

# UNIVERSITY CORNERS

Gainesville, FL  
11.15.06

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architects

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Kimley-Horn  
and Associates, Inc.

# Location



**Three block area in the southeast corner  
of the College Park Special Area District**



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# University Corners



## University Avenue



# University Corners



NW 13<sup>th</sup> Street

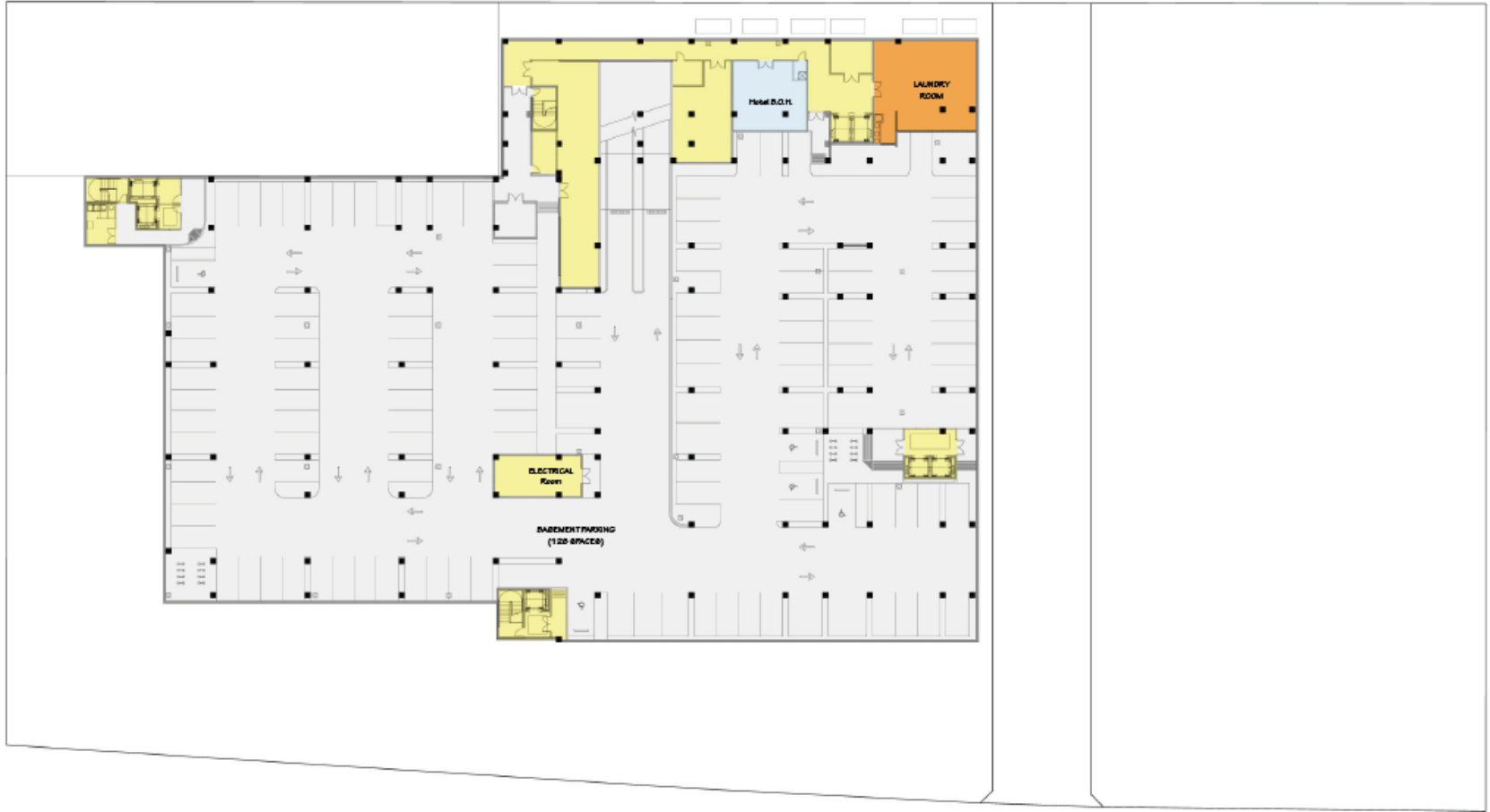


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# University United Methodist Church

## Building Perspective





Basement Floor Plan

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UNIVERSITY AVENUE



### Level 1 Floor Plan

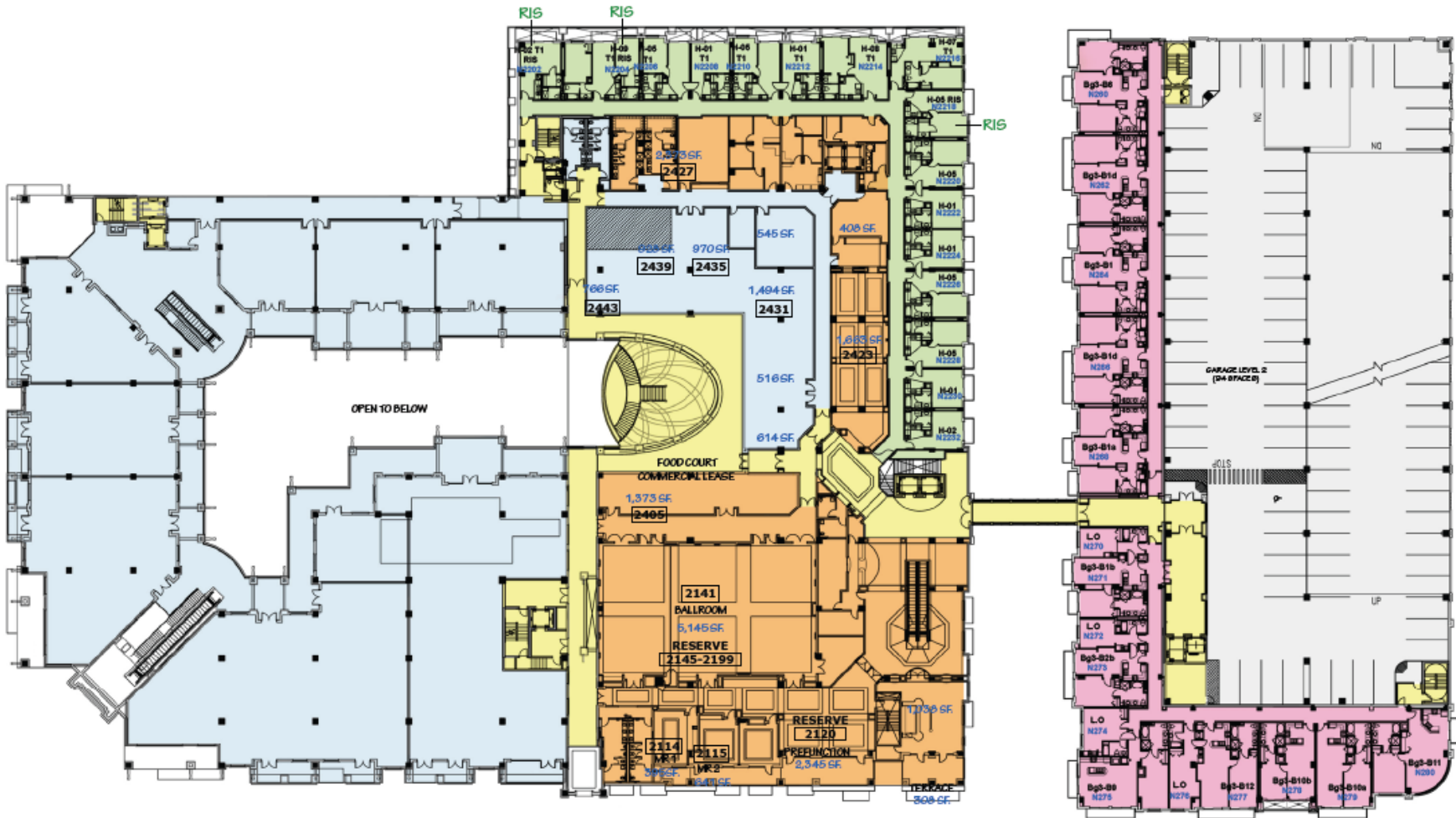
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 FAC - ACCESSIBLE  
 SA - SPECIAL ACCESSIBILITY  
 HI - HEARING IMPAIRED

### Level 2 Floor Plan

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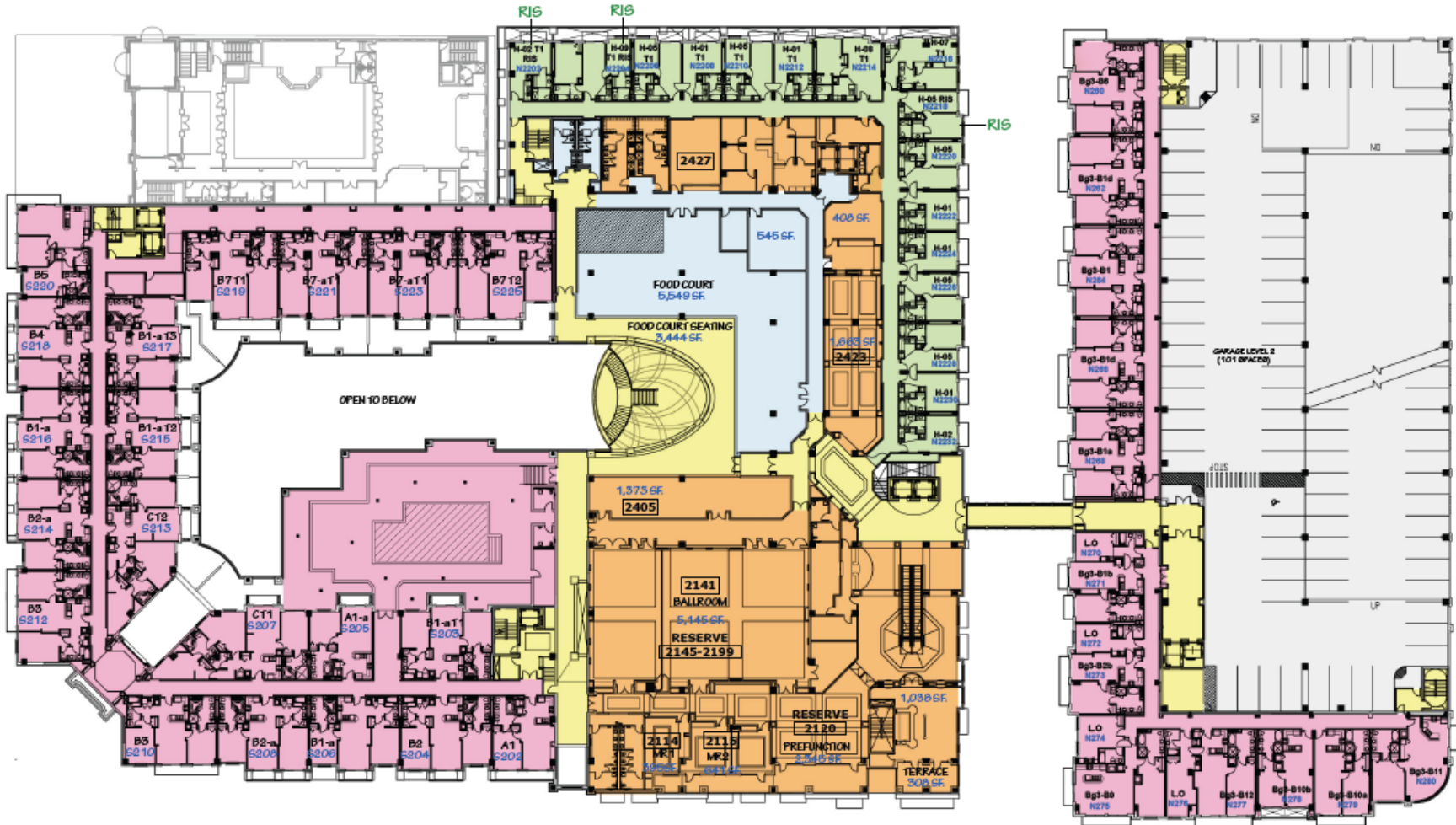
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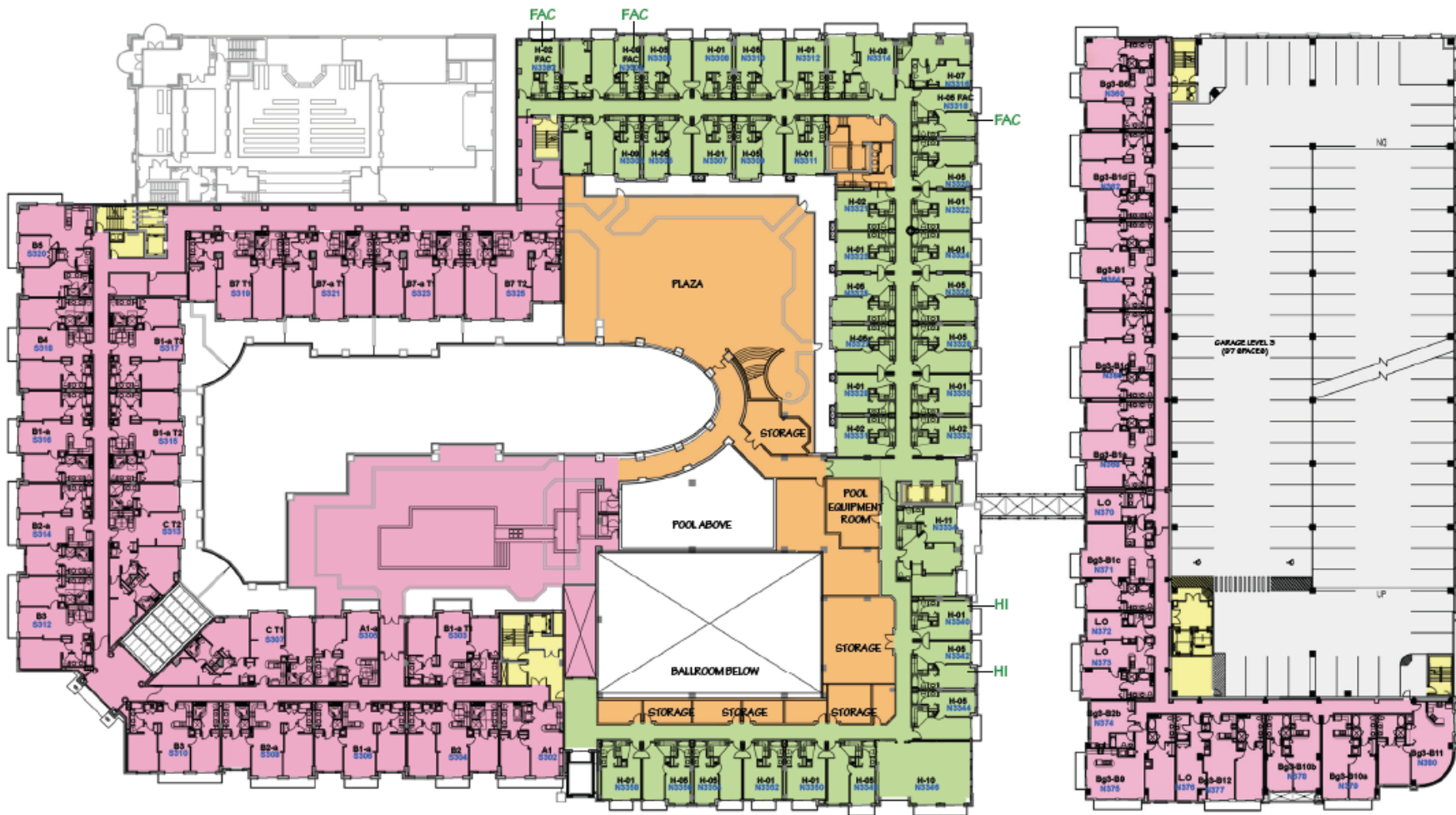
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Level 2 Floor Plan  
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### Level 3 Floor Plan

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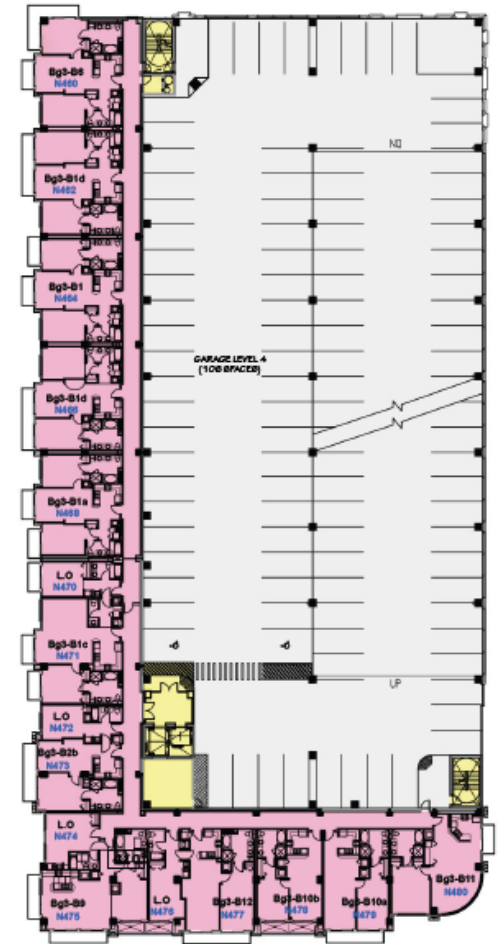
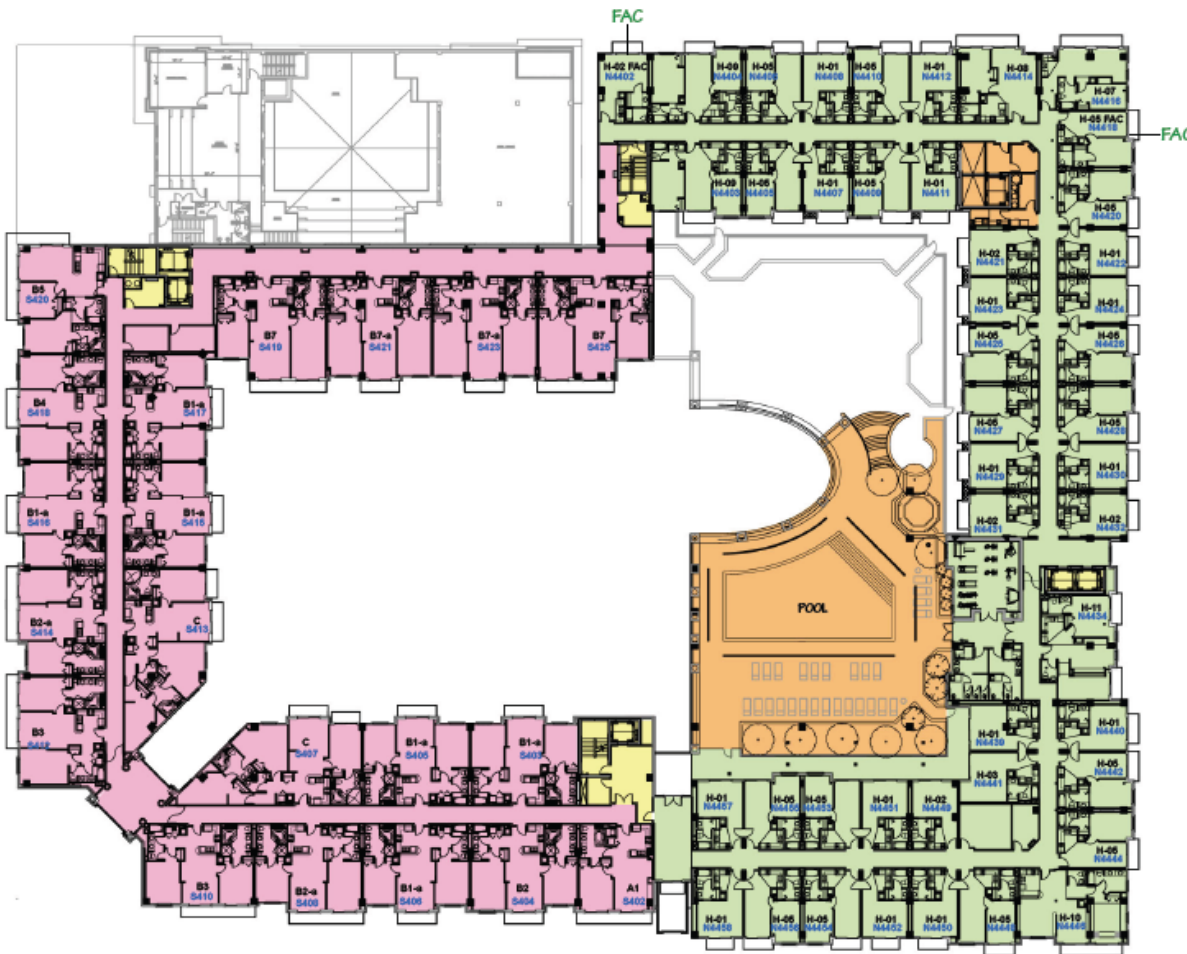
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### Level 4 Floor Plan

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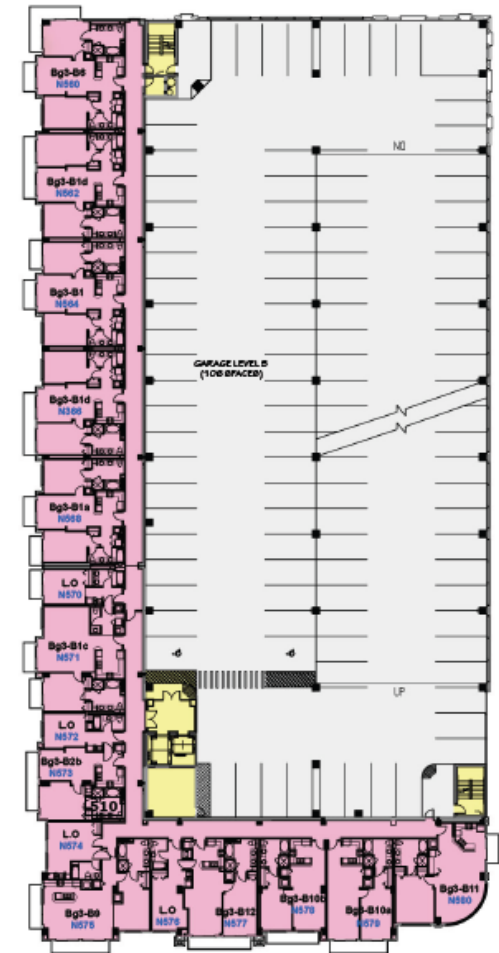
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### Level 5 Floor Plan

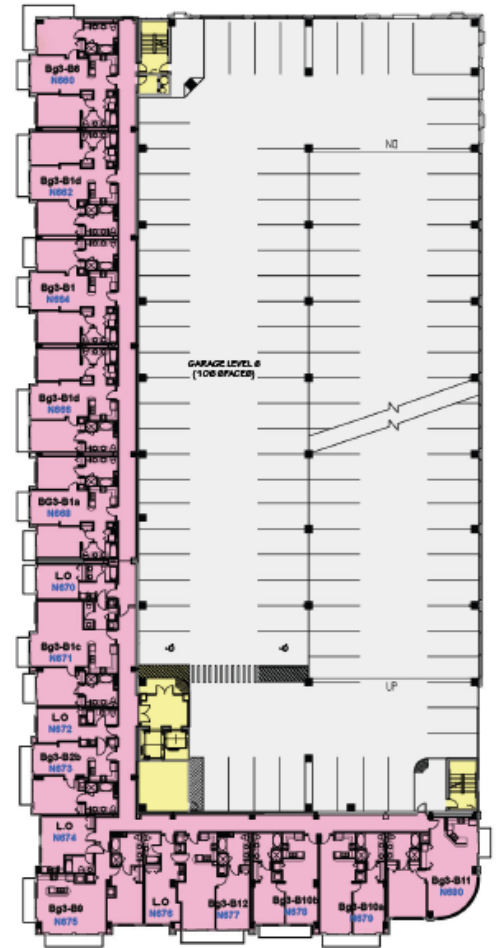
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### Level 6 Floor Plan

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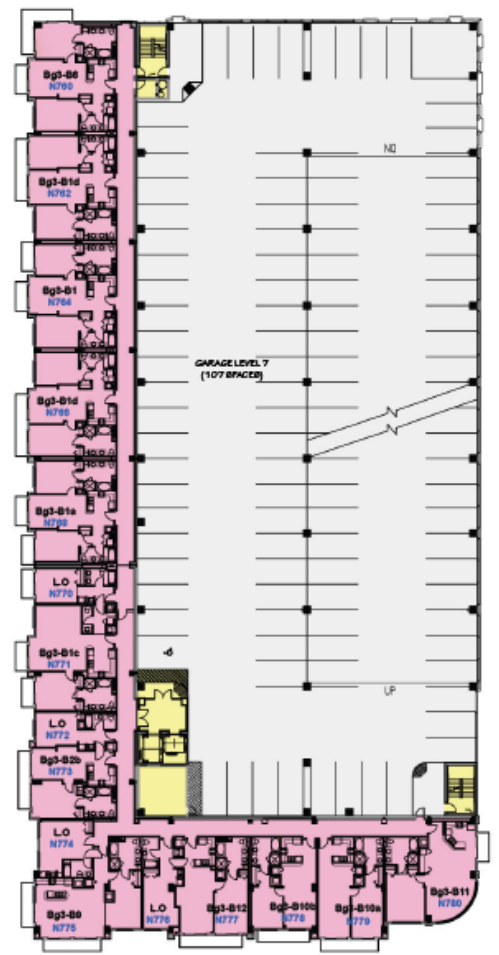


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### Level 7 Floor Plan

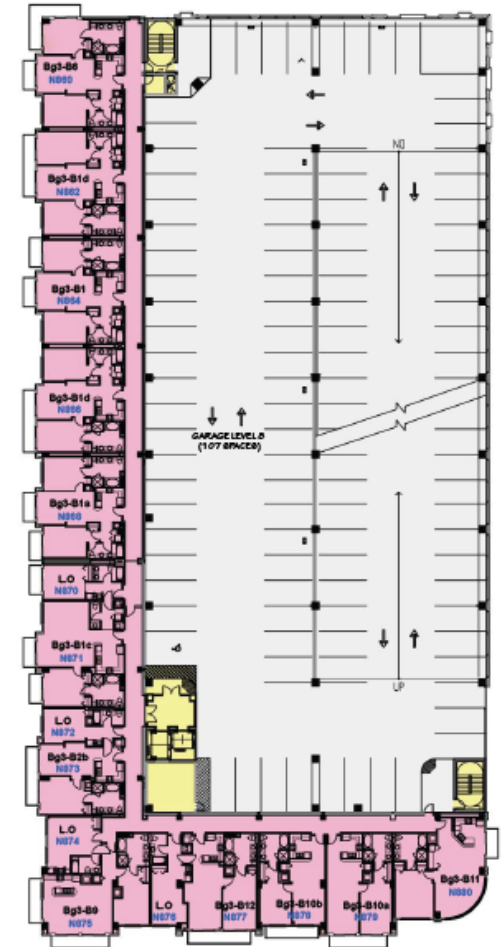
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Level 8 Floor Plan

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Level 9 Floor Plan  
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## University Avenue Elevation

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13th Street Elevation



## 13th Street Elevation

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14th Street Elevation  
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2nd Avenue North Elevation  
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## Northwest 3rd Avenue Elevation

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*West Courtyard Elevation*

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# Project Overview

University Corners is one of the most significant redevelopments to occur within the College Park Neighborhood

*Mixed-Use development containing Retail, Restaurants, Residential, Civic, and Parking:*

- Brings a focus to the College Park Neighborhood
- Architecturally compatible with the urban built environment
- Pedestrian friendly with traditional walkable character
- Adds housing to create a 24-hour “Live” City
- Brings the Community and the University together



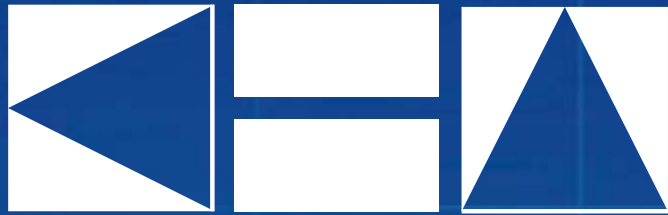
# PD Amendment

This amendment allows greater flexibility to the mix of commercial and residential uses, relocates underground parking to the parking structure, and improves the financial and structural stability of the project.

- Reduces underground construction cost, time and potential damage to City roads
- Adds a phasing plan to allow the University United Methodist Church to file a separate site plan application
- Responds to the changing market demands and construction costs







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