post annexation provisions of Section 380.06(15), F.S., the City of Gainesville adopted Resolution No. 960412 and adopted a new DRI development order that incorporated all previous rights and obligations specified in the prior DRI DO adopted by the Board of County Commissioners. Subsequent to the City's adoption of Resolution No. 960412, the Florida Legislature amended Section 380.06, F.S., to designate certain areas, including the entire City of Gainesville, as Dense Urban Land Areas (DULAs) that are exempt from the DRI requirements in Section 380.06, F.S. The owner of the Oaks Mall DRI property subsequently requested that the City Commission adopt a resolution rescinding the Oaks Mall DRI development order under Section 380.115, F.S. On May 3, 2018, by the adoption of Resolution No. 170998, the City Commission rescinded the DRI development order for the Oaks Mall, as adopted on September 23, 1996, by City of Gainesville Resolution No. 960412, and subsequently recorded with the Clerk of the Circuit Court for Alachua County. With rescission of the DRI development order, any development of the Oaks Mall property is governed by the adopted

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regulations of the City of Gainesville Comprehensive Plan and Code of Ordinances. Notwithstanding the rescission of the DRI DO, Resolution No. 170998 also requires that the Oaks Mall Development continue to allow the City of Gainesville Regional Transit System (RTS) to enter the property for the pick-up and drop-off of RTS passengers.

Annexations: Ordinance No. 3769 annexed the Oaks Mall property on September 2, 1992

Plats: N/A

Neighborhood Workshop: City of Gainesville Planning staff held the required neighborhood workshop on Tuesday, August 28, 2018 at 6:00 PM, inside the Oaks Mall.

Application: Appendix B - Supplemental Documents, Exhibit B-1 – Application

SITE INFORMATION:

Address: 6419 W Newberry Road (SR 26)

Parcel Numbers: 06655-005-011; 06655-005-015; 06655-005-016 & 06655-005-017; 06655-005-018; 06655-005-021; 06655-005-023

Acreage: ±90.7

Existing Use(s): Major retail center (The Oaks Mall) with developed outparcels (restaurants, bank)

Land Use Designation: Commercial (C)

Zoning Designation: General business district (BUS)

Overlay District(s): N/A

Transportation Mobility Program Area (TMPA): Zone B

Census Tract: 16.04

Water Management District: St. Johns River Water Management District

Special Feature(s): N/A

Annexed: 1992

Code Violations: N/A

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ADJACENT PROPERTY CHARACTERISTICS:

	EXISTING USE(S)	LAND USE DESIGNATION(S)	ZONING DESIGNATION(S)
North	(Across Newberry RD/SR 26) North Florida Regional Medical Center. Commercial (Retail, Restaurant).	Office (O), Recreation (REC), Conservation (CON). (Alachua County) Tourist/Entertainment (T/E).	Medical Services (MD), Planned Development (PD). (Alachua County) Highway-Oriented Business (BH).
South	Multi-Family Residential (Oaks Apartments; Hampton Oaks Apartments)	Residential Medium-Density (RM); Mixed-Use Low- Intensity (MUL)-	Multi-Family Medium- Density (RMF-7); Mixed- Use Low-Intensity (MU-1)
East	(Across NW 62 nd ST) Commercial (Shopping Center, Restaurants); Terwilliger Elementary School; Windsor Park (Offices, Bank, Urgent Care Center)	Commercial (C); Conservation (CON); Education (E); Office (O)	General Business (BUS); Conservation (CON); Education (E); Office (OF)
West	Commercial (Coffee shop, Oaks Square Shopping Center); Multi-Family Residential (Oaks Apartments)	Commercial (C); Residential Medium-Density (RM)	General Business (BUS); Multi-Family Medium- Density (RMF-7)

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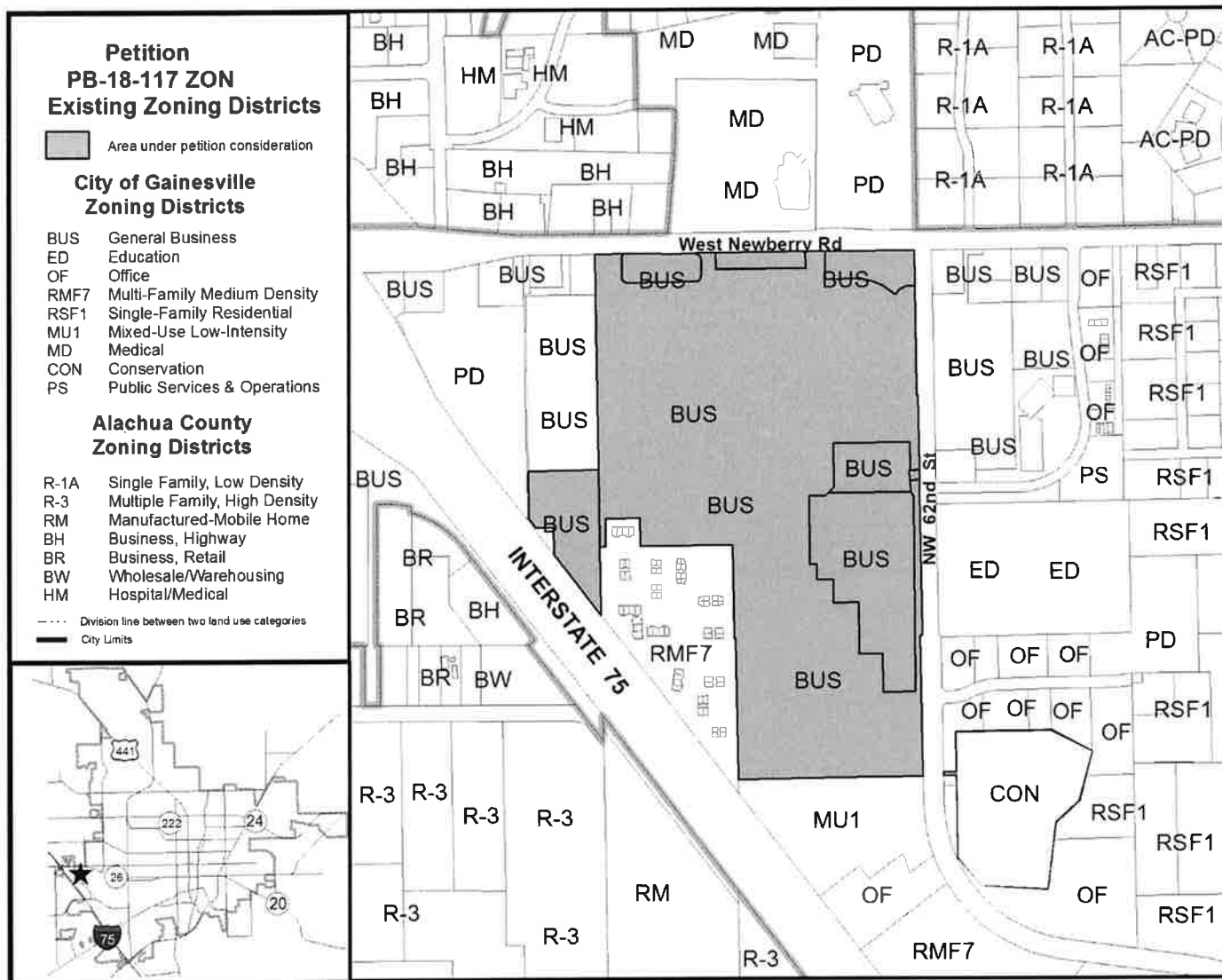


Figure 2: Existing Zoning

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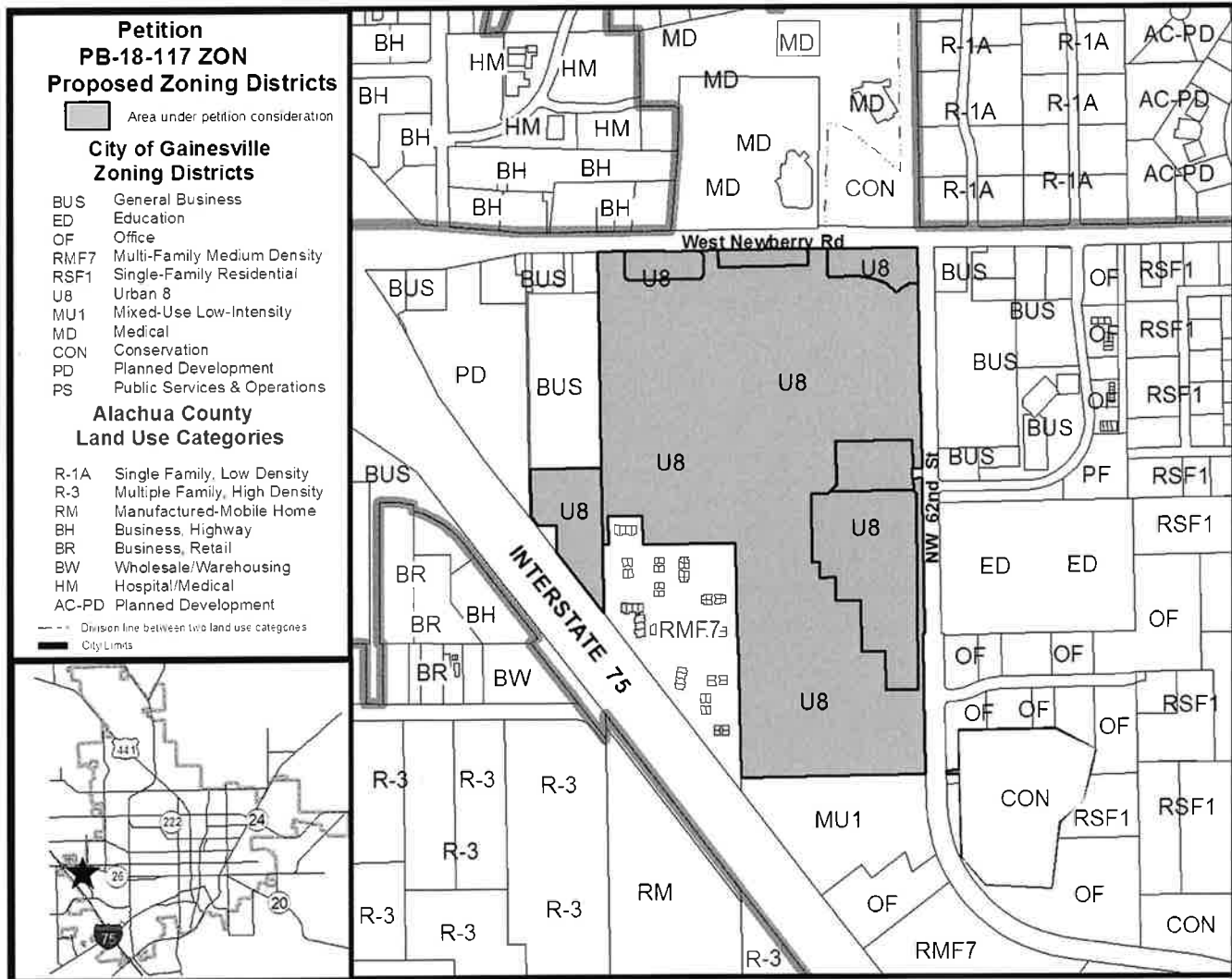


Figure 3: Proposed Zoning

PURPOSE AND DESCRIPTION:

This petition is a request to change the zoning from General business district (BUS) to the U8 (Urban 8) transect zoning district on an approximately 90.7-acre, developed property known as the Oaks Mall. See Figure 3: Proposed Zoning, above, and on next page see Table 1: Proposed Rezoning (in acres).

The purpose of the request is to provide more appropriate zoning at a strategic location in our urbanized area, where a long-developed commercial property (the Oaks Mall) is undergoing substantial change and is beginning to redevelop. The proposed rezoning will encourage redevelopment of the Oaks Mall, a major shopping center and former Development of Regional Impact with approximately 907,000 sq. ft. of GLA (gross leasable area). The proposed change to Urban 8 (U8) zoning will strongly encourage infill development and redevelopment. This transect zoning district will add residential and mixed-use development potential where none exists under the current General business district (BUS) zoning and Commercial land use.

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The Oaks Mall (see [Figure 1](#) – Location Map, on page 1 of this report) is a major, developed commercial property at a strategic location in the urban area that is proximate to major employers that include but are not limited to the North Florida Regional Medical Center, UF Health, and the University of Florida. It is located at the southwest corner of the intersection of W Newberry Road (S.R. 26), which is 6-lane, State arterial roadway that intersects NW 62nd ST (a major N/S collector of the City of Gainesville). The Newberry RD interchange with Interstate Highway 75 (I-75) is 0.2 miles to the west.

The Oaks Mall is generally surrounded by commercial and other nonresidential development to the north, east and west, and is adjacent to the west and south to multi-family development (3-story, Hampton Oaks Apartments to the south) (3-story, Oaks Apartments to the south and west). See ADJACENT PROPERTY CHARACTERISTICS (table) on page 4 of this staff report.

The Oaks Mall was approved as a Development of Regional Impact (per Section 380.06, F.S.) for nearly one-million square feet of commercial development by the Alachua County Commission in 1975, and was subsequently developed under Alachua County's land development regulations. The Oaks Mall property was annexed into the City of Gainesville on September 2, 1992. The City adopted a new DRI Development Order (DRI DO) on September 23, 1996 that incorporated all previous rights and obligations specified in the prior DRI DO adopted by the County Commission.

The Oaks Mall has been affected by profound changes in the retail environment over the past several decades, and is experiencing substantial change at this time. There is new ownership and there is pending renovation of the former Sears department store by UF Health for medical offices. The proposed rezoning and related land use amendment will add to this evident synergy and will allow for this property to become a more dynamic, major node within the City of Gainesville.

Table 1. Proposed Rezoning (in acres)

Land Use Category	Existing Acres	Proposed Acres
General Business (BUS)	±90.7	0
Urban 8 (U8)	0	±90.7
Total Acres	±90.7	±90.7

STAFF ANALYSIS AND RECOMMENDATION:

ANALYSIS

The analysis of this application is based on the criteria of Section 30-3.14 (Rezoning Criteria) of the Land Development Code, which are discussed below.

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A. Compatibility of permitted uses and allowed intensity and density with surrounding existing development.

The proposed U8 transect zoning district and the related, proposed UMU future land use will continue to allow non-residential uses consistent with the surrounding area, which has substantial non-residential land use and development (including retail, restaurant, office, hospital and other medical services, and educational facilities) to the north, east and west. The addition of residential use and mixed-use under the proposed zoning and land use is compatible not only with the surrounding non-residential land use, zoning and development, but is also compatible with the adjacent multi-family use and development to the west, and with the adjacent multi-family development to the south. See ADJACENT PROPERTY CHARACTERISTICS (table) on page 4 of this staff report.

The allowable intensity of the U8 is similar to that of the proximate BUS (General business district) zoning. The allowable density (60 units per acre by right, and up to 80 by Special Use Permit) is higher than that (14 units per acre, and up to 19 with density bonus points) of the adjacent RMF-7 zoning to the south and west, and of the adjacent MU-1 zoning (30 units per acre) to the south, but they do not pose a compatibility issue. The residential use allowance of the U8 provides for better compatibility with adjacent multi-family residential and mixed-use zoning than the existing BUS (General business district) zoning, which does not allow any residential use.

B. The character of the district and its suitability for particular uses.

The uses that are considered suitable for the proposed Urban 8 transect zoning are identified in Section 30-4.12 – Permitted Uses (City Land Development Code, Article IV - Zoning, Division 2 – Transects (See Exhibit B-2 of Appendix B)). Variances from the requirements of these sections are not allowed. Staff finds that the proposed U8 zoning with its allowable uses (including residential use, and, health-related services) is appropriate for the Oaks Mall property, which is limited to non-residential use under its current BUS zoning designation.

C. The proposed zoning district of the property in relation to surrounding properties and other similar properties.

The proposed U8 transect zoning district will continue to allow non-residential uses consistent with the surrounding area, which has substantial non-residential land use and development (including retail, restaurant, office, hospital and other medical services, and educational facilities) to the north, east and west. The addition of residential use and mixed-use under the proposed zoning and land use is compatible not only with the surrounding non-residential land use, zoning and development, but is also compatible with the adjacent multi-family use (land use and zoning) and development to the west, and with the adjacent multi-family development (on land with mixed-use land use and zoning).

Please see ADJACENT PROPERTY CHARACTERISTICS (table) on page 4, and see Figure 3 – Proposed Zoning, on page 6 of this staff report.

D. Conservation of the value of buildings and encouraging the most appropriate use of land throughout the city.

The nearly 1 million sq. ft. of commercial uses at Oaks Mall was approved under Alachua County zoning and land development regulations. The proposed rezoning to U8 is a more appropriate zoning category for this long-developed, nonresidential, commercial property at this strategic location in the urbanized area. It will increase the redevelopment and new development potential of the 90.7-acre currently commercial, developed property, and is likely to increase the value of the overall property, including existing buildings.

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E. The applicable portions of any current city plans and programs such as land use, traffic ways, recreation, schools, neighborhoods, stormwater management and housing.

This zoning petition has been analyzed with respect to applicable portions of the City's Land Development Code and Comprehensive Plan, as follows:

1. Transportation system impacts

This developed property fronts W Newberry Road (S.R. 26) to the north, and NW 62nd ST to the east. State Road 26 is a 6-lane, divided, constrained, arterial roadway and multi-modal corridor that is on the National Highway System. It has sidewalks on both sides of the roadway but no bike lanes. It has an adopted LOS (Level of Service) of E, and is operating at 85% of capacity (51,000 AADT where the Maximum Service Volume is 59,000 AADT). (Source: *Multimodal Level of Service Report, Year 2016 Average Annual Daily Traffic, September 30, 2017, Metropolitan Transportation Planning Organization for the Gainesville Urbanized Area.*)

Northwest 62nd ST is a major City of Gainesville roadway (undivided 2-lane collector, with turn lanes) that provides connectivity between S.R. 26 and SW 20th AVE (with future extension south to SW 43rd ST, which connects to SW Archer RD/S.R. 24). It has sidewalks on both sides of the street but no bike lanes. It has an adopted LOS (Level of Service) of E, and is operating at 132% of capacity (18,544 AADT where the Maximum Service Volume is 14,040 AADT). (Source: *Multimodal Level of Service Report, Year 2016 Average Annual Daily Traffic, September 30, 2017, Metropolitan Transportation Planning Organization for the Gainesville Urbanized Area.*)

The property is served by Routes 20, 23, and 75 of Gainesville's Regional Transit System (RTS) and is a designated Transit Hub (Oaks Mall / North Florida Regional Medical Center). See [Exhibit B-3](#) for map of Existing Transit Hubs & Transit-Supportive Areas (from the Transportation Mobility Map Series of the Comprehensive Plan).

Trip Generation for the proposed rezoning and related land use amendment) is shown in [Table 2](#). - Potential Trip Generation, on next page of this staff report. A traffic study may be required (depending upon the type, intensity and /or density of development) at the time of any proposed future development.

The property is located within Zone B of the City's Transportation Mobility Program Area (TMPA) in which developers are required to comply with transportation mobility criteria to mitigate transportation impacts on automotive, pedestrian, bicycle and transit facilities. The City rescinded transportation concurrency (Ordinance No. 0-99-68, Legistar No. 981311) with the adoption of an updated Comprehensive Plan. Therefore, development within TMPA Zone B is not required to meet level of service (LOS) requirements for concurrency, but is required to comply with the TMPA Zone B requirements of the Transportation Mobility Element to mitigate transportation impacts (see Appendix A: Comprehensive Plan Goals, Objectives and Policies). Transportation impacts of future development under the proposed rezoning to U8 (Urban 8) (and proposed, related UMU land use) will also have to conform with the particular requirements for the Urban 8 transect zone. Such conformance promotes walkable and connected communities and is supportive of our multimodal transportation system.

The following road modifications are planned for this area:

- SW 62nd St – Newberry Rd to SW 20th Ave: reconstruction of existing cross-section to address pavement conditions and operational/safety concerns. The project includes access management modifications at the northern mall entrance, lighting, ADA upgrades and a midblock crossing. The project is fully funded for construction in FY18/19.

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- SW 62nd Blvd – SW 20th Ave to SW 43rd St: construction of a new 2-lane corridor with a multiuse path along one side of the road. The project is fully funded for construction in FY21/22.

(Sources: September 6, 2018 e-mail from Debbie Leistner, Transportation Planning Manager, City of Gainesville Public Works Department; and, Five-Year Florida Department of Transportation Work Program, 2019-2023)

Table 2. Potential Trip Generation**TRIP GENERATION**

Land Use	Units	Intensity	Daily Trips	AM Peak Trips	PM Peak Trips
Existing					
Shopping Center	1,000 GLA	907	34,231	852	3,455
<u>Subtotal</u>			34,231	852	3,455
Proposed					
Shopping Center	1,000 GLA	771	29,105	725	2,938
(ITE 630) Clinic	1,000 GLA	136	5,190	502	446
(ITE 220) Multi-Family Low-Rise	Dwelling	750	5,490	345	420
<u>Subtotal</u>			39,785	1,572	3,804
NET NEW TRIPS			5,554	719	349

Source: Trip Generation Rates based on ITE Trip Generation, 10th Edition.

Rates:

ITE 820	Shopping Center	37.75	0.94	3.81
ITE 220	Multi-family Low-Rise	7.32	0.46	0.56
ITE 221	Multi-family Mid-Rise	5.44	0.36	0.44
ITE 630	Clinic	38.16	3.69	3.28
ITE 720	Medical/Dental Office Building	34.8	2.78	3.46

Rates based on ITE Trip Generation, 10th Edition.

Trip Generation provided by City of Gainesville Public Works' Transportation Planning staff, using additional future development assumption (750 multi-family units) provided by City Planning staff (Department of Doing), and current development information provided by The Oaks Mall.

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2. Availability of other facilities and services

In a September 7, 2018 memorandum, Wendy L. Mercer, GRU Technical Support Specialist III stated that:

The lots referenced in this petition are currently served by water or wastewater utilities, as well as gas. GRUCom (GatorNet), and electric utilities. According to GRU policy, the developer of the property will be responsible for the cost of extending water and wastewater service connections and for any off-site system improvements that may be necessary to provide service. An allowance to provide water supply capacity for future population growth is included in GRU's Consumptive Use Permit. No issues with providing sufficient water supply capacity or impacts due to the proposed land use are anticipated at this time, but this statement does not constitute a reservation or guarantee of water supply to the property.

GRUCom (GatorNet) service is available to the site in question.

GRU Natural Gas facilities are currently serving some of the parcels in this area, and can be made available to the remaining parcels through extensions. Costs for extensions would depend on proposed gas usage and would be determined with the GRU Gas department's assistance, if requested.

A School Capacity Review for this land use amendment was provided in a letter dated September 10, 2018 from the Alachua County Public Schools (see [Exhibit B-4](#) for Letter from Alachua County Public Schools) that assessed the potential impact of the proposed land use amendment upon school capacity. In the Summary Conclusion, the letter stated that the "students generated by the Oaks Mall at the elementary, middle and high [school] levels can be reasonably accommodated for the five, ten and twenty year planning periods."

With respect to potential future residential development within the property, this proposed rezoning could potentially impact adopted levels of service for recreation (specifically for: Community Parks, which have an existing LOS of 2.13 acres and an adopted LOS Standard of 2.00 acres per 1,000 people; and, Neighborhood Parks, which have an adopted LOS standard of 0.80 acres per 1,000 people, and an existing LOS of 1.33 acres). However, recreation LOS will be reviewed for concurrency at the time of development plan review, and all applicable concurrency requirements will have to be met at the time of development plan approval.

The proposed zoning change will not impact adopted levels of service for public school facilities, potable water, wastewater, water supply, or solid waste, all of which will be reviewed for concurrency at the time of development plan review.

Stormwater level of service requirements will have to be met when a development plan for the property is submitted.

3. Impacts on affordable housing

This proposed rezoning to U8 (and the related, proposed UMU land use) will allow residential density of 60 units per acre by right and up to 80 units per acre by Special Use Permit. The current General business (BUS) zoning (and Commercial land use) do not allow residential use. The proposed transect zoning and related mixed-use land use amendment therefore may increase the supply of potential affordable housing in the City.

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4. Environmental impacts and constraints

The City's Urban Forestry Inspector, Liliana Kolluri, provided a comprehensive memorandum dated August 21, 2018 (See [Exhibit B-5](#)). Key excerpts from Ms. Kolluri's memorandum follow:

No regulated wetlands or surface waters, natural resources, or archaeological resources were identified within the 90.7-acre area; therefore, the proposed project is exempt from criteria stipulated in LDC Article VIII, Divisions 3 and 4.

A portion of the 90.7-acre area falls within Special Flood Hazard Area Zone A, as depicted in the attached FIRMette. As such, the proposed project is regulated by LDC Article VIII, Division 5, Floodplains. The remainder of the area falls within an area of minimal flood hazard (Zone X).

The potential for adverse impacts upon natural resources and ecosystems due to the proposed zoning change is therefore very low.

F. The needs of the city for land areas for specific purposes to serve population and economic activities.

This proposed rezoning will increase the total acreage of the U8 transect zoning district, most of which is developed. The addition of 90.7 acres of land that is redeveloping and that has potential for new development comports well with the City's vision of improved urban form under the updated Land Development Code and in particular through implementation of transect zoning (U8 at the Oaks Mall).

Table 3. Acres of UMU Land Use and of U8 Zoning in Gainesville

Land Use Category	Description	Current Acres	Proposed Increase in Acres	Total Acres with Proposed
UMU	Urban Mixed-Use (UMU): up to 60 units per acre; and up to 20 additional units per acre by Special Use Permit	1,361.66 (1,285.21 Developed) (76.45 Vacant)	90.7 (Developed)	1,452.36 (1,285.21 Developed) (76.45 Vacant)
U8	U8 (Urban 8)	619.47 (597.98 Developed) (21.49 Vacant)	90.7 (Developed)	710.17 (688.68 Developed) (21.49 Vacant)

Note: The current acreage data in Table 3 were obtained from the City of Gainesville, Department of Doing, Geographic Information Systems (GIS) Division.

G. Whether there have been substantial changes in the character or development of areas in or near an area under consideration for rezoning.

This area of the City is experience continuing development pressure that includes but is not limited to expansion plans at North Florida Regional Medical Center, which is located across W. Newberry RD (State Road 26) to the north.

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H. The goals, objectives, and policies of the Comprehensive Plan.

This application is consistent with the Comprehensive Plan, as stated in the finding for each goal, objective and policy listed below. Other applicable comprehensive plan goals, objectives and policies are located in Appendix A:

Future Land Use Element

GOAL 1 IMPROVE THE QUALITY OF LIFE AND ACHIEVE A SUPERIOR, SUSTAINABLE DEVELOPMENT PATTERN IN THE CITY BY CREATING AND MAINTAINING CHOICES IN HOUSING, OFFICES, RETAIL, AND WORKPLACES, AND ENSURING THAT A PERCENTAGE OF LAND USES ARE MIXED, AND WITHIN WALKING DISTANCE OF IMPORTANT DESTINATIONS.

Finding: This rezoning from BUS to U8 will increase the percentage of land uses that are mixed and within walking distance of important destinations. These destinations include the Oaks Mall and proximate commercial and office development, the North Florida Regional Medical Center (hospital and many other medical facilities), and nearby UF Health medical and dental offices at Hampton Oaks to the south along NW 62nd ST. The proposed Urban 8 (U8) transect zoning is supportive of increasing choices in housing, offices, retail and workplaces.

Objective 1.2 Protect and promote viable transportation choices (including transit, walking and bicycling, and calmed car traffic).

Finding: This zoning change will increase the potential for redevelopment and additional development that can be mixed-use, residential, or/and non-residential. All new development in TMPA Zone B is required to meet applicable standards that promote viable transportation choices. These choices include transit, which is well-established on this developed, 90.7-acre property. The property is the core of an Existing Transit Hub (Oaks Mall/North Florida Regional Medical Center), and the Oaks Mall Development is required by the DRI rescission resolution (Resolution No. 170998 to continue to allow the City of Gainesville Regional Transit System (RTS) to enter the property for the pick-up and drop-off of RTS passengers.

Policy 1.2.3 The City should encourage mixed-use development, where appropriate.

Finding: This City-proposed rezoning to Urban 8 is very appropriate for this long-developed commercial property that is starting to redevelop. The property is in a busy urbanized area with considerable nonresidential and multi-family residential land use and development, but with relatively little mixed-use land use and little if any mixed-use development. Adoption of the proposed U8 zoning will provide needed additional use options and is therefore strongly encouraging of mixed-use development at this location.

Objective 1.5 Discourage the proliferation of urban sprawl.

Finding: This rezoning will discourage the proliferation of urban sprawl by allowing residential use and mixed use (non-residential & residential) where neither is currently allowed at this strategic, relatively central, urbanized location. The discouragement of sprawl will be supported by establishing this appropriate transect zoning district that will encourage redevelopment and new development without the current limitation of being strictly non-residential.

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This is a time of change at the Oaks Mall - with new ownership, pending renovation of the former Sears department store by UF Health for medical and dental offices, and with the anticipated renovation and reuse next year of the former Sears automotive center by UF Health for a surgical center. The proposed rezoning and related land use amendment will add to this evident synergy and will allow for this property to become a more dynamic, major node within the City of Gainesville.

Policy 4.1.1 Land Use Categories on the Future Land Use Map shall be defined as follows:

Urban Mixed-Use (UMU): up to 60 units per acre; and up to 20 additional units per acre by Special Use Permit

This land use category allows residential, office, retail and serve uses either as stand-alone uses or combined in a mixed-use development format. Light assembly, fabrication, and processing uses within fully enclosed structures shall be allowed in specified zoning districts as specially regulated by the Land Development Code. Structures in this category shall be oriented to the street and encouraged multi-modal transportation through the development design. Developments located within this category shall be scaled to fit the character of the area. Residential density shall be limited to 60 units per acre with provisions to add up to 20 additional units per acre by Special Use permit as specified in the land development regulations. Maximum building height shall range between 4 to 5 stories, depending upon the implementing zoning district, with provisions to add up to an additional 1 to 2 stories by a height bonus system as established in the Land Development Code. Land development regulations shall set the appropriate densities, the types of uses; design criteria; landscaping, and pedestrian/vehicular access. Public and private schools, places of religious assembly and community facilities are appropriate within this category.

Finding: This zoning application will implement the related, proposed Urban Mixed-Use (UMU) land use category at a strategic location in the urban area that is the site of a major, developed commercial property (The Oaks Mall) that is undergoing significant change. Recent changes include but are not limited to the closing of Macy's and Sears, which were two long-standing department stores that were among the anchor stores at the Oaks Mall, and the pending renovation and reuse of the vacated Sears department store for medical and dental offices for UF Health. The major difference between the current Commercial land use and the proposed UMU land use is that the proposed land use allows residential use in addition to nonresidential use, either as stand-alone development or combined as mixed-use development. The proposed UMU land uses aligns with the City's encouragement of mixed-use development and transect zoning at appropriate locations, of promoting urban infill and redevelopment, and increasing the potential for additional residential development at an existing transit hub.

Transportation Mobility Element:

Objective 2.2 Ensure that Future Land Use Map designations promote transportation objectives by designating transit-supportive densities in appropriate locations to support transportation choice.

Finding: The related proposed land use change to UMU within an established transit hub (an appropriate location) will establish a land use category with permitted residential densities (60 units/acre by right, and up to 80 units per acre by Special Use Permit) that greatly exceed the nominal 12 units/acre minimum density to support transit.

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The proposed Urban 8 zoning district for this developed commercial property will support the City's transportation objectives by designating transit-supportive densities and allowing mixed-use development.

Policy 2.2.1 The City's Future Land Use Map shall remain consistent with transportation choice strategies.

Finding: The related, proposed UMU land use is supportive of transportation choice strategies because it is a mixed use category that allows future mixed-use and residential use on a 90.7-acre property that is currently limited to non-residential use. This strategically located property is well-served by the RTS transit system and is located at the intersection of a major, State arterial roadway and a major City collector. Establishing UMU land use Urban 8 (U8) transect zoning at this strategic location will promote transportation choice because mixed-use development has better trip capture rates than single-use development, and mixed-use promotes walkability by having a mix of uses at one location. All future development will have to meet the requirements of the updated Land Development Code, including transect zoning requirements, which are particularly supportive of good urban form and walkability.

I. The facts, testimony, and reports presented at public hearings.

This staff report will be presented to the City Plan Board for the Board's consideration, in addition to other substantial competent evidence, in making their recommendation to the City Commission on this proposed rezoning.

J. Applications to rezone to a transect zone shall meet the following additional criteria:

1. The proposed T-Zone shall provide a logical extension of an existing zone, or an adequate transition between zones.

The proposed Urban 8 (U8) zoning district for the Oaks Mall is approximately 1.8 miles (by road) to the northwest of the U8-zoned Urban Village, which is a major developed area with a mix of residential (predominantly multi-family) and nonresidential development located west of SW 34th (State Road 121) and on both sides of SW 20th AVE. The Oaks Mall is approximately 2.1 miles west of the U8 zoning that is west of W 34th ST (State Road 121) between W University AVE and W Newberry RD.

Despite the non-adjacency to the nearest transect zones, the continued growth and development in the general area coupled with redevelopment and anticipated new uses at the Oaks Mall are supportive of the proposed transect zoning at this major, strategic location just east of I-75.

2. The area shall have had a change in growth and development pattern to warrant the rezoning to a more or less urban T-Zone.

This area of the City is experiencing an increase in growth and development that includes but is not limited to: vertical expansion plans at North Florida Regional Medical Center (located across W. Newberry RD (State Road 26) to the north), and a new multi-story building for Gainesville Women's Physicians on the west side of NW 43rd ST and within the Corporate Park district, that is approximately 0.7 miles east of the Oaks Mall). In addition, Ordinance No. 170483 on June 3, 2018 established mixed-use (MUL and MU-1) land use and zoning that increased the allowable intensity and density (and development potential) of the undeveloped, 18.5-acre, Legacy Fountains property located at the southwest corner of the intersection of SW 20th AVE and SW 62nd BLVD, (approximately 0.6 miles west of Urban 9-zoned, Urban Village). The increased growth, development and development potential are supportive of the proposed rezoning to the U8 transect zoning district.

Petition Number: PB-18-117 ZON

The previously described (see Section E.1 of this staff report) road modifications (reconstruction of SW 62nd St – Newberry Rd to SW 20th AVE, and construction of SW 62nd BLVD – SW 20th AVE to SW 43rd ST) are likely to result in additional growth and development south of SW 20th AVE, and provide further justification for the proposed rezoning to the Urban 8 transect zoning district.

3. The request shall be consistent with the overall City of Gainesville vision for growth and development as expressed in the City of Gainesville Comprehensive Plan.

This requested rezoning from BUS to U8 is consistent with the City's overall vision for growth and development that is expressed in the Gainesville Comprehensive Plan, beginning with Goal 1 of the Future Land Use Element of the Comprehensive Plan (see Section H. of this staff report, in which Goal 1 was stated and the proposed Urban 8 (U8) transect zoning was found to be supportive of increasing choices in housing, offices, retail and workplaces.

By adding residential uses and mixed uses under U8 zoning to the strictly nonresidential uses allowed under the current BUS zoning, this request will encourage and facilitate further redevelopment and new development within this developed, 90.7-acre property, strategically located, former DRI (Development of Regional Impact) known as the Oaks Mall.

4. If not adjacent to an existing T-Zone, the rezoning site shall comprise a minimum of ten acres.

The property to be rezoned to U8 is approximately 90.7 acres in area, which meets this requirement.

RECOMMENDATION

Staff recommends approval of Petition PB-18-117 ZON based on a finding of compliance with all applicable review criteria.

DRAFT MOTION FOR CONSIDERATION

Approve Petition PB-18-117 ZON based on a finding of compliance with all applicable review criteria.

POST-APPROVAL REQUIREMENTS:

Planning staff must forward the City Plan Board recommendation to a City Commission public hearing, where it will be considered for further action.

Petition Number: PB-18-117 ZON

LIST OF APPENDICES:

Appendix A Comprehensive Plan Goals, Objectives and Policies

Appendix B Supplemental Documents:

- Exhibit B-1: Application
- Exhibit B-2: Division 2 - Transects
- Exhibit B-3: Memorandum from City's Urban Forestry Inspector
- Exhibit B-4: Map: Existing Transit Hubs & Transit-Supportive Areas
- Exhibit B-5: Letter from Alachua County Public Schools

Petition Number: PB-18-117 ZON

Appendix A Comprehensive Plan Goals, Objectives and Policies

Future Land Use Element:

Objective 1.3 Adopt land development regulations that guide the transformation of conventional shopping centers into walkable, mixed-use neighborhood (activity) centers.

Objective 1.4 Adopt land development regulations that promote mixed-use development.

Policy 1.5.6 The City certifies that the entire area within current city limits meets the definition in Chapter 163, F.S., of an urban service area, as supported by the Data and Analysis Report.

Objective 2.1 Redevelopment should be encouraged to promote compact, vibrant urbanism, improve the condition of blighted areas, discourage urban sprawl, and foster compact development patterns that promote transportation choice.

Policy 3.4.4 Notwithstanding the state law exemption from the state development-of- regional-impact (DRI) review process for dense urban land areas as provided in Section 380.06, F.S., large developments that trip the DRI threshold shall be required to address their regional impacts, consistent with the City's coordination policies in the Intergovernmental Coordination Element.

Objective 4.1 The City shall establish land use categories that allow sufficient acreage for residential, commercial, mixed-use, office, industrial, education, agricultural, recreation, conservation, public facility, and institutional uses at appropriate locations to meet the needs of the projected population and that allow flexibility for the City to consider unique, innovative, and carefully construed proposals that are in keeping with the surrounding character and environmental conditions of specific sites. Land use categories associated with transect zones are intended to encourage a more efficient and sustainable urban form by allowing a range of housing, employment, shopping and recreation choices and opportunities in a compact area of the City.

Transportation Mobility Element:

Objective 3.2 Design the City Regional Transit System (RTS) to strike a balance between the needs of those who are transit-dependent and those who have a choice about using the transit system and make up a substantially larger market. The transit system shall serve major trip generators and attractors such as the UF campus, existing transit hubs, and transit supportive areas with safe, pleasant and convenient transit stops, while also providing for the transportation-disadvantaged. Increase transit ridership consistent with the goals in the Transit Development Plan.

Objective 7.1 Provide multi-modal opportunities and mixed-use development areas to reduce single-occupant automobile trips and reduce vehicle miles traveled.

Policy 7.1.5 The City shall use the Transportation Mobility Program Area as mapped in the Transportation Mobility Element Data and Analysis Report to encourage redevelopment within the City, and to promote transportation choices.

Policy 7.2.2 The City shall encourage the use of sustainable forms of travel, more transportation choice, and a better retail environment to reduce traffic congestion and improve the City's transportation level of service.

Petition Number: PB-18-117 ZON

GOAL 10

IMPLEMENT A TRANSPORTATION MOBILITY PROGRAM THAT PROMOTES AND ENHANCES:

- A. URBAN REDEVELOPMENT;**
- B. INFILL DEVELOPMENT;**
- C. A VARIETY OF TRANSPORTATION CHOICES AND OPPORTUNITIES INCLUDING AUTOMOTIVE, PEDESTRIAN, BICYCLE AND TRANSIT;**
- D. THE CITY'S ECONOMIC VIABILITY;**
- E. DESIRABLE URBAN DESIGN AND FORM;**
- F. A MIX OF RESIDENTIAL AND NON-RESIDENTIAL USES;**
- G. STREETSCAPING/LANDSCAPING OF ROADWAYS WITHIN THE CITY; AND**
- H. PEDESTRIAN AND BICYCLIST COMFORT, SAFETY AND CONVENIENCE.**

Policy 10.1.6 For any development or redevelopment within Zone B, the developer shall, at the developer's expense, meet the following transportation mobility criteria based on the development's (including all phases) trip generation and proportional impact on transportation mobility needs. The criteria chosen shall relate to the particular development site and the transportation mobility conditions and priorities in the zone, adjacent zones, and/or citywide for criteria that benefit the overall transportation system. Based on cost estimates provided by the developer and verified by the City, the City shall have the discretion to count individual criteria as equivalent to two or more criteria for purposes of satisfying transportation mobility requirements. Provision of the required transportation mobility criteria shall be subject to final approval by the City during the development review process and shall be memorialized in a TMPA agreement between the City and the developer.

Net, New Average Daily Trip Generation	Number of Criteria That Shall Be Met
50 or less	At least 1
51 to 100	At least 2
101 to 400	At least 3
401 to 1,000	At least 5
1,001 to 5,000	At least 8
Greater than 5,000	At least 12 and meet either a. or b.: <ul style="list-style-type: none"> a. Located on an existing RTS transit route with minimum 15-minute frequencies in the a.m. and p.m. peak hours. b. Provide funding for a new RTS transit route with minimum 15-minute frequencies in the a.m. and p.m. peak hours or provide funding to improve RTS transit headways to minimum 15-minute frequencies in the a.m. and p.m. peak hours. Funding for new routes shall include capital and operating costs for a minimum of 5 years. Funding for existing route expansions or enhancements shall include capital and operating costs for a minimum of 3 years.

Zone B Criteria

Petition Number: PB-18-117 ZON

- a. Intersection and/or signalization modifications to address congestion management, including, but not limited to: signal timing studies, fiber optic interconnection for traffic signals, roundabouts, OPTICOM signal preemption, transit signal prioritization, and/or implementation of the Gainesville Traffic Signalization Master Plan. The Master Plan includes installation of Intelligent Transportation System (ITS) features such as state of the art traffic signal controllers, dynamic message signs, and traffic monitoring cameras designed to maximize the efficiency of the roadway network by reducing congestion and delay.
- b. Addition of lanes on existing road facilities (including, but not limited to, the 4-lane expansion of SR 121 north of US 441 to CR 231), where acceptable to the City and/or MTPO, as relevant.
- c. Construction of new road facilities that provide alternate routes, reduce congestion, and create a better gridded network.
- d. Use of joint driveways or cross-access to reduce curb cuts.
- e. Participation in a transportation demand management program that provides funding or incentives for transportation modes other than single occupant vehicle. Such demand management programs shall provide annual reports of operations to the City indicating successes in reducing single occupant vehicle trips.
- f. Provision of ride sharing or van pooling programs.
- g. Provision of Park and Ride facilities, built to RTS needs and specifications.
- h. Provision of bus pass programs provided to residents and/or employees of the development. The bus passes must be negotiated as part of a contract with the Regional Transit System.
- i. Deeding of land for the addition and construction of bicycle lanes that meet City specifications. Prior to deeding land for right-of-way, the developer and the City must agree upon the fair market value of the land for the purposes of meeting this criterion. The developer may submit an appraisal to the City to establish fair market value, subject to review and approval by the City.
- j. Provision of additional bicycle parking over the minimum required by the Land Development Code. Additional bicycle parking may be used to substitute for the required motorized vehicle parking.
- k. Enhancements to the City's off-street paved trail network (as shown in the Transportation Mobility Map Series) that increase its utility as a multi-modal transportation route. Such enhancements may include, but shall not be limited to: 1) trail amenities such as benches, directional signage, or safety systems; 2) bicycle parking at entry points or connections with transit lines; 3) land acquisition for expansion or better connectivity; 4) additional entry points to the off-street paved trail network; 5) bridges spanning creeks or wetland areas; and 6) appropriate off-street trail surfacing.
- l. Funding of streetscaping/landscaping (including pedestrian-scale lighting, where relevant) on public rights-of-way or medians, as coordinated with the implementation of the City's streetscaping plans.
- m. In order to increase the attractiveness of the streetscape and reduce visual clutter along roadways to promote a more walkable environment, provision of no ground-mounted signage at the site for parcels with 100 linear feet or less of property frontage, or removal of non-

Petition Number: PB-18-117 ZON

conforming signage or billboards at the site. Signage must meet all other regulations in the Land Development Code.

- n. Widening of existing public sidewalks to increase pedestrian mobility and safety.
- o. Construction of public sidewalks where they do not currently exist or completion of sidewalk connectivity projects. Sidewalk construction required to meet Land Development Code requirements along property frontages shall not count as meeting TMPA criteria.
- p. Payments to RTS that either increase service frequency or add additional transit service, including Express Transit service and/or Bus Rapid Transit, where appropriate.
- q. Funding for the construction of new or expanded transit facilities.
- r. Construction of bus shelters built to City specifications.
- s. Bus shelter lighting using solar technology designed and constructed to City specifications.
- t. Construction of bus turn-out facilities to City specifications.
- u. Construction of access to transit stops and/or construction of transit boarding and alighting areas.
- v. Business operations shown to have limited or no peak-hour roadway impact.
- w. An innovative transportation-mobility-related modification submitted by the developer, where acceptable to and approved by the City.

Petition Number: PB-18-117 ZON

Appendix B Supplemental Documents

- Exhibit B-1: Application
- Exhibit B-2: Division 2 - Transects
- Exhibit B-3: Map: Existing Transit Hubs & Transit-Supportive Areas
- Exhibit B-4: Letter from Alachua County Public Schools
- Exhibit B-5: Memorandum from City's Urban Forestry Inspector



180398A
EXHIBIT
B-1

APPLICATION—CITY PLAN BOARD
Planning & Development Services

OFFICE USE ONLY	
Petition No. <u>PB-18-117</u>	Fee: \$ <u> </u>
1 st Step Mtg Date: <u> </u>	EZ Fee: \$ <u> </u>
Tax Map No. <u> </u>	Receipt No. <u> </u>
Account No. 001-660-6680-3401 []	
Account No. 001-660-6680-1124 (Enterprise Zone) []	
Account No. 001-660-6680-1125 (Enterprise Zone Credit) []	

Owner(s) of Record (please print)	
Name:	<u>See Attached</u>
Address:	<u>See Attached</u>
<u>(Oaks Mall Land Use & Zoning Petitions 2018: Owners & Record)</u>	
Phone:	Fax: <u>Record</u>
(Additional owners may be listed at end of applic.)	

Applicant(s)/Agent(s), if different	
Name:	<u>City Plan Board</u>
Address:	<u>P.O. Box 490, Station 11 Gainesville, FL 32627</u>
Phone:	Fax:
<u>(352) 334-5022</u>	

Note: It is recommended that anyone intending to file a petition for amendments to the future land use map or zoning map atlas, meet with the Department of Community Development prior to filing the petition in order to discuss the proposed amendment and petition process. Failure to answer all questions will result in the application being returned to the applicant.

REQUEST

Check applicable request(s) below:

Future Land Use Map []	Zoning Map [<input checked="" type="checkbox"/>]	Master Flood Control Map []
Present designation:	Present designation: <u>BUS</u>	Other [] Specify:
Requested designation:	Requested designation: <u>UB: Urban</u>	

INFORMATION ON PROPERTY

1. Street address:	<u>6419 W. Newberry Rd, Gainesville, FL 32605</u>
2. Map no(s):	<u>3941</u>
3. Tax parcel no(s):	<u>06655-005-011/-015/-016/-017/-018/-021/-023</u>
4. Size of property:	<u>approx 90.7</u> acre(s)

All requests for a land use or zoning change for property of less than 3 acres are encouraged to submit a market analysis or assessment, at a minimum, justifying the need for the use and the population to be served. All proposals for property of 3 acres or more must be accompanied by a market analysis report.

Certified Cashier's Receipt:

5. Legal description (attach as separate document, using the following guidelines):
- a. Submit on 8 1/2 x 11 in. sheet of paper, separate from any other information.
 - b. May not be included as part of a Purchase Agreement, Contract for Sale, Lease Agreement, Transfer of Title, Warranty Deed, Notice of Ad Valorem Taxes, Print-outs from Property Appraiser's Office, etc.
 - c. Must correctly describe the property being submitted for the petition.
 - d. Must fully describe directions, distances and angles. Examples are: North 20 deg. West 340 feet (not abbreviated as N 20 deg. W 340'); Right-of-Way (not abbreviated as R/W); Plat Book (not abbreviated as PB); Official Records Book 1, page 32 (not abbreviated as OR 1/32); Section 1, Township 9 South, Range 20 East (not abbreviated as S1-T9S-R20E).

6. INFORMATION CONCERNING ALL REQUESTS FOR LAND USE AND/OR ZONING CHANGES (NOTE: All development associated with rezonings and/or land use changes must meet adopted level of service standards and is subject to applicable concurrency requirements.)

A. What are the existing surrounding land uses?

North (Across S.R. 26/Newberry Rd) North Florida Regional Medical Center (O/MD); (REC/PD); (CON/PD)
 Retail, Restaurant (Alachua County Tourist/Entertainment / BH [Highway oriented] [Business])
 South Multi-Family Residential (MUL-MU-1) [Hampton Oaks Apartments]

East (Across SW 62nd St): Commercial (C/BUS); Vacant strip (CON/CON);
 Elementary school (E/ED); Office park (O/OF) ("Windsor Park")

West Commercial (C/BUS) [Oaks Mall Plaza] (Retail)
 Multi-Family Residential (RM/RMF-7) [Oaks Apartments]

B. Are there other properties or vacant buildings within 1/2 mile of the site that have the proper land use and/or zoning for your intended use of this site?

NO

YES _____ If yes, please explain why the other properties cannot accommodate the proposed use?

C. If the request involves nonresidential development adjacent to existing or future residential, what are the impacts of the proposed use of the property on the following:

N/A - existing nonresidential land use, zoning & development.
Residential streets

Noise and lighting

D. Will the proposed use of the property be impacted by any creeks, lakes, wetlands, native vegetation, greenways, floodplains, or other environmental factors or by property adjacent to the subject property?

NO YES (If yes, please explain below)

E. Does this request involve either or both of the following?

a. Property in a historic district or property containing historic structures?

NO YES

b. Property with archaeological resources deemed significant by the State?

NO YES

F. Which of the following best describes the type of development pattern your development will promote? (please explain the impact of the proposed change on the community):

- Redevelopment
- Activity Center
- Strip Commercial
- Urban Infill
- Urban Fringe
- Traditional Neighborhood

Explanation of how the proposed development will contribute to the community.

Increased development/redevelopment potential by allowing mixed-use land use/zoning/development. Current land use and zoning is limited to non-residential.

G. What are the potential long-term economic benefits (wages, jobs & tax base)?

Potential increase in wages, higher-level jobs, and increased tax base.

H. What impact will the proposed change have on level of service standards?

Roadways *TMPA ZONE B - EXEMPT FROM TRANSPORTATION CONCURRENCY* (ROADWAY)

Recreation *Addition of residential use may impact recreation LOS.*

Water and Wastewater *Existing service area w/ service provided to existing 906,791 Sq. ft. @ small development.*

Solid Waste *" " " "*

Mass Transit *NO negative impact. Existing transit hub. Served by RTS routes 20, 23 and 75.*

I. Is the location of the proposed site accessible by transit, bikeways or pedestrian facilities?

NO YES (please explain)

There are no bikeways adjacent to property, but there are sidewalks on S.R. 26 (Newberry RD) and on SW 62nd ST, and a multi-use path along SW 62nd ST from Terwilliger Elementary School southward.
This property is part of the Oaks Mall/North Florida Regional Medical Center transit hub. This is a designated, Existing Transit Hub in the Transportation Mobility Element Map Series map entitled "Existing Transit Hubs & Transit Supportive Areas."

CERTIFICATION

The undersigned has read the above application and is familiar with the information submitted. It is agreed and understood that the undersigned will be held responsible for its accuracy. The undersigned hereby attests to the fact that the parcel number(s) and legal description(s) shown in questions 3 and 5 is/are the true and proper identification of the area for which the petition is being submitted. Signatures of all owners or their agent are required on this form. Signatures by other than the owner(s) will be accepted only with notarized proof of authorization by the owner(s).

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

Owner of Record	
Name:	
Address:	
Phone:	Fax:
Signature:	

No person submitting an application may rely upon any comment concerning a proposed amendment, or any expression of any nature about the proposal made by any participant, at the pre-application conference as a representation or implication that the proposal will be ultimately approved or rejected in any form.

To meet with staff to discuss the proposal, please call (352) 334-5022 or 334-5023 for an appointment.

Dean Myrns, AICP
City Plan Board
 Owner/Agent Signature
August 16, 2018
 Date

STATE OF FLORIDA
COUNTY OF _____

Sworn to and subscribed before me this _____ day of _____ 20____, by (Name)

Signature – Notary Public

Personally Known ___ OR Produced Identification ___ (Type) _____

Oaks Mall Land Use & Zoning Petitions 2018: Owners of Record

Owner of Record (Parcel No. 06655-005-021)

Name: OAKS MALL GAINESVILLE LTD c/o BJ'S RESTAURANT INC.

Address: HUNTINGTON BEACH, CA 92647

Owner of Record (Parcel No. 06655-005-015)

Name: OAKS MALL GAINESVILLE LTD c/o BOSTON MARKET CORPORATION, PROPERTY ADMINISTRATION #559

Address: GOLDEN, CO 80401

Owner of Record (Parcel No. 06655-005-011)

Name: OAKS MALL GAINESVILLE LTD c/o THOMSON REUTERS

Address: CARLSBAD, CA 92018

Owner of Record (Parcel Nos. 06655-005-018)

Name: OAKS MALL GAINESVILLE LTD c/o GENERAL GROWTH PROPERTIES

Address: CHICAGO, IL 60661-7905

Owners of Record (Parcel Nos. 06655-005-017, 0665-005016)

Name: SERITAGE SRC FINANCE, LLC

Address: HOFFMAN ESTATES, IL 60179

Owner of Record (Parcel Nos. 06655-005-023)

Name: OAKS MALL GAINESVILLE LTD

Address: PO Box 617905, CHICAGO, IL 60661-7905

*How can I
empower you?*

Gainesville Sun
Monday
August 13, 2018

Public Notice

The City of Gainesville Department of Doing will hold a neighborhood workshop to discuss land use and zoning changes that the City is proposing. The proposal is to change the land use and zoning categories of the Oaks Mall (approximately 86.9 acres in total) from Commercial (C) and General business district (BUS) to Urban Mixed-Use (UMU): up to 60 units/acre and up to 20 additional units/acre by Special Use Permit, and U8 (Urban 8). This developed property is located at the southwest corner of the intersection of W Newberry Road (S.R. 26) and NW 62nd ST. The purpose of the meeting is to get input from property owners and interested members of the public. The meeting will be held on Tuesday, August 28, 2018 at 6:00 p.m. inside the Oaks Mall (6419 W. Newberry Road Gainesville, FL 32605) in the court area next to Dillard's department store. Contact the Department of Doing at (352) 334-5022 (or by email at cogplanning@cityofgainesville.org) for more information.

Sent by 1st Class
Mail, Monday
August 13, 2018

Neighborhood Workshop

Proposed Small-scale Land Use Amendment and Rezoning

Date: August 28, 2018, Tuesday

Time: 6:00 PM

Where: Oaks Mall (6419 W. Newberry Road Gainesville, FL 32605)
inside - in the court area next to Dillards department store



A neighborhood workshop will be held by the City of Gainesville to discuss changing the land use and zoning of the Oaks Mall (approximately 86.9 acres in total) from Commercial (C) and General business district (BUS) to Urban Mixed-Use (UMU): up to 60 units/acre and up to 20 additional units/acre by Special Use Permit, and U8 (Urban 8). A reference map is included in this notification.

This is not a public hearing. The purpose of the meeting is to inform neighboring property owners and interested members of the public of the nature of the proposals and to seek their input.

Contact Dean Mimms, AICP, Planning Consultant, City of Gainesville Department of Doing, tel. (352) 393-8688 or 334-5022, e-mail mimmsdl@cityofgainesville.org, if you need more information or if you cannot attend the workshop and you wish to provide comments for the workshop.

MINUTES

Neighborhood Workshop

Proposed Small-scale Land Use Amendment and Rezoning

Date: August 28, 2018, Tuesday

Time: 6:00 PM



Where: Oaks Mall (6419 W. Newberry Road
Gainesville, FL 32605) inside - in the court area next to Dillards
department store

A neighborhood workshop was held by the City of Gainesville to discuss changing the land use and zoning of the Oaks Mall (approximately 90.7 acres in total) from Commercial (C) and General business district (BUS) to Urban Mixed-Use (UMU): up to 60 units/acre and up to 20 additional units/acre by Special Use Permit, and U8 (Urban 8).

The purpose of the workshop was to inform neighboring property owners and interested members of the public of the nature of the proposals and to seek their input.

Dean Mimms, AICP, Planning Consultant, City of Gainesville Department of Doing, introduced himself and welcomed the four attendees, each of whom is an affected party (owners or representatives of owners of property within 400 feet of the multi-parcel property that is the subject of the City-proposed land use amendment and related rezoning). The attendees were: Angie McCann, CSM, Senior General Manager of The Oaks Mall; Jennifer Melara, 6919 West Newberry RD, #1015; Madeleine Mills, Vice-President – Marketing Manager, Community Bank & Trust of Florida, 6120 NW 1st Place; and John S. Roberts, Jr., Vice-President – Commercial Banking Officer, Community Bank & Trust of Florida, 6120 NW 1st Place, Gainesville, FL 32605.

Mr. Mimms gave an overview of the relationship between the City's Comprehensive Plan and the Land Development Code (including zoning), and briefly described the process of amending the comprehensive plan (in this case, amending the future land use category of a property) and of rezoning. He noted that the Oaks Mall is not subject to review as a Development of Regional Impact (under F.S. 380.06).

Mr. Mimms explained that both the proposed land use change to Urban Mixed-Use and rezoning to the U8 (Urban 8) transect zone will add residential use (the existing Commercial (C) land use and General business district (BUS) allow only non-residential categories) to the list of permitted uses for this major developed property. This will allow for future mixed-use development at this dynamic location, with attendant trip

capture/relative reduction in roadway trips due to the juxtaposition of residential and non-residential uses.

Ms. McCann, in response to questions from Mr. Roberts and Ms. Mills, explained that UF Health was in the process of obtaining the required permits for converting the former Sears department store space in the Fall of 2018 into medical and dental offices, and that the Sears automotive center space was planned for conversion to an outpatient surgery center early in 2019. Mr. Mimms had previously stated that the proposed UMU land use and U8 zoning, following expected amendment of the Land Development Code in September 2018, will allow outpatient surgery (under *Health service* (means establishments primarily engaged in furnishing medical, surgical and other health services to persons and pets)).

In response to concerns about traffic that were expressed by attendees, Mr. Mimms explained that although the entire city is transportation concurrency exempt, any given development or redevelopment must meet various transportation mobility requirements that are specified in the Transportation Mobility Element of the Comprehensive Plan. He added that SW 62nd Street is soon expected to be repaved from Newberry RD to SW 20th AVE, and that construction of the SW 62nd Blvd extension connecting SW 20th Ave to Archer Rd is an approved, major project that is expected to get underway in several years [Staff since confirmed in the draft, updated Schedule of Capital Improvements that this is currently scheduled for FY 2020/2021].

Ms. McCann responded to questions about parking by explaining that the Oaks Mall is allowing the faculty and staff of nearby Terwilliger Elementary School to park on the Oaks Mall property. The Mall is also leasing parking to the North Florida Regional Medical Center the on-site parking for which has been impacted by construction at North Florida.

Mr. Mimms reviewed the tentative schedule for the City Plan Board and City Commission hearings, and thanked everyone for coming and participating in the workshop, which ended at approximately 6:40 PM.



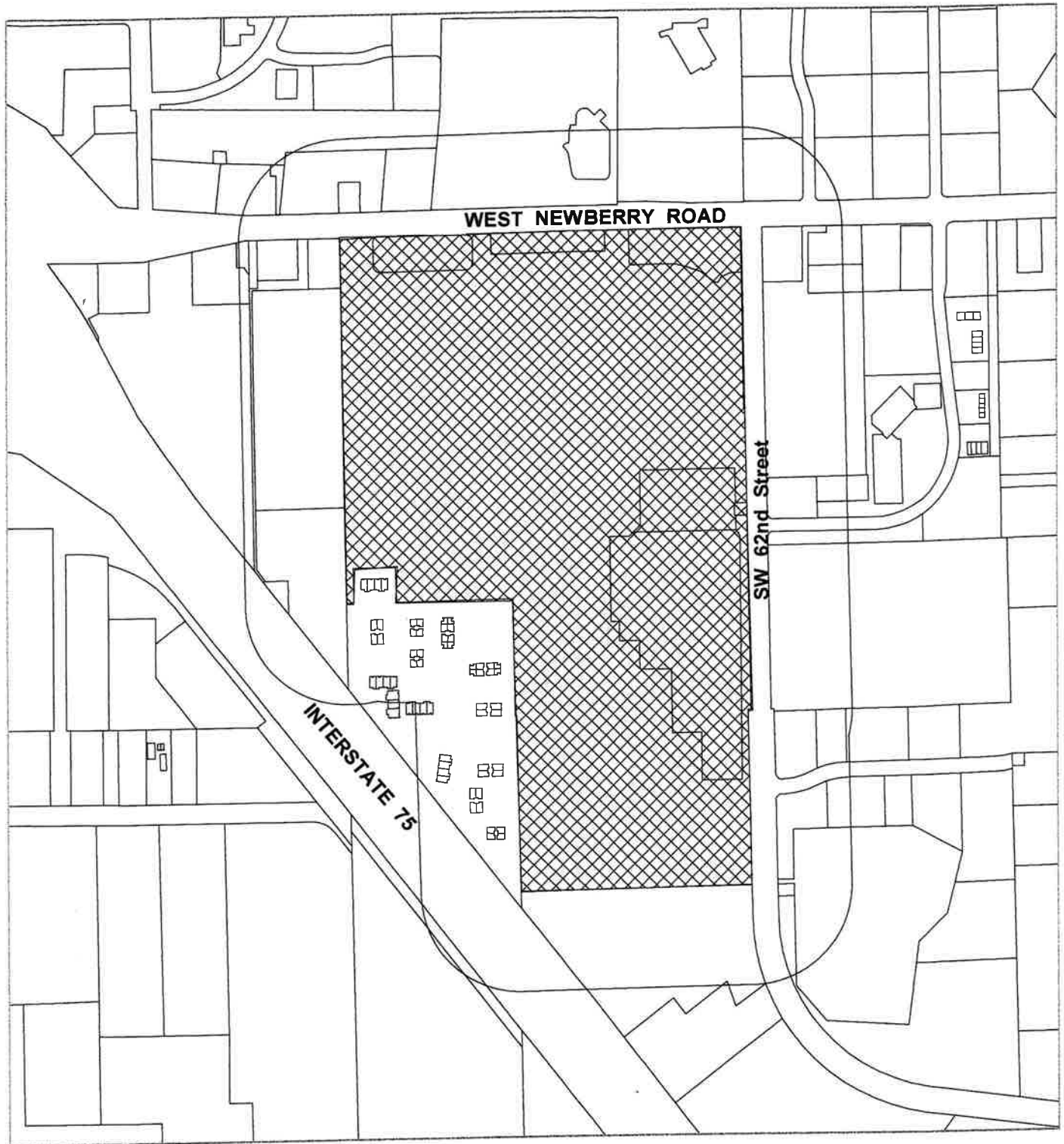
City of Gainesville
Department of Doing
 PO Box 490, Station 11
 Gainesville, FL 32627-0490
 306 NE 6th Avenue
 P: (352) 334-5022
 F: (352) 334-2648

SPEAKER SIGN -IN FORM

Oaks Mall Neighborhood Workshop – August 28, 2018

Please print

NAME	ADDRESS
Jennifer Melara	6519 West Newberry Rd. #1015
John Roberts	6120 NW 1 st Pl
Madeleine Mills	6120 NW 1st Pl. 32605
Angie McPhee	6419 Newberry 32605



Proposed Land Use and Zoning Change to Oaks Mall

- Parcels #06655-005-011
 #06655-005-015
 #06655-005-016
 #06655-005-017
 #06655-005-018
 #06655-005-021

400-Foot Notification Radius



Prepared by: Planning and Development Services Department
 City of Gainesville, Florida
 Date: 8/10/2018

This map is for informational purposes only. Do not rely on this map for accuracy of dimensions, size or location. The City of Gainesville does not assume responsibility to update this information or for any error or omission on this map. For specific information, you are directed to contact the City of Gainesville, Florida.

Neighborhood Workshop Notice

06655-112-511 Oaks Mall Luse/Rezoning
2 DAYS LLC
440 SW 18TH CT
POMPAÑO BEACH FL 33060

Neighborhood Workshop Notice

06655-117-113 Oaks Mall Luse/Rezoning
ABRAHAM JACCILLEN & JOCELYNE R
6519 W NEWBERRY RD #1013
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06340-012-105 Oaks Mall Luse/Rezoning
AGRIDALE LLC
222 SW 131ST ST
NEWBERRY FL 32669

Neighborhood Workshop Notice

06655-113-603 Oaks Mall Luse/Rezoning
ALEXAITIS & ALEXAITIS
5113 NW 234TH ST
NEWBERRY FL 32669-2325

Neighborhood Workshop Notice

06655-117-114 Oaks Mall Luse/Rezoning
ANEIROS JORGE A & MIRELLY A
7641 SW 134TH CT
MIAMI FL 33183

Neighborhood Workshop Notice

06655-110-303 Oaks Mall Luse/Rezoning
BAHAM & CLIFFORD
7761 SW 88TH ST #D114
MIAMI FL 33156

Neighborhood Workshop Notice

06655-114-710 Oaks Mall Luse/Rezoning
BANNON MARK K
5312 SW 88TH CT
GAINESVILLE FL 32608-4107

Neighborhood Workshop Notice

06655-115-807 Oaks Mall Luse/Rezoning
BLACKBURN CHARLES E & JENNIFE
6062 COUNTY ROAD 219
MELROSE FL 32666

Neighborhood Workshop Notice

06655-108-105 Oaks Mall Luse/Rezoning
BREJ & BREJ
3243 RFD
LONG GROVE IL 60047

Neighborhood Workshop Notice

06655-204-000 Oaks Mall Luse/Rezoning
C & G ILLUMINATIONS LLC
4437 SW 91ST DR
GAINESVILLE FL 32608

Neighborhood Workshop Notice

06340-002-000 Oaks Mall Luse/Rezoning
7-ELEVEN INC AD VALOREM TAX
STORE # 40323
PO BOX 711
DALLAS TX 75221-0711

Neighborhood Workshop Notice

06655-027-006 Oaks Mall Luse/Rezoning
ACTION MANAGEMENT OF
GAINESVILLE
6110 NW 1ST PL
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06340-012-107 Oaks Mall Luse/Rezoning
AGRIDALE LLC
6440 WEST NEWBERRY RD #111
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-107-003 Oaks Mall Luse/Rezoning
ALISSA MUSTAFA
9964 NW 22ND RD
GAINESVILLE FL 32606

Neighborhood Workshop Notice

06655-002-020 Oaks Mall Luse/Rezoning
AVANATH HAMPTON OAKS LLC
17901 VON KARMAN AVE #150
IRVINE CA 92614

Neighborhood Workshop Notice

06340-012-409 Oaks Mall Luse/Rezoning
BAILEY GREG
6440 WEST NEWBERRY RD #409
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-116-903 Oaks Mall Luse/Rezoning
BARON & NINO
4319 NW 29TH ST
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-118-104 Oaks Mall Luse/Rezoning
BRACKEN CHRISTY D
3085 NW 28TH CIRCLE
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-111-408 Oaks Mall Luse/Rezoning
BROWN DON MCNARE TRUSTEE
1560 BANYAN WAY
WESTON FL 33327

Neighborhood Workshop Notice

06655-108-107 Oaks Mall Luse/Rezoning
CARDOSO GERARDO
1635 CHERRY GROVE DR
SAN JOSE CA 95125-5510

Neighborhood Workshop Notice

06340-006-000 Oaks Mall Luse/Rezoning
ABC PROPERTIES LTD
PO BOX 593688
ORLANDO FL 32859-3688

Neighborhood Workshop Notice

06655-121-004 Oaks Mall Luse/Rezoning
AGABIN ORLINO R & CLETA D
2391 URSULA LN
PENSACOLA FL 32526

Neighborhood Workshop Notice

06655-121-006 Oaks Mall Luse/Rezoning
AKEL CHRISTOPHER
3538 PASEO DE LOS AMERICANOS #134
OCEANSIDE CA 92056

Neighborhood Workshop Notice

06655-112-508 Oaks Mall Luse/Rezoning
ALPIZAR & ESCALONA W/H
8137 NW 53RD ST
GAINESVILLE FL 32653-6146

Neighborhood Workshop Notice

06655-116-911 Oaks Mall Luse/Rezoning
AZUI GROUP LLC
17310 SW 95TH AVE
ARCHER FL 32618

Neighborhood Workshop Notice

06655-119-212 Oaks Mall Luse/Rezoning
BAKER TABRISHA D
6519 W NEWBERRY RD #1212
GAINESVILLE FL 32605-4331

Neighborhood Workshop Notice

06655-109-208 Oaks Mall Luse/Rezoning
BATES & BATES
1323 NW 51ST TER
GAINESVILLE FL 32605-4425

Neighborhood Workshop Notice

06655-002-002 Oaks Mall Luse/Rezoning
BRAVOFLORIDA LLC
4220 EDISON LAKES PARKWAY
MISHAWAJA IN 46545

Neighborhood Workshop Notice

06655-119-203 Oaks Mall Luse/Rezoning
BRYANT JACOB ANDREW & LUANNE
2297 SE 12TH ST
POMPAÑO BEACH FL 33062-7036

Neighborhood Workshop Notice

06655-119-204 Oaks Mall Luse/Rezoning
CARLSON DOUGLAS M
6519 WEST NEWBERRY RD #1204
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-111-405 Oaks Mall Luse/Rezoning
CARON & KLUSENDORF
6519 W NEWBERRY RD #405
Gainesville FL 32605

Neighborhood Workshop Notice

06655-111-406 Oaks Mall Luse/Rezoning
CHRISTENSEN CHARLES G & REBEC
370 SW 62ND BLVD #11
GAINESVILLE FL 32607-2044

Neighborhood Workshop Notice

06655-002-014 Oaks Mall Luse/Rezoning
CLB INC
6450 SW ARCHER RD #240
GAINESVILLE FL 32608

Neighborhood Workshop Notice

06655-108-111 Oaks Mall Luse/Rezoning
COLLINS JERMAINE NEAL
6519 NEWBERRY RD #111
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-117-103 Oaks Mall Luse/Rezoning
COOK CHRISTINE P
1605 NE 7TH TER
GAINESVILLE FL 32609

Neighborhood Workshop Notice

06655-108-108 Oaks Mall Luse/Rezoning
CRUZ TONI S
6519 W NEWBERRY RD #108
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-109-204 Oaks Mall Luse/Rezoning
DAGMA INVESTMENT LLC
17310 SW 95TH AVE
ARCHER FL 32618-3402

Neighborhood Workshop Notice

06655-117-102 Oaks Mall Luse/Rezoning
DINH KHIEM
12 LONE PNE
IRVINE CA 92604-4699

Neighborhood Workshop Notice

06655-118-103 Oaks Mall Luse/Rezoning
DUPEE & HOLLEY H/W
9220 SW 14TH AVE
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-027-002 Oaks Mall Luse/Rezoning
EQUILEASE AT WINDSOR PARK II
3501 SW 2ND AVE #2400
GAINESVILLE FL 32607-2814

Neighborhood Workshop Notice

06655-107-009 Oaks Mall Luse/Rezoning
CARTER & CARTER
10690 83RD PL
LIVE OAK FL 32060-7193

Neighborhood Workshop Notice

06655-107-001 Oaks Mall Luse/Rezoning
CINTRON PEDRO
6519 W NEWBERRY RD #A2
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-002-001 Oaks Mall Luse/Rezoning
COALITION PARTNERSHIP % JOYCE
DEVELOPMENT GROUP
4337 PABLO OAKS CT #102
JACKSONVILLE FL 32224

Neighborhood Workshop Notice

06655-027-003 Oaks Mall Luse/Rezoning
COMMUNITY BANK AND TRUST
PO BOX 1570
OCALA FL 34478

Neighborhood Workshop Notice

06655-112-507 Oaks Mall Luse/Rezoning
CORTES MARIBEL CABRERA
6122 BYRN WOOD ST
ORLANDO FL 32822

Neighborhood Workshop Notice

06655-115-812 Oaks Mall Luse/Rezoning
CULBRETH DANIEL R II
6519 W NEWBERRY RD #812
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-119-209 Oaks Mall Luse/Rezoning
DEERY THOMAS G & JULIA F
6519 W NEWBERRY ROAD APT. 1209
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-113-610 Oaks Mall Luse/Rezoning
DONOVAN TIMOTHY E
6519 W NEWBERRY RD #610
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-027-001 Oaks Mall Luse/Rezoning
ECKEL & REISNER
3922 NW 186TH ST
NEWBERRY FL 32669

Neighborhood Workshop Notice

06655-114-705 Oaks Mall Luse/Rezoning
ESTEBAN EMILIO C & IRMA C
4916 NW 52ND AVE
COCONUT CREEK FL 33073-3329

Neighborhood Workshop Notice

06655-113-607 Oaks Mall Luse/Rezoning
CASWELL JOSEPH D & PEGGY
10804 SW 92ND PL
GAINESVILLE FL 32608-5825

Neighborhood Workshop Notice

06655-005-001 Oaks Mall Luse/Rezoning
CITY OF GAINESVILLE
PO BOX 490 MS 58
GAINESVILLE FL 32627

Neighborhood Workshop Notice

06655-108-112 Oaks Mall Luse/Rezoning
COLLINS & COLLINS & COLLINS
1839 SAILFISH CT
KISSIMMEE FL 34744

Neighborhood Workshop Notice

06655-115-802 Oaks Mall Luse/Rezoning
CONTRERAS GERMAN DANIEL
6519 W NEWBERRY #802
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-107-008 Oaks Mall Luse/Rezoning
CROSS JOSEPH A & DENISE A
8148 SW 78TH TERRACE RD
OCALA FL 34476-4504

Neighborhood Workshop Notice

06655-118-107 Oaks Mall Luse/Rezoning
CURRAN & CURRAN
PO BOX 315
HIGH SPRINGS FL 32655-0315

Neighborhood Workshop Notice

06655-113-612 Oaks Mall Luse/Rezoning
DIGIOVANNI & YANCEY % YANCEY
8822 SW 38TH AVE
GAINESVILLE FL 32608-8694

Neighborhood Workshop Notice

06655-108-102 Oaks Mall Luse/Rezoning
DOUGLASS & MISEIRVITCH & MISE
6519 W NEWBERRY RD #102
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-116-902 Oaks Mall Luse/Rezoning
EMORY GROUP (THE)
2145 SW 94TH TER
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-117-107 Oaks Mall Luse/Rezoning
FERNANDEZ & SANCHEZ H/W
9900 WEST CALUSA CLUB DR
MIAMI FL 33186

Neighborhood Workshop Notice

06655-002-017 Oaks Mall Luse/Rezoning
FLORIDA CONVALESCENT CENTERS
2033 MAIN ST #300
SARASOTA FL 34237

Neighborhood Workshop Notice

06655-115-808 Oaks Mall Luse/Rezoning
FOWLER RICHARD O & JEAN T
4136 ALPINE DR
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-117-105 Oaks Mall Luse/Rezoning
GOESS & GOESS
5591 NE 103RD TER
BRONSON FL 32621

Neighborhood Workshop Notice

06340-012-503 Oaks Mall Luse/Rezoning
GREGORY J BAILEY WOMEN'S CENT
6440 W NEWBERRY RD #409
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-110-301 Oaks Mall Luse/Rezoning
HALVOSA JAMES J
5232 SW 86TH TER
GAINESVILLE FL 32608-4116

Neighborhood Workshop Notice

06655-109-203 Oaks Mall Luse/Rezoning
HATCHER & THURMOND
6519 W NEWBERRY RD #203
Gainesville FL 32605

Neighborhood Workshop Notice

06655-114-703 Oaks Mall Luse/Rezoning
HENDERSON & MULLIN H/W
8622 SW 42ND PL
GAINESVILLE FL 32608

Neighborhood Workshop Notice

06655-108-104 Oaks Mall Luse/Rezoning
HOWARD AMY L AMY HOWARD
3603 NW 98TH ST #C
GAINESVILLE FL 32606

Neighborhood Workshop Notice

06655-113-602 Oaks Mall Luse/Rezoning
INGRAM BRIAN C
6519 W NEWBERRY RD #602
GAINESVILLE FL 32606

Neighborhood Workshop Notice

06655-119-207 Oaks Mall Luse/Rezoning
JONES JERRY W & ALICE
8138 SW 51ST BLVD
GAINESVILLE FL 32608

Neighborhood Workshop Notice

06655-114-711 Oaks Mall Luse/Rezoning
FLORIDA NORTH CENTRAL LLC
18034 SW 144TH PL
MIAMI FL 33177

Neighborhood Workshop Notice

06340-012-401 Oaks Mall Luse/Rezoning
GAINESVILLE PEDIATRIC REAL
ESTATE PARTNERS LLC
6440 W NEWBERRY RD #402
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-112-505 Oaks Mall Luse/Rezoning
GOLDEN & TIDWELL
6519 W NEWBERRY RD #505
Gainesville FL 32605

Neighborhood Workshop Notice

06340-012-208 Oaks Mall Luse/Rezoning
GROVER & MAICO W/H
PO BOX 80610
INDIANAPOLIS IN 46280

Neighborhood Workshop Notice

06655-118-111 Oaks Mall Luse/Rezoning
HANLEY RENFRED & JULIET
12907 MEADOWBEND DR
WELLINGTON FL 33414

Neighborhood Workshop Notice

06340-011-000 Oaks Mall Luse/Rezoning
HCA HEALTH SERVICES OF FLA INC
PO BOX 80610
INDIANAPOLIS IN 46280-0610

Neighborhood Workshop Notice

06655-112-501 Oaks Mall Luse/Rezoning
HILL ALLEN L & CAROLYN J
90785 CONOTTON RD
BOWERSTON OH 44695-9783

Neighborhood Workshop Notice

06655-107-007 Oaks Mall Luse/Rezoning
IGNATZ MARK E & HOLLY N
13606 NW 19TH PL
GAINESVILLE FL 32606-5354

Neighborhood Workshop Notice

06655-119-210 Oaks Mall Luse/Rezoning
JAMOOM ERIC W
3542 WARDER ST NW
WASHINGTON DC 20010-1724

Neighborhood Workshop Notice

06655-116-912 Oaks Mall Luse/Rezoning
JUSTINIANO & SALVATIERRA H/W
2800 NW 16TH AVE
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06340-005-000 Oaks Mall Luse/Rezoning
FLURIACH INVESTMENT HOLDINGS
6702 WEST NEWBERRY RD
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06350-041-000 Oaks Mall Luse/Rezoning
GARRETT T L
830 NW 61ST TER
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-113-611 Oaks Mall Luse/Rezoning
GOMEZ MARCOS A
6519 W NEWBERRY #611
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-118-109 Oaks Mall Luse/Rezoning
GUVANIE LOUIS
6519 W NEWBERRY RD #1109
GAINESVILLE FL 32605-4332

Neighborhood Workshop Notice

06655-115-803 Oaks Mall Luse/Rezoning
HARRIS & HARRIS
20503 PINK GRANITE VALLEY
RICHMOND FL 77407

Neighborhood Workshop Notice

06655-005-024 Oaks Mall Luse/Rezoning
HENDERSON R L TRUSTEE %
HENDERSON LAND TRUST
3501 S MAIN ST #1
Gainesville FL 32601-9031

Neighborhood Workshop Notice

06655-002-013 Oaks Mall Luse/Rezoning
HOWARD & WERSHOW TRUSTEES
3603 NW 98TH ST SUITE C
GAINESVILLE FL 32606

Neighborhood Workshop Notice

06655-002-023 Oaks Mall Luse/Rezoning
ILLUMINATIONS II OWNERS ASSN
3603 NW 98TH ST #C
GAINESVILLE FL 32606

Neighborhood Workshop Notice

06655-108-101 Oaks Mall Luse/Rezoning
JIMENEZ & VALLE W/H
6519 W NEWBERRY RD #101
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-113-608 Oaks Mall Luse/Rezoning
KANWAL VINOD
152 BUTLER RD
PRINCETON NJ 08540

Neighborhood Workshop Notice

06340-002-001 Oaks Mall Luse/Rezoning
LAFAYETTE PROPERTIES OF
ALACHUA COUNTY
3501 S MAIN ST #G
GAINESVILLE FL 32601

Neighborhood Workshop Notice
06655-119-201 Oaks Mall Luse/Rezoning
LEMSTROM & WALTERS H/W
6519 W NEWBERRY RD RD #1201
GAINESVILLE FL 32605

Neighborhood Workshop Notice
06655-111-403 Oaks Mall Luse/Rezoning
LEONARD EVERETT L JR
6519 W NEWBERRY RD #403
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-011-000 Oaks Mall Luse/Rezoning
LEWCO INC
621 SE DEPOT AVE
GAINESVILLE FL 32601

Neighborhood Workshop Notice
06655-107-006 Oaks Mall Luse/Rezoning
LINDOR SANDRA
6519 W NEWBERRY RD#A6
GAINESVILLE FL 32605

Neighborhood Workshop Notice
06655-110-305 Oaks Mall Luse/Rezoning
LOPEZ LAURA PINO
6519 W NEWBERRY RD #305
Gainesville FL 32605

Neighborhood Workshop Notice

06655-114-708 Oaks Mall Luse/Rezoning
LORIE & LURIGADOS
14022 SW 74TH TER
MIAMI FL 33183

Neighborhood Workshop Notice
06655-110-306 Oaks Mall Luse/Rezoning
LYNCH LORRAINE J
LA SIESTA 03184 CALLE RODRIGO 89
TORRVIEJA – SPAIN

Neighborhood Workshop Notice
06655-113-609 Oaks Mall Luse/Rezoning
MACHADO MICHAEL
13930 SW 152ND TER
MIAMI FL 33177

Neighborhood Workshop Notice

06655-107-011 Oaks Mall Luse/Rezoning
MARQUETTE RICHARD JULIUS II
PO BOX 605
SORRENTO FL 32776

Neighborhood Workshop Notice
06655-111-412 Oaks Mall Luse/Rezoning
MARRERO RAUL & EVELYN
13460 SW 82ND ST
MIAMI FL 33183

Neighborhood Workshop Notice
06655-111-402 Oaks Mall Luse/Rezoning
MARRIN ALFRED J & ROBIN C
14525 SW 91ST ST
ARCHER FL 32618

Neighborhood Workshop Notice

06655-117-115 Oaks Mall Luse/Rezoning
MELARA & MELARA & MELARA
11945 SW 99TH AVE
MIAMI FL 33176

Neighborhood Workshop Notice
06655-111-401 Oaks Mall Luse/Rezoning
MENDEZ JR & MENDEZ
39 NW 143RD ST
MIAMI FL 33168

Neighborhood Workshop Notice
06655-121-008 Oaks Mall Luse/Rezoning
MERRITT MICHAEL CAMERON
6519 W NEWBERRY RD #B8
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-119-205 Oaks Mall Luse/Rezoning
MESSEBO & TAMRAT H/W
6013 OAK PARK CIR NE
ATLANTA GA 30324-5291

Neighborhood Workshop Notice
06655-002-026 Oaks Mall Luse/Rezoning
MID CITIES INVESTMENT GROUP LLC
16582 FLEUR DE LIS WAY
DELRAY BEACH FL 33446-3617

Neighborhood Workshop Notice
06655-108-103 Oaks Mall Luse/Rezoning
NALABOLU & NALABOLU
2490 BIRNAM WOODS WAY
Gainesville FL 32605-1620

Neighborhood Workshop Notice

06655-114-707 Oaks Mall Luse/Rezoning
NCNM LLC
7219 NW 42ND LN
GAINESVILLE FL 32606

Neighborhood Workshop Notice
06655-117-108 Oaks Mall Luse/Rezoning
NELSON KATRINA
2506 MARY SUE ST SW
LARGO FL 33774-1552

Neighborhood Workshop Notice
06655-121-005 Oaks Mall Luse/Rezoning
NEWBOLD & NEWBOLD
2344 SILVERSIDES LLP
PENSACOLA FL 32526-1565

Neighborhood Workshop Notice

06655-118-106 Oaks Mall Luse/Rezoning
NGUYEN LONG
3805 SW 4TH PL
GAINESVILLE FL 32607-2712

Neighborhood Workshop Notice
06340-012-505 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
PO BOX 80610
INDIANAPOLIS IN 46280

Neighborhood Workshop Notice
06340-012-508 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC
3940 NW 16TH BLVD BLDG B
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06340-012-201 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC
PO BOX 550
NASHVILLE TN 37202-0550

Neighborhood Workshop Notice
06340-012-202 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC
ONE PARK PLAZA
NASHVILLE TN 37203

Neighborhood Workshop Notice
06340-012-502 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC DELL SALTER PA
3940 NW 16TH BLVD BLDG B
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-111-410 Oaks Mall Luse/Rezoning
OAKS 152 LLC
3603 NW 98TH ST #C
GAINESVILLE FL 32606

Neighborhood Workshop Notice
06655-005-021 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD % BJ'S
RESTAURANT INC
7755 CENTER AVEN #300
HUNTINGTON BEACH CA 92647

Neighborhood Workshop Notice
06655-005-018 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD %
GENERAL GROWTH PROPERTIES
PO BOX 617905
CHICAGO IL 60661-7905

Neighborhood Workshop Notice

06655-005-011 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD %
THOMSON REUTERS
PO BOX 2609
CARLSBAD CA 92018

Neighborhood Workshop Notice

06655-118-105 Oaks Mall Luse/Rezoning
OAKS OF GAINESVILLE
CONDOMINIUM
6519 W NEWBERRY RD
Gainesville FL 32605

Neighborhood Workshop Notice

06340-006-001 Oaks Mall Luse/Rezoning
OH TO BE KIDS LTD
6680 W NEWBERRY RD
GAINESVILLE FL 32605-4311

Neighborhood Workshop Notice

06655-116-904 Oaks Mall Luse/Rezoning
ORTIZ TOMAS
3227 SW 101ST TER
GAINESVILLE FL 32607-4604

Neighborhood Workshop Notice

06655-114-709 Oaks Mall Luse/Rezoning
PARRA & PARRA
601 N 46TH AVE
HOLLYWOOD FL 33021

Neighborhood Workshop Notice

06655-111-404 Oaks Mall Luse/Rezoning
PEARCE & PEARCE
6519 W NEWBERRY RD #404
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-109-202 Oaks Mall Luse/Rezoning
PHAM TUAN QUOC
6519 W NEWBERRY RD #202
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-107-005 Oaks Mall Luse/Rezoning
PIETEK DARIA MARIA
6519 W NEWBERRY RD #A5
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-119-206 Oaks Mall Luse/Rezoning
PISANA MARIA
2018 SW 72ND ST
Gainesville FL 32607

Neighborhood Workshop Notice

06655-110-307 Oaks Mall Luse/Rezoning
REID & STRAWDER
6519 W NEWBERRY RD #307
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-005-015 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD
BOSTON MARKET CORPORATION
PROPERTY ADMINISTRATION #559
14103 DENVER WEST PARKWAY
GOLDEN CO 80401

Neighborhood Workshop Notice

06655-109-210 Oaks Mall Luse/Rezoning
OAKS OF GAINESVILLE CONDOMINIUM
ASSOC INC
2630 NW 41ST ST #A
Gainesville FL 32606

Neighborhood Workshop Notice

06655-112-502 Oaks Mall Luse/Rezoning
OKAFOR & OKAFOR & SCOTT-OKAFOR
H/W
9304 SW 21ST AVE
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-107-012 Oaks Mall Luse/Rezoning
PAEZ MARCO & SUSAN
6519 W NEWBERRY RD #A12
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-117-101 Oaks Mall Luse/Rezoning
PARROCHA & PARROCHA
507 GOODWOOD DR
LUTZ FL 33549

Neighborhood Workshop Notice

06655-200-001 Oaks Mall Luse/Rezoning
PENDER NEWKIRK CUST TC09 LLC
514 N FRANKLIN ST #106
TAMPA FL 33602-4801

Neighborhood Workshop Notice

06655-108-109 Oaks Mall Luse/Rezoning
PHILLIPS & PHILLIPS
506 HICKORYWOOD DR
CRAWFORDVILLE FL 32327

Neighborhood Workshop Notice

06655-116-916 Oaks Mall Luse/Rezoning
PIFALO DARLENE LIFE ESTATE
1035 NW 41ST DR
GAINESVILLE FL 32605-4758

Neighborhood Workshop Notice

06655-116-908 Oaks Mall Luse/Rezoning
QUIJADA CARLOS
6519 W NEWBERRY RD #908
Gainesville FL 32605-4356

Neighborhood Workshop Notice

06655-108-110 Oaks Mall Luse/Rezoning
REIDS REAL ESTATE
PO BOX 358822
GAINESVILLE FL 32635

Neighborhood Workshop Notice

06655-115-801 Oaks Mall Luse/Rezoning
OAKS OF GAINESVILLE
CONDOMINIUM
2630 NW 41ST ST #A
Gainesville FL 32606

Neighborhood Workshop Notice

06655-018-000 Oaks Mall Luse/Rezoning
OAKS SQUARE JOINT VENTURE
101 PLAZA REAL SOUTH #200
BOCA RATON FL 33432

Neighborhood Workshop Notice

06655-118-102 Oaks Mall Luse/Rezoning
OROZCO CARLOS M GALINDO
3730 NW 56TH PL #1102
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-109-201 Oaks Mall Luse/Rezoning
PARKER & TILLMAN
16015 SW 15TH AVE
NEWBERRY FL 32669

Neighborhood Workshop Notice

06655-109-205 Oaks Mall Luse/Rezoning
PATEL & PATEL
9123 MID PINES
ORLANDO FL 32819

Neighborhood Workshop Notice

06655-121-009 Oaks Mall Luse/Rezoning
PERSAUD VIDIANAND
3202 DEL PRADO BLVD S
CAPE CORAL FL 33904

Neighborhood Workshop Notice

06655-115-810 Oaks Mall Luse/Rezoning
PIAZZA ANDREW
6519 W NEWBERRY RD #810
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-121-001 Oaks Mall Luse/Rezoning
PINDER & PINDER
6519 W NEWBERRY RD #B1
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-112-506 Oaks Mall Luse/Rezoning
REED VALENTINE LLC
321 YACHT CLUB DR
FT WALTON BEACH FL 32547

Neighborhood Workshop Notice

06350-047-000 Oaks Mall Luse/Rezoning
RETINA CENTER P A (THE)
6400 NEWBERRY RD #301
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-117-109 Oaks Mall Luse/Rezoning
RICHARDSON CYNTHIA K & JOSEPH
34713 CATTAIL DR
EUSTIS FL 32736-2227

Neighborhood Workshop Notice

06655-111-411 Oaks Mall Luse/Rezoning
RIEFKOHL & RIEFKOHL
5200 NW 43RD ST #102
GAINESVILLE FL 32606-4486

Neighborhood Workshop Notice

06655-110-311 Oaks Mall Luse/Rezoning
RIVERA & RIVERA III
24324 SW 61ST PL
Newberry FL 32669

Neighborhood Workshop Notice

06655-110-309 Oaks Mall Luse/Rezoning
ROBERTSON-SANDERS & SANDERS
1056 ALAALA DR
ST AUGUSTINE FL 32056-7168

Neighborhood Workshop Notice

06655-112-504 Oaks Mall Luse/Rezoning
RON CHAMBERS LLC
1225 NW FRONTIER DR
LAKE CITY FL 32055

Neighborhood Workshop Notice

06655-114-702 Oaks Mall Luse/Rezoning
ROSARIO PIANNYS
6519 W NEWBERRY RD #702
GAINESVILLE FL 32608

Neighborhood Workshop Notice

06655-002-011 Oaks Mall Luse/Rezoning
ROUSSEAU & ROY TRUSTEES
3603 NW 98TH ST #C
GAINESVILLE FL 32606-5006

Neighborhood Workshop Notice

06655-005-000 Oaks Mall Luse/Rezoning
RUSHMORE OAKS MALL LLC
212 W KINZIE ST 6TH FLOOR
CHICAGO IL 60654

Neighborhood Workshop Notice

06655-116-905 Oaks Mall Luse/Rezoning
SAKHARUK ANDREW
PO BOX 403
ESTERO FL 33929

Neighborhood Workshop Notice

06655-109-209 Oaks Mall Luse/Rezoning
SAMUELSON STEPHANIE M
6519 W NEWBERRY RD #209
Gainesville FL 32605-4341

Neighborhood Workshop Notice

06655-119-211 Oaks Mall Luse/Rezoning
SANCHEZ ELA
2030 S DOUGLAS RD #202
CORAL GABLES FL 33134-4615

Neighborhood Workshop Notice

06655-113-604 Oaks Mall Luse/Rezoning
SANTANDER BANK
1 MORTGAGE WAY MOUNT
LAUREL NJ 08054

Neighborhood Workshop Notice

06655-116-901 Oaks Mall Luse/Rezoning
SANTORO MICHAEL J & CATHERINE
1337 STRATFORD AVE
PANAMA CITY FL 32404

Neighborhood Workshop Notice

06655-114-701 Oaks Mall Luse/Rezoning
SAUL SILBER PROPERTIES LLC
3434 SW 24TH AVE #A
GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-117-110 Oaks Mall Luse/Rezoning
SCHMIDT EDWARD A SR & PALMA I
2110 SW 78TH TER
GAINESVILLE FL 32602

Neighborhood Workshop Notice

06655-003-000 Oaks Mall Luse/Rezoning
SCHOOL BD OF ALACHUA CTY
620 E UNIV AVE TERWILLIGER
ELEMENTARY
GAINESVILLE FL 32601

Neighborhood Workshop Notice

06340-012-403 Oaks Mall Luse/Rezoning
SCOTT BUSINESS VENTURES LLC
6440 WEST NEWBERRY RD #403
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-115-806 Oaks Mall Luse/Rezoning
SENG MARGARET TRUSTEE
8328 MISTY LAKE CIRCLE
SARASOTA FL 34241

Neighborhood Workshop Notice

06655-005-016 *** Oaks Mall Luse/Rezoning
SERITAGE SRC FINANCE LLC
3333 BEVERLY RD
HOFFMAN ESTATES IL 60179

Neighborhood Workshop Notice

06655-109-206 Oaks Mall Luse/Rezoning
SIKES JOHN MORELAND III % LARRY
SIKES
304 REID ST
PALATKA FL 32177

Neighborhood Workshop Notice

06655-121-007 Oaks Mall Luse/Rezoning
SINGLETON SABRINA
6519 NEWBERRY RD #B7
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-110-304 Oaks Mall Luse/Rezoning
SPENCER & SPENCER
446 SE ANDREWS DR
LAKE CITY FL 32025

Neighborhood Workshop Notice

06655-113-601 Oaks Mall Luse/Rezoning
SPIRES RICHARD N & DONNA
6519 W NEWBERRY RD #601
GAINESVILLE FL 32605-4344

Neighborhood Workshop Notice

06655-114-712 Oaks Mall Luse/Rezoning
SULLIVAN ANTHONY RYAN
12342 NW 7TH LN
NEWBERRY FL 32669-2700

Neighborhood Workshop Notice

06340-012-204 Oaks Mall Luse/Rezoning
SWC BUILDING PARTNERSHIP LLC
6440 W NEWBERRY RD #204
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-116-914 Oaks Mall Luse/Rezoning
THOMPSON & THOMPSON
2005 BAHAMA DR
HOLLYWOOD FL 33023

Neighborhood Workshop Notice

06655-114-704 Oaks Mall Luse/Rezoning
TIRADO MARCUS E & DELIA
4115 CANESHAW DR
PEARLAND TX 77584-1456

Neighborhood Workshop Notice

06655-110-312 Oaks Mall Luse/Rezoning
TOP FLORA INC
17310 SW 95TH AVE
Archer FL 32618-3402

Neighborhood Workshop Notice

06655-108-106 Oaks Mall Luse/Rezoning
TORMES & TORMES
13084 SW 136TH TER
MIAMI FL 33186

Neighborhood Workshop Notice

06655-110-302 Oaks Mall Luse/Rezoning
TRIANA CHRISTIAN C
6519 NEWBERRY RD #302
GAINESVILLE FL 32605

Neighborhood Workshop Notice

06340-012-408 Oaks Mall Luse/Rezoning
 TYLER LINDA S
 PO BOX 358077
 GAINESVILLE FL 32635

Neighborhood Workshop Notice

06655-270-001 Oaks Mall Luse/Rezoning
 UNITED WAY OF NORTH CENTRAL
 FLORIDA
 6031 NW 1ST PL
 GAINESVILLE FL 32607-2025

Neighborhood Workshop Notice

06655-117-112 Oaks Mall Luse/Rezoning
 US BANK NATIONAL ASSOCIATION
 3476 STATEVIEW BLVD
 FORT MILL SC 29715

Neighborhood Workshop Notice

06655-116-915 Oaks Mall Luse/Rezoning
 VANKAMPEN NICOLE MARIE
 6519 W NEWBERRY RD #915
 GAINESVILLE FL 32607

Neighborhood Workshop Notice

06655-118-110 Oaks Mall Luse/Rezoning
 WARNER GREGORY T
 4016 TOPSHAM SQ
 FAIRFAX VA 22033

Neighborhood Workshop Notice

06655-113-605 Oaks Mall Luse/Rezoning
 WERNER DOROTHY R
 525 NE BLVD
 Gainesville FL 32601

Neighborhood Workshop Notice

06655-115-804 Oaks Mall Luse/Rezoning
 WHEELER & WILLET
 56 POLK SPRINGS RD
 ELLOREE SC 29047

Neighborhood Workshop Notice

06655-116-907 Oaks Mall Luse/Rezoning
 WILLIAM R SAMPLES SR
 6519 W NEWBERRY RD #907
 GAINESVILLE FL 32605

Neighborhood Workshop Notice

06655-115-805 Oaks Mall Luse/Rezoning
 WINKELSPECT THOMAS A HISHEIL
 4491 PORTAGE TRL
 MELBOURNE FL 32940-1533

Neighborhood Workshop Notice

06655-012-001 Oaks Mall Luse/Rezoning
 WNRJ INC
 13221 MILLHOPPER RD
 GAINESVILLE FL 32653

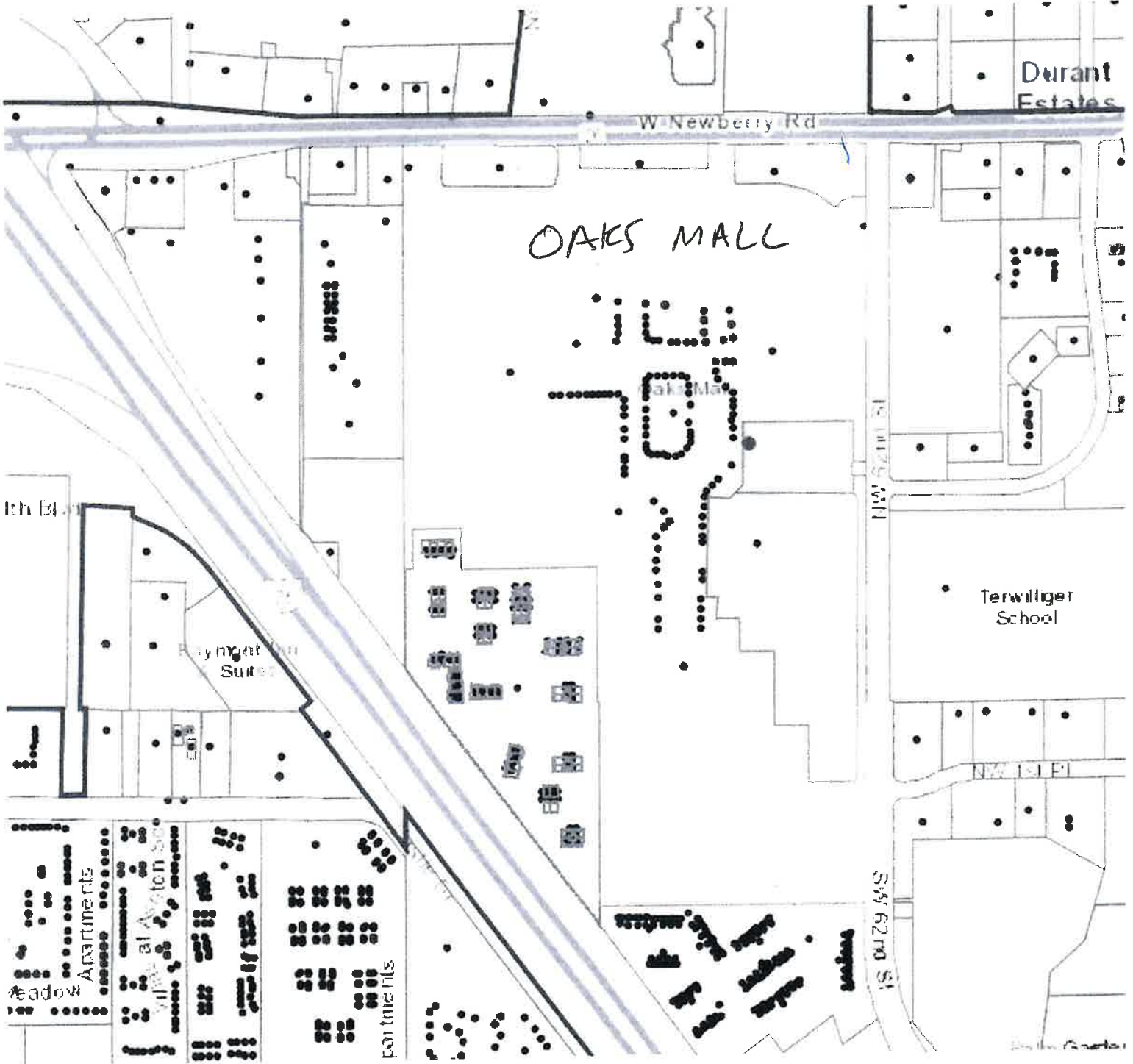
Neighborhood Workshop Notice

06655-118-108 Oaks Mall Luse/Rezoning
 WOLF MIRIAM
 10822 NW 199TH AVE
 ALACHUA FL 32615

Neighborhood Workshop Notice

06655-121-003 Oaks Mall Luse/Rezoning
 WOOTEN JUNE M
 6519 W NEWBERRY RD #3B
 GAINESVILLE FL 32605

180398A
Neighborhood
Workshop (*)
Handouts
(* August 28, 2018, 6 PM
at Oaks Mall)



DRAFT 7/30/18

Oaks Mall LUC and ZON Schedule

Applications

- August 6th

Neighborhood Workshop

- Tentative: August 28th, 6:00 PM

City Plan Board

- September 27th
- Public hearings on LUC (large-scale amendment of Future Land Use Map) and ZON (related rezoning)

City Commission

- November 1st
- Public hearings and first readings of respective LUC and ZON petitions and ordinances

Expedited State Review of Comp. Plan Amendment Review of Comp. by State of Florida DEO (state land planning agency), per FS 163.3184 (3)

- November 2nd - City transmits complete amendment package (draft ordinance and supporting data & analysis) to DEO and other review agencies
- Review agency comments to City no later than 30 days after receiving our transmittal.
- Second public (final adoption) hearing required within 180 days from receipt of review agency comments.
- Transmit approved ordinance (and supporting data & analysis) package to DEO (and any other agency or local government that provided timely comments) within 10 business days of adoption hearing. Amendment effective 31 days after DEO notifies City that the plan amendment package is complete. If timely challenged, the amendment is not effective until DEO or the FL Administration Commission (Governor and cabinet) enters a final compliance order.

City Commission

- December 20th
- Adoption hearing (second reading of ordinance)

Anticipated Effective Date for Comp. Plan Amendment and related rezoning:

- February 4th



Goals,
Objectives
& Policies

make make currently
has Commercial (C)
[future land use or future land use
req.]

Urban Core (UC); up to 150 units per acre; and up to 25 additional units per acre by Special Use Permit

This land use category allows residential, office, and business uses concentrated in the urban core area. Light assembly, fabrication, and processing uses within fully enclosed structures shall be allowed as specially regulated by the Land Development Code. Development in this category shall function as a center serving the urban area. Development within the urban core shall ensure the compact, pedestrian character of this area. Residential densities up to 150 units per acre shall be permitted with provisions to add up to 25 additional units per acre by Special Use Permit as specified in the land development regulations. Buildings in this category shall face the street and meet build-to lines established in the Land Development Code. Building height shall be limited to 12 stories, with up to 14 stories by a height bonus systems as established in the Land Development Code. Public and private schools, government offices, institutions of higher learning, places of religious assembly and community facilities are appropriate in this category.

Office (O)

The Office land use category identifies areas appropriate for office, residential, professional and service uses, hospital and medical uses, and appropriate ancillary uses. Office designations shall be applied to compact office development. Residential uses in office districts shall be designed as new in-town development, mixed-use, live-work, compound use or shall accommodate existing residential development within the Office zoning district. Some non-office type uses such as restaurants may be allowed in this land use category by a Special Use Permit process established in the Land Development Code. Densities shall not exceed 20 units per acre. Land development regulations shall determine the appropriate scale of uses; and the specific criteria for the siting of private schools and churches. Intensity will be controlled by adopting land development regulations that establish height limits of 5 stories or less, that require buildings to face the street, and modest build-to lines, instead of a maximum floor area ratio; however, height may be increased to a maximum of 8 stories by Special Use Permit. For hospitals and large-scale medical office facilities that are located in a Medical Services zoning district, the height may be increased to 14 stories by Special Use Permit.

Commercial (C)

The Commercial land use category identifies those areas most appropriate for large scale highway-oriented commercial uses. Land development regulations shall determine the appropriate scale of uses. This category is not appropriate for neighborhood centers. Intensity will be controlled by adopting height limits of 5 stories or less, requiring buildings to face the street, and modest build-to lines instead of a maximum floor area ratio; however, height may be increased to a maximum of 8 stories by Special Use Permit.

Business Industrial (BI)

This land use category is appropriate for those areas near the Gainesville Regional Airport for office, business, commercial and industrial uses. This category is distinguished from other industrial and commercial categories in that it is designed specifically to allow only uses that are



Goals,
Objectives
& Policies

For Oaks Mall

Proposed: UMU Future Land Use
Category

Urban Mixed-Use (UMU): up to 60 units per acre; and up to 20 additional units per acre by Special Use Permit

This land use category allows residential, office, retail and serve uses either as stand-alone uses or combined in a mixed-use development format. Light assembly, fabrication, and processing uses within fully enclosed structures shall be allowed in specified zoning districts as specially regulated by the Land Development Code. Structures in this category shall be oriented to the street and encouraged multi-modal transportation through the development design. Developments located within this category shall be scaled to fit the character of the area. Residential density shall be limited to 60 units per acre with provisions to add up to 20 additional units per acre by Special Use permit as specified in the land development regulations. Maximum building height shall range between 4 to 5 stories, depending upon the implementing zoning district, with provisions to add up to an additional 1 to 2 stories by a height bonus system as established in the Land Development Code. Land development regulations shall set the appropriate densities, the types of uses; design criteria; landscaping, and pedestrian/vehicular access. Public and private schools, places of religious assembly and community facilities are appropriate within this category.

Urban Mixed-Use High Intensity (UMUH): 10-100 units per acre; and up to 25 additional units per acre by Special Use Permit

This land use category allows residential, office/research, retail, and service uses either as stand-alone uses or combined in a mixed-use development format. Light assembly, fabrication, and processing uses within fully enclosed structures shall be allowed as specially regulated by the Land Development Code. The Urban Mixed-Use High-Intensity category is distinguished from other mixed-use categories in that it is specifically established to support research and development in close proximity to the University of Florida main campus. An essential component of the category is orientation of structures to the street and the multi-modal character of the area. Developments located within this category shall be scaled to fit the character of the area. Residential density shall be limited to 10 to 100 units per acre with provisions to add up to 25 additional units per acre by Special Use Permit as specified in the land development regulations. Lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. Unified developments that include a residential and non-residential component (either horizontally or vertically mixed) shall not be required to meet the minimum density requirements. Building height shall be limited to 6 stories and up to 8 stories by a height bonus system as established in the Land Development Code. Land development regulations shall set the appropriate zoning densities: the types of uses; design criteria; landscaping, and pedestrian/vehicular access. Public and private schools, places of religious assembly and community facilities are appropriate within this category.

Oaky Mall
 Chosenly
 Zoned BUS

1 **Section 30-4.18. Density Bonus Points.**

2 Development criteria described in the density bonus points manual, when met, shall allow increases in
 3 development intensity based upon the limits in this section. These increases in intensity shall be allowed
 4 should a developer propose to undertake a project that will result in a development sensitive to the
 5 unique environmental and developmental needs of the area. For each criterion met by the developer,
 6 certain points shall be credited to the project. Those points, calculated in accordance with the Density
 7 Bonus Points Manual, shall determine the maximum allowable density.

8 **Table V - 6: Permitted Density Using Density Bonus Points**

RMF-6		RMF-7		RMF-8	
Points	Max residential density (du/ac)	Points	Max residential density (du/ac)	Points	Max residential density (du/ac)
0	10	0	14	0	20
26	11	20	15	16	21
52	12	39	16	30	22
79	13	59	17	46	23
108	14	79	18	59	24
138+	15	98	19	75	25

9

10 **DIVISION 4. MIXED-USE AND NONRESIDENTIAL**

11 **Section 30-4.19. Permitted Uses.**

12 The following table contains the list of uses allowed, and specifies whether the uses are allowed by right
 13 (P), accessory to a principal use (A), or by special use permit approval (S). Blank cells indicate that the
 14 use is not allowed. No variances from the requirements of this section shall be allowed.

15 **Table V - 7: Permitted Uses in Mixed-Use and Nonresidential Districts.**

	Use standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
RESIDENTIAL													
Single-family house		P	-	P	P	-	-	-	-	-	P	-	-
Attached dwellings		P	P	P	P	-	-	-	-	-	-	-	-
Multi-family dwellings		P	P	P	P	S	-	-	-	-	P	-	-
Accessory dwelling units	30-5.33	A	A	A	A	-	-	-	-	-	P	-	-
Adult day care homes	30-5.2	P	P	P	P	P	P	-	-	P	-	-	-
Community residential homes (up to 6 residents)	30-5.6	P	P	P	P	-	-	-	-	-	P	-	-
Community residential homes (more than 14 residents)	30-5.6	-	P	P	P	-	-	-	-	-	P	-	-
Community residential homes (7 to 14 residents)	30-5.6	P	P	P	P	-	-	-	-	-	P	-	-

	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Dormitory, large	30-5.8	-	-	-	S	-	-	-	-	-	-	-	-
Dormitory, small	30-5.8	S	S	S	P	-	S	-	-	-	-	-	-
Family child care homes	30-5.10	P	-	P	P	-	-	-	-	-	P	-	-
NONRESIDENTIAL													
Alcoholic beverage establishments	30-5.3	S	S	-	-	-	P	-	P	P	-	P	P
Assisted living facility		P	P	-	P	-	-	-	-	-	P	-	-
Armor systems manufacturing and assembly	30-5.16	P	-	-	-	-	-	-	-	-	-	-	-
Bed and breakfast establishments	30-5.4	P	P	S	S	-	P	-	P	-	-	-	-
Business services		P	P	-	P	P	P	P	P	P	P	P	P
Car wash facilities	30-5.5	S	S	-	-	-	P	P	S	P	P	P	P
Civic, social & fraternal organizations		P	P	-	-	-	P	P	P	P	-	-	-
Daycare center	30-5.7	P	P	P	P	P	P	-	-	P	P	-	-
Drive-through facility	30-5.9	P	P	-	-	-	P	P	P	P	P	P	P
Emergency shelters		P	P	P	P	P	P	P	P	P	P	P	P
Equipment sales, rental and leasing, heavy		-	-	-	-	-	-	-	-	-	-	P	P
Equipment sales, rental and leasing, light		-	P	P	P	-	P	P	-	P	P	P	P
Food distribution center for the needy	30-5.12	-	-	-	-	-	S	-	S	S	-	-	-
Food truck	30-5.35	P	P	A	A	P	P	P	P	P	P	P	P
Fuel dealers		S	S	-	-	-	S	P	-	-	-	P	P
Funeral homes and crematories		P	P	P	P	-	P	P	-	-	-	-	-
Gasoline/alternative fuel stations	30-5.13	S	S	-	-	-	P	P	P	S	P	S	S
Go-cart raceway and rentals (indoor and outdoor)		-	-	-	-	-	-	-	-	-	-	S	S
Health services		P	P	P	P	P	-	-	-	-	P	-	-
Hotels and motels		S	S	-	-	S	P	-	P	P	S	-	-
Ice manufacturing/vending machines	30-5.38	-	-	-	-	-	S	S	S	A	A	A	A
Industrial	30-5.14	-	-	-	-	-	-	-	-	-	-	P	P
Job training and vocational rehabilitation services		-	P	-	-	-	P	-	-	P	P	P	-
Junkyard/Salvage Yard	30-5.15	-	-	-	-	-	-	-	-	-	-	S	P
Laboratories, medical and dental		P	P	P	P	P	P	-	-	P	P	P	P

	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Large-scale retail		-	P	-	-	-	P	P	P	P	-	-	-
Libraries		-	P	-	-	P	-	-	-	-	P	-	-
Light assembly, fabrication, and processing	30-5.16	P	P	-	S	S	S	P	-	P	P	P	P
Liquor stores		P	P	-	-	-	P	P	P	-	P	-	-
Medical marijuana dispensing facility		P	P	A ¹	A ¹	S	P	P	P	P	P	S	S
Microbrewery Microwinery Microdistillery ³	30-5.17	S	P	-	-	-	P	-	P	P	P	P	P
Mini-warehouses, self-storage		-	-	-	-	-	-	-	-	P	P	P	P
Museums and art galleries		P	P	P	P	P	P	-	P	P	P	-	-
Offices		P	P	P	P	P	P	P	P	P	P	P	P
Offices, medical and dental		P	P	P	P	P	P	-	P	-	P	-	-
Outdoor storage, principal use	30-5.19	-	-	-	-	-	-	-	-	S	P	P	P
Parking, surface (as a principal use)	30-5.20	-	S	-	-	-	S	P	-	P	P	-	-
Passenger transit or rail stations		S	S	-	-	P	P	P	P	P	P	P	-
Personal services		P	P	P	P	P	P	P	P	P	P	P	P
Places of religious assembly	30-5.21	P	P	P	P	P	P	P	P	P	P	-	-
Public administration buildings		P	P	P	P	P	P	P	P	P	P	P	-
Public maintenance and storage facilities		-	-	-	-	-	-	-	-	P	P	P	P
Public parks		S	S	S	S	P	P	P	P	P	P	P	P
Recreation, indoor		P	P	P	P	P	P	P	P	P	P	P	P
Recreation, outdoor		-	-	-	-	-	S	P	P	S	-	P	P
Recycling centers		-	S	-	-	-	S	-	-	-	S	S	P
Rehabilitation centers	30-5.24	S	S	S	S	-	S	-	-	S	-	S	-
Research, development and testing facilities		-	-	-	-	P	P	-	-	P	P	P	P
Residences for destitute people	30-5.22	S	S	S	S	-	S	-	S	-	-	-	-
Restaurants		P	P	-	S	P	P	P	P	P	P	P	P
Retail nurseries, lawn and garden supply stores		P	P	-	-	-	P	P	-	P	P	P	-
Retail sales (not elsewhere classified)		P	P	-	-	S	P	P	P	P	P	S	S
Schools, elementary, middle & high (public & private)		P	P	S	S	-	P	-	-	-	P	-	-
Schools, professional		P	P	P	P	P	P	P	-	P	P	P	P

	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Schools, vocational and trade		-	P	P	P	-	P	P	-	P	P	P	P
Scooter or electric golf cart sales		P	P	-	-	-	P	P	-	P	-	P	-
Sexually-oriented cabarets	30-5.23	-	-	-	-	-	-	-	P	-	-	-	P
Sexually-oriented motion picture theaters	30-5.23	-	-	-	-	-	-	-	P	-	-	-	P
Sexually-oriented retail store	30-5.23	-	-	-	-	-	P	-	P	-	-	-	P
Skilled nursing facility		P	P	-	P	P	P	-	-	-	P	-	-
Social service facility	30-5.25	S	S	S	S	-	-	-	-	-	P	S	S
Solar generation station	30-5.27	-	-	-	-	-	-	-	-	P	-	P	P
Truck or bus terminal/maintenance facilities		-	-	-	-	-	-	P	P	P	P	P	P
Vehicle repair	30-5.28	-	-	-	-	-	-	P	P	P	-	P	P
Vehicle rental		-	-	-	-	-	P	P	P	P	P	P	-
Vehicle sales (no outdoor display)		-	-	-	-	-	P	P	P	P	-	P	-
Vehicle sales (with outdoor display)		-	-	-	-	-	-	P	-	P	-	P	P
Vehicle services	30-5.28	S	S	-	-	-	P	P	P	P	S	P	P
Veterinary services	30-5.29	P	P	P	P	P	P	P	P	P	P	P	P
Warehouse/distribution facilities (<100,000 SF)		-	-	-	-	-	-	-	-	P	P	P	P
Warehouse/distribution facilities (>100,000 SF)		-	-	-	-	-	-	-	-	P	P	P	P
Waste management facilities		-	-	-	-	-	-	-	-	S	-	P	P
Wholesale trade		-	-	-	-	-	-	S	-	P	P	P	P
Wireless communication facilities	30-5.30												

- 1 **LEGEND:**
- 2 P = Permitted by right; S = Special Use Permit; A = Accessory; Blank = Use not allowed.
- 3 1 = Only when accessory to and in the same building as health services or offices of physicians, dentists,
- 4 and other health practitioners.
- 5 2 = Accessory to and in the same building as health services and comprising less than 25% of the gross
- 6 floor area of the building.
- 7 3 = Prohibited where adjacent to single-family zoned property.

1
2 **Section 30-4.20. Dimensional Standards.**

3 The following tables contain the dimensional standards for the various uses allowed in each district.

4 **Table V - 8: Mixed-Use and Nonresidential Districts Dimensional Standards.**

	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	W	BI	I-1	I-2
DENSITY/INTENSITY												
Residential density (units/acre)												
Min ¹	8	12	None	None	10	None	None	None	8	None	None	None
Max	30	30	20	20	30	None	None	None	30	None	None	None
Nonresidential building coverage	60%	75%	40%	50%	50%	None	None	None	None	None	None	None
Nonresidential GLA (max)	100,000 ²	None ²	None	None	None	None	None	None	None	None	None	None
LOT STANDARDS												
Min lot area (sq. ft.)	None	None	6,000	6,000	None	None	None	6,000	None	None	None	None
Min lot width (ft.)	None	None	60	60	None	None	None	60	None	None	None	None
Min lot depth (ft.)	None	None	90	90	None	None	None	90	None	None	None	None
SETBACKS (ft.)												
Front	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max	15 min	10 min 100 max	25 min	25 min	25 min	25 min
Side-street (min)	15	15	10	10	10	10	15	10	25	20	25	25
Side-interior (min)	10	10	10	10	10	10	10	10	10 ⁴	10	10 ⁴	20 ⁴
Rear (min)	10	10	10	10	10	10	15	10	10 ⁴	20	10 ⁴	10 ⁴
MAXIMUM BUILDING HEIGHT (stories)												
By right	5	5	3	3	5	5	5	5	5	5	5	5
With building height bonus	8	8	-	-	8	8	-	8	-	-	-	-

5 **LEGEND:**

6 1 = Lots that existed on November 13, 1991, as recorded in the city and that are less than or equal to 0.5
7 acres in size are exempt from minimum density requirements.

8 2 = Developments of 50,000 sq. ft. or more of gross leasable area shall be located along arterials or
9 collectors, as defined in the official roadway map.

10 3 = Where the yard abuts and is used for access to a railroad siding, the minimum setback shall be zero
11 feet.

12 4 = Where the rear or side yard abuts U1 or single-family residential zoning or a historic district, Section
13 30-4.8 development compatibility standards shall apply.

14


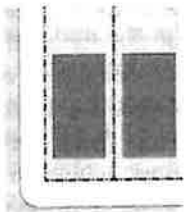
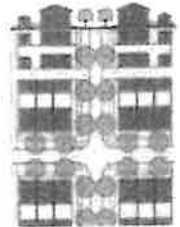
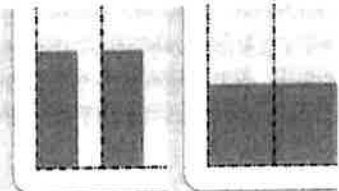
UB
 UB (proposed Oak Mall
 Zoning)
 is a Transect Zone

- 1 C. **Enforcement.** In addition to any other remedy provided for herein, the City Manager or designee,
- 2 upon reasonable cause to believe that this section is being violated, may request the City Attorney
- 3 to take any appropriate action to correct the violation.
- 4 D. **Public nuisance.** Any person who violates this section shall be deemed guilty of maintaining a
- 5 nuisance, and may result in abatement or enjoinder as provided in Sections 60.05(1) and 60.06,
- 6 Florida Statutes.

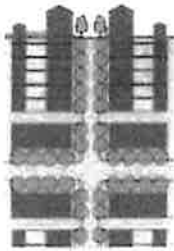
DIVISION 2. TRANSECTS

Section 30-4.11. Generally.

- 10 A. **Intent.** The intent of this division is to establish development standards that will encourage a more
- 11 efficient and sustainable urban form by allowing a range of housing, employment, shopping and
- 12 recreation choices and opportunities in a compact, pedestrian-friendly environment.
- 13 B. **Transects.** A transect is a geographical cross-section of a region that reveals a sequence of
- 14 environments that ranges from rural to urban. Using the transect to regulate development ensures
- 15 that a community offers a full diversity of development types, and that each has appropriate
- 16 characteristics for its location. There are typically six transects organizing the components of place-
- 17 making: Natural Zone, Rural Zone, Urban Neighborhood Zone, General Urban Zone, Urban Center
- 18 Zone, and Urban Core. This code assigns transects that are tailored to the unique character of the
- 19 City of Gainesville. The allowable uses, dimensional standards, and development requirements for
- 20 these zones are described within this division.

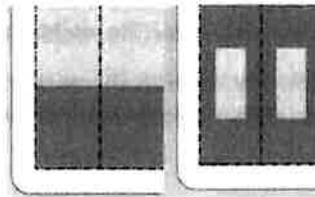
	ZONE DESCRIPTION	INTENDED SITE LAYOUT
 <p>Urban Zone 1</p>	<p>Urban Zone 1 Consists of predominantly low to medium density residential areas, adjacent to higher intensity zones where neighborhood services and mixed use are permitted.</p>	 <p>Edge</p> <p>Buildings typically occupy the center of the lot with setbacks on all sides. The front yard is intended to be visually continuous with the yards of adjacent buildings.</p>
 <p>Urban Zones 2-5</p>	<p>Urban Zones 2 - 5 Consists of a wide range of residential building types. Higher number zones provide for the integration of offices and neighborhood services within an increasingly urban fabric. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.</p>	 <p>Side Front</p> <p>Buildings typically occupy one side of the lot leaving a setback to the other side to allow for access or privacy. In many instances, the building occupies the entire lot frontage. A shallow frontage setback defines a more urban condition.</p>

Urban Zones 6-9



Urban Zones 6 - 9

Consists of higher density mixed use buildings that accommodate retail, offices, and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.

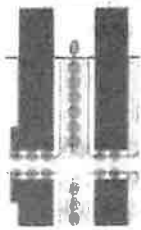


Front

Courtyard

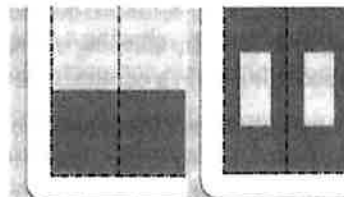
The building typically occupies the full frontage, leaving the rear of the lot as the sole yard. The continuous facade steadily defines the public street. In its residential form, this type is the attached dwelling. The rear yard can accommodate substantial parking.

Downtown



Downtown

Consists of the highest density and height development, with the greatest variety of uses, and civic buildings of regional importance. Streets have steady street tree planting and buildings are set close to wide sidewalks.



Front

Courtyard

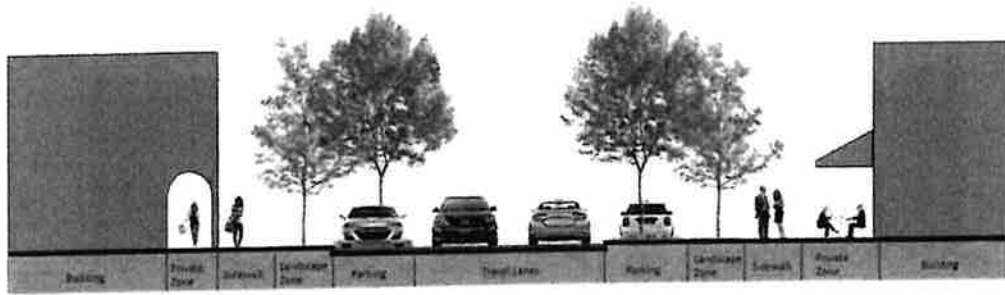
The building occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public street.

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C. **Streets.** Within the transects, new developments shall connect to the existing street network. Where the existing street network is deficient with respect to gridded connectivity, the development shall provide new street connections to meet the block perimeter requirements.

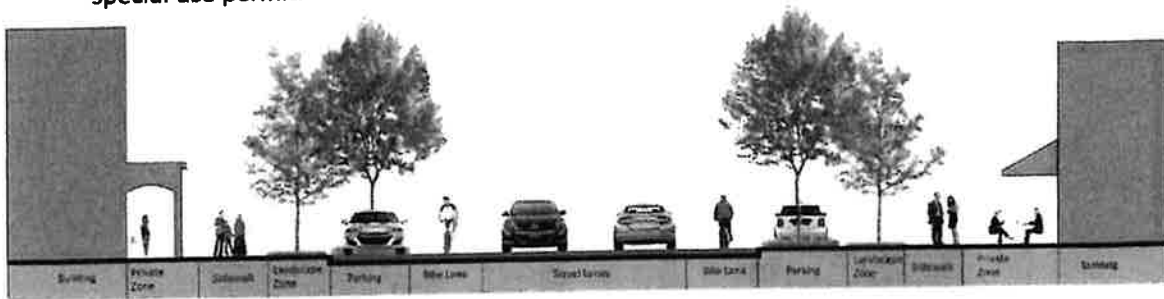
The zoning map identifies a hierarchy of street types that determine the relationship of buildings to the street and the standards for the design of street landscaping and sidewalks. Street types include: Storefront, Principal, Thoroughfare, and Local Streets. All undesignated existing streets are assumed to be Local Streets. Below is a detailed description of the general function, character, and elements of each street type. Final street design for new development shall be in accordance with this article and the Design Manual, subject to review and approval by the City Manager or designee in the development review process. In the event of a conflict between the standards in this article and the Design Manual, the Design Manual shall govern.

a. **Storefront.** Storefront streets are designed to encourage a high level of pedestrian activity. Higher intensity and density uses front this street type. Due to the level of pedestrian activity on this street type, minimum sidewalk widths are increased and first floor residential development requires a 1.5 foot elevation above grade (3 feet recommended) for the privacy and comfort of residents. Building front entrances shall be oriented to this street type when there are multiple street frontages for the property.



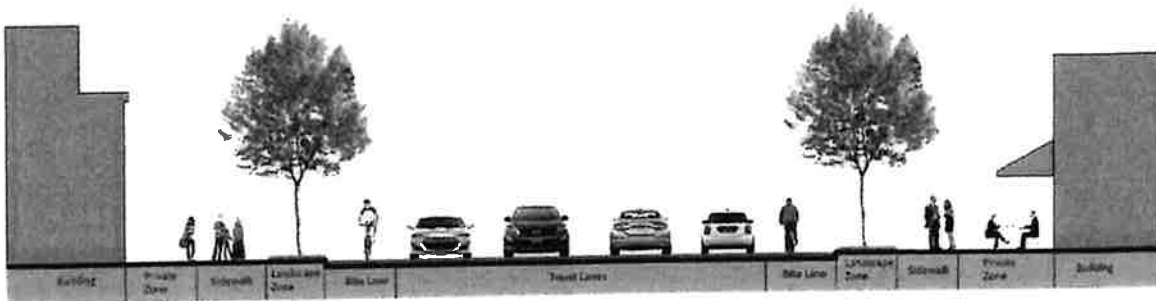
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b. **Principal.** Principal streets include lower levels of pedestrian activity compared to storefront streets. This street type is located in mixed-use areas where the traffic volume is anticipated to be higher than on local streets. This street type allows for some auto-oriented uses with a special use permit.



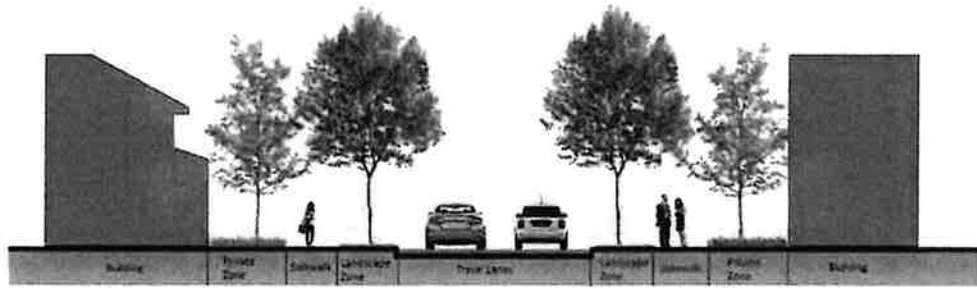
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c. **Thoroughfares.** Thoroughfares are streets that carry high volumes of through traffic at higher speeds with less pedestrian activity and higher vehicular speeds than other street types. These streets are often fronted by larger scale commercial development and are usually 4-lane or 6-lane streets.



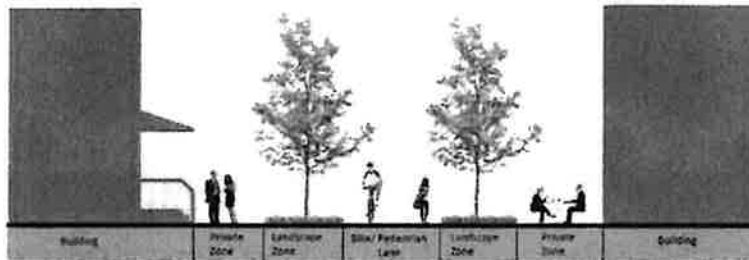
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d. **Local.** Local Streets are intended to have slow speeds and provide for connections within neighborhoods and between residential areas and commercial areas. Local Streets are not identified on the zoning map, but make up the vast majority of the street types within the transects. Any street that is not identified as a Storefront, Principal, or Thoroughfare street should be assumed to be a Local Street.



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e. **Urban Walkways.** Urban Walkways are pedestrian/bicycle pathways that serve to improve pedestrian/bicycle connectivity, delineate blocks and provide for expanded pedestrian space. These may be established as alternatives to new streets in some locations.



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f. **Alleys.** Alleys are narrower streets that are primarily used for service access to developments, or vehicular access to rear parking areas. Alleys are encouraged to be preserved, improved, or established in conjunction with development.



9

10 **Section 30-4.12. Permitted Uses.**

11 The following table contains the list of uses allowed, and specifies whether the uses are allowed by right
12 (P), accessory to a principal use (A), or by special use permit approval (S). Blank cells indicate that the
13 use is not allowed. No variances from the requirements of this section shall be allowed.

14 **Table V - 1: Permitted Uses within Transects.**

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
RESIDENTIAL											
Single-family house		P	P	P	P	P	P	P	P	P	P
Attached dwellings (up to 6 attached units)		-	P	P	P	P	P	P	P	P	P

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
Multi-family, small-scale (2-4 units per building)		-	P	P	P	P	P	P	P	P	P
Multi-family dwelling		-	-	P	P	P	P	P	P	P	P
Accessory dwelling unit	30-5.33	-	P	P	P	P	P	P	P	-	-
Adult day care home	30-5.2	P	P	P	P	P	P	P	P	P	P
Community residential homes (up to 6 residents)	30-5.6	P	P	P	P	P	P	P	P	-	-
Community residential homes (more than 6 residents)	30-5.6	-	-	P	P	P	P	P	P	P	-
Dormitory (small)	30-5.8	-	P	P	P	P	P	P	P	P	P
Dormitory (large)	30-5.8	-	-	P	P	P	P	P	P	P	P
Family child care home	30-5.10	P	P	P	P	P	P	P	P	P	-
NONRESIDENTIAL											
Alcoholic beverage establishment	30-5.3	-	-	-	-	-	-	P	P	P	P
Assisted living facility		-	-	-	P	-	P	P	P	P	P
Bed & Breakfast establishments	30-5.4	-	S	P	P	P	P	P	P	P	P
Business services		-	-	-	P	-	P	P	P	P	P
Car wash facilities	30-5.5	-	-	-	-	-	-	P	P	-	-
Civic, social & fraternal organizations		S	P	P	P	P	P	P	P	P	P
Day care center	30-5.7	-	S	S	P	P	P	P	P	P	P
Drive-through facility	30-5.9	-	-	-	-	-	P	P	P	P	P
Emergency shelter		-	-	-	-	P	P	P	P	P	P
Equipment rental and leasing, light		-	-	-	-	-	-	P	P	P	P
Exercise studios		-	-	-	P	-	P	P	P	P	P
Farmers market	30-5.11	-	-	-	-	-	P	P	P	P	P
Food distribution for the needy	30-5.12	-	-	-	-	-	-	-	S	S	S
Food truck	30-5.35	-	-	-	A	-	P	P	P	P	P
Funeral homes and crematories		-	-	-	-	-	P	P	P	P	P
Gasoline/alternative fuel station	30-5.13	-	-	-	-	-	S ¹	P	P	-	-
Hotel		-	-	-	-	-	-	P	P	P	P
Laboratory, medical & dental		-	-	-	P	-	P	P	P	P	P
Library		-	-	-	-	S	P	P	P	P	P
Light assembly, fabrication and processing	30-5.16	-	-	-	-	-	P	P	P	P	P
Medical marijuana		-	-	-	-	-	P	P	P	P	P

Health service - to be added to U8 - expected adoption in September 2018 - Dec 7/31/18

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
dispensing facility											
Microbrewery Microwinery Microdistillery ²	30-5.17	-	-	-	-	-	S	P	P	P	P
Mini-warehouse/self-storage	30-5.18	-	-	-	-	-	-	-	P	P	-
Museums and art galleries		-	-	-	P	S	P	P	P	P	P
Office		-	-	-	P	P ³ / S ⁴	P	P	P	P	P
Office- medical, dental, & other health related services		-	-	-	P	-	P	P	P	P	P
Parking, surface (principal use)	30-5.20	-	-	-	-	-	-	-	-	S	S
Parking, structured (principal use)		-	-	-	-	-	-	P	P	P	P
Passenger transit station		-	-	-	-	-	-	-	P	P	P
Personal services		-	-	-	S	-	P	P	P	P	P
Places of religious assembly	30-5.21	S	P	P	P	P	P	P	P	P	P
Professional school		-	-	-	P	P	P	P	P	P	P
Public administration buildings		-	-	-	S	S	S	P	P	P	P
Public parks		P	P	P	P	P	P	P	P	P	P
Recreation, indoor ²		-	-	-	-	-	P	P	P	P	P
Recreation, outdoor		-	-	-	-	-	-	P	P	P	-
Research development & testing facilities		-	-	-	-	-	-	P	P	P	P
Residences for destitute people	30-5.22	-	-	-	-	-	-	-	S	S	S
Restaurant		-	-	-	S	-	P	P	P	P	P
Retail sales		-	-	-	-	-	P	P	P	P	P
School, elementary, middle & high (public & private)		S	S	S	P	P	P	P	P	P	P
Scooter and electric golf cart sales		-	-	-	-	-	-	P	P	P	-
Simulated gambling establishments		-	-	-	-	-	-	-	-	-	-
Social service facilities	30-5.25	-	-	-	-	-	-	-	P	P	P
Skilled nursing facility		-	-	-	P	-	P	P	P	P	P
Vehicle sales and rental (no outdoor display)		-	-	-	-	-	-	P	P	P	P
Vehicle services	30-5.28	-	-	-	-	-	-	P	P	-	-
Vehicle repair	30-5.28	-	-	-	-	-	-	P	-	-	-
Veterinary services	30-5.29	-	-	-	P	-	P	P	P	P	P
Vocational/Trade school		-	-	-	-	-	S	P	P	P	P

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
Wireless communication services	See 30-5.30										

- 1 **LEGEND:**
- 2 P = Permitted by right; S = Special Use Permit; A = Accessory; Blank = Use not allowed.
- 3 1 = When located along a Principal Street.
- 4 2 = Prohibited where adjacent to single-family zoned property.
- 5 3 = Office uses as a home occupation.
- 6 4 = Office uses up to 20% of the building square footage and shall be secondary to a principal residential
- 7 use. No outdoor storage allowed.

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Section 30-4.13. Building Form Standards.

This section contains the building form standards that determine the location, scale and massing of all buildings within the transects.

Table V - 2: Building Form Standards within Transects.

TRANSECT	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
A. BLOCK STANDARDS										
Block perimeter (max feet)	2,600'								2,000'	1,600'
B. LOT CONFIGURATION										
Lot width (min feet)	34'	18'							18'	18'
C. DEVELOPMENT INTENSITY										
Nonresidential building coverage (max)	60%	80%							90%	100%
Residential density by right/with SUP ¹ (max units per acre)	8	15	20	20	75	50/60	50/60	60/80	100/125	150/175
D. BUILDING FRONTAGE										
Primary frontage (min)	50%	60%							70%	80%
Secondary frontage (min)	30%	40%							50%	60%
E. BUILDING PLACEMENT										
min-max from curb										
min landscape/min sidewalk/min building frontage										
Storefront Street	20'-25' 5'/10'/5'	20'-25' 5'/10'/5'							20'-25' 5'/10'/5'	20'-25' 4'/10'/5'
Principal Street	17'-37' 6'/6'/5'	17'-27' 6'/6'/5'							17'-27' 6'/6'/5'	17'-27' 6'/6'/5'
Thoroughfare Street	19'-100' 6'/6'/5'	19'-100' 8'/6'/5'							19'-100' 8'/6'/5'	19'-100' 8'/6'/5'
Local Street	15'-35' 5'/5'/5'	15'-20' 5'/5'/5'							16'-21' 5'/6'/5'	15'-20' 4'/6'/5'
F. BUILDING SETBACKS										
Side interior setback (min)	5'	5'	5'	5'	5'	5'	5'	0'	0'	0'

Rear setback (min)	15'	3' (alley) 10' (no alley)	3' (alley) 5' (no alley)	3' (alley) 0' (no alley)
--------------------	-----	------------------------------	-----------------------------	-----------------------------

- 1 **LEGEND:**
- 2 1 = See Section 30-4.8 for development compatibility standards.
- 3

TRANSECT	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT

G. BUILDING HEIGHT

Min feet	NA	NA	NA	NA	NA	NA	18	18	18	18
Max stories (by right ¹ /with bonus ²)	3	3	3	3	4	4/5	4/6	5/6	6/8	12/14
Max feet (by right/with bonus ²)	36	36	36	42	60	60/74	60/88	74/88	88/116	172/200

H. FLOOR HEIGHT

Min first floor height (residential / nonresidential)	NA/10'	NA/12'	NA/12'	NA/12'	NA/12'	NA/12'	12'/12'	12'/15'	12'/15'	12'/15'
Min first floor elevation (residential only)	-	-	-	-	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.

I. GLAZING

Min first floor - nonresidential	-	30%			50%			65%		
----------------------------------	---	-----	--	--	-----	--	--	-----	--	--

Min first floor - multi-family	-	30%
Min upper floors - nonresidential and multi-family	-	15%

- 1 LEGEND:**
- 2 1 = See development compatibility standards in Section 30-4.8.**
- 3 2 = See bonus system requirements in Section 30-4.9.**

1 **Guyed tower** means a communication tower that is supported, in whole or in part, by guy wires and
2 ground anchors.

3 **Habitat** means the physical and biological surroundings of an organism, with appropriate levels of the
4 resources needed by a species for survival and/or reproduction.

5 **Half or partial street** means a street, generally parallel with and adjacent to the boundary line of a tract,
6 having a lesser right-of-way width than required for a full width of the type involved.

7 **Hardcore (pornography)** means depictions of sexual conduct that include one or more of the following:
8 erect male organ; contact of the mouth of one person with the genitals of another; penetration of a
9 finger or male organ into any bodily orifice in another person; open female labia; penetration of a sex
10 toy or other device into a bodily orifice of any person, sometimes assisted by another person; actual
11 male ejaculation; or the aftermath of male ejaculation.

→ 12 **Health service** means establishments primarily engaged in furnishing medical, surgical, and other health
13 services to persons and pets.

14 **Heritage trees** means trees that are larger than 20 inches diameter breast height; except for Water Oaks
15 (*Quercus nigra*), Laurel Oaks (*Quercus hemispherica*), Sweetgums (*Liquidambar styraciflua*), Loblolly Pine
16 (*Pinus taeda*) and Slash Pine (*Pinus elliottii*), which become heritage trees only when they are larger than
17 30 inches diameter breast height.

18 **High quality trees** means any trees of the following species: Live Oak (*Quercus virginiana*), Sand Live Oak
19 (*Q. geminata*), Bluff Oak (*Q. austrina*), Basket Oak (*Q. michauxii*), Southern Red Oak (*Q. falcata*),
20 Southern Magnolia (*Magnolia grandiflora*), Florida Maple (*Acer barbatum*), Longleaf Pine (*Pinus*
21 *palustris*), Spruce Pine (*P. glabra*), Cedar Elm (*Ulmus crassifolia*), Winged Elm (*U. alata*), Florida Elm (*U.*
22 *floridana*), Bald Cypress (*Taxodium distichum*), Pond Cypress (*T. ascendens*), Tupelo (*Nyssa sylvatica*),
23 Mockernut Hickory (*Carya tomentosa*), Pignut Hickory (*C. glabra*), Pecan (*C. illinoensis*), Persimmon
24 (*Diospyros virginiana*), Basswood (*Tilia Americana*), Tulip Poplar (*Liriodendron tulipifera*), White Ash
25 (*Fraxinus Americana*), Green Ash (*F. pennsylvanica*) and Yaupon, Dahoon, and American Holly species (*Ilex*
26 *vomitaria*, *I. cassine*, and *I. opaca*).

27 **High quality heritage trees** means heritage trees of the species identified in the definition of high
28 quality trees.

29 **High quality shade trees** means trees of the native species listed in the definition of high quality trees
30 that are identified on the Gainesville tree list in the category "high quality shade."

31 **Historic/cultural resource** means a resource identified by the survey of resources conducted by ERLA
32 and Associates and adopted by the city as part of the preservation and conservation element of the
33 city's Comprehensive Plan or a resource added to the city's inventory (Florida site file) or local register.

34 **Home occupation** means a gainful occupation, profession or use conducted by the occupant of a
35 dwelling, when the activity is incidental to the primary use of the building as a residence. Home
36 occupations shall not include the teaching of fine arts, family day care homes and community residential
37 homes.

38 **Homeowners/condominium association** means a private, nonprofit corporation, association or other
39 legal entity established by the developer for the benefit and enjoyment of its membership and to
40 provide for the care, maintenance, operation and protection of common areas within a development.

41 **Hotel or motel** means a building in which lodging and/or boarding are provided and offered to the
42 public for compensation.



Proposed Land Use and Zoning Change to Oaks Mall

- Parcels #06655-005-011
- #06655-005-015
- #06655-005-016
- #06655-005-017
- #06655-005-018
- #06655-005-021
- #06655-005-023



400-Foot Notification Radius

Prepared by: Department of Doing
 City of Gainesville, Florida
 Date: 8/30/2018

This map is for informational purposes only. Do not rely on this map for accuracy of dimensions, size or location. The City of Gainesville does not assume responsibility to update this information or for any error or omission on this map. For specific information, you are directed to contact the City of Gainesville, Florida.

Plan Board Hearing/Notice

06655-112-511 Oaks Mall Luse/Rezoning
2 DAYS LLC
440 SW 18TH CT
POMPANO BEACH FL 33060

Plan Board Hearing/Notice

06655-117-113 Oaks Mall Luse/Rezoning
ABRAHAM JACCILIEN & JOCELYNE R
6519 W NEWBERRY RD #1013
GAINESVILLE FL 32607

Plan Board Hearing/Notice

06340-012-105 Oaks Mall Luse/Rezoning
AGRIDALE LLC
222 SW 131ST ST
NEWBERRY FL 32669

Plan Board Hearing/Notice

06655-113-603 Oaks Mall Luse/Rezoning
ALEXAITIS & ALEXAITIS
5113 NW 234TH ST
NEWBERRY FL 32669-2325

Plan Board Hearing/Notice

06655-117-114 Oaks Mall Luse/Rezoning
ANEIROS JORGE A & MIRELLY A
7641 SW 134TH CT
MIAMI FL 33183

Plan Board Hearing/Notice

06655-110-303 Oaks Mall Luse/Rezoning
BAHAM & CLIFFORD
7761 SW 88TH ST #D114
MIAMI FL 33156

Plan Board Hearing/Notice

06655-114-710 Oaks Mall Luse/Rezoning
BANNON MARK K
5312 SW 88TH CT
Gainesville FL 32608-4107

Plan Board Hearing/Notice

06655-115-807 Oaks Mall Luse/Rezoning
BLACKBURN CHARLES E & JENNIFE
6062 COUNTY ROAD 219
MELROSE FL 32666

Plan Board Hearing/Notice

06655-108-105 Oaks Mall Luse/Rezoning
BREJ & BREJ
3243 RFD
LONG GROVE IL 60047

Plan Board Hearing/Notice

06655-204-000 Oaks Mall Luse/Rezoning
C & G ILLUMINATIONS LLC
4437 SW 91ST DR
GAINESVILLE FL 32608

Plan Board Hearing/Notice

06340-002-000 Oaks Mall Luse/Rezoning
7-ELEVEN INC AD VALOREM TAX
STORE # 40323
PO BOX 711
DALLAS TX 75221-0711

Plan Board Hearing/Notice

06655-027-006 Oaks Mall Luse/Rezoning
ACTION MANAGEMENT OF
GAINESVILLE
6110 NW 1ST PL
GAINESVILLE FL 32607

Plan Board Hearing/Notice

06340-012-107 Oaks Mall Luse/Rezoning
AGRIDALE LLC
6440 WEST NEWBERRY RD #111
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-107-003 Oaks Mall Luse/Rezoning
ALISSA MUSTAFA
9964 NW 22ND RD
Gainesville FL 32606

Plan Board Hearing/Notice

06655-002-020 Oaks Mall Luse/Rezoning
AVANATH HAMPTON OAKS LLC
17901 VON KARMAN AVE #150
IRVINE CA 92614

Plan Board Hearing/Notice

06340-012-409 Oaks Mall Luse/Rezoning
BAILEY GREG
6440 WEST NEWBERRY RD #409
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-116-903 Oaks Mall Luse/Rezoning
BARON & NINO
4319 NW 29TH ST
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-118-104 Oaks Mall Luse/Rezoning
BRACKEN CHRISTY D
3085 NW 28TH CIRCLE
Gainesville FL 32605

Plan Board Hearing/Notice

06655-111-408 Oaks Mall Luse/Rezoning
BROWN DON MCNARE TRUSTEE
1560 BANYAN WAY
WESTON FL 33327

Plan Board Hearing/Notice

06655-108-107 Oaks Mall Luse/Rezoning
CARDOSO GERARDO
1635 CHERRY GROVE DR
SAN JOSE CA 95125-5510

Plan Board Hearing/Notice

06340-006-000 Oaks Mall Luse/Rezoning
ABC PROPERTIES LTD
PO BOX 593688
ORLANDO FL 32859-3688

Plan Board Hearing/Notice

06655-121-004 Oaks Mall Luse/Rezoning
AGABIN ORLINO R & CLETA D
2391 URSULA LN
PENSACOLA FL 32526

Plan Board Hearing/Notice

06655-121-006 Oaks Mall Luse/Rezoning
AKEL CHRISTOPHER
3538 PASEO DE LOS AMERICANOS #134
OCEANSIDE CA 92056

Plan Board Hearing/Notice

06655-112-508 Oaks Mall Luse/Rezoning
ALPIZAR & ESCALONA W/H
8137 NW 53RD ST
GAINESVILLE FL 32653-6146

Plan Board Hearing/Notice

06655-116-911 Oaks Mall Luse/Rezoning
AZUI GROUP LLC
17310 SW 95TH AVE
ARCHER FL 32618

Plan Board Hearing/Notice

06655-119-212 Oaks Mall Luse/Rezoning
BAKER TABRISHA D
6519 W NEWBERRY RD #1212
GAINESVILLE FL 32605-4331

Plan Board Hearing/Notice

06655-109-208 Oaks Mall Luse/Rezoning
BATES & BATES
1323 NW 51ST TER
GAINESVILLE FL 32605-4425

Plan Board Hearing/Notice

06655-002-002 Oaks Mall Luse/Rezoning
BRAVOFLORIDA LLC
4220 EDISON LAKES PARKWAY
MISHAWAJA IN 46545

Plan Board Hearing/Notice

06655-119-203 Oaks Mall Luse/Rezoning
BRYANT JACOB ANDREW & LUANNE
2297 SE 12TH ST
POMPANO BEACH FL 33062-7036

Plan Board Hearing/Notice

06655-119-204 Oaks Mall Luse/Rezoning
CARLSON DOUGLAS M
6519 WEST NEWBERRY RD #1204
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-111-405 Oaks Mall Luse/Rezoning
CARON & KLUSENDORF
6519 W NEWBERRY RD #405
Gainesville FL 32605

Plan Board Hearing/Notice

06655-107-009 Oaks Mall Luse/Rezoning
CARTER & CARTER
10690 83RD PL
LIVE OAK FL 32060-7193

Plan Board Hearing/Notice

06655-113-607 Oaks Mall Luse/Rezoning
CASWELL JOSEPH D & PEGGY
10804 SW 92ND PL
GAINESVILLE FL 32608-5825

Plan Board Hearing/Notice

06655-111-406 Oaks Mall Luse/Rezoning
CHRISTENSEN CHARLES G & REBEC
370 SW 62ND BLVD #11
GAINESVILLE FL 32607-2044

Plan Board Hearing/Notice

06655-107-001 Oaks Mall Luse/Rezoning
CINTRON PEDRO
6519 W NEWBERRY RD #A2
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-005-001 Oaks Mall Luse/Rezoning
CITY OF GAINESVILLE
PO BOX 490 MS 58
GAINESVILLE FL 32627

Plan Board Hearing/Notice

06655-002-014 Oaks Mall Luse/Rezoning
CLB INC
6450 SW ARCHER RD #240
GAINESVILLE FL 32608

Plan Board Hearing/Notice

06655-002-001 Oaks Mall Luse/Rezoning
COALITION PARTNERSHIP % JOYCE
DEVELOPMENT GROUP
4337 PABLO OAKS CT #102
JACKSONVILLE FL 32224

Plan Board Hearing/Notice

06655-108-112 Oaks Mall Luse/Rezoning
COLLINS & COLLINS & COLLINS
1839 SAILFISH CT
KISSIMMEE FL 34744

Plan Board Hearing/Notice

06655-108-111 Oaks Mall Luse/Rezoning
COLLINS JERMAINE NEAL
6519 NEWBERRY RD #111
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-027-003 Oaks Mall Luse/Rezoning
COMMUNITY BANK AND TRUST
PO BOX 1570
OCALA FL 34478

Plan Board Hearing/Notice

06655-115-802 Oaks Mall Luse/Rezoning
CONTRERAS GERMAN DANIEL
6519 W NEWBERRY #802
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-117-103 Oaks Mall Luse/Rezoning
COOK CHRISTINE P
1605 NE 7TH TER
GAINESVILLE FL 32609

Plan Board Hearing/Notice

06655-112-507 Oaks Mall Luse/Rezoning
CORTES MARIBEL CABRERA
6122 BYRN WOOD ST
ORLANDO FL 32822

Plan Board Hearing/Notice

06655-107-008 Oaks Mall Luse/Rezoning
CROSS JOSEPH A & DENISE A
8148 SW 78TH TERRACE RD
OCALA FL 34476-4504

Plan Board Hearing/Notice

06655-108-108 Oaks Mall Luse/Rezoning
CRUZ TONI S
6519 W NEWBERRY RD #108
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-115-812 Oaks Mall Luse/Rezoning
CULBRETH DANIEL R II
6519 W NEWBERRY RD #812
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-118-107 Oaks Mall Luse/Rezoning
CURRAN & CURRAN
PO BOX 315
HIGH SPRINGS FL 32655-0315

Plan Board Hearing/Notice

06655-109-204 Oaks Mall Luse/Rezoning
DAGMA INVESTMENT LLC
17310 SW 95TH AVE
ARCHER FL 32618-3402

Plan Board Hearing/Notice

06655-119-209 Oaks Mall Luse/Rezoning
DEERY THOMAS G & JULIA F
6519 W NEWBERRY ROAD APT. 1209
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-113-612 Oaks Mall Luse/Rezoning
DIGIOVANNI & YANCEY % YANCEY
8822 SW 38TH AVE
GAINESVILLE FL 32608-8694

Plan Board Hearing/Notice

06655-117-102 Oaks Mall Luse/Rezoning
DINH KHIEM
12 LONE PNE
IRVINE CA 92604-4699

Plan Board Hearing/Notice

06655-113-610 Oaks Mall Luse/Rezoning
DONOVAN TIMOTHY E
6519 W NEWBERRY RD #610
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-108-102 Oaks Mall Luse/Rezoning
DOUGLASS & MISEIRVITCH & MISE
6519 W NEWBERRY RD #102
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-118-103 Oaks Mall Luse/Rezoning
DUPEE & HOLLEY H/W
9220 SW 14TH AVE
GAINESVILLE FL 32607

Plan Board Hearing/Notice

06655-027-001 Oaks Mall Luse/Rezoning
ECKEL & REISNER
3922 NW 186TH ST
NEWBERRY FL 32669

Plan Board Hearing/Notice

06655-116-902 Oaks Mall Luse/Rezoning
EMORY GROUP (THE)
2145 SW 94TH TER
GAINESVILLE FL 32607

Plan Board Hearing/Notice

06655-027-002 Oaks Mall Luse/Rezoning
EQUILEASE AT WINDSOR PARK II
3501 SW 2ND AVE #2400
GAINESVILLE FL 32607-2814

Plan Board Hearing/Notice

06655-114-705 Oaks Mall Luse/Rezoning
ESTEBAN EMILIO C & IRMA C
4916 NW 52ND AVE
COCONUT CREEK FL 33073-3329

Plan Board Hearing/Notice

06655-117-107 Oaks Mall Luse/Rezoning
FERNANDEZ & SANCHEZ H/W
9900 WEST CALUSA CLUB DR
MIAMI FL 33186

Plan Board Hearing/Notice

06655-002-017 Oaks Mall Luse/Rezoning
FLORIDA CONVALESCENT CENTERS
2033 MAIN ST #300
SARASOTA FL 34237

Plan Board Hearing/Notice

06655-115-808 Oaks Mall Luse/Rezoning
FOWLER RICHARD O & JEAN T
4136 ALPINE DR
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-117-105 Oaks Mall Luse/Rezoning
GOESS & GOESS
5591 NE 103RD TER
BRONSON FL 32621

Plan Board Hearing/Notice

06340-012-503 Oaks Mall Luse/Rezoning
GREGORY J BAILEY WOMEN'S CENT
6440 W NEWBERRY RD #409
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-110-301 Oaks Mall Luse/Rezoning
HALVOSA JAMES J
5232 SW 86TH TER
GAINESVILLE FL 32608-4116

Plan Board Hearing/Notice

06655-109-203 Oaks Mall Luse/Rezoning
HATCHER & THURMOND
6519 W NEWBERRY RD #203
Gainesville FL 32605

Plan Board Hearing/Notice

06655-114-703 Oaks Mall Luse/Rezoning
HENDERSON & MULLIN H/W
8622 SW 42ND PL
GAINESVILLE FL 32608

Plan Board Hearing/Notice

06655-108-104 Oaks Mall Luse/Rezoning
HOWARD AMY L AMY HOWARD
3603 NW 98TH ST #C
GAINESVILLE FL 32606

Plan Board Hearing/Notice

06655-113-602 Oaks Mall Luse/Rezoning
INGRAM BRIAN C
6519 W NEWBERRY RD #602
GAINESVILLE FL 32606

Plan Board Hearing/Notice

06655-119-207 Oaks Mall Luse/Rezoning
JONES JERRY W & ALICE
8138 SW 51ST BLVD
GAINESVILLE FL 32608

Plan Board Hearing/Notice

06655-114-711 Oaks Mall Luse/Rezoning
FLORIDA NORTH CENTRAL LLC
18034 SW 144TH PL
MIAMI FL 33177

Plan Board Hearing/Notice

06340-012-401 Oaks Mall Luse/Rezoning
GAINESVILLE PEDIATRIC REAL
ESTATE PARTNERS LLC
6440 W NEWBERRY RD #402
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-112-505 Oaks Mall Luse/Rezoning
GOLDEN & TIDWELL
6519 W NEWBERRY RD #505
Gainesville FL 32605

Plan Board Hearing/Notice

06340-012-208 Oaks Mall Luse/Rezoning
GROVER & MAICO W/H
PO BOX 80610
INDIANAPOLIS IN 46280

Plan Board Hearing/Notice

06655-118-111 Oaks Mall Luse/Rezoning
HANLEY RENFRED & JULIET
12907 MEADOWBEND DR
WELLINGTON FL 33414

Plan Board Hearing/Notice

06340-011-000 Oaks Mall Luse/Rezoning
HCA HEALTH SERVICES OF FLA INC
PO BOX 80610
INDIANAPOLIS IN 46280-0610

Plan Board Hearing/Notice

06655-112-501 Oaks Mall Luse/Rezoning
HILL ALLEN L & CAROLYN J
90785 CONOTTON RD
BOWERSTON OH 44695-9783

Plan Board Hearing/Notice

06655-107-007 Oaks Mall Luse/Rezoning
IGNATZ MARK E & HOLLY N
13606 NW 19TH PL
GAINESVILLE FL 32606-5354

Plan Board Hearing/Notice

06655-119-210 Oaks Mall Luse/Rezoning
JAMOOM ERIC W
3542 WARDER ST NW
WASHINGTON DC 20010-1724

Plan Board Hearing/Notice

06655-116-912 Oaks Mall Luse/Rezoning
JUSTINIANO & SALVATIERRA H/W
2800 NW 16TH AVE
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06340-005-000 Oaks Mall Luse/Rezoning
FLURIACH INVESTMENT HOLDINGS
6702 WEST NEWBERRY RD
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06350-041-000 Oaks Mall Luse/Rezoning
GARRETT T L
830 NW 61ST TER
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-113-611 Oaks Mall Luse/Rezoning
GOMEZ MARCOS A
6519 W NEWBERRY #611
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-118-109 Oaks Mall Luse/Rezoning
GUVANIE LOUIS
6519 W NEWBERRY RD #1109
GAINESVILLE FL 32605-4332

Plan Board Hearing/Notice

06655-115-803 Oaks Mall Luse/Rezoning
HARRIS & HARRIS
20503 PINK GRANITE VALLEY
RICHMOND FL 77407

Plan Board Hearing/Notice

06655-005-024 Oaks Mall Luse/Rezoning
HENDERSON R L TRUSTEE %
HENDERSON LAND TRUST
3501 S MAIN ST #1
Gainesville FL 32601-9031

Plan Board Hearing/Notice

06655-002-013 Oaks Mall Luse/Rezoning
HOWARD & WERSHOW TRUSTEES
3603 NW 98TH ST SUITE C
GAINESVILLE FL 32606

Plan Board Hearing/Notice

06655-002-023 Oaks Mall Luse/Rezoning
ILLUMINATIONS II OWNERS ASSN
3603 NW 98TH ST #C
GAINESVILLE FL 32606

Plan Board Hearing/Notice

06655-108-101 Oaks Mall Luse/Rezoning
JIMENEZ & VALLE W/H
6519 W NEWBERRY RD #101
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-113-608 Oaks Mall Luse/Rezoning
KANWAL VINOD
152 BUTLER RD
PRINCETON NJ 08540

Plan Board Hearing/Notice

06340-002-001 Oaks Mall Luse/Rezoning
LAFAYETTE PROPERTIES OF
ALACHUA COUNTY
3501 S MAIN ST #G
GAINESVILLE FL 32601

Plan Board Hearing/Notice

06655-011-000 Oaks Mall Luse/Rezoning
LEWCO INC
621 SE DEPOT AVE
GAINESVILLE FL 32601

Plan Board Hearing/Notice

06655-114-708 Oaks Mall Luse/Rezoning
LORIE & LURIGADOS
14022 SW 74TH TER
MIAMI FL 33183

Plan Board Hearing/Notice

06655-107-011 Oaks Mall Luse/Rezoning
MARQUETTE RICHARD JULIUS II
PO BOX 605
SORRENTO FL 32776

Plan Board Hearing/Notice

06655-117-115 Oaks Mall Luse/Rezoning
MELARA & MELARA & MELARA
11945 SW 99TH AVE
MIAMI FL 33176

Plan Board Hearing/Notice

06655-119-205 Oaks Mall Luse/Rezoning
MESSEBO & TAMRAT H/W
6013 OAK PARK CIR NE
ATLANTA GA 30324-5291

Plan Board Hearing/Notice

06655-114-707 Oaks Mall Luse/Rezoning
NCNM LLC
7219 NW 42ND LN
GAINESVILLE FL 32606

Plan Board Hearing/Notice

06655-118-106 Oaks Mall Luse/Rezoning
NGUYEN LONG
3805 SW 4TH PL
GAINESVILLE FL 32607-2712

Plan Board Hearing/Notice

06340-012-201 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC
PO BOX 550
NASHVILLE TN 37202-0550

Plan Board Hearing/Notice

06655-111-410 Oaks Mall Luse/Rezoning
OAKS 152 LLC
3603 NW 98TH ST #C
GAINESVILLE FL 32606

Plan Board Hearing/Notice

06655-119-201 Oaks Mall Luse/Rezoning
LEMSTROM & WALTERS H/W
6519 W NEWBERRY RD RD #1201
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-107-006 Oaks Mall Luse/Rezoning
LINDOR SANDRA
6519 W NEWBERRY RD#A6
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-110-306 Oaks Mall Luse/Rezoning
LYNCH LORRAINE J
LA SIESTA 03184 CALLE RODRIGO 89
TORRVIEJA - SPAIN

Plan Board Hearing/Notice

06655-111-412 Oaks Mall Luse/Rezoning
MARRERO RAUL & EVELYN
13460 SW 82ND ST
MIAMI FL 33183

Plan Board Hearing/Notice

06655-111-401 Oaks Mall Luse/Rezoning
MENDEZ JR & MENDEZ
39 NW 143RD ST
MIAMI FL 33168

Plan Board Hearing/Notice

06655-002-026 Oaks Mall Luse/Rezoning
MID CITIES INVESTMENT GROUP LLC
16582 FLEUR DE LIS WAY
DELRAY BEACH FL 33446-3617

Plan Board Hearing/Notice

06655-117-108 Oaks Mall Luse/Rezoning
NELSON KATRINA
2506 MARY SUE ST SW
LARGO FL 33774-1552

Plan Board Hearing/Notice

06340-012-505 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
PO BOX 80610
INDIANAPOLIS IN 46280

Plan Board Hearing/Notice

06340-012-202 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC
ONE PARK PLAZA
NASHVILLE TN 37203

Plan Board Hearing/Notice

06655-005-021 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD % BJ'S
RESTAURANT INC
7755 CENTER AVEN #300
HUNTINGTON BEACH CA 92647

Plan Board Hearing/Notice

06655-111-403 Oaks Mall Luse/Rezoning
LEONARD EVERETT L JR
6519 W NEWBERRY RD #403
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-110-305 Oaks Mall Luse/Rezoning
LOPEZ LAURA PINO
6519 W NEWBERRY RD #305
Gainesville FL 32605

Plan Board Hearing/Notice

06655-113-609 Oaks Mall Luse/Rezoning
MACHADO MICHAEL
13930 SW 152ND TER
MIAMI FL 33177

Plan Board Hearing/Notice

06655-111-402 Oaks Mall Luse/Rezoning
MARRIN ALFRED J & ROBIN C
14525 SW 91ST ST
ARCHER FL 32618

Plan Board Hearing/Notice

06655-121-008 Oaks Mall Luse/Rezoning
MERRITT MICHAEL CAMERON
6519 W NEWBERRY RD #B8
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-108-103 Oaks Mall Luse/Rezoning
NALABOLU & NALABOLU
2490 BIRNAM WOODS WAY
Gainesville FL 32605-1620

Plan Board Hearing/Notice

06655-121-005 Oaks Mall Luse/Rezoning
NEWBOLD & NEWBOLD
2344 SILVERSIDES LLP
PENSACOLA FL 32526-1565

Plan Board Hearing/Notice

06340-012-508 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC
3940 NW 16TH BLVD BLDG B
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06340-012-502 Oaks Mall Luse/Rezoning
NORTH FLORIDA REGIONAL MEDICAL
CENTER INC DELL SALTER PA
3940 NW 16TH BLVD BLDG B
GAINESVILLE FL 32605

Plan Board Hearing/Notice

06655-005-018 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD %
GENERAL GROWTH PROPERTIES
PO BOX 617905
CHICAGO IL 60661-7905

Plan Board Hearing Notice

06655-005-011 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD %
THOMSON REUTERS
PO BOX 2609
CARLSBAD CA 92018

Plan Board Hearing Notice

06655-118-105 Oaks Mall Luse/Rezoning
OAKS OF GAINESVILLE
CONDOMINIUM
6519 W NEWBERRY RD
Gainesville FL 32605

Plan Board Hearing Notice

06340-006-001 Oaks Mall Luse/Rezoning
OH TO BE KIDS LTD
6680 W NEWBERRY RD
GAINESVILLE FL 32605-4311

Plan Board Hearing Notice

06655-116-904 Oaks Mall Luse/Rezoning
ORTIZ TOMAS
3227 SW 101ST TER
GAINESVILLE FL 32607-4604

Plan Board Hearing Notice

06655-114-709 Oaks Mall Luse/Rezoning
PARRA & PARRA
601 N 46TH AVE
HOLLYWOOD FL 33021

Plan Board Hearing Notice

06655-111-404 Oaks Mall Luse/Rezoning
PEARCE & PEARCE
6519 W NEWBERRY RD #404
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-109-202 Oaks Mall Luse/Rezoning
PHAM TUAN QUOC
6519 W NEWBERRY RD #202
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-107-005 Oaks Mall Luse/Rezoning
PIETEK DARIA MARIA
6519 W NEWBERRY RD #A5
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-119-206 Oaks Mall Luse/Rezoning
PISANA MARIA
2018 SW 72ND ST
Gainesville FL 32607

Plan Board Hearing Notice

06655-110-307 Oaks Mall Luse/Rezoning
REID & STRAWDER
6519 W NEWBERRY RD #307
GAINESVILLE FL 32607

Plan Board Hearing Notice

06655-005-015 *** Oaks Mall Luse/Rezoning
OAKS MALL GAINESVILLE LTD
BOSTON MARKET CORPORATION
PROPERTY ADMINISTRATION #559
14103 DENVER WEST PARKWAY
GOLDEN CO 80401

Plan Board Hearing Notice

06655-109-210 Oaks Mall Luse/Rezoning
OAKS OF GAINESVILLE CONDOMINIUM
ASSOC INC
2630 NW 41ST ST #A
Gainesville FL 32606

Plan Board Hearing Notice

06655-112-502 Oaks Mall Luse/Rezoning
OKAFOR & OKAFOR & SCOTT-OKAFOR
H/W
9304 SW 21ST AVE
GAINESVILLE FL 32607

Plan Board Hearing Notice

06655-107-012 Oaks Mall Luse/Rezoning
PAEZ MARCO & SUSAN
6519 W NEWBERRY RD #A12
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-117-101 Oaks Mall Luse/Rezoning
PARROCHA & PARROCHA
507 GOODWOOD DR
LUTZ FL 33549

Plan Board Hearing Notice

06655-200-001 Oaks Mall Luse/Rezoning
PENDER NEWKIRK CUST TC09 LLC
514 N FRANKLIN ST #106
TAMPA FL 33602-4801

Plan Board Hearing Notice

06655-108-109 Oaks Mall Luse/Rezoning
PHILLIPS & PHILLIPS
506 HICKORYWOOD DR
CRAWFORDVILLE FL 32327

Plan Board Hearing Notice

06655-116-916 Oaks Mall Luse/Rezoning
PIFALO DARLENE LIFE ESTATE
1035 NW 41ST DR
GAINESVILLE FL 32605-4758

Plan Board Hearing Notice

06655-116-908 Oaks Mall Luse/Rezoning
QUIJADA CARLOS
6519 W NEWBERRY RD #908
Gainesville FL 32605-4356

Plan Board Hearing Notice

06655-108-110 Oaks Mall Luse/Rezoning
REIDS REAL ESTATE
PO BOX 358822
GAINESVILLE FL 32635

Plan Board Hearing Notice

06655-115-801 Oaks Mall Luse/Rezoning
OAKS OF GAINESVILLE
CONDOMINIUM
2630 NW 41ST ST #A
Gainesville FL 32606

Plan Board Hearing Notice

06655-018-000 Oaks Mall Luse/Rezoning
OAKS SQUARE JOINT VENTURE
101 PLAZA REAL SOUTH #200
BOCA RATON FL 33432

Plan Board Hearing Notice

06655-118-102 Oaks Mall Luse/Rezoning
OROZCO CARLOS M GALINDO
3730 NW 56TH PL #1102
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-109-201 Oaks Mall Luse/Rezoning
PARKER & TILLMAN
16015 SW 15TH AVE
NEWBERRY FL 32669

Plan Board Hearing Notice

06655-109-205 Oaks Mall Luse/Rezoning
PATEL & PATEL
9123 MID PINES
ORLANDO FL 32819

Plan Board Hearing Notice

06655-121-009 Oaks Mall Luse/Rezoning
PERSAUD VIDIANAND
3202 DEL PRADO BLVD S
CAPE CORAL FL 33904

Plan Board Hearing Notice

06655-115-810 Oaks Mall Luse/Rezoning
PIAZZA ANDREW
6519 W NEWBERRY RD #810
GAINESVILLE FL 32607

Plan Board Hearing Notice

06655-121-001 Oaks Mall Luse/Rezoning
PINDER & PINDER
6519 W NEWBERRY RD #B1
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-112-506 Oaks Mall Luse/Rezoning
REED VALENTINE LLC
321 YACHT CLUB DR
FT WALTON BEACH FL 32547

Plan Board Hearing Notice

06350-047-000 Oaks Mall Luse/Rezoning
RETINA CENTER P A (THE)
6400 NEWBERRY RD #301
GAINESVILLE FL 32605

Plan Board HearingNotice

06655-117-109 Oaks Mall Luse/Rezoning
RICHARDSON CYNTHIA K & JOSEPH
34713 CATTAIL DR
EUSTIS FL 32736-2227

Plan Board HearingNotice

06655-111-411 Oaks Mall Luse/Rezoning
RIEFKOHL & RIEFKOHL
5200 NW 43RD ST #102
GAINESVILLE FL 32606-4486

Plan Board HearingNotice

06655-110-311 Oaks Mall Luse/Rezoning
RIVERA & RIVERA III
24324 SW 61ST PL
Newberry FL 32669

Plan Board HearingNotice

06655-110-309 Oaks Mall Luse/Rezoning
ROBERTSON-SANDERS & SANDERS
1056 ALAALA DR
ST AUGUSTINE FL 32056-7168

Plan Board HearingNotice

06655-112-504 Oaks Mall Luse/Rezoning
RON CHAMBERS LLC
1225 NW FRONTIER DR
LAKE CITY FL 32055

Plan Board HearingNotice

06655-114-702 Oaks Mall Luse/Rezoning
ROSARIO PIANNYS
6519 W NEWBERRY RD #702
GAINESVILLE FL 32608

Plan Board HearingNotice

06655-002-011 Oaks Mall Luse/Rezoning
ROUSSEAU & ROY TRUSTEES
3603 NW 98TH ST #C
GAINESVILLE FL 32606-5006

Plan Board HearingNotice

06655-005-000 Oaks Mall Luse/Rezoning
RUSHMORE OAKS MALL LLC
212 W KINZIE ST 6TH FLOOR
CHICAGO IL 60654

Plan Board HearingNotice

06655-116-905 Oaks Mall Luse/Rezoning
SAKHARUK ANDREW
PO BOX 403
ESTERO FL 33929

Plan Board HearingNotice

06655-109-209 Oaks Mall Luse/Rezoning
SAMUELSON STEPHANIE M
6519 W NEWBERRY RD #209
Gainesville FL 32605-4341

Plan Board HearingNotice

06655-119-211 Oaks Mall Luse/Rezoning
SANCHEZ ELA
2030 S DOUGLAS RD #202
CORAL GABLES FL 33134-4615

Plan Board HearingNotice

06655-113-604 Oaks Mall Luse/Rezoning
SANTANDER BANK
1 MORTGAGE WAY MOUNT
LAUREL NJ 08054

Plan Board HearingNotice

06655-116-901 Oaks Mall Luse/Rezoning
SANTORO MICHAEL J & CATHERINE
1337 STRATFORD AVE
PANAMA CITY FL 32404

Plan Board HearingNotice

06655-114-701 Oaks Mall Luse/Rezoning
SAUL SILBER PROPERTIES LLC
3434 SW 24TH AVE #A
GAINESVILLE FL 32607

Plan Board HearingNotice

06655-117-110 Oaks Mall Luse/Rezoning
SCHMIDT EDWARD A SR & PALMA I
2110 SW 78TH TER
GAINESVILLE FL 32602

Plan Board HearingNotice

06655-003-000 Oaks Mall Luse/Rezoning
SCHOOL BD OF ALACHUA CTY
620 E UNIV AVE TERWILLIGER
ELEMENTARY
GAINESVILLE FL 32601

Plan Board HearingNotice

06340-012-403 Oaks Mall Luse/Rezoning
SCOTT BUSINESS VENTURES LLC
6440 WEST NEWBERRY RD #403
GAINESVILLE FL 32605

Plan Board HearingNotice

06655-115-806 Oaks Mall Luse/Rezoning
SENG MARGARET TRUSTEE
8328 MISTY LAKE CIRCLE
SARASOTA FL 34241

Plan Board HearingNotice

06655-005-016 *** Oaks Mall Luse/Rezoning
SERITAGE SRC FINANCE LLC
3333 BEVERLY RD
HOFFMAN ESTATES IL 60179

Plan Board HearingNotice

06655-109-206 Oaks Mall Luse/Rezoning
SIKES JOHN MORELAND III % LARRY
SIKES
304 REID ST
PALATKA FL 32177

Plan Board HearingNotice

06655-121-007 Oaks Mall Luse/Rezoning
SINGLETON SABRINA
6519 NEWBERRY RD #B7
GAINESVILLE FL 32605

Plan Board HearingNotice

06655-110-304 Oaks Mall Luse/Rezoning
SPENCER & SPENCER
446 SE ANDREWS DR
LAKE CITY FL 32025

Plan Board HearingNotice

06655-113-601 Oaks Mall Luse/Rezoning
SPIRES RICHARD N & DONNA
6519 W NEWBERRY RD #601
GAINESVILLE FL 32605-4344

Plan Board HearingNotice

06655-114-712 Oaks Mall Luse/Rezoning
SULLIVAN ANTHONY RYAN
12342 NW 7TH LN
NEWBERRY FL 32669-2700

Plan Board HearingNotice

06340-012-204 Oaks Mall Luse/Rezoning
SWC BUILDING PARTNERSHIP LLC
6440 W NEWBERRY RD #204
GAINESVILLE FL 32605

Plan Board HearingNotice

06655-116-914 Oaks Mall Luse/Rezoning
THOMPSON & THOMPSON
2005 BAHAMA DR
HOLLYWOOD FL 33023

Plan Board HearingNotice

06655-114-704 Oaks Mall Luse/Rezoning
TIRADO MARCUS E & DELIA
4115 CANESHAW DR
PEARLAND TX 77584-1456

Plan Board HearingNotice

06655-110-312 Oaks Mall Luse/Rezoning
TOP FLORA INC
17310 SW 95TH AVE
Archer FL 32618-3402

Plan Board HearingNotice

06655-108-106 Oaks Mall Luse/Rezoning
TORMES & TORMES
13084 SW 136TH TER
MIAMI FL 33186

Plan Board HearingNotice

06655-110-302 Oaks Mall Luse/Rezoning
TRIANA CHRISTIAN C
6519 NEWBERRY RD #302
GAINESVILLE FL 32605

Plan Board Hearing Notice

06340-012-408 Oaks Mall Luse/Rezoning
TYLER LINDA S
PO BOX 358077
GAINESVILLE FL 32635

Plan Board Hearing Notice

06655-270-001 Oaks Mall Luse/Rezoning
UNITED WAY OF NORTH CENTRAL
FLORIDA
6031 NW 1ST PL
GAINESVILLE FL 32607-2025

Plan Board Hearing Notice

06655-117-112 Oaks Mall Luse/Rezoning
US BANK NATIONAL ASSOCIATION
3476 STATEVIEW BLVD
FORT MILL SC 29715

Plan Board Hearing Notice

06655-116-915 Oaks Mall Luse/Rezoning
VANKAMPEN NICOLE MARIE
6519 W NEWBERRY RD #915
GAINESVILLE FL 32607

Plan Board Hearing Notice

06655-118-110 Oaks Mall Luse/Rezoning
WARNER GREGORY T
4016 TOPSHAM SQ
FAIRFAX VA 22033

Plan Board Hearing Notice

06655-113-605 Oaks Mall Luse/Rezoning
WERNER DOROTHY R
525 NE BLVD
Gainesville FL 32601

Plan Board Hearing Notice

06655-115-804 Oaks Mall Luse/Rezoning
WHEELER & WILLETT
56 POLK SPRINGS RD
ELLOREE SC 29047

Plan Board Hearing Notice

06655-116-907 Oaks Mall Luse/Rezoning
WILLIAM R SAMPLES SR
6519 W NEWBERRY RD #907
GAINESVILLE FL 32605

Plan Board Hearing Notice

06655-115-805 Oaks Mall Luse/Rezoning
WINKELSPECT THOMAS A IISHEIL
4491 PORTAGE TRL
MELBOURNE FL 32940-1533

Plan Board Hearing Notice

06655-012-001 Oaks Mall Luse/Rezoning
WNRJ INC
13221 MILLHOPPER RD
GAINESVILLE FL 32653

Plan Board Hearing Notice

06655-118-108 Oaks Mall Luse/Rezoning
WOLF MIRIAM
10822 NW 199TH AVE
ALACHUA FL 32615

Plan Board Hearing Notice

06655-121-003 Oaks Mall Luse/Rezoning
WOOTEN JUNE M
6519 W NEWBERRY RD #3B
GAINESVILLE FL 32605

Plan Board Hearing Notice

06654-000-000 Oaks Mall Luse/Rezoning
GAINESVILLE GROUP ST STE 200
13221 MILLHOPPER RD
FARMINGTON HILLS, MI 48334-3803

Plan Board Hearing Notice

06654-001-000 Oaks Mall Luse/Rezoning
GAINESVILLE CAPITAL INC
3959 NW 79TH AVE
MIAMI FL 33166

Plan Board Hearing Notice

06655-001-006 Oaks Mall Luse/Rezoning
CARROLLWOOD CENTER HOLDINGS
6800 W UNIVERSITY AVE
GAINESVILLE FL 32607

Plan Board Hearing Notice

06653-003-001 Oaks Mall Luse/Rezoning
THE EMORY GROUP
2145 SW 94TH TER
GAINESVILLE FL 32607



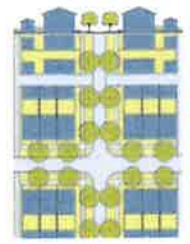
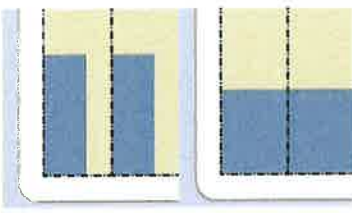
- 1 C. *Enforcement.* In addition to any other remedy provided for herein, the City Manager or designee,
 2 upon reasonable cause to believe that this section is being violated, may request the City Attorney
 3 to take any appropriate action to correct the violation.
- 4 D. *Public nuisance.* Any person who violates this section shall be deemed guilty of maintaining a
 5 nuisance, and may result in abatement or enjoinder as provided in Sections 60.05(1) and 60.06,
 6 Florida Statutes.

7

8 **DIVISION 2. TRANSECTS**

9 **Section 30-4.11. Generally.**

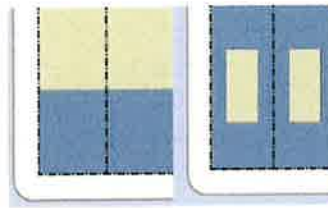
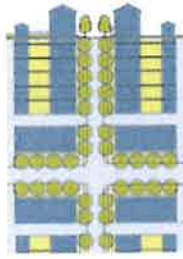
- 10 A. *Intent.* The intent of this division is to establish development standards that will encourage a more
 11 efficient and sustainable urban form by allowing a range of housing, employment, shopping and
 12 recreation choices and opportunities in a compact, pedestrian-friendly environment.
- 13 B. *Transects.* A transect is a geographical cross-section of a region that reveals a sequence of
 14 environments that ranges from rural to urban. Using the transect to regulate development ensures
 15 that a community offers a full diversity of development types, and that each has appropriate
 16 characteristics for its location. There are typically six transects organizing the components of place-
 17 making: Natural Zone, Rural Zone, Urban Neighborhood Zone, General Urban Zone, Urban Center
 18 Zone, and Urban Core. This code assigns transects that are tailored to the unique character of the
 19 City of Gainesville. The allowable uses, dimensional standards, and development requirements for
 20 these zones are described within this division.

	ZONE DESCRIPTION	INTENDED SITE LAYOUT
 <p>Urban Zone 1</p>	<p>Urban Zone 1 Consists of predominantly low to medium density residential areas, adjacent to higher intensity zones where neighborhood services and mixed use are permitted.</p>	 <p>Edge</p> <p>Buildings typically occupy the center of the lot with setbacks on all sides. The front yard is intended to be visually continuous with the yards of adjacent buildings.</p>
 <p>Urban Zones 2-5</p>	<p>Urban Zones 2 - 5 Consists of a wide range of residential building types. Higher number zones provide for the integration of offices and neighborhood services within an increasingly urban fabric. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.</p>	 <p>Side Front</p> <p>Buildings typically occupy one side of the lot leaving a setback to the other side to allow for access or privacy. In many instances, the building occupies the entire lot frontage. A shallow frontage setback defines a more urban condition.</p>

Urban Zones 6-9

Urban Zones 6 - 9

Consists of higher density mixed use buildings that accommodate retail, offices, and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.



Front

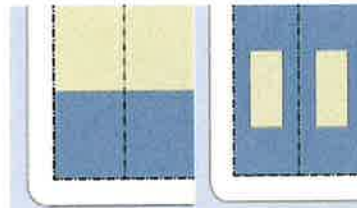
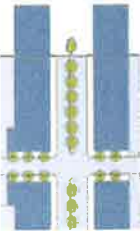
Courtyard

The building typically occupies the full frontage, leaving the rear of the lot as the sole yard. The continuous facade steadily defines the public street. In its residential form, this type is the attached dwelling. The rear yard can accommodate substantial parking.

Downtown

Downtown

Consists of the highest density and height development, with the greatest variety of uses, and civic buildings of regional importance. Streets have steady street tree planting and buildings are set close to wide sidewalks.



Front

Courtyard

The building occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public street.

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C. **Streets.** Within the transects, new developments shall connect to the existing street network. Where the existing street network is deficient with respect to gridded connectivity, the development shall provide new street connections to meet the block perimeter requirements.

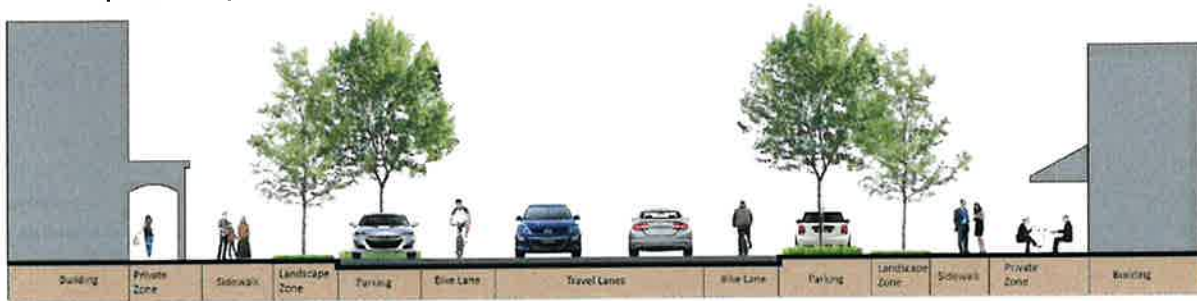
The zoning map identifies a hierarchy of street types that determine the relationship of buildings to the street and the standards for the design of street landscaping and sidewalks. Street types include: Storefront, Principal, Thoroughfare, and Local Streets. All undesignated existing streets are assumed to be Local Streets. Below is a detailed description of the general function, character, and elements of each street type. Final street design for new development shall be in accordance with this article and the Design Manual, subject to review and approval by the City Manager or designee in the development review process. In the event of a conflict between the standards in this article and the Design Manual, the Design Manual shall govern.

a. **Storefront.** Storefront streets are designed to encourage a high level of pedestrian activity. Higher intensity and density uses front this street type. Due to the level of pedestrian activity on this street type, minimum sidewalk widths are increased and first floor residential development requires a 1.5 foot elevation above grade (3 feet recommended) for the privacy and comfort of residents. Building front entrances shall be oriented to this street type when there are multiple street frontages for the property.



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b. **Principal.** Principal streets include lower levels of pedestrian activity compared to storefront streets. This street type is located in mixed-use areas where the traffic volume is anticipated to be higher than on local streets. This street type allows for some auto-oriented uses with a special use permit.



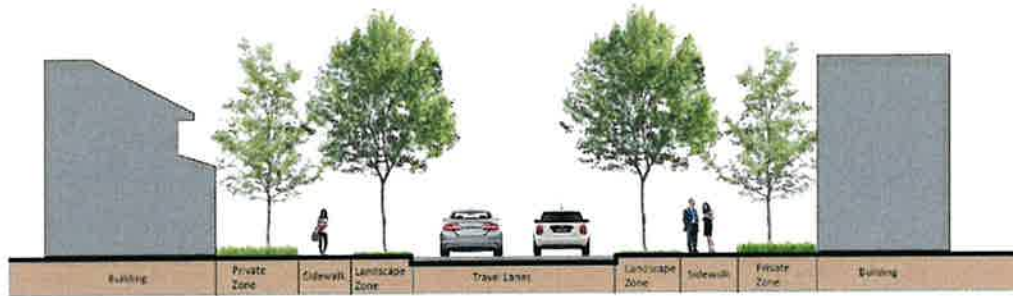
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c. **Thoroughfares.** Thoroughfares are streets that carry high volumes of through traffic at higher speeds with less pedestrian activity and higher vehicular speeds than other street types. These streets are often fronted by larger scale commercial development and are usually 4-lane or 6-lane streets.



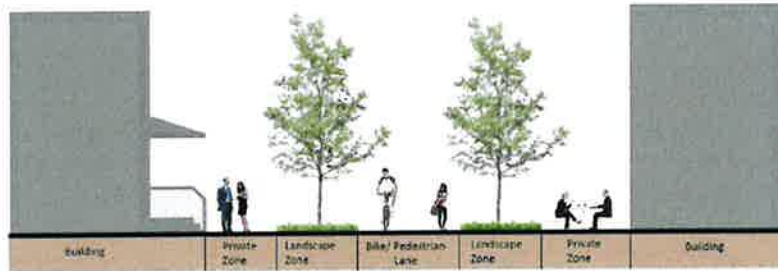
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d. **Local.** Local Streets are intended to have slow speeds and provide for connections within neighborhoods and between residential areas and commercial areas. Local Streets are not identified on the zoning map, but make up the vast majority of the street types within the transects. Any street that is not identified as a Storefront, Principal, or Thoroughfare street should be assumed to be a Local Street.



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e. **Urban Walkways.** Urban Walkways are pedestrian/bicycle pathways that serve to improve pedestrian/bicycle connectivity, delineate blocks and provide for expanded pedestrian space. These may be established as alternatives to new streets in some locations.



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f. **Alleys.** Alleys are narrower streets that are primarily used for service access to developments, or vehicular access to rear parking areas. Alleys are encouraged to be preserved, improved, or established in conjunction with development.



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Section 30-4.12. Permitted Uses.

The following table contains the list of uses allowed, and specifies whether the uses are allowed by right (P), accessory to a principal use (A), or by special use permit approval (S). Blank cells indicate that the use is not allowed. No variances from the requirements of this section shall be allowed.

Table V - 1: Permitted Uses within Transects.

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
RESIDENTIAL											
Single-family house		P	P	P	P	P	P	P	P	P	P
Attached dwellings (up to 6 attached units)		-	P	P	P	P	P	P	P	P	P

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
Multi-family, small-scale (2-4 units per building)		-	P	P	P	P	P	P	P	P	P
Multi-family dwelling		-	-	P	P	P	P	P	P	P	P
Accessory dwelling unit	30-5.33	-	P	P	P	P	P	P	P	-	-
Adult day care home	30-5.2	P	P	P	P	P	P	P	P	P	P
Community residential homes (up to 6 residents)	30-5.6	P	P	P	P	P	P	P	P	-	-
Community residential homes (more than 6 residents)	30-5.6	-	-	P	P	P	P	P	P	P	-
Dormitory (small)	30-5.8	-	P	P	P	P	P	P	P	P	P
Dormitory (large)	30-5.8	-	-	P	P	P	P	P	P	P	P
Family child care home	30-5.10	P	P	P	P	P	P	P	P	P	-
NONRESIDENTIAL											
Alcoholic beverage establishment	30-5.3	-	-	-	-	-	-	P	P	P	P
Assisted living facility		-	-	-	P	-	P	P	P	P	P
Bed & Breakfast establishments	30-5.4	-	S	P	P	P	P	P	P	P	P
Business services		-	-	-	P	-	P	P	P	P	P
Car wash facilities	30-5.5	-	-	-	-	-	-	P	P	-	-
Civic, social & fraternal organizations		S	P	P	P	P	P	P	P	P	P
Day care center	30-5.7	-	S	S	P	P	P	P	P	P	P
Drive-through facility	30-5.9	-	-	-	-	-	P	P	P	P	P
Emergency shelter		-	-	-	-	P	P	P	P	P	P
Equipment rental and leasing, light		-	-	-	-	-	-	P	P	P	P
Exercise studios		-	-	-	P	-	P	P	P	P	P
Farmers market	30-5.11	-	-	-	-	-	P	P	P	P	P
Food distribution for the needy	30-5.12	-	-	-	-	-	-	-	S	S	S
Food truck	30-5.35	-	-	-	A	-	P	P	P	P	P
Funeral homes and crematories		-	-	-	-	-	P	P	P	P	P
Gasoline/alternative fuel station	30-5.13	-	-	-	-	-	S ¹	P	P	-	-
Hotel		-	-	-	-	-	-	P	P	P	P
Laboratory, medical & dental		-	-	-	P	-	P	P	P	P	P
Library		-	-	-	-	S	P	P	P	P	P
Light assembly, fabrication and processing	30-5.16	-	-	-	-	-	P	P	P	P	P
Medical marijuana		-	-	-	-	-	P	P	P	P	P

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
dispensing facility											
Microbrewery Microwinery Microdistillery ²	30-5.17	-	-	-	-	-	S	P	P	P	P
Mini-warehouse/self-storage	30-5.18	-	-	-	-	-	-	-	P	P	-
Museums and art galleries		-	-	-	P	S	P	P	P	P	P
Office		-	-	-	P	P ³ / S ⁴	P	P	P	P	P
Office- medical, dental, & other health related services		-	-	-	P	-	P	P	P	P	P
Parking, surface (principal use)	30-5.20	-	-	-	-	-	-	-	-	S	S
Parking, structured (principal use)		-	-	-	-	-	-	P	P	P	P
Passenger transit station		-	-	-	-	-	-	-	P	P	P
Personal services		-	-	-	S	-	P	P	P	P	P
Places of religious assembly	30-5.21	S	P	P	P	P	P	P	P	P	P
Professional school		-	-	-	P	P	P	P	P	P	P
Public administration buildings		-	-	-	S	S	S	P	P	P	P
Public parks		P	P	P	P	P	P	P	P	P	P
Recreation, indoor ²		-	-	-	-	-	P	P	P	P	P
Recreation, outdoor		-	-	-	-	-	-	P	P	P	-
Research development & testing facilities		-	-	-	-	-	-	P	P	P	P
Residences for destitute people	30-5.22	-	-	-	-	-	-	-	S	S	S
Restaurant		-	-	-	S	-	P	P	P	P	P
Retail sales		-	-	-	-	-	P	P	P	P	P
School, elementary, middle & high (public & private)		S	S	S	P	P	P	P	P	P	P
Scooter and electric golf cart sales		-	-	-	-	-	-	P	P	P	-
Simulated gambling establishments		-	-	-	-	-	-	-	-	-	-
Social service facilities	30-5.25	-	-	-	-	-	-	-	P	P	P
Skilled nursing facility		-	-	-	P	-	P	P	P	P	P
Vehicle sales and rental (no outdoor display)		-	-	-	-	-	-	P	P	P	P
Vehicle services	30-5.28	-	-	-	-	-	-	P	P	-	-
Vehicle repair	30-5.28	-	-	-	-	-	-	P	-	-	-
Veterinary services	30-5.29	-	-	-	P	-	P	P	P	P	P
Vocational/Trade school		-	-	-	-	-	S	P	P	P	P

	Use Standards	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
Wireless communication services	See 30-5.30										

- 1 **LEGEND:**
- 2 P = Permitted by right; S = Special Use Permit; A = Accessory; Blank = Use not allowed.
- 3 1 = When located along a Principal Street.
- 4 2 = Prohibited where adjacent to single-family zoned property.
- 5 3 = Office uses as a home occupation.
- 6 4 = Office uses up to 20% of the building square footage and shall be secondary to a principal residential
- 7 use. No outdoor storage allowed.

1

2 **Section 30-4.13. Building Form Standards.**

3 This section contains the building form standards that determine the location, scale and massing of all
4 buildings within the transects.

5

6 **Table V - 2: Building Form Standards within Transects.**

TRANSECT	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
A. BLOCK STANDARDS										
Block perimeter (max feet)	2,600'								2,000'	1,600'
B. LOT CONFIGURATION										
Lot width (min feet)	34'	18'							18'	18'
C. DEVELOPMENT INTENSITY										
Nonresidential building coverage (max)	60%	80%							90%	100%
Residential density by right/with SUP ¹ (max units per acre)	8	15	20	20	75	50/60	50/60	60/80	100/125	150/175
D. BUILDING FRONTAGE										
Primary frontage (min)	50%	60%							70%	80%
Secondary frontage (min)	30%	40%							50%	60%
E. BUILDING PLACEMENT										
min-max from curb										
min landscape/min sidewalk/min building frontage										
Storefront Street	20'-25' 5'/10'/5'	20'-25' 5'/10'/5'							20'-25' 5'/10'/5'	20'-25' 4'/10'/5'
Principal Street	17'-37' 6'/6'/5'	17'-27' 6'/6'/5'							17'-27' 6'/6'/5'	17'-27' 6'/6'/5'
Thoroughfare Street	19'-100' 6'/6'/5'	19'-100' 8'/6'/5'							19'-100' 8'/6'/5'	19'-100' 8'/6'/5'
Local Street	15'-35' 5'/5'/5'	15'-20' 5'/5'/5'							16'-21' 5'/6'/5'	15'-20' 4'/6'/5'
F. BUILDING SETBACKS										
Side interior setback (min)	5'	5'	5'	5'	5'	5'	5'	0'	0'	0'

Rear setback (min)	15'	3' (alley) 10' (no alley)	3' (alley) 5' (no alley)	3' (alley) 0' (no alley)
--------------------	-----	------------------------------	-----------------------------	-----------------------------

- 1 **LEGEND:**
- 2 1 = See Section 30-4.8 for development compatibility standards.
- 3

TRANSECT	U1	U2	U3	U4	U5	U6	U7	U8	U9	DT
G. BUILDING HEIGHT										
Min feet	NA	NA	NA	NA	NA	NA	18	18	18	18
Max stories (by right ¹ /with bonus ²)	3	3	3	3	4	4/5	4/6	5/6	6/8	12/14
Max feet (by right/with bonus ²)	36	36	36	42	60	60/74	60/88	74/88	88/116	172/200
H. FLOOR HEIGHT										
Min first floor height (residential / nonresidential)	NA/10'	NA/12'	NA/12'	NA/12'	NA/12'	NA/12'	12'/12'	12'/15'	12'/15'	12'/15'
Min first floor elevation (residential only)	-	-	-	-	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.
I. GLAZING										
Min first floor - nonresidential	-	30%			50%			65%		

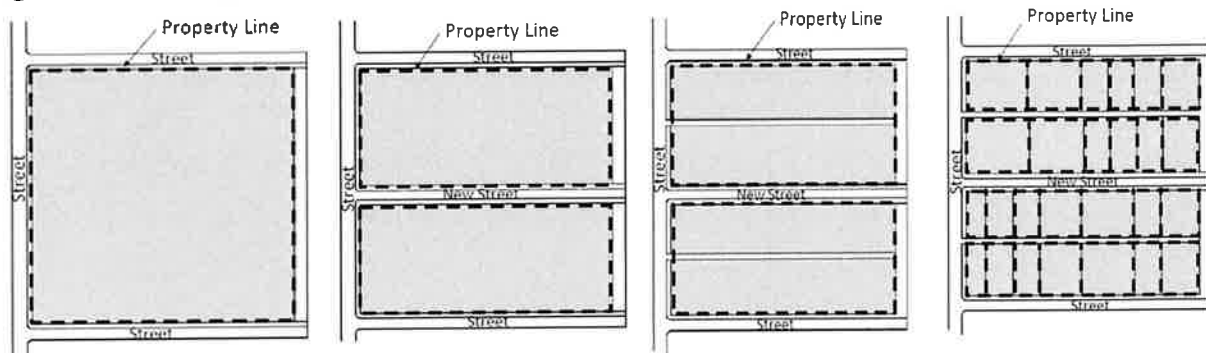
Min first floor - multi-family	-	30%
Min upper floors - nonresidential and multi-family	-	15%

- 1 **LEGEND:**
2 1 = See development compatibility standards in Section 30-4.8.
3 2 = See bonus system requirements in Section 30-4.9.

1 A. *Block standards.*

- 2 1. *Maximum block perimeter.* Maximum block perimeters are defined Table V-2 for each transect.
 3 When development cumulatively includes 50% or more of the total project area, it shall be
 4 required to include new local streets or urban walkways and the resulting block(s) shall not
 5 exceed the prescribed maximum block perimeter. Figure V-1 below depicts a recommended
 6 approach to breaking down large blocks to provide a new street grid on a large site.

7 **Figure V - 1: Creating Blocks**



8

9 Step 1-original site; Step 2-introduce streets; Step 3-introduce alleys; Step 4-introduce lots.
 10

11 2. *Construction of new streets.*

- 12 a. The required local streets or urban walkways shall be constructed at the expense of the
 13 owner/developer as part of the development review process and shall be constructed
 14 according to the appropriate city standards, but may be sited and configured in a manner so
 15 that they provide the most appropriate access to the development. Where a street is
 16 planned to continue beyond the extent of a development, the development shall provide for
 17 the continuation of the street by stubbing out the improvements as close as is practicable to
 18 edge of the property boundary.
- 19 b. The required local streets, multi-use paths or urban walkways shall provide for public access
 20 and may be dedicated for public right-of-way after construction, if the city desires to accept
 21 same for maintenance.
- 22 c. Notwithstanding any other provision in this chapter, a development may receive final
 23 approval prior to construction of the required local streets or urban walkways if the city,
 24 upon approval of the City Commission, has executed a binding agreement with the
 25 owner/developer that:
- 26 i. Requires the city and/or the Community Redevelopment Agency to construct the
 27 required local streets as public streets within two years of final approval; and
- 28 ii. Provides for the conveyance or dedication of the associated right-of-way from the
 29 property owner to the city, at no cost to the city.

30 The city may enter into such an agreement only when the city determines that doing so
 31 would be in the public interest and when the city and/or the Community Redevelopment
 32 Agency has budgeted legally available funds for the construction of the required local

1 streets. The form and content of the agreement shall be provided by and acceptable to the
2 city in its sole discretion.

- 3 d. Board modifications from the requirement to construct new streets may be granted in
4 accordance with the procedures and criteria for a variance, with specific consideration given
5 to situations where the construction of a street is limited by: access management standards,
6 regulated environmental features, regulated natural or archeological resources, public
7 stormwater facilities, existing utility facilities, contamination sites, inconsistencies with plans
8 for a future city street network, parks, or schools. Where a variance from these
9 requirements is approved, the block perimeter shall be completed with the provision of
10 sidewalk and bicycle connections, and multi-use paths or urban walkways, subject to
11 approval by the city.

- 12 3. *Urban walkways.* When required new streets or urban walkways are constructed as part of a
13 subdivision or development, their design and construction shall conform to the following
14 standards and applicable design manual standards:

- 15 a. New streets or urban walkways shall connect to existing streets on abutting properties, or
16 be constructed in alignment with planned public streets on abutting properties.
- 17 b. Where a portion of a new street or urban walkway is newly constructed, it shall be designed
18 to be extended to abutting property. Stub-outs shall extend to the property line.
- 19 c. Urban walkways shall be a minimum of 26 feet wide and may be designed with a single or
20 divided paved pathway. The pathway(s) shall be at least 10 feet wide in total width and shall
21 provide for both bicycles and pedestrians. An urban walkway shall be landscaped with
22 shade trees on minimum 50-foot centers on both sides of the paved path. Unpaved areas
23 may also contain stormwater facilities. Urban walkways may contain benches, fountains,
24 outdoor cafes or other outdoor uses as long as a minimum sidewalk width as specified
25 above is maintained.

- 26 B. *Building frontage.* Building frontage requirements shall create a continuous building presence along
27 streets.

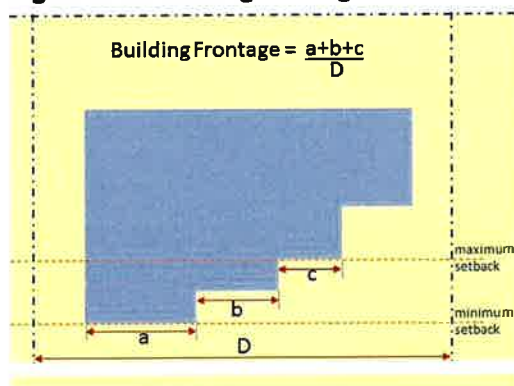
- 28 1. The building frontage standards are a proportion
29 of the building length relative to the width of
30 the development site measured at the site
31 frontage line, (see Figure V - 3).

- 32 2. *Frontage hierarchy.*

- 33 a. Where a development has frontage along
34 multiple street types that do not include a
35 thoroughfare, the urban street (Storefront
36 or Principal, in that order of hierarchy) shall
37 be considered the primary street for the
38 front face of the building.

- 39 b. Where a development has frontage on a
40 thoroughfare and any other street type, the thoroughfare shall be considered the primary
41 street.

Figure V - 3: Building Frontage



1 c. Where a development has frontage on two streets of equal type, then the City Manager or
 2 designee shall make a determination as to which street frontage shall be considered
 3 primary.

4 3. In the case where the required building frontage cannot be met
 5 due to the need to provide vehicular access from the primary
 6 frontage, a gateway, arch or similar feature may be provided to
 7 preserve the block continuity and may be counted toward
 8 meeting the building frontage requirement, (see Figure V - 4).

Figure V - 4: Example of Gateway



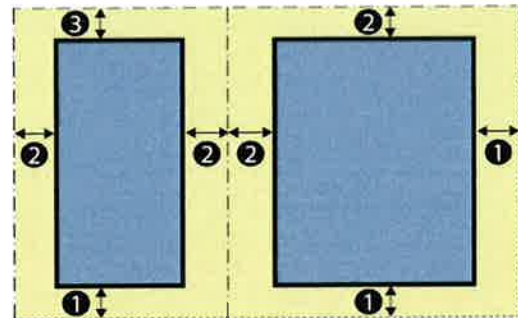
Floor above gateway not required

9 4. The ground floor along the street frontages shall contain active
 10 uses oriented to the street. Active uses may include, but are not
 11 limited to, display or floor areas for retail uses, waiting and
 12 seating areas for restaurants, atriums or lobbies for offices,
 13 lobbies or dining areas for hotels or multi-family residential
 14 buildings, and hotel rooms or multi-family residential units with
 15 street facing entrances.

16 C. **Building placement and setbacks.** The placement of a building on a site is critical to creating a vital
 17 and coherent public realm. The building placement and setback standards shall shape the public
 18 realm and strengthen the physical and functional character of the area. Figure V-5 depicts the types
 19 of setbacks.

20 1. Building placement requirements shall be
 21 measured from the back of curb instead of the
 22 front property line, with the following
 23 exceptions:

Figure V - 5: Building Setbacks

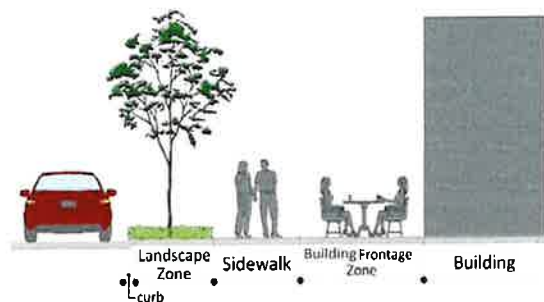


- 24 a. In the absence of curbs, shall be measured
 25 from the edge of pavement.
- 26 b. Where the required building placement falls
 27 within a public right-of-way, it shall be
 28 shifted to the property line instead.

29 2. Building placement requirements shall be
 30 comprised of a landscape zone, a public
 31 sidewalk zone and a building frontage zone.
 32 Figure V-6 depicts the required configuration of these zones in relation
 33 to the street curb and building. The required minimum widths for the
 34 landscape and sidewalk zones are listed within Table V - 2. The building
 35 frontage zone shall be a minimum of 5 feet in all
 36 locations. Section 30-4.13 D contains additional
 37 standards for the design of the building
 38 frontage zone.

- ① Street Setback
- ② Side Setback
- ③ Rear Setback

Figure V - 6: Public Realm Zones



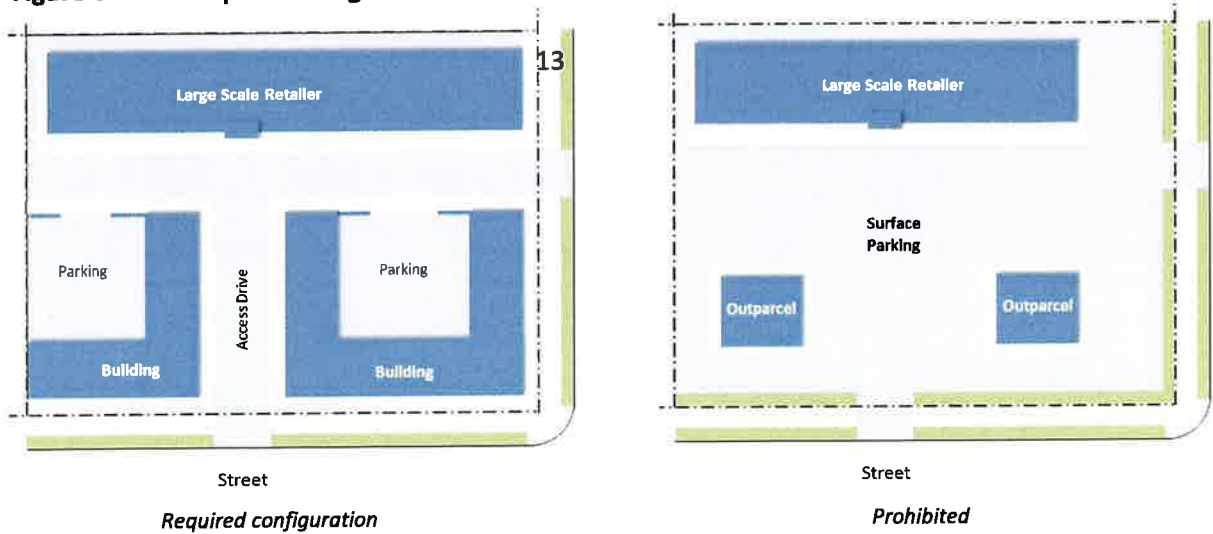
- 39 3. Side and rear setbacks are minimums and shall
 40 be measured from shared property lines.
- 41 4. The following shall not be located within the
 42 public sidewalk zone: utility poles including
 43 electrical transmission and distribution poles;

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light poles; mechanical equipment as defined in Section 30-6.10; signs included in Section 30-9.2A; and street furniture including benches, trash receptacles, and bicycle racks.

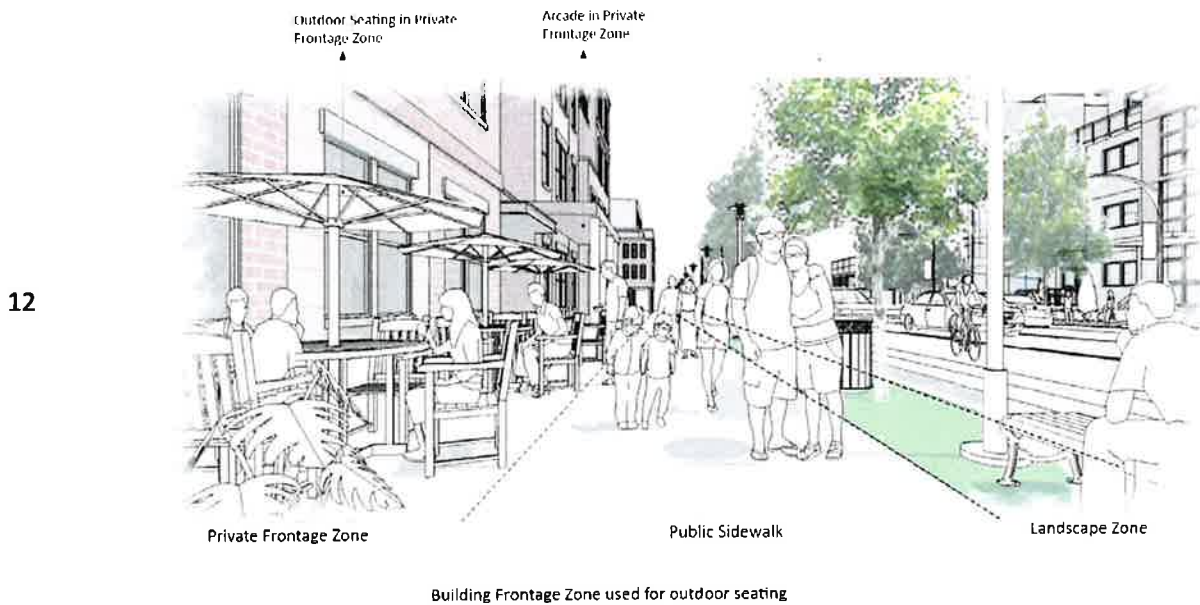
- 5. Where multiple buildings are proposed within a development, the placement of buildings at the rear of a site is allowed as long as one or more buildings are placed along the front of the site meeting the building placement and setback and building frontage requirements of this division. Figure V-7 depicts the required configuration of multiple buildings on a site, such as within a shopping center. Streets or access drives shall be incorporated into the site to break it down into smaller lots/blocks (platting will not be required). The primary access drive shall be centered on the anchor building and shall be lined with buildings, which shall meet the required frontage standards along the street and access drive.

Figure V - 7: Multiple Buildings on a Site

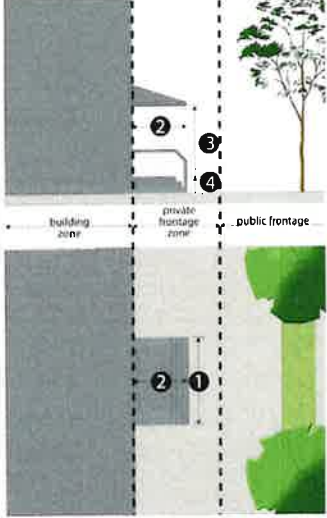
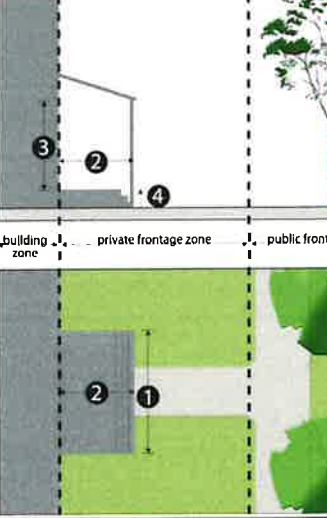


1 D. **Building frontage zone requirements.** All development shall provide a minimum 5-foot wide building
 2 frontage zone behind the public sidewalk, and buildings shall have at least one type of building
 3 frontage incorporated into its design. Table V-3 contains the dimensional requirements for the
 4 various types of building frontages allowed. The intent of the building frontage zone is to provide a
 5 transition between the public street/sidewalk and the building. The type of activity conducted in the
 6 private frontage zone depends on the nature of the proposed use (Figure V-8). For a commercial
 7 building, the intent of the private frontage zone is to attract customers into the business. For a
 8 residential site, the intent of the private frontage zone is to provide for a private outdoor space and
 9 establish a separation from the public sidewalk for the ground floor rooms.

10 **Figure V - 8: Examples of Building Frontage Zone Activity**
 11



1 **Table V - 3: Building Frontage Dimensional Standards**

Storefront	Gallery	Arcade
		
<p>1. Width: 25% of façade width min. 2. Depth: 5' min. 3. Clear Height: 8' min.</p>	<p>1. Width: 75% of façade width min. 2. Depth: 8' min. 3. Clear Height: 12' min. (1st floor)</p>	<p>1. Width: 75% of façade width min. 2. Depth: 8' min. 3. Clear Height: 12' min. (1st floor)</p>
Courtyard	Stoop	Porch
		
<p>1. Width: 10' min to 50% of façade width max. 2. Depth: 10' min/20' max. 3. Elevation: 18" max above grade.</p>	<p>1. Width: 5' min to 16' max. 2. Depth: 5' to 8' 3. Clear Height: 8' 4. Elevation: 21" min above grade.</p>	<p>1. Width: 12' min. 2. Depth: 8' min. 3. Clear Height: 8' min. 4. Elevation: 21" min above grade.</p>

2 Note: See Article II for definitions of frontages.

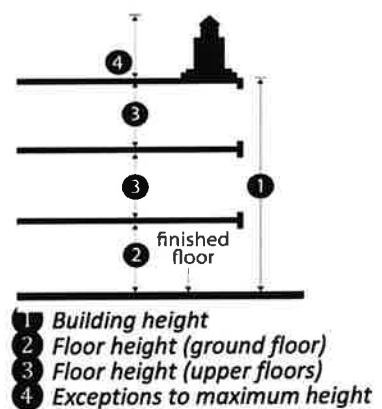
3 1. *Building frontage standards, general.*

- 1 a. In addition to the encroachments shown in Table V-3, cantilevered balconies, bay windows
- 2 and roof overhangs are allowed to encroach into the building frontage zone.
- 3 b. Street furniture such as benches, trash receptacles, or bicycle racks may be installed within
- 4 the building frontage zone; however, permanent fencing is prohibited.
- 5 2. *Standards for storefronts, awnings and canopies.*
- 6 a. Storefront doors shall not be recessed more than 5 feet from the front façade. Recessed
- 7 doors shall have angled walls leading to the door to promote the visibility of the entrance.
- 8 b. Awnings and canopies shall not cover building architectural elements including but not
- 9 limited to cornices or ornamental features.
- 10 c. High gloss or plasticized fabrics and aluminum are not allowed for awnings.
- 11 d. Backlit awnings are not permitted.
- 12 e. Awning shall match the width of the window or door opening and shall enhance the
- 13 architectural features of the building.
- 14 3. *Standards for galleries and arcades.*
- 15 a. Along urban Storefront streets, gallery/arcade openings shall align with storefront
- 16 entrances.
- 17 b. Galleries may be one or two stories.
- 18 c. Arcades and galleries shall have consistent depth along a frontage.
- 19 4. *Standards for courtyards.*
- 20 a. Courtyards shall be paved and a minimum of 20% of the total courtyard area shall be
- 21 enhanced with either above-ground or in-ground landscaping.
- 22 5. *Standards for stoops and porches.*
- 23 a. Stoops shall align directly with the building entry.
- 24 b. Porches may be one or two stories.
- 25 c. Porches may encroach into the building frontage zone.

26 E. *Building height.*

- 27 1. The heights of parking structures shall be limited in accordance
- 28 with the maximum feet within each district, but shall not be
- 29 limited to the maximum number of stories.
- 30 2. Mezzanines that meet the definition and requirements of the
- 31 Florida Building Code shall not be counted as an additional
- 32 story.
- 33 3. The building height limitations contained in Table V - 2 do not
- 34 apply to spires, belfries, cupolas, antennas, water tanks,
- 35 ventilators, chimneys or other appurtenances required to be
- 36 placed on the roof and not intended for human occupancy.
- 37 Other exceptions include:
- 38 a. Roof structures above eave line can vary in height up to a

Figure V - 9: Building Height



- 1 maximum of 15 feet above eave line.
- 2 b. Trellises may extend above the maximum height up to 8 feet.

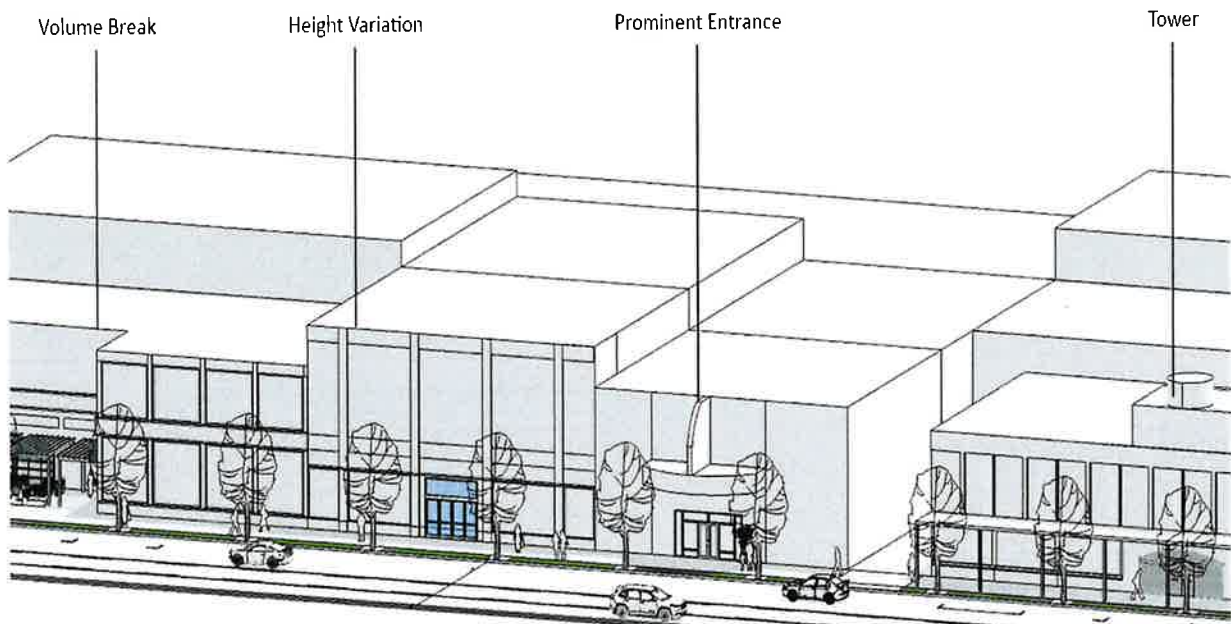
3 F. *Floor height.*

- 4 1. Floor height shall be measured as provided in the Florida Building Code.
- 5 2. Parking garages are exempt from the minimum floor height requirements.

6 **Section 30-4.14. Building Design Standards.**

7 A. *Building massing.* Large building volumes shall be divided to appear as smaller volumes grouped
 8 together. Volume breaks may be achieved by volume projections and recesses, and varying heights
 9 and roof lines. Therefore, building facades shall not exceed 60 feet along a street frontage without
 10 providing a substantial volume break such as a volume projection or recess, a tower or bay, or an
 11 architecturally prominent public entrance. The recesses and projections shall have a minimum
 12 depth and width of 10 feet.

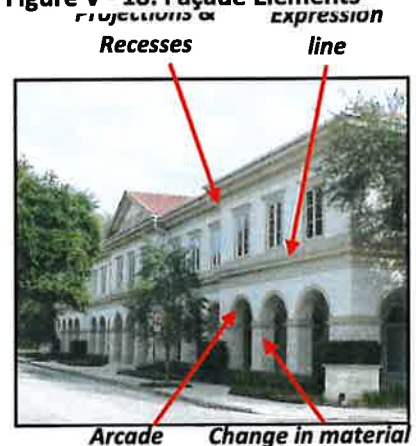
13 **Figure V - 16: Building Massing**



15 B. *Facade articulation.* The standards contained in this section apply to multi-family, nonresidential
 16 and mixed-use buildings. Building facades along streets shall maintain a pedestrian scale by
 17 integrating the following architectural elements:

- 18 1. Façades shall not exceed 20 horizontal feet without including at least one of the following elements:
- 19 a. A window or door.
- 20 b. Awning, canopy or marquee.
- 21 c. An offset, column, reveal, void, projecting rib, band,
- 22 cornice, or similar element with a minimum depth of six
- 23 inches.
- 24

Figure V - 18: Façade Elements

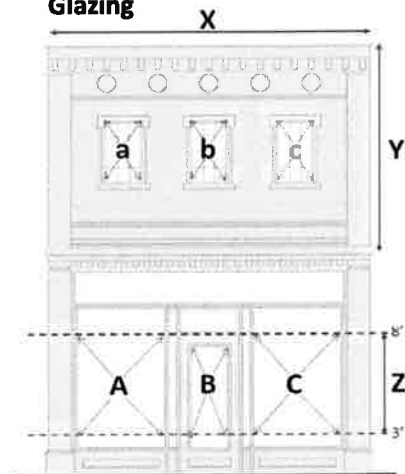


- 1 d. Arcade, gallery or stoop.
- 2 e. Complementary changes in façade materials or texture.
- 3 2. An expression line shall be provided between the first and second stories delineating the
- 4 transition between ground and upper floors.
- 5 3. Architectural treatments on the façade, such as cornices or expression lines, shall be continued
- 6 around the sides of the building visible from a street.
- 7 4. All building elevations (including secondary/interior side façades) shall use similar materials and
- 8 appearance as the front/street facade.

9 C. *Glazing requirements.*

- 10 1. Glazing percentages shall be calculated as follows:
 - 11 a. Nonresidential First Floor: The area of glass between 3 feet and 8 feet above finished floor, divided by the area
 - 12 of the building façade also between 3 feet and 8 feet
 - 13 above finished floor.
 - 14
 - 15 b. Nonresidential above First Floor: The combined area of
 - 16 glass on all floors above the first divided by the total area
 - 17 of the building façade for those floors.
 - 18 c. Residential: The area of glass divided by the area of the
 - 19 façade.
- 20 2. The approving authority may allow reduced glazing and/or
- 21 glass transmittance for places of religious assembly and
- 22 schools.
- 23 3. There is no maximum limit on how much glazing may be
- 24 provided. However, if glass walls are used, an architectural
- 25 feature, such as a canopy/marquee, overhang, or a horizontal
- 26 change in plane shall be provided between the first and
- 27 second floors to ensure pedestrian scale at the sidewalk level.
- 28 4. Windows and glass doors shall be glazed in clear glass with 80% minimum transmittance. The
- 29 use of reflective glass and reflective film is prohibited on the ground floor of all buildings.

Figure V - 17: Non-Residential Glazing



First Floor	$\frac{A+B+C}{X \times Z}$
Floors Above	$\frac{a+b+c}{X \times Y}$

30 D. *Building entrances.*

- 31 1. Each building shall provide a primary public entrance oriented toward the public right-of-way,
- 32 and may be located at the building corner facing the intersection of two streets. Additional
- 33 entrances may be provided on other sides of the building.
- 34 2. Primary public entrances shall be operable, clearly-defined and highly-visible. In order to
- 35 emphasize entrances they shall be accented by a change in materials around the door, recessed
- 36 into the façade (alcove), or accented by an overhang, awning, canopy, or marquee.
- 37 3. Building frontages along the street shall have functional entrances at least every 150 feet.

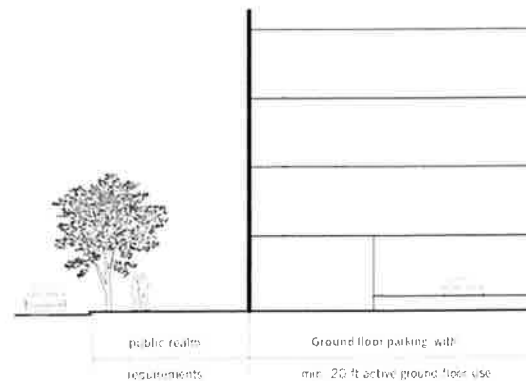
Section 30-4.15. Parking Requirements.

A. Parking amounts.

Transect	Min Vehicle Spaces		Min Bicycle Spaces		Min Scooter Spaces
	Nonresidential Use	Residential Use	Nonresidential Use	Residential Use	
DT	-	-	1 per 2000 sq.ft. of GFA	1 per 3 bedrooms	1 per 6 bedrooms
U9	-	-	1 per 2000 sq.ft. of GFA	1 per 3 bedrooms	1 per 6 bedrooms
U8	-	-	1 per 2000 sq.ft. of GFA	1 per 3 bedrooms	1 per 6 bedrooms
U7	-	1 per 3 bedrooms	1 per 2000 sq.ft. of GFA	1 per 3 bedrooms	1 per 6 bedrooms
U6	-	1 per 3 bedrooms	1 per 2000 sq.ft. of GFA	1 per 3 bedrooms	1 per 6 bedrooms
U5	-	1 per 3 bedrooms	1 per 2000 sq.ft. of GFA	1 per 3 bedrooms	-
U4	Per parking code				
U3					
U2					
U1					

B. Location of parking facilities.

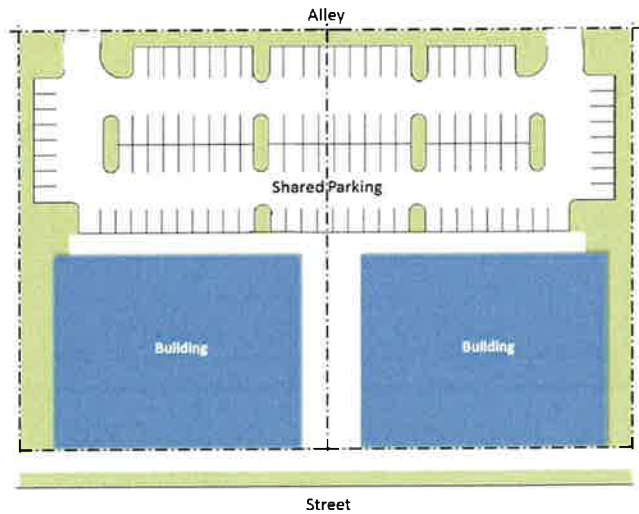
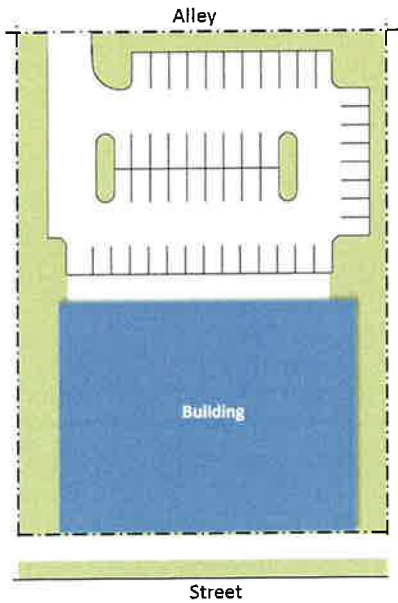
1. Surface parking lots shall be located to the rear or side of buildings, but no more than 50% of the total parking area may be located to the side of buildings.
2. Surface parking in the form of a single level of ground floor parking located within the building footprint (see Figure V-10) shall provide a minimum of 25 feet of active ground floor commercial, residential, or office uses along Storefront or Principal streets, and shall provide on all street frontages decorative screening walls, perimeter parking landscaping per Article VII, or a combination thereof.
3. Surface and structured parking areas shall be accessed from rear alleys or rear lanes where available (see Figure V-11), from an adjacent property (see Figure V-12), or from local streets, in that order of hierarchy. Vehicular access from other street types shall only be allowed in the absence of these options.
4. Within the DT district, any surface parking areas abutting a public street or urban walkway shall be screened from street view by a masonry garden wall with a height between 3 and 5 feet. In



- 1 the other T-zones, the parking lot may be screened in accordance with the perimeter parking
 2 landscaping standards per Article VII.
 3 5. A minimum of 10% of the provided bicycle parking shall be located between the building and
 4 the street.
 5

6 **Figure V - 11: Parking Access from Alley**

Figure V - 12: Parking Access from Adjacent Property

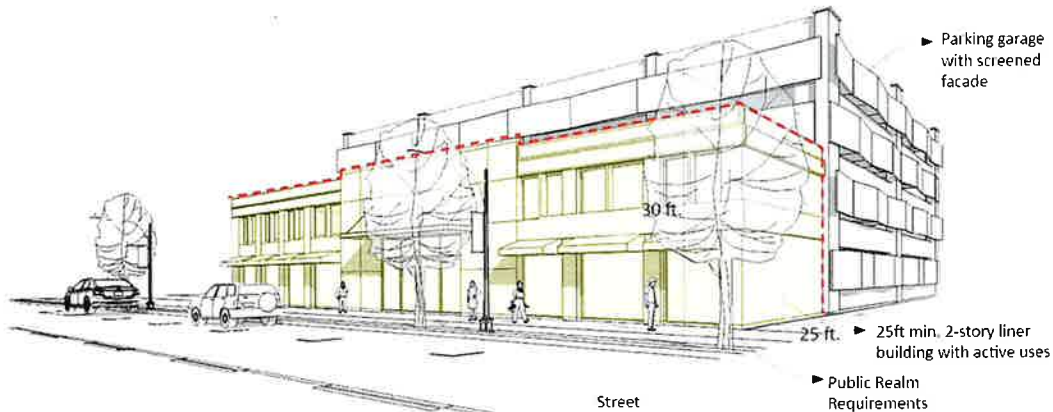


10 **C. Design of parking structures.**

- 11 1. Parking structures located along Storefront streets shall be concealed by liner buildings, which
 12 may be attached or detached from the parking structure (see 13). The liner building shall have a
 13 minimum of two stories and a minimum height of 30 feet and a minimum depth of 25 feet along
 14 the entire length of the parking structure.

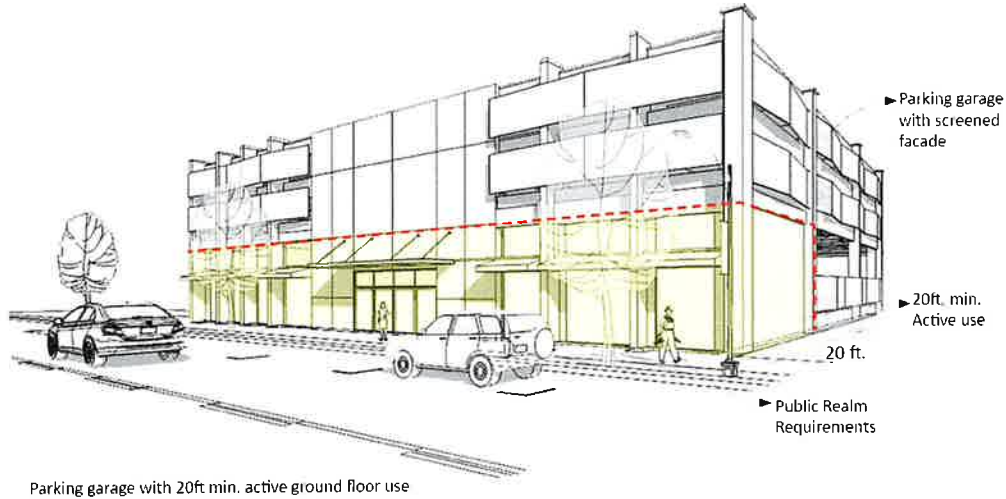
15 **Figure V - 13: Parking Structures on Storefront Streets**

- 16
17 2. Parking structures located along Principal streets shall be required to provide ground floor



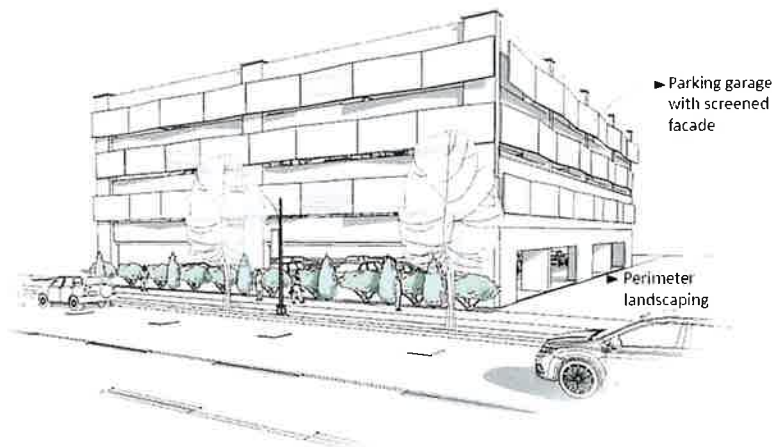
1 commercial or office space along the street frontage (see Figure V-14).

2 **Figure V - 14: Parking Structures on Principal Streets**



3
 4 3. On all other streets, any structured parking that is not concealed behind a liner building or
 5 ground floor commercial or office space shall have decorative screening walls, perimeter parking
 6 landscaping per Article VII, or a combination thereof to screen ground floor parking (see Figure
 7 V-15).

8 **Figure V - 15: Parking Structures on Other Streets**



Parking garage with perimeter landscaping and screened facade

9 4. Parking structures shall meet setback, height, and façade articulation standards applicable to
 10 the transect, but are exempt from the minimum floor-to-ceiling height requirement and the
 11 building frontage zone requirement.

BOARD MEMBERS

April M. Griffin
 Robert P. Hyatt
 Leannetta McNealy, Ph.D.
 Gunnar F. Paulson, Ed.D.
 Eileen F. Roy



We are committed to the success of every student!



(352) 955-7300

Fax (352) 955-6700

SUPERINTENDENT

Karen D. Clarke

Facilities Department ** 3700 N. E. 53rd Avenue ** Gainesville, Florida 32609 ** 352.955.7400

September 10, 2018

Dean Mimms, AICP
 Department of Doing
 City of Gainesville
 PO Box 490, Station 11
 Gainesville, FL 32627

RE: Oaks Mall (**Petition PB-18-116 LUC / PB-18-117 ZON**). Review of Comprehensive Plan Amendment and rezoning including a net increase of 750 multi-family dwelling units on 90.7 acres.

Dear Mr. Mimms:

Petition PB-18-116 LUC. City Plan Board. Amend the City of Gainesville Future Land Use Map from Commercial (C) to Urban Mixed-Use (UMU): up to 60 units per acre; and up to 20 additional units per acre by Special Use Permit. This developed property is the site of the Oaks Mall and is located at the southwest corner of the intersection of W Newberry Road (S.R. 26) and NW 62nd ST. Related to Petition PB-18-117 ZON.

Petition PB-18-117 ZON. City Plan Board. Rezone from General business district (BUS) to Urban Mixed-Use (UMU): up to 60 units/acre and up to 20 additional units/acre by Special Use Permit, and U8 (Urban 8). This developed property is the site of the Oaks Mall and is located at the southwest corner of the intersection of W Newberry Road (S.R. 26) and NW 62nd ST. Related to Petition PB-18-116 LUC

A School Capacity Review for the above referenced project has been completed. The review was conducted in accordance with the City of Gainesville Public School Facilities Element as follows:

POLICY 1.1.2: Coordinating School Capacity with Planning Decisions

The City shall coordinate land use decisions with the School Board's Long Range Facilities Plans by requesting School Board review of proposed comprehensive plan amendments and rezonings that would increase residential density. This shall be done as part of a planning assessment of the impact of a development proposal on school capacity.

POLICY 1.1.3: Geographic Basis for School Capacity Planning.

For purposes of coordinating land use decisions with school capacity planning, the SCSAs that are established for high, middle and elementary schools as part of the Interlocal Agreement for Public School Facility Planning shall be used for school capacity planning.

For purposes of this planning assessment, existing or planned capacity in adjacent SCSAs shall not be considered.

POLICY 1.1.5: SBAC Report to City

The School Board shall report its findings and recommendations regarding the land use decision to the City. If the SBAC determines that capacity is insufficient to support the proposed land use decision, the SBAC shall include its recommendations to remedy the capacity deficiency including estimated cost and financial feasibility. The School Board shall forward the Report to all municipalities within the County.

POLICY 1.1.6 City to Consider SBAC Report

The City shall consider and review the School Board's comments and findings regarding the availability of school capacity in the evaluation of land use decisions.

This review does not constitute a “concurrency determination” and may not be construed to relieve the development of such review at the final subdivision or final site plan stages as by the City of Gainesville Comprehensive Plan. It is intended to provide an assessment of the relationship between the project proposed and school capacity – both existing and planned.

The Oaks Mall (**Petition PB-18-116 LUC / PB-18-117 ZON**) represents a net increase of 750 multi family units.

Table 1: Oaks Mall – Projected Student Generation at Buildout

	Elementary	Middle	High	Total
Single Family	0			
Multiplier	0.15	0.070	0.09	0.31
Students	0	0	0	0
Multi Family	750			
Multiplier	.08	.03	.03	0.14
Students	60	22	22	104
Total Students*	60	22	22	104

Elementary Schools. The Oaks Mall is situated in the Gainesville East Alachua Concurrency Service Area. The Gainesville East Alachua Concurrency Service Area currently provides a capacity of 8,049 seats. The current enrollment 7,243 students representing a 90%% utilization compared to an adopted LOS standard of 100%. Utilization is projected to be 88% in 2021 and 89% in 2026.

Student generation estimates for the **Oaks Mall** indicate that 60 elementary seats would be required at buildout. This additional enrollment can be reasonably accommodated during the five, ten and twenty year planning period.

Middle Schools. The **Oaks Mall** is situated in the Kanapaha Concurrency Service Area. The Kanapaha Concurrency Service Area provides a capacity of 1,220 seats. The current enrollment is 979 students representing an 83% utilization compared to an adopted LOS standard of 100%. Utilization is projected to be 82% by 2021 and 81% in 2026.

Student generation estimates for the **Oaks Mall** indicate that 22 middle seats would be required at buildout. Capacity and level of service projections indicate that this demand can be reasonably accommodated during the five, ten and twenty year planning period.

High Schools. The **Oaks Mall** is situated in the Buchholz Concurrency Service Area. The Buchholz Concurrency Service Area currently has a capacity of 2,225 seats. The current enrollment is 2,030 students representing a 91% utilization compared to an adopted LOS standard of 100%. Utilization is projected to reach 99% by 2021 and 101% by 2026


Student generation estimates for the **Oaks Mall** indicate that 22 high school seats would be required at buildout. Capacity and level of service projections indicate that this demand can be reasonably accommodated during the five, ten and twenty year planning period.

Summary Conclusion. Students generated by the **Oaks Mall** at the elementary, middle and high levels can be reasonably accommodated for the five, ten and twenty year planning periods.

This evaluation is based on best projections and upon the 2017-2018 Five Year District Facilities Plan adopted by the School Board of Alachua County. The **Oaks Mall** project is subject to concurrency review and determination at the final site plan for multi-family and the availability of school capacity at the time of such review.

If you have any questions, please contact this office.

Regards,



Suzanne M. Wynn

CC: Gene Boles

Petition Number: PB-18-117 ZON

Exhibit B-5: Memorandum from City's Urban Forestry Inspector

CITY OF GAINESVILLE INTEROFFICE COMMUNICATION

TO: Dean Mimms, AICP, Lead Planner
 Planning and Development Services Department

FROM: Liliana Kolluri, Urban Forestry Inspector

SUBJECT: Petitions PB-18-00116 LUC and related PB-16-00117 ZON,
 90.7-acre area located at 6201, 6301, 6323, 6419, 6481, 6483, 6611, 6623,
 6671 W Newberry Rd.

DATE: August 21, 2018

The subject petitions include a proposed change in land use and zoning for a 90.7-acre area that includes seven properties (Parcel #'s: 06655-005-02, 06655-005-011, 06655-005-015, 06655-005-016, 06655-005-017, 06655-005-018, 0655-005-021) located southwest of the intersection of W Newberry Road and NW 62nd Street. The parcels have been previously developed and are comprised of the Oaks Mall, associated parking, and adjacent businesses. The proposed activities have been reviewed for considerations relating to environmental resources present on or immediately adjacent which are regulated by the City's Land Development Code (LDC) Article VIII, Division 3, *Natural and Archaeological Resources*, or Division 4, *Surface Waters and Wetlands*.

The petition proposes a land use and zoning change from Commercial (C) and General Business District (BUS) to Urban Mixed-Use (UMU, 60 units/acre and up to 20 additional units/acre by Special Use Permit) and Urban 8 (U8).

No regulated wetlands or surface waters, natural resources, or archaeological resources were identified within the 90.7-acre area; therefore, the proposed project is exempt from criteria stipulated in LDC Article VIII, Divisions 3 and 4.

A portion of the 90.7-acre area falls within Special Flood Hazard Area Zone A, as depicted in the attached FIRMette. As such, the proposed project is regulated by LDC Article VIII, Division 5, *Floodplains*. The remainder of the area falls within an area of minimal flood hazard (Zone X).

National Flood Hazard Layer FIRMeTte



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAND/UT

SPECIAL FLOOD HAZARD AREAS

Without Base Flood Elevation (BFE)
Zone A, V, A99
With BFE or Depth Zone AE, AO, AH, VE, AR
Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

Future Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levee. See Notes. Zone X

Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

NO SCREEN Area of Minimal Flood Hazard Zone X

Effective LOMRs

Area of Undetermined Flood Hazard Zone D

OTHER AREAS

Channel, Culvert, or Storm Sewer

Levee, Dike, or Floodwall

GENERAL STRUCTURES

20.2 Cross Sections with 1% Annual Chance

17.5 Water Surface Elevation

Coastal Transact

Base Flood Elevation Line (BFE)

Limit of Study

Jurisdiction Boundary

Coastal Transact Baseline

Profile Baseline

Hydrographic Feature

Digital Data Available

No Digital Data Available

Unmapped



MAP PANELS

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps. If it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/17/2018 at 10:41:22 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

180398A
82°24'58.19"W

29°39'36.79"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

USGS The National Map, Orthoimagery, Data refreshed October 2017
82°24'20.73"W 29°39'5.52"N