

*City of
Gainesville*

Inter-Office Communication

Department of Community Development
Phone 334-5022, FAX 334-2282, Station 11

Item No. 3

To: City Plan Board **Date:** December 16, 1999
From: Planning Division Staff
Subject: Petition 152TCH-99 PB. City Plan Board. Amend the City of Gainesville Land Development Code to establish a special area plan for the University Heights Neighborhood based on the recommendations of Dover, Kohl and Partners.

Recommendation

Planning Division staff recommends approval of Petition 152TCH-99 PB.

Explanation

On October 26, 1999, the City Plan Board was shown a videotaped presentation by Victor Dover, the urban design consultant hired by the City to prepare a special area plan for the University Heights neighborhood. As a part of that meeting, the Board was given a draft of this plan. Attached is the same plan with several corrections made by staff.

In the summer of 1998, the City of Gainesville hired the Dover-Kohl urban design firm to prepare special area plans for College Park, University Heights, and University Avenue from West 6th Street to West 13th Street.

The firm held a series of charrettes and public presentations to analyze the needs of the University Heights neighborhood. Attached is a draft of their proposed Special Area Plan for the neighborhood based on these meetings.

Overall, the Plan supplements and complements the existing Traditional City overlay ordinance that applies to the neighborhood. Both the plan and the overlay promote walkability and quality of life for the neighborhood.

The proposed University Heights Special Area Plan is arranged in the following format:

- **Administration.** This section includes:
 - ⇒ **Future build-out map.** This map serves as a generalized guide of the City intent for development in the neighborhood.
 - ⇒ **Waivers from the Plan.** Allowed when the project will provide "exceptional" benefits to the community. Staff or the appropriate review board may grant a waiver.
 - ⇒ **Special Use Permit.** Issued for waiving provisions to the Plan as long as the proposal will promote the neighborhood and the Plan, will not harm the economy of the neighborhood, abides by all other provisions besides those that a waiver is sought from, and complies with additional conditions requested by staff or the reviewing board.
- **Definitions.**
- **General Provisions.** This section describes generalized rules for:

- ⇒ **Building facades.** Requires detailed facades and building orientation to the street.
- ⇒ **Outbuildings.** Allowed, and must be located at the rear.
- ⇒ **Alleys.** Existing alleys cannot be removed, and ROW must be 14-24 feet.
- ⇒ **Turning radii.** Must be modest to improve safety while walking, and to discourage reckless turning movements by drivers. Clear zone guidelines to allow emergency vehicles to turn corners. The Plan exempts the neighborhood from the citywide vision triangle rules.
- ⇒ **Parking.** Like the Traditional City provisions, the Plan converts the minimum car parking requirements in the Gainesville Land Development Code to maximum requirements of 1 space per 300 square feet of occupied building, although minimums for bicycle parking remain. Also like the Traditional City rules, off-street parking cannot be the principal use of the lot. Parking structures must be set back at least 40 feet from property lines, and must have a liner building at least 2 stories high between the structure and the lot frontage. When there is no alley, garages must be modest in size and location, unless they are in the rear of the lot.
- ⇒ **Stormwater runoff.** Shared master storm basins allowed.
- ⇒ **Large footprint building.** Buildings with a footprint of at least 20,000 square feet must be at least 24 feet. When such buildings are 2 stories, they must be 27 to 36 feet high. These buildings cannot be larger than half the block, and must meet opacity and façade requirements.
- ⇒ **Civic buildings.** Have no build-to or frontage requirements.
- ⇒ **Sidewalk and landscaping standards.** For redevelopment, sidewalks are to be constructed as required by staff. One shade tree required for every 1,200 square feet of private outdoor space. The Gainesville Land Development Code provisions apply for off-street parking lots and selection of trees. Trees required by off-street parking lots and existing trees on the lot to count toward the required trees that must be installed. Street trees must be at least 14 feet tall. Other trees must be at least 8 feet tall. On major or mixed-use streets, trees must have an average spacing of 45 feet, and are not required when arcades or colonnades are present. For residential streets, trees must have an average spacing of 35 feet, and must be in the swale or near the front property line.
- ⇒ **Building additions.** Walls must use same or compatible materials as the main building, windows must have similar proportion and style as the existing structure windows, and new roof additions must use similar material as the existing roof.
- **Building Types.** This section regulates the zoning of building types, the maximum building length, frontage, build-to, building coverage, side setback, height, and specific building type details. Types include Main Street Shopfront, Office, Rowhouse, Garden Apartment, Large House, House, Outbuilding, and Civic Building. Architectural style is not regulated, and the drawings are illustrative only.
- **Building Elements.** This section includes specifications for awnings, balconies, colonnades, front porches, stoops and bay windows.
- **Architectural Guidelines.** This section includes guidelines for building walls, garden walls, fences, hedges, columns and similar features, facades, opacity, roofs and gutters, signs, windows, skylights, and doors.

In the case of conflict between the standards in this Plan and the Gainesville Land Development Code, the standards in this Plan will apply.

This Petition is related to Petition 151CPA-99PB, which, if approved, would remove the floor area ratio maximum for the University Heights Neighborhood.

Note that other options for landscaping standards would include one shade tree for every 2,500 to 3,500 square feet of lot size, rather than Dover's approach of one shade tree for every 1,200 square feet of private open space. Street tree spacing could be reduced to as close as every 30 feet, as shown in the attached plan. Staff supports the Dove recommendations on both issues.

Affordable Housing

To the extent that the proposed special area plan creates more compact, walkable, people-oriented public realm that will reduce the number of cars needed for a household, and to the extent that the plan creates opportunities for construction of accessory dwelling units and mixed use, this petition will have a positive impact on the supply of affordable housing.

Respectfully Submitted,


Ralph Hilliard
Planning Manager

RW:DM:DN

3. **Petition 152TCH-99 PB** City Plan Board. Amend the City of Gainesville Land Development Code to establish a Special Area Plan for the University Heights Neighborhood based on the recommendations of Dover, Kohl and Partners.

Mr. Dom Nozzi was recognized. Mr. Nozzi explained that the board heard the petition at the October 26, 1999 meeting with the video presentation from the City's design consultant, Dover/Kohl. He summarized the major changes to the petition since the last meeting. Mr. Nozzi discussed additional landscaping options, parking requirements and spacing of street trees. He offered to answer any questions from the board.

Dr. Fried noted that page ten discussed adaptive reuse. He asked if there would be any control on size or general architecture in outbuildings. He noted that the illustration indicated an outbuilding that was just a little smaller than the principal structure.

Mr. Hilliard explained that there was a section on page nineteen dealing with out buildings and how they would be regulated.

Ms. Myers asked if the regulation was regular zoning or an overlay.

Mr. Nozzi indicated that it would be an overlay.

Ms. Myers asked about the current underlying zoning of the area under discussion.

Mr. Nozzi stated that he believed it was RH zoning.

Mr. Hilliard explained that, while single-family homes were allowed in the area, there was no single-family zoning or designation.

Chair Guy asked about the spacing of the street trees.

Mr. Nozzi indicated that the spacing had been set for simplicity.

Mr. Carter suggested that there be flexibility to space oak trees further apart.

Mr. Nozzi noted that it had been suggested that oak trees be interspersed with smaller trees.

Ms. Myers asked if staff knew the density of the area at the present time. She also asked if staff knew the projected density with the increase in accessory structures.

Mr. Nozzi stated that he had seen no assessment of those numbers.

Chair Guy opened the floor to the public.

Mr. Robert Pearce was recognized. Mr. Pearce discussed the landscaping and tree requirements and objected to replacing the City's tree requirements with the proposed requirement of the Special Area Plan. He pointed out that the only on-site green requirement was for one two inch diameter tree every 1200 square feet of

private open space. However, he noted, there was no minimum requirement for openspace. He requested that the board recommend more substantial landscape and tree requirements. Mr. Pearce cited a concern that the proposed Special Area Plan gave no consideration to compatibility of the possible building types with the character of the existing neighborhood. He noted there were many single family-homes in the area and under the proposed plan, a five-story apartment building would be allowed next to a single-story, single-family home. Mr. Pearce pointed out that the College Park Special Area Plan did restrict the different residential building types to different areas and that restriction was missing from the University Heights Special Area Plan. He requested that compatibility of scale be addressed in the petition before the board. He objected to the reduction of the side-yard setback from ten to five feet. Mr. Pearce requested that the board not eliminate the vision triangle as proposed by the plan. He discussed the idealized layout, the façade and window requirements, planned use requirements, and side setbacks. He objected to the prohibition on inoperable shutters. Regarding the issue of flat roofs, Mr. Pearce noted that the College Park Special Area Plan allowed flat roofs only by special exception. He urged the board to make the same provisions for the University Heights Special Area Plan. Mr. Pearce urged the board to address the issues of compatibility of building types and heights, the reduction of the side interior setbacks, enhancement of the tree requirements, and the vision triangle issue.

Ms. Myers requested information from staff regarding the vision triangle issue.

Mr. Nozzi disagreed that decreasing the vision triangle was an issue of safety. He pointed out that Dover/Kohl recommended that the City adopt the national ASHTO standards. He explained that Dover/Kohl and other experts believed the ASHTO standards were adequate and the City Of Gainesville's vision triangle requirements were excessive.

Mr. Hilliard noted that the plan did provide for clear zones at the corners.

Chair Guy indicated that he agreed with the reduced vision triangle. He pointed out that he rode a bicycle every day.

There was discussion of the issue of windows in large blank walls.

Chair Guy discussed the issue of setbacks.

Mr. Pearce noted that the new Chamber of Commerce Building was approved by staff and the Development Review Board with a side setback of eight feet. He indicated a concern that buildings were not being removed far enough from the street.

Chair Guy closed the floor to public comment.

Chair Guy disagreed with a prohibition on flat roofs. He suggested that a flat roof was an acceptable place for air conditioning units.

<u>Motion By:</u> Dr. Fried	<u>Seconded By:</u> Mr. Carter
<u>Moved to:</u> Approve Petition 152TCH-99 PB as presented by staff.	<u>Upon Vote:</u> Motion Carried 5-0 Yeas: Guy, Fried, Dowling, Myers, Carter



UNIVERSITY HEIGHTS

Special Area Plan

Adopted by the City of Gainesville, Florida, _____, 1999.

DRAFT
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I. INTENT:

The City of Gainesville seeks to promote and control preservation and revitalization in this traditional neighborhood. History demonstrates that a few traditional urban design conventions will generate building types and neighborhood forms which allow profitable, positive infill and change which strengthen property values and appearance, and which offer a high quality of life. These conventions are derived from a number of sources in planning literature including: Civic Art by Hegeman and Peets, Great Streets by Allan B. Jacobs, The New Urbanism by Peter Katz, and AIA Graphic Standards, 9th Edition.

This Code establishes standards for land development in order to:

1. Preserve and extend the historic neighborhood character through the design and placement of building types and public spaces.
2. Create high-quality street spaces by using buildings to form a pleasant, convenient and safe environment designed for pedestrians, bicyclists, public transit and motorists.
3. Enhance the viability of local businesses and reduce car travel demand by focusing growth in appropriate locations.
4. Provide a measure of predictability to property owners and occupants about what may be built on their land or that of their neighbors property, yet allow for a market-driven mixture of land uses.
5. Encourage a wide range of building types and sizes that will offer a measure of self-sufficiency and sustainability, and which will adapt gracefully to change over time.





In the case of conflict between these standards and any other local land development regulations, these standards shall apply. The University Heights Special Area Plan shall supercede any FAR requirements set by other local land development regulations.

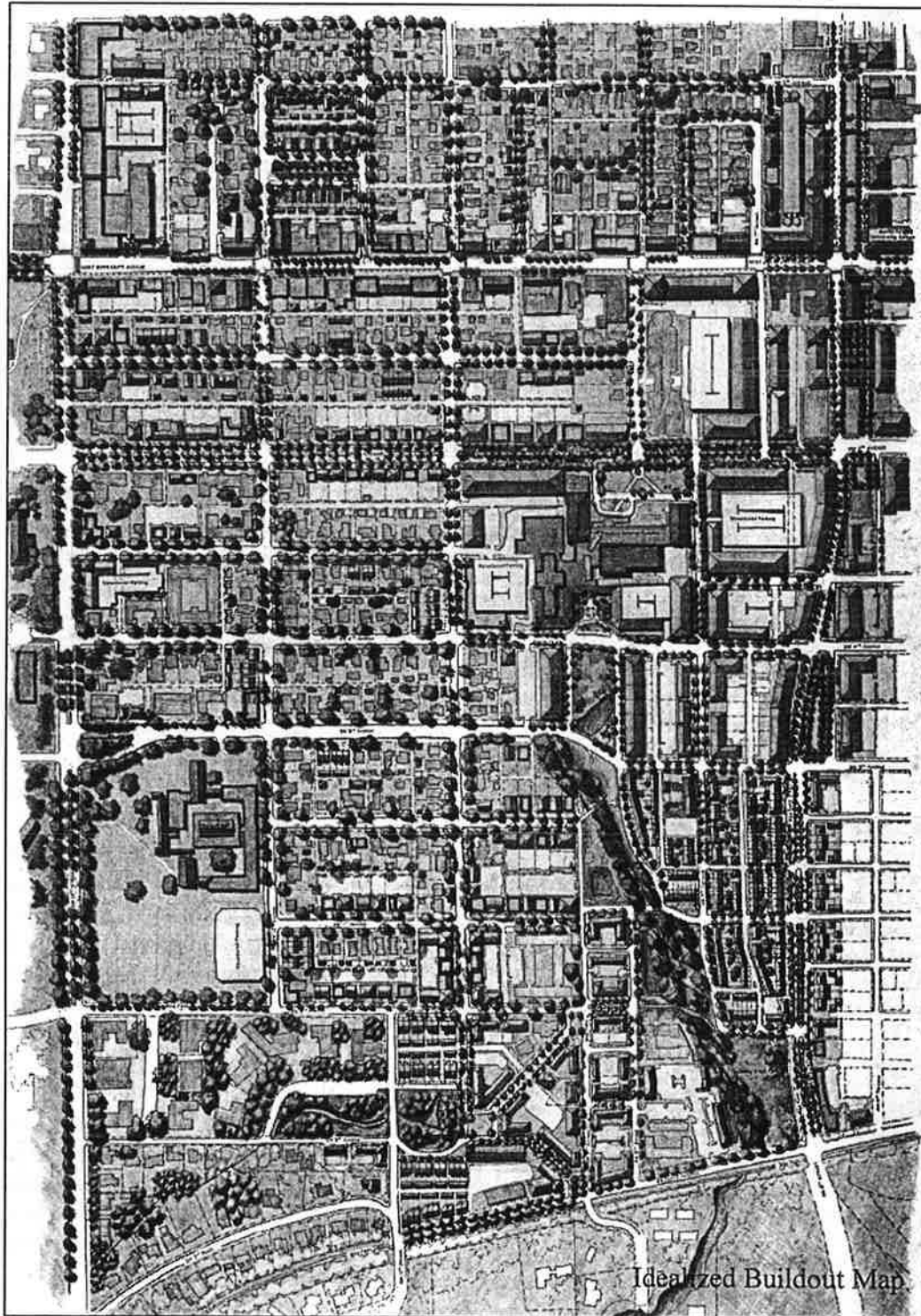
II. ADMINISTRATION:

A. University Heights Idealized Buildout Map:

Interpretation of these standards shall be the responsibility of the City and the appropriate review boards. The Idealized Buildout Map

shall serve as generalized guidance regarding the City's intent for land development in University Heights.

-  Existing Building
-  At Grade Parking
-  Proposed Building Location
-  Parking Structure



REVISED BY STAFF

B. First Step:

Applicants have the opportunity to meet with City Staff for a First Step Review. Applicants may at their option, submit designs in schematic or sketch form for informal review, subject to further review.

After the First Step, applicants will have the opportunity to submit for an Optional Concept Review or Preliminary Final Plan Review (see Sec. 30-161).

C. Waiver from Compliance:

A Waiver from Compliance may be considered to applications that do not comply with all aspects of the Special Area Plan, but offer exceptional benefits to the community. Applicants may request a Waiver from the design standard through the special use permit process, but no waiver is allowed for uses.

D. Special Use Permit:

The appropriate reviewing board may, by Special Use Permit, waive strict compliance with provisions of this Code. In granting a Special Use Permit, the appropriate reviewing board must find by substantial competent evidence that:

1. The proposed development contributes to, promotes and encourages the improvement of the University Heights Neighborhood and catalyzes other development as envisioned in the University Heights regulations.
2. The proposed development will not have an unfavorable effect on the economy of University Heights.
3. The proposed development abides by all rules in this code other than those specially excepted. Special limitations apply to large footprint free-standing buildings (greater

than 20,000 square feet on the first floor); see section IV.(I) for these limitations.

4. The proposed development meets any reasonable additional conditions, restrictions or limitations deemed necessary or desirable by the City Manager, designee, or appropriate reviewing board, in order to preserve and promote the intent of the University Heights Special Area Plan.

E. Procedure for Special Use Permit:

Procedure for Special Use Permit is described in Sec. 30-234, Procedures for Approval.

F. Effect of Classification:

The University Heights Special Area Plan is applied as an Overlay Zoning District. If the provisions of the Special Area Plan conflict with the underlying zoning, the provisions of the Special Area Plan shall prevail. The effect of the classification is that the Special Area Plan is the implementing set of regulations. The regulations of the underlying zoning district and all other applicable regulations remain in effect and are further regulated by the Special Area Plan. Where the Special Area Plan addresses a requirement, the underlying zoning shall not apply.

III. DEFINITIONS

Alley: a secondary access which affords access to the side or rear of abutting properties or lots.

Appurtenances: architectural features not used for human occupancy consisting of: spires, belfries, cupolas or dormers; silos; parapet walls, and cornices without windows; chimneys, ventilators, skylights, antennas and screened mechanical equipment.

Arcade Building: a building with a ground level passageway through a portion of the building. The passage is covered and lined with shops or booths. The passage may be more than one story in height with projecting balconies and walkways.

Awning: an architectural projection roofed with flexible material supported entirely from the exterior wall of a building.

Balcony: a porch connected to a building on upper stories supported by either a cantilever or brackets.

Block: an increment of land composed of an aggregate of lots, tracts and alleys circumscribed by thoroughfares.

Breezeway: a freestanding colonnade connecting two or more buildings.

Build-To Line: a line parallel to the property line, along which the principal plane of the building shall be built. The build-to line is determined in relation to the property line.

Building Frontage: the vertical side of a building that faces the primary street or space and is built to the Build-to line.

Catwalk: a balcony like walkway which is cantilevered or supported by columns along the side of a building. A catwalk provides access to interior spaces inside the building.

Colonnade or Arcade: a covered, open-air walkway at standard sidewalk level attached to or integral with the building frontage; the structure overhead is supported architecturally by columns or arches along the sidewalk.

Dwelling Area: the total internal useable space on all floors of a structure, not including porches, balconies, terraces, stoops, patios, or garages.

Expression Line: A molding or cornice extending or offset a minimum of 3 inches, from the surface plane of the building wall. Expression Lines delineate the transition between the floor levels.

Frontage Street: the street in front of a property to which the front façade and main entrance is oriented.

Front Porch: a roofed area, attached at the ground floor level or first floor level, and to the front of a building, open except for railings, and support columns.

Front Property Line: the line that delineates private ownership facing the street.

Garden Wall: a freestanding wall along the property line dividing private areas from streets, alleys, and or adjacent lots.

Height: the vertical distance from the lowest point on the tallest side of the structure to the ridge of the roof.

Liner Building: a building built in front of a parking garage, cinema, supermarket etc., to conceal large expanses of blank wall area and to face the street space with a façade that has doors and windows opening onto the sidewalk (see Item IV.(G)(3).

Lot: a single building plot; the smallest legal increment of land which may be bought and sold.

Lot Frontage: the property line adjacent to the frontage street.

Marquee: a permanently roofed architectural projection, the sides of which are vertical and are intended for the display of signs, which provides protection against the weather for the pedestrian, and which is supported entirely from an exterior wall of a building.

Outbuilding: a building or structure subordinate to the principal building, used for purposes customarily incidental to the main or principal building, and located on the same lot or set of attached lots therewith. Outbuildings can be used as residential dwellings.

Parapet: a low wall or barrier built above the cornice of a building, whether built with a sloped or flat roof. A parapet is typically of solid construction and may be broken with crenulations. When corbeled out from the surface of the wall it crowns, parapets may take the place of a cornice.

Primary Street or Space: the street that a lot fronts. At squares and street intersections the larger, more important is the primary street.

Principal Plane: vertical plane which corresponds to the largest front façade of the building.

Private Outdoor Space: the square footage of a lot that is not occupied by buildings, swimming pools, or parking lots. Impervious areas such as decks, patios, terraces, walkways and pavement surrounding a pool shall be considered as private outdoor space.

Property Line: the line which delineates private ownership.

Rowhouse: is one of a group of 3 or more attached dwelling units divided from each other by a common wall and each having a separated front entrance from the outside of the at ground level.

Stoop: a small platform, entrance stairway at a house door, or both, commonly covered by a secondary roof or awning. The stoop projects from the primary building plane. Catwalks or breezeways are not considered stoops.

Storefront: building frontage for the ground floor usually associated with retail uses.

Story: floor within a building between 8 feet and 16 feet floor to ceiling.

Structured Parking: layers of parking stacked vertically.

IV. GENERAL PROVISIONS

A. Façade Requirements:

Building façades shall have windows, sills, lintels, expression lines and a cornice. The front façade of the building is also required to have its primary entrance face the street.

Expression lines are required on stucco and brick buildings.

Main Street Shopfront buildings do not require sills or lintels on first floor Shopfront windows that display merchandise.

On attached building types such as Shopfront buildings or Rowhouses, the sides located on interior property lines do not require windows, expression lines, or cornices.

On detached building types, windows are required on sides of all structures set back 3 or more feet from the side property line. A minimum of 10% glazing is required.

Detailed façade requirements are specified in the Building Types section. The city manager or designee may further define building façade requirements.

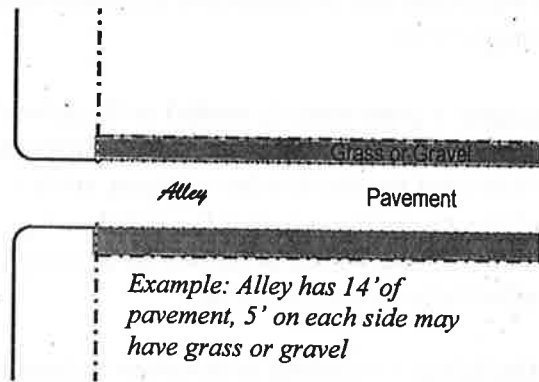
B. Outbuildings:

Outbuildings are permitted and may contain parking, apartments, storage space, and trash receptacles. Outbuildings shall be located at the rear of the lot.

C. Alleys:

Existing alleys and alley rights-of-way are prohibited from being removed or vacated.

New alleys can be incorporated into the redeveloped areas of the neighborhood to



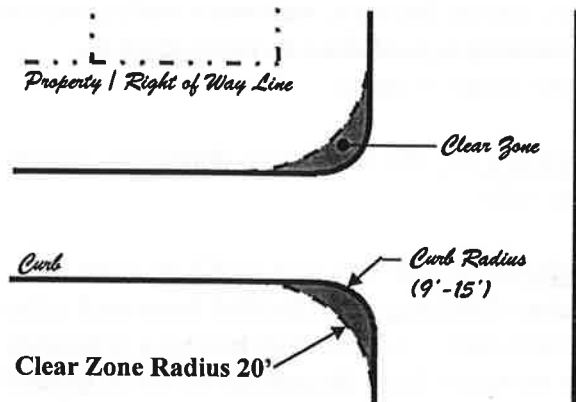
minimize curb cuts and to provide access to parking and service areas behind buildings. New alleys may be a minimum of 14 feet and a maximum of a 24 feet of right-of-way. Alleys which back up to residential lots need not be entirely paved. Grass and/or gravel can be used in unpaved sides of alleys.

Landscaping, trash receptacles, and other objects must remain outside the alley right of way.

Alleys may be incorporated into parking lots as drive aisles.

D. Corner Radii & Clear Zones:

Corner curb radii should be between 9 feet for residential streets and 15 feet for commercial streets such as University Avenue. Fairly tight turning radii such as these shorten pedestrian crossings and inhibit reckless drivers from turning corners at high speeds.



A Clear Zone at corners can allow emergency vehicles such as fire trucks to turn corners. A

Clear Zone is an area free of all vertical obstructions including, but not limited to, telephone poles, sign poles, fire hydrants, electrical boxes, or newspaper boxes. A clear zone with a radius of 20 feet is sufficient for emergency vehicles.

E. Vision Triangle

The Vision Triangle as described in the City of Gainesville Land Development Code does not apply to the University Heights Special Area Plan. Build-to lines as described in the Building Types section are acceptable.

F. Exceptions from Build-to Lines:

Exceptions from the build-to lines standard may be granted by the City Manager, designee, or appropriate reviewing board, for avoiding trees with calipers greater than 8 inches.

G. Parking:

1. Parking Requirements

Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act and Florida Accessibility Code. Other than ADA and FAC, there shall be no minimum parking requirement, except bicycle parking. There shall be a maximum parking allowance of 1 parking space per 300 square feet of occupied building.

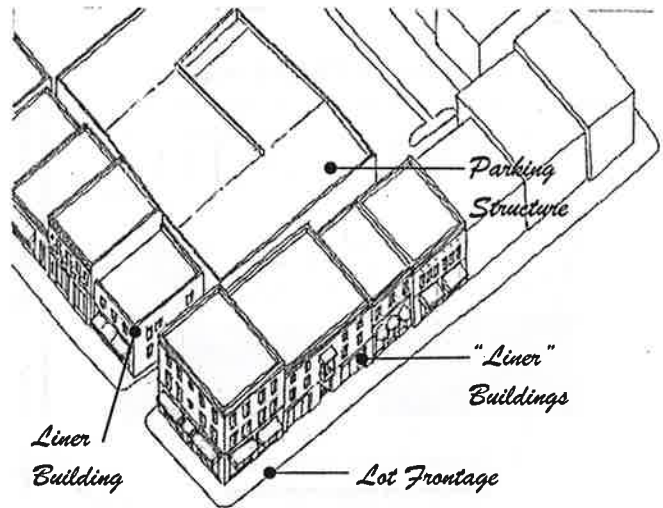
2. Off-Street Surface Parking Lots

Off-street surface parking lots as a principal use are prohibited.

3. Structured Parking Lot Placement

Parking structures shall be set back a minimum of 40 feet from the property lines of all adjacent

streets. "Liner buildings" shall be placed between parking structures and the lot frontage. The liner building shall have a height greater than or equal to the parking structure. Liner buildings shall be no less than two stories or 34 feet in height. Liner buildings may be detached from or incorporated into parking structures. A point of entry is allowed on side streets.



4. Access to Off-Street Parking

All motor vehicle surface parking shall be located in the rear or interior side of the building, or both, with rear encouraged. No surface parking area shall extend for a width of more than 70 feet along any street frontage without a building, outdoor café, or a vertically prominent and articulated pedestrian-oriented feature interrupting the parking streetscape. Surface parking shall not occupy lots which terminate a street vista.

Alleys shall be the primary source of access to off-street parking.

Alleys may be incorporated into parking lots as a standard drive aisle. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is also encouraged.

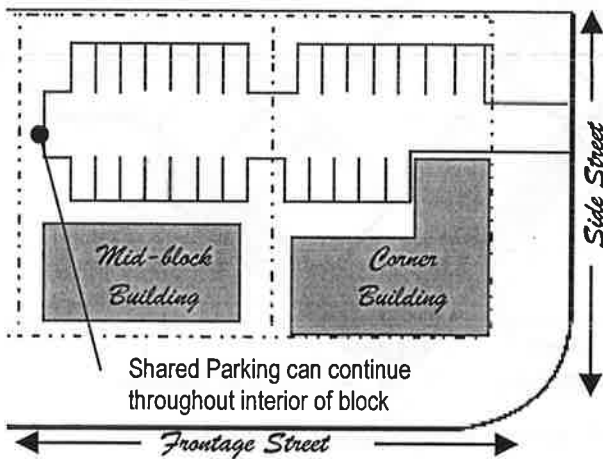
In blocks without alleys, mid-block buildings may develop before corner buildings. Access to the side street may not be possible because of the corner building being set back. A driveway

from the frontage street may be granted by the City Manager, designee, or appropriate reviewing board. Once corner sites redevelop and allow access to side streets, the City may require the driveway on the frontage street to be removed. Corner lots that have both rear and side access shall access parking through the rear (see diagram below). Garages shall always be accessed from the alley and located in the rear of the lot.

building frontage. Garages facing streets, squares or parks are limited to one car width; and garage doors shall not exceed 10 feet in width.

Two-car garages are allowed, where alleys are not present, so long as the garage is located in the rear of the lot. Doors shall not exceed 10 feet, and the driveway shall be a maximum of 10 feet wide in front of the principal plane of the building.

Blocks Without Alleys



H. Storm Water Management

In lieu of on-site stormwater management facilities, master facilities may be developed within the watershed to either take the stormwater runoff directly or through mitigation of runoff generated from other properties within the watershed.

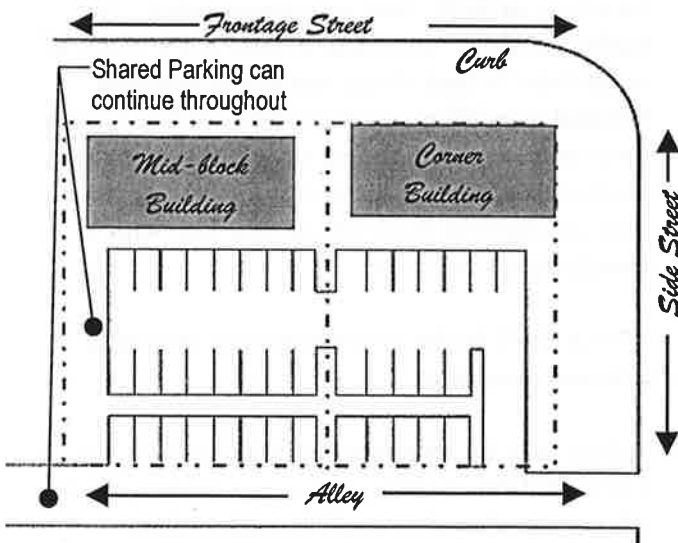
I. Large Footprint Buildings:

Commercial buildings with a free-standing, first floor footprint greater than 20,000 square feet may be built within the University Heights Neighborhood, by Special Use Permit. Such buildings must abide by all rules in this Code with the following special limitations:

- a. Buildings may be one story or more in height, but shall be at least 24 feet in height. This may be accomplished with liner buildings or higher ceiling heights or parapets, or a combination of features.
- b. Buildings that are 2 stories in height, must be a minimum of 27 feet to a maximum of 36 feet. This may be accomplished with liner buildings that provide office space.
- c. Buildings are exempt from maximum lot size restrictions. However, building footprints may not be larger than a half the block.
- d. Requirements for opacity and façades shall be met.

Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act and Florida Accessibility Code.

Blocks with Alleys



5. Garages where Alleys are Not Present

If no alleys exist, then garage door(s) shall be positioned no closer to streets, squares or parks than 20 feet behind the principal plane of the

Other than ADA and FAC, there shall be no minimum parking requirement, except bicycle parking. There shall be a maximum parking allowance of 1 parking space per 300 square feet of occupied building.

J. Civic Sites:

Opportunities for Civic buildings can occur as the neighborhood develops. Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities, and places of assembly. Civic buildings are not subject to build-to line requirements or building frontage requirements. The design of Civic buildings shall be subject to review and approval by the City Manager, designee, or appropriate reviewing board.

K. First Floor Height for Residential:

Residential uses on the first floor shall have a finished floor height raised a minimum of 2 feet above grade.

L. Sidewalk Standards:

Redeveloping properties shall construct or improve sidewalks as required by the City Manager or designee. Redeveloping properties are required to repair sidewalks damaged during construction.

M. Landscape Standards:

Total Number of Trees Required

Redeveloping properties are required to provide shade trees based on the lot's private outdoor space. The property owner is also required to improve the adjacent public right-of-way to the standard set by the Special Area Plan and City Manager or designee.

One shade tree is required for every 1,200 square feet of private outdoor space on the lot. Corner lots may only include trees on the

primary frontage street toward the required total, and not the side street.

Parking lots in the rear of commercial buildings, such as the Main Street Shopfront building and the Office building, shall follow the landscape requirements specified in the Land Development Code for Off-street Parking Lots. Trees required by off-street parking lots may be included to meet the required total count.

Existing trees on the lot and on the adjacent swales may count toward the total number of trees required. The City Manager or designee shall approve which existing trees may count towards the total required trees.

Quality of Trees

Street trees intended to provide pedestrian shade shall be located in the right-of-way swale or near the sidewalk on the private property. Shade trees shall be 14 feet tall with 7 feet of clear trunk, with a trunk caliper of at least 2 1/2 inches in at least a 50-gallon container, Florida Grade A #1 or better.

Trees located on private property may be ornamental or shade trees. Trees shall be 8 feet tall with a trunk caliper of at least 2 inches in at least a 25-gallon container, Florida Grade A #1 or better.

Refer to the City Manager or designee and the Gainesville Tree List for appropriate trees species.

Right-of Way Planting

Commercial and mixed-use streets (such as University Avenue) shall have shade trees planted with an average spacing of 45 feet on center. Trees are not required when arcades and colonnades are present.

Residential Streets shall have shade trees planted an average spacing of ~~30~~ 35 feet on center in the swale. Where a swale does not exist, trees shall be planted on the private property with 5 feet of the front property line.

N. Building Additions

Building additions shall be in keeping with the Special Area Plan. The primary structure on the site shall be classified into one of the building type categories by the City Manager or designee. The building addition shall then follow the requirements as described for the appropriate building type.

Additions shall be in keeping with the architectural style of the existing structure or standards set by the City Manager or designee.

- Exterior walls should be of the same or compatible materials and finish as the existing structure.
- Windows should have a similar proportion and style of mullions as the windows of the existing structure.
- New roof additions should be a similar material to the existing roof.



Existing Conditions

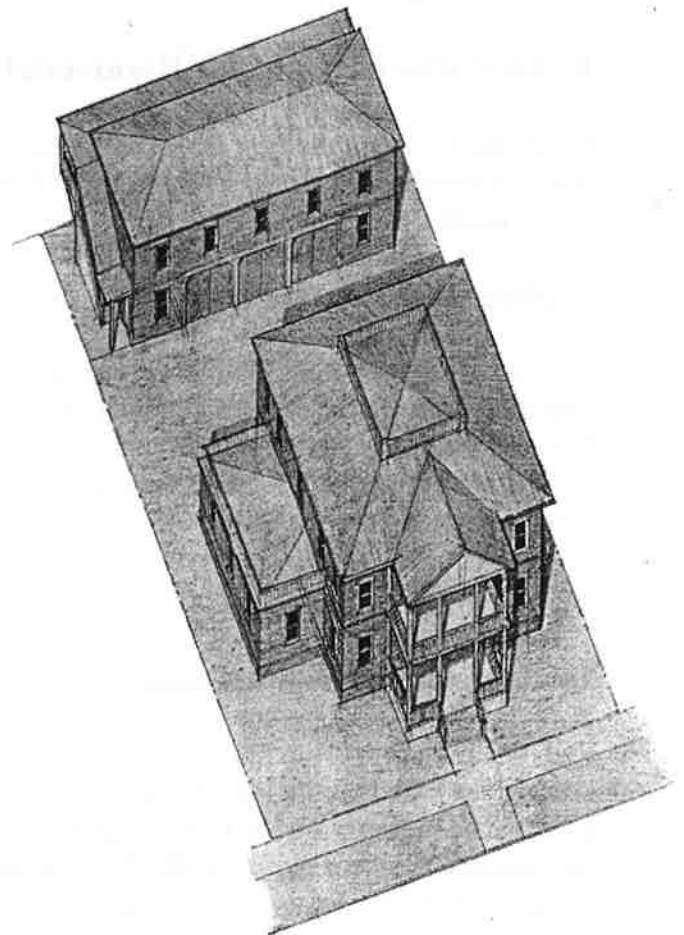


Computer simulation of a house with new addition
University Heights Special Area Plan

O. Adaptive Reuse

The University Heights Neighborhood has many long-term residents as well as student rentals. Outbuildings as well as building additions can be used to accommodate the student population without compromising the neighborhood character.

Below is an example of a large house with an outbuilding. It is shown on a typical size lot. These 2 buildings would fit neatly into the urban fabric. This form of adaptive reuse is not new to the neighborhood. Several existing homes with outbuildings presently function provide housing for students in this manner.



P. Trash Dumpsters

Intent. Trash dumpsters shall be provided without compromising the quality of the street. Trash dumpsters shall not be visible or malodorous to pedestrians.

Standard. All trash dumpsters must be placed adjacent to the alley. When an alley is not present, the trash dumpster shall be placed at the side or the rear of the building. Trash dumpsters shall not be visible from the street. Trash dumpsters shall be visually screened from the street. Screening such as decorative walls or fencing shall be tall enough to buffer dumpsters from view. Screening shall be a maximum height of 7 feet.

Q. Prohibited Uses.

Intent. Certain uses decrease streetfront vitality, and are so exclusively oriented toward or designed to attract motor vehicles, that they contribute to visual blight, and lack of human scale for a traditional area. As a result, such uses are not compatible with the University Heights Neighborhood.

Standard. The following uses are prohibited:

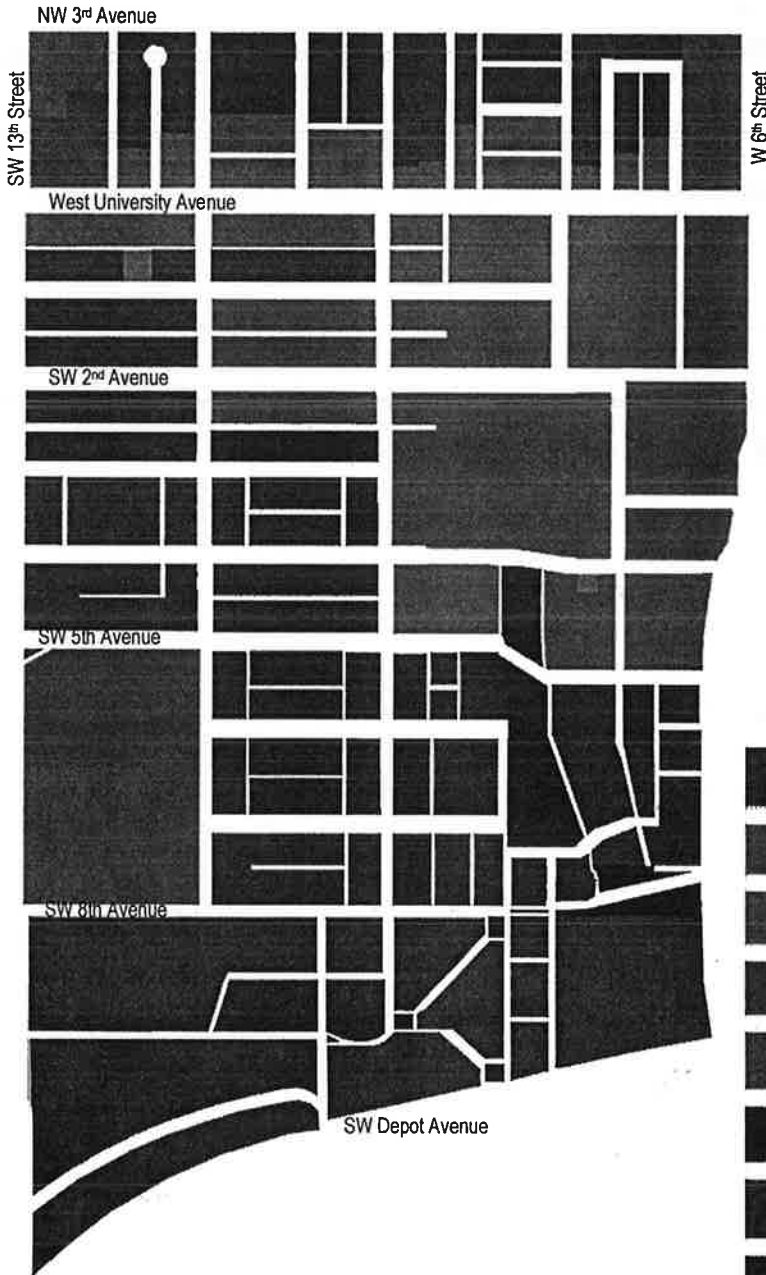
- Auto Dealers, Auto Service and Limited Auto Services (IN-5511, MG-753)
- Carwashes (IN-7542)
- Gas Service Stations (IN-5541)

V. BUILDING TYPES:

New buildings under this Special Area Plan are regulated by building type. They are mandatory for the University Heights Neighborhood as delineated in the map on this page.

On the following pages, diagrammatic examples are used to illustrate example building locations, configurations and dimensions. **The accompanying numbers and text are rules. Architectural style is not regulated; the graphics are illustrative only.**

This Land Use Map reflects the proposed streets as shown on the Idealized Buildout Map. Building types can be built within the appropriate Land Use Category.



The following building types are described in this code:

- Main Street Shopfront Building
- Office Building
- Rowhouse
- Garden Apartment
- Large House or Apartment Building
- House
- Outbuilding
- Civic Building

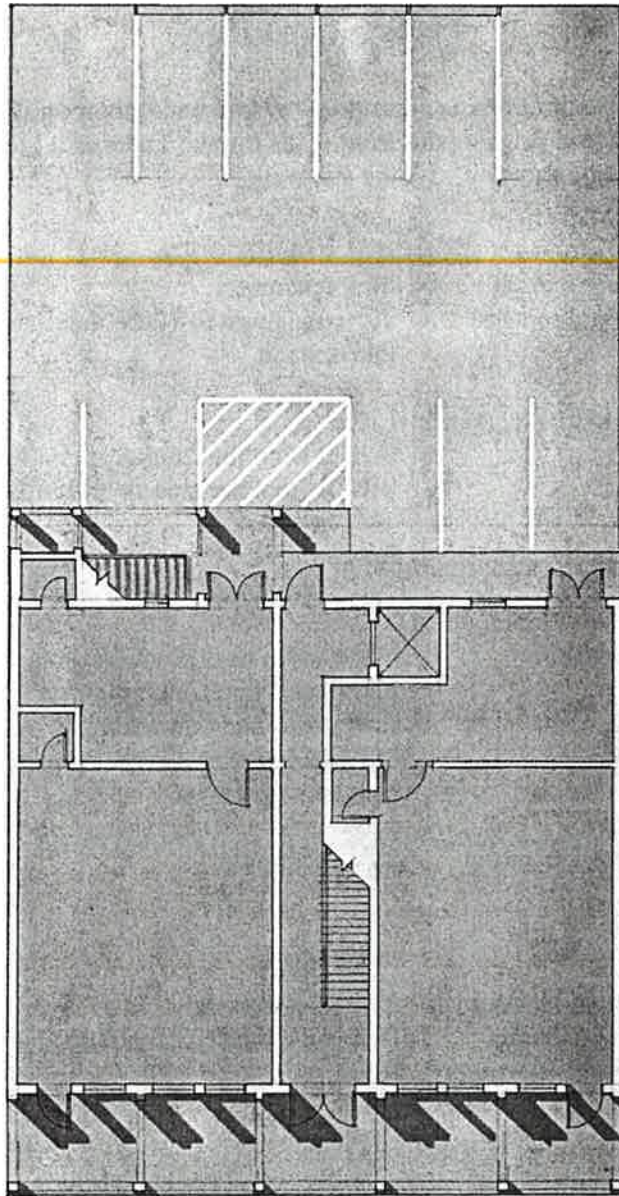
Land Use

- Residential High (8-100) units/ acre
- Mixed Use Low (10-30) units/acre
- Office
- Commercial
- Education
- Public Facilities
- Recreation
- Conservation
- Planned Use

	Main Street Building	Office Building	Rowhouse	Garden Apartment	Large House/ Apartment	House	Outbuilding	Civic Building
Residential High (8-100) units/ acre			•	•	•	•	•	
Mixed Use Low (10-30) units/acre	•	•	•	•	•	•	•	•
Office		•	•	•	•	•	•	•
Commercial	•	•	•	•			•	•
Education	•	•	•	•	•			•
Public Facilities		•						•
Recreation								•
Conservation								
Planned Use	•	•	•	•			•	•

Main Street Shopfront Building

A shopfront building is a basic unit of a traditional mixed-use street. It is sited at the front property line and features a ground floor that is roughly level with the sidewalk. The ground floor façade of the street has a substantial amount of transparent window and door openings.



Building Placement:

Building Length 200 ft maximum
 Building Frontage 70% minimum to 100% maximum lot frontage

Build-to line locations *Corner Lots:*
 0-10 ft from the front property line
 0-10 ft from the side street property line

Interior Lots:
 0-10 ft from the front property line

Side Setback None when next to other shopfront buildings, office buildings, rowhouses and outbuildings;
 5ft when next to all other types or next to a vacant lot

Building Coverage 80% maximum

Height:

Maximum Height 58 ft above grade
 Minimum Height 2 stories at least 27 ft above grade
 First Floor Elevation None

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: arcade, colonnade, 2nd floor balcony, marquee or awning, extending at least 80% of the building facade.
3. A cornice line is required at the top of the front and side facades facing streets. The cornice shall be at least 18 inches in height.
4. A parapet with cornice is required on flat or shed roofs, at the top of the front and side facades facing streets. Parapets shall be a minimum of 2 feet in height.
5. An expression line is required between the first and second floors on the front façade and along the sides visible from the street.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.
7. Courtyard buildings are permitted.



Office Building

An office building is appropriate to line wider thoroughfare. It is placed towards the front of its lot and features a ground floor roughly level with the sidewalk.

Building Placement:

Building Length 80 ft maximum
 Building Frontage 70% minimum to 100% maximum lot frontage

Build-to line locations *Corner Lots:*
 0-10 ft from the front property line
 0-10 ft from the side street property line
Interior Lots:
 0-10 ft from the property line

Side Setback None when next to other office buildings, shopfront buildings, rowhouses and outbuildings;
 8 ft when next to all other types or next to a vacant lot

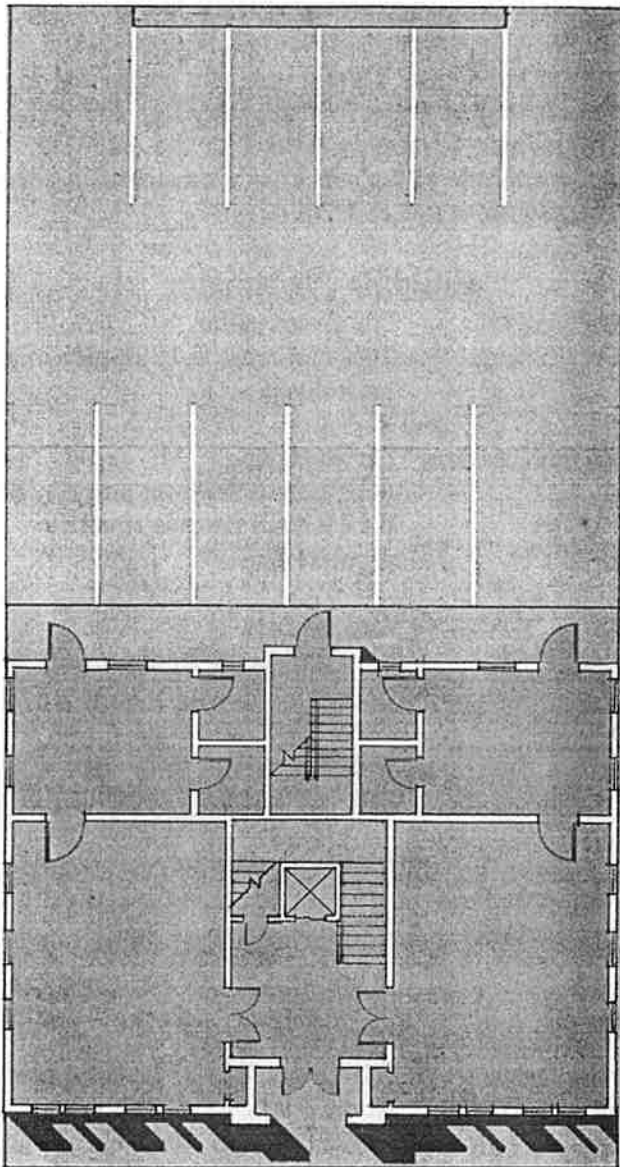
Building Coverage 80% maximum

Height:

Maximum Height 58 ft above grade
 Minimum Height 2 stories at least 27 ft above grade
 First Floor Elevation None

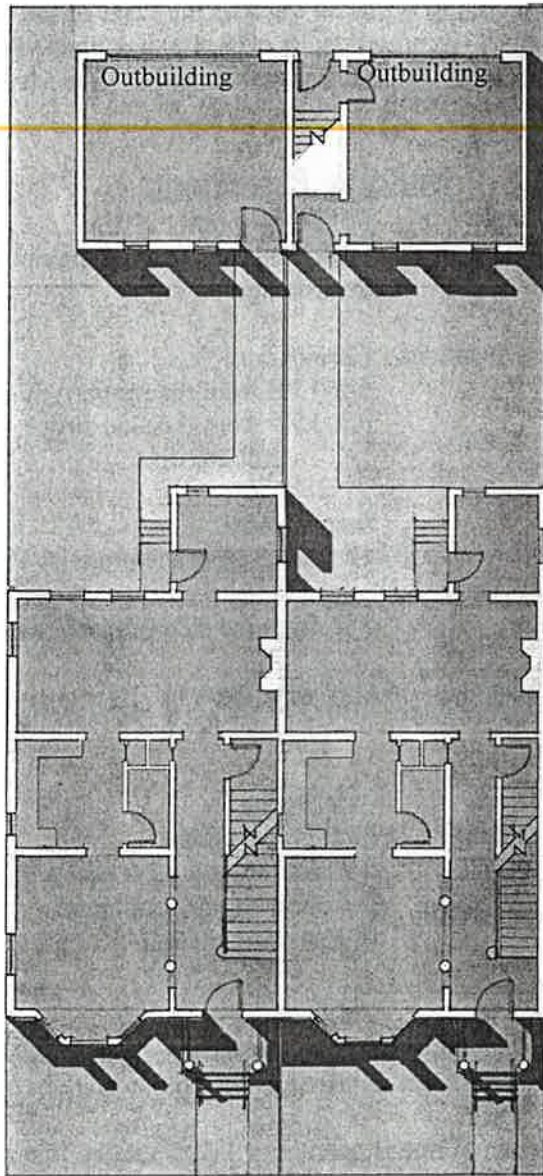
Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: arcade, colonnade, 2nd floor balcony, marquee or awning, extending at least 80% of the building facade.
3. A cornice line is required at the top of the front and side facades facing streets. The cornice shall be at least 18 inches in height.
4. A parapet with cornice is required on flat or shed roofs, at the top of the front and side facades facing streets. Parapets shall be a minimum of 3 feet in height.
5. An expression line is required between the first and second floors on the front facade and along the sides visible from the street.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.
7. Courtyard buildings are permitted.



Rowhouse

A rowhouse is placed towards the front of the lot and shares one or more common walls with its neighboring units. Entry is usually through a covered stoop. A rowhouse can be a residence for one or two families, or apartments, or a combination.



Building Placement:

Building Length 40 ft maximum
Building Frontage 60% minimum to 100% maximum lot frontage

Build-to line locations *Corner Lots:*
0 ft-15 ft from the front property line
0 ft-15 ft from the side street property line

Interior Lots:
5 ft-20 ft from the property line

Side Setback None when adjacent to another rowhouse, shopfront, office building, outbuilding;
5ft when next to all other building types or next to vacant lots

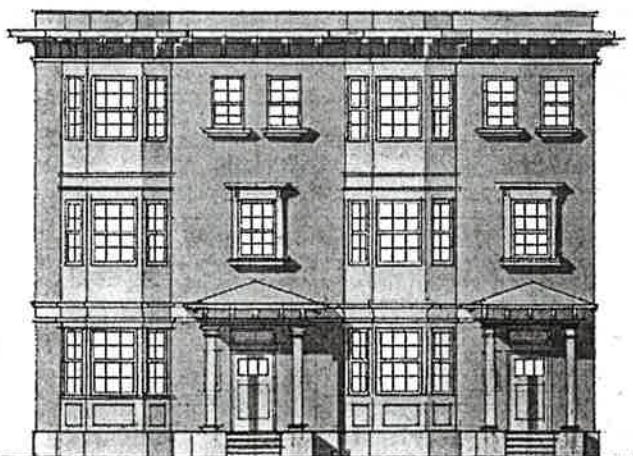
Building Coverage 70% maximum

Height:

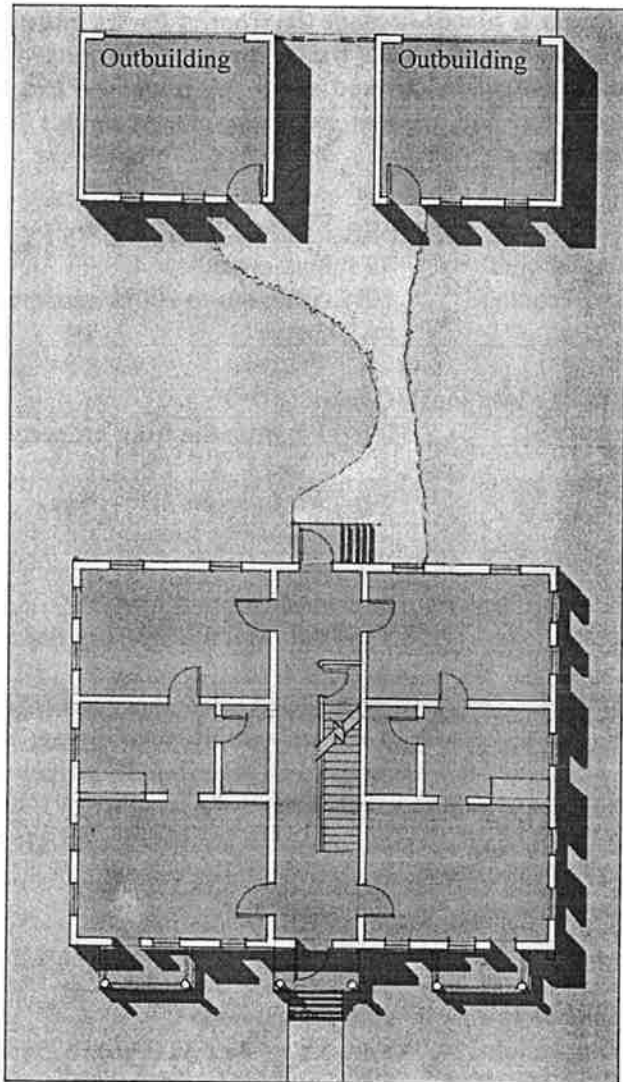
Maximum Height 48 ft above grade
Minimum Height 2 stories at least 24 ft above grade
First Floor Elevation 2 ft above grade, minimum (4 ft recommended)

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have either a stoop or front porch.
3. Flat roofs with a parapet or gabled roofs are permitted.
4. Expression lines are required between the first and second floors along the front façade and the sides if visible from the street.
5. Cornice lines are required for rowhouses.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



Garden Apartment Building



A garden apartment building shares a central stair core for bays. The building is placed towards the front of the lot and does not share common walls with its neighboring units. Entry is typically through a covered stoop. A backyard or "garden" is shared behind the building.

Building Placement:

Building Length 65 ft maximum
Building Frontage 65% minimum to 85% maximum lot frontage

Build-to line locations *Corner Lots:*
5 ft-15 ft from the property line
0 ft-15 ft from the side street property line

Interior Lots:
10 ft-20 ft from the property line

Side Setback 5 ft from the side property line

Building Coverage 60% maximum

Height:

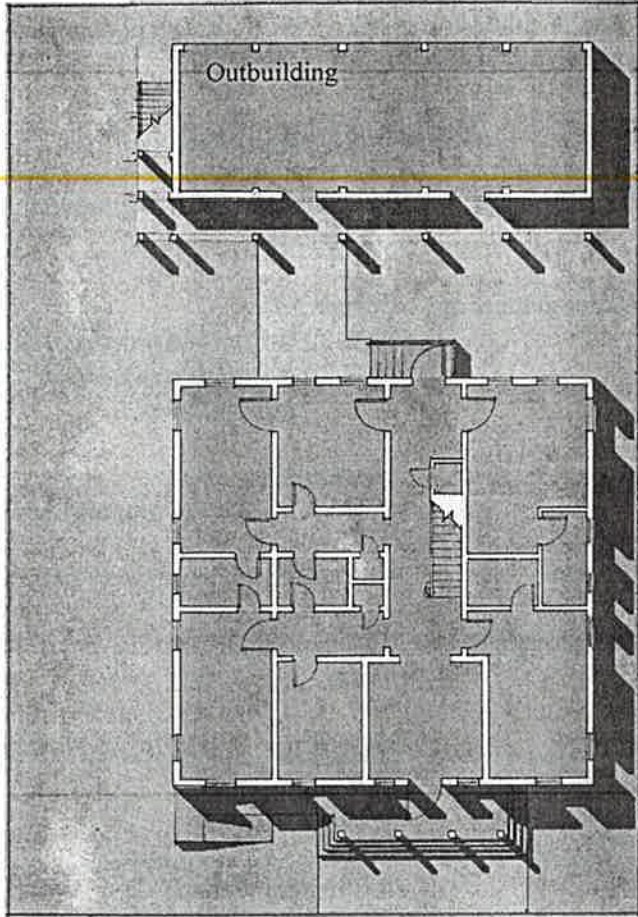
Maximum Height 48 ft above grade
Minimum Height 2 stories at least 27 ft above grade
First Floor Elevation 2 ft above grade, minimum (4 ft recommended)

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have either a stoop or front porch.
3. An expression line is encouraged between the first and second floor.
4. A cornice line is required on Garden Apartment Buildings.
5. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



DRAFT for Internal Use Only- December 10, 1999
Large House or Apartment Building



A Large House or Apartment Building is suited for large lots. Large Houses or Apartment Buildings are detached and have yard on all 4 sides. These buildings are suitable for one family, and also large enough to be subdivided into 2 or more complete, separate apartment units.

Building Placement:

Building Length 65 ft maximum
Building Frontage 40% minimum or 70 % lot frontage

Build-to line locations *Corner Lots:*
10 ft-20 ft from the front property line
10 ft-20 ft from the side property line

Interior Lots:
15 ft-25 ft from the front property line

Side Setback 5 ft from side property line

Building Coverage 50% maximum

Height:

Maximum Height 48 ft above grade
Minimum Height 2 stories at least 27 ft above grade
First Floor Elevation 2 ft above grade, minimum
(4 ft recommended)

Note:

1. Appurtenances may extend beyond the height limit.
2. Buildings are required to have either a front or side porch (may be waived or replaced by a stoop with approval by the City Manager, designee or appropriate reviewing board).
3. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



House

A House is suited for smaller lots. A house is detached and has yard on all 4 sides.

Building Placement:

Building Length 55 ft maximum
Building Frontage 40% minimum to 70% maximum lot frontage

Build-to line locations *Corner Lots:*
10 ft-20 ft from the property line
10 ft-20 ft from the side street property line

Interior Lots:
15 ft-25 ft from the property line

Side Setback 5 ft from the side property line

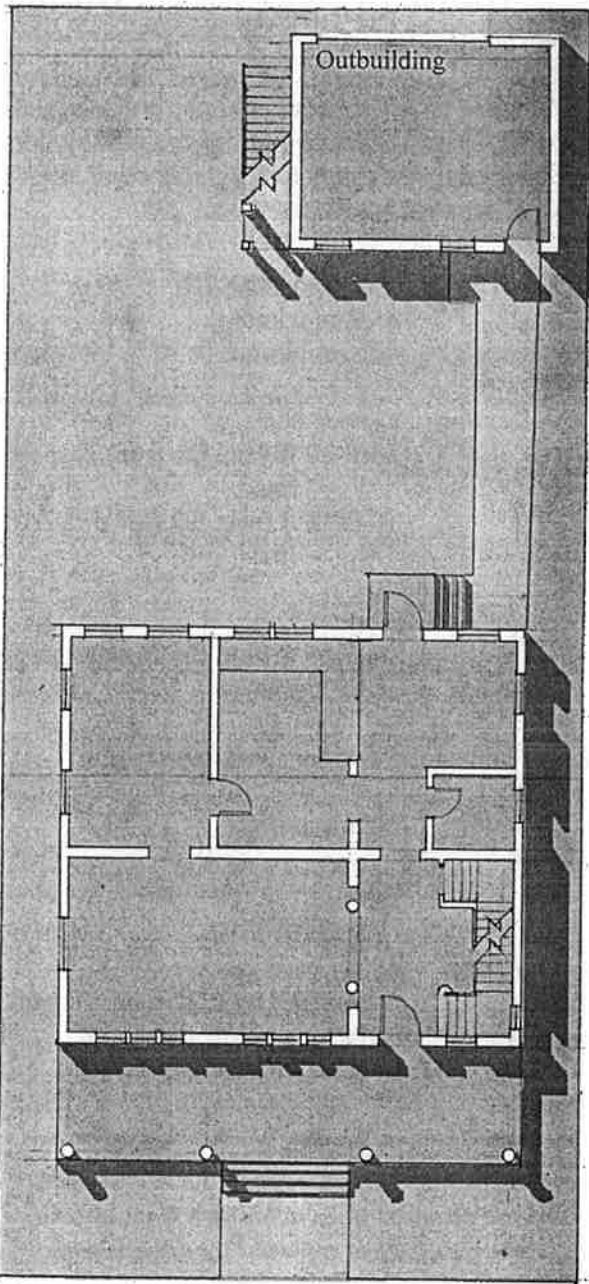
Building Coverage 40% maximum

Height:

Maximum Height 48 ft above grade
Minimum Height 12 ft above grade
First Floor Elevation 2 ft above grade, minimum (4 ft recommended)

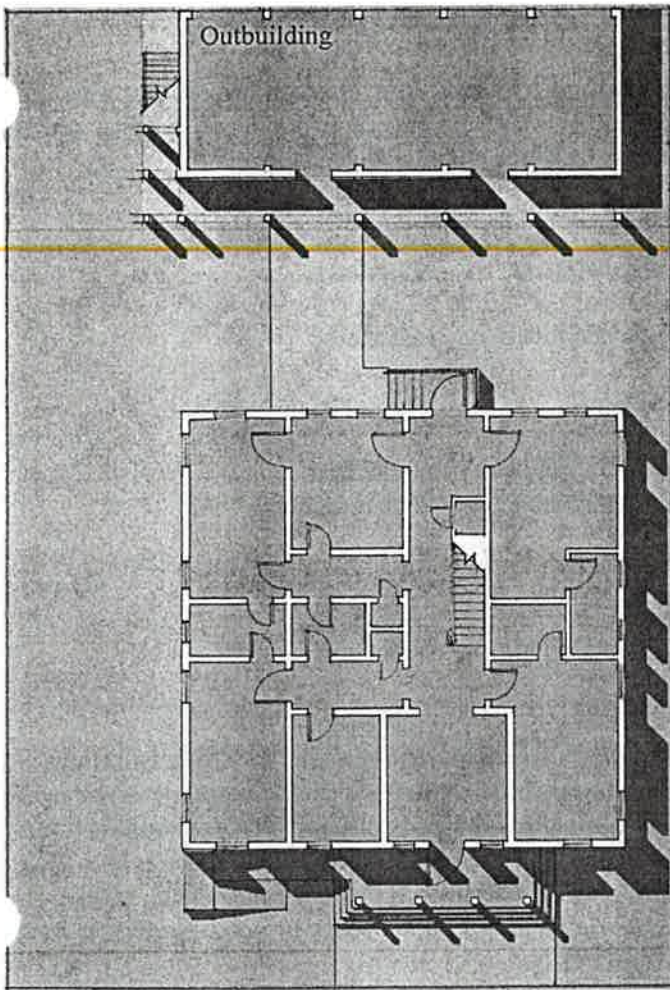
Note:

1. Appurtenances may extend beyond the height limit.
2. Buildings are required to have either a front or side porch (may be waived or replaced by a stoop with approval by the City Manager, designee or appropriate reviewing board).
3. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



Outbuilding

Outbuildings are located in the rear of the lot. These buildings are behind the principal structure, at the rear of the lot. They may contain parking, apartments, storage and trash receptacles.



Building Placement:

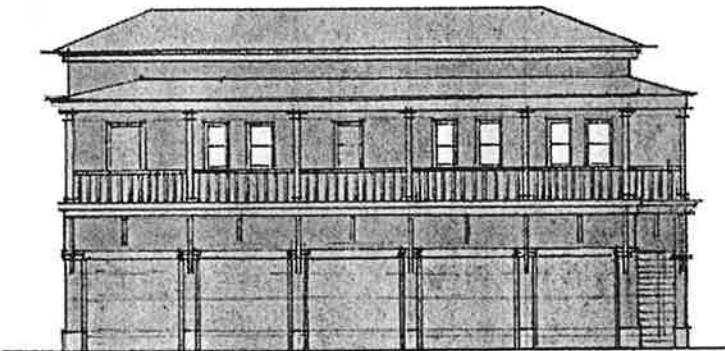
Building Frontage	0% to 85% of rear lot frontage
Build-to line locations	5 ft-20 ft from the rear property line
Side Setback	3 ft from side property line
Building Coverage	1,300 sq ft maximum and no larger than principal structure

Height:

Maximum Height	2 stories or 27 ft above grade
Minimum Height	1 story or 13 ft above grade

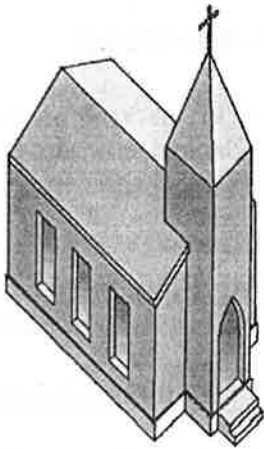
Note:

1. Exterior walls should be of a similar material to the primary structure.
2. Windows should be of similar proportion and style of mullions as the windows of the primary structure.
3. Roofs should be of similar material to the primary structure.
4. For shallow lots, less than or equal to 75 feet deep, outbuildings may occur in the sideyard provided they are not forward of the principal structure. The outbuilding must be behind the build-to line and side setback of the principal structure. Outbuildings that are garages located on shallow lots, shall follow the requirements under the Special Area plan, General Provisions, (G)(5), Garages where Alleys are Not Present.



Civic Building

Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities and places of assembly.



Building Placement:

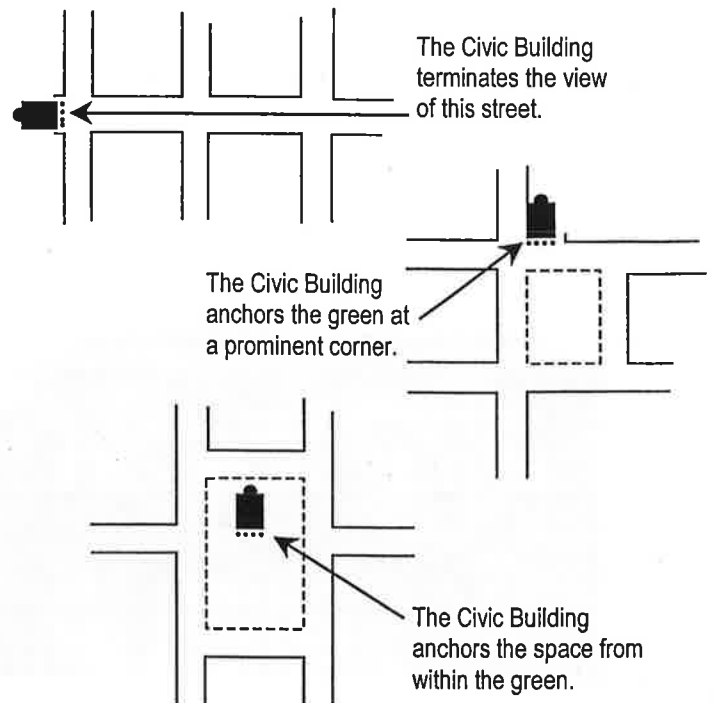
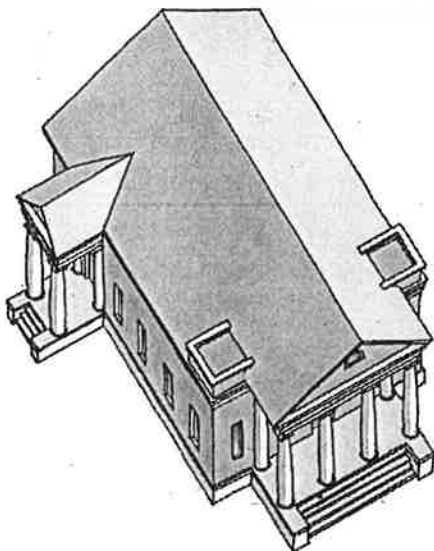
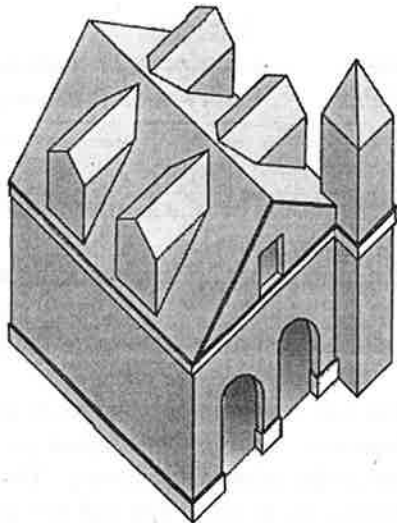
Building Frontage	negotiated
Build-to line locations	negotiated
Side Setback	negotiated
Building Frontage	negotiated
Building Coverage	75% maximum

Height:

Maximum Height	negotiable
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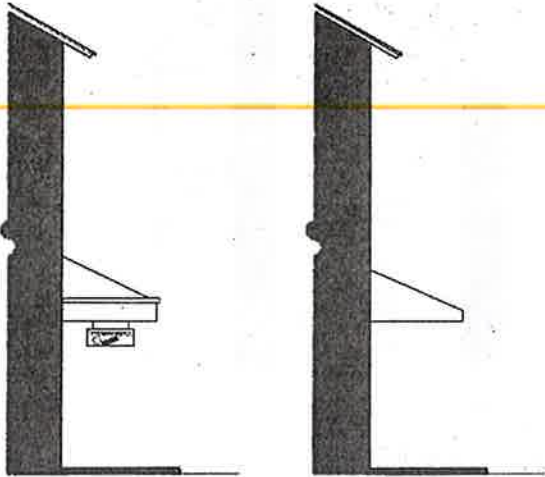
Note:

1. Building placement requirements for Civic Buildings shall be established by the City Manager, designee or appropriate reviewing board at the time of application. Civic buildings should be sited when feasible in locations of particular geometric importance, such as anchoring a major public space or green, or terminating a street vista.



VI. Building Elements

A. Awnings & Marquees:



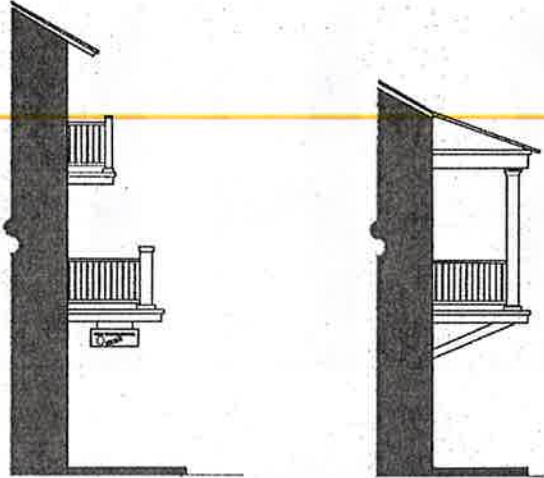
- Depth*= 5 ft minimum
- Height*= 10 ft minimum clear
- Length*= 25% to 100% of building front

The above requirements apply to first floor awnings above the first floor.

Marquees and awnings shall occur forward of the build-to line and may encroach over the right-of-way.

Awnings shall be made of fabric. High gloss or plasticized fabrics are prohibited.

B. Balconies:



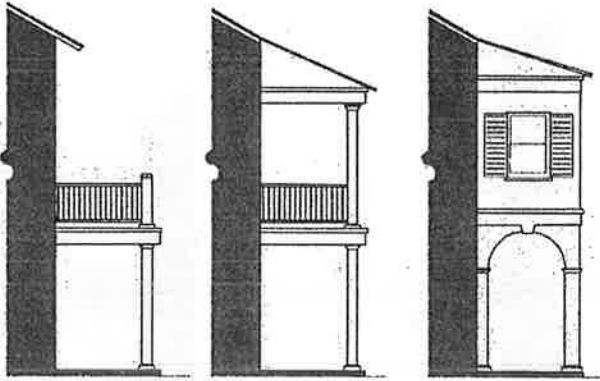
- Depth*= 6 ft minimum for 2nd floor balconies
- Height*= 10 ft minimum clear
- Length*= up to 100% of building front

Balconies shall occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line.

Balconies may have roofs, but are required to be open, un-air conditioned parts of the buildings.

On corners, balconies may wrap around the side of the building facing the side street.

C. Colonnades / Arcades:



- Depth*= 10 ft minimum from the build-to line to the inside face of the column
- Height*= 10 ft minimum clear
- Length*= 75- 100% of building front

Open, multi-story verandas, awnings, balconies, and enclosed useable space shall be permitted above the colonnade.

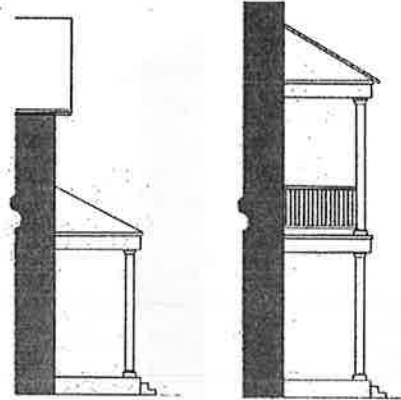
Colonnades shall only be constructed where the minimum depth can be obtained. Colonnades shall occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line.

On corners, the colonnade may wrap around the side of the building facing the side street.

On sidewalks with on-street parking or bicycle lanes next to the curb, colonnades shall be 18 inches from the face of curb.

On sidewalks with travel lanes next to the curb, colonnades must be 4 feet from curb.

D. Front Porches:



- Depth*= 8 ft minimum
- Length*= 25% to 100% of building front

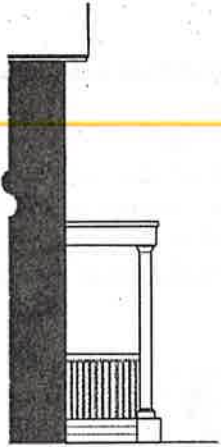
Front Porches may have multi-story verandas and/ or balconies above.

Front porches shall occur forward of the Build-to line. Porches shall not extend into the right-of way.

Front porches are required to be open, un-air conditioned parts of the buildings. More than 25% of the floor area of a porch shall not be screened if the porch extends forward of the build-to line.

A 5-foot sidewalk shall be maintained for access.

E. Stoops:

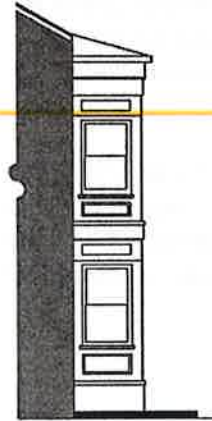


Depth= 8 ft minimum
Length= 5 ft minimum

Stoops are permitted and may occur forward of the build-to line. Stoops may encroach within the right-of-way line with approval of the City Manager or designee. Stoops may be covered or uncovered.

A 5 foot sidewalk shall be maintained for access.

F. Bay Windows:



Depth= 3 ft minimum
Length= 6 ft minimum

Bay windows are permitted and may occur forward of the build-to line. Bay windows may not encroach within the right-of-way line. Bay windows shall have required façade details such as lintels, sills, cornices and expression lines.

Bay windows shall cover a maximum of 40% of any building façade.

VI. Architectural Guidelines

The lists of permitted materials and configurations come from study of traditional buildings found in north Florida and have been selected for their appropriateness to the visual environment and climate.

A primary goal of the Architectural Guidelines is authenticity. The Guidelines encourage construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials.

General Requirements:

The following shall be located in rear yards or sideyards not facing the streets:

- Window and wall air conditioners;
- Air conditioning compressors;
- Heating and ventilation; and
- Irrigation and pool pumps;
- Electrical utility meters.

The following shall be located in the rear yards only:

- Clotheslines;
- Clothes drying yards;
- Antennas;
- Permanent barbecues.

The following are prohibited:

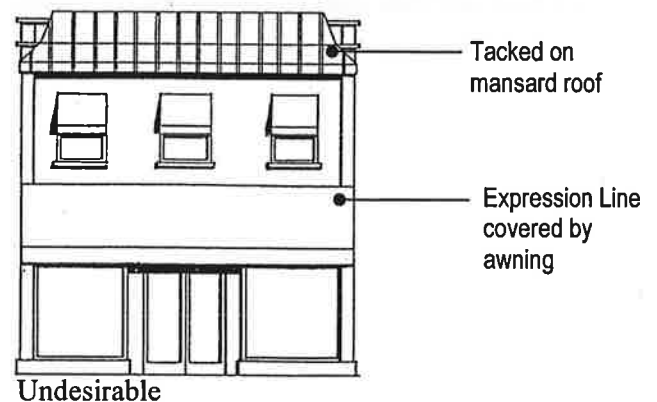
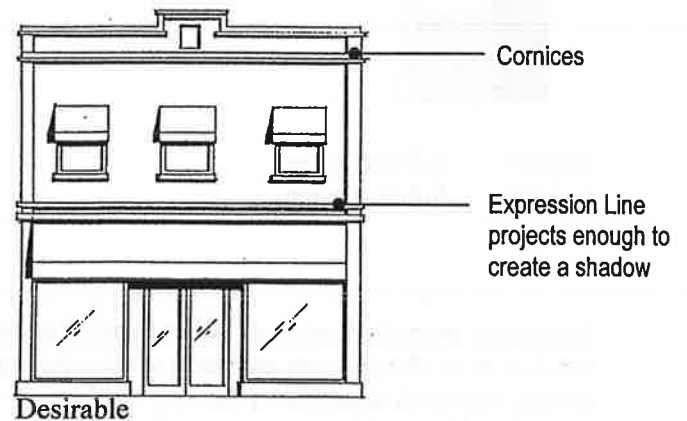
- Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening.);
- Plastic or inoperable shutters;
- Reflective and/or bronze-tint glass;
- Plastic or PVC roof tiles;
- Backlit awnings;
- Glossy-finish awnings; and
- Front yard fences made of chain link, barbed wire, or plain wire mesh.
- Fences extending the in front of the front plane of the building made of chain link, barbed wire, or plain wire mesh.

A. Building Walls

1. General Requirements

For Main Street Shopfront and Office buildings, if finished with masonry or stucco:

An expression line shall delineate the division between the first story and the second story. An expression line shall either be a cornice or molding extending a minimum of 2 inches, or a jog in the surface plane of the building wall greater than 2 inches.



2. Permitted Finish Materials

- Concrete masonry units with stucco (C.B.S.)
- Reinforced concrete with stucco
- "Hardie-Plank" siding
- Wood siding, painted or natural (cypress and cedar preferred)
- Brick

B. Garden Walls, Fences & Hedges:*1. General Requirements*

Fences, garden walls, or hedges are strongly encouraged and shall be constructed along all un-built rights-of-way which abut streets and alleys.

Fences, garden walls and hedges shall be minimum 25% opaque. Fences made of chain-link (wholly or in part) are prohibited along all rights-of-way.

Maximum height of fences shall be 40 inches for front yards and along side streets and 72 inches in the rear yards. Pillars and posts may extend up to 6 inches more, to a height of 78 inches.

2. Permitted Finish Materials

- Wood: left natural, painted or stained
- Concrete masonry units with stucco (C.B.S.)
- Reinforced concrete with stucco
- Wrought iron
- Brick

3. Permitted Configurations

- Wood:
Picket Fences: minimum 30% opaque, w/ corner posts
Other wooden fences: to match building walls
- Stucco: with texture and color to match building walls
- Painted or wrought iron: Vertical, 5/8 inch minimum

C. Columns, Arches, Piers, Railings & Balustrades:*1. General Requirements*

- Columns and piers shall be spaced no farther apart than they are tall.

2. Permitted Finish Materials

- Columns:
Wood, painted or natural
Cast iron
Concrete with smooth finish
- Arches:
Concrete masonry units with stucco (C.B.S.)
Reinforced concrete with stucco
- Piers:
Concrete masonry units with stucco
Reinforced concrete with stucco
Brick
- Railings & balustrades:
Wood, painted or natural
Wrought iron

3. Permitted Configurations

- Columns:
Square, 6 inches minimum, with or without capitals and bases
Round, 6 inches minimum outer diameter, with or without capitals and bases
Classical orders
- Arches:
Semi-circular & segmental
- Piers:
8 inches minimum dimension
- Porches:
Railings 2-3/4 inches minimum diameter
Balustrades 4 inches minimum spacing,
6 inches maximum spacing

D. Opacity & Facades:

Each facade facing streets shall contain 15% to 70% of transparent materials on each story below the roof line.

Storefront areas only:

The ground floor building frontage shall have storefront windows covering no less than 50% of the ground floor building frontage wall area. Storefronts shall remain unshuttered at night and shall utilize transparent glazing material, and shall provide view of interior spaces lit from within. Where building frontages exceed 50 feet, doors or entrances with public access shall be provided at intervals averaging no less than 50 feet.

E. Roofs & Gutters*1. General Requirements*

- Permitted Roof Types:
gabled, hipped, shed, barrel vaulted, domed & flat. Applied mansard roofs are not permitted.
- Any building systems placed on a roof shall be concealed from view.
- Flat roofs are permitted. Flat roofs shall be concealed by parapets along any street frontage or any side of the building that is visible from the street. Parapets shall be no less than 36 inches high.
- Exposed rafter ends (or tabs) at overhangs are strongly recommended.
- Downspouts are to match gutters in material and finish.

2. Permitted Finish Materials

- Metal:
Galvanized
Copper
Aluminum
Zinc-Alum
- Shingles:
Asphalt or metal, "dimensional" type
Tile
- Gutters:
Copper
Aluminum
Galvanized steel

3. Permitted Configurations

- Metal:
Standing seam or "five-vee," 24 inches maximum spacing, panel ends exposed at overhang
- Shingles:
Square, rectangular, fishscale, shield
- Gutters:
Rectangular section
Square section
Half-round section

F. Signs

1. General Requirements

- Signs shall be flat against the façade, mounted projecting from the façade, or mounted above the top of the façade.
- Signs shall be externally lit. Individual letter and symbols may be internally lit or back-lit.

2. Finish Materials

- Wood: painted or natural
- Metal: copper, brass, galvanized steel
- Painted canvas
- Neon
- Paint/engraved directly on façade surface
- Wood-like materials

3. Configurations

- Maximum gross area of signs on a given façade shall not exceed 10% of the applicant's façade area.
- Maximum area of any single sign mounted perpendicular to given façade shall not exceed 10 square feet.
- Signs shall maintain a minimum clear height above sidewalks of 9 feet.
- Signs shall not extend beyond the curb line.



Desirable

- Signs are coordinated in size and placement with the building and storefront.



Undesirable

- Building sign conceals the cornice
- Over-varied sign shapes create visual confusion
- Redundant signage
- Awning sign covers the masonry piers
- Sale sign too large for storefront and poorly placed in display window

G. Windows, Skylights, & Doors:

1. General Requirements

Windows shall be rectangular, square, circular, semi-circular, or octagonal. Rectangular window openings facing streets shall be oriented vertically.

The following accessories are permitted:

- Shutters
- Wooden window boxes
- Real muntins and mullions
- Fabric awnings (no backlighting; no glossy-finish fabrics)

2. Finish Materials

- Windows, Skylights, & Storefronts:
 - Wood
 - Aluminum
 - Copper
 - Steel
 - Vinyl-clad wood
- Doors:
 - Wood or metal

3. Permitted Configurations

- Windows:
 - Rectangular (vertical orientation)
 - Round (18 inch maximum outer diameter)
 - Semi-circular
- Window Operations:
 - Casement
 - Single- and double-hung
 - Industrial
 - Fixed frame (36 square feet maximum)
- Skylights:
 - Flat to the pitch of the roof
- Door Operations:
 - Casement
 - French
 - Sliding (rear only)