

**TO:** City Plan Board

**Item Number:** 1

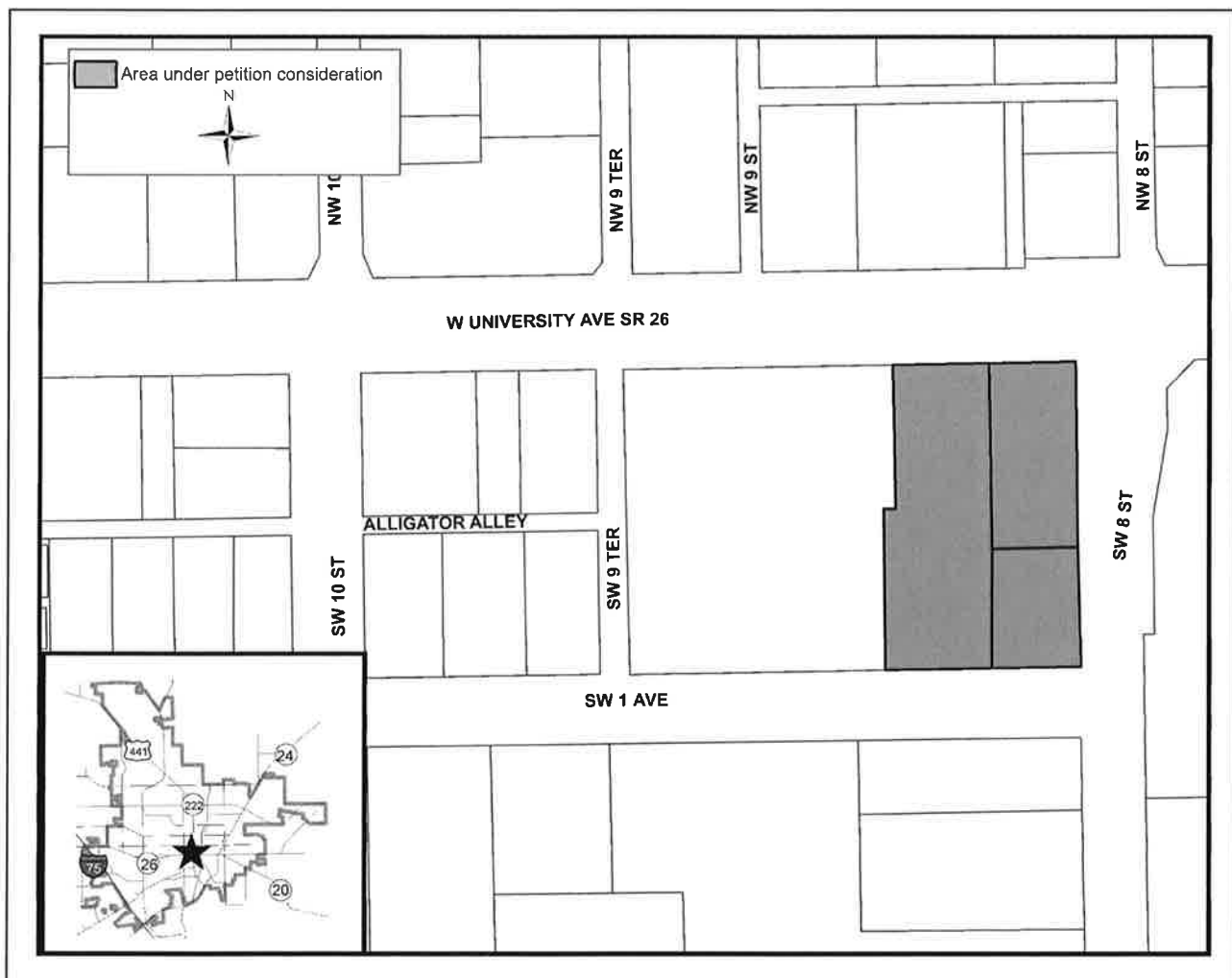
**FROM:** Planning & Development Services Department  
Staff

**DATE:** April 28, 2016

**SUBJECT:** Petition PB-16-25 SUP, Causseaux, Hewett & Walpole, agent for TBG Innovation Square LLC, owner. Special Use Permit with development plan review to allow the construction of a mixed-use development. Zoned: UMU-2 (10-100 units/acre, and up to 25 additional units/acre by special use permit, urban mixed-use district). Located at 805-819 W University Avenue.

### Recommendation

Approve the Special Use Permit (SUP), and also issue preliminary approval of the associated development plan, subject to the conditions and recommendations in this report and Appendix E.



## **Description**

The applicant is requesting approval of a Special Use Permit (SUP) and an associated development plan to construct a six-story building that will contain retail space, an interior parking garage, and 110 dwelling units. Other proposed improvements include landscape material, signage, stormwater facilities, utilities, lighting, sidewalks, and vehicular and pedestrian connections. Signage, however, will be permitted separately.

The development site consists of three tax parcels that total .94 (MOL) acres. W University Avenue (SR 26) abuts on the north. SW 1<sup>st</sup> Avenue abuts on the south. SW 8<sup>th</sup> Street abuts on the east. A single tax parcel that contains a multi-story office building abuts on the west. The commercial and residential buildings that currently occupy the development site will be demolished.

The area surrounding the development site contains a mixture of residential, office and commercial uses. Innovation Square and the University of Florida main campus are within walking distance of the development site. The transportation facilities in the surrounding area include paved streets and sidewalks. Regional Transit System (RTS) bus routes are located on W University Avenue (SR 26) and SW 2<sup>nd</sup> Avenue, which has bike lanes. The surrounding area also has a mature tree canopy.

The development site and surrounding properties have Urban Mixed-Use 2 (UMU-2) land use and zoning designations, which allow a maximum of 100 dwelling units per acre by right, and up to 25 additional dwelling units per acre by Special Use Permit (see Exhibit A-1 and Exhibit B-1). The purpose of the SUP is to request additional dwelling units per acre beyond the 100 dwelling units per acre allowed by right in the UMU-2 zoning district. The property is .94 acres and would allow 94 dwelling units. The applicant is requesting 110 dwelling units for an overall density of 117 dwelling units per acre.

## **Key Issues**

According to Section 30-65.2 - Urban mixed-use district 2 (UMU-2) of the City Land Development Code, the reviewing board is given authority to grant modifications to the UMU-2 zoning district regulations limited to the build-to-line, building relationship to the street, building articulation and design, landscape zone, sidewalk zone and streets/blocks standards, where the board finds by substantial competent evidence that:

1. The proposed development offers unique/alternative compliance that meets the intent of the UMU-2 zoning district; the requested modification is the minimum necessary to allow reasonable development of the site; and the requested modification is not injurious to the public health, safety and welfare; or
2. An undue hardship, owing to conditions peculiar to the land or structure and not the result of the action of the applicant, would result from strict adherence to the standard; or

3. The sidewalk zone or landscape zone cannot be constructed due to restrictions by the governmental entity responsible for the street where the sidewalk or landscaping is proposed. (See Exhibit B-1.)

The applicant is requesting board modifications to the UMU-2 zoning requirements, as stated in a letter labelled Exhibit C-2.

### **Basis for Recommendation**

The staff recommendation is based on the criteria for issuance of a Special Use Permit (SUP) shown in Sec. 30-233 (see Exhibit B-2) of the City's Land Development Code. The Plan Board must make findings concerning the SUP to ensure that the design, location, and methods of operation of the proposed development conform to the City's Comprehensive Plan. Staff's findings for each of the criteria in Sec. 30-233 are as shown below.

### **Land Development Code, Sec. 30-233, Special Use Permit Criteria:**

1. **The proposed use or development complies with all required regulations and standards of Chapter 30 of the Land Development Code and all other applicable regulations.** The City's Technical Review Committee finds the proposed use and development approvable, subject to the adoption of the conditions and recommendations provided in Appendix E.
2. **The proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.** The City's Technical Review Committee finds the proposed use and development generally compatible and in harmony with the uses and structures on adjacent and nearby properties, provided the conditions and recommendations in Appendix E are adopted. This finding is based, in part, on the following: (1) The proposed retail space will consist of small specialty shops that generate fewer car trips than larger retail establishments; (2) Sidewalk and driveway connections will tie into existing transportation facilities in order to make pedestrian and vehicular circulation safe and efficient; (3) Bike and scooter parking spaces will be provided to support alternative modes of transportation and help reduce car trips; (4) An interior parking garage will help to reduce the demand for existing on-street parking spaces; (5) The proposed building complies with the UMU-2 maximum height requirement of 6 stories; (6) The brick and mortar proposed on the building exterior is consistent with adjacent buildings; (7) Lighting will be provided for visibility and to enhance security on the development site; (8) Landscape material will be provided to shade the adjoining streetscape and make it aesthetically pleasing; (9) Building wall articulation will be applied to all sides of the proposed building; and (10) The proposed building will be designed to reduce the view of rooftop mechanical equipment from other properties.

3. **Necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.** Comments from Gainesville Regional Utilities (GRU) in Appendix E indicate that further review is necessary to issue the proposed use and development final approval.

**CONDITION 1: APPROVAL OF THE SPECIAL USE PERMIT (SUP) SHALL BE SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED DEVELOPMENT PLAN AND THE ADOPTION OF THE CONDITIONS AND RECOMMENDATIONS IN APPENDIX E.**

4. **The use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.** The proposed use and development will occur within the University of Florida (UF) Context Area. Therefore, due to the proposed residential dwelling units, the applicant must sign a UF Context Area Agreement and make a payment to fund the capital transit costs associated with transit service needs. Although the proposed use and development is also within Zone A of the City's Transportation Mobility Program Area (TMPA), the applicant will not have to sign a TMPA agreement for trip generation.
5. **Screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.** The City's Technical Review Committee finds the proposed use and development in compliance with the City's landscaping requirements, except as indicated in Appendix E. The proposed building will have parapets to screen rooftop mechanical equipment. Street trees will be provided along the abutting right-of-ways, as part of the public realm that is required in the UMU-2 zoning district. No screening or buffer is proposed along the west property line, since the allowed building setback is 0 feet.
6. **The use or development conforms to the general plans of the City as embodied in the Gainesville comprehensive plan.** The City's Technical Review Committee finds the proposed use and development consistent with applicable policies of the adopted comprehensive plan and land development code, except as noted in Appendix E. The proposed use and development is consistent with the intent of the UMU-2 land use and zoning categories, which is to provide compatible mixed-uses within close proximity to the University of Florida main campus and Innovation Square.
7. **The proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms to the concurrency management requirements of the Land Development Code as specified in Article III, Division 2.** The City's Technical Review Committee finds the proposed use and development in compliance with the level of service standards and concurrency management requirements adopted by the City, except as noted in Appendix E.



## Findings

The City's Technical Review Committee finds this petition approvable, subject to final approval of the associated development plan and the adoption of the conditions and recommendations provided in Appendix E. If approved, the Special Use Permit (SUP) is valid for a period of one (1) year from the date of Plan Board approval. Prior to the expiration of this one year period, the applicant must obtain a final development order for the associated development plan and obtain a valid building permit. Failure to comply with these requirements shall cause the approved SUP to become null and void unless, prior to the expiration date of the SUP, a request for an extension is approved by the Plan Board. A request to extend an SUP must be made through the City Planning Division prior to the expiration date.

## Development Plan Review

The associated development plan requires a major level of review due to the applicant's proposal to construct a building consisting of 197, 279 (MOL) square feet. In addition to receiving an approved Special Use Permit (SUP), the applicant must also receive preliminary approval of the associated development plan from the Plan Board and final approval of the associated development plan from the City's Technical Review Committee (TRC). A copy of the associated development plan is provided in Appendix F.

Copies of the development application and documents discussing a neighborhood workshop held on January 28, 2016 are provided in Appendix D. A copy of the letter addressing the petition's compliance with the General Performance Standards in Section 30-345 of the City Land Development Code is labelled Exhibit C-1.

## Conditions

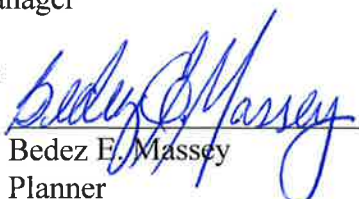
1. Approval of the Special Use Permit (SUP) shall be subject to final approval of the associated development plan and the adoption of the conditions and recommendations provided in Appendix E.

Respectfully submitted,



Ralph Hilliard,  
Planning Manager

Prepared by:



Bedez E. Massey  
Planner

**Table 1**

**Adjacent Existing Uses**

<b>North</b>	Commercial
<b>South</b>	Vacant
<b>East</b>	Office
<b>West</b>	Office

**Table 2**

**Adjacent Zoning and Land Use**

	<b>Land Use Category</b>	<b>Zoning Category</b>
<b>North</b>	UMU-2	UMU-2
<b>South</b>	UMU-2	UMU-2
<b>East</b>	UMU-2	UMU-2
<b>West</b>	UMU-2	UMU-2

**List of Appendices**

**Appendix A Comprehensive Plan Goals, Objectives and Policies**

Exhibit A-1: Future Land Use Element, Policy 4.1.1, Urban Mixed-Use 2 (UMU-2: 10 to 100 units per acre; and up to 25 additional units per acre by special use permit)

**Appendix B Land Development Code**

Exhibit B-1: Sec. 30-65.2. – Urban mixed-use district 2 (UMU-2)  
Exhibit B-2: Article VII, Division 5, SPECIAL USE PERMIT, Sec. 30.233  
Special Area Plan for the Central Corridors Minimum Development Standards

**Appendix C Supplemental Documents**

Exhibit C-1: General Performance Standards Letter  
Exhibit C-2: Request for UMU-2 Board Modifications

**Appendix D Application and Neighborhood Workshop Documents**

**Appendix E Technical Review Committee Conditions and Recommendations**

**Appendix F Development Plan**

## **Appendix A**

### **Comprehensive Plan Goals, Objectives and Policies**



**Urban Mixed-Use 1 (UMU-1: 8 -75 units per acre; and up to 25 additional units per acre by special use permit)**

This category allows a mixture of residential, retail, service and office/research uses. The Urban Mixed-Use districts are distinguished from other mixed-use districts in that they are specifically established to support research and development in the physical, engineering and life sciences in close proximity to the University of Florida main campus. An essential component of the district is orientation of structures to the street and multi-modal character of the area. Retail and office uses located within this district shall be scaled to fit into the character of the area. Residential density shall be limited to 75 units per acre with provisions to add up to 25 additional units per acre by special use permit. Lots that existed on November 13, 1991 and are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. All new non single-family principal buildings shall have a minimum height of 24 feet. Building height shall be limited to 6 stories. Land development regulations shall set the appropriate densities; the distribution of uses; design criteria; landscaping, and pedestrian/vehicular access.

**Urban Mixed-Use 2 (UMU-2: 10 to 100 units per acre; and up to 25 additional units per acre by special use permit)**

This category allows a mixture of residential, retail, service and office/ research uses. The Urban Mixed-Use districts are distinguished from other mixed-use districts in that they are specifically established to support research and development in the physical, engineering and life sciences in close proximity to the University of Florida main campus. An essential component of the district is orientation of structures to the street and multi-modal character of the area. Retail and office uses located within this district shall be scaled to fit into the character of the area. Residential density shall be limited to 10 to 100 units per acre with provisions to add up to 25 additional units per acre by special use permit. Lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. All new non-single-family principal buildings shall have a minimum height of 24 feet. Building height shall be limited to 6 stories and up to 8 stories by special use permit. Land development regulations shall set the appropriate densities; the distribution of uses; design criteria; landscaping, and pedestrian/vehicular access. Land development regulations shall specify the criteria for the siting of public and private schools, places of religious assembly and community facilities within this category.

**Office**

The Office land use category identifies areas appropriate for office and residential uses. This category is intended to identify appropriate areas for professional and service uses, hospital and medical uses, compound and residential uses, and appropriate ancillary uses. Office designations shall be applied to compact office development. Residential uses in office districts shall be designed as new in-town development, mixed-use, live-work, compound use or shall accommodate existing residential development within the district. Densities shall not exceed 20 units per acre. Land development regulations shall determine the appropriate scale of uses; and the specific criteria for the siting of private schools and churches. Intensity will be controlled by adopting land development regulations that establish height limits of 5 stories or less, that require

# **Appendix B**

## **Land Development Code**



Sec. 30-65.2. - Urban mixed-use district 2 (UMU-2).

(a) Intent. The UMU-2 zoning district is created to promote and encourage redevelopment of the existing urban commercial areas and neighborhoods near the University of Florida. The district is intended to encourage multimodal mobility and to allow uses and development compatible with each other and with surrounding residential areas and which are consistent with the land use policies of the comprehensive plan. Furthermore, this district is intended to allow for establishments engaged in conducting research and experimental development in the physical, engineering or life sciences, in order to facilitate technology transfer from institutions of higher learning to the market place. The objectives of this district are to:

- (1) Provide a mixture of residential, commercial and office/research uses that are complementary to the residential and mixed-use character of the district;
- (2) Encourage quality redevelopment and the renovation of existing structures;
- (3) Promote multimodal transportation and create high-quality urban streetscapes by using buildings, sidewalks, and street trees to form a pleasant, convenient and safe environment designed for pedestrians, bicyclists, public transit, and automobiles;
- (4) Promote retail and office uses that serve the surrounding neighborhoods and enhance the viability of existing commercial areas by focusing new development in appropriate locations;
- (5) Promote office/research uses that serve the needs of the University and the community and enhance the development of the local innovation economy; and
- (6) Promote infill and redevelopment in the Urban Village to improve the urban form and increase mobility and interconnectivity by creating a gridded street network and sidewalk connections.

(b) Administration.

(1) Required compliance. All development shall comply with these zoning district regulations except as otherwise provided by variance of the board of adjustment or by board modification, or administrative modification, as described below.

(2) Modifications.

a. Board modification. The appropriate reviewing board shall have the authority to grant modifications limited to the build-to line, building frontage, building relationship to the street, building articulation and design, landscape zone, sidewalk zone and streets/blocks standards as are set forth in this section, where the board finds by substantial competent evidence that:

1. The proposed development offers unique/alternative compliance that meets the intent of the UMU-2 zoning district; the requested modification is the minimum necessary to allow reasonable development of the site; and the requested modification is not injurious to the public health, safety and welfare; or
2. An undue hardship, owing to conditions peculiar to the land or structure and not the result of the action of the applicant, would result from strict adherence to the standard; or
3. The sidewalk zone or landscape zone cannot be constructed due to restrictions by the governmental entity responsible for the street where the sidewalk or landscaping is proposed.

b. Administrative modification. The city manager or designee shall have the authority to grant limited modifications, as set forth below, where the city manager or designee determines that the proposed development meets the intent of the UMU-2 zoning district, the requested modification is the minimum necessary to allow reasonable development of the site and the requested modification is not injurious to the public health, safety and welfare. Administrative modifications are limited to the following:

1. Build-to lines: Modification not to exceed three feet beyond the required build-to line.
  2. Glazing: Reduction of no more than ten percent of the required glazing.
  3. First floor height: Reduction of no more than four feet of the required minimum height.
  4. Sidewalk zones: Reduction of no more than two feet from the required width, provided that a minimum five feet of unobstructed width is maintained.
  5. Landscape zones: Reduction of no more than one foot from the required width, provided that the required root space is allocated for street trees.
  6. Building frontage: Allowance of insets in the building façade for the purpose of providing pedestrian forecourts, courtyards, plazas, cafes or other public outdoor gathering areas. The allowance for the inset may be up to 20 feet in length and greater than five feet in depth and up to ten feet in depth. In addition, insets for high quality heritage trees may be allowed up to the required area to protect the tree.
- c. In granting a modification, the reviewing board or administrator may impose any reasonable additional conditions, restrictions or limitations deemed necessary or desirable by the board or administrator to preserve and promote the intent of the UMU-2 zoning district.
- d. All requests for modifications shall be submitted in writing with the application for development review on forms provided by the city. The request shall be approved or denied during development plan review and, if granted, shall be noted on the final development plan. If denied, there is no further administrative appeals process.
- (3) Effect of regulations. Where this section specifically addresses a requirement and it is in conflict with other provisions of this land development code, the requirement of this section shall govern. Where this section does not specifically address a requirement, the applicable provisions of the land development code shall apply.
- (4) This zoning district applies only to land zoned UMU-2 and located within the University Heights, Archer Triangle, and Urban Village areas. These areas are depicted in Figures 1.0, 1.1 and 1.2.
- (5) All figures referenced in this section are located at the end of this section.

(c) Uses.

(1) Permitted uses by right are as follows:

SIC	Uses	Conditions
	Compound uses	
	Single-family dwellings	
	Rowhouses	
	Multi-family dwellings	Minimum and maximum densities are set forth in the Dimensional Requirements Table in this section
	Incidental residential accessory uses, including	

	storage rooms, management offices, club or game rooms, and recreational and laundry facilities intended for use solely by the residents of the developments and their guests	
	Dormitory	Must not abut property designated single-family on the future land use map
	Rooming houses and boarding houses	In accordance with article VI
	Consolidated apartment management offices	
	Bed and breakfast establishment	In accordance with article VI
	Community residential homes with 14 or fewer residents	When part of a permitted single-family or multi-family residential development and in accordance with article VI
	Community residential homes with more than 14 residents	In accordance with article VI
	Adult day care homes	In accordance with article VI
	Family day care homes	In accordance with article VI
	Day care center	In accordance with article VI
	Places of religious assembly	In accordance with article VI
	Public service vehicles	In accordance with article VI
	Outdoor cafes	In accordance with article VI
	Eating places	
	Food trucks	In accordance with article VI
	Repair services for household needs	
	Specialty T-shirt production	



	Structured parking	In accordance with subsection (f)(3) below
	Rehabilitation centers	In accordance with article VI
	Research and development in the physical, engineering and life sciences	
	Light assembly, packaging, and manufacturing associated with research and development in the physical, engineering and life sciences	
	Chilled water and steam plants, electric generation, and other energy storage, distribution, and conversion facilities	
	Scooter sales	Only within enclosed buildings in accordance with section 30-67(g). Facilities to service scooters are permitted as an accessory use when such facilities do not exceed 45% of the gross floor area of the enclosed building.
GN-074	Veterinary services	Only within enclosed buildings and in accordance with article VI
GN-078	Landscape and horticultural services	
MG-43	U.S. Postal Service	
GN-471	Arrangement of passenger transportation	Offices only, with no operation of passenger tours on site
GN-483	Radio and television broadcasting stations	Accessory transmission, retransmission, and microwave towers up to and including 100 feet in height in accordance with article VI, excluding cellular telephone services
GN-523	Paint, glass, and wallpaper stores	

GN-525	Hardware stores	
GN-526	Retail nurseries, lawn and garden supply	
MG-53	General merchandise stores	
MG-54	Food stores	Excluding gasoline pumps
MG-56	Apparel and accessory stores	
MG-57	Home furniture, furnishing, and equipment stores	
MG-59	Miscellaneous retail	Excluding GN-598 Fuel Dealers
Div. H	Finance, insurance and real estate	Excluding cemetery subdividers and developer (IN-6553)
Div. J	Public administration	Excluding correctional institutions (IN-9223)
MG-72	Personal services	Including funeral services and crematories in accordance with article VI and excluding industrial laundries (IN-7218)
MG-73	Business services	Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN-7353), and equipment rental and leasing, not elsewhere classified (IN-7359)
GN-701	Hotels and motels	

MG-78	Motion picture	
MG-79	Amusement and recreation services	Excluding go-cart rental and raceway operations, commercial sports, and simulated gambling establishments. Must be located within enclosed structures.
MG-80	Health services	
MG-81	Legal services	
MG-82	Educational services	
MG-83	Social services	
MG-84	Museums, art galleries, and botanical and zoological gardens	
MG-86	Membership organization	
MG-87	Engineering, accounting, research, management, and related services	

(2) Permitted uses by special use permit are as follows:

SIC	Uses	Conditions
	Alcoholic beverage establishments	In accordance with article VI
	Surface parking (as a principal use)	Only within the University Heights District and in accordance with subsection (f)(3) below

- (3) Prohibited uses: Single-story, large-scale retail uses (defined as a single retail use with a ground floor footprint exceeding 100,000 square feet) are prohibited in the Urban Village.
- (4) Drive-through facilities: Drive-through facilities are prohibited in this district except fronting on SW 34th Street in the Urban Village. Access to a drive-through facility fronting on SW 34th Street may be from another street or from an internal system within a mixed use development. A special use permit is required for all drive-through facilities in the Urban Village. Drive-through facilities are defined as facilities that provide services mechanically or personally to customers who do not exit their vehicles, examples include, but are not limited to, banking facilities, payment windows, restaurant, food and/or beverage sales, dry cleaning and express mail services. The following are not considered drive-through facilities: auto fuel pumps and depositories which involve no immediate exchange or dispersal to the customer, such as mail boxes, library book depositories, and recycling facilities.

(d) Site development requirements.

- (1) All structures shall be located and constructed in accordance with the Dimensional Requirements Table. Accessory structures shall meet all regulations pertaining to principal structures within this district.

Dimensional Requirements Table

	Nonresidential and Vertically Mixed Use Buildings	Single-Family Dwellings	Multi-Family Dwellings, Two-Family Dwellings and Rowhouses
Lot depth (minimum)	90 feet	90 feet	90 feet
Interior side (minimum)	0 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use map	5 feet except that, where adjoining lots are developed at the same time under single ownership, one side of each lot may have no yard setback if the setback for the adjoining yard is at least 10 feet	7.5 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use map
Rear (minimum)	0 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use	10 feet	5 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use

	map.		map.
Lot coverage (maximum)	N/A	N/A	80%
Building frontage <sup>1</sup>	70% minimum	N/A	70% minimum
Density (minimum) <sup>2</sup>	Within University Heights and the Archer Triangle, N/A	N/A	Within University Heights and the Archer Triangle, 10 du/acre
	Within the Urban Village, to be considered mixed-use, a residential development must include a minimum of 10,000 square feet of nonresidential uses; and a nonresidential development must contain a minimum of 3 residential units.		Within the Urban Village, 20 du/acre for new, single-use multi-family development; 10 du/acre for mixed use developments and additions to existing developments.
Density (maximum)	Within University Heights and the Archer Triangle, 100 du/acre, or up to 125 du/acre by special use permit.	N/A	Within University Heights and the Archer Triangle, 100 du/acre, or up to 125 du/acre by special use permit.
	Within the Urban Village, 100 du/acre by right; or up to 125 du/acre by special use permit, except that 125 du/acre is allowed by right when only structured parking and/or on-street parking is provided (except for handicapped accessible surface parking)		Within the Urban Village, 100 du/acre by right; or up to 125 du/acre by special use permit, except that 125 du/acre is allowed by right when only structured parking and/or on-street parking is provided (except for handicapped accessible surface parking).
Height and Stories	Non-single-family buildings shall have a minimum height of 24 feet.		
	A maximum of six stories is permitted by right. Unless otherwise specified, a maximum of		

	eight stories is permitted by special use permit in all areas except the Power District.
	Within the Urban Village, a maximum of eight stories is permitted by right when only structured and/or on-street parking is provided (except for handicapped accessible surface parking spaces for multi-family development and loading spaces for nonresidential development).
	Within University Heights, a maximum of three or four stories for a distance of 50 feet as measured from the property line of properties located adjacent to the University Heights Historic Districts, as depicted in Figure 3.0.
	Within the Power District, a maximum of three stories is permitted at the build-to line when located adjacent to residentially zoned properties as depicted in Figure 3.1, with a step back of 15 feet per additional building story up to the maximum permitted.

Notes to Table:

<sup>1</sup> Minor insets (defined as up to five feet in depth) for the purpose of creating articulation and architectural interest in the building façade will be deemed to meet the build-to line and shall be included in computing the building frontage.

<sup>2</sup> Within University Heights and the Archer Triangle, lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size are exempt from the minimum density requirements. Within the Urban Village, lots that existed prior to 12:01 a.m. on June 1, 2009 and that are less than 0.5 acres in size are exempt from the minimum density requirements.

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(2) Building relationship to the street or urban walkway. Urban walkways are allowed only in the Urban Village as set forth in section 30-65.2(e)(3)d.

- a. All principal nonresidential buildings are required to have a main entrance facing the street or an urban walkway. If a building fronts both a street and an urban walkway, the main entrance shall face the street. A main entrance shall be indicated on building floor plans by the placement of atriums, lobbies, or other entry rooms at the entrance and through the inclusion of architectural entry features such as, but not limited to, awnings, arcades, columns or archways, and by providing a level of architectural detailing that is comparable to or exceeds other entrances to the building.
- b. Two-family dwellings and rowhouse residential units on the first story shall have a functional entrance on the street or on an urban walkway.
- c. For nonresidential and multiple family residential (except for two family dwellings and rowhouses) buildings, the façade fronting a street or an urban walkway shall have a functional entrance at least every 150 feet.
- d. Sidewalk connections to the public sidewalk must be provided from all building entrances that face the street or an urban walkway. These connections shall provide at least five feet of unobstructed width.

- e. Front porches or covered stoops for multi-family uses.
  - 1. Two-family dwellings and rowhouse residential units on the first floor along a street or urban walkway shall have individual front porches or covered stoops.
  - 2. Front porches or covered stoops shall have a minimum surface area of 25 square feet with a minimum depth of five feet and a minimum width of five feet.
  - 3. Front porches or covered stoops shall be open and not air conditioned.
  - 4. Front porches may only be screened where they are located behind the build-to line.
- f. Except for a driveway to reach the side yard or rear yard or on-site parking, neither driveways nor surface parking lots are permitted between the sidewalk and a building or between an urban walkway and a building. Driveways shall be perpendicular to any adjacent street. In the Urban Village, porte cocheres or covered drop-off areas in front of a building may be allowed for hotels, medical facilities, nursing homes, or assisted living facilities. Porte cocheres or covered drop-off areas shall be designed to meet queuing requirements such that vehicular traffic does not overflow out on public streets or sidewalks and does not impede safe and convenient pedestrian circulation at the site.

(3) Building articulation and design.

- a. Glazing. As depicted in Figure 7.0, glazing percentages are calculated by measuring the area of glazing between three feet and eight feet above grade, and dividing it by the total area of the building façade between three feet and eight feet above grade. Required glazing must be at least 80 percent transparent and shall not utilize painted glass, reflective glass or other similarly treated windows. Glazed areas on entrances may be counted towards meeting the minimum glazing requirements.
  - 1. For multi-family residential uses, the minimum glazing percentage shall be 30 percent for the first story and 20 percent for upper stories, on all street frontages or urban walkways.
  - 2. For nonresidential uses, minimum glazing percentage shall be 50 percent for the first story on local and urban throughway street frontages and all street frontages in the Urban Village, and 65 percent for the first story on storefront street and principal street frontages. In the Urban Village, nonresidential buildings fronting on an urban walkway shall have a minimum glazing percentage of 50 percent for the first story.
- b. Delineation of stories. The area between the first and second stories along all street frontages shall include architectural detailing, such as, but not limited to, variations in materials or horizontal expression lines, to visually delineate the first and second stories.
- c. First floor height. All multi-story buildings on storefront streets shall have a minimum first story floor-to-floor height of 15 feet.
- d. First floor uses. On principal and storefront streets, buildings shall be designed so that the area of the first floor along the street frontage contains active uses that are oriented to the street. Active uses may include, but are not limited to, display or floor areas for retail uses, waiting and seating areas for restaurants, atriums or lobbies for offices, and lobbies or dining areas for hotels or multifamily residential buildings. Residential units shall not be located directly on the first floor street frontage of buildings on storefront streets.

(e) Public realm requirements.

- (1) Existing streets. The street types referred to throughout this section (local street, principal street, storefront street and urban throughway) are identified and depicted in Figure 2.0 and Figure 2.2.
- (2) Primary frontage streets. Within the Urban Village, primary frontage streets are identified and depicted in Figure 2.3. All buildings with multiple street frontages shall orient the main entrance and the front face to the primary frontage street. If a building fronts both SW 34th Street and

another primary frontage street, the main entrance and the front face shall be oriented toward SW 34th Street. In the case of corner lots, corner entrances that front both streets are allowed.

(3) New streets/blocks.

- a. Within the University Heights area, subdivisions, minor subdivisions, lot splits, and development that requires development plan review shall be required to include new local streets so that the resulting block(s) will not exceed a maximum block perimeter of 2,000 feet.
- b. Within the Archer Triangle area, subdivisions, minor subdivisions, lot splits, and development on sites greater than two acres which propose new development on more than 50 percent of the site shall be required to include new local streets within the subdivision, minor subdivision, lot split or development so that the resulting block(s) will not exceed a maximum block perimeter of 2,600 feet.
- c. Within the Urban Village area, subdivisions, minor subdivisions, lot splits, and development on sites greater than two acres which propose new development on more than 50 percent of the site shall be required to include new local streets within the subdivision, minor subdivision, lot split or development so that the resulting block(s) will not exceed a maximum block perimeter of 2,000 feet.
- d. Within the Urban Village area, an urban walkway may be used to meet the block perimeter requirements, subject to city approval. An urban walkway is a pedestrian/bicycle pathway that is either: a minimum width of 30 feet with a single contiguous paved area of at least ten feet or a minimum width of 31 feet with a separated (boulevard style) paved area with a minimum contiguous paved area of eight feet on one side and five feet on the other side. Urban walkways must provide a minimum eight-foot landscape zone area on each side of the paved area. Unpaved areas in an urban walkway must be landscaped and may contain stormwater facilities. Urban walkways may contain benches, fountains, outdoor cafes or other outdoor uses as long as a minimum sidewalk width as specified above is maintained. Cross-sections for urban walkways must be submitted as part of a required circulation plan or as part of a development plan when a circulation plan is not required. The cross-section must illustrate paved area, landscape zone, build-to line and any outdoor uses. An urban walkway may be used as an interim/temporary method for retaining the required area for a future street when an abutting development/redevelopment occurs. In this case, the total width may be reduced to 25 feet, while maintaining a contiguous minimum paved width of ten feet. The width and cross-section of the urban walkway is subject to review and approval by the city to ensure that future street construction can occur in the area provided. If the urban walkway will be a permanent area, it may be used to count toward meeting open space requirements even if it is later dedicated as a public urban walkway. Notwithstanding the foregoing, in the case where an urban walkway provides access for fire and rescue vehicles, stormwater management, utilities or other public facilities and services, the urban walkway shall be sized and designed to meet the requirements for those facilities and services.
- e. The required local streets, multi-use paths or urban walkways shall be constructed at the expense of the owner/developer as part of the subdivision, minor subdivision, lot split or development, to serve the subdivision, minor subdivision, lot split or development, and shall be constructed according to the appropriate city standards as determined through the development review, subdivision, minor subdivision or lot split process, but may be sited and configured in a manner so that they provide the most appropriate access to the development, subdivision, minor subdivision or lot split. Where a street is planned to continue beyond the extent of a development, subdivision, minor subdivision or lot split, the development shall provide for the continuation of the street by stubbing out the improvements as close as is practicable to edge of the property boundary.

The required local streets or multi-use paths or urban walkways may be dedicated for public right-of-way after construction, if the city desires to accept same for maintenance, or



may be privately owned streets, multi-use paths or urban walkways provided the streets, multi-use paths or urban walkways remain open for public ingress and egress.

- f. Notwithstanding any other provision in this chapter, a subdivision, minor subdivision, lot split, or development may receive final approval prior to construction of the required local streets if the city, upon approval of the city commission, has executed a binding agreement with the owner/developer that:
  1. Requires the city and/or the Gainesville Community Redevelopment Agency to construct the required local streets as public streets within two years of final approval; and
  2. Provides for the conveyance or dedication of the associated right-of-way from the property owner to the city, at no cost to the city.

The city may enter into such an agreement only when the city determines that doing so would be in the public interest and when the city and/or the Gainesville Community Redevelopment Agency has budgeted legally available funds for the construction of the required local streets. The form and content of the agreement shall be provided by and acceptable to the city in its sole discretion.

- g. Board modifications may be granted in accordance with section 30-65.2(b)(2)a., with specific consideration given to situations where the construction of a street is limited by: access management standards, regulated environmental features, regulated natural or archeological resources, public stormwater facilities, existing utility facilities, contamination sites, inconsistencies with plans for a future city street network, parks, or schools. Where it is determined that it is not possible to construct the streets that would be required to meet block perimeter standards, the block perimeter shall be completed with the provision of sidewalk and bicycle connections or multi-use paths or urban walkways, subject to approval by the city.

(4) Sidewalk zone.

- a. The minimum sidewalk dimensions are set forth in the Streetscape Dimensions Table.
- b. The sidewalk zone shall be continuous and entirely hardscaped by the owner/developer and shall be immediately contiguous to the landscape zone.
- c. Outdoor seating may encroach into the sidewalk zone provided that a minimum unobstructed width of five feet is maintained.
- d. Balconies, marquees, projecting signs, and awnings may encroach into the sidewalk zone up to a distance of half the required sidewalk dimension, provided that they are at least nine feet above the grade of the sidewalk.
- e. The owner/developer shall construct new sidewalks to align with existing sidewalks on abutting properties.

(5) Landscape zone.

- a. There shall be a continuous landscape zone adjacent to the curb which shall meet the dimensions set forth in the Streetscape Dimensions Table. This zone allows the placement of street trees, street furniture and light poles, fire hydrants, traffic signs, bus shelters, bicycle racks, litter receptacles, benches and similar items. In the Urban Village, street trees in the landscape zone may not intrude into the public right-of-way without approval from the governmental entity responsible for the public road.
- b. The owner/developer shall install street trees to meet the spacing requirements set forth in the Streetscape Dimensions Table. All street trees shall be provided a minimum of 140 square feet of root room to a depth of three feet, and shall be planted no closer than ten feet from any building or wall foundation.

- c. The area of the landscape zone between trees shall be hardscape on storefront streets and principal streets. Hardscape is optional for streets with on-street parking. Street trees shall be planted within a landscaping or grass strip on local streets, urban throughway streets, and all streets in the Urban Village. In the Urban Village, a board modification to allow hardscape within the landscape zone may be requested. Surface openings for trees within tree wells shall be at least 18 square feet. Landscaping utilized between street trees should not exceed 30 inches at mature height.
  - d. Where heritage trees are located within the public right-of-way they should be preserved and no new construction placed within the tree root plate. New buildings should be designed so that no more than 25 percent of the crown of these preserved trees is removed. The removal, relocation or replacement of heritage trees shall be in accordance with section 30-258 of the land development code.
  - e. Street trees shall meet state department of transportation clear zone requirements, adopted pursuant to F.S. Ch. 316 and adopted by reference in chapter 26 of this Code. A visual example is provided in Figure 6.1, Streetscape with Four-Foot Clear Zone.
- (6) Build-to line.
- a. The build-to line shall be measured from the back of curb. Except that, in the Urban Village, the build-to line shall be measured from the property line on swale system streets and from the back edge of the landscape zone on urban walkways.
  - b. The build-to-line shall be calculated as the sum of the required landscape zone, sidewalk zone and required setback from the sidewalk zone. Except that, on urban walkways, the build-to line shall be a fixed five feet from the back edge of the landscape zone.
  - c. The build-to line standards of this section shall not result in structures being built in the public right-of-way. If the build-to line dimensions result in a build-to line within the public right-of-way, the actual build-to line shall be established at the property line adjacent to the public right-of-way.
- (7) Transit facilities. Transit stop facilities shall be within the landscape zone or sidewalk zone or right-of-way and located in accordance with the most current "Regional Transit System Bus Stop Improvement Plan" on file with the Regional Transit System.

Streetscape Dimensions Table

	Urban Throughway and SW 34th Street	Storefront streets	Principal streets	Local streets or private streets <sup>1</sup>	Swale system streets	SW 24 <sup>th</sup> Avenue
Landscape zone (minimum)	8 feet	5 feet	5 feet	8 feet	8 feet	8 feet
Street tree spacing	35 feet (minimum) to 50 feet (maximum),	35 feet (minimum) to 50 feet (maximum),	35 feet (minimum) to 50 feet (maximum),	35 feet (minimum) to 50 feet (maximum),	35 feet (minimum) to 50 feet (maximum),	35 feet (minimum) to 50 feet (maximum),

	on center	on center	on center	on center	on center	on center
Sidewalk zone (minimum)	8 feet	10 feet	10 feet	10 feet	8 feet	8 feet
Build-to-line (nonresidential uses)	25-80 feet setback from the back of curb	20 feet setback from the back of curb	20 feet setback from the back of curb	18 feet setback from the back of curb	15-25 feet setback from the back of right-of-way	20-25 feet setback from the back of curb
Build-to line (residential uses)	30-80 feet setback from the back of curb	20 feet setback from the back of curb	25 feet setback from the back of curb	23 feet setback from the back of curb	15-25 feet setback from the back of right-of-way	25-30 feet setback from the back of curb

Note to Table:

<sup>1</sup> Newly constructed local or private streets shall be curb and gutter unless otherwise approved by the city's public works department.

Examples of the landscape zone, sidewalk zone and streetscape scenarios are depicted in Figures 4.0—4.3, Public Realm Requirements and Figure 6.0, Streetscape Scenarios.

Urban Walkway Dimensions Table <sup>1</sup>

Overall Width	Paved Area	Landscape Zone	Build-to Line
30 feet (minimum) for single; 31 feet (minimum) for split boulevard style	10 feet (minimum) for single; or 8 feet (minimum) and 5 feet (minimum) for split boulevard style	8 feet (minimum)	5 feet from back edge of landscape zone

<sup>1</sup> Notwithstanding the standards set forth in this table, in the case where an urban walkway provides access for fire and rescue vehicles, stormwater management, utilities or other public facilities and services, the urban walkway shall be sized and designed to meet the requirements for those facilities and services.

(f) Additional requirements.

(1) Circulation plan.

- a. Applicability. All new development or redevelopment on more than 50 percent of development sites in the Urban Village that is greater than two acres in size (including all contiguous lots/parcels) shall submit a circulation plan for the site. Abutting property owners or multiple property owners may submit a binding joint circulation plan that establishes the future circulation system (including bicycle, pedestrian, motorized vehicle, and transit) for a specified area. The joint circulation plan shall provide for all necessary cross-access agreements, deed restrictions, land reservations, or other methods necessary to implement the circulation plan and ensure cross-connectivity that runs with the land. The circulation plan shall be submitted as:
    1. A preliminary plan approved by the appropriate reviewing board to guide future development on the site;
    2. Part of an application for development plan or planned development rezoning;
    3. Part of a master plan (as defined in section 30-161) for phased developments; or
    4. Part of a subdivision, minor subdivision, or lot split application.
  - b. Contents. The circulation plan shall illustrate:
    1. The perimeter block size for the proposed development area;
    2. Proposed new street or urban walkway locations;
    3. General location of developed areas, future phases, and open space;
    4. The connection points to abutting properties including stub-outs where the abutting property is either undeveloped or contains development that presents an impediment to connectivity;
    5. The access point(s) to the existing external roadway network;
    6. Location of proposed stormwater facilities;
    7. Known, regulated environmental features or regulated natural or archeological resources;
    8. Location of existing or proposed transit stops and connections to transit stops;
    9. Street and/or urban walkway cross-sections including locations of on-street parking, landscape zone, bike paths, sidewalk zone, paved area, and the build-to line;
    10. Compliance with the primary frontage street requirements; and
    11. A street frontage hierarchy for new streets in the development to identify where principal building entrances will be located.
  - c. Review, expiration, and amendment of a circulation plan. The circulation plan is subject to review and approval by the appropriate reviewing board or by staff when only subject to staff review. A circulation plan shall be valid for the period of a development plan, PD, or other final development order when part of another review. Alternatively, if the circulation plan is a stand-alone plan, it shall be valid for a period of five years unless otherwise specified. The circulation plan expiration date may be extended prior to expiration for good cause with city approval. A circulation plan may be amended by the appropriate reviewing board or by staff when only subject to staff review to account for changed conditions at the site or in the proposed street network in the Urban Village.
- (2) Landscape buffers. All development in this district is exempt from the general landscape buffer requirements in article VIII of the land development code.

- (3) Parking. Other than as required by the Americans with Disabilities Act (ADA) and Florida Accessibility Code (FAC) or other state or federal requirements, there shall be no minimum vehicular parking requirement in University Heights and Archer Triangle. In the Urban Village, the minimum vehicular parking requirement is one space per residential unit and one-half of the required parking for nonresidential uses as provided in the land development code. Scooter parking shall be provided for residential uses at a rate of one space for every four residential units.
- a. Surface parking (as an accessory use).
    1. There shall be a maximum vehicular surface parking allowance of one parking space per 400 square feet of gross floor area for nonresidential uses. There shall be a maximum of one surface parking space per unit for multi-family in the Urban Village. However, there shall be no limit on the number of parking spaces provided in the form of structured parking for residential or nonresidential uses.
    2. Surface parking shall be located in the rear or interior side of the building.
    3. Surface parking adjacent to streets shall meet the standards depicted in Figure 5.0, Parking Exhibit. Surface parking adjacent to primary frontage streets in the Urban Village shall meet the standard for principal streets. All other streets in the Urban Village shall meet the standard for local streets.
    4. Surface parking lots shall comply with the landscaping requirements in article VIII of the land development code.
  - b. Surface parking (as a principal use). In addition to the special use permit regulations found in Article VII, Division 5, Special Use Permit, this subsection provides additional regulations for surface parking as a principal use within the University Heights Area. If provisions in this subsection conflict with the provisions in Article VII, Division 5, the provisions in this subsection shall prevail.
    1. Surface parking shall be permitted only when the surface parking will be replaced with either a building or structured parking in accordance with an approved master plan.
    2. Surface parking shall be paved.
    3. Surface parking shall have either perimeter landscaping in accordance with the landscape regulations as provided in this land development code or perimeter garden walls that create a visual buffer, are at least 25 percent opaque, and do not exceed a height of 72 inches.
    4. Surface parking shall be in compliance with all lighting and stormwater regulations in this land development code.
    5. Any special use permit approved pursuant to this subsection shall be valid for a period not to exceed five years. The city plan board may extend a special use permit approved under this section for an additional period not to exceed five years if the applicant demonstrates that development in accordance with the approved master plan has commenced.
  - c. Structured parking.
    1. Shall not be located within 100 feet of property designated for single-family use on the future land use map.
    2. Structured parking shall provide architectural detailing on the first and second stories, such as, but not limited to, variations in materials, framing of wall openings, vertical or horizontal expression lines, pilasters, arches, or railings.
    3. Automobiles shall be screened from street view by wall, fence or vegetative matter.
    4. Structured parking adjacent to streets shall meet the standards depicted in Figure 5.0, Parking Exhibit. Within the Urban Village, structured parking on primary frontage

streets shall meet the standard for principal streets as depicted in Figure 5.0 including the provision of a minimum of 20 feet of active uses on the first floor.

- d. Bicycle parking.
    - 1. The owner/developer shall provide a minimum of one space per 2,000 square feet of gross floor area for nonresidential uses and one space per three bedrooms for residential uses for bicycle parking.
    - 2. A minimum of ten percent of the provided bicycle parking shall be located between the building and the street. The remainder shall be located a maximum distance of 100 feet from a building entrance and shall be covered from inclement weather or located within an accessory parking structure.
  - e. Vehicular access. Developments may have one curb cut located on each street frontage, except that curb cuts shall not be permitted on storefront or principal streets when access may be provided from a local street or alley.
- (4) Loading areas and dumpsters.
- a. Loading docks shall be prohibited along storefront streets, principal streets, urban throughway streets, and all non-local streets in the Urban Village. If a development has access/frontage only on a storefront or principal street and it is infeasible to provide an alley or other rear loading area on the site, the loading dock must be located in the most unobtrusive location and fully screened from street and sidewalk view.
  - b. Loading dock entrances along the street shall be screened with automatic doors so that the dock and related activities are not visible from the adjacent sidewalk.
  - c. Dumpsters shall be placed at the side or the rear of the building so that they are not visible from the street.
  - d. Dumpsters shall be surrounded by an enclosing wall that is attached to a building. The enclosing wall shall not exceed eight feet in height, and shall be finished or painted with the same material or color as the building. The enclosing wall shall be fitted with an opaque sliding or hinged door and working latch.
- (5) Walls and fences.
- a. Fences made of chain-link (wholly or in part) are prohibited.
  - b. The maximum height of fences or walls shall be 40 inches when located within a front or side yard and 72 inches when located within a rear yard.
- (6) Mechanical equipment.
- a. Mechanical equipment shall not be permitted between any building and storefront, urban throughway or principal streets or any non-local street in the Urban Village.
  - b. Screening (by wall, fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties. Certain equipment, such as but not limited to, rain barrels or cisterns, shall not require screening provided they are designed to blend with the building and are constructed with the same materials and colors.
  - c. Chiller plants and similar utility structures.
    - 1. Chiller plants and similar utility structures shall not be permitted between any building and storefront street, principal street or any non-local street in the Urban Village.
    - 2. Chiller plants and similar utility structures shall provide a minimum 15-foot landscape strip planted with shrubs and trees between the structure and the street or abutting properties.

3. Opaque walls a minimum of six feet in height shall be provided between the structure and the public street.

(7) Signage.

- a. Signs shall be externally lit. Individual letters and symbols may be internally lit or back-lit.
- b. Finish materials shall consist of one or more of the following:
  1. Wood (painted or unpainted); or
  2. Metal (painted or unpainted); or
  3. Painted or rubberized canvas; or
  4. Strip lighting with the appearance of neon (including individual channel letter signs that are internally illuminated and may have plastic faces); or
  5. Engraving directly on the facade surface; or
  6. Wood-like materials; or
  7. Lettering on transparent windows or doors; or
  8. Vinyl lettering with a painted appearance.

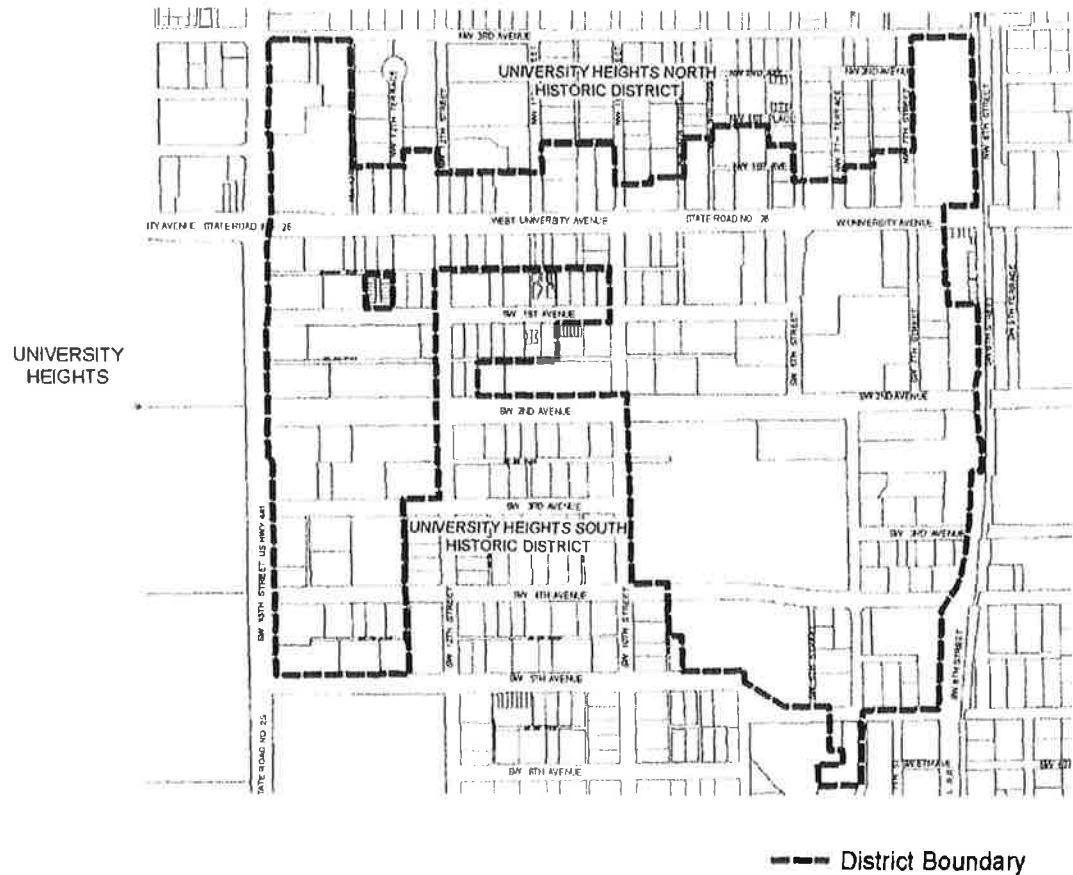


Figure 1.0 District Boundary Map—University Heights

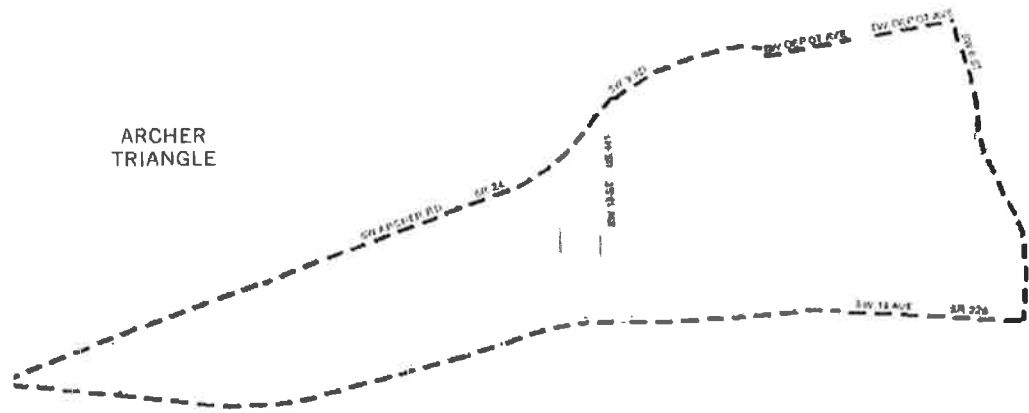


Figure 1.1 District Boundary Map—Archer Triangle

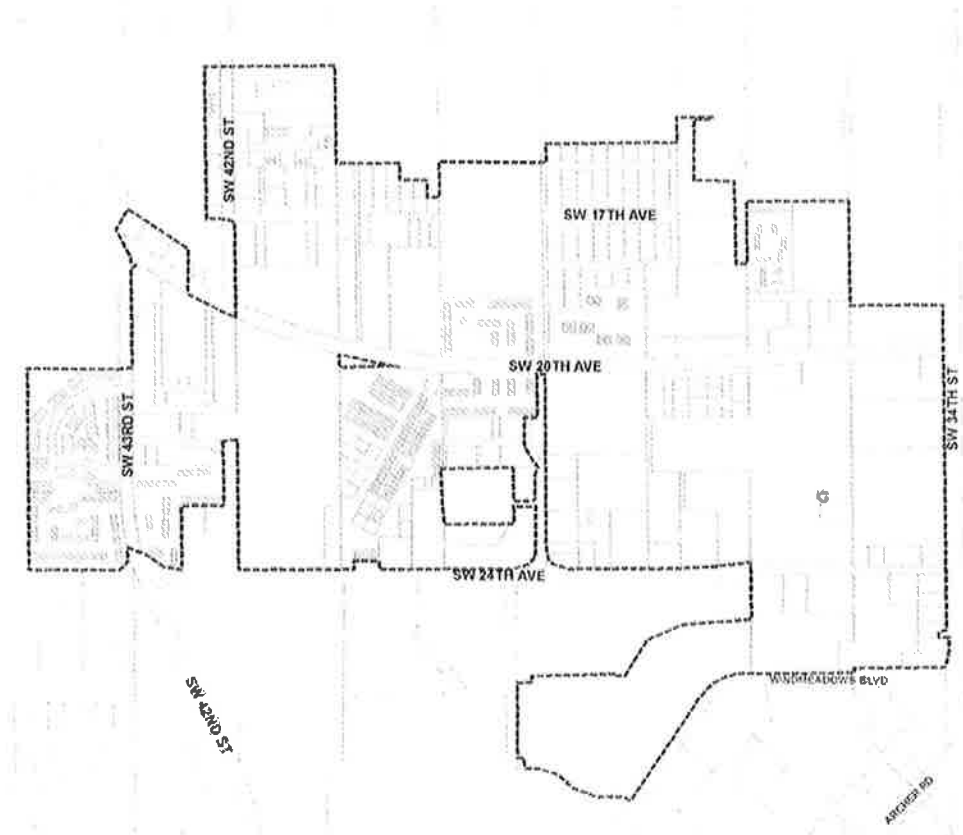


Figure 1.2 District Boundary Map - Urban Village

District Boundary

Figure 1.2 District Boundary Map—Urban Village



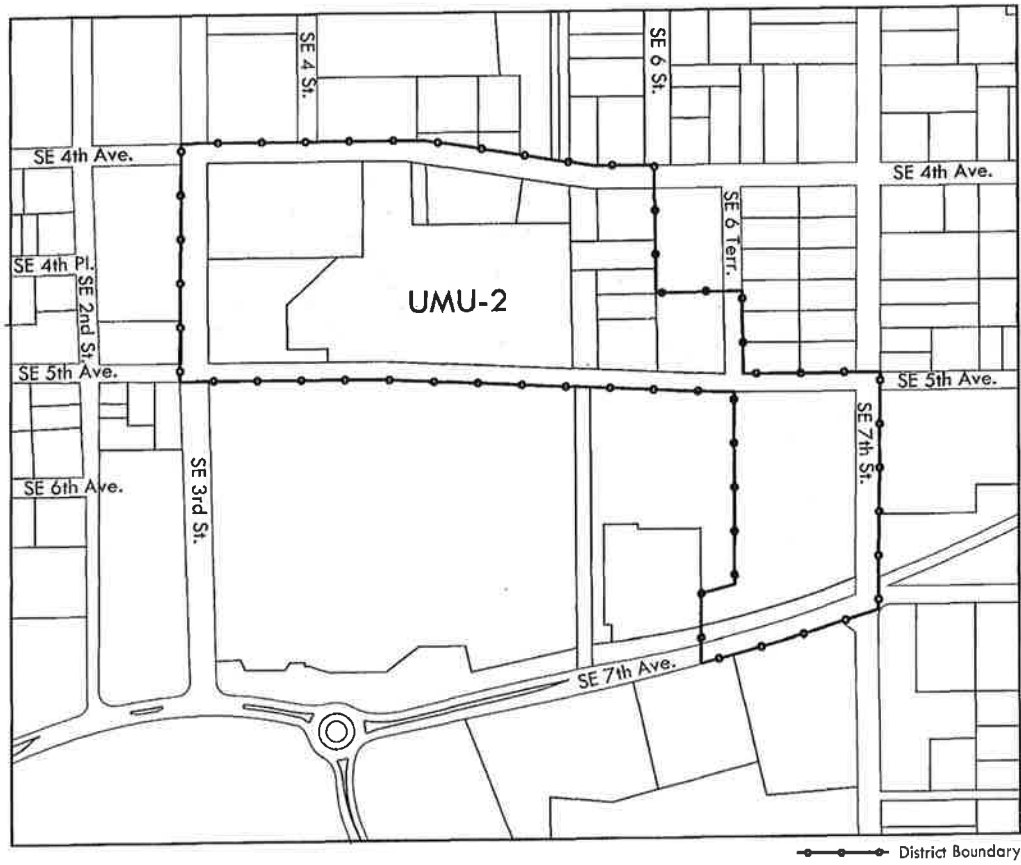


Figure 1.3 District Boundary Map—Power District

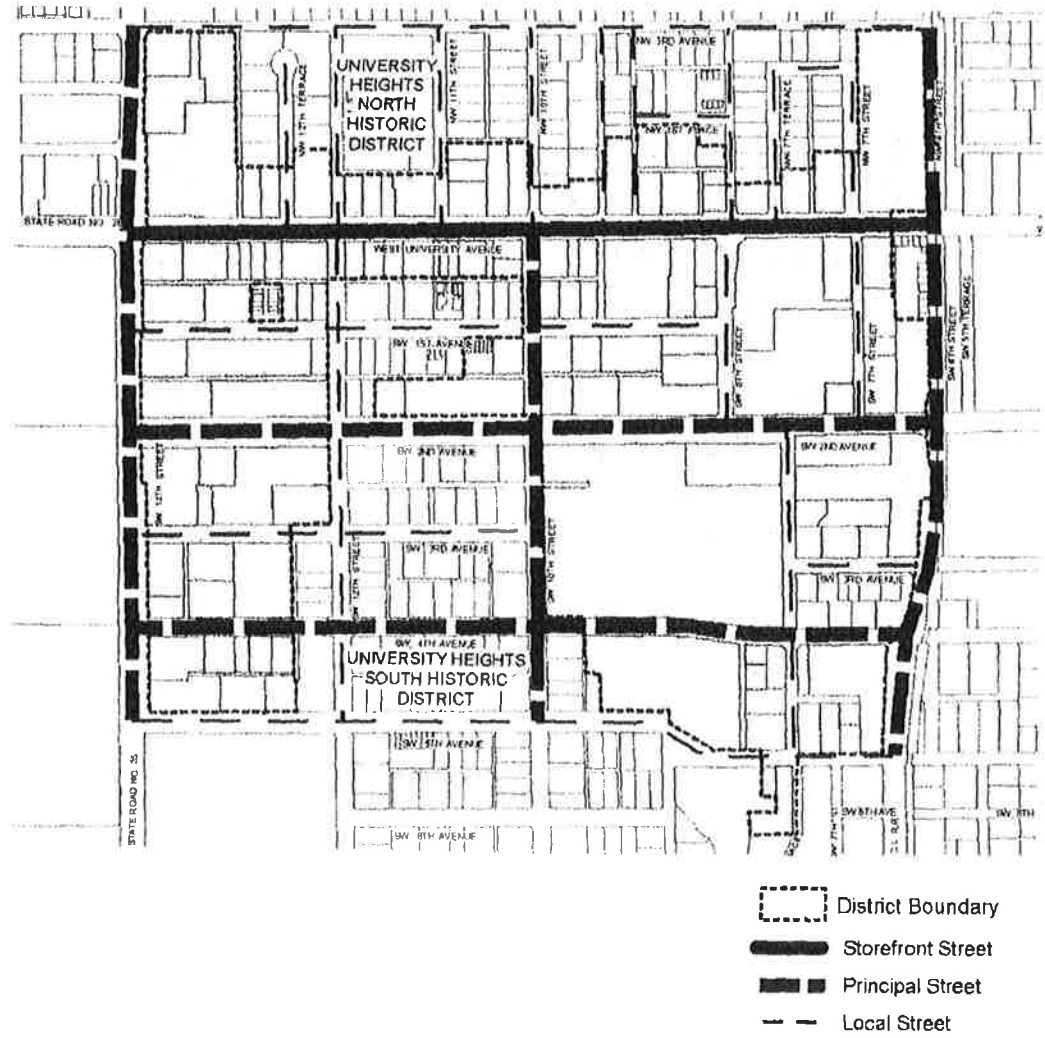


Figure 2.0 Street Types—University Heights

ARCHER  
TRIANGLE

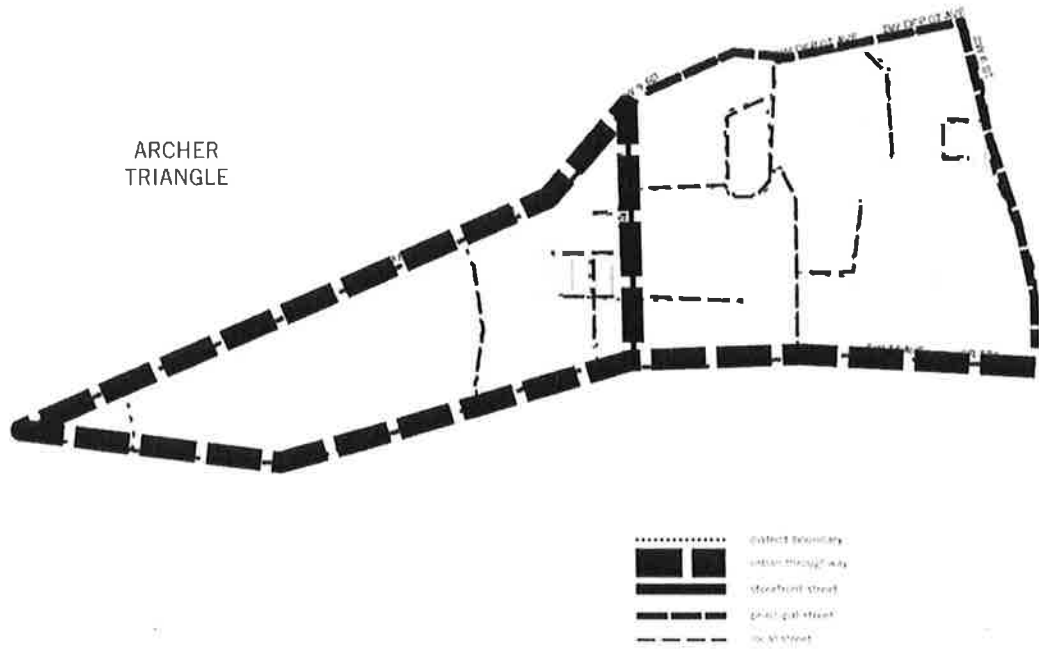


Figure 2.1 Street Types—Archer Triangle

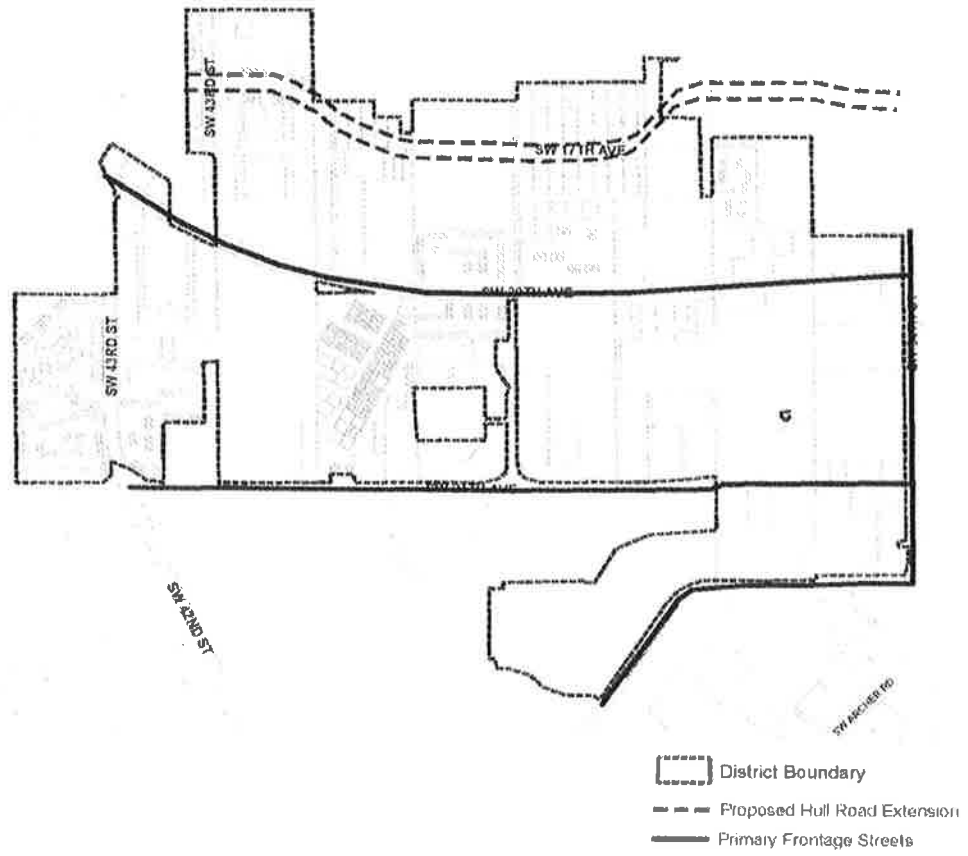
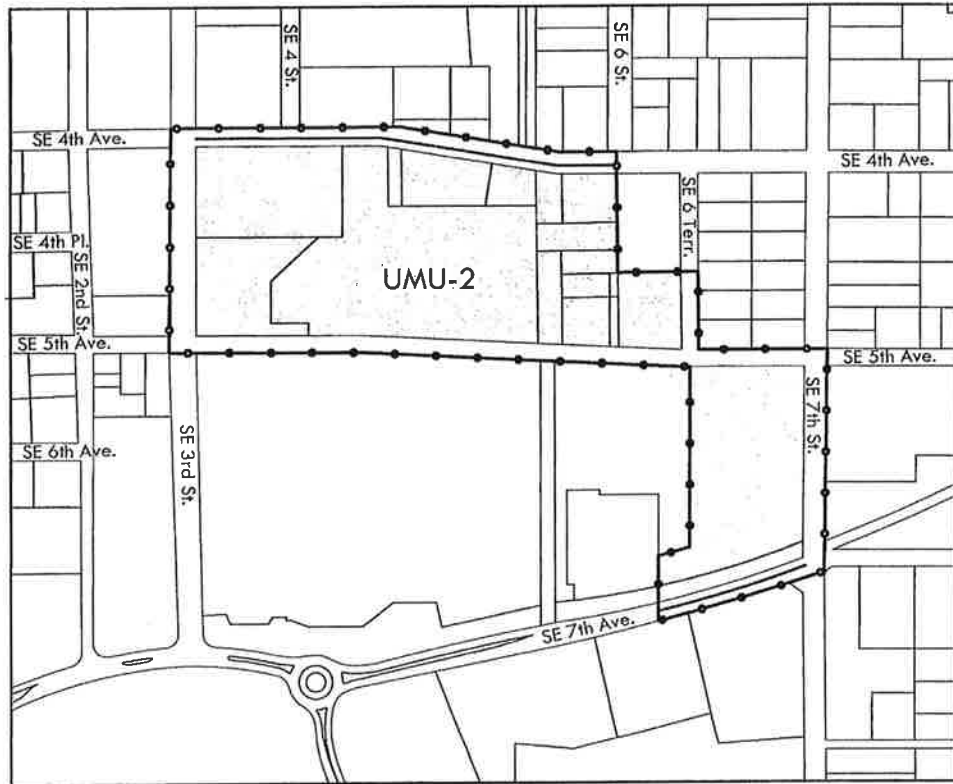


Figure 2.2 Primary Frontage Streets—Urban Village



NOTE: ALL STREETS LOCATED WITHIN POWER DISTRICT ARE LOCAL STREETS UNLESS IDENTIFIED OTHERWISE IN THIS EXHIBIT.

- District Boundary
- Storefront Street

Figure 2.3 Street Types—Power District



Figure 3.0 Height Limits—University Heights

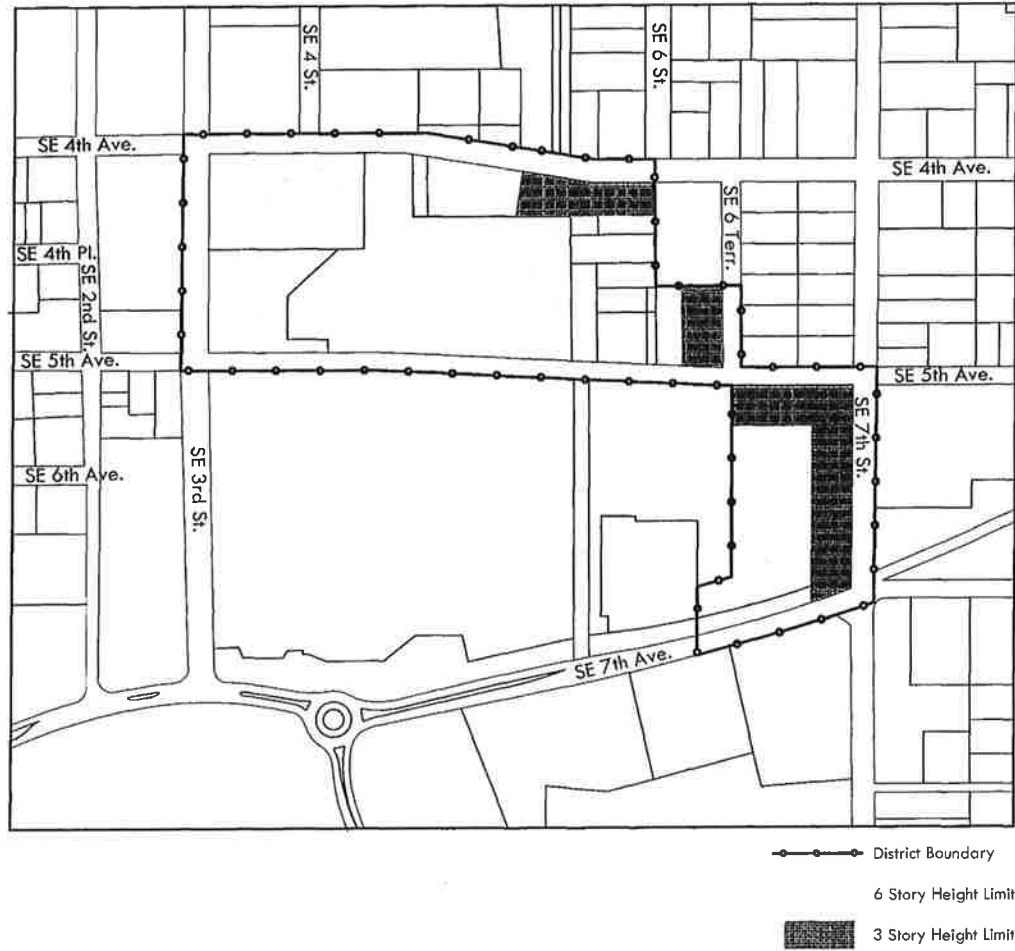


Figure 3.1 Height Limits—Power District

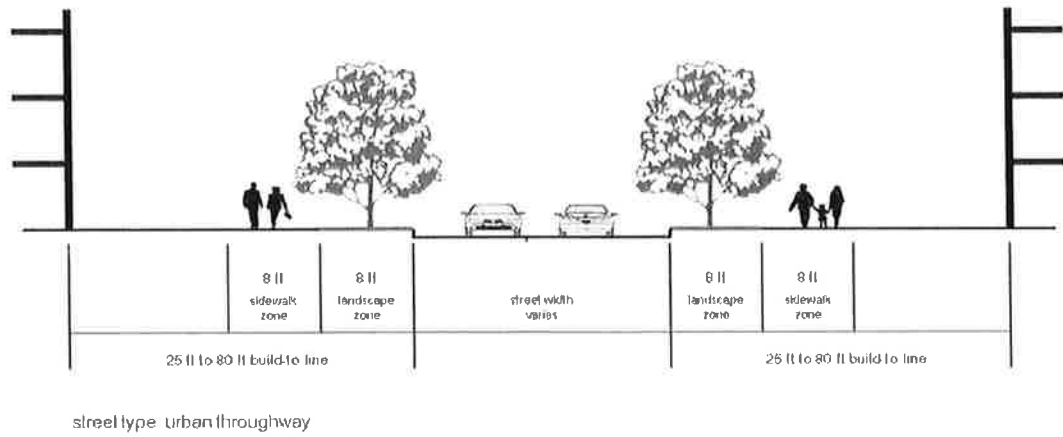
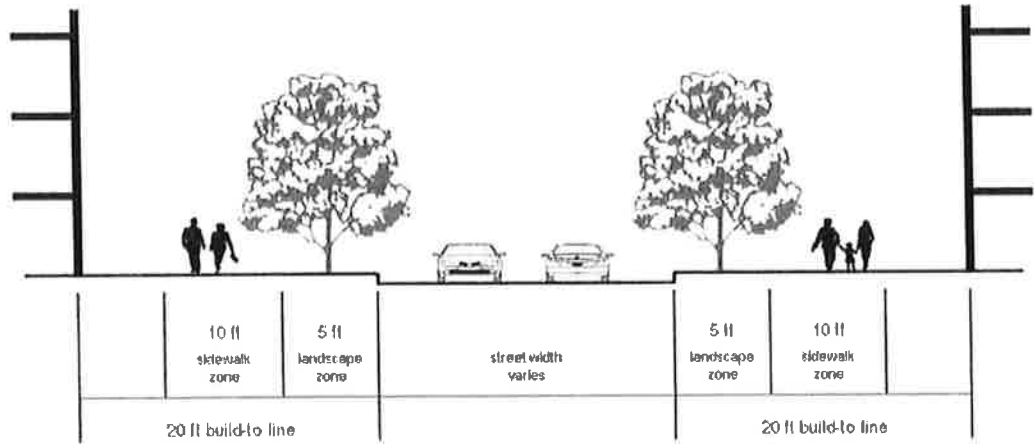
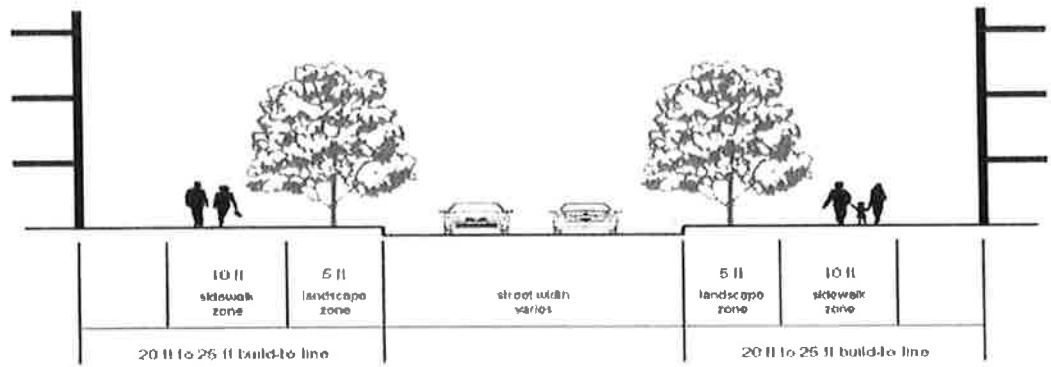


Figure 4.0 Public Realm Requirements—Urban Throughway



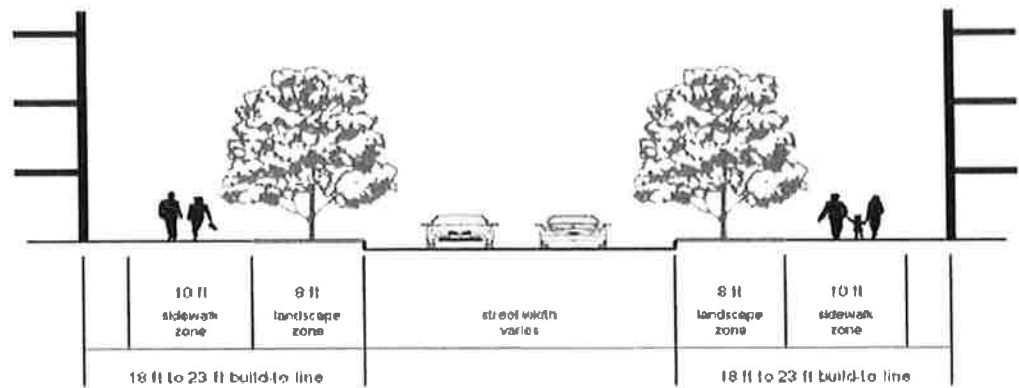
street type: storefront street

Figure 4.1 Public Realm Requirements—Storefront Street



street type: principal street

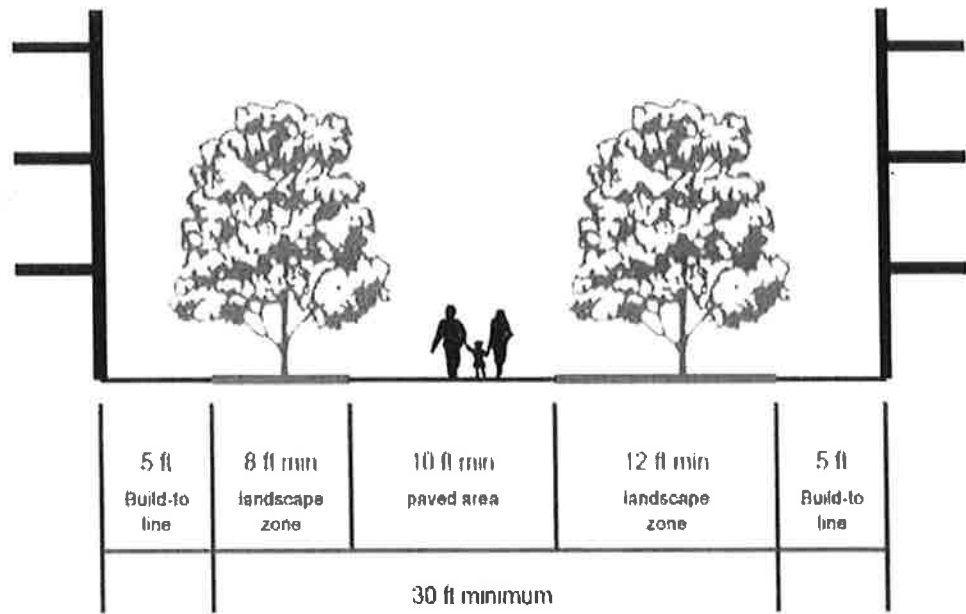
Figure 4.2 Public Realm Requirements—Principal Street



street type: local street

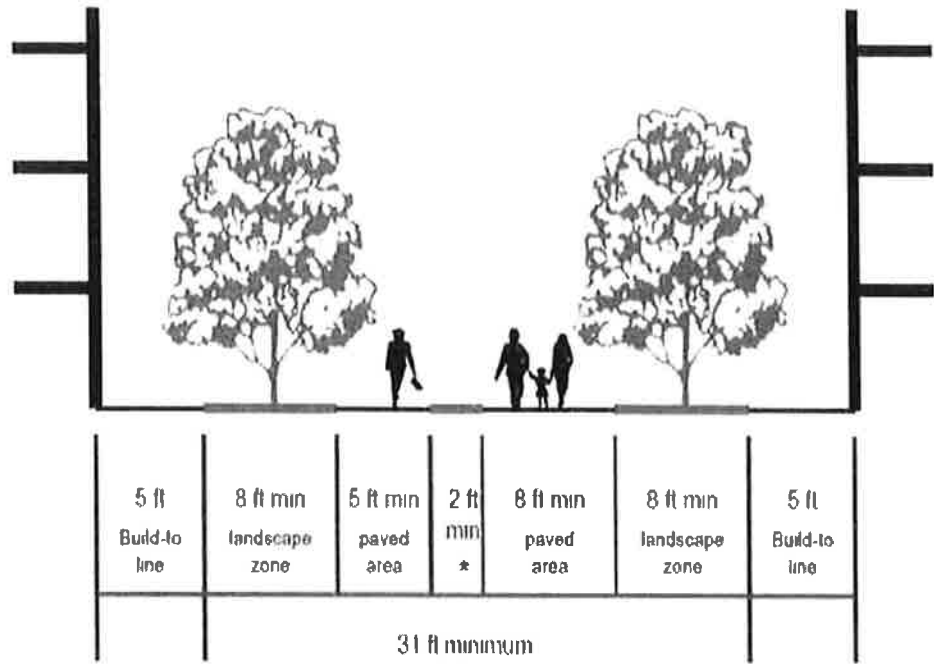


Figure 4.3 Public Realm Requirements—Local Street



urban walkway type: standard

Figure 4.4 Public Realm Requirements—Standard Urban Walkway



urban walkway type: boulevard style

\* Landscaping area and stormwater allowed in area

Figure 4.5 Public Realm Requirements—Boulevard Style Urban Walkway

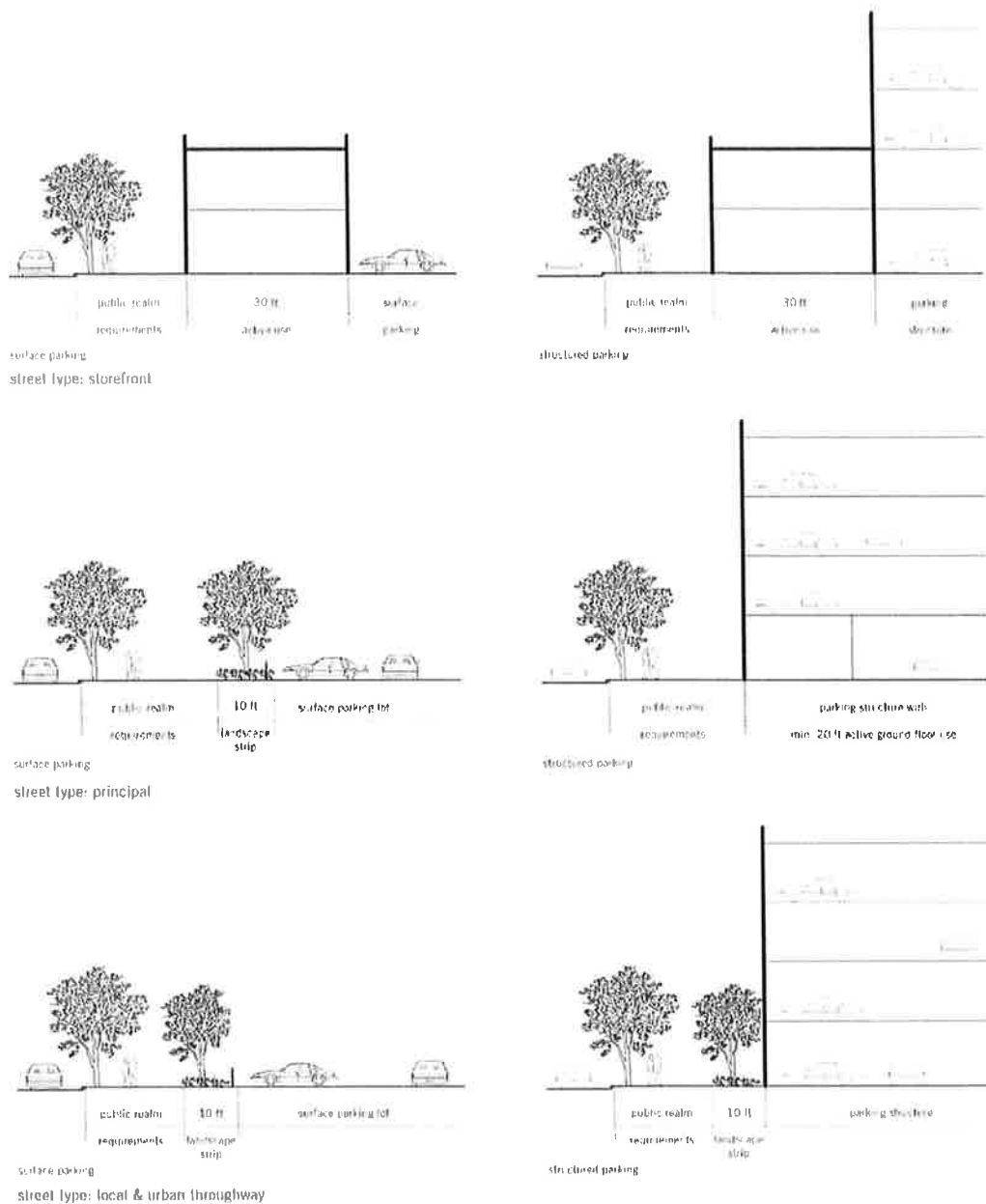


Figure 5.0 Parking Scenarios

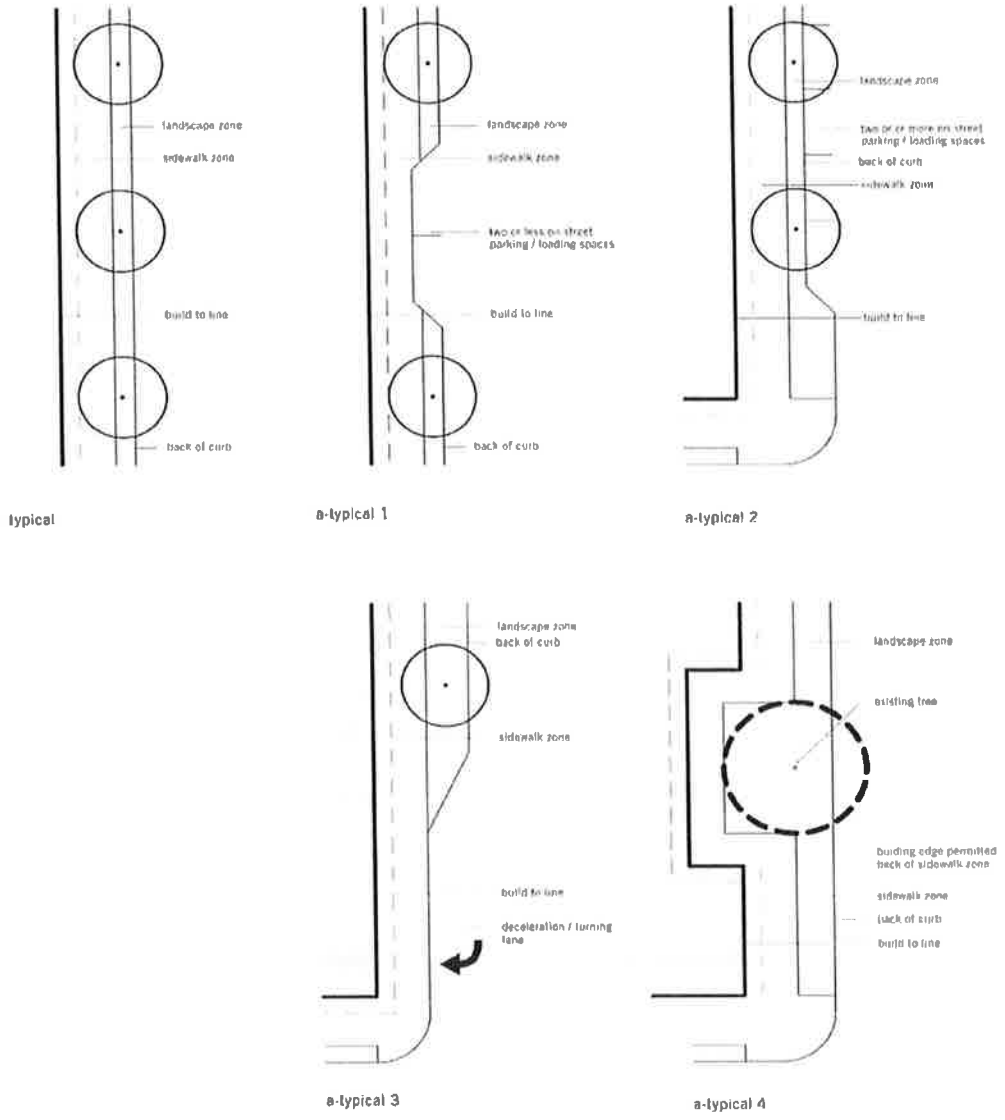


Figure 6.0 Streetscape Scenarios

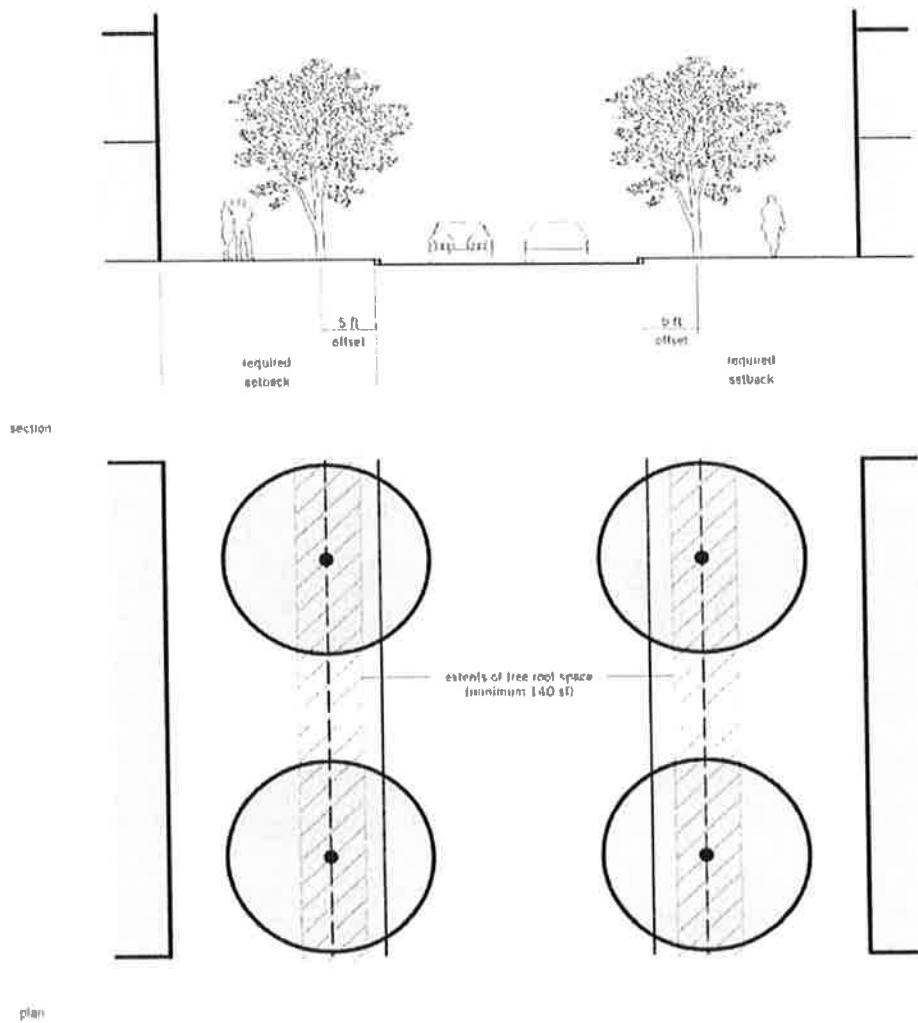


Figure 6.1 Streetscape with 4' Clear Zone

NOTE: Clear zone will vary according to the design speed of the road and the presence or lack of curbing.

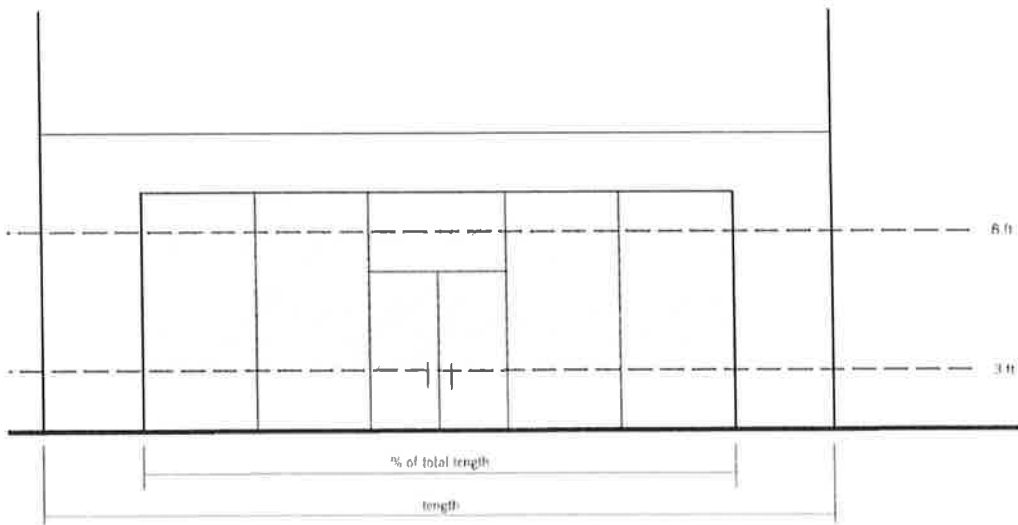


Figure 7.0 Glazing

(Ord. No. 041058, § 2, 11-28-05; Ord. No. 100721, § 2, 7-7-11; Ord. No. 110642, § 2, 6-7-12; Ord. No. 120179, §§ 1, 2, 3-7-13; Ord. No. 120789, § 2, 5-16-13; Ord. No. 120807, § 3, 5-16-13; Ord. No. 120426, § 1, 6-20-13; Ord. No. 121118, §§ 1—3, 3-6-14; Ord. No. 130689, § 1, 6-19-14; Ord. No. 140130, § 8, 9-4-14; Ord. No. 140030, §§ 2—6, 12-18-14; Ord. No. 140190, § 12, 4-16-15)



Sec. 30-233. - Criteria for issuance.

No special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

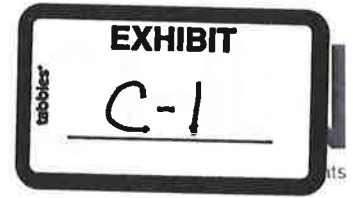
- (1) That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.
- (2) That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.
- (3) That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.
- (4) That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.
- (5) That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.
- (6) That the use or development conforms with the general plans of the city as embodied in the city comprehensive plan.
- (7) That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.

(Ord. No. 3777, § 1, 6-10-92)

# **Appendix C**

## **Supplemental Documents**





February 2, 2016

City of Gainesville  
Planning Department  
Thomas Center B  
306 NE 6<sup>th</sup> Avenue  
Gainesville, FL 32601



Ref: Inception at Innovation Square  
Performance Standards Letter

Dear Staff:

Pursuant to Section 30-345 of the City's LDC we are providing this letter as satisfaction of the General Performance Standards as set forth in the section.

The Inception at Innovation Square project meets the standards as follows:

- (1) *Fire and explosion hazards*: Limited storage of flammable or explosive materials is proposed at the site.
- (2) *Radiation*: No radiation operations are proposed for this development.
- (3) *Electromagnetic radiation*: No electromagnetic radiation is proposed for the site.
- (4) *Smoke and other particulate matter*: No smoke or particulate matter will be discharged from this development without proper treatment and permitting with ACEPD.
- (5) *Toxic or noxious matter*: No activity involving toxic or noxious matter is proposed for this development.
- (6) *Waste disposal*: This site will not discharge waste (liquid or solid) that will result in a violation of local, state or federal regulations.
- (7) *Vibration*: This use will not create any vibrations as defined in the section.
- (8) *Heat, cold, dampness, or movement of air*: The proposed use of the site will not affect temperature, motion or humidity of the atmosphere.
- (9) *Glare*: The site plan meets the City's lighting ordinance and therefore meets the performance standard for glare.
- (10) *Noise, Odor, etc.*: Use of the site will not create noise, odor or any other irritant that will unreasonably disturb the adjoining lands.

In addition, all proposed utilities are to be underground except for those apertures (i.e.: transformers, fire hydrants, etc.) that are defined by code to be allowed to be above grade.

Sincerely,  
CHW

A handwritten signature in blue ink, appearing to read "Holly Simon".

Holly Simon, E.I.  
Project Manager

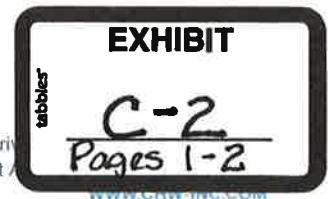
L:\2015\15-0035\Engineering\City County\160202 Submittal 1\LTR 160202 Inception at Innovation Square Performance Standards Letter.docx

PB-16-25 SUP  
Inception at Innovation Square  
805-819 W University Ave



April 21, 2016

TEL: (352) 331-1976 132 NW 76th Drive  
TEL: (352) 414-4621 101 NE 1st Avenue



planning.surveying.engineering.construction.

## MEMORANDUM

**To:** Bedez Massey, City Planner 15-0035  
**From:** Craig Brashier, AICP, Sr. Project Manager  
**Date:** March 28, 2016  
**RE:** Inception - Sidewalk Zone and Landscape Zone Modification Requests

The proposed Inception site on W. University Avenue is located within the UMU-2 Zoning District. Consistent with Land Development Code Sec. 30-65.2(b)(2)a., the applicant is requesting board modifications from the sidewalk zone and landscape zone requirements.

LDC Sec. 30-65.2(e)(4) and the Streetscape Dimensions Table require a minimum 10 ft. sidewalk zone along Storefront Streets and Local Streets. W. University Avenue is classified as a Storefront Street. SW 8<sup>th</sup> Street and SW 1<sup>st</sup> Avenue are classified as a Local Streets.

The applicant is requesting a reduction in the required minimum sidewalk zone width **from 10 ft. to 7.5 ft. along W. University Road.** Pavers are provided in front of the building's entrances on W. University Avenue for a 57-ft wide section. Within this 57 ft. wide section a sidewalk zone greater than 10 ft. is created. LDC Sec. 30-65.2(e)(4)e. requires that the owner / developer construct new sidewalks to align with existing sidewalks on abutting properties. The sidewalk zone reduction along W. University Avenue is requested to align with the abutting sidewalk to the west. The reduction will also allow for landscaping between the sidewalk zone and the building as shown on the Landscape Plan.

The applicant is requesting a reduction in the required minimum sidewalk zone width **from 10 ft. to 5 ft. along SW 8<sup>th</sup> Street and SW 1<sup>st</sup> Avenue.** LDC Sec. 30-65.2(e)(4)e. requires that the owner / developer construct new sidewalks to align with existing sidewalks on abutting properties. The sidewalk zone reduction along SW 1<sup>st</sup> Avenue is necessary to align with the existing sidewalk to the west. The reduction will also allow for the landscape zone to exceed the 8 ft. minimum requirement along SW 1<sup>st</sup> Avenue. The reduction along SW 8<sup>th</sup> Street is requested to maintain consistency and uniformity around the building and to provide additional landscaping between the sidewalk and building as shown on the Landscape Plan.

LDC Sec. 30-65.2(e)(5) Landscape Zone and the Streetscape Dimensions Table require a minimum 5 ft. landscape zone along Storefront Streets and 8 ft. along Local Streets. As previously stated, W. University Avenue is classified as a Storefront Street and SW 8<sup>th</sup> Street and SW 1<sup>st</sup> Avenue are classified as a Local Streets.

The applicant is requesting a reduction in the required minimum landscape zone width **from 5 ft. to 0 ft. along W. University Road.** Pavers are provided in front of the building's entrances on W. University Avenue for a 57-ft wide section. Within this 57 ft. wide section no landscape zone is provided. Where a landscape zone is provided, the 5 ft. minimum is exceeded. However, the landscape zone is not provided adjacent to the curb. The provided landscape zone is between the building and the sidewalk zone which allows the applicant to align the new sidewalk with existing sidewalk to the west.

The applicant is requesting a reduction in the required minimum landscape zone width **from 8 ft. to 5 ft. along SW 8<sup>th</sup> Street**. An additional landscape area is provided between the sidewalk and the building which provides for a total landscape width that exceeds the minimum 8 ft. width. However, a 5 ft. landscape zone is provided adjacent to the curb as required in LDC Sec. 30-65.2(e)(5)a.

In conjunction with the sidewalk zone modification along SW 8<sup>th</sup> Street and SW 1<sup>st</sup> Avenue and the landscape zone modification along SW 8<sup>th</sup> Street, the applicant is also requesting a modification from the structured parking cross section along a local street shown in Figure 5.0. In addition to the public realm requirements for the mixed-use building, Figure 5.0 requires an additional 10 ft. wide landscape area adjacent to the parking garage. The applicant is requesting to reduce the minimum required landscape area between the parking garage and the sidewalk **from 10 ft. to 5 ft. along SW 8<sup>th</sup> Street** and **from 10 ft. to 2 ft. along SW 1<sup>st</sup> Avenue**. Similar to the justifications for the sidewalk zone and landscape zone modifications, this modification to the cross section shown in Figure 5.0 is necessary to maintain consistency with existing sidewalk alignments and meet the UMU-2 build-to line requirements.

LDC Sec. 30-65.2(d)(2)c. requires that non-residential and multi-family buildings fronting a street shall have a functional entrance at least every 150 ft. The applicant is requesting a modification from this requirement along SW 8<sup>th</sup> Street. The majority of the ground floor along SW 8<sup>th</sup> Street is a parking garage. The functional entrance for pedestrians along SW 8<sup>th</sup> Street will be via the driveway into the parking garage. From this entrance they can then access the residential units above and the non-residential uses fronting W. University Avenue, as well as the parking garage itself. From the driveway entrance south to the end of the building is  $\pm 170$  ft. Therefore the applicant is requesting this modification. A secondary entrance to the garage is not required along this façade. The building meets Florida Building Code requirements and is consistent with the intent of the UMU-2 requirements by providing two (2) additional entrances along the western side of the building which does front a sidewalk.

We trust the requested modification and justification listed above, along with the development plans are acceptable for presentation to the board. If you have any questions, please contact CHW at 352-331-1976.

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## **Appendix D**

### **Application and Neighborhood Workshop Documents**

**DEVELOPMENT PLAN REVIEW APPLICATION  
PLANNING & DEVELOPMENT SERVICES**

<b>OFFICE USE ONLY</b>	
Petition No. <u>PB-16-25 SUP</u>	Fee: \$ <u>4623.75</u>
1 <sup>st</sup> Step Mtg Date: _____	EZ Fee: \$ <u>2311.88</u>
Account No. 001-660-6680-3401 [ ]	
Account No. 001-660-6680-1124 (Enterprise Zone) <input checked="" type="checkbox"/>	
Account No. 001-660-6680-1125 (Enterprise Zone Credit) <input checked="" type="checkbox"/>	

FEB - 2 2016

**LEVEL OF REVIEW (check one)**

MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER
		X		

**Project Name:** Inception at Innovation Square  
**Property Address:** 805-819 West University Avenue, Gainesville, FL 32601  
**Tax Parcel #(s):** 13200-000-000, 13201-000-000, 13209-000-000  
**Site Area (acres):** ±0.94 ✓

**CHECK ALL PROPOSED USES**

<input checked="" type="checkbox"/> Residential	<b>Density</b>	<input checked="" type="checkbox"/> Non-residential
Multi-family	Units/acre: 1.03	<input checked="" type="checkbox"/> Commercial [ ] Office
Total units: 110	Total bedrooms: 168	[ ] Industrial [ ] Other
		Gross floor area: 4,000 sf

<b>Owner(s) of Record (please print)</b>	
Name:	TBG Innovation Square, LLC
Address:	5605 Glenridge Drive, Suite 100 Atlanta, GA 30342
<b>CONTACT AGENT</b>	
Phone:	Fax:
<b>(If additional owners, attach information)</b>	

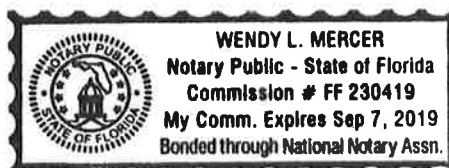
<b>Applicant(s)/Agent(s), if different</b>	
Name:	CHW
Address:	132 NW 76th Drive Gainesville, FL 32607
Phone:	(352) 331-1976 Fax: (352) 331-2476
<b>(If additional agents, attach information)</b>	

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.  
 Signature of owner: \_\_\_\_\_ Date: \_\_\_\_\_

I certify that all of the information contained in this application form is accurate and up-to-date.  
 Signature of Applicant: [Signature] Date: 2/1/16



STATE OF FLORIDA, COUNTY OF Alachua  
 Sworn to and subscribed before me this 1<sup>st</sup> day of February, 20 16  
 Signature – Notary Public: Wendy L. Mercer  
 Personally Known  OR Produced Identification \_\_\_\_\_

**Certified Cashier's Receipt:**



# PROPERTY OWNER AFFIDAVIT

FEB - 2 2016

<b>Owner Name:</b> TBG Innovation Square, LLC				
<b>Address:</b> 5605 Glenridge Drive, Suite 100 Atlanta, GA 30342		<b>Phone:</b> (678) 514-5901		
<b>Agent Name:</b> CHW				
<b>Address:</b> 132 NW 76 <sup>th</sup> Drive Gainesville, FL 32607		<b>Phone:</b> (352) 331-1976		
<b>Parcel No.:</b> 13200-000-000, 13201-000-000, 13209-000-000				
<b>Acreage:</b> ±0.94		<b>S:</b> 5	<b>T:</b> 10	<b>R:</b> 20
<b>Requested Action:</b> Authorization to apply for and obtain permits from the City of Gainesville, Gainesville Regional Utilities, and the St. Johns River Water Management District.				
<b>I hereby certify that:</b> I am the property owner of record. I authorize the above listed agent to act on my behalf for the purposes of this application. Property owner signature: <u>Eddy Benoit, Jr.</u> Printed name: Eddy Benoit, Jr. Date: 2/1/2016				
The foregoing affidavit is acknowledged before me this <u>1<sup>st</sup></u> day of <u>February</u> , 20 <u>16</u> , by <u>Eddy Benoit, Jr.</u> , who is/are <u>personally known to me</u> , or who has/have produced _____ as identification.				
NOTARY SEAL		 _____ Signature of Notary Public, State of <u>GA</u>		
				

**DESCRIPTION: (PER FURNISHED TITLE COMMITMENT)**

**PARCEL 1:**

THE WEST 35 FEET OF LOT 2, THE EAST 45 FEET OF LOT 3, ALL OF LOT 14, AND THE WEST 35 FEET OF LOT 15, INCLUDING THE AREA OF THE ALLEY LYING BETWEEN SAID LOTS TO THE MID POINT OF SAID ALLEY, ALL LYING IN BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

**PARCEL 2:**

LOT 1 AND THE EAST 20 FEET OF LOT 2 AND THE NORTH 24 FEET OF THE EAST 20 FEET OF LOT 15 AND THE NORTH 24 FEET OF LOT 16, BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, TOGETHER WITH THE ALLEY LYING ADJACENT THERETO.

**PARCEL 3:**

LOT 15 AND ALL OF LOT 16, BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, LESS AND EXCEPT THE NORTH 24 FEET OF SAID LOT 16 AND LESS AND EXCEPT THE NORTH 24 FEET OF THE EAST 20 FEET OF SAID LOT 15 AND LESS AND EXCEPT THE WEST 35 FEET OF SAID LOT 15.

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**ARTICLES OF ORGANIZATION**

**OF**

**TBG INNOVATION SQUARE, LLC**

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The undersigned Member or Authorized Representative of a Member signs these Articles of Organization and forms a limited liability company (the "*Company*") under the Florida Revised Limited Liability Company Act (the "*Act*"), as follows:

**NAME**

The name of the Company is: **TBG INNOVATION SQUARE, LLC**

**MAILING ADDRESS AND STREET ADDRESS**

The mailing address and street address of the principal office of the Company is: c/o The Benoit Group, Premier Plaza One, 5605 Glenridge Drive, Suite 100, Atlanta, GA 30342.

**NAME AND ADDRESS OF MANAGER**

The name and address of the sole Manager of the Company is Eddy Benoit, Jr., c/o The Benoit Group, Premier Plaza One, 5605 Glenridge Drive, Suite 100, Atlanta, GA 30342.

**EXISTENCE**

The Company's existence will commence upon filing.

**INITIAL REGISTERED OFFICE AND AGENT**

The name and street address of the initial registered agent and office of the Company are: NRAI Services, Inc., 1200 South Pine Island Road, Plantation, FL 33324.

---

Eddy Benoit, Jr.  
Member



**ACCEPTANCE BY REGISTERED AGENT**

I accept the appointment as Registered Agent of the Company to accept service of process on its behalf at the place designated in these Articles of Organization. I am familiar with, and accept, the obligations of my position as registered agent as provided for in the Act.

---

**NRAI Services, Inc.**  
1200 South Pine Island Road  
Plantation, FL 33324

Dated: January \_\_, 2016

**APPLICATION FOR SPECIAL USE PERMIT**  
**Planning & Development Services**

<b>OFFICE USE ONLY</b>	
Petition No. <u>PB-16-25 SUP</u>	Fee: \$ <u>1086.00</u>
1 <sup>st</sup> Step Mtg Date: _____	EZ Fee: \$ <u>(543.00)</u>
Tax Map No. _____	Receipt No. _____
Account No. <b>001-660-6680-3401</b> [ ]	
Account No. <b>001-660-6680-1124</b> (Enterprise Zone) <input checked="" type="checkbox"/>	
Account No. <b>001-660-6680-1125</b> (Enterprise Zone Credit) <input checked="" type="checkbox"/>	

FEB - 2 2016


*Application for a special use permit will be accepted for review only after a pre-application conference (First Step Meeting). Application to be completed by applicant. Application must include a preliminary development plan. Incomplete applications will be returned to the applicant.*

<b>Name of Owner(s) (please print)</b>	
Name:	TBG Innovation Square, LLC
Address:	5605 Glenridge Drive, Suite 100 Atlanta, GA 30342
<b>CONTACT AGENT</b>	
Phone:	Fax:
Owner's Signature:	
<b>(If additional owners, please include on back)</b>	

<b>Applicant(s)/Agent(s), if different</b>	
Name:	CHW
Address:	132 NW 76th Drive Gainesville, FL 32607
Phone: (352) 331-1976 Fax: (352) 331-2476	

<b>PROPERTY INFORMATION:</b> (Information below applies to property for which a Special Use Permit is being requested.)
Street address: 805-819 West University Avenue, Gainesville, FL 32601
Tax parcel no(s): 13200-000-000, 13201-000-000, 13209-000-000
Legal description (use separate sheet, if needed): See attached

I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area for which the permit is being requested.

Signature of applicant:  Date: 2/1/16

**Certified Cashier's Receipt:**

A Special Use Permit is requested pursuant to Section 30-65.2, Subsection (d), Paragraph (1), of the Land Development Code, City of Gainesville, to allow the following use:

A maximum residential density up to 125 du/ac. Proposed density is 117 du/ac.

A preliminary site plan (is) is not required and (is) is not attached.

Existing zoning classification: UMU-2 Existing land use designation: UMU-2

Existing use of property: Commercial/Retail and Single Family Residential

<b>SURROUNDING PROPERTY INFORMATION: (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.)</b>			
	<b>Zoning</b>	<b>Land Use</b>	<b>Existing Use</b>
North	UMU-2	UMU-2	Commercial
South	UMU-2	UMU-2	Vacant
East	UMU-2	UMU-2	UF/Institutional
West	UMU-2	UMU-2	UF/Office

**TO THE APPLICANT:** (Please sign the bottom of this application after you have read the following.)

- The City of Gainesville will notify owners of property within 400 feet of the subject property of this application.
- No application for a Special Use Permit shall be entertained within 2 years after the denial or withdrawal of a request for the same use for the same property.
- The City Plan Board's decision concerning a Special Use Permit may be appealed by the applicant to a hearing officer within 15 days of the date notification of the decision is sent by certified mail to the applicant.

Signature:  Date: 2/2/16

<b>Name of Owner (please print)</b>	
Name:	TBG Innovation Square, LLC
Address:	5605 Glenridge Drive, Suite 100 Atlanta, GA 30342
<b>CONTACT AGENT</b>	
Phone:	Fax:
Owner's Signature:	
(If additional owners, please list on separate sheet)	

<b>Name of Owner (please print)</b>	
Name:	
Address:	
Phone:	Fax:
Owner's Signature:	

Reference: Chapter 30, Land Development Code  
City Code of Ordinances, Article VII, Division 5

**DESCRIPTION: (PER FURNISHED TITLE COMMITMENT)**

PARCEL 1:  
THE WEST 35 FEET OF LOT 2, THE EAST 45 FEET OF LOT 3, ALL OF LOT 14, AND THE WEST 35 FEET OF LOT 15, INCLUDING THE AREA OF THE ALLEY LYING BETWEEN SAID LOTS TO THE MID POINT OF SAID ALLEY, ALL LYING IN BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

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## MEMORANDUM

**To:** Neighbors of 805-819 West University Avenue 15-0035  
**From:** Holly Simon, EI, Project Manager  
**Date:** January 13, 2016  
**RE:** Neighborhood Workshop Public Notice

CHW will be holding a Neighborhood Workshop to discuss a proposed development plan on ±0.94 acres located at 805-819 West University Avenue in the City of Gainesville, FL. The project is currently designed for a mixed-use multi-story development consisting of 110 dwelling units, 125 parking spaces, and ±4,000 square feet of non-residential ground-level retail, all served by an internal parking structure. The project site consists of Alachua County Tax Parcels 13200-000-000, 13201-000-000, and 13209-000-000. The site has a Future Land Use designation of Urban Mixed Use 2 and is zoned Urban Mixed-Use 2 (UMU2).

### Workshop Information

**Date:** Wednesday, January 27, 2016  
**Time:** 6:00 p.m.  
**Place:** Alachua County Library – Headquarters Branch  
Meeting Room A  
401 East University Ave  
Gainesville, FL 32601  
**Contact:** Holly Simon, EI  
(352) 331-1976



This is not a public hearing. The purpose of the meeting is to inform neighboring property owners of the proposed site plan and to seek comments. We look forward to seeing you at the meeting.

### **Directions to Workshop:**

Head North on SW 13<sup>th</sup> Street towards SW 1<sup>st</sup> Place. Turn right onto West University Avenue, travel 1.1 miles. The library is located on the right.

### **PUBLIC NOTICE**

A Neighborhood Workshop will be held to discuss a proposed development plan on ±0.94 acres located at 805-819 West University Avenue in the City of Gainesville, FL. The project is currently designed for a mixed-use multi-story development consisting of 110 dwelling units, 125 parking spaces, and ±4,000 square feet of non-residential ground-level retail, all served by an internal parking structure. The project site consists of Alachua County Tax Parcels 13200-000-000, 13201-000-000, and 13209-000-000. The site has a Future Land Use designation of Urban Mixed Use 2 and is zoned Urban Mixed-Use 2 (UMU2).

This is not a public hearing. The workshop's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The meeting is January 27, 2016, @ 6:00 p.m. at the Alachua County Library – Headquarters Branch, Meeting Room A, 401 East University Ave, Gainesville, FL 32601.

**Contact:**  
Holly Simon, EI  
**Phone Number:**  
(352) 331-1976





TODAY IN HISTORY

In 1924, an Air Florida 737 ran the clear through highway, 8.5 in 14th Street bridge and fell into the Potomac River while trying to take off during a snowstorm, killing a total of 25 people, four passengers and a flight attendant survived.

In 2014, a shooting at a Wesley Chapel movie theater left three people dead, 43 people injured. Police officers shot the shooter, a 21-year-old man, who was later found to be an Air Force sergeant.

RETRIEVED

Actress Pamela Anderson's 50th birthday party was held at the MGM Grand in Las Vegas. She was joined by her husband, Ray, and their children.

LOTTERY

Early drawing: 9-9-3. Night drawing: 9-9-3. Early drawing: 2-4-7-1. Night drawing: 0-0-7-1.

PREVIOUS RESULTS

Powerball - Monday 2-3-10-17-23. Match - Payoff - Winners 5 of 5 - \$295,685,000... 4 of 5 - \$11,377... 3 of 5 - \$500... 11,326

TODAY'S TOPIC

Answer online at lakelandpost.com. Do you like the cold snap? AVAILABLE OPPORTUNITIES: Visa, money problem, I've, as long as it doesn't get any colder.

\$1,500,000,000

How to play Powerball

By Christopher Ingraham, The Washington Post

Something weird happened in March of 2003: 110 people in 15 states collectively picked five out of six Powerball numbers, good enough for second-place prizes of between \$100,000 and \$500,000 each. Lottery officials were mystified and initially suspected fraud on a massive scale.

This illustration over-looked fact about lottery drawings: the numbers that win lotteries are 100 percent random. But the numbers that people pick aren't.

Many lotto players play the exact same numbers every week - establishing ownership over a set of "lucky numbers" is part of the fun, after all. These numbers are often tied to important dates - anniversaries, birthdays, etc.

Here's the funny thing about dates, though: there are only up to 31 days in a month, and 12 months in a year. So imagine a hypothetical lottery where there's only one number and you could choose anything between 1 and 100.

While lottery almost always publish records of their winning numbers, databases of the numbers

people play are a lot harder to come by. This is partly because it would be helpful to players to know these numbers.

This has no bearing on your overall chance of winning - the numbers 1 through 31 are just as likely to be drawn as the numbers from 32 to 100. But there's an awfully good chance that anybody else playing our hypothetical lottery might have been picking dates and constricting themselves to the same range, too.

Academics have studied this phenomenon. A 1999 paper in the journal Risk and Uncertainty noted that the most popular numbers played in the U.S. national lottery were typically 1, 2, 9, 20, 28, 35 and 42 - the multiples of lucky number 7.

The combination is played tens of thousands of times each week. And in a treatment to some British lotto players' losses, the combination 1, 2, 3, 4, 5 and 6 is also played thousands of times each week.

While lottery almost always publish records of their winning numbers, databases of the numbers

people play are a lot harder to come by. This is partly because it would be helpful to players to know these numbers. If you know what numbers other people were playing, you could pick less popular numbers to maximize your chances of not having to share a prize.

Still, some limited data exist. That 1999 paper analyzed 60 million U.S. lottery tickets from a single drawing. The lotto didn't have the actual number a player, but they did share the distribution of number combinations.

The paper found that among the players' lottery tickets, there were far more number combinations that appeared multiple times - dozens, hundreds, thousands of times - than you'd expect from random chance alone. Conversely, there were also many combinations that didn't show up to players tickets at all.



Handy winners, in other words, make his Powerball ticket as he leaves the Potomac River in Ocean on Tuesday afternoon. "I would want a new life... get a better life," White said. He went to the lottery drawing in up to \$1.5 billion dollars on Tuesday with the drawing occurring tonight. PHOTO BY GUY LAWRENCE/STAFF PHOTOGRAPHER

them, rather than letting a computer do it for them. Here's what the distribution of the 100,000,000 numbers on those 17,000 tickets looked like:

Smaller numbers were chosen way more often than the larger numbers on the right. Number 7 was the most popular - people picked it over 5,000 times.

Numbers 3 and 5 were also popular, perhaps because the drawing was held on the 3rd day of the 5th month. The numbers 1 through 32 - months - were more popular than the numbers that came after.

So if you don't want to share that jackpot, steer away from those numbers. Better yet, let the computer pick your numbers for you.

DEMOCRATIC RACE HILLARY CLINTON

State Dept. to review 29,000 pages of aide's emails

By Stephen Braun, The Associated Press



Huma Abedin, a longtime aide to Hillary Clinton, speaks to the media after testifying at a closed-door hearing of the House Benghazi Committee, on Capitol Hill in Washington, on Dec. 16 in Washington. AP/WIDE WORLD

WASHINGTON - The State Department has agreed to review 29,000 pages of emails from Huma Abedin, a close aide to Democratic presidential candidate Hillary Clinton, from their days at the State Department for possible public release under a new legal agreement with a conservative legal group.

U.S. District Judge Nuryl Howell, lawyers for the State Department and the conservative group Judicial Watch agreed that the agency will start in March a lengthy review and release of thousands of emails that Abedin sent or received on Clinton's private computer server between 2009 and

2013. Abedin was deputy chief of staff for Clinton during Clinton's four-year stint as secretary of state and is now vice chair of Clinton's 2016 campaign organization, traveling constantly with Clinton to Democratic Party caucus and primary states.

Abedin's emails are at issue because Clinton's own email, as well as publicly by the State Department in recent months, showed that Abedin served as an informal sounding board for Clinton. She acted as a key gatekeeper and was often emailed by others inside and outside by the department when they wanted to reach Clinton. The Clinton results also showed that Abedin frequent by communicated with her from

her own account on the Clinton server. Judicial Watch President Tom Fitton said his group sought the Abedin documents "given the interaction of Mrs. Clinton's private and public interests and the constant fundraising of the Clinton Foundation."

Following her resignation from the State Department in 2013, Hillary Clinton and her husband, former President Bill Clinton, ran the foundation until she stepped down from that role when she announced her run for the presidency.

The court agreement calls for the State Department to review for release 29,000 Abedin email records, month starting March 3, but the public production of documents will not be completed until April 30,

2017, six months after the November presidential election. Justice Department lawyers had initially tried to extend the process for 18 months, Fitton said.

Fitton acknowledged frustration that many as half of the Abedin emails might not be released until after the election, but he said he was "pleased we were able to get this group of records within a year. These records are not being produced voluntarily."

In the Judicial Watch case and other legal actions filed in recent months against the State Department for Clinton's email records, government lawyers have pushed back repeatedly against media and political groups trying to gain

COIN & JEWELRY GALLERY. YOUR TRUSTED RARE COIN DEALER. FAMILY OWNED AND OPERATED SINCE 1981. TODAY'S NEWS: COIN COLLECTIONS. \$1,100 BUYING. 352.378.3983

PUBLIC NOTICE. A Neighborhood Workshop will be held to discuss a proposed development plan on 2.94 acres located at 805, 819 West University Avenue in the City of Gainesville, FL. The project is currently designed for a mixed-use multi-story development consisting of 110 housing units, 123 parking spaces, and 24,000 square feet of non-residential ground-level retail, all served by an internal parking structure.

real estate auctions. Residential Lots Auction Jan 17-19. Nominal Opening Bids: \$1,000 each. Cape Cove - 1/2 Acre - 3 Bedrooms - 1 1/2 Bath - Pool - 1000 sq ft. 800.962.0425

The Gainesville Sun. INVESTOR'S OPPORTUNITY. 352.378.3983. 2007 NW 4 Street, Winter Springs, FL 32789

CHXI. HOLY SIMON, EI. Phone Number: (352) 331-1976. CHXI logo.

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Neighborhood Workshop Notice

13686-000-000 Benoit Mixed use  
GARY ANGLIN  
102 NE 10TH AVE 2ND FLOOR  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13720-000-000 Benoit Mixed use  
JARIEL R BORTNICK  
124 E 24TH ST APT 1H  
NEW YORK, NY 10010

Neighborhood Workshop Notice

12892-000-000 Benoit Mixed use  
CAPITAL ASSETS GROUP  
321 SW 13TH ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13683-000-000 Benoit Mixed use  
CASSIE & CERVENKA W/H  
14512 SW 118TH AVE  
ARCHER, FL 32618

Neighborhood Workshop Notice

13710-000-000 Benoit Mixed use  
CHECKERS DRIVE-IN RESTAURANTS  
4300 W CYPRESS ST STE 600  
TAMPA, FL 33607-4157

Neighborhood Workshop Notice

13694-010-004 Benoit Mixed use  
KEITH CHISHOLM  
19522 SHADY HAMMOCK LN  
ODESSA, FL 33556

Neighborhood Workshop Notice

13694-010-005 Benoit Mixed use  
AARON COMPEAN  
12300 SW 2ND ST  
PLANTATION, FL 33325

Neighborhood Workshop Notice

13697-000-000 Benoit Mixed use  
T J DAVISON TRUSTEE  
1411 NW 2ND ST  
GAINESVILLE, FL 32601-4231

Neighborhood Workshop Notice

13694-010-006 Benoit Mixed use  
DE FORD PROPERTIES LLC  
19522 SHADY HAMMOCK LN  
ODESSA, FL 33556

Neighborhood Workshop Notice

13687-000-000 Benoit Mixed use  
DUDDING & EVERETT H/W  
111 LIDGE BRANCH  
JACKSONVILLE, FL 32259

Neighborhood Workshop Notice

13693-001-000 Benoit Mixed use  
DAVID DUNCAN  
PO BOX 492  
NEW YORK, NY 10163

Neighborhood Workshop Notice

13206-000-000 Benoit Mixed use  
GEORGE FORRON  
21 SW 10TH ST  
GAINESVILLE, FL 32601-6204

Neighborhood Workshop Notice

13204-000-000 Benoit Mixed use  
FRIEDMAN & FRIEDMAN CO-TRUSTEES  
16127 DAYSAILOR TRAIL  
LAKEWOOD RCH, FL 34202-5616

Neighborhood Workshop Notice

13694-010-001 Benoit Mixed use  
GARCIA-OTERO & PINO W/H  
2401 ALHAMBRA CIR  
CORAL GABLES, FL 33134

Neighborhood Workshop Notice

13661-000-000 Benoit Mixed use  
GRESHAM MANAGEMENT GROUP INC  
4500 SW 80TH PL  
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

13689-001-000 Benoit Mixed use  
HAZEL GEORGE LLC  
PO BOX 670  
VASHON, WA 98070

Neighborhood Workshop Notice

13682-000-000 Benoit Mixed use  
PHILLIP H HEFLIN  
PO BOX 13895  
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

13662-000-000 Benoit Mixed use  
INGRAM & STILP H/W  
3315 NW 46TH AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

12921-250-000 Benoit Mixed use  
INNOVATION SQUARE LLC  
720 SW 2ND AVE STE 108  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13200-000-000 \*\*\*\* Benoit Mixed use  
INNOVATION SQUARE LLC  
747 SW 2ND AVE IMB #49  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13719-000-000 Benoit Mixed use  
JACK USA INC  
5542 NW 43RD ST  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

13681-000-000 Benoit Mixed use  
BRIAN KALT  
6924 SE 183RD PL  
MICANOPY, FL 32667

Neighborhood Workshop Notice

13208-000-000 Benoit Mixed use  
CARLOS P LAMAR III  
8005 SW 105TH AVE  
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

13722-000-000 Benoit Mixed use  
LE & TRAN H/W  
5313 NW 45TH LN  
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

13204-001-000 Benoit Mixed use  
M&R UNITED INC  
402 HIGH POINT DR STE 101  
COCOA, FL 32926

Neighborhood Workshop Notice

13725-000-000 Benoit Mixed use  
ROBERT A MITCHELL  
201 NW 10TH AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13680-000-000 Benoit Mixed use  
JOE M MORGAN  
1567 LAKEWAY DR  
FLEMING ISLAND, FL 32003

Neighborhood Workshop Notice

13694-010-002 Benoit Mixed use  
ASHLEY PENNEWILL  
1610 E WRIGHT ST  
PENSACOLA, FL 32501-4354

Neighborhood Workshop Notice

13691-000-000 Benoit Mixed use  
PINKOSON & UPSHAW CO-TRUSTEES  
2820 NW 38TH DR  
GAINESVILLE, FL 32605-2680

Neighborhood Workshop Notice

13684-001-000 Benoit Mixed use  
KEVIN R POWERS  
711 NW 23RD AVE UNIT 4  
GAINESVILLE, FL 32609



Neighborhood Workshop Notice

5th Avenue  
ROBERTA PARKS  
616 NW 8 ST  
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE  
ATTN: MIKE HOGE  
PO BOX 490 MS 11  
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton  
ROXANNE WATKINS  
4415 NW 58 AVE  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails  
MARIE SMALL  
1265 SE 12 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Black Acres/Black Pines  
JIM CONNOR  
400 NW 32 ST  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri  
JOHN DOLES  
4539 NW 37 TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Carol Estates South  
BECKY RUNNESTRAND  
1816 NE 16 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II  
HELEN HARRIS  
1237 NE 21 ST  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood  
HELEN SCONYERS  
2056 NW 55 BLVD.  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights  
SARAH POLL  
PO BOX 14198  
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek  
WES WHEELER  
4728 NW 37 WAY  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval  
GILBERT S MEANS, SR  
2153 SE HAWTHORNE RD, #111  
PO BOX 7  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills  
BONNIE O'BRIAN  
2329 NW 30 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Elizabeth PL/Northwest 23rd ST  
GALE FORD  
715 NW 23 ST  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights  
JUANITA CASAGRANDE  
1911 NW 22 DRIVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Gateway Park  
HAROLD SAIVE  
1716 NW 10 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Golfview  
CHRIS MONAHAN  
222 SW 27 ST  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Greater Northeast Community  
MIRIAM CINTRON  
915 NE 7 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Grove Street  
MARIA HUFF-EDWARDS  
1102 NW 4 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Hazel Heights  
ALLAN MOYNIHAN  
PO BOX 357412  
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Hibiscus Park  
CAROL BISHOP  
2616 NW 2 AVE  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Hidden Lake  
GEORGE KASNIC  
2116 NW 74 PL  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Highland Court Manor  
DAVID SOUTHWORTH  
3142 NE 13 ST  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Ironwood  
NANCY TESTA  
4207 NE 17 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kensington Park  
MAXINE HINGE  
5040 NW 50 TER  
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Kingswood Court  
JOHN ORTON  
5350 NW 8 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood  
JANE BURMAN-HOLTON  
701 SW 23 PL  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Lamplighter  
LARRY NICHOLSON (PROP MGR)  
5200 NE 50 DR  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Landmark Woods  
JACK OSGARD  
4332 NW 12 PL  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Las Pampas  
PETER JANOSZ  
3418 NW 37 AVE  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Woodland Terrace  
PETER PRUGH  
207 NW 35 ST  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Lincoln Estates  
DORIS EDWARDS  
1040 SE 20 ST  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Madison Park  
CHARLES FLOYD  
1911 N.W. 36 DR  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Mason Manor  
JOANNA LEATHERS  
2550 NW 13 AVE  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Pineridge  
BERNADINE TUCKER  
9 TURKEY CREEK  
ALACHUA, FL 32615

**Neighborhood Workshop Notice**

North Lincoln Heights  
ANDREW LOVETTE SR.  
430 SE 14 ST  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Northwood  
SUSAN W. WILLIAMS  
PO BOX 357492  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

Northeast Neighbors  
SHARON BAUER  
1011 NE 1 AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Northwest Estates  
VERN HOWE  
3710 NW 17 LN  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Oakview  
DEBRA BRUNER  
914 NW 14 AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Mill Pond  
HAROLD HANEL  
309 NW 48 BLVD  
GAINESVILLE, FL 32607

**Neighborhood Workshop Notice**

Appletree  
JUDITH MORROW  
3616 NW 54 LANE  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

Pine Park  
DELORES BUFFINGTON  
721 NW 20 AVE  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

Kirkwood  
KATHY ZIMMERMAN  
1127 SW 21 AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Pleasant Street  
DOTTY FAIBISY  
505 NW 3 ST  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Porters Community  
GIGI SIMMONS  
712 SW 5 ST  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Rainbows East  
JOE THOMAS  
5014 NW 24 TER  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Rainbows End  
SYLVIA MAGGIO  
4612 NW 21 DR  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Raintree  
RONALD BERN  
1301 NW 23 TER  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Ridgeview  
ROB GARREN  
1805 NW 34 PL  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Ridgewood  
KERRI CHANCEY  
1310 NW 30 ST  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Royal Gardens  
DOUGLAS BURTON  
2720 NW 27 PL  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Shadow Lawn Estates  
CONNIE SPITZNAGEL  
3521 NW 35 PL  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

South Black Acres  
DEANNA MONAHAN  
14 SW 32 ST  
GAINESVILLE, FL 32607

**Neighborhood Workshop Notice**

Southeast Evergreen Trails  
MAUREEN RESCHLY  
1208 SE 22 AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

Springhill/Mount Olive  
VIVIAN FILER  
1636 SE 14 AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

Springtree  
KATHY MEISS  
2705 NW 47 PL  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Stephen Foster  
ROBERT PEARCE  
714 NW 36 AVE  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

Suburban Heights  
BETH GRAETZ  
4321 NW 19 AVE  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Sugarfoot Community/Anglewood  
HEATHER REILLY  
426 SW 40 TERRACE  
GAINESVILLE, FL 32607

**Neighborhood Workshop Notice**

Sugarhill  
CYNTHIA COOPER  
1441 SE 2 TER  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Sutters Landing  
PETER REBMAN  
3656 NW 68 LN  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

Turkey Creek Forest Owners Assn  
ATTN: RITA SMITH  
8620 NW 13 ST, #210 CLUBHOUSE OFFICE  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

University Park  
JIMMY HARNBERGER  
402 NW 24 ST  
GAINESVILLE, FL 32604

**Neighborhood Workshop Notice**

University Village  
BRUCE DELANEY  
75 SW 23 Way  
GAINESVILLE, FL 32607

**Neighborhood Workshop Notice**

Forest Ridge/Henderson Heights  
JUANITA CASAGRANDE  
1911 NW 22 DRIVE  
GAINESVILLE, FL 32605-3953

**Neighborhood Workshop Notice**

Pinebreeze  
JUDITH MEDER  
3460 NW 46 PL  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Stephen Foster Neighborhood Assoc, Inc  
SANDRA WATTS KENNEDY  
514 NW 31 LANE  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

Appletree  
CHRIS GARCIA  
5451 NW 35 DR  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

Ashton  
ASHTON HOMEOWNERS ASSOC  
5200 NW 43 ST STE 102  
GAINESVILLE, FL 32606

**Neighborhood Workshop Notice**

Duckpond  
STEVE NADEAU  
2821 NW 23 DR  
GAINESVILLE, FL 32605

**Neighborhood Workshop Notice**

Duckpond  
MELANIE BARR  
216 NE 5 ST  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Eagle Eyes  
BEATRICE ELLIS  
316 NE 14 ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

Front Porch Florida, Duval  
JUANITA MILES HAMILTON  
2419 NE 8 AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

Porters  
RUBY WILLIAMS  
237 SW 6 ST  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Porters  
INA HINES  
320 SW 5 AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

School Board  
VICK McGRATH  
3700 NE 53 AVE  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

University of Florida  
LINDA DIXON  
PO BOX 115050  
GAINESVILLE, FL 32611

**Neighborhood Workshop Notice**

University Park  
MEL LUCAS  
620 E UNIVERSITY AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Millennium Bank  
DANNY GILLILAND  
4340 NEWBERRY RD  
GAINESVILLE, FL 32607

**Neighborhood Workshop Notice**

Florida Bank  
LAUDE ARNALDI  
13840 W NEWBERRY RD  
NEWBERRY, FL 32669

**Neighborhood Workshop Notice**

LARRY SCHNELL  
2048 NW 7 LN  
GAINESVILLE, FL 32603

**Neighborhood Workshop Notice**

MAC McEACHERN  
1020 SW 11 TER  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Stephen Foster Neighborhood Assoc, Inc  
MARIA PARSONS  
439 NW 37 AVENUE  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

BOBBIE DUNNELL  
3118 NE 11 TER  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

JAMES WOODLAND  
225 SE 14 PL  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

Bivens North Association  
PENNY WHEAT  
2530 SW 14 DR  
GAINESVILLE, FL 32608

**Neighborhood Workshop Notice**

STEWART WELLS  
6744 NW 36 DR  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

BELLINGTON'S CUSTOM SERVICE  
% BRAXTON LINTON  
1907 SE HAWTHORNE RD  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

KAREN BILLINGS  
2123 NW 72 PL  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

Phoenix Subdivision  
APRIL JONES  
3214 SW 26 TERR, Unit B  
GAINESVILLE, FL 32608

**Neighborhood Workshop Notice**

LEE NELSON  
DIRECTOR OF REAL ESTATE – UF  
204 TIGERT HALL  
PO BOX 113100  
GAINESVILLE, FL 32611-3100

# Sign-In Sheet

Mixed Use Project Neighborhood Workshop 1/27/11

Name	Address	Email
MAYHE LESSARD	<del>806</del> 806 W. University Ave	w.lessard@att.net
Russ INGRAM	18 NW 7 <sup>th</sup> TER	russingram@hotmail
PAUL STILP		
Dave Wilson	1905 NW 7 <sup>th</sup> Lane	dewswamp@Aroco <sup>Co.</sup>
Holly Simon	332 NW 76 <sup>th</sup> Dr	hollysa@chw-inc.com
Craig Brashier	"	craigba@chw-inc.com
Walter Jarvis	"	walterj@chw-inc.com
Matthew Luedcke	321 SW 13 <sup>th</sup> St	mluedcke@trink
PHIL WAGNER	" "	



TEL: (352) 331-1976 132 NW 76th Drive, Gainesville, Florida 32607  
TEL: (352) 414-4621 101 NE 1st Avenue, Ocala, Florida 34470  
WWW.CHW-INC.COM

planning.surveying.engineering.construction.

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## MEETING MINUTES

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**To:** File  
**Project:** Inception  
**From:** Holly Simon, EI  
**RE:** Neighborhood Workshop

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A workshop presentation was provided for this project on Wednesday, January 28, 2016 at 6:00 PM as shown in the advertisement. The presentation included an explanation of the review process and an explanation of the proposed mixed-use development. A total of six (6) citizens and three (3) CHW employees attended the workshop. Please refer to the sign-in sheet for attendant names and addresses.

The following are comments made by the citizens who attended the workshop. Comments are not verbatim and may not be inclusive of everything discussed in the workshop. The primary discussion was based on general curiosity of the project and the overall feeling is support of this project to provide a safer, more aesthetically pleasing asset to this area.

1. Citizen wanted to know when the buildings would be demolished and is eager for this to occur.
2. Citizen was pleased that this corner would be "cleaned up".
3. Citizen wanted to know what the sidewalk width would be along University Avenue and whether it would adequately accommodate bicyclists and pedestrians.
4. Citizen wanted to know if this was student housing and what the atmosphere would be like if so.

## **Appendix E**

### **Technical Review Committee Conditions and Recommendations**

**City Technical Review Committee Comments**  
**for**  
**Inception (Petition PB-16-25 SUP) March 15, 2016 Submittal**

**Current Planning (Approvable with conditions):**

1. ~~Provide correct cardinal direction for University Avenue in Item 2, Sheet C0.00. Add build-to-line requirement for SW 8<sup>th</sup> St.~~
2. ~~The proposed development shall be subject to the permitted uses of the UMU-2 zoning and land use designations.~~
3. ~~The project description shall include the intended use of the proposed building, including structured parking, along with the proposed density and request for a Special Use Permit. Required and proposed density calculations shall also be provided.~~
4. ~~Item 3, Sheet C0.00 must show calculations indicating compliance with the minimum scooter parking requirement (i.e., 1 per 4 residential units).~~
5. ~~Additional architectural detailing is required at the first floor level on the west end of the south elevation and the west elevation to meet UMU-2 requirements for structured parking.~~
6. ~~Please provide dimension on Sheet A1.1.0 that shows compliance with 30 ft. active use requirement at the first floor level, per Figure 5.0, Sec. 30-65.2 of the City Land Development Code (LDC). Some sections of the first floor that face W. University Avenue appear to be less than 30 ft. in depth.~~
7. ~~Please provide a sample board of proposed materials and colors with the next submittal and before public hearing.~~
8. ~~At least 10% of the provided number of bike spaces (i.e., 8 spaces) is required between the building and street.~~
9. Please be reminded that rooftop condenser units and/or other mechanical equipment must be screened from street view. Please show height of rooftop mechanical equipment relative to proposed screening on building elevations. **On the new Site Line Sheet, please change the cardinal direction provided for University Avenue to West University Avenue on Sheet A3.04 (Plan 7). Please make the architectural features of the proposed building in the plan views on Sheet A3.04 consistent with those on Sheets A3.01 and A3.02. Please amend the site sections on Sheet A3.0, so that the built environment that surrounds the proposed development is consistent with existing conditions.**
10. The proposed development is subject to the UMU-2 building articulation and design standard, not Innovation Square Development Regulations. Please correct. **Please remove**



**City Technical Review Committee Comments  
for  
Inception (Petition PB-16-25 SUP) March 15, 2016 Submittal**

**reference to Innovation Square from the title block on the architectural sheets, including the photometric plan.**

11. Deviations from the UMU-2 design standards shall require board-approved modifications as allowed in Sec. 30-65.2 of the LDC. Requests for board-approved modifications, or waivers from other applicable sections of the LDC, must be submitted in a formal letter on the next scheduled cut-off date prior to public hearing. The letter must state how the proposed development meets the stated criteria for board modifications. **The development plan does not comply with all of the UMU-2 standards for structured parking in Figure 5.0. The applicant must comply or obtain a board-approved modification.**
12. The proposed development must comply with the UMU-2 public realm requirements (i.e., build-to-line; landscape zone; sidewalk zone) along abutting right-of-ways, or obtain a board-approved modification. **The development plan does not comply with all of the UMU-2 streetscape dimensions (e.g., landscape zone, sidewalk zone, street tree spacing and build-to-line), including those shown in Figure 4.1 and 4.2. Therefore, either the applicant must comply or a board-approved modification must be obtained in order to receive staff's signature on final plans and a final development order. The applicant must comply or obtain a board-approved modification.**
- ~~13. The minimum 9 ft. clearance required for overhanging projections above the sidewalk shall be illustrated on building elevations, where applicable.~~
14. The fenestration calculations for the south elevation shall be corrected to address glazing requirements for local streets. Please note where glazed entrances are counted. Also, please show square footage of glazing required vs. what is proposed based upon the total wall area between 3 and 8 feet above grade. **Please correct the glazing calculations on Sheets A3.01 and A3.02 to show compliance with the UMU-2 requirements by accurately illustrating the size of openings where glazing will be provided. A functional entrance w/sidewalk connection is required every 150 feet along sides of the proposed building fronting a street. The applicant must comply or obtain a board-approved modification.**
- ~~15. Additional wall articulation is requested on the west side of the proposed building, where it is visible from W. University Avenue and SW 1<sup>st</sup> Avenue.~~
16. The distance between the outermost projection on each side of the proposed building and the adjacent property line shall be shown. The distance between the attached walls (e.g., southeast corner) and the adjacent property lines shall also be shown. **Please label the line representing the "property line" on Sheets A3.01 and A3.02, so that it can also be shown that the distance overhanging and protruding projections extend into the sidewalk zone and/public right-of-way is consistent with UMU-2 requirements. Additional tie-downs are needed on the Horizontal Control Plan in the absence of**

**City Technical Review Committee Comments  
for  
Inception (Petition PB-16-25 SUP) March 15, 2016 Submittal**

**dimensions for all indentions and projections shown along the boundaries of the proposed building. A typical dimension for the closest point on all sides of the proposed building will suffice in cases where there are multiple projections of the same type and with the same distance from the property boundary.**

- ~~17.~~ Please illustrate required bike parking signage on the sheet of the development plan that contains details of proposed bike racks. Please also show signage details for proposed scooter parking. Some motorcycle parking with signage is recommended. **Motorcycle parking with signage is recommended.**
- ~~18.~~ The development plan shall show the number of spaces proposed in each row of automobile parking spaces and bollard locations.
- ~~19.~~ Please show on building elevations the location of exterior meter banks and bollard locations, where proposed.
20. A construction staging plan is required that shows where equipment, materials and ingress/egress will be located throughout the implementation of the proposed development. The applicant shall coordinate with all applicable regulatory agencies. **Prior to receiving final development plan approval, the City Planning Division must receive written verification that the applicant will be able to utilize the adjoining property to the west as a construction staging area. The written verification shall include the time period, during which the adjoining property will be in use for this purpose.**
- ~~21.~~ The footcandle values on Sheet E0.01 are not legible. A larger scale is required.
22. A photometric narrative addressing the requirements in Sec. 30-344 of the LDC for the building exterior and parking garage shall be provided. Cut-sheets of proposed light fixtures are also required. Waivers from the City's lighting standards must be expressed in a letter to be included with the next development plan submittal on a designated cut-off date prior to public hearing.
23. The photometric plan shall include calculations showing compliance with the lighting requirements for building exteriors and parking garages in Sec. 30-344 of the LDC. **This condition was not addressed in the March 15<sup>th</sup> submittal.**
24. Prior to receiving a final development order, the applicant must provide the City Planning Division with copies of all fully executed and recorded easement document(s), if any. **This condition was not addressed in the March 15<sup>th</sup> submittal.**
25. All sheets of the development plan shall be signed and/or sealed, where required, prior to staff signing an approved development plan.

**City Technical Review Committee Comments  
for  
Inception (Petition PB-16-25 SUP) March 15, 2016 Submittal**

26. Future tenants/occupants of the proposed development shall be subject to all applicable code requirements in place at the time that an application for a development order and/or zoning compliance permit is filed. **Please show the adjacent zoning and land use designations.**

**Concurrency (Approvable with conditions):**

1. Due to the location of the property within the University of Florida Context Area, this development must comply with the provisions of Transportation Mobility Element Policy 10.1.14, concerning new multi-family residential development funding capital transit costs associated with transit service needs. Payments shall be based on a proportionate share contribution toward the additional transit service enhancements needed to serve the proposed development in the RTS a.m. and p.m. peak hours to maintain existing service levels (frequencies). The payment will be based on the expected mode split of all development trips that will use transit.
2. In note #19 under the PM Peak Hour column, the net total after the 40% reduction should be 35, as calculated in the revised trip generation memorandum. The number 16 is from the AM Peak Hour calculations.

**Public Works (Approvable with conditions):**

Roadway and Site Design:

1. The proposed scooter parking on the west side of NW 8th St. should be striped as one single bay as opposed to the three individual spaces shown.

Stormwater Management:

- 1 - Payment for the SW 5th Avenue credits must be received prior to final approval by Public Works. The check can be delivered to Public Works to my attention.
- 2 - It appears that the maintenance activity will occur outside of the building on the western side? How will the maintenance vehicles and personnel reach this location? It does not appear to be adequate room between the building and the property line for this access.
- 3 - How will the vault be accessed in the event extensive maintenance is required?

Transit:

**City Technical Review Committee Comments  
for  
Inception (Petition PB-16-25 SUP) March 15, 2016 Submittal**

The response to comments indicates a concern that a bulb-out will result in lost parking spaces. Per the design provided to Holly Simon's on 3/23 via email it seems like a bulb-out could be provided that would have no impact on parking. Its addition would greatly improve accessibility

**Building Inspections (No Comments)**

**Fire Services (Approvable as submitted)**

**Urban Forestry Inspector (Approvable with conditions):**

1. Please change the wording for the tree mitigation payment. The mitigation fee is due at the time a development order is issued or a site work permit is issued for the development.
2. One will need to request a waiver for not meeting the code requirements for street trees along the roadways. Palm trees are not shade trees and not approved on the Gainesville's tree list as a shade tree.

**Gainesville Regional Utilities (Approvable for preliminary only):**

Water/Wastewater: Not Approved

Real Estate: Approved

Electric: Not Approved

Gas: Not Approved

GRUCom: No Comments

**Alachua County Environmental Protection Department (Approvable with conditions):**

Provide information if any emergency generators are to be installed.

**Gainesville Police Department (No Comments)**

# **Appendix F**

## **Development Plan**



# DEVELOPMENT PLANS FOR INCEPTION GAINESVILLE, FLORIDA

SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST

SUBMITTED TO  
CITY OF GAINESVILLE  
GAINESVILLE REGIONAL UTILITIES  
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

**DEVELOPER**

THE BENOIT GROUP  
PREMIER PLAZA ONE  
5605 GLENDRIDGE DRIVE NE  
SUITE 100  
ATLANTA, GA 30342  
(678) 514-5900  
info@theBenoitGroup.com

**CIVIL ENGINEER**

WALTER JARVIS, P.E.  
CAUSSEAUX, HEWETT, & WALPOLE, INC.  
132 N.W. 78th DRIVE  
GAINESVILLE, FLORIDA 32607  
(352) 331-1976  
walterj@chw-inc.com

**ARCHITECT**

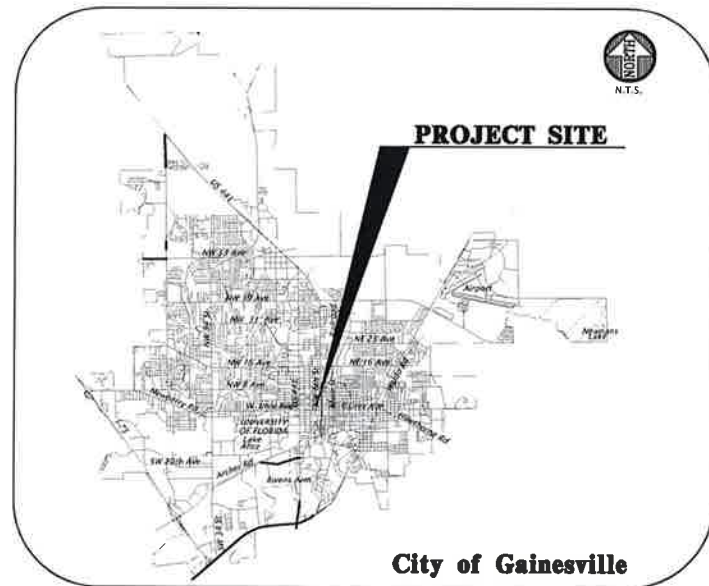
BENJAMIN A. MAHALA, AIA  
3060 PEACHTREE ROAD NW  
SUITE 600  
ATLANTA, GA 30305  
(404) 365-7600  
bmahala@nilesbolton.com

**LANDSCAPE ARCHITECT**

BUFORD DAVIS, ASLA  
BUFORD DAVIS & ASSOCIATES  
2406 NW 43RD STREET  
GAINESVILLE, FLORIDA 32606  
(352) 335-1896

**MEP**

JORDAN & SKALA ENGINEERS  
4275 SHECKLEFORD ROAD  
SUITE 200  
NORCROSS, GA 30093  
(770) 447-5547



VICINITY MAP



LOCATION MAP

1. DEVELOPMENT DATA:

EXISTING DATA:			
TOTAL AREA=	41,124 SF	100.0K	0.94 ACRES
TOTAL IMPERVIOUS AREA=	25,258 SF	61.4K	0.58 ACRES
OPEN AREA=	15,866 SF	38.6K	0.36 ACRES
PROPOSED DATA:			
TOTAL AREA=	41,124 SF	100.0K	0.94 ACRES
TOTAL IMPERVIOUS AREA=	34,742 SF	84.5K	0.80 ACRES
OPEN AREA=	6,382 SF	15.5K	0.15 ACRES

DESCRIPTION:  
EXISTING PAVEMENT AND UTILITY REMOVAL, BUILDING CONSTRUCTION, STORMWATER SYSTEM, LANDSCAPE, AND ASSOCIATED UTILITIES. THE PROPOSED BUILDING WILL INCLUDE RETAIL AND RESIDENTIAL SPACE AND WILL INCLUDE A PARKING GARAGE. 94 DWELLING UNITS ARE ALLOWED BY CODE AND 110 DWELLING UNITS ARE REQUESTED BY A SPECIAL USE PERMIT.

2. SITE ZONING: URBAN MIXED USE - 2 (UMU-2)

LAND USE:  
URBAN MIXED USE (2) (UMU2)

BUILD TO LINE:

LOCATION	REQUIRED	PROVIDED
FRONT (W UNIVERSITY AVENUE)	BUILDING FACADE SHALL BE NO CLOSER THAN 20' FROM CURB OR EDGE OF PAVEMENT	15' ±
REAR (SW 1ST AVENUE)	BUILDING FACADE SHALL BE NO CLOSER THAN 23' FROM CURB OR EDGE OF PAVEMENT	18'

BUFFERS: N/A

3. PARKING:

REQUIRED:  
NO MINIMUM VEHICULAR PARKING REQUIREMENT  
BIKE: 1 PER 2,000 SF GFA + 1 PER 3 BEDROOMS = 4,000/2,000 + 168/3 = 58 = 58 SPACES  
SCOOTER: 1 PER 4 DWELLING UNITS = 1/4 = 27.5 = 28 SPACES

PROVIDED:  
VEHICULAR PARKING: 121  
BIKE: 80  
SCOOTER: 28

4. UTILITIES:

ALL UTILITY SERVICES SHALL BE INSTALLED BELOW GRADE PER LDC SECTION 30.345.  
WATER: - NEW DOMESTIC WATER, IRRIGATION, AND FIRE SUPPRESSION LINE TO BE CONNECTED TO EXISTING WATER LINE ON SW 8TH STREET.

WASTEWATER: - CONNECT VIA EXISTING SANITARY LINE SW 8TH STREET.

ELECTRIC: - NEW ELECTRIC TO BE CONNECTED TO EQUIPMENT SOUTH OF SW 1ST AVENUE.

5. STORMWATER MANAGEMENT UTILITY DATA:

A STORMWATER SYSTEM WILL BE CONSTRUCTED ON THE SITE.  
TOTAL IMPERVIOUS AREA = 34,742 S.F.

	SMF-1 (WQV):
LOWEST DISCHARGE ELEVATION	158.75
RETENTION VOLUME BELOW LOWEST DISCHARGE ELEVATION	500 C.F.
RETENTION AREA AT LOWEST DISCHARGE ELEVATION	1,000 S.F.

THE PROJECT MUST COMPLY WITH ALL NPDES CRITERIA BOTH DURING AND AFTER CONSTRUCTION.

6. REFUSE COLLECTION: INTERIOR TRASH COLLECTION. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

7. SITE LIGHTING IS PROVIDED. THE LIGHT LOCATIONS PROVIDE FULL CUTOFF LUMINARIES AND COMPLIES WITH ARTICLE W OF THE LAND DEVELOPMENT CODE. REFER TO PHOTOMETRIC DESIGN FOR DETAIL.

8. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA D.O.T. STANDARDS.

9. FIRE PROTECTION:

THE BUILDING SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE. FIRE PROTECTION SYSTEMS PROVIDED IN THE STRUCTURES SHALL BE INSTALLED IN FULL COMPLIANCE WITH THE APPROPRIATE FIRE PROTECTION AND BUILDING CONSTRUCTION STANDARDS. ALL STABILIZED SURFACES MUST BE IN PLACE PRIOR TO ANY ACCUMULATION OF COMBUSTIBLES ON SITE.

THE BUILDING IS SPRINKLED. IN BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL NEW BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHI.

THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION. AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241, THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN, AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10.9 (NFPA 1-18))

10. NO GENERAL HAZARDS ARE PROPOSED FOR THIS PROJECT. N/A

11. THERE ARE NO KNOWN SPECIAL FIRE PROTECTION CONCERNS. N/A

12. THE SITE IS NOT IN THE HISTORICAL PRESERVATION DISTRICT. N/A

**GENERAL NOTES**

- THE SITE IS NOT IN A FLOOD PLAIN DISTRICT. N/A
- THE SITE IS NOT EFFECTED BY WETLANDS REGULATIONS. N/A
- THE SITE IS NOT LOCATED ON A NATURE PARK, GREENWAY, OR GATEWAY DISTRICT. N/A
- THE SITE IS NOT LOCATED WITHIN THE WELLFIELDS PROTECTION DISTRICT. N/A

17. THE MAXIMUM HEIGHT OF THE PROPOSED STRUCTURE IS LESS THAN 90 FEET. PER APPENDIX F SECTION II.A.2.B. THIS STRUCTURE IS WITHIN SUBZONE 1, GREATER THAN 15,000 FEET FROM THE AIRPORT, IT IS LESS THAN 100 FEET TALL, AND IS THEREFORE NOT TO BE CONSIDERED A "POTENTIAL AIRPORT OBSTRUCTION".

18. THE SITE COMPLIES WITH THE FLORIDA BUILDING CODE FIFTH EDITION AND ALL RELATED CODES AND FLORIDA HANDICAPPED ACCESSIBILITY CODES AND STANDARDS INCLUDING THE FOLLOWING:  
FLORIDA BUILDING CODE - BUILDING FIFTH EDITION  
FLORIDA BUILDING CODE - EXISTING FIFTH EDITION  
FLORIDA BUILDING CODE - RESIDENTIAL FIFTH EDITION  
FLORIDA BUILDING CODE - PLUMBING FIFTH EDITION  
FLORIDA BUILDING CODE - FUEL GAS FIFTH EDITION  
FLORIDA BUILDING CODE - MECHANICAL FIFTH EDITION  
FLORIDA BUILDING CODE - ENERGY CONSERVATION FIFTH EDITION  
FLORIDA BUILDING CODE - ACCESSIBILITY FIFTH EDITION  
NATIONAL ELECTRICAL CODE 2008 EDITION  
NFPA 101 LIFE SAFETY CODE BY FLORIDA MODIFICATIONS 2009 EDITION  
FLORIDA FIRE PREVENTION CODE FIFTH EDITION.

19. TRAFFIC STATEMENT:  
THE PROJECT TRAFFIC GENERATION IS CALCULATED FROM TRIP GENERATION RATES PUBLISHED IN THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION, AN INFORMATIONAL REPORT, 9TH EDITION.

EXISTING LAND USE	QUANTITY	ADT	PM PEAK HR
SPECIALTY RETAIL (B26)	7,000	310	19
PROPOSED LAND USE			
APARTMENTS (220)	168 PERSONS	556	67
SPECIALTY RETAIL (B26)	4,000	172	11
NET TOTAL (AFTER 40% REDUCTION)		254	16

THE DEVELOPMENT IS LOCATED IN ZONE A OF THE TRANSPORTATION MOBILITY ELEMENT PROGRAM AREA (TMPA), AND SHALL MEET ALL CRITERIA AS LISTED IN THE TMPA POLICY 10.1.A AND 10.1.14. DEVELOPER AGREES TO SATISFY MOBILITY CRITERIA VIA CASH PAYMENT IN LIEU OF THE CRITERIA. THE DEVELOPMENT WILL COMPLY WITH POLICIES 10.1.4 AND 10.1.14 OF THE TRANSPORTATION MOBILITY ELEMENT. DEVELOPER AGREES TO SATISFY THE PROVISIONS OF POLICY 10.1.14 BY MAKING A TRANSIT PAYMENT TO FUND THE CAPITAL TRANSIT COSTS ASSOCIATED WITH TRANSIT SERVICE NEEDS.

20. PARCEL INFORMATION:

TAX PARCEL # 13200 000 000, 13201 000 000, 13209 000 000

21. BUILDING OCCUPANCY CLASS: DWELLING: R2, CLUBROOM: A-3, COMMERCIAL: TRD, PARKING: S-2

22. BUILDING CONSTRUCTION TYPE: PER FBC 8 FIFTH EDITION, TYPE I.A AND TYPE III.A

23. BUILDING AREA TABULATION:

	BASEMENT	LEVEL 01	LEVEL 02	LEVEL 03	LEVEL 04	LEVEL 05	LEVEL 06	TOTAL
PER FBC	32,370 SF	32,609 SF	26,437 SF	26,082 SF	26,645 SF	26,645 SF	26,657 SF	192,446 SF
GFA								192,314 SF

24. BUILDING HEIGHT: PER FBC 2015 - 89'-2"

25. PROPOSED USE:  
THE ON SITE BUILDING WILL BE A MIXED USE, RETAIL AND MULTI-FAMILY RESIDENTIAL USE.

**SHEET INDEX**

SHEET NUMBER	DESCRIPTION
CO.00	COVER SHEET AND INDEX
CO.10	GENERAL NOTES
CO.11	LEGEND
CO.12	CONSTRUCTION DETAILS
1 OF 2	TOPOGRAPHIC AND BOUNDARY SURVEY
CO.20	STORMWATER POLLUTION PREVENTION NOTES
CO.21	STORMWATER POLLUTION PREVENTION PLAN AND DETAILS
CO.30	DEMOLITION PLAN
CO.40	SITE REMEDIATION AND DEBRIS REMOVAL PLAN
C1.00	DEVELOPMENT PLAN AND HORIZONTAL CONTROL AND SITE PLAN
C1.20	ACCESSIBILITY SITE PLAN AND DETAILS
C2.00	DRAINAGE AND GRADING PLAN
C2.10	UNDERDRAIN LIFT STATION PLAN AND DETAILS
C2.30	STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS
C3.00	UTILITY PLAN
LS1	LANDSCAPE PLAN
EO.10	BASEMENT PARKING GARAGE INTERIOR PHOTOMETRICS
EO.11	LEVEL 01 PARKING GARAGE EXTERIOR PHOTOMETRICS
EO.12	LEVEL 01 PARKING GARAGE INTERIOR PHOTOMETRICS
EO.13	PODIUM EXTERIOR PHOTOMETRICS
EO.03	LEGENDS, NOTES, DETAILS, SCHEDULES - ELECTRICAL
EO.04	LEGENDS, NOTES, DETAILS, SCHEDULES - ELECTRICAL
A1.0.0	BASEMENT FLOOR PLAN
A1.1.0	FIRST FLOOR PLAN
A1.2.0	SECOND FLOOR PLAN
A1.3.0	THIRD FLOOR PLAN
A1.4.0	FORTH FLOOR PLAN
A1.5.0	FIFTH FLOOR PLAN
A1.6.0	SIXTH FLOOR PLAN
A1.7.0	ROOF PLAN
G.03	CODE ANALYSIS
G.04	BUILDING INFORMATION
A3.01 - A3.02	ELEVATIONS
A3.04	SITE LINES
A4.10 - A4.11	SECTIONS - BUILDING
P1.00-0	OVERALL BASEMENT FLOOR PLAN



PB-16-00025

182 NW 78th Drive  
Gainesville, Florida 32607  
(352) 331-1976 / (352) 331-2476  
www.chw-inc.com  
est. 1988 FLORIDA CA-5075

**CHW**  
Professional Consultants

SCALE: N/A  
DATE: 02/02/16  
DRAWN BY: J. THOMAS  
CHECKED BY: J. THOMAS  
PROJECT NO.: 15-0035

DATE: 02/02/16  
DRAWN BY: J. THOMAS  
CHECKED BY: J. THOMAS  
PROJECT NO.: 15-0035

FL. P.E. No. 69101  
SHEET NO. CO.00



## GENERAL NOTES

1. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WERE TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY CHW, INC. AND DATED JULY 16, 2014.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY ALACHUA COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE GOVERNING STANDARDS AND SPECIFICATIONS SHALL BE PER CITY OF GAINESVILLE PUBLIC WORKS CONSTRUCTION AND INSPECTION STANDARDS.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
22. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTOR'S EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
23. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITY'S ACT.
24. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION.
25. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
26. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 2014 EDITION, SECTION 120.
27. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
28. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.
29. ALL WORK WITHIN OR ON CITY OWNED OR MAINTAINED FACILITIES, ROW OR EASEMENT WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. REQUIREMENTS FURTHER DESCRIBED AS PER THE CITY OF GAINESVILLE DESIGN AND CONSTRUCTION MANUAL (CURRENT EDITION) SECTION 8.3.

## MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT DESIGN STANDARDS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE FDOT.
2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

## DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
6. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DERRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

## PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
  - A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.  
  
NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
  - B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
  - C. UNDERGROUND EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE INSTALLED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS).
  - D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
  - E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
  - F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
  - G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
7. CONTRACTOR IS TO SUBMIT FDOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
8. AS DETERMINED NECESSARY AND DIRECTED BY CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX NO. 500 AND 505.
9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
10. REFER TO FDOT INDEX 304 FOR CURB RAMP DESIGN.
11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS OR AS-BUILT SURVEY AS NOTED IN NOTE #28 UNDER SITE GENERAL NOTES.
13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FDOT INDEX NO. 281. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS 1 SURFACE FINISH.
19. ALL HOPE FITTINGS AND CONNECTORS SHALL BE SOIL TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 430.

## CITY OF GAINESVILLE NOTES

1. All work within or on City owned or maintained facilities, ROW or easement will require as-built plans. As-built plans should show the constructed conditions of the City owned or maintained area and be performed by a Florida Licensed Professional Surveyor and Mapper. The Contractor shall provide the City with an as-built survey of the retention / detention basin and associated structures, prepared by a registered land surveyor. The survey shall be submitted on paper copy and electronically (.pdf and/or dwg CAD) any construction in the City of Gainesville Public ROW will require permits from the Public Works Department prior to beginning work.
2. A MOT permit is required for any activity in the ROW that either directly or indirectly affects vehicular or pedestrian traffic.
3. Open cut restoration shall be performed in accordance with FDOT Index 307, and using the flowable fill option.

## GRU UTILITY NOTES

1. NO OTHER UTILITY PERMITS ARE REQUIRED.
2. THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR A BLANKET EASEMENT OVER THE ENTIRE PROPERTY, PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/WW/RGW DESIGN STANDARDS.
3. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, & RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
4. POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
5. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS, AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES; NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER. HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE)
6. POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL, EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKE ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKE, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/RGW CONSTRUCTION DETAIL W- 8.0), WITH A ONE-YEAR WARRANTY.
7. 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
8. WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS). TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
9. 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3 FEET INSIDE CITY OF GAINESVILLE LIMITS).
10. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
11. ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS; A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W- 2.8 & 2.9, RCW- 2.8 & 2.9, AND WW- 2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
12. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 35) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
13. WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS ADJACENT TO PAVED AREAS SHALL BE RATED FOR TRAFFIC LOAD BEARING. WASTEWATER CLEANOUT COVERS IN OTHER SIDEWALKS/WALKWAYS SHALL BE BRASS WITH A SQUARE RECESS.
14. MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
15. UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF THE CLEANOUT.
16. WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.

## ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.
2. ELECTRIC DESIGN PROVIDED BY GRU ENERGY DELIVERY.

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INC.

SCALE: 1/4" = 1'-0"  
VERT. SCALE: 1/8" = 1'-0"  
HORIZ. SCALE: 1" = 100'-0"  
IF NOT ONE INCH ON DRAWING, SHALL BE ACCORDANT.

DATE: 02/02/18  
DRAWN: J. THOMAS  
CHECKED: J. THOMAS  
DATE: 02/14/18

PROJECT: THE BENDOT GROUP  
SHEET TITLE: INCEPTION  
GENERAL NOTES

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
QUALITY CONTROL: H. SHAW  
DATE: 12-00-15

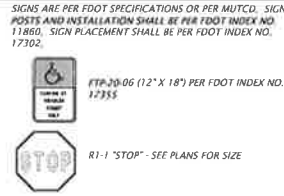
WALTER JARVIS

FL PE No. 69101  
SHEET NO. CO.10

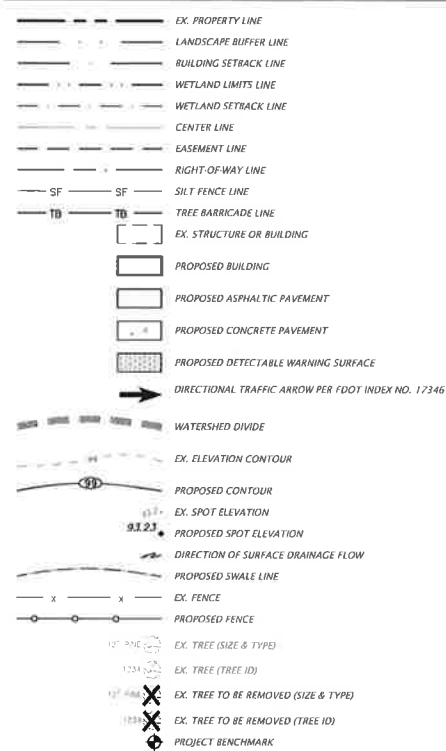
### ABBREVIATIONS

SYMBOLS	SYMBOLS	SYMBOLS
— (FEET WHEN USED WITH LENGTHS)	N	NORTH
° (DEGREES)	N E	NORTHING - EASTING
' (MINUTES WHEN USED WITH ANGLES)	N/A	NOT APPLICABLE
" (SECONDS)	NAVD	NORTH AMERICAN VERTICAL DATUM OF 1988
% (PERCENT)	NGVD	NATIONAL GEODETIC VERTICAL DATUM OF 1929
@ (AT)	NO	NUMBER
	NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
	NTS	NOT TO SCALE
<b>AASHTO</b>	<b>A</b>	<b>ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS</b>
AC	ACRES	
ADA	AMERICAN WITH DISABILITIES ACT	
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	
ARCH	ARCHITECT	
ARV	AIR RELEASE VALVE	
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	
ASWA	AMERICAN WALKER WORKS ASSOCIATION	
	<b>B</b>	<b>BACK OF CURB</b>
BC	BACK OF CURB	
BFP	BACKFLOW PREVENTER	
BLDG	BUILDING	
BM	BENCHMARK	
BMP	BEST MANAGEMENT PRACTICE	
BOC	BACK OF CURB	
BVCS	BEGIN VERTICAL CURVE STATION	
BVCE	BEGIN VERTICAL CURVE ELEVATION	
BW	BOTTOM OF WALL	
BSL	BUILDING SETBACK LINE	
	<b>C</b>	<b>CABLE TELEVISION</b>
CATV	CABLE TELEVISION	
CI	CURB INLET	
CP	CAST IRON PIPE	
CMP	CONDUIT/CLASSED METAL PIPE	
CO	CLEANOUT	
CONC	CONCRETE	
COORD	COORDINATE	
CR	COUNTY ROAD	
C/D	CLEANOUT	
	<b>D</b>	<b>DRAINAGE EASEMENT</b>
DBH	DIAMETER AT BREAK HEIGHT	
DE	DRAINAGE EASEMENT	
DEG	DEGREE	
DIA	DIAMETER	
DIP	DUCTILE IRON PIPE	
DWG	DRAWING	
	<b>E</b>	<b>EAST</b>
e	RATE OF ELEVATION	
E	EAST	
EA	EACH	
EL	ELEVATION	
ELEV	ELEVATION	
EDP	EDGE OF PAVEMENT	
EOR	ENGINEER OF RECORD	
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE EASEMENT	
ESMT	EASEMENT	
EVS	END VERTICAL CURVE STATION	
EXCE	END VERTICAL CURVE ELEVATION	
EX	EXISTING	
	<b>F</b>	<b>FLORIDA ADMINISTRATIVE CODE</b>
FAC	FLORIDA ADMINISTRATIVE CODE	
FBR	FLORIDA BEARING RATIO	
FC	FRICTION COEFFICIENT	
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	
FFE	FINISHED FLOOR ELEVATION	
HH	FIRE HYDRANT	
THWA	FLORIDA HIGHWAY ADMINISTRATION	
FIG	FIGURE	
FM	FORCE MAIN	
FDC	FACE OF CURB	
FS	FLORIDA STATUTES	
FT	FEET	
	<b>G</b>	<b>GALVANIZED</b>
CALV	GALVANIZED	
CM	CAS MAIN	
GV	CATE VALVE	
	<b>H</b>	<b>HIGH DENSITY POLYETHYLENE</b>
HDPE	HIGH DENSITY POLYETHYLENE	
HP	HIGH POINT	
	<b>I</b>	<b>IDENTIFICATION</b>
ID	IDENTIFICATION	
INV	INVERT	
INV EL	INVERT ELEVATION	
IP	IRON PIPE	
	<b>K</b>	<b>VERTICAL CURVE RATE OF CHANGE</b>
	<b>L</b>	<b>LENGTH</b>
LA	LANDSCAPE ARCHITECT	
LBR	LIMESTONE BEARING RATIO	
LDR	LAND DEVELOPMENT REGULATION	
LF	LINEAR FEET	
LP	LOW POINT	
LT	LEFT	
	<b>M</b>	<b>MAXIMUM</b>
MAX	MAXIMUM	
ME	MATCH EXISTING	
MH	MANHOLE	
MIN	MINIMUM	
MISC	MISCELLANEOUS	
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	

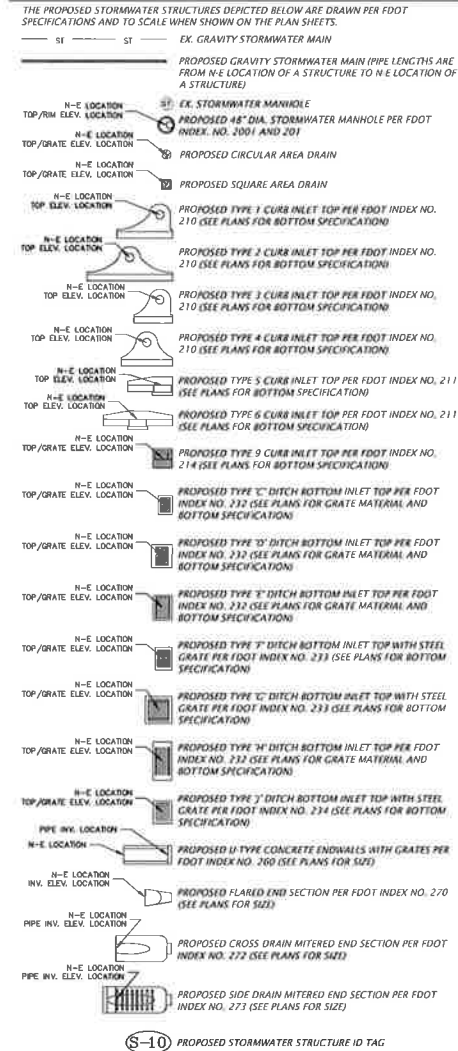
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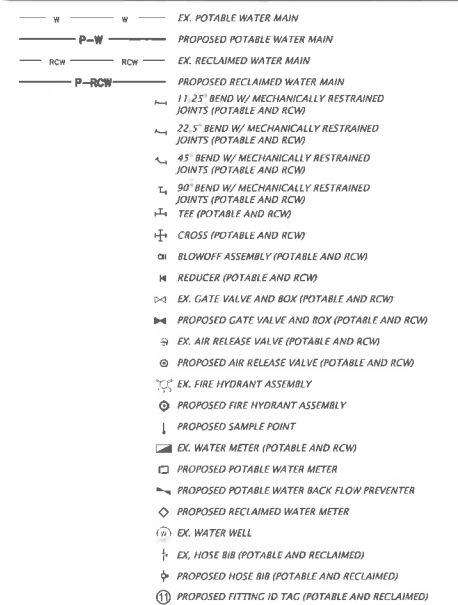
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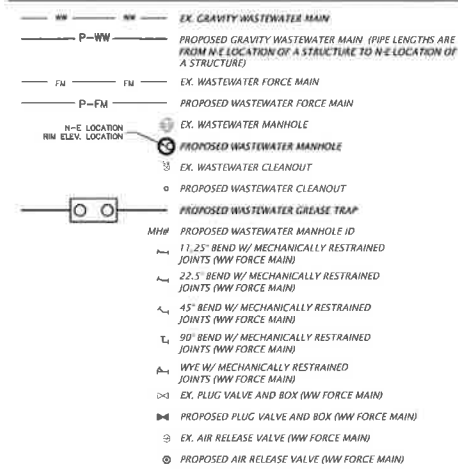
### STORMWATER



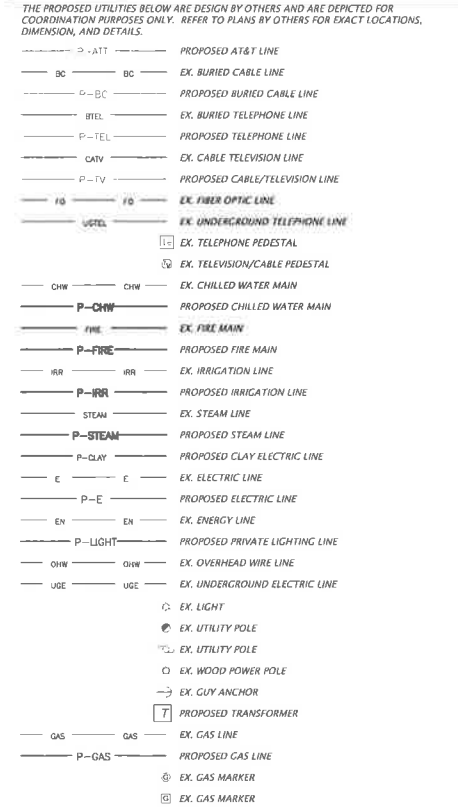
### POTABLE AND RECLAIMED WATER



### WASTEWATER



### MISCELLANEOUS UTILITIES



NOTES:  
1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.  
2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

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FLORIDA  
CA 00715

SCALE: 1/4" = 1'-0"

DATE: 03/02/18 - CDD, GRILL AND SUPPLEMENT  
03/14/18 - CDD AND ORU

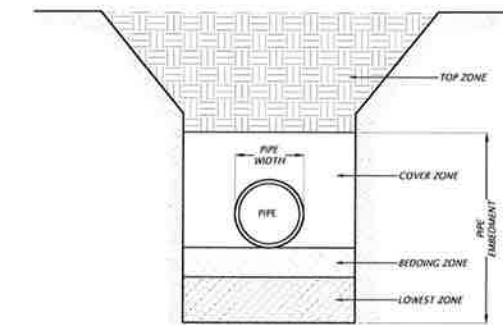
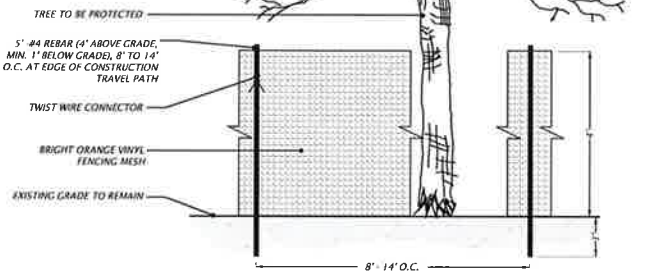
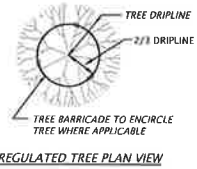
CLIENT: THE BENTON GROUP  
PROJECT: WALTER JARVIS  
SHEET NO.: 15-0035

FL PE No. 69101  
SHEET NO. CO.11



**NOTE:**

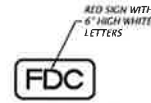
1. TREE BARRICADES MUST BE INSPECTED AND APPROVED BY THE CITY OF GAINESVILLE NATURE OPERATIONS (AT 352-393-8171) PRIOR TO ANY CLEARING, DEMOLITION, OR GRUBBING WORK BEGINS.
2. TREE BARRICADES SHALL REMAIN IN PLACE, AND IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. BARRICADES SHALL BE REMOVED ONCE MAJOR CONSTRUCTION IS COMPLETE AND PRIOR TO COMPLETION OF LANDSCAPE INSTALLATION.
3. NO CONSTRUCTION EQUIPMENT, MATERIALS, SUPPLIES, FUELS OR CHEMICALS SHALL BE STORED WITHIN THE TREE BARRICADE LIMITS.
4. HERITAGE TREES (GREATER THAN 30" DIAMETER) ARE TO BE ENCLOSED TO THEIR ENTIRE DRIPLINE.



1. STORM PIPE BEDDING AND BACKFILL SHALL BE PER FDOT SPECIFICATION 125-B AND 125-9.
2. SOIL/MATERIAL TYPES ARE AS DETERMINED PER AASHTO M145 SOIL CLASSIFICATIONS AND ASTM D3282.
3. DO NOT ALLOW HEAVY CONSTRUCTION EQUIPMENT TO CROSS OVER CULVERT OR STORM SEWER PIPES UNTIL PLACING AND COMPACTING BACKFILL MATERIAL TO THE FINISHED EARTHWORK GRADE OR TO AN ELEVATION AT LEAST FOUR (4) FEET ABOVE THE CROWN OF THE PIPE.
4. THE LOWEST ZONE IS BACKFILLED FOR DEEP UNDERCUTS UP TO WITHIN FOUR (4) INCHES OF THE BOTTOM OF THE PIPE. BACKFILL IN THIS ZONE SHALL BE COARSE SAND, OR OTHER SUITABLE GRANULAR MATERIAL, OBTAINED FROM THE GRADING OPERATIONS ON THE PROJECT, OR A COMMERCIAL MATERIAL (AS APPROVED BY THE ENGINEER OF RECORD) IF NO SUITABLE MATERIAL IS AVAILABLE. COMPACT THE SOIL TO APPROXIMATELY MATCH THE DENSITY OF THE SOIL IN WHICH THE TRENCH WAS CUT.
5. THE BEDDING ZONE IS ABOVE THE LOWEST ZONE AND USUALLY WILL BE THE BACKFILL WHICH IS THE FOUR (4) INCHES OF SOIL BELOW THE BOTTOM OF THE PIPE. WHEN ROCK OR OTHER HARD MATERIAL HAS BEEN REMOVED TO PLACE THE PIPE, THE BEDDING ZONE WILL BE THE TWELVE (12) INCHES OF SOIL BELOW THE BOTTOM OF THE PIPE. THE BACKFILL MATERIAL TO BE USED SHALL BE CLASSIFIED AS A-1, A-2, OR A-3. MATERIAL CLASSIFIED AS A-4 MAY BE USED IF THE PIPE IS CONCRETE PIPE. PLACE MATERIAL IN LIFTS NO GREATER THAN SIX (6) INCHES (COMPACTED THICKNESS).
6. THE COVER ZONE IS BACKFILL THAT IS PLACED AFTER THE PIPE HAS BEEN LAID AND EXTENDS TWELVE (12) INCHES ABOVE THE TOP OF THE PIPE. THE BACKFILL MATERIAL TO BE USED SHALL BE CLASSIFIED AS A-1, A-2, OR A-3. MATERIAL CLASSIFIED AS A-4 MAY BE USED IF THE PIPE IS CONCRETE PIPE. PLACE MATERIAL IN LIFTS NO GREATER THAN SIX (6) INCHES (COMPACTED THICKNESS), EVENLY DEPOSITED ON BOTH SIDES OF THE PIPE AND COMPACT WITH MECHANICAL TAMPERS SUITABLE FOR THIS PURPOSE. HAND TAMP MATERIAL BELOW THE PIPE HAUNCH THAT CANNOT BE REACHED BY MECHANICAL TAMPERS.
7. THE TOP ZONE EXTENDS FROM TWELVE (12) INCHES ABOVE THE TOP OF THE PIPE TO THE BASE OR FINAL GRADE. BACKFILL WITH MATERIALS ALLOWED PER FDOT INDEX NO. 305. PLACE MATERIAL IN LAYERS NOT TO EXCEED TWELVE (12) INCHES IN COMPACTED THICKNESS.
8. MINIMUM ACCEPTABLE COMPACTION FOR THE BEDDING, COVER, AND TOP ZONES IS 100% OF THE STANDARD PROCTOR MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD C. FOR METAL OR PLASTIC PIPE, COMPACT THE BACKFILL TO A DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR AS DETERMINED BY AASHTO T-99, METHOD C.
9. WHEN INSTALLING HOPE PIPE, BEDDING, BACKFILL, AND GENERAL INSTALLATION REQUIREMENTS SHALL COMPLY WITH ASTM D2321.

**STORM PIPE BEDDING AND BACKFILLING DETAIL**

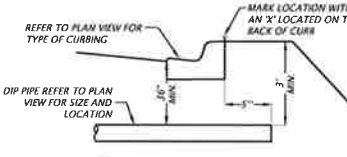
NTS



- NOTES:**
1. MOUNT SIGN 4" TO 6" HIGH ON BUILDINGS ABOVE THE FIRE DEPARTMENT CONNECTION.
  2. FDC SHALL NOT BE OBSTRUCTED BY VEGETATION THAT WOULD PREVENT ACCESS DURING AN EMERGENCY.
  3. SIGN DIMENSIONS SHALL COMPLY WITH LOCAL CODE REQUIREMENTS.

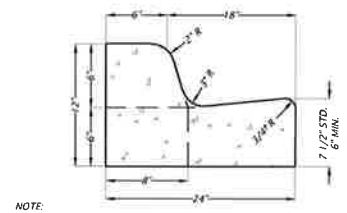
**FIRE DEPARTMENT CONNECTION SIGN**

NTS



**SLEEVE CROSSING DETAIL**

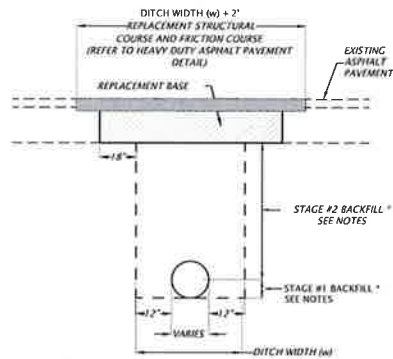
NTS



**TYPE 'F' CONCRETE CURB AND GUTTER DETAIL**

NTS

- NOTE:**
- WHEN USED ON THE HIGH SIDE OF ROADWAY, THE CROSS-SLOPE OF THE CUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6".

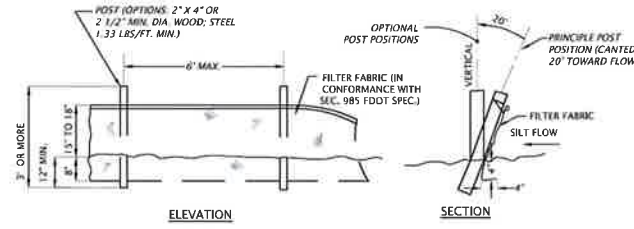


**OPEN CUT AND REPAIR PAVEMENT DETAILS**

NTS

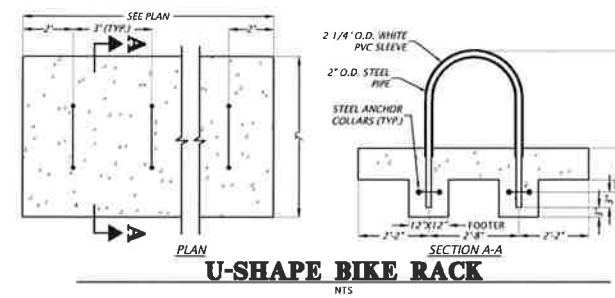
**NOTES:**

1. IN STAGE #1, CONSTRUCT COMPACTED FILL BENEATH THE HAUNCHES OF THE PIPE, USING MECHANICAL TAMPERS SUITABLE FOR THIS PURPOSE. THIS COMPACTION APPLIES TO THE MATERIAL PLACED BENEATH THE HAUNCHES OF THE PIPE AND ABOVE ANY BEDDING.
2. IN STAGE #2, CONSTRUCT COMPACTED FILL ALONG THE SIDES OF THE PIPE AND UP TO THE BOTTOM OF THE BASE, WITH THE UPPER 12" RECEIVING TYPE B STABILIZATION IN LIEU OF TYPE B STABILIZATION, THE CONTRACTOR MAY CONSTRUCT USING OPTIONAL BASE COURSE #3.
3. NEW 8" LIMEROCK BASE SHALL BE COMPACTED TO NOT LESS THAN 96% OF MAX DENSITY AS SPECIFIED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION 200 7.2. THE WIDTH OF THE LIMEROCK BASE SHALL BE THE WIDTH OF THE PIPE TRENCH PLUS 18" ON BOTH SIDES SEE DETAIL.
4. UNLESS OTHERWISE SPECIFIED, MATERIALS AND METHODS OF OPERATION REQUIRED TO INSTALL NEW AND REPLACEMENT PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST APPLICABLE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. PAVEMENT SHALL BE REMOVED TO NEATLY SAWSHED STRAIGHT EDGES.
6. THE TYPE AND THICKNESS OF THE NEW SURFACE MATERIAL SHALL BE CONSISTENT WITH THAT OF THE EXISTING SURFACE, BUT IN ALL CASES SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE PLANS AND SPECIFICATIONS.
7. THE BACKFILLING AND PAVEMENT REPLACEMENT MUST BE DONE IN ACCORDANCE WITH FDOT INDEX 307.
8. PAVEMENT CUTS SHALL HAVE THE ASPHALT SURFACE REPLACED WITHIN 24 HOURS, WITH OPEN CUT RESTORATION PERFORMED IN ACCORDANCE WITH MOST CURRENT EDITION OF FDOT INDEX NO. 307 USING THE FLUABLE FILL OPTION.
9. THE CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED BY CALLING 352-334-5070 PRIOR TO START OF EXCAVATION.



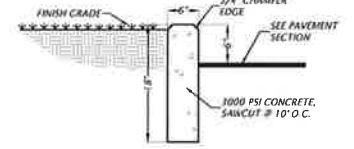
**TYPE III SILT FENCE DETAIL**

NTS



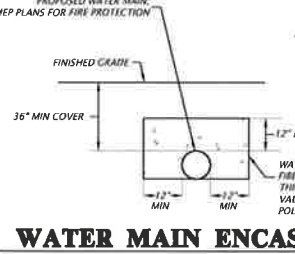
**U-SHAPE BIKE RACK**

NTS



**TYPICAL 6" CURB DETAIL**

NTS



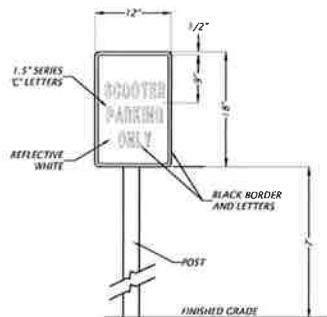
**WATER MAIN ENCASEMENT**

NTS



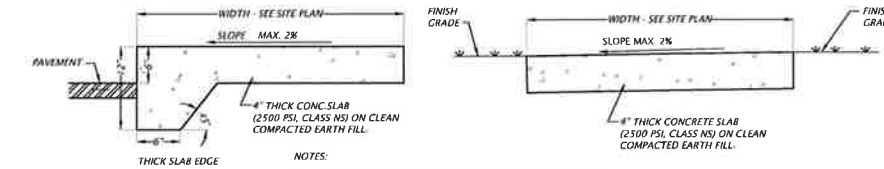
**BICYCLE PARKING SIGN**

NTS



**SCOOTER PARKING SIGN DETAIL**

NTS



**ADJACENT TO PAVEMENT**

NTS

**NOT ADJACENT TO PAVEMENT**

NTS

**CONCRETE SIDEWALK DETAILS**

NTS

- NOTES:**
1. SAWCUT CONTROL JOINTS SHALL BE CONSTRUCTED 5 FEET ON CENTER.
  2. EXPANSION JOINTS WITH PREFORMED JOINT FILLER SHALL BE CONSTRUCTED BETWEEN ALL FIXED OBJECTS AND WALK AND AT CONSTRUCTION JOINTS.

132 NW 78th Drive  
Gainesville, FL 32609  
(352) 331-1578 / (352) 331-5476  
www.chw-inc.com

**CHW**  
Professional Consultants

SCALE: 1/4" = 1'-0"  
VERIFY SCALE ON ORIGINAL DRAWING  
DATE: 03/14/19  
BY: J. THOMAS  
CHECKED: H. SHON

CLIENT: THE BENTON GROUP  
PROJECT: INCEPTION  
SHEET FILE: CONSTRUCTION DETAILS  
PROJECT NUMBER: 15-0035

DATE: 03/14/19  
BY: J. THOMAS  
CHECKED: H. SHON

CLIENT: THE BENTON GROUP  
PROJECT: INCEPTION  
SHEET FILE: CONSTRUCTION DETAILS  
PROJECT NUMBER: 15-0035

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
DATE: 03/14/19  
BY: J. THOMAS  
CHECKED: H. SHON

CLIENT: THE BENTON GROUP  
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CLIENT: THE BENTON GROUP  
PROJECT: INCEPTION  
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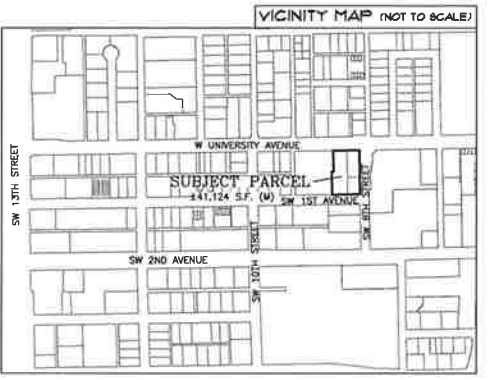
FL PE No. 69101  
SHEET NO. C0.12

# ALTA/ACSM LAND TITLE SURVEY

LOCATED IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST,  
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA

**ZONING RESTRICTIONS: UMU-2**

	NON RESIDENTIAL & VERTICALLY MIXED USE BUILDINGS	SINGLE-FAMILY DWELLINGS	MULTI-FAMILY DWELLINGS, TWO-FAMILY DWELLINGS & BOWLING USES
Lot depth (minimum)	90 feet	90 feet	90 feet
Interior side (minimum)	0 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use map	3 feet except that, where adjoining lots are developed at the same time under single ownership, one side of each lot may have no yard setback if the setback for the adjoining yard is at least 10 feet	7.5 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use map
Reg. (minimum)	0 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use map	10 feet	5 feet, or 25 feet when abutting property designated single-family or residential low-density on the future land use map
Lot coverage (maximum)	N/A	N/A	60%
Building footprint	70% maximum	N/A	70% maximum
Height (maximum)	Within University Heights and the Archer Triangle, N/A	N/A	Within University Heights and the Archer Triangle, 10 stories
Density (minimum)	Within the Urban Village, to be considered mixed use, a residential development must include a minimum of 10,000 square feet of nonresidential use, and a residential development must contain a minimum of 3 residential units.	N/A	Within the Urban Village, to be considered mixed use, single-use multi-family development, 10 duplexes for mixed use developments and additional existing developments
Density (maximum)	Within University Heights and the Archer Triangle, 100 du/acre, or up to 125 du/acre by special use permit.	N/A	Within University Heights and the Archer Triangle, 100 du/acre, or up to 125 du/acre by special use permit.
Height and stories	Within the Urban Village, 100 du/acre by right, or up to 125 du/acre by special use permit, except that 125 du/acre is allowed by right when only structured parking and/or on-street parking is provided (except for handicapped accessible surface parking).	N/A	Within the Urban Village, 100 du/acre by right, or up to 125 du/acre by special use permit, except that 125 du/acre is allowed by right when only structured parking and/or on-street parking is provided (except for handicapped accessible surface parking).
	Non single family buildings shall have a minimum height of 24 feet.		
	A maximum of six stories is permitted by right. Unless otherwise identified, a maximum of eight stories is permitted by special use permit in all areas except the Power District.		
	Within the Urban Village, a maximum of eight stories is permitted by right when only structured and/or on-street parking is provided (except for nonresidential development).		
	Within University Heights, a maximum of three stories is permitted as the building line when located adjacent to residentially zoned properties as depicted in Figure 8.1, with a setback of 15 feet per additional building story up to the maximum permitted.		
	Within the Power District, a maximum of three stories is permitted as the building line when located adjacent to residentially zoned properties as depicted in Figure 8.1, with a setback of 15 feet per additional building story up to the maximum permitted.		



**FLOOD ZONE:**  
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM F.I.R.M. PANEL NO. 12001C0314D, EFFECTIVE DATE: JUNE 16, 2006.

- LEGEND:**
- ID = IDENTIFICATION
  - R/W = RIGHT OF WAY
  - ORB = OFFICIAL RECORDS BOOK
  - PQ = PAGE
  - S.F. = SQUARE FEET
  - (M) = DATA BASED ON FIELD MEASUREMENTS
  - (P) = DATA BASED ON PLAT OF RECORD
  - (CP) = CALCULATED DATA BASED ON PLAT OF RECORD
  - ⊕ = BENCHMARK
  - ⊙ = FOUND DRILL HOLE
  - ⊚ = FOUND REBAR & CAP AS NOTED
  - ⊠ = FOUND NAIL AND DISK (AS NOTED)
  - ⊞ = FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
  - = RIGHT OF WAY LINE

**DESCRIPTION: (PER FURNISHED TITLE COMMITMENT)**

**PARCEL 1:** THE WEST 35 FEET OF LOT 2, THE EAST 45 FEET OF LOT 3, ALL OF LOT 14, AND THE WEST 35 FEET OF LOT 15, INCLUDING THE AREA OF THE ALLEY LYING BETWEEN SAID LOTS TO THE MID POINT OF SAID ALLEY, ALL LYING IN BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

**PARCEL 2:** LOT 1 AND THE EAST 20 FEET OF LOT 2 AND THE NORTH 24 FEET OF THE EAST 20 FEET OF LOT 15 AND THE NORTH 24 FEET OF LOT 16, BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, TOGETHER WITH THE ALLEY LYING ADJACENT THERETO.

**PARCEL 3:** LOT 15 AND ALL OF LOT 16, BLOCK 1, OF UNIVERSITY PLACE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, LESS AND EXCEPT THE NORTH 24 FEET OF SAID LOT 16 AND LESS AND EXCEPT THE NORTH 24 FEET OF THE EAST 20 FEET OF SAID LOT 15 AND LESS AND EXCEPT THE WEST 35 FEET OF SAID LOT 15.

**SCHEDULE B-II EXCEPTION: (PER FURNISHED TITLE COMMITMENT)**

**ITEM 9:** THE SUBJECT PARCEL IS SUBJECT TO ALL MATTERS APPEARING ON THE PLAT RECORDED IN PLAT BOOK A, PAGE(S) 77, INCLUDING, BUT NOT LIMITED TO, ANY BUILDING SETBACK LINES AND/OR EASEMENTS LYING WITHIN LOT(S) DESCRIBED IN SCHEDULE "A".

**ITEM 10:** THE SUBJECT PARCEL IS SUBJECT TO THE TERMS AND CONDITIONS OF ANY EXISTING UNRECORDED LEASE(S), AND ALL RIGHTS OF LESSEE(S) AND ANY PARTIES CLAIMING THROUGH THE LESSEE(S) UNDER THE LEASE(S).

**SURVEYOR'S CERTIFICATION:**

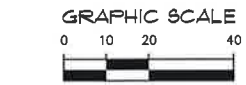
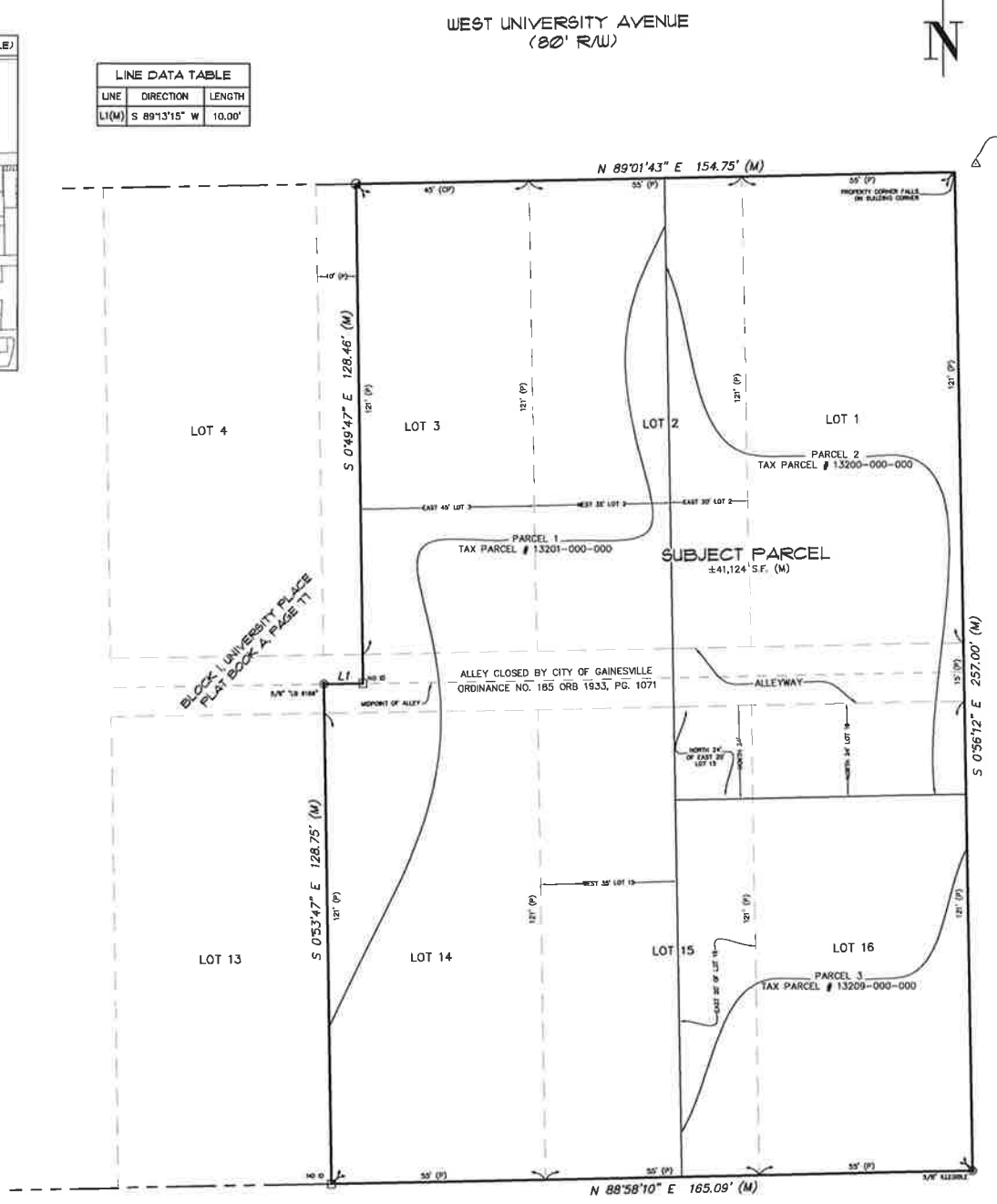
TO THE BENEFIT GROUP: TBO LAND, LLC, AND FIRST AMERICAN TITLE INSURANCE COMPANY; DEAN, MEAD, EGERTON, BLOODWORTH CAPOJANO & BOZARTH, P.A.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(b), 7(d), 8, 9, 10(b), 11(b), 13, 14, 16, 17, 18, 20(c) AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 09, 2015.

AARON H. HICKMAN, P.S.M.  
FLORIDA SURVEYOR & MAPPER  
CERTIFICATE NUMBER 6791  
aaronh@chw-inc.com

DATE OF PLAT OR MAP:

**LINE DATA TABLE**

LINE	DIRECTION	LENGTH
LI(M)	S 89°13'15" W	10.00'



**SITE BENCHMARK**  
FOUND NAIL AND DISK  
STAMPED "LB 5075"  
ELEVATION=165.85'

**SURVEYOR'S NOTES:**

- BEARINGS SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE NORTH GRID NAD 83(1988), TIED TO THE ALACHUA COUNTY DENSIFICATION AND CONTROL NETWORK.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 2037-3133580, DATED SEPTEMBER 22, 2015. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- TREE SIZES SHOWN HEREON ARE IN DIAMETER (MEASURED AT CHEST HEIGHT).
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- THE VERTICAL INFORMATION SHOWN HEREON IS BASED ON NAVD 1988 DATUM PROJECTED FROM A U.S. COAST & GEODETIC SURVEY BENCHMARK #42 (4"x4" CONCRETE MONUMENT WITH BRASS DISK) WITH A PUBLISHED ELEVATION OF 156.701 (N.A.V.D. 1988 DATUM) LOCATED AT THE NORTHWEST CORNER OF S.W. 2nd AVENUE AND S.W. 8th STREET AS SHOWN HEREON.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE\* LAYERS IN THE SUPPLIED DIGITAL FILE.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE THEREOF IN CONJUNCTION WITH UTILITY MAPS, AND FIELD LOCATED PAINT MARKINGS BY GAINESVILLE REGIONAL UTILITIES. THE RELATIVE ACCURACY OF THE UTILITIES LOCATED BASED ON VISIBLE PAINT MARKINGS IS ±24 INCHES OF EITHER SIDE OF THE UTILITY. THE EXCAVATION OF UNDERGROUND UTILITIES HAS NOT BEEN PERFORMED BY THIS SURVEYOR.
- THIS SURVEY CONSISTS OF 2 (TWO) SHEETS TOTAL AND EACH SHEET IS NOT COMPLETE WITHOUT THE OTHER. SEE SHEET 1 FOR DETAILED BOUNDARY INFORMATION. SEE SHEET 2 FOR DETAILED TOPOGRAPHIC INFORMATION.
- THE SUBJECT PROPERTY LIES 0 FEET FROM THE NEAREST INTERSECTION. (THE SUBJECT PROPERTY LIES ON THE SOUTHWEST INTERSECTION OF WEST UNIVERSITY AVENUE AND SW 8TH STREET)
- THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

1320 NW 76th Drive  
Gainesville, FL 32607  
(352) 351-1100  
www.chw-fla.com



SCALE:  
1" = 20'  
VERIFY SCALE  
DATE & ONE COPY ON  
BY ORIGINAL SURVEYOR  
IF NOT ONE WITH IN  
SCALE ACCORDANCE

SEE SURVEYOR'S CERTIFICATION BELOW

DATE:	12/09/2015
REVISION DATE:	
PROJECT NUMBER:	15-0035

AARON H. HICKMAN  
SEE SURVEYOR'S CERTIFICATION BELOW  
Professional Surveyor & Mapper, Fla. License No. 6791

This map prepared by:  
Certificate of Authorization No. LB 5075  
NOT VALID WITHOUT THE SIGNATURE AND  
ORIGINAL BASED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER

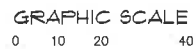


# ALTA/ACSM LAND TITLE SURVEY

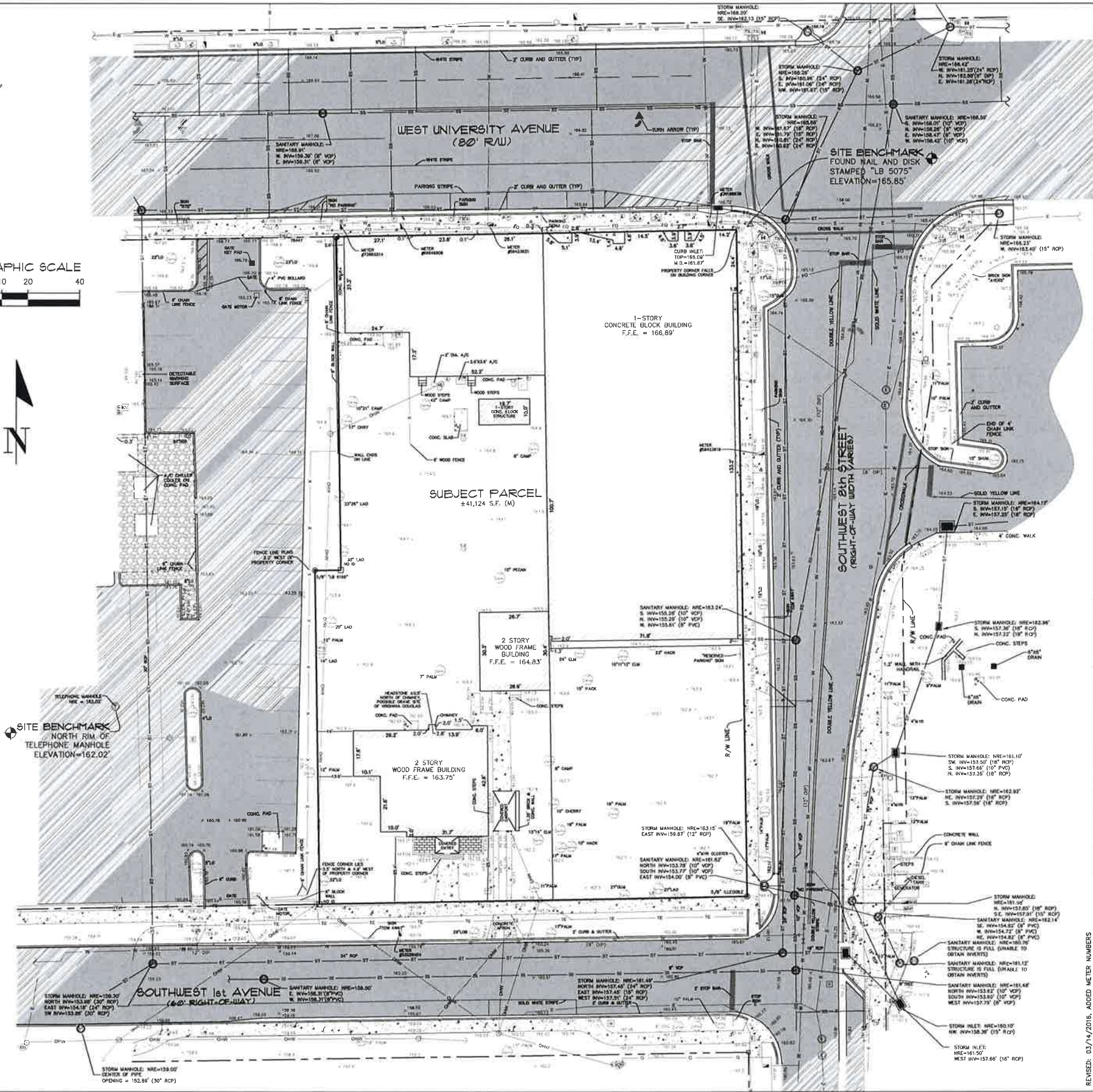
LOCATED IN SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST,  
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA

## LEGEND:

<p>ID = IDENTIFICATION R/W = RIGHT OF WAY S<sup>2</sup> = SQUARE FEET (M) = DATA BASED ON FIELD MEASUREMENTS ORB = OFFICIAL RECORDS BOOK PG = PAGE ELEV = ELEVATION M.D. = MEASURE DOWN INV = INVERT NRE = NORTH RIM ELEVATION SRE = SOUTH RIM ELEVATION WRE = WEST RIM ELEVATION FFE = FINISHED FLOOR ELEVATION A/C = AIR CONDITIONER PVC = POLYVINYL CHLORIDE PIPE RCP = REINFORCED CONCRETE PIPE VCP = VITRIFIED CLAY PIPE DIP = DUCTILE IRON PIPE CMP = CORRUGATED METAL PIPE CIP = CAST IRON PIPE (TYP) = TYPICAL CONC = CONCRETE LAD = LAUREL OAK LO = LIVE OAK DOG = DODGEWOOD MYS = MYRTLE TREE = UNKNOWN SPECIES CAMP = CAMPHOR HACK = HACKBERRY GJM = SWEETGUM</p>	<p>TELEPHONE PEDESTAL TELEPHONE MANHOLE FIBER OPTIC BOX WATER VALVE FIRE HYDRANT WATER METER POST INDICATOR VALVE IRRIGATION CONTROL VALVE BACK FLOW PREVENTER FIRE DEPARTMENT CONNECTION CABLE TELEVISION PEDESTAL SANITARY SEWER MANHOLE STORM SEWER MANHOLE STORM SEWER DROP INLET SEWER VALVE GAS VALVE GAS METER CLEAN OUT SIGN (AS NOTED) BOLLARD HANDICAPPED PARKING SPACE SYMBOL BENCHMARK DESCRIPTOR EMERGENCY PHONE CROSSWALK INDICATOR IRRIGATION CONTROL BOX SIGNAL MAST ARM MAILBOX TREE (SIZE AND TYPE AS NOTED) SPIGOT TELEPHONE JUNCTION BOX TRAFFIC SIGNAL BOX UTILITY POLE WELL SANITARY SEWER CLEANOUT STORM INLET AREA DRAIN BIKE RACK PARKING METER SPOT ELEVATION (GROUND SURFACE) SPOT ELEVATION (HARD SURFACE) FENCE (SIZE AND TYPE AS NOTED) HAND RAIL RIGHT OF WAY LINE UNABLE TO DETERMINE END OF FEATURE</p>
<p>CONCRETE SURFACE ASPHALT SURFACE BRICK SURFACE FOUND DRILL HOLE FOUND REBAR &amp; CAP AS NOTED FOUND NAIL AND DISK (AS NOTED) FOUND 4"x4" CONCRETE MONUMENT (AS NOTED) TRAFFIC SIGNAL BOX WOOD POWER POLE CONCRETE POWER POLE CONCRETE POWER POLE WITH LIGHT LIGHT POLE UTILITY POLE GUY POLE ELECTRIC MANHOLE ELECTRIC MANHOLE ELECTRIC TRANSFORMER GUY ANCHOR ELECTRIC METER ELECTRIC BOX GROUND LIGHT FIXTURE</p>	<p>TELEPHONE PEDESTAL TELEPHONE MANHOLE FIBER OPTIC BOX WATER VALVE FIRE HYDRANT WATER METER POST INDICATOR VALVE IRRIGATION CONTROL VALVE BACK FLOW PREVENTER FIRE DEPARTMENT CONNECTION CABLE TELEVISION PEDESTAL SANITARY SEWER MANHOLE STORM SEWER MANHOLE STORM SEWER DROP INLET SEWER VALVE GAS VALVE GAS METER CLEAN OUT SIGN (AS NOTED) BOLLARD HANDICAPPED PARKING SPACE SYMBOL BENCHMARK DESCRIPTOR EMERGENCY PHONE CROSSWALK INDICATOR IRRIGATION CONTROL BOX SIGNAL MAST ARM MAILBOX TREE (SIZE AND TYPE AS NOTED) SPIGOT TELEPHONE JUNCTION BOX TRAFFIC SIGNAL BOX UTILITY POLE WELL SANITARY SEWER CLEANOUT STORM INLET AREA DRAIN BIKE RACK PARKING METER SPOT ELEVATION (GROUND SURFACE) SPOT ELEVATION (HARD SURFACE) FENCE (SIZE AND TYPE AS NOTED) HAND RAIL RIGHT OF WAY LINE UNABLE TO DETERMINE END OF FEATURE</p>
<p>OVERHEAD WIRES SANITARY SEWER LINE (LATERALS PER FIELD LOCATED PAINT SPOTS) STORM SEWER LINE WATER LINE (PER FIELD LOCATED PAINT SPOTS) GAS LINE (PER FIELD LOCATED PAINT SPOTS) UNDERGROUND ELECTRIC LINE (PER FIELD LOCATED PAINT SPOTS) UNDERGROUND TELEPHONE LINES (PER FIELD LOCATED PAINT SPOTS) UNDERGROUND FIBEROPTIC LINES (PER FIELD LOCATED PAINT SPOTS)</p>	<p>TELEPHONE PEDESTAL TELEPHONE MANHOLE FIBER OPTIC BOX WATER VALVE FIRE HYDRANT WATER METER POST INDICATOR VALVE IRRIGATION CONTROL VALVE BACK FLOW PREVENTER FIRE DEPARTMENT CONNECTION CABLE TELEVISION PEDESTAL SANITARY SEWER MANHOLE STORM SEWER MANHOLE STORM SEWER DROP INLET SEWER VALVE GAS VALVE GAS METER CLEAN OUT SIGN (AS NOTED) BOLLARD HANDICAPPED PARKING SPACE SYMBOL BENCHMARK DESCRIPTOR EMERGENCY PHONE CROSSWALK INDICATOR IRRIGATION CONTROL BOX SIGNAL MAST ARM MAILBOX TREE (SIZE AND TYPE AS NOTED) SPIGOT TELEPHONE JUNCTION BOX TRAFFIC SIGNAL BOX UTILITY POLE WELL SANITARY SEWER CLEANOUT STORM INLET AREA DRAIN BIKE RACK PARKING METER SPOT ELEVATION (GROUND SURFACE) SPOT ELEVATION (HARD SURFACE) FENCE (SIZE AND TYPE AS NOTED) HAND RAIL RIGHT OF WAY LINE UNABLE TO DETERMINE END OF FEATURE</p>



SITE BENCHMARK  
NORTH RIM OF  
TELEPHONE MANHOLE  
ELEVATION=162.02'



## SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE NORTH GRID NAD 83(1986), TIED TO THE ALACHUA COUNTY DENSIFICATION AND CONTROL NETWORK.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 2037-3133580, DATED SEPTEMBER 22, 2015. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- TREE SIZES SHOWN HEREON ARE IN DIAMETER (MEASURED AT CHEST HEIGHT).
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
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- THE VERTICAL INFORMATION SHOWN HEREON IS BASED ON NAVD 1988 DATUM PROJECTED FROM A U.S. COAST & GEODETIC SURVEY BENCHMARK #42 (4"x4" CONCRETE MONUMENT WITH BRASS DISK) WITH A PUBLISHED ELEVATION OF 156.701 (N.A.V.D. 1988 DATUM) LOCATED AT THE NORTHWEST CORNER OF S.W. 2nd AVENUE AND S.W. 8th STREET AS SHOWN HEREON.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE\* LAYERS IN THE SUPPLIED DIGITAL FILE.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE THEREOF IN CONJUNCTION WITH UTILITY MAPS, AND FIELD LOCATED PAINT MARKINGS BY GAINESVILLE REGIONAL UTILITIES. THE RELATIVE ACCURACY OF THE UTILITIES LOCATED BASED ON VISIBLE PAINT MARKINGS IS 1/4 INCHES OF EITHER SIDE OF THE UTILITY. THE EXCAVATION OF UNDERGROUND UTILITIES HAS NOT BEEN PERFORMED BY THIS SURVEYOR.
- THIS SURVEY CONSISTS OF 2 (TWO) SHEETS TOTAL AND EACH SHEET IS NOT COMPLETE WITHOUT THE OTHER. SEE SHEET 1 FOR DETAILED BOUNDARY INFORMATION. SEE SHEET 2 FOR DETAILED TOPOGRAPHIC INFORMATION.
- THE SUBJECT PROPERTY LIES 0 FEET FROM THE NEAREST INTERSECTION. (THE SUBJECT PROPERTY LIES ON THE SOUTHWEST INTERSECTION OF WEST UNIVERSITY AVENUE AND SW 8th STREET)
- THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

132 NW 76th Drive  
Gainesville, FL 32609  
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CHW  
Professional Consultants

SEE SURVEYOR'S CERTIFICATION ON SHEET 1 OF 2

15-0035

12/09/2015

AARON H. HICKMAN

15-0035

03/14/2016, ADDED METER NUMBERS

This map prepared by:  
Certificate of Authorization No. LB 5075  
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

2 OF 2



**I. INTRODUCTION**

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62 621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGE OF STORMWATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF FDEP DOCUMENT NO. 62 621.300(4)(a). FDEP FORM 62 621.300(4)(b) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

**II. SITE DESCRIPTION**

COUNTY: ALACHUA COUNTY, FLORIDA  
SECTION: TOWNSHIP RANGE 20 EAST  
SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST  
COUNTY PARCEL NO. 13201 000 000, 13200 000 000, 13209 000 000  
STREET ADDRESS: 805-819 WEST UNIVERSITY AVE.  
PROJECT AREA: ±0.94 ACRES  
SITE LOCATION MAP: SEE COVER SHEET OF CONSTRUCTION DRAWINGS

**A. NATURE OF CONSTRUCTION ACTIVITY**

THE PROPOSED DEVELOPMENT IS A MIXED USE MULTI-STORY BUILDING WITH ±110 DWELLING UNITS, ±4,000 SF OF NON-RESIDENTIAL GROUND LEVEL RETAIL, ASSOCIATED HARDSCAPE, AND UTILITIES, SERVED BY AN INTERNAL PARKING STRUCTURE AND STORM WATER FACILITIES. THE PROJECT SITE IS LOCATED AT WEST UNIVERSITY AVE. AND SW 6TH STREET, GAINESVILLE FLORIDA. THE PROJECT SITE TOTAL AREA IS APPROXIMATELY 0.94 ACRES.

**B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES**

- 1. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SWALE AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH FDOT INDEX NO. 102 AND THESE PLANS.
- 2. THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF SEDIMENTS.
- 3. ONLY THE AREA COMPRISING THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHALL BE CLEARED AND GRUBBED OF UNWANTED VEGETATION.
- 4. THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED.
- 5. IF SUITABLE, THE EXCAVATED SOIL FROM THE FACILITIES MAY BE USED AS FILL FOR ON-SITE GRADING THAT IS DEPICTED IN THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL ON-SITE OR OFF-SITE TO A PERMITTED LOCATION.
- 6. THE REMAINING PORTION OF THE SITE THAT IS TREATED BY THE CONSTRUCTED STORMWATER MANAGEMENT FACILITIES SHALL BE CLEARED AND GRUBBED.
- 7. THE PERMANENT ROADWAYS/DRIVEWAYS SHALL BE ROUGHLY GRADED.
- 8. THE UNDERGROUND UTILITIES INFRASTRUCTURE AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DE-WATERING (PUMPED) SHALL BE DIVERTED TO THE ASSOCIATED STORMWATER MANAGEMENT FACILITIES.
- 9. THE PERMANENT ROADWAY/DRIVEWAY SUBGRADE SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN FOLLOWED BY AN OVERLAY OF ASPHALT.
- 10. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER PIPING SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
- 11. UPON COMPLETION OF THE DEBRIS AND SEDIMENT REMOVAL FROM THE STORMWATER PIPING SYSTEM, THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHALL BE FINE GRADED AND BE EXCAVATED A MINIMUM OF THREE FEET BELOW THE DESIGN BOTTOM ELEVATION AND REPLACED WITH FILL HAVING A MINIMUM PERMEABILITY RATE OF 20 FEET/DAY WITH A MINIMUM OF 10% SOIL FINES PASSING THE NO. 200 SIEVE. THE BOTTOM SHALL BE SCARRED AND STABILIZED ACCORDING TO THESE PLANS. ONCE COMPLETED, NO HEAVY MACHINERY SHALL BE ALLOWED WITHIN THE STORMWATER MANAGEMENT FACILITIES.
- 12. ALL REMAINING DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSSED AND/OR LANDSCAPED ACCORDING TO THESE PLANS. TURF ESTABLISHMENT SHALL BE PER FDOT STANDARD SPECIFICATIONS SECTION 570. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

**C. SITE DEVELOPMENT DATA:**

Table with 2 columns: Description and Value. Rows include: TOTAL PROJECT SITE AREA (0.94 ACRES), TOTAL SITE AREA TO BE DISTURBED (0.94 ACRES), TOTAL IMPERVIOUS AREA (AS SHOWN IN CONSTRUCTION DRAWINGS) (0.80 ACRES), TOTAL RETENTION VOLUME (0.21 ACRE-Feet), TOTAL OPEN AREA (0.15 ACRES).

**D. SOIL CONDITIONS AND STORMWATER QUALITY**

THE NRCS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPRISED OF MANNAHA SAND AND URBAN LAND. GSE, INC. CONDUCTED A GEOTECHNICAL EXPLORATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITIES LOCATION IN APRIL OF 2015. THE INVESTIGATION REVEALED THAT THE PROJECT SITE'S SURFACE SOILS HAVE THE FOLLOWING CHARACTERISTICS:

Table with 2 columns: Property and Value. Rows include: DEPTH TO EFFECTIVE OR MOBILIZED AQUIFER (16 FEET BLS), DEPTH OF SEASONAL HIGH WATER TABLE (7 FEET), HORIZONTAL HYDRAULIC CONDUCTIVITY (28 FEET/DAY), UNSATURATED VERTICAL INFILTRATION (18 FEET/DAY), SPECIFIC YIELD (FIELDABLE POROSITY) (10%).

DESIGN PERCOLATION RATES FOR THE STORMWATER MANAGEMENT FACILITIES WERE DETERMINED BASED ON LABORATORY PERMEABILITY TEST RESULTS FROM BORING SAMPLES TAKEN IN THE LOCATION OF THE STORMWATER MANAGEMENT FACILITIES.

THE STORMWATER MANAGEMENT FACILITIES WAS DESIGNED TO PROVIDE RATE CONTROL OF THE STORMWATER RUNOFF RESULTING FROM THE POST-DEVELOPMENT SITE UNDER 100 YEAR CRITICAL STORM EVENT, 25-YEAR 24 HOUR STORM EVENT, AND MEAN ANNUAL STORM EVENT RAINFALL CONDITIONS. THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) DEPICTS THE POST DEVELOPMENT WATERSHED(S) LIMITS AND THE TABLE BELOW SUMMARIZES EACH WATERSHED.

WATER QUALITY TREATMENT CREDITS ARE USED TO SATISFY WATER QUALITY TREATMENT VOLUME (WQTV) REQUIREMENTS OF 0.84 AC OF THE SITE. THE WQTV REQUIRED BY THE REMAINING 0.10 AC OF SITE IS PROVIDED IN THE STORMWATER MANAGEMENT FACILITY.

Table with 7 columns: WATERSHED ID, POST DEVELOPMENT AREA (ACRES), POST DEVELOPMENT RUNOFF FACTOR (CN), POST DEVELOPMENT IMPERVIOUS AREA (ACRES), STORMWATER MANAGEMENT FACILITY TYPE, FACILITY DETENTION CAPACITY (ACRE-Feet), 100-YEAR FLOOD ELEVATION (FT). Row 1: 1, 0.94, 89, 0.80, DRY RETENTION, 0.21, 165.53.

**E. SITE MAP**

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS.

**F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY**

THE STORMWATER MANAGEMENT FACILITY IS A PARTIALLY ABOVE GROUND, PARTIALLY UNDERGROUND DRY RETENTION SYSTEM. THE SITE DISCHARGES TO THE TUMBLIN CREEK DRAINAGE BASIN.

**III. CONTROLS TO REDUCE POLLUTION**

AS OUTLINED IN THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED OTHER THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES. THESE MEASURES MUST BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS. THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) AND SECTION IV BELOW PROVIDE DETAILS ON THE SPECIFIC CONTROL MEASURES TO REDUCE STORMWATER POLLUTION.

**IV. EROSION AND SEDIMENT CONTROLS**

**A. STABILIZATION PRACTICES**

EXISTING TREES AND NATURAL VEGETATION TO REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE RUNOFF AND AS SPECIFICALLY DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED. AS SPECIFIED IN SECTION II.B. ABOVE, UPON COMPLETION OF CONSTRUCTION, ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SCARRED CLEAN OF ACCUMULATED SEDIMENT AFTER THE COMPLETION OF CONSTRUCTION. ALL TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.

**B. STRUCTURE PRACTICES**

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), A STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED AND WILL BE COMPRISED OF A UNDERGROUND/ABOVE GROUND DRY RETENTION FACILITY AND A STORM PIPE CONVEYANCE SYSTEM. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS. ALL EXISTING AND PROPOSED STORM DRAINS AND DRAINAGE SWALES SHALL BE PROTECTED ACCORDING TO FDOT INDEX NO. 102 OR PER DETAILS PROVIDED ON SHEET CO.21 UNTIL CONSTRUCTION IS COMPLETE. THE STORM PIPE CONVEYANCE SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

**C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES**

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES", THE SMF(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRUBBING OUTSIDE OF THE SMF(S) AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEM IS APPROXIMATELY 0.94 ACRES AND WILL CONSIST OF APPROXIMATELY 0.94 ACRES OF DISTURBED CONSTRUCTION AREA. THEREFORE, NO ADDITIONAL SEDIMENT TRAP BASINS ARE NECESSARY TO PROVIDE SEDIMENT STORAGE ON-SITE DURING CONSTRUCTION. AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL PREVENT OFF-SITE EROSION DURING CONSTRUCTION. SILT FENCES OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT SIDE SLOPE AND DOWNSLOPE BOUNDARIES, INLET LOCATIONS, OUTLET LOCATIONS, AND OTHER LOCATIONS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN, AS REQUIRED, BY COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS AND LANDSCAPING AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

**D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES**

NOT APPLICABLE, SEE SECTION C. ABOVE.

**V. STORMWATER MANAGEMENT**

**A. BEST MANAGEMENT PRACTICES**

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE INCLUDED CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY, THE PROPOSED SMF(S) SHALL BE MONITORED REGULARLY IN THE SPECIFIED AREAS, STORM PIPES AND STRUCTURES WILL BE INSPECTED SEMI-ANNUALLY AND CLEANED ANNUALLY, SMF(S) SIDE SLOPES SHALL BE MAINTAINED TO PREVENT EROSION, AND LANDSCAPING AND GRASS THAT PREVENTS EROSION SHALL BE MAINTAINED. ADDITIONALLY, REMEDIAL ACTIONS SHALL BE TAKEN SHOULD THE SMF(S) NOT PERFORM AS DESIGNED.

**B. VEGETATED SWALES**

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING. SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS, AS REQUIRED.

**C. VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS**

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

**VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS**

**A. WASTE DISPOSAL**

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

**B. DUST CONTROL**

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS(S).

**C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS**

THERE ARE PROPOSED SANITARY SEWER AND POTABLE WATER SYSTEMS LOCATED ON THE PROJECT SITE. EXTENSION AND UPGRADES ARE PROPOSED. IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

**D. FERTILIZER & PESTICIDES**

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FDOT INDEX NO. 104, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION. APPLICATION RATES FOR THE FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO GUARD AGAINST OVER-USE, WHICH CAN LEAD TO VIOLATIONS OF STATE WATER QUALITY STANDARDS.

**E. TOXIC MATERIAL**

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. IN ADDITION, THE SITE SHALL BE IN COMPLIANCE WITH THE MORE STRINGENT ALACHUA COUNTY HAZARDOUS MATERIALS MANAGEMENT CODE, WHICH ADDRESSES STORAGE AND USE OF TOXIC MATERIALS LESS IN VOLUME THAN THE STATE THRESHOLD REQUIREMENTS.

**VII. APPROVED STATE AND LOCAL PLANS**

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:

- GAINESVILLE REGIONAL UTILITIES
- ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
- CITY OF GAINESVILLE

**VIII. CONSTRUCTION ACTIVITY DISCHARGES**

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

**IX. CHANGES TO THE POLLUTION PREVENTION PLAN**

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN, WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES. AMENDMENTS TO THE PLAN SHALL BE PREPARED, SIGNED, DATED, AND KEPT AS ATTACHMENTS TO THE ORIGINAL PLAN.

**X. ALTERNATIVE PERMIT REQUIREMENTS**

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

**XI. MAINTENANCE**

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE TIMES MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE SMF(S) DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. UPON FINAL COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY BOTH THE COUNTY AND OWNER, THE OPERATION AND MAINTENANCE ENTITY WILL BE COMMUNITY ASSOCIATION FOR XXXXX, INC.

**XII. INSPECTIONS**

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR IN MS4, A QUALIFIED INSPECTOR PROVIDED BY THE OPERATOR SHALL PERFORM THE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS 0.50 INCHES OR GREATER. LOCATIONS WHERE THE SITE IS COMPLETELY CONSTRUCTED AND STABILIZED, SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH. ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM, A COPY OF WHICH IS PROVIDED ON THIS SHEET. MORE SPECIFICALLY, THE INSPECTION SHALL ENSURE THE FOLLOWING CATEGORIES:

**A. DISTURBED AREAS**

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

**B. MAINTENANCE PERFORMANCE**

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

**C. REPORTING REQUIREMENTS**

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM, A COPY OF WHICH IS PROVIDED ON THIS SHEET. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INDICATORS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN. IF NO INCIDENTS OF NON-COMPLIANCE ARE OBSERVED, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE ASSOCIATED PERMIT.

**XIII. NON-STORMWATER DISCHARGES**

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

**XIV. CONTRACTORS CERTIFICATION**

THE CONTRACTORS OR SUB CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

**XV. RETENTION OF RECORDS**

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

**XVI. NOTICE OF TERMINATION**

NOTICE OF TERMINATION:

- 1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62 621.300(6)), SIGNED IN ACCORDANCE WITH PART VI.C OF DEP DOCUMENT NO. 62 621.300(6), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT.
- 2. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME, OR THAT ALL STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE THAT ARE AUTHORIZED BY THIS GENERIC PERMIT HAVE OTHERWISE BEEN ELIMINATED.
- 3. FOR CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES, THE EXISTING OPERATOR SHALL FILE AN N.O.T. IN ACCORDANCE WITH THIS PART WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.

THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS# 2510  
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION  
2600 BLAIR STONE ROAD  
TALLAHASSEE, FLORIDA 32399-2400

PROJECTS THAT DISCHARGED STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

Responsible Authority Certification form. Includes fields for Name (Responsible Authority) and Date.

Contractor/Subcontractor Certification Statement form. Includes fields for Name, Title, Address, and Date.

Stormwater Pollution Prevention Plan Inspection Report form. Includes fields for Inspector, Date, Time, and a table for Stabilization Measures.

Structural Controls form. Includes a table for Location/Type, Condition, and Maintenance Required.

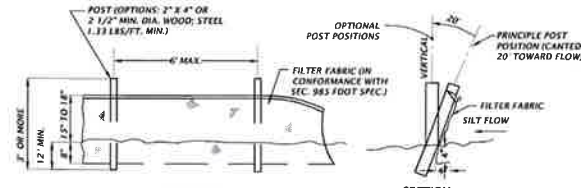
Other Control form. Includes a table for Condition (Good, Fair, Poor) and fields for Recommended Actions.

Inspector Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

The above signature shall certify that the facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

Vertical sidebar containing project information, scales, and drawing title. Includes: 100 ANY 70th Cycle Gainesville, Florida 32607 (352) 331-1976 / (352) 331-2476 www.dfwpr.com. CHM Professional Consulting. SCALE: 1/4". DRAWING NO. 03/14/16 - COO, GRU, AND SURFNO. SHEET NO. 13-005. PROJECT: THE BENTON GROUP. SHEET TITLE: STORMWATER POLLUTION PREVENTION NOTES. DRAWN BY: WALTER JARVIS. DATE: 11-20-15. PL. PE. No. 69101. SHEET NO. C0.20.

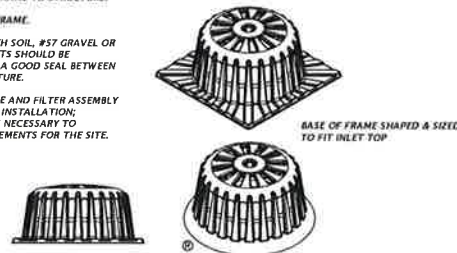




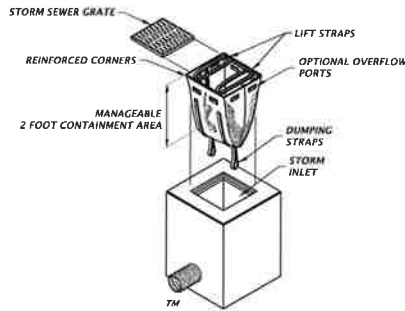
**TYPE III SILT FENCE DETAIL**  
NTS

TYPICAL INSTALLATION SEQUENCE FOR SILT-SAVER FRAME AND FILTER

1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
3. SLIDE THE FILTER OVER THE FRAME.
4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.



**SILT-SAVER DETAIL**  
NTS



INSTALLATION:

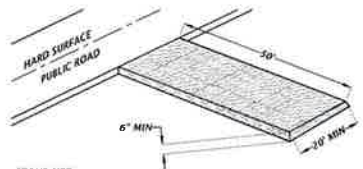
REMOVE THE GRATE FROM INLET. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE:

REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

**DANDY SACK DETAIL**  
NTS

- NOTE:
1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.
  2. TOP DRESSING WITH 2" STONE MAY BE REQ'D AS DETERMINED BY THE USE AND FUNCTION OF THE SYSTEM.



STONE SIZE:  
ASTM D448 SIZE #1 (1-1/2" TO 3-1/2" DIA)  
STANDARD CONSTRUCTION EXIT

**TEMPORARY CONSTRUCTION EXIT DETAIL**  
NTS

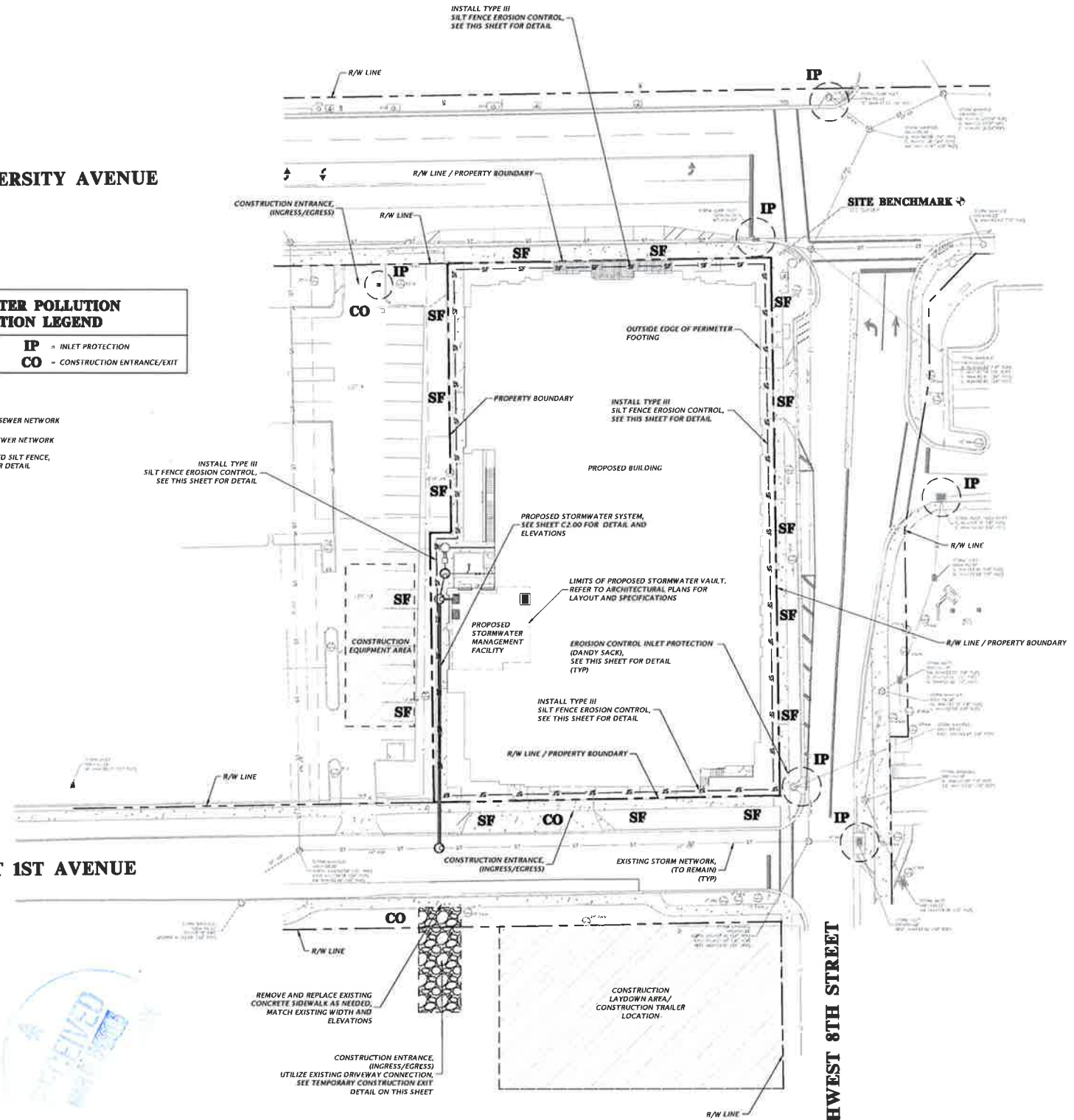
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**STORMWATER POLLUTION PREVENTION LEGEND**

**SD** = SOD STABILIZATION      **IP** = INLET PROTECTION  
**SF** = SILT BARRIER          **CO** = CONSTRUCTION ENTRANCE/EXIT

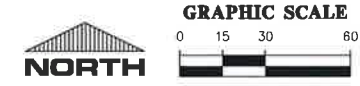
LEGEND:

- PROPOSED STORM SEWER NETWORK
- EXISTING STORM SEWER NETWORK
- LIMITS OF PROPOSED SILT FENCE, SEE THIS SHEET FOR DETAIL



**SOUTHWEST 1ST AVENUE**

**SOUTHWEST 8TH STREET**



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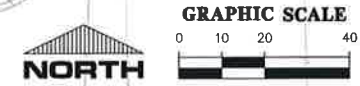
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02/14/18 - COO AND GRILL

CLIENT:	THE BENOIT GROUP
PROJECT:	INCEPTION
DRAWN BY:	J. THOMAS
CHECKED BY:	H. SIMON
DATE:	12-00-15
SHEET NO.:	19-0035

FL PE No. 69101  
SHEET NO. C0.21

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

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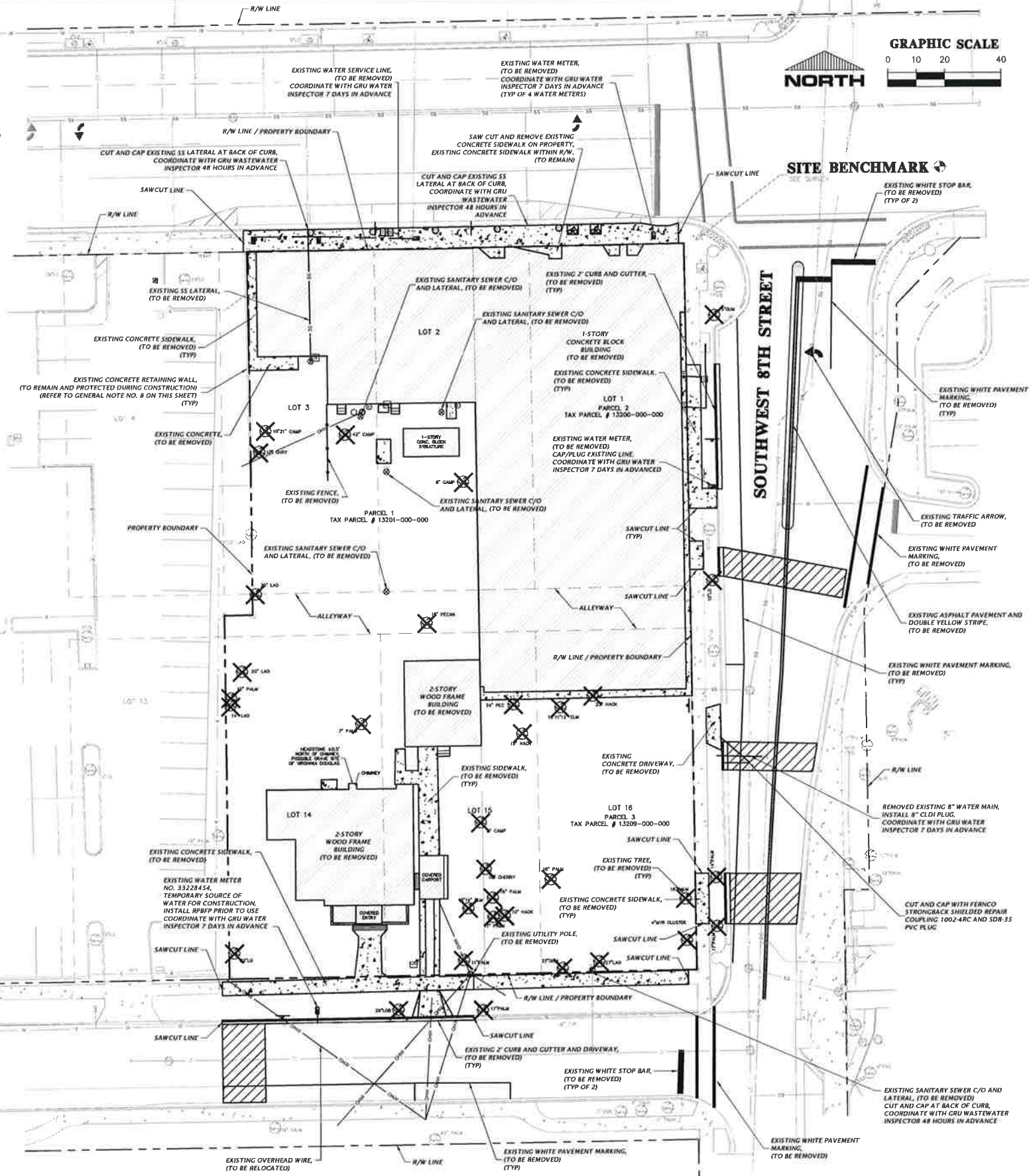


**GENERAL NOTES:**

1. ALL EXISTING ON-SITE UTILITIES, PAVEMENT, CONCRETE, HARDSCAPE, AND BUILDINGS SHALL BE REMOVED, AS SHOWN EITHER AS HATCHED OR DARKENED.
2. CONTRACTOR SHALL INSTALL TREE BARRICADES AND EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK IN LOCATIONS DEPICTED.
3. CONTRACTOR SHALL USE EXTREME CAUTION AROUND EXISTING TREES TO REMAIN. ANY TREES DAMAGED DURING CONSTRUCTION WITHIN THE TREE BARRICADE LIMITS WILL BE MITIGATED PER THE CITY'S CODE AND AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL CONTACT 811 SUNSHINE STATE ONE CALL TWO (2) BUSINESS DAYS PRIOR TO ANY SITE WORK.
5. FOR TREE SIZE AND TYPE REFER TO SURVEY SHEETS.
6. ONLY TREES DEPICTED TO BE REMOVED ARE TO BE REMOVED DURING CONSTRUCTION OF THE DEVELOPMENT.
7. CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO ANY DEMOLITION OR RELOCATION OF ALL EXISTING UTILITIES.
8. REMOVAL OF STUMPS MUST BE CONDUCTED IN A MANNER THAT DOES NOT DISTURB THE EXISTING RETAINING WALL/CURB ON THE ADJACENT PROPERTY. UPON REMOVAL OF TREES AND STUMPS THE GRADE ALONG THE RETAINING WALL/CURB MUST BE STABILIZED WITH SUITABLE FILL AND COMPACTED PRIOR TO CONSTRUCTION SITE IMPROVEMENTS. ANY DAMAGES TO THE RETAINING WALL/CURB OR OTHER IMPROVEMENTS ON THE ADJACENT PROPERTY THAT OCCUR DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR CAUSING THE DAMAGE TO REMEDIATE AT ITS EXPENSE.

**LEGEND:**

-  EXISTING TREE, (TO BE REMOVED)
-  EXISTING BUILDING/STRUCTURE, (TO BE REMOVED)
-  EXISTING CONCRETE, (TO BE REMOVED)
-  LIMITS OF OPEN CUT AND REPAIR OF EXISTING PAVEMENT, SEE SHEET CO.12 FOR DETAIL



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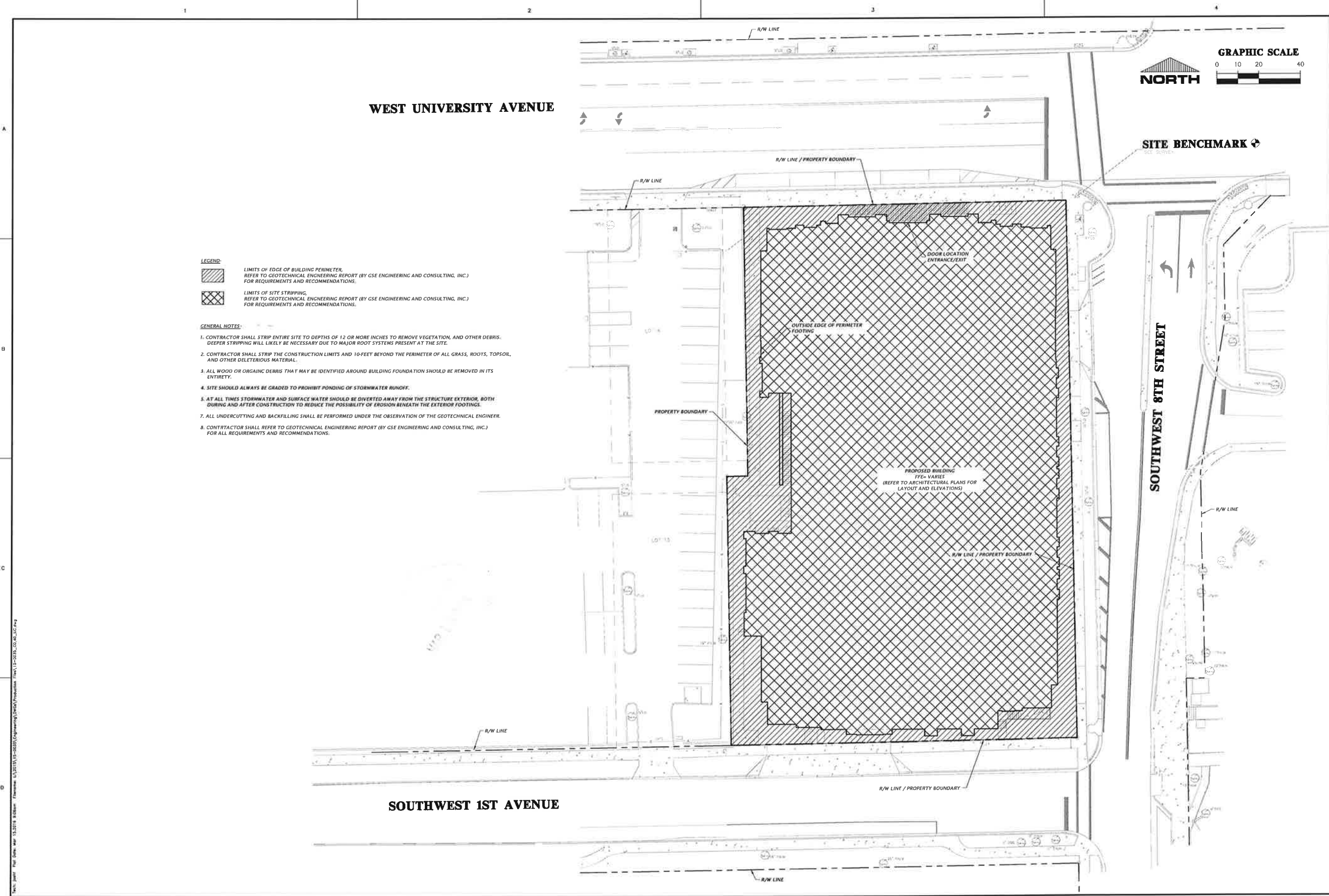
DATE: 03/02/18  
BY: CCG, GRU, AND SJR/MD  
CHECKED: 03/14/18 - CCG AND GRU

THE BIDDING GROUP: INCEPTION  
PROJECT: DEMOLITION PLAN


DESIGNED BY: J. THOMAS  
CHECKED BY: J. THOMAS  
PROJECT NUMBER: 15-0035  
WALTER JARVIS


FL DE No. 69101  
SHEET NO. CO.30





**LEGEND:**

 LIMITS OF EDGE OF BUILDING PERIMETER. REFER TO GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR REQUIREMENTS AND RECOMMENDATIONS.

 LIMITS OF SITE STRIPPING. REFER TO GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR REQUIREMENTS AND RECOMMENDATIONS.

- GENERAL NOTES:**
1. CONTRACTOR SHALL STRIP ENTIRE SITE TO DEPTHS OF 12 OR MORE INCHES TO REMOVE VEGETATION, AND OTHER DEBRIS. DEEPER STRIPPING WILL LIKELY BE NECESSARY DUE TO MAJOR ROOT SYSTEMS PRESENT AT THE SITE.
  2. CONTRACTOR SHALL STRIP THE CONSTRUCTION LIMITS AND 10-FEET BEYOND THE PERIMETER OF ALL GRASS, ROOTS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
  3. ALL WOOD OR ORGANIC DEBRIS THAT MAY BE IDENTIFIED AROUND BUILDING FOUNDATION SHOULD BE REMOVED IN ITS ENTIRETY.
  4. SITE SHOULD ALWAYS BE GRADED TO PROHIBIT PONDING OF STORMWATER RUNOFF.
  5. AT ALL TIMES STORMWATER AND SURFACE WATER SHOULD BE DIVERTED AWAY FROM THE STRUCTURE EXTERIOR, BOTH DURING AND AFTER CONSTRUCTION TO REDUCE THE POSSIBILITY OF EROSION BENEATH THE EXTERIOR FOOTINGS.
  7. ALL UNDERCUTTING AND BACKFILLING SHALL BE PERFORMED UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
  8. CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR ALL REQUIREMENTS AND RECOMMENDATIONS.

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CLIENT: THE BENTON GROUP	PROJECT: INCEPTION
SHEET TITLE: SITE REMEDIATION AND DEBRIS REMOVAL PLAN	PROJECT NUMBER: 15-0035
DESIGNER: J. THOMAS CHECKED BY: J. THOMAS QUANTITY CONTROL: H. SIMON	APPROVED BY: WALTER JARVIS
FL PE No. 69101 SHEET NO.: <b>C0.40</b>	

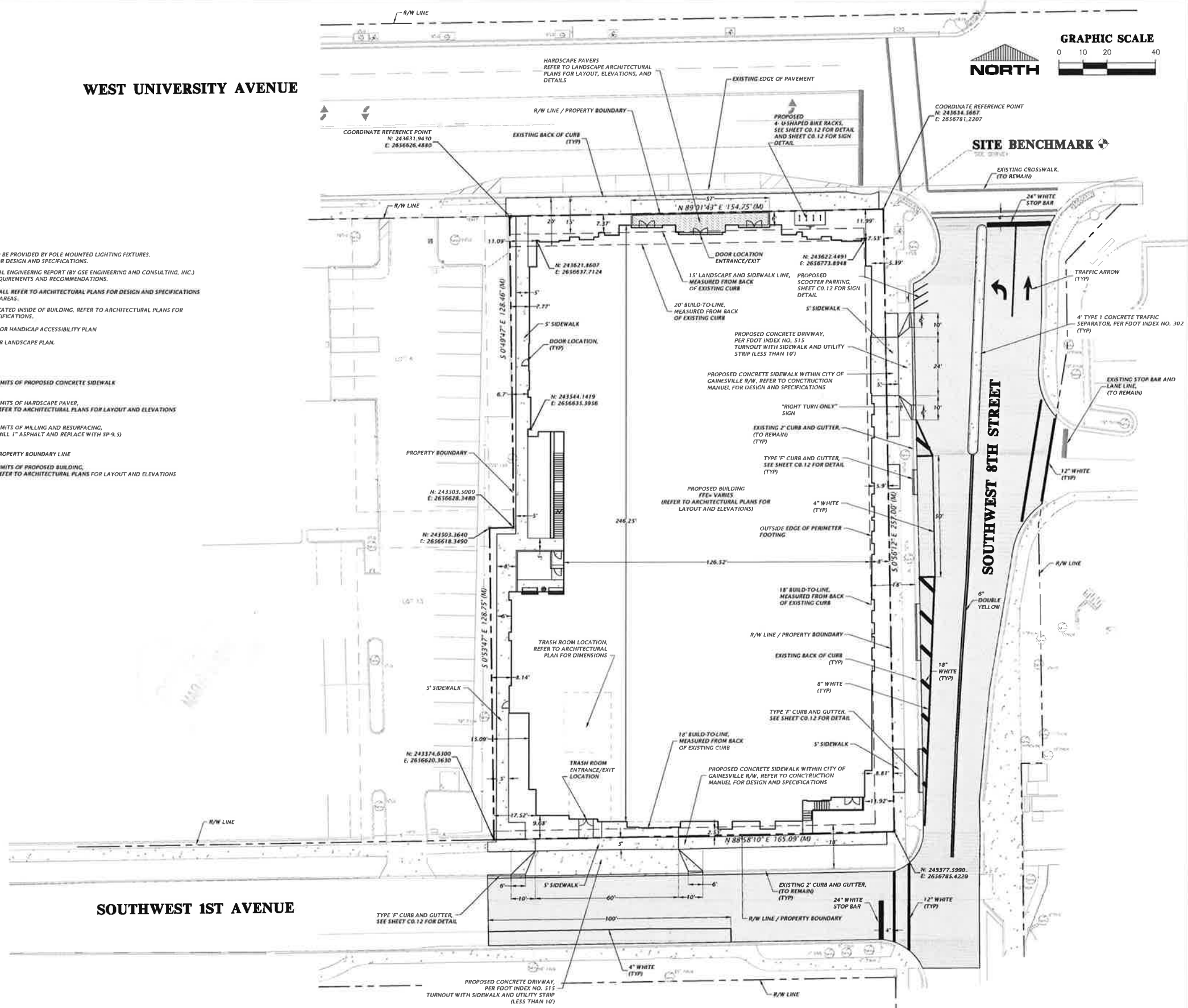
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**SOUTHWEST 1ST AVENUE**



- GENERAL NOTES:**
- SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHTING FIXTURES. SEE SHEET E-1 FOR DESIGN AND SPECIFICATIONS.
  - SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DESIGN AND SPECIFICATIONS FOR HARDSCAPE AREAS.
  - TRASH ROOM LOCATED INSIDE OF BUILDING. REFER TO ARCHITECTURAL PLANS FOR DESIGN AND SPECIFICATIONS.
  - REFER TO C1.20 FOR HANDICAP ACCESSIBILITY PLAN.
  - REFER TO LS-1 FOR LANDSCAPE PLAN.
- LEGEND:**
- LIMITS OF PROPOSED CONCRETE SIDEWALK
  - LIMITS OF HARDSCAPE PAVEMENT. REFER TO ARCHITECTURAL PLANS FOR LAYOUT AND ELEVATIONS
  - LIMITS OF MILLING AND RESURFACING, (MILL 1" ASPHALT AND REPLACE WITH SP-9.5)
  - PROPERTY BOUNDARY LINE
  - LIMITS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR LAYOUT AND ELEVATIONS



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REVISIONS:

NO. 02	DATE 02/02/16	DESCRIPTION CDD, CRU AND SPRING
NO. 03	DATE 02/14/16	DESCRIPTION CDD AND CRU

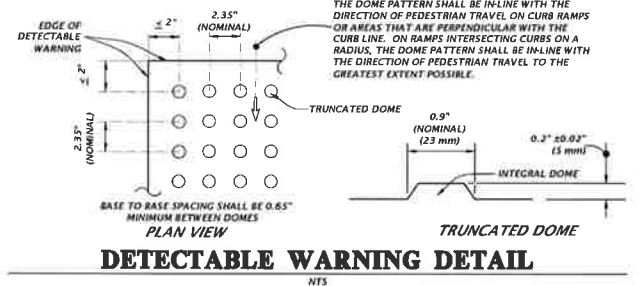
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PROJECT: INCEPTION  
SHEET TITLE: DEVELOPMENT PLAN AND SHEET CONTROL AND SITE HORIZONTAL CONTROL AND SITE PLAN  
PROJECT NUMBER: 15-0035

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
QUALITY CONTROL: H. SIMON  
PROJECT MANAGER: WALTER JARVIS

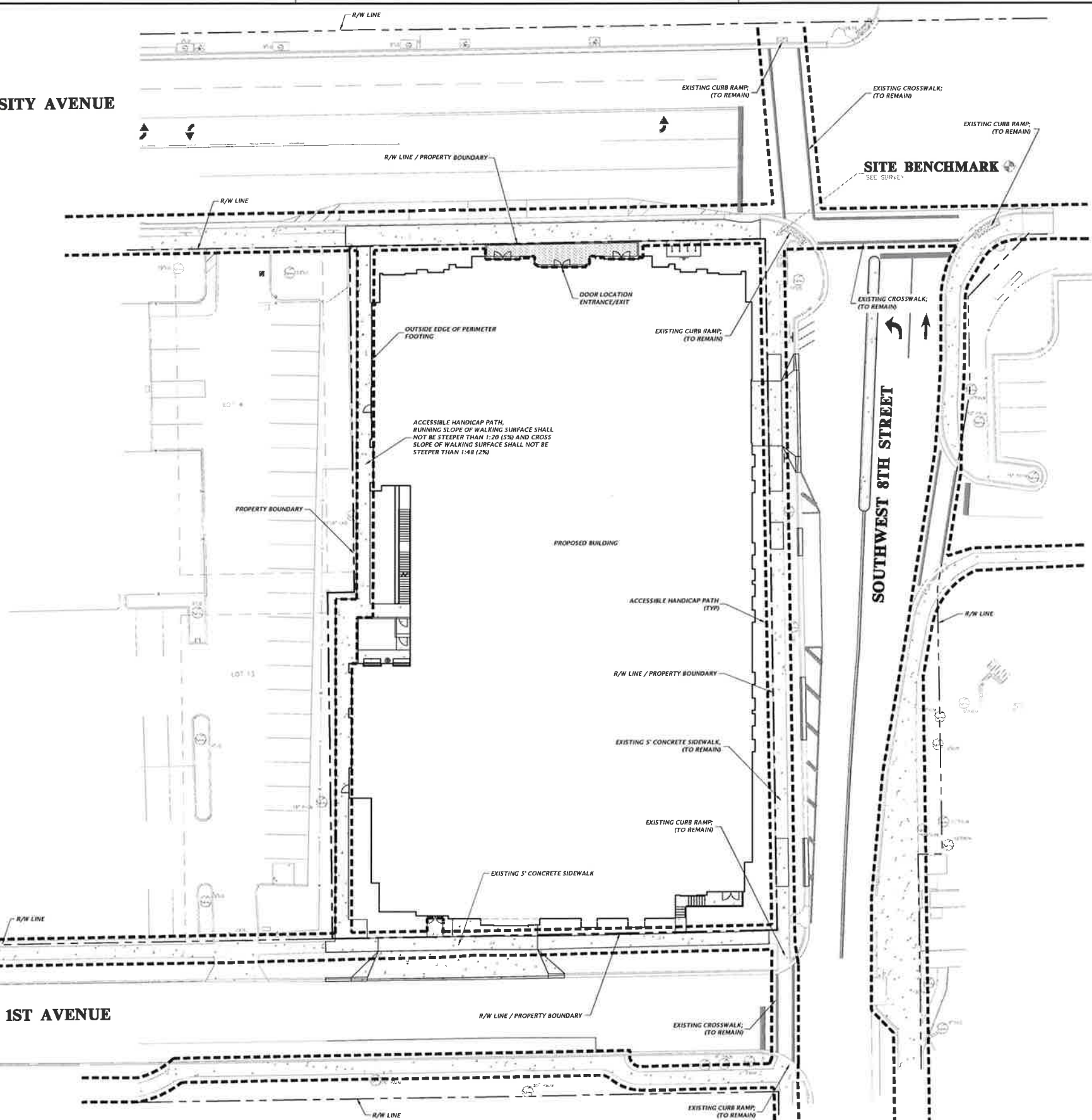
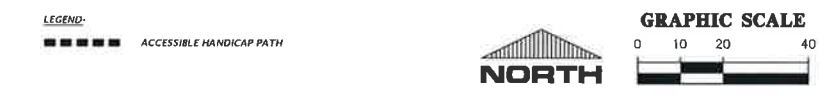
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- PROVIDE DETECTABLE WARNINGS IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) SECTION 4.29-DETECTABLE WARNINGS ON WALKING SURFACES AND THE FLORIDA BUILDING CODE, CHAPTER 11 - FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION PART A, SECTION 11-4.29.
- RAISED TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH (23 mm) NOMINAL, A HEIGHT OF 0.2 INCH (5 mm) NOMINAL, AND CENTER-TO-CENTER SPACING OF 2.35 INCHES (60 mm) NOMINAL. THE TOP WIDTH OF THE DOME SHALL BE 50% MIN. TO 55% MAX. OF THE BASE DIAMETER.
- DETECTABLE WARNING COLOR TO PROVIDE LIGHT/DARK CONTRAST BY AT LEAST 70% OF ADJACENT MATERIAL.
- ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 36 INCHES (915 mm).
- IF MATS ARE TO BE UTILIZED:
  - A - DETECTABLE WARNING SURFACE SHALL CONSIST OF 3-FT WIDE, SURFACE APPLIED, POLYURETHANE MAT WITH IN-LINE TRUNCATED DOME PATTERN.
  - B - DETECTABLE WARNING SURFACE SHALL BE SECURED BY ADHESIVE AND STAINLESS STEEL ANCHORS.
  - C - ACCEPTABLE PRODUCTS ARE THE SURFACE APPLIED BDMAT MANUFACTURED BY DETECTABLE WARNING SYSTEMS, INC. OR EQUAL LISTED ON THE FDOT QUALIFIED PRODUCTS LIST IN ACCORDANCE WITH SECTION 527-2.4 OF THE FDOT STANDARD SPECIFICATIONS.
  - D - PRIOR TO INSTALLING DETECTABLE WARNING MAT, SCRUB THE SURFACE WITH A WIRE BRISTLE BRUSH. THE EXISTING CONCRETE SURFACE SHALL BE CLEANED OF ANY LOOSE MATERIAL, DUST, OILS, GREASE, AND SEALERS.
  - E - ALL INSTALLATIONS SHALL BE MADE IN ACCORDANCE WITH THE DETECTABLE WARNING MAT MANUFACTURER'S SPECIFICATIONS.
- IF INTERLOCKING PAVERS ARE TO BE UTILIZED:
  - A - DETECTABLE WARNING SURFACE FOR THE RAMPS SHALL CONSIST OF INTERLOCKING 4' X 8' ADA DETECTABLE WARNING SURFACE PAVERS HAVING A MINIMUM DEPTH OF 2". CONCRETE PAVERS ARE TO MEET ASTM C902 CLASS SX TYPE 1; AND BRICK PAVERS ARE TO MEET ASTM C55, GRADE N, SOLID BRICK COLOR TO MEET ADA CONTRAST REQUIREMENTS.
  - B - ALL UNITS SHALL BE SOUND AND FREE OF DEFECTS THAT WOULD INTERFERE WITH THE APPEARANCE OF PROPER PLACEMENT OF THE UNIT OR IMPAIR THE STRENGTH OR LONGEVITY OF THE FINAL STRUCTURE. ANY UNITS THAT ARE STRUCTURALLY DAMAGED DURING THE WORK SHALL BE IMMEDIATELY REMOVED AND REPLACED. THE PAVERS ARE TO BE LAID IN A TWO BY TWO BASKETWEAVE PATTERN, FLUSH WITH THE FINISH GRADE OF THE RAMP SURFACE, AND HAVE GAPS BETWEEN 1/16 AND 1/8 INCH. CUT PAVERS (MASONRY SAW ONLY) SHALL BE NO SMALLER THAN ONE-THIRD OF A WHOLE PAVER.
  - C - MODIFY FORMWORK OR PROVIDE FORMED GROUT INFILL BEHIND CURVED DROP CURB SECTIONS TO ENSURE STRAIGHT EDGE RESTRAINT FOR PAVERS.
  - D - CONCRETE EDGE RESTRAINT FOR WARNING AREA. MAXIMUM GAP OF 1/8" BETWEEN PAVERS AND EDGE. USE 1/2" RADIUS ALONG CONCRETE EDGES.
  - E - WHEN PAVERS ADJUT EARTH/DIRT OR PAVEMENT, A SIX INCH CONCRETE BAND SHALL BE INSTALLED. BAND SHALL BE WITHIN LIMITS OF THE WIDTH OF PROPOSED CONCRETE AND NOT EXTENDED AN ADDITIONAL SIX INCHES.
- OTHER METHODS/MATERIALS MAY BE USED FOR THE DETECTABLE WARNING STRIP, BUT THEY MUST MEET THE ABOVE CRITERIA.
- ALL MATERIALS/METHODS TO BE UTILIZED SHALL BE SUBMITTED FOR APPROVAL TO THE ENGINEER PRIOR TO ORDERING THE MATERIALS/METHODS. FAILURE TO OBTAIN APPROVAL BEFORE ORDERING OR INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
- IF FDOT CURB RAMPS ARE SPECIFIED, REFER TO THE FDOT INDEX NO. 304 FOR SPECIFICATIONS CONCERNING THE APPLICABLE DETECTABLE WARNING STRIP TO BE USED WITH FDOT SPECIFIED RAMPS.



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BY: CSO, CRU, AND SRW/M  
CHECKED: CSO/ML/18 - COO AND CRU

CLIENT: THE BENNETT GROUP  
PROJECT: INCEPTION  
SHEET TITLE: ACCESSIBILITY SITE PLAN AND DETAILS

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
QUALITY CONTROL: H. SIMON  
PROJECT MANAGER: WALTER JARVIS

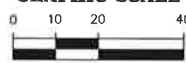
15-0035

FL DE No. 69101  
SHEET NO.: C1.20





GRAPHIC SCALE



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GENERAL NOTES:

1. ALL OFF-SITE IMPROVEMENTS SHALL MEET FDOT DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL GRADE TO PROPOSED SPOT ELEVATIONS.
3. THE STORMWATER RUNOFF FROM THE PROJECT SITE CONNECTS TO STORMWATER VAULT LOCATED INSIDE THE BUILDING AND THEN DISCHARGES MANHOLE OFF-SITE.
4. ALL DISTURBED AREAS SHALL BE SEED.
5. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
6. REFER TO ARCHITECTURAL PLAN FOR EXTERNAL UTILITY DESIGN AND INTERNAL BUILDING CONNECTIONS.
7. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
8. ALL DISTURBED AREAS SHALL BE FINE GRADED, RESTORED, AND SEEDDED/MULCHED.
9. CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS. IN NO CASE SHALL STORMWATER DRAIN TOWARD THE PROPOSED BUILDING.
10. THE INSTALLATION OF THE PROPOSED STORM PIPE ALONG THE WESTERN PROPERTY LINE WILL NOT EXTEND BEYOND THE LIMITS OF THE PROPERTY LINE INTO THE ADJACENT PROPERTY.
11. THE EXISTING FENCE ON THE WESTERN EDGE OF THE SITE IS NOT LOCATED ON THE PROPERTY. ALL CONSTRUCTION ACTIVITY SHALL REMAIN ON-SITE AND NEVER EXTEND BEYOND THE PROPERTY BOUNDARY.

DRAINAGE SPECIFICATIONS:

STORMWATER INFRASTRUCTURE ARE REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS:

1. DITCH BOTTOM INLETS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 232, 233, AND 210.
2. MANHOLES SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 201.
3. STRUCTURE BOTTOMS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 200 AND 201. (ALL GIVEN STRUCTURE BOTTOM ARE ROUND, SQUARE EQUIVALENTS MAY BE USED).

LEGEND:

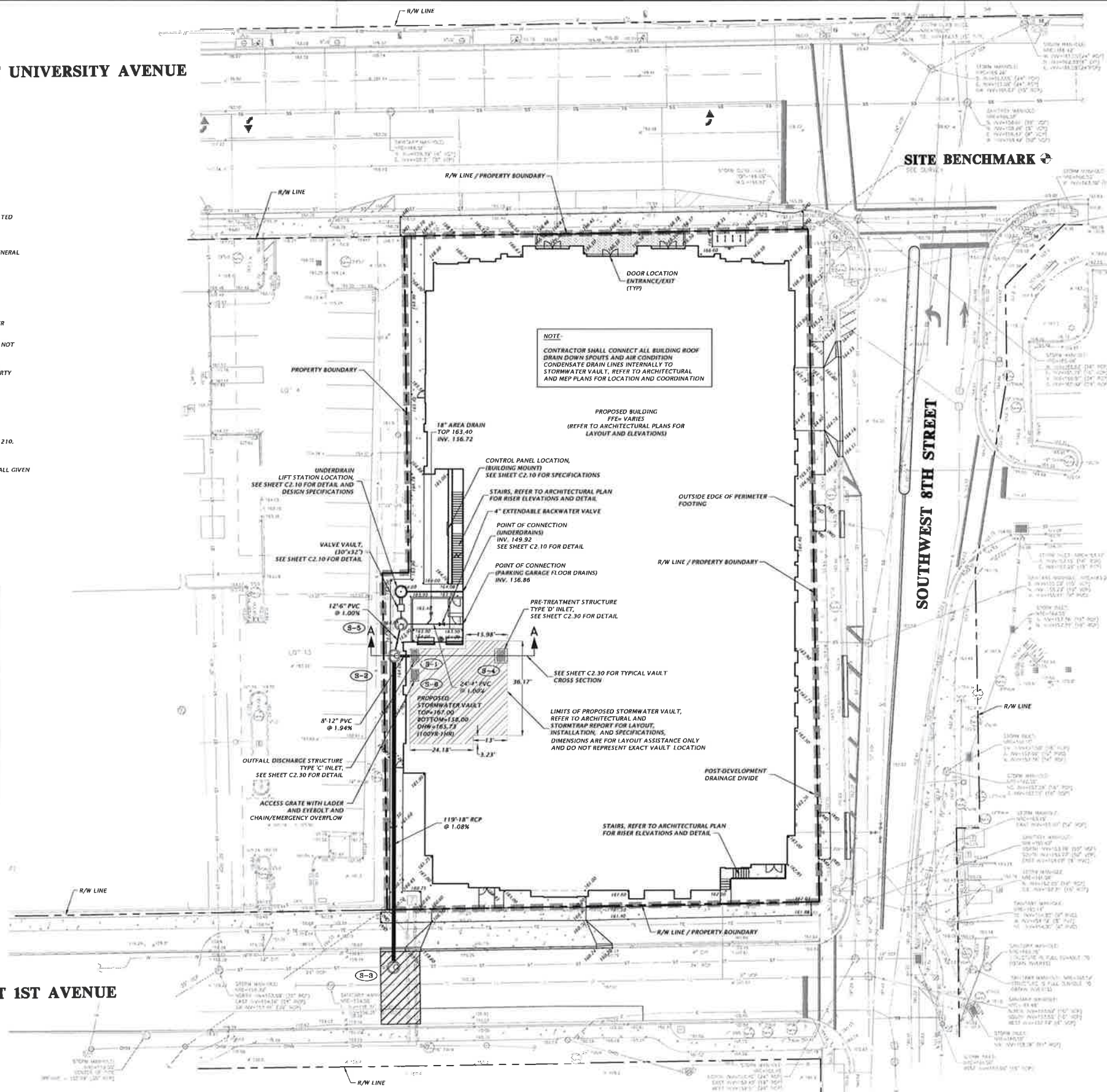
- POST-DEVELOPMENT DRAINAGE DIVIDE
- ▨ LIMITS OF OPEN CUT AND REPAIR OF EXISTING PAVEMENT, SEE SHEET C2.12 FOR DETAIL.

STORMWATER STRUCTURE TABLE

STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	TYPE 'C' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 210	166.50'	158.00' W	12"	N: 243471.67 E: 2656630.61
S-2	STORM MANHOLE WITH TYPE 'J' BOTTOM PER FDOT INDEX NO. 200 & 201	165.62'	157.85' E 156.50' S 156.30' N	12" 18" 6"	N: 243471.69 E: 2656622.87
S-3	7' DOORHOUSE MANHOLE WITH USF 580 RING AND COVER PER FDOT INDEX NO. 200 & 201	159.60'	155.22' E 155.22' N 155.22' W	24" 18" 24"	N: 243352.69 E: 2656622.89
S-4	TYPE 'D' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 210	162.00'	N/A	N/A	N: 243471.69 E: 2656663.74
S-5	STORM MANHOLE WITH TYPE 'J' BOTTOM PER FDOT INDEX NO. 200 & 201	164.00'	160.30' N 156.62' S 156.62' E	4" 6" 4"	N: 243483.86 E: 2656625.48
S-6	TYPE 'C' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 210	166.50'	N/A	N/A	N: 243464.30 E: 2656630.61



SOUTHWEST 1ST AVENUE



NOTE:  
CONTRACTOR SHALL CONNECT ALL BUILDING ROOF DRAIN DOWN SPOUTS AND AIR CONDITION CONDENSATE DRAIN LINES INTERNALLY TO STORMWATER VAULT. REFER TO ARCHITECTURAL AND MEP PLANS FOR LOCATION AND COORDINATION

PROPOSED BUILDING FFE VARIES (REFER TO ARCHITECTURAL PLANS FOR LAYOUT AND ELEVATIONS)

SEE SHEET C2.30 FOR TYPICAL VAULT CROSS SECTION

LIMITS OF PROPOSED STORMWATER VAULT, REFER TO ARCHITECTURAL AND STORMWATER REPORT FOR LAYOUT, INSTALLATION, AND SPECIFICATIONS. DIMENSIONS ARE FOR LAYOUT ASSISTANCE ONLY AND DO NOT REPRESENT EXACT VAULT LOCATION

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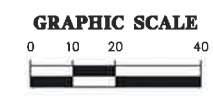
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DESIGNED BY: CDD, CRU, AND S/RWD  
CHECKED BY: CDD AND CRU

CLIENT: THE BENNET GROUP  
PROJECT: INCEPTION  
SHEET TITLE: DRAINAGE AND GRADING PLAN

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
QUALITY CONTROL: H. SIMON  
PROJECT NUMBER: 18-0035

APPROVED BY: WALTER JARVIS

FL PE No. 69101  
SHEET NO. C2.00



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DRAWING, DIMENSIONS  
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SCALE ACCORDINGLY.

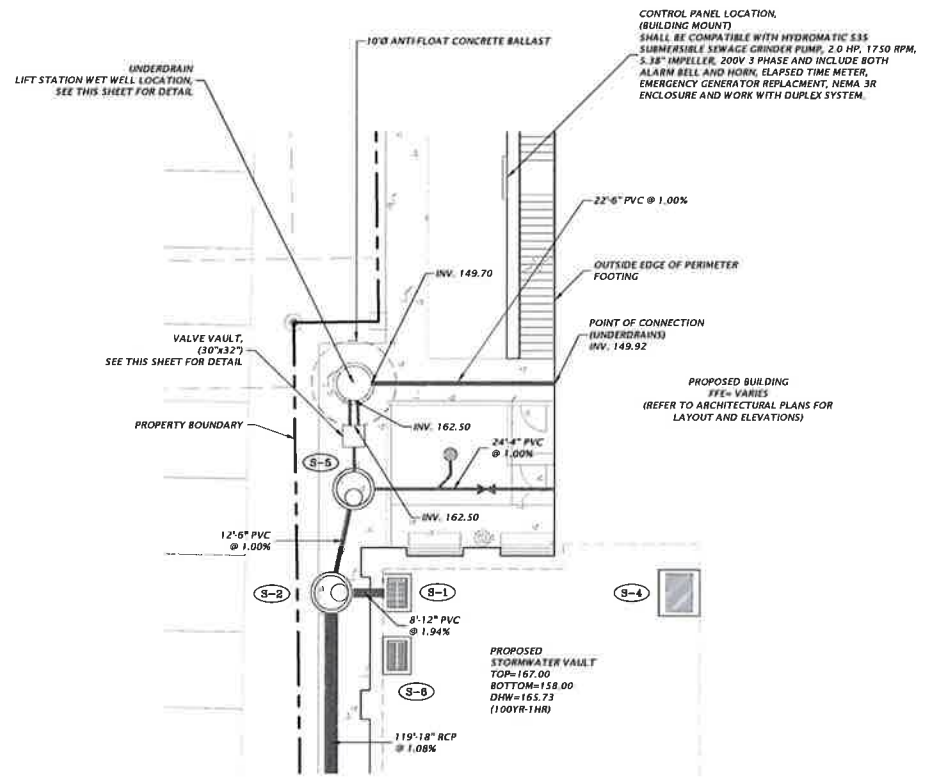
REVISIONS:  
REVISION 01/14/18 - CDD, GRN, AND SWM  
02/14/18 - CDD AND GRN

CLIENT: THE BENOT GROUP  
PROJECT: INCEPTION  
SHEET TITLE: UNDERDRAIN LIFT STATION PLAN  
AND DETAILS

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
DATE: 01/15/18  
PROJECT NUMBER: 15-0035

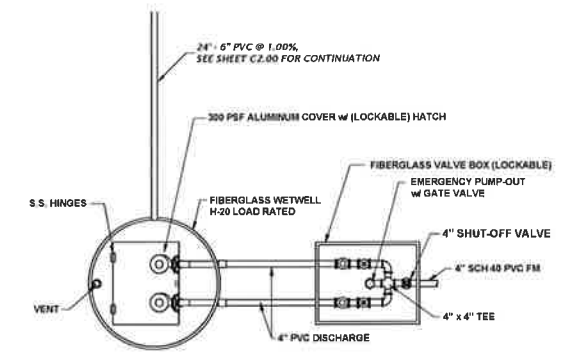
WALTER JARVIS

FL PE No. 62101  
SHEET NO. C2.10

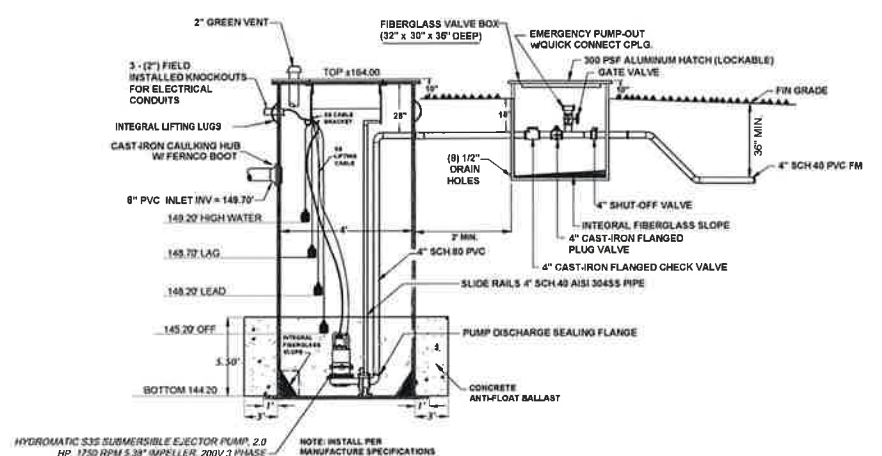


**UNDERDRAIN LIFT STATION SITE/CIVIL PLAN**  
SCALE: 1"=10'

STORMWATER STRUCTURE TABLE					
STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-5	STORM MANHOLE WITH TYPE 7' BOTTOM PER FDOT INDEX NO. 200-8-201	164.00'	156.62' S 156.62' E	6" 4"	N: 243483.88 E: 2656625.48



**UNDERDRAIN LIFT STATION PLAN**  
NTS

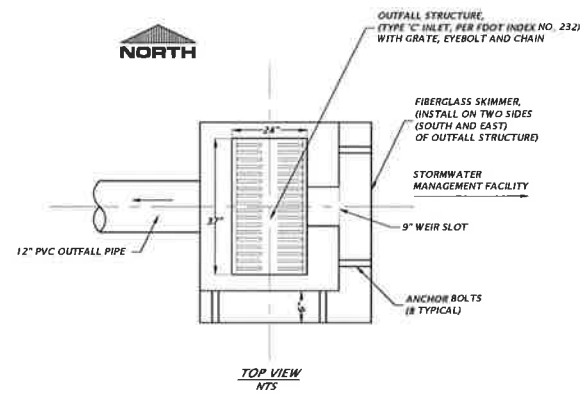
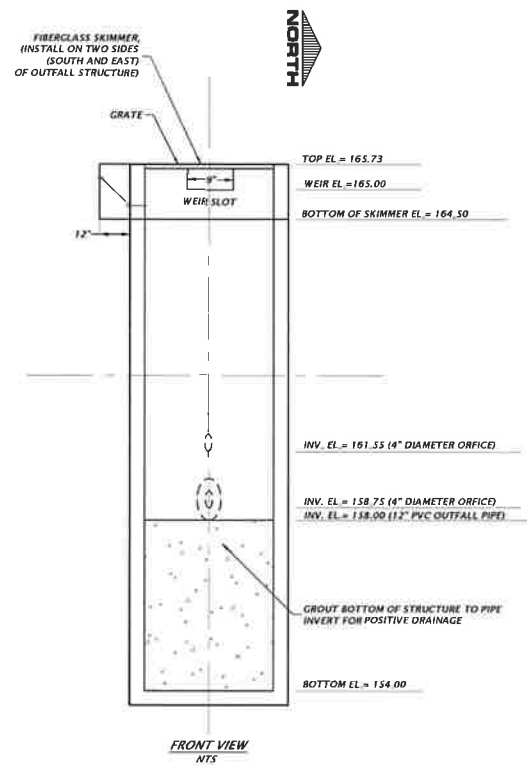


**UNDERDRAIN LIFT STATION PLAN**  
NTS

DATE 1/15/2018

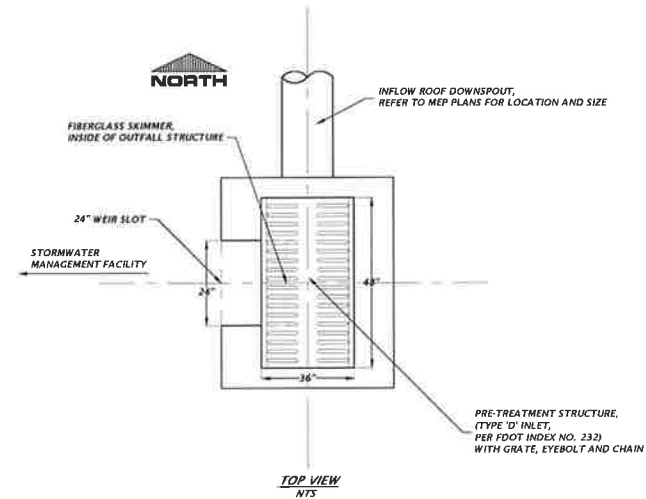
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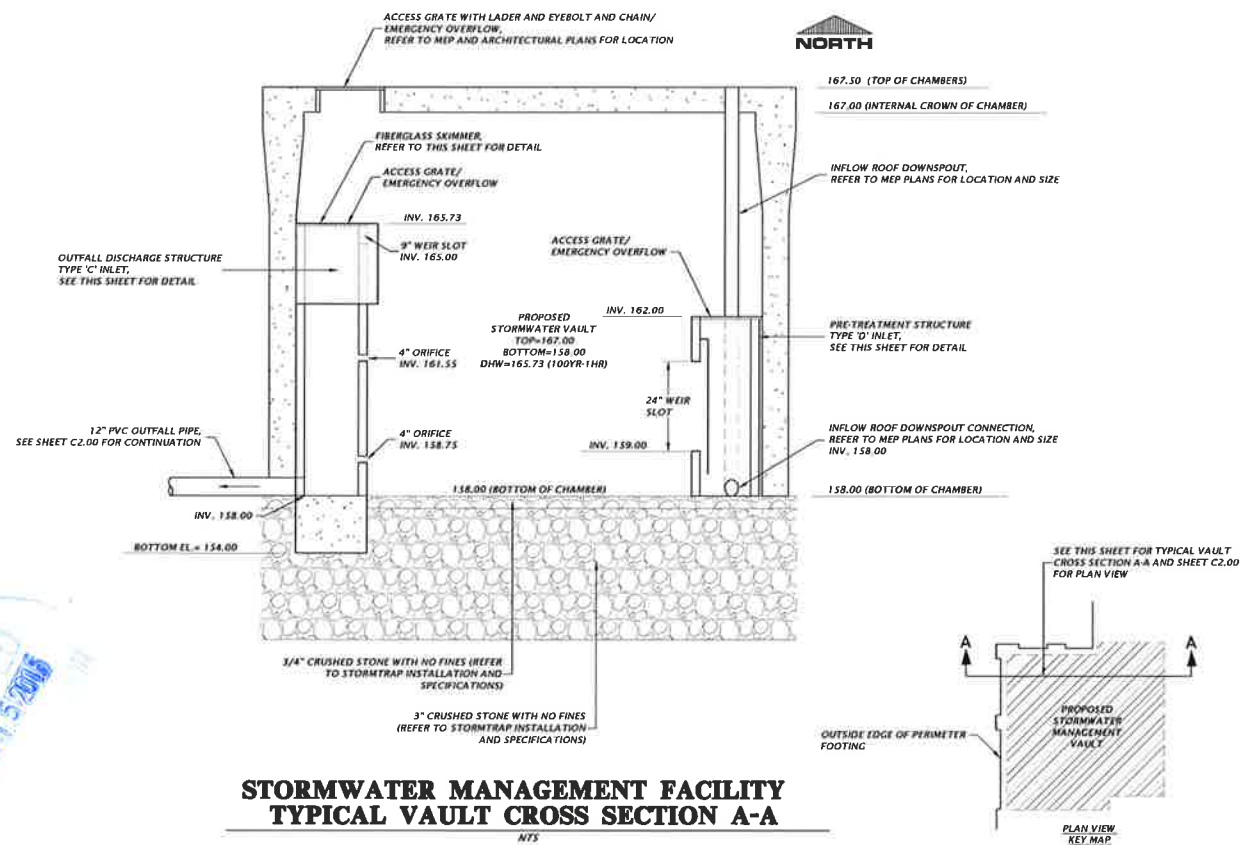
**TYPE 'C'  
OUTFALL STRUCTURE DETAIL**

TYPE 'C' INLET OF C.I. GRATE  
F.D.O.T. INDEX NO. 232  
NTS



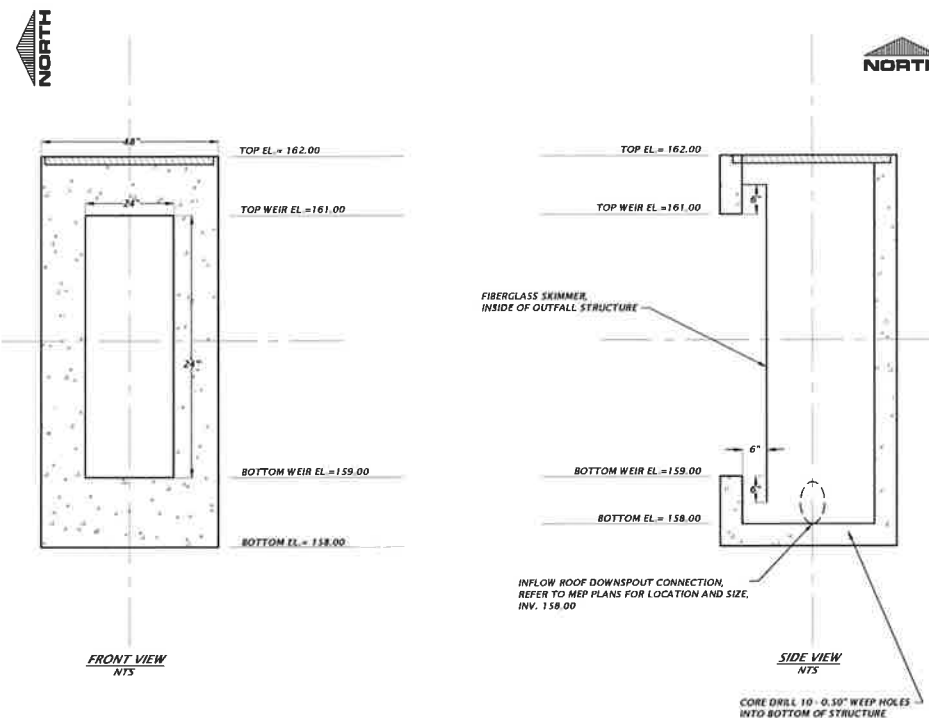
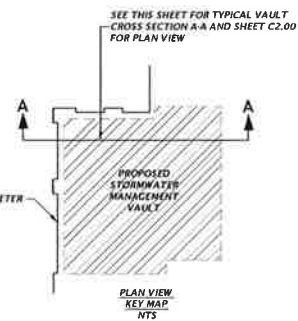
**TYPE 'D'  
PRE-TREATMENT STRUCTURE DETAIL**

TYPE 'D' INLET OF C.I. GRATE  
F.D.O.T. INDEX NO. 232  
NTS



**STORMWATER MANAGEMENT FACILITY  
TYPICAL VAULT CROSS SECTION A-A**

NTS



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<p><b>CHI</b> Professional Consultants</p>	
<p>SCALE: N/A THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. IF NOT ONE WEEK ON THIS SHEET, ADJUST SCALE ACCORDINGLY.</p>	<p>REVISIONS: 03/02/16 - COS, GRU AND SRIMAD 03/11/16 - COS AND GRU</p>
<p>DESIGNER: J. THOMAS</p>	<p>THE BENTON GROUP</p>
<p>SCHEMATIC: J. THOMAS</p>	<p>INCEPTION</p>
<p>QUALITY CONTROL: H. SIMON</p>	<p>STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS</p>
<p>PROJECT NUMBER: 15-0035</p>	<p>DATE: 15-0035</p>
<p>PREPARED BY: WALTER JARVIS</p>	<p>FL PE No. 69101</p>
<p>SHEET NO.:</p>	<p>C2.30</p>

Date: 11/5/2015 11:52:18 AM  
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 Plot: 11/5/2015 11:52:18 AM  
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Certificate of Authorization No. 0000033

INCEPTION  
MIXED USE DEVELOPMENT  
WEST UNIVERSITY AVENUE & SW 8TH STREET  
GAINESVILLE, FLORIDA

CONSULTANT:

SEAL:

PROJECT NO: 16-004

DRAWN BY: LFH/CMT

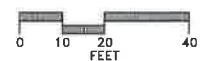
CHECKED BY: EJB3

DATE: 02 FEB 2016

REVISIONS:

15 MAR 2016

DRAWING SCALE:



DRAWING TITLE:  
LANDSCAPE PLAN

ISSUED FOR:  
SITE PLAN REVIEW

DRAWING NUMBER:

LS-1

SHEET: 1 OF 1

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
LIN	5	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ GRAPE MYRTLE	30 GAL, 10' HT, 4" SPR, 2" CAL
QVP	3	QUERCUS VIRGINIANA 'PARK SIDE'	PARK SIDE LIVE OAK	30 GAL, 12' HT, 54" SPR, 2" CAL
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SP	5	SABAL PALMETTO	SABAL PALM	REGENERATED, 12" MIN. CAL., HT, VARIES, SEE PLANS
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE
SOD		PASPALUM NOTATUM 'ARGENTINE'	BAHIA GRASS	WEED FREE AND SAND GROWN SOD

**GENERAL NOTES**  
ALL ASPHALT, CONCRETE, AND CONSTRUCTION DEBRIS TO BE REMOVED FROM PLANTING BEDS AND AREAS TO BE SOGDED PRIOR TO LANDSCAPE INSTALLATION. PLANTING DEPTH OF SOIL IN SUCH AREAS SHOULD BE AT LEAST 3'. IF FILL MUST BE ADDED, IT MUST BE FLORIDA CLEAN DEEP FILL (FREE OF WEED SEEDS) WITH pH 5.5-6.5.

ALL TREES TO BE A MINIMUM SEVEN (7) FEET IN HEIGHT AND TWO (2) INCH CALIPER, OR LARGER, UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT.

ALL TREES TO BE PLANTED 1'-2" ABOVE FINISHED GRADE.

ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" THICKNESS OF MULCH. PINE BARK MULCH SHALL BE USED IN ALL AREAS, EXCEPT RETENTION AREAS. PINE STRAW MULCH SHALL BE USED IN RETENTION AREAS.

TREES OUTSIDE OF MULCHED LANDSCAPED BEDS TO BE PROTECTED FROM MOWER AND STRING TRIMMER DAMAGE WITH 10" OF PLASTIC DRAIN TUBE.

LEADER SHOOTS AND MAIN STRUCTURAL LIMBS OF TREES WILL NOT BE TOPPED OR PRUNED. TREES TO BE STAKED AS NEEDED, GUYLINES TO BE NON-SYNTHETIC BIODEGRADABLE MATERIAL.

OWNER SHALL BE RESPONSIBLE FOR (1) THE SURVIVAL OF THE LANDSCAPING ELEMENTS AND (2) REMOVAL OF ALL STAKING SYSTEMS WITHIN ONE YEAR. TREES WILL BE STAKED ONLY IF NECESSARY, AND IF STAKED, BIODEGRADABLE TWINE WILL BE USED.

CALL THE URBAN FORESTRY INSPECTOR FOR A BARRICADE INSPECTION AT 352-393-8188 BEFORE CLEARING AND GRUBBING WORK BEGINS.

**INVASIVE EXOTIC PLANT MATERIAL**  
ALL INVASIVE PLANT SPECIES TO BE REMOVED FROM SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

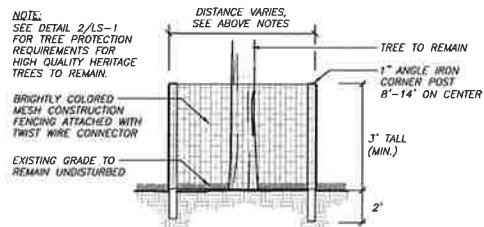
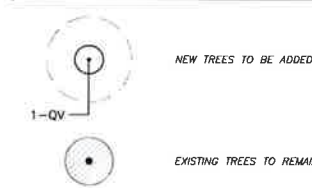
**GRASSING**  
ALL DISTURBED AND UNPAVED AREAS TO BE GRASSED WITH SOD THAT IS FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SOOTH APPLE OR SHALL BE SEEDED AND MULCHED. SEE CIVIL SITE PLANS FOR ADDITIONAL RELATED INFORMATION.

**PLANT MATERIAL**  
ALL PLANT MATERIAL TO BE FLORIDA NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S 'GRASSES AND STANDARDS FOR NURSERY PLANTS'. CALL THE CITY URBAN FORESTRY INSPECTOR AT 352-393-8188 AND LANDSCAPE ARCHITECT PRIOR TO PURCHASING ANY PLANT MATERIAL FOR AN ON SITE INSPECTION AND REVIEW OF LANDSCAPE PLAN.

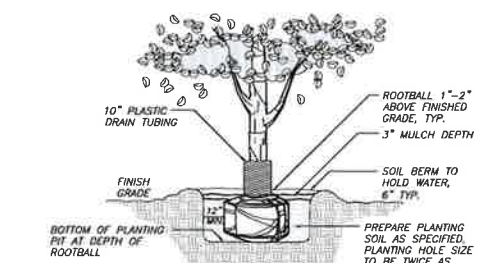
**IRRIGATION**  
LANDSCAPE IRRIGATION TO BE PROVIDED BY AUTOMATIC IRRIGATION SYSTEM. BUBBLERS SHALL BE INSTALLED BY EACH TREE AS PART OF THE IRRIGATION SYSTEM.

**T.M.P.A.**  
SITE IS LOCATED IN ZONE A OF THE TRANSPORTATION MOBILITY PROGRAM AREA.

LEGEND



1 STANDARD TREE PROTECTION DETAIL - REGULATED, NON-HIGH QUALITY HERITAGE SCALE: N.T.S.



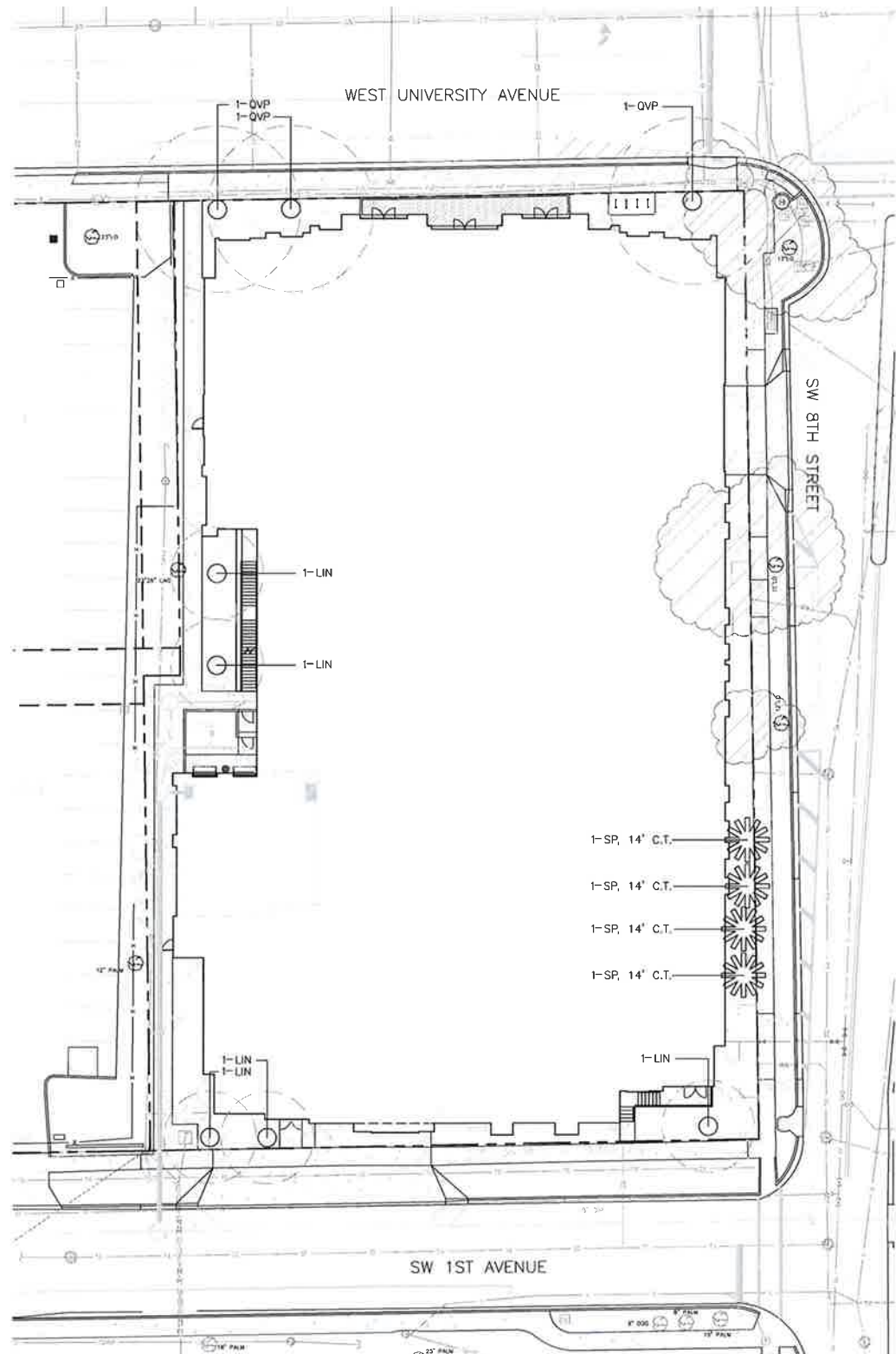
2 TREE PLANTING DETAIL SCALE: N.T.S.

TREE PROTECTION NOTES

- REGULATED TREES TO REMAIN THAT ARE WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT OR MATERIALS SHALL BE PROTECTED BY A TREE PROTECTION BARRIAR.
- TREE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES TO REMAIN TO PREVENT ENCROACHMENT BY MACHINERY. NO CONSTRUCTION EQUIPMENT, MATERIALS, SUPPLIES, FUELS, OR CHEMICALS SHALL BE STORED WITHIN THE TREE BARRICADE LIMITS AT ANY TIME.
- BARRIERS SHALL BE PLACED AT OR OUTSIDE THE DRIP LINE FOR HERITAGE AND CHAMPION TREES AND ALL REGULATED PINE AND PALM TREES. FOR ALL OTHER REGULATED TREES TO REMAIN, TREE BARRIERS SHALL BE LOCATED AT TWO-INCHS THE AREA OF THE TREE DRIPLINE OR AT THE ROOT PLATE AT A MINIMUM AND WITH CITY URBAN FORESTRY INSPECTOR APPROVAL.
- NO GRADE CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIER ZONES WITHOUT PRIOR APPROVAL OF THE CITY MANAGER OR DESIGNEE.
- TREE BARRICADES SHALL REMAIN IN PLACE AND IN WORKING ORDER THROUGHOUT CONSTRUCTION. BARRICADES SHALL BE REMOVED ONCE MAJOR CONSTRUCTION ACTIVITIES ARE COMPLETE AND LANDSCAPE INSTALLATION BEGINS. LANDSCAPE PREPARATION WITHIN THE PROTECTED AREAS SHALL BE LIMITED TO SHALLOW DISKING LIMITED TO A DEPTH OF FOUR (4) INCHES UNLESS OTHERWISE APPROVED BY CITY MANAGER.
- A LAYER OF WOOD CHIPS AT LEAST EIGHT (8) INCHES THICK SHALL COVER THE SOIL WITHIN THE TREE BARRICADE AREA.
- WHERE ROOTS GREATER THAN ONE (1) INCH ARE DAMAGED OR EXPOSED, THEY SHALL BE CUT CLEANLY AND RE-COVERED WITH SOIL WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- CONTRACTOR SHALL TRIM ONLY THOSE EXISTING TREES AS NOTED ON THE PLAN OR AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. TRIMMING/PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS 'TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI 300)' AND 'PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH SAFETY REQUIREMENTS' (ANSI Z143). REMOVE NO MORE THAN 25% OF THE CROWN AT ONE TIME. ON YOUNG TREES, REMOVE NO MORE THAN 33% OF THE TRUNK BARE OF BRANCHES. DISCUSS PROPOSED TRIMMING ACTIVITIES WITH OWNER'S REPRESENTATIVE AND CITY'S URBAN FORESTRY INSPECTOR PRIOR TO ACTIVITIES/REMOVAL.
- STANDARD TREE PROTECTION BARRIER FOR REGULATED TREES THAT ARE NOT HIGH-QUALITY HERITAGE - SEE DETAIL 1/LS-1. BARRICADES TO BE A MINIMUM OF THREE (3) FEET TALL AND CONSTRUCTED OF EITHER 2X4 WOODEN CORNER POSTS BURIED TO ONE FOOT DEPTH WITH AT LEAST TWO COURSES OF 1X4 WOODEN SIDE SLATS WITH COLORED FLAGGING/COLORED MESH ATTACHED OR CONSTRUCTED OF ONE-INCH ANGLE IRON CORNER POSTS WITH BRIGHTLY COLORED MESH CONSTRUCTION FENCING ATTACHED. SEE NOTE 10 FOR ADDITIONAL REQUIREMENTS FOR HIGH-QUALITY HERITAGE TREE BARRIERS.
- CALL PLANNING SERVICES AT 352-393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE ANY CLEARING AND GRUBBING WORK BEGINS.

TREE MITIGATION CALCULATIONS Sec. 30-254(c)(4)

CATEGORY	MITIGATION CALCULATIONS
TREE APPRAISED VALUE	TOTAL TREES IN CATEGORY TO BE MITIGATED..... 2 TREES MAXIMUM 3 TREES PER ACRE: TOTAL SITE AREA: 0.63 ACRES MAXIMUM APPRAISED TREES..... 2 TREES TREES BEYOND MAXIMUM TO BE MITIGATED INCH FOR INCH..... 0 TREES APPRAISED TREES: 32" LIVE OAK - \$17,684.48 24" PECAN - \$9,947.52 TOTAL = \$27,632.00
INCH-FOR-INCH REPLACEMENT	HIGH-QUALITY HERITAGE TREES BEYOND MAXIMUM 0 SPECIES..... 0" HIGH-QUALITY HERITAGE TREES IN LESS THAN FAIR CONDITION 0 SPECIES..... 0" NON-HIGH QUALITY HERITAGE TREES IN FAIR OR BETTER CONDITION 0 SPECIES..... 0" TOTAL INCHES REQUIRED..... 0"
2:1 REPLACEMENT	TOTAL TREES TO BE MITIGATED AT 2:1 REPLACEMENT..... 32 TREES TOTAL TREES REQUIRED FOR MITIGATION @ 2:1 REPLACEMENT..... 64 TREES TOTAL INCHES REQUIRED @ 2"/TREE..... 128"
TOTAL TREE MITIGATION	TOTAL MITIGATION INCHES REQUIRED..... 128" TOTAL MITIGATION PROVIDED..... 16" 8 TREES @ 2" = 16" 8 TREES FOR A TOTAL OF 16" TOTAL MITIGATION INCHES DEFICIT..... 112" TOTAL MITIGATION TREES REQUIRED @ 2"/TREE..... 56 TREES
TOTAL MITIGATION PAYMENT	TOTAL MITIGATION PAYMENT: TREE APPRAISALS TOTAL..... \$27,632.00 DEFICIT PAYMENT (\$100/TREE)..... \$5,600.00 TOTAL PAYMENT REQUIRED..... \$33,232.00 * NOTE: MITIGATION PAYMENT SHALL BE MADE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.







PROJECT #: 113070.00  
 DRAWN BY: Author  
 CHECKED BY: Checker

**NILES BOLTON ASSOCIATES**

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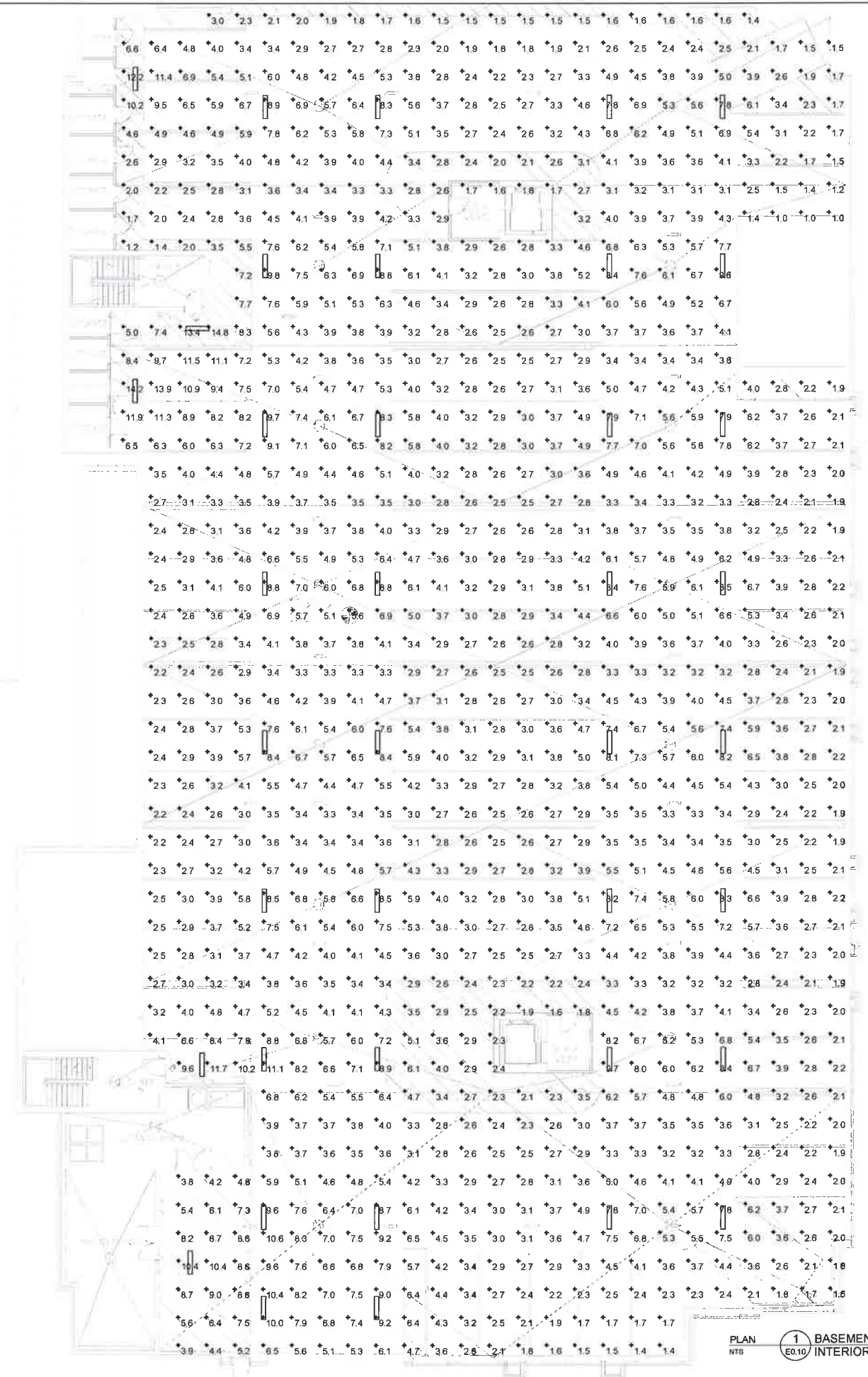
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SHEET TITLE  
**BASEMENT PARKING GARAGE INTERIOR PHOTOMETRICS**

SHEET NUMBER

**E0.10**

02/26/16



PLAN 1 BASEMENT PARKING GARAGE  
 NTS E0.10 INTERIOR PHOTOMETRICS

**JSE** Jordan & Skala Engineers  
 1271 Woodward Blvd., Suite 200  
 Atlanta, GA 30309  
 404.754.8622 FAX 404.754.8622  
 Project Number - 161-0064 Drawn By: XXXX Checked By: XXXX

4000161-0064  
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PROJECT #: 113070.00  
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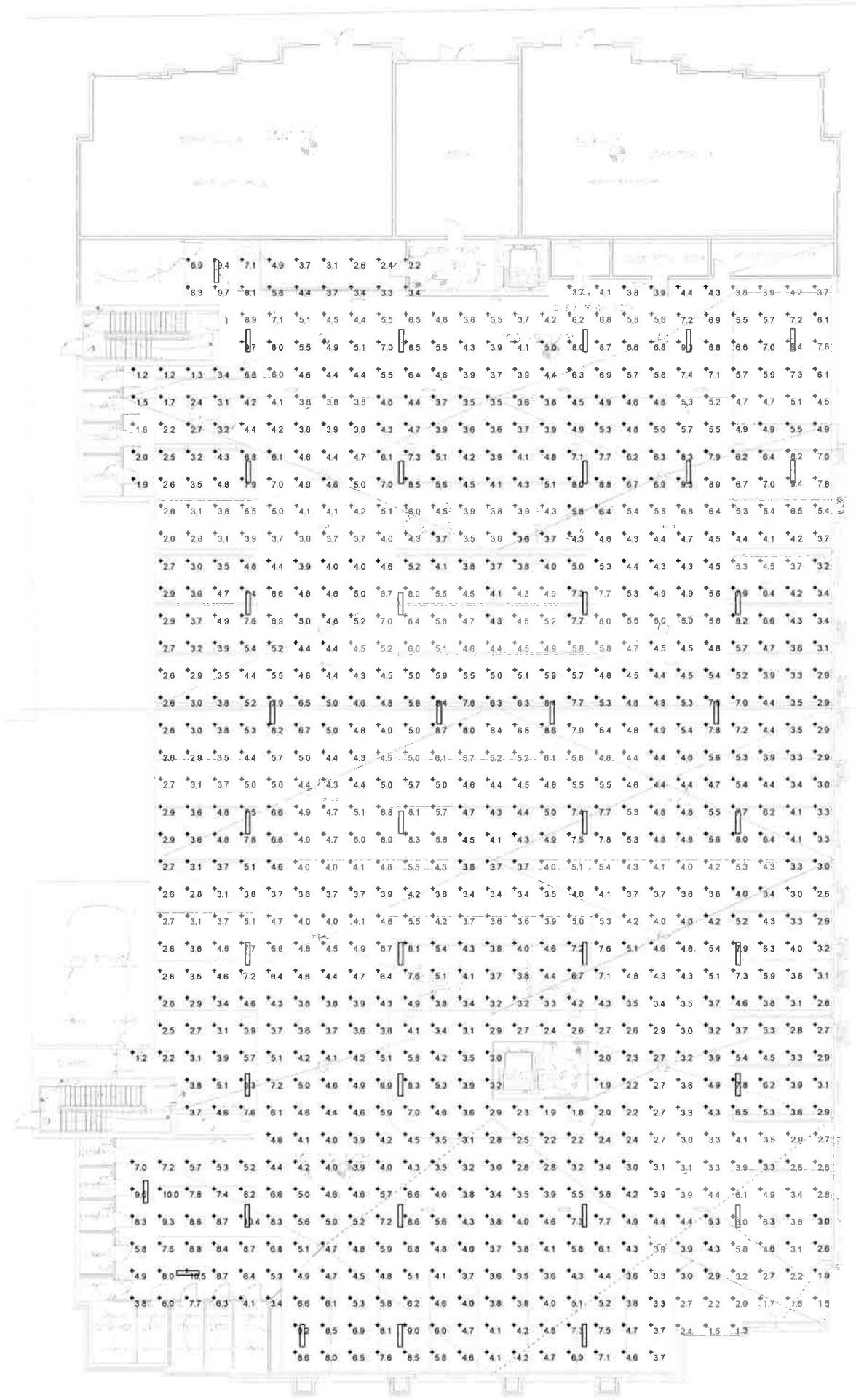
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SHEET TITLE  
LEVEL 01 PARKING GARAGE INTERIOR PHOTOMETRICS

SHEET NUMBER

**E0.12**

02/26/16



PLAN 1 LEVEL 01 PARKING GARAGE INTERIOR PHOTOMETRICS

**JSE** Jordan & Skala Engineers  
 427 Peachtree Street, Suite 2000  
 Atlanta, GA 30308  
 P: 404 522-2247 F: 404 522-9266  
 Project Number - 161-0064 Drawn By: XXX Checked By: XXX

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**METER CENTER NOTES**

1-METER CENTER CONFIGURATIONS SHOWN ON THE RISER DIAGRAMS ARE DIAGRAMMATIC ONLY AND ARE SHOWN FOR DESIGN INTENT. SEE ELECTRICAL ROOM PLANS FOR ALL METER CENTER CONFIGURATIONS INCLUDING ELBOWS.

**TVSS NOTE**

1-PROVIDE 0-TEK 120V/208 TVSS DEVICES ON ALL FIRE ALARM, SECURITY AND COMMUNICATION CIRCUITS THROUGHOUT THE PROJECT.  
2-PROVIDE 60KA PER MODE TVSS DEVICE FOR ALL ELEVATOR FEEDERS.

**MULTIPLE SERVICE PLAQUING NOTES**

BUILDING WITH MULTIPLE SERVICES. PERMANENT PLAQUES WITH IDENTIFICATION MUST BE PROVIDED PER NEC 230.2 (F) AND 225.37

**SHORT CIRCUIT CALCULATION NOTES**

- 1 PRIOR TO ORDERING ELECTRICAL GEAR, CONTRACTOR SHALL CONFIRM ACTUAL SHORT CIRCUIT AVAILABLE AMPS WITH THE EXACT TRANSFORMER SIZE THE UTILITY COMPANY IS FURNISHING. AIC RATINGS SHOWN ARE ESTIMATED AND BASED ON A 1,500KVA TRANSFORMER WITH 81,000 SHORT CIRCUIT AMPS AVAILABLE.
- 2 ESTIMATED MAXIMUM OF 81,000 SHORT CIRCUIT AMPS AT THE TRANSFORMER. 10K AC BREAKERS IN THE APARTMENT LOAD CENTERS SHALL COORDINATE WITH THE 22KAC METER CIRCUIT BREAKERS WHICH WILL COORDINATE WITH THE 100K AC SWITCHBOARD BREAKERS.
- 3 ESTIMATED MAXIMUM OF 81,000 SHORT CIRCUIT AMPS AT THE TRANSFORMER. 22K/42K AC BREAKERS IN THE PANELBOARDS SHALL COORDINATE WITH THE 65K/100K AC BREAKERS IN THE DISTRIBUTION PANELS AND THE SERVICE SWITCHBOARD BREAKERS.

**SERIES RATED GEAR NOTES**

- 1 ALL ELECTRICAL GEAR SHALL BE SERIES RATED. CONTRACTOR SHALL SUBMIT ALL REQUIRED SERIES RATING SIGNAGE AND SUPPORTING SERIES MANUFACTURER'S DOCUMENTATION TO MEET ALL REQUIREMENTS OF NEC 110.10, 110.22 (B) AND (C) AND NEC 240.88 TO THE ELECTRICAL ENGINEER

**METER STACK COORDINATION NOTES**

- 1 NOTE: RISER DIAGRAM STACKING IS DIAGRAMMATIC ONLY AND IS SHOWN FOR NUMBER OF STACKS AND STACK AMPERAGE. CONTRACTOR SHALL PROVIDE STACKS AS SHOWN ON ELECTRICAL ROOM PLAN LAYOUTS. CONTRACTOR SHALL BALANCE THE LOAD ON BOTH THE RIGHT SIDE AND THE LEFT SIDE OF THE METER GROUP

**ALL SERVICES SHALL BE SERIES RATED**

- 1. PRIOR TO FINAL ORDERING OF PANELBOARDS, CIRCUIT BREAKERS, AND ALL ASSOCIATED EQUIPMENT, THE CONTRACTOR SHALL ARRANGE FOR AND PROVIDE TO THE ELECTRICAL ENGINEER OF RECORD VIA THE ARCHITECT A LETTER FROM THE LOCAL POWER COMPANY ON THEIR LETTERHEAD STATING THE SHORT CIRCUIT FAULT CURRENT AVAILABLE AT THE SECONDARY OF THE UTILITY COMPANY TRANSFORMER. INFORMATION SHALL BE USED TO DETERMINE THE FINAL A.I.C. RATINGS OF THE PANELBOARDS, METER CENTERS, MAIN DISCONNECT SWITCHES AND CIRCUIT BREAKERS.
- 2. ESTIMATED 72,000 AVAILABLE SHORT CIRCUIT AMPS- VERIFY PRIOR TO ORDERING GEAR. THE 10 KAC BREAKERS IN THE LOAD CENTERS, 22KAC IN THE HOUSE PANELS AND THE 42KAC BREAKERS AT THE METERS SHALL BE SERIES RATED WITH THE 100KAC SERVICE MAIN BREAKER FOR 100KAC PROTECTION DOWNSTREAM FROM THE SERVICE MAIN. ALL GEAR SHALL BE U.L. LABELED AND LISTED FOR THIS PURPOSE.  
CONTRACTOR SHALL BOND ALL SERVICE GROUNDS TOGETHER.
- 3.

**SCHEDULE OF FEEDERS & SERVICES**

Designation	Feeder/Service Description			Number of Pairs	Conductor Size			Conduit Diameter (in)
	Equipment Served	Conductor Ampacity (Amps)	Copper or Aluminum		Phase Conductor	Neutral Conductor	Equipment Ground	
F 0 00	MCA	1800	AL	6 sets	3 # 400	1 # 400	-	4
F 0 01	MCR	1500	AL	6 sets	3 # 400	1 # 400	-	4
F 0 02	RETAIL	620	AL	2 sets	3 # 500	1 # 500	-	4
F 0 03	SWR	1300	AL	4 sets	3 # 500	1 # 500	-	4
F 0 04	P	205	AL	1 set	3 # 250	1 # 250	1 # 4	3
F 0 05	A	410	AL	2 sets	3 # 250	1 # 250	1 # 1	3
F 0 06	HFA	205	AL	1 set	3 # 250	1 # 250	1 # 4	3
F 0 07	HFB	205	AL	1 set	3 # 250	1 # 250	1 # 4	3

REF: 'C' - COPPER 'AL' - ALUMINUM  
NOTES: COPPER OR ALUMINUM REFERS TO ALL CONDUCTORS (PHASE, NEUTRAL, AND GROUND)

**GENERAL NOTES:**

- 1. WHERE CIRCUIT BREAKER OR FUSES ARE SERIES CONNECTED RATED, THE ENCLOSURE FOR THE OVERCURRENT DEVICES SHALL BE CLEARLY AND LEGIBLY MARKED IN THE FIELD TO INDICATE THE EQUIPMENT HAS BEEN APPLIED WITH A SERIES COMBINATION RATING. THE MARKING SHALL BE READILY VISIBLE AND READ THE FOLLOWING: CAUTION-SERIES COMBINATION SYSTEM RATED --- AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED.
- 2. THE CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY REGARDING SERVICE LATERALS TO METER CENTERS. IF THE LOCAL UTILITY COMPANY WILL NOT PROVIDE ANY SERVICE LATERALS, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SAID CONDUCTORS AND CONDUIT SIZED PER N.E.C. COORDINATE SERVICE RUNS PRIOR TO SUBMITTING BID.
- 3. PROVIDE PLAQUE NOTING LOCATION OF OTHER METER GROUPS AND SERVICES IN BUILDING.
- 4. THE CONTRACTOR SHALL COORDINATE METER CENTER AND TRANSFORMER LOCATIONS WITH LOCAL UTILITY COMPANY AND DEVELOPER.

**KEY NOTES:**

- 1 MCB METER CENTER SIZE AS NOTED, 100KAC RATED.
- 1A MLO METER CENTER SIZE AS NOTED, 100KAC RATED.
- 2 UNIT SUBMETERS WITH INTEGRAL BREAKERS, BREAKERS SHALL BE SERIES RATED WITH MAIN SEE LIVING UNIT FEEDER SCHEDULE FOR FEEDER AND BREAKER SIZE.
- 3 ESTIMATED-CENTER OF TOP METER SHALL NOT EXCEED 5'-8" ABOVE GRADE. CENTER OF BOTTOM METER SHALL NOT BE LOWER THAN 30" ABOVE GRADE. COORDINATE WITH UTILITY COMPANY PRIOR TO PURCHASE OR INSTALLATION
- 4 CONDUITS, CONDUCTORS AND GROUNDS. SEE SCHEDULES FOR SIZING.
- 5 200AMP, 3-PHASE FULLY RATED METER FOR HOUSE PANEL. ROUTE 4#250KCMIL, 1#4(C)-3"C
- 6 225AMP, 3-PHASE FULLY RATED METER FOR HOUSE PANEL. ROUTE 4#300KCMIL, 1#2(C)-3"C
- 7 400AMP, 80% RATED (320AMP) METER SOCKET WITH 300AMP CB FOR HOUSE PANEL. ROUTE 4#500KCMIL, 1#2(C)-4"C

PROJECT #: 113070.00  
DRAWN BY: *[Signature]*  
CHECKED BY: *[Signature]*

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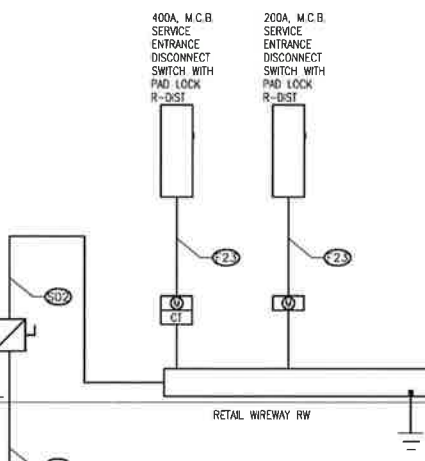
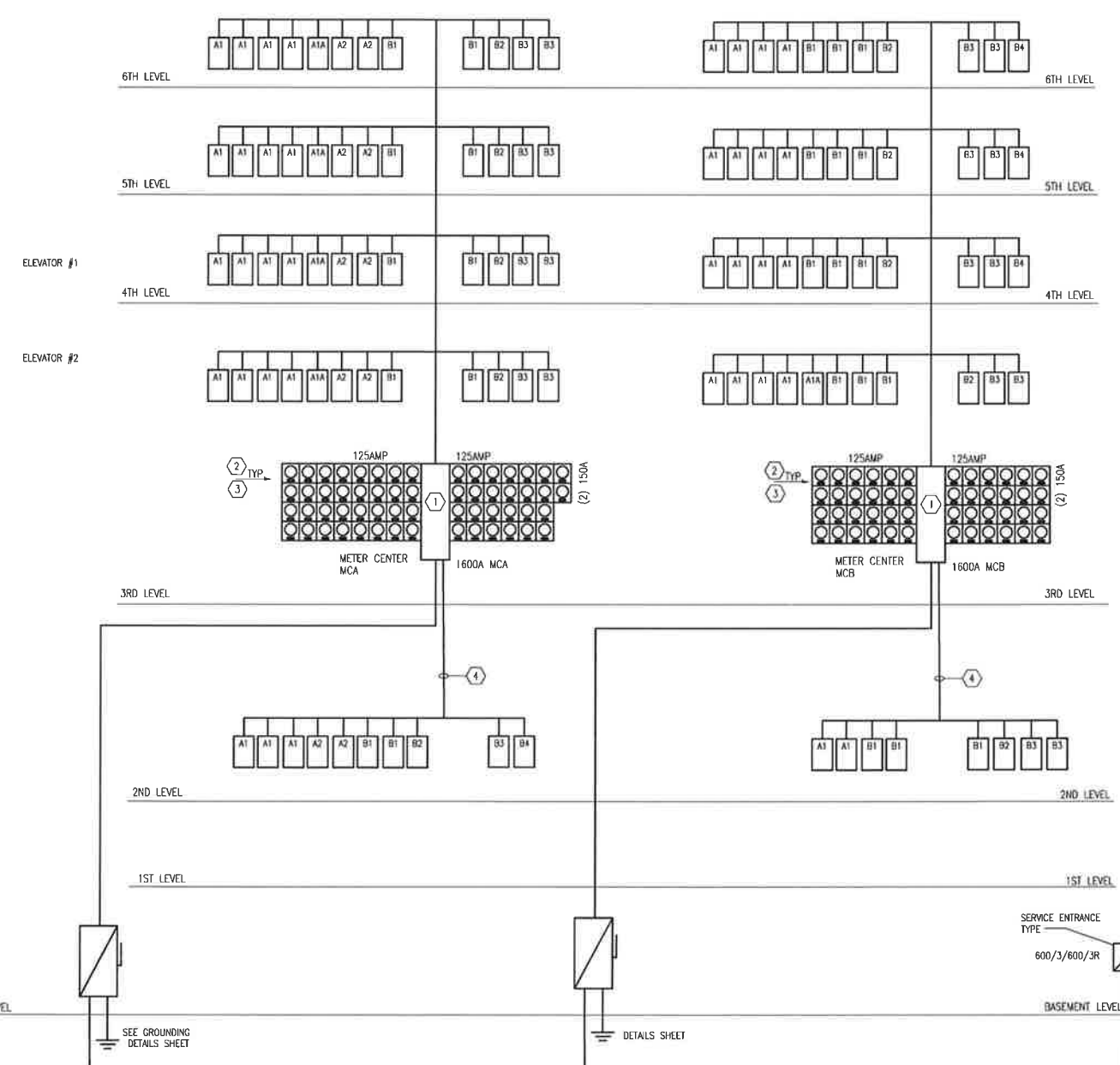
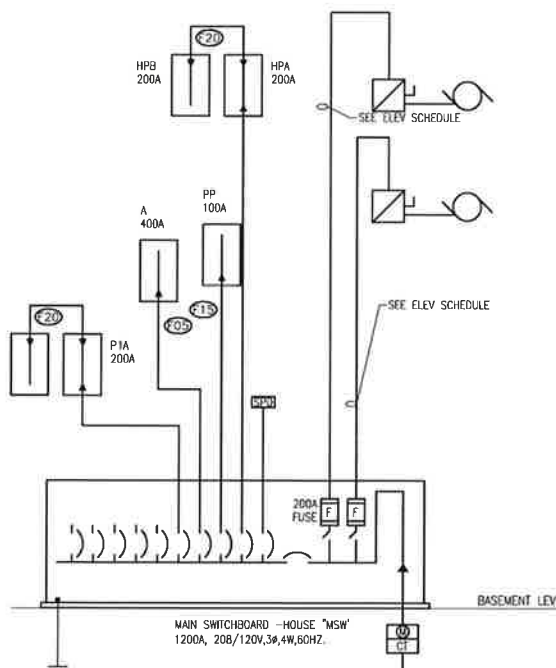
SHEET TITLE  
**ELECTRICAL ONLINE DIAGRAM**

SHEET NUMBER

**E0.03**

02/26/16

COORDINATE WITH GA POWER AND PROVIDE UTILITY PULL BOX FOR TRANSFORMERS THAT HAVE MORE THAN (12) SETS OF 750KCMIL OR (16) SETS OF 600KCMIL OR LESS OF SERVICE ENTRANCE CONDUCTORS



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Project Number - 161-0064 Drawn By: XXX Checked By: XXX

### METER CENTER NOTES

1- METER CENTER CONFIGURATIONS SHOWN ON THE RISER DIAGRAMS ARE DIAGRAMMATIC ONLY AND ARE SHOWN FOR DESIGN INTENT. SEE ELECTRICAL ROOM PLANS FOR ALL METER CENTER CONFIGURATIONS INCLUDING ELEVATIONS.

### TVSS NOTE

1- PROVIDE DE-TEX 120V/208 TVSS DEVICES ON ALL FIRE ALARM, SECURITY AND COMMUNICATION CIRCUITS THROUGHOUT THE PROJECT.  
2- PROVIDE 60KA PER MODE TVSS DEVICE FOR ALL ELEVATOR FEEDERS.

### MULTIPLE SERVICE PLAQUING NOTES

BUILDING WITH MULTIPLE SERVICES. PERMANENT PLAQUES WITH IDENTIFICATION MUST BE PROVIDED PER NEC 230.2 (E) AND 225.37

### SHORT CIRCUIT CALCULATION NOTES

- ① PRIOR TO ORDERING ELECTRICAL GEAR, CONTRACTOR SHALL CONFIRM ACTUAL SHORT CIRCUIT AVAILABLE AMPS WITH THE EXACT TRANSFORMER SIZE THE UTILITY COMPANY IS FURNISHING.  
AC RATINGS SHOWN ARE ESTIMATED AND BASED ON A 1,500KVA TRANSFORMER WITH 81,000 SHORT CIRCUIT AMPS AVAILABLE.
- ② ESTIMATED MAXIMUM OF 81,000 SHORT CIRCUIT AMPS AT THE TRANSFORMER.  
10K AC BREAKERS IN THE APARTMENT LOAD CENTERS SHALL COORDINATE WITH THE 22KAC METER CIRCUIT BREAKERS WHICH WILL COORDINATE WITH THE 100K AC SWITCHBOARD BREAKERS.
- ③ ESTIMATED MAXIMUM OF 81,000 SHORT CIRCUIT AMPS AT THE TRANSFORMER.  
22K/42K AC BREAKERS IN THE PANELBOARDS SHALL COORDINATE WITH THE 65K/100K AC BREAKERS IN THE DISTRIBUTION PANELS AND THE SERVICE SWITCHBOARD BREAKERS.

### SERIES RATED GEAR NOTES

- ① ALL ELECTRICAL GEAR SHALL BE SERIES RATED. CONTRACTOR SHALL SUBMIT ALL REQUIRED SERIES RATING SIGNAGE AND SUPPORTING SERIES MANUFACTURER'S DOCUMENTATION TO MEET ALL REQUIREMENTS OF NEC 110.10, 110.22 (B) AND (C) AND NEC 240.86 TO THE ELECTRICAL ENGINEER

### METER STACK COORDINATION NOTES

- ① NOTE: RISER DIAGRAM STACKING IS DIAGRAMMATIC ONLY AND IS SHOWN FOR NUMBER OF STACKS AND STACK AMPERAGE. CONTRACTOR SHALL PROVIDE STACKS AS SHOWN ON ELECTRICAL ROOM PLAN LAYOUTS. CONTRACTOR SHALL BALANCE THE LOAD ON BOTH THE RIGHT SIDE AND THE LEFT SIDE OF THE METER GROUP

### ALL SERVICES SHALL BE SERIES RATED

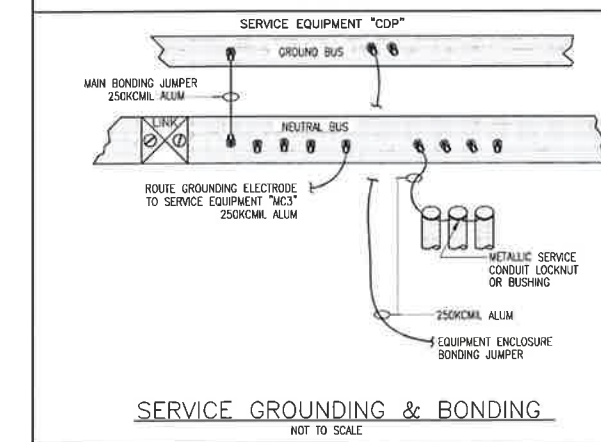
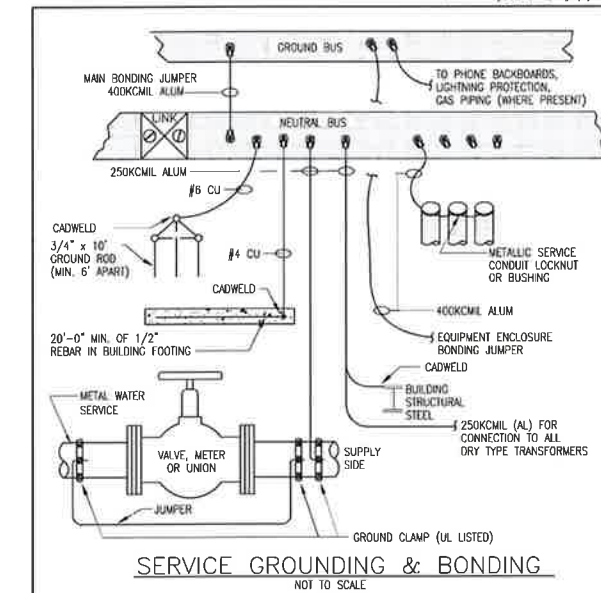
- 1- PRIOR TO FINAL ORDERING OF PANELBOARDS, CIRCUIT BREAKERS, AND ALL ASSOCIATED EQUIPMENT, THE CONTRACTOR SHALL ARRANGE FOR AND PROVIDE TO THE ELECTRICAL ENGINEER OF RECORD VIA THE ARCHITECT A LETTER FROM THE LOCAL POWER COMPANY ON THEIR LETTERHEAD STATING THE SHORT CIRCUIT FAULT CURRENT AVAILABLE AT THE SECONDARY OF THE UTILITY COMPANY TRANSFORMER. INFORMATION SHALL BE USED TO DETERMINE THE FINAL A.I.C. RATINGS OF THE PANELBOARDS, METER CENTERS, MAIN DISCONNECT SWITCHES AND CIRCUIT BREAKERS.
- 2- ESTIMATED 72,000 AVAILABLE SHORT CIRCUIT AMPS- VERIFY PRIOR TO ORDERING GEAR. THE 10 KAIC BREAKERS IN THE LOAD CENTERS, 22KAIC IN THE HOUSE PANELS AND THE 42KAIC BREAKERS AT THE METERS SHALL BE SERIES RATED WITH THE 100KAIC SERVICE MAIN BREAKER FOR 100KAIC PROTECTION DOWNSTREAM FROM THE SERVICE MAIN. ALL GEAR SHALL BE U.L. LABELED AND LISTED FOR THIS PURPOSE.  
CONTRACTOR SHALL BOND ALL SERVICE GROUNDS TOGETHER.
- 3-

### GENERAL NOTES:

- 1- WHERE CIRCUIT BREAKER OR FUSES ARE SERIES CONNECTED RATED, THE ENCLOSURE FOR THE OVERCURRENT DEVICES SHALL BE CLEARLY AND LEGIBLY MARKED IN THE FIELD TO INDICATE THE EQUIPMENT HAS BEEN APPLIED WITH A SERIES COMBINATION RATING. THE MARKING SHALL BE READILY VISIBLE AND READ THE FOLLOWING: CAUTION-SERIES COMBINATION SYSTEM RATED --- AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED.
- 2- THE CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY REGARDING SERVICE LATERALS TO METER CENTERS. IF THE LOCAL UTILITY COMPANY WILL NOT PROVIDE ANY SERVICE LATERALS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SAID CONDUCTORS AND CONDUIT SIZED PER N.E.C. COORDINATE SERVICE RUNS PRIOR TO SUBMITTING BID.
- 3- PROVIDE PLAQUE NOTED LOCATION OF OTHER METER GROUPS AND SERVICES IN BUILDING.
- 4- THE CONTRACTOR SHALL COORDINATE METER CENTER AND TRANSFORMER LOCATIONS WITH LOCAL UTILITY COMPANY AND DEVELOPER.

### KEY NOTES:

- ① MCB METER CENTER SIZE AS NOTED, 100KAIC RATED.
- ①A MLO METER CENTER SIZE AS NOTED, 100KAIC RATED.
- ② UNIT SUBMETERS WITH INTEGRAL BREAKERS, BREAKERS SHALL BE SERIES RATED WITH MAIN. SEE LIVING UNIT FEEDER SCHEDULE FOR FEEDER AND BREAKER SIZE.
- ③ ESTIMATED-CENTER OF TOP METER SHALL NOT EXCEED 5'-6" ABOVE GRADE. CENTER OF BOTTOM METER SHALL NOT BE LOWER THAN 30" ABOVE GRADE. COORDINATE WITH UTILITY COMPANY PRIOR TO PURCHASE OR INSTALLATION
- ④ CONDUITS, CONDUCTORS AND GROUNDS. SEE SCHEDULES FOR SIZING.
- ⑤ 200AMP, 3-PHASE FULLY RATED METER FOR HOUSE PANEL. ROUTE #250KCMIL, 1#4(C)-3"C
- ⑥ 225AMP, 3-PHASE FULLY RATED METER FOR HOUSE PANEL. ROUTE #100KCMIL, 1#2(C)-3"C
- ⑦ 400AMP, 80% RATED (320AMP) METER SOCKET WITH 300AMP CB FOR HOUSE PANEL. ROUTE #500KCMIL, 1#2(C)-4"C



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SHEET TITLE  
**LEGENDS, NOTES,  
DETAILS, SCHEDULES -  
ELECTRICAL**

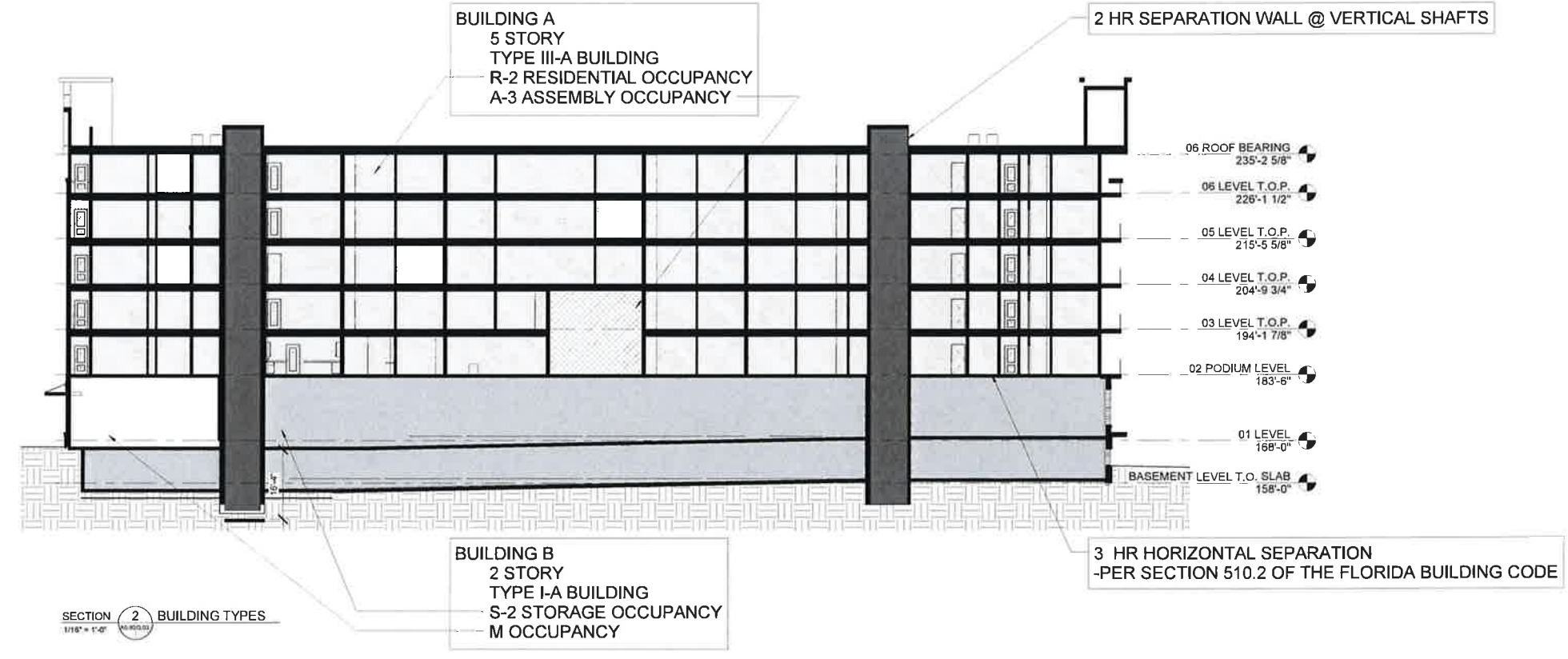
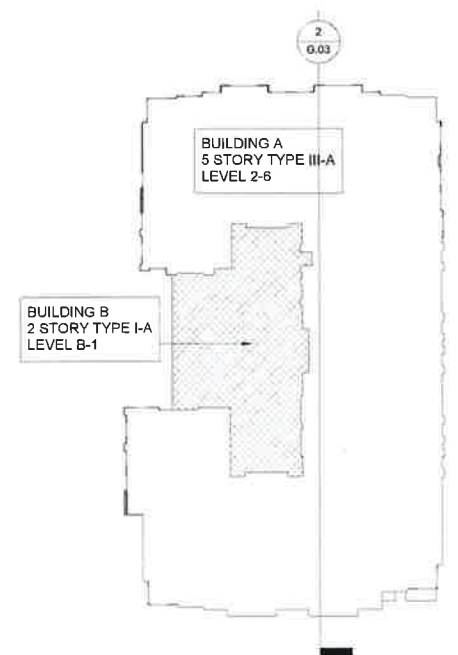
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**E0.04**

02/26/16



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**SECTION 2**  
BUILDING TYPES  
1/16" = 1'-0"

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SHEET TITLE  
CODE ANALYSIS

SHEET NUMBER  
**G.03**

2/26/16

NOT FOR CONSTRUCTION

**BUILDING DATA**

**OCCUPANCY:** NEW APARTMENT BUILDINGS (NFPA 101 CHAPTER 30)  
 DWELLING UNITS - GROUP R-2 (FBC SECTION 310.4)  
 LEASING OFFICE -  
 CLUBROOM - ASSEMBLY GROUP A-3 (FBC SECT. 303.4)  
 OFFICE SHELL - GROUP B (NFPA 101 CHAPTER 38)  
 OFFICE SHELL - BUSINESS GROUP B (FBC SECT. 304.1)  
 COMMERCIAL SHELL - T9D (TENANT FIT OUT TO BE PERMITTED SEPARATELY)  
 PARKING - GROUP S-2 (FBC SECTION 311.3)

**MIXED OCCUPANCY:** YES

**ALLOWABLE HEIGHTS & BUILDING AREAS**

**CONSTRUCTION TYPE:** TYPE 1-A AND III-A (FBC SECTION 403.2,1,1,2)

**FIRE PROTECTION:** YES: NFPA 13 AND IBC 403.3

**BUILDING HEIGHT:** MAX. NUMBER OF STORIES ALLOWED (TABLE 503) = 5 STORIES, 85' HIGH (PER 504.2 AUTOMATIC SPRINKLER SYSTEM INCREASE)  
 ACTUAL NUMBER OF STORIES = 5 STORIES, 68'-0" HIGH  
 NOTE:  
 AVERAGE GRADE = 164'-1"  
 TOP OF STRUCTURE = 253'-2 5/8"  
 CALCULATED BLDG. HEIGHT (PER FBC 2014) = 89'-1 5/8"

**GROSS AREA:** ALLOWABLE FLOOR AREA (PER TABLE 503): 36,000 (PER 503.3 AUTOMATIC SPRINKLER SYSTEM INCREASE)  
 PER 505.1 (12,000 SF + [12,000 SF X 2]) = 36,000 SF  
 ACTUAL FLOOR AREA OF CONSTRUCTION: 25,649 SF PER LEVEL (MAX)

**SPRINKLER HEIGHT INCREASE:** NFPA 13 SPRINKLER SYSTEM IS PROVIDED THROUGHOUT TO INCREASE 1-STORY AND 2'

**FIRE PROTECTION INFORMATION**

**DEAD END LIMIT-MAX. CONDITION:**  
 ASSEMBLY OCCUPANCY (CLUBROOM) 20 FT (NFPA 101, SECTION 12.2.5.1,3)  
 APARTMENT BUILDINGS 50 FT (NFPA 101 SECTION 30.2.5.4,2)  
 BUSINESS OCCUPANCY (LEASING OFFICE) 50 FT (NFPA 101 SECTION 38.2.5.2,1)  
 MERCANTILE OCCUPANCY 50 FT (NFPA 101 SECTION 36.2.5.2,1)

**MAX. COMMON PATH OF TRAVEL:**  
 ASSEMBLY OCCUPANCY (CLUBROOM) 20 FT, 75 FT (50 OR LESS OCCUPANTS ONLY) (NFPA 101, SECTION 12.2.5.1,2)  
 APARTMENT BUILDINGS 50 FT (NFPA 101 SECTION 30.2.5.3,2)  
 BUSINESS OCCUPANCY (LEASING OFFICE) 100 FT (NFPA 101 SECTION 38.2.5.3,1)  
 MERCANTILE OCCUPANCY 100 FT (NFPA 101 SECTION 36.2.5,3)

**MAX. TRAVEL DISTANCE TO NEAREST EXIT:**  
 ASSEMBLY OCCUPANCY (CLUBROOM) 250 FT (NFPA 101, SECTION 12.2.6.2 EXCEPTION 1)  
 APARTMENT BUILDINGS 125 FT (WITHIN DWELLING UNIT), 200 FT (NFPA 101 SECTION 30.2.6.2 & 30.2.6.3,2)  
 BUSINESS OCCUPANCY 300 FT (NFPA 101 SECTION 38.2.6,3)

**OCCUPANT LOAD PER STORY-MINIMUM NUMBER OF EXITS (NFPA 101, SECTION 7.4.1):**  
 1 - 500 = 2 EXITS  
 501 - 1,000 = 3 EXITS  
 > 1,000 = 4 EXITS

**FIRE STAIRS (IBC SECT. 1009):**  
 MINIMUM WIDTH 44"  
 MAXIMUM RISER HEIGHT 7"  
 MINIMUM TREAD DEPTH 11"  
 HANDRAIL HEIGHT AT WALL 34"  
 GUARDRAIL HEIGHT AT CENTER 42"  
 HANDRAIL HEIGHT AT CENTER 34"

- NOTE: ALL FIRE EXTINGUISHERS TO BE NOT MORE THAN 150'-0" APART, INCLUDING TRAVEL DISTANCE FROM WITHIN AN INDIVIDUAL UNIT.
- NOTE: THE BELOW LISTED AUTOMATIC SPRINKLER SYSTEMS MUST BE MET BY SPRINKLER CONTRACTOR:
- SHOP DRAWINGS TO BE PROVIDED
  - NFPA 13 SPRINKLER SYSTEM PER SECTION 903.3.1,1
  - QUICK RESPONSE AND RESIDENTIAL HEADS PER SECTION 903.3.2
  - ACTUATION PER SECTION 903.3.4
  - WATER SUPPLY PER SECTION 403.3.2 AND 903.3.5
  - SPRINKLER SUPERVISION AND ALARMS PER SECTION 903.4
- CONSTRUCTION DOCUMENTS AND/OR SHOP DRAWINGS FOR THE INSTALLATION OF FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED AND REVIEWED PRIOR TO THE ISSUANCE OF THE PERMIT.
- THE BELOW LISTED FIRE ALARM AND DETECTION SYSTEMS MUST BE MET:
- CONSTRUCTION DOCUMENTS PER SECTION 907.1.1
  - MANUAL FIRE ALARM SYSTEM IN GROUP A PER SECTION 907.2.1
  - MANUAL FIRE ALARM SYSTEM IN GROUP R-2 PER SECTION 907.2.9
  - MANUAL FIRE ALARM SYSTEM IN GROUP B PER SECTION 907.2.2
  - MANUAL FIRE ALARM SYSTEM IN GROUP M PER SECTION 907.2.7
  - SINGLE / MULTIPLE STATION SMOKE ALARMS PER SECTION 907.2.9
  - RESIDENTIAL SMOKE ALARM POWER SOURCE PER 907.2.9
  - FIRE ALARM SYSTEM - LOCATION/POWER SUPPLY/WIRING PER SECTION 907.3-907.6
  - FIRE ALARM SYSTEM - ACTIVATION/PRESIGNAL/ZONES PER SECTION 907.5-907.8
  - VISIBLE ALARM NOTIFICATION APPLIANCES PER SECTION 907.5.2
  - DETECTORS PER SECTION 907.3-907.4
  - MONITORING PER SECTION 907.6.5
  - INSTALL CARBON MONOXIDE ALARMS WHERE REQUIRED

**FIRE RESISTANCE RATINGS** SEE LIFE SAFETY PLANS, PARTITION TYPES & UL ASSEMBLIES

ASSEMBLY RATINGS	REQUIRED HOURLY @ TYPE III-A BUILDING	DESIGN NO. FOR RATED ASSEMBLIES	REQUIRED HOURLY @ TYPE 1-A BUILDING	DESIGN NO. FOR RATED ASSEMBLIES
STRUCTURAL FRAME	1 HOUR (FBC TABLE 601)	N/A	3 HOUR (FBC TABLE 601)	SEE TABLES FROM FBC 2014 ON SHEET A0.20
EXTERIOR WALLS LOAD-BEARING	1 HOUR (FBC TABLE 601)	UL U356	3 HOUR (FBC TABLE 601)	UL U425
INTERIOR WALLS LOAD-BEARING	1 HOUR (FBC TABLE 601)	UL U309	3 HOUR (FBC TABLE 601)	N/A
EXTERIOR WALLS NON-LOAD BEARING	1 HOUR (FBC TABLE 602)	UL U356	1 HOUR (FBC TABLE 602)	UL U425
INTERIOR WALLS NON-LOAD BEARING	0 HOUR (FBC TABLE 601)	N/A	0 HOUR (FBC TABLE 601)	N/A
TYPICAL FLOOR CONSTRUCTION	1 HOUR (FBC TABLE 601)	UL L521	2 HOUR (FBC TABLE 601)	SEE TABLES FROM FBC 2014 ON SHEET A0.20
OCCUPANCY SEPARATION (FIRE BARRIERS)	1 HOUR (FBC TABLE 508.4)	UL U419	1 HOUR (FBC TABLE 508.4)	UL U419
BUILDING SEPARATION (FIRE WALLS)	3 HOUR (FBC TABLE 706.4)	N/A	3 HOUR (FBC TABLE 706.4)	N/A
ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	1 HOUR (FBC TABLE 601)	UL P522	1 1/2 HOUR (FBC TABLE 601)	N/A
ROOF COVERING CLASSIFICATION	CLASS B (FBC TABLE 1505.1)			
VERTICAL EXIT ENCLOSURES	2 HOUR (NFPA 101 SECT.8.6.5)	UL U905		
SHAFT ENCLOSURES	2 HOUR (FBC SECT. 713.4 - ALSO SEE GA AMENDMENTS)UL 4438	UL U905		
FIRE BARRIER (INCLUDING SUPPORTING STRUCTURAL COMPONENTS)	2 HOUR			

EXTERIOR WALLS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLES 601 & 602 AND THIS SECTION. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM THE INSIDE. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF LESS THAN OR EQUAL TO 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES (FBC 705.5).

BUILDING AREA (PER FLORIDA BUILDING CODE)		
Level	Name	Area
BASEMENT LEVEL T.O. SLAB		
	CIRCULATION	152 SF
	T.O. SLAB	
	PARKING LEVEL	28314 SF
	T.O. SLAB	
	SERVICE	1782 SF
	T.O. SLAB	
	STAIRWELL	573 SF
	T.O. SLAB	
	STORAGE	1950 SF
	T.O. SLAB	
		32370 SF
01 LEVEL		
	CIRCULATION	963 SF
	PARKING LEVEL	24652 SF
	RETAIL	3879 SF
	SERVICE	1009 SF
	STAIRWELL	573 SF
	STORAGE	1534 SF
		32609 SF
02 PODIUM LEVEL		
	AMENITIES	3765 SF
	BALCONY	768 SF
	CIRCULATION	3438 SF
	LEASING	1505 SF
	RESIDENTIAL	16017 SF
	SERVICE	313 SF
	STAIRWELL	433 SF
	STORAGE	199 SF
		26437 SF
03 LEVEL T.O.P.		
	BALCONY	1093 SF
	CIRCULATION	3423 SF
	RESIDENTIAL	20664 SF
	SERVICE	657 SF
	STAIRWELL	440 SF
	STORAGE	367 SF
		26082 SF
04 LEVEL T.O.P.		
	BALCONY	1093 SF
	CIRCULATION	3426 SF
	RESIDENTIAL	20664 SF
	SERVICE	657 SF
	STAIRWELL	440 SF
	STORAGE	365 SF
		26645 SF
05 LEVEL T.O.P.		
	BALCONY	1093 SF
	CIRCULATION	3426 SF

BUILDING AREA (PER FLORIDA BUILDING CODE)		
Level	Name	Area
05 LEVEL T.O.P. RESIDENTIAL		
		20664 SF
05 LEVEL T.O.P. SERVICE		
		657 SF
05 LEVEL T.O.P. STAIRWELL		
		440 SF
05 LEVEL T.O.P. STORAGE		
		365 SF
		26645 SF
06 LEVEL T.O.P.		
	BALCONY	1084 SF
	CIRCULATION	3425 SF
	RESIDENTIAL	20685 SF
	SERVICE	657 SF
	STAIRWELL	440 SF
	STORAGE	365 SF
		26597 SF
		197446 SF

GROSS FLOOR AREA (PER GAINESVILLE LAND DEVELOPMENT CODE)		
AMENITIES	3765 SF	2%
CIRCULATION	18252 SF	9%
LEASING	1505 SF	1%
PARKING LEVEL	52966 SF	28%
RESIDENTIAL	96131 SF	51%
RETAIL	3879 SF	2%
SERVICE	5734 SF	3%
STAIRWELL	3339 SF	2%
STORAGE	4744 SF	2%
Grand total	192314 SF	

PARKING	COUNT
BASEMENT	
PARKING SPACE (8'X18')	67
PARKING SPACE (12'X18')	1
BIKE SPACE	0
SCOOTER SPACE	21
	93
LEVEL 01	
PARKING SPACE (8'X18')	54
PARKING SPACE (12'X18')	4
BIKE SPACE	72
SCOOTER SPACE	7
	133
TOTAL	
PARKING SPACE (8'X18')	121
PARKING SPACE (12'X18')	5
BIKE SPACE	72
SCOOTER SPACE	28
	226

BEDROOMS	UNIT TYPES	NET SF PER UNIT	UNITS PER LEVEL						TOTAL UNITS	UNIT MIX	TOTAL BEDS	TOTAL % OF BEDS	TARGET % OF BEDS	TOTAL UNIT SF
			LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6							
1														
	A1	660	7	9	9	9	9	43	25.90%	43				28380
	A1 ALT	658	0	1	0	0	0	1	0.60%	1				658
	A2	824	2	2	2	2	2	10	6.02%	10	31.93%			8240
	B1	1045	5	5	5	5	5	25	30.12%	50				26125
	B2	997	1	2	2	2	2	9	10.84%	18				8973
	B3	1134	3	4	4	4	4	19	22.89%	38				21546
2														
	B4	1240	0	0	1	1	1	3	3.61%	6	67.47%			3720
									100.00%	166	99.40%			97642
TOTAL UNITS														
			18	23	23	23	23	110						
TOTAL BEDS														
			27	34	35	35	35	166						

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SHEET TITLE  
 BUILDING INFORMATION

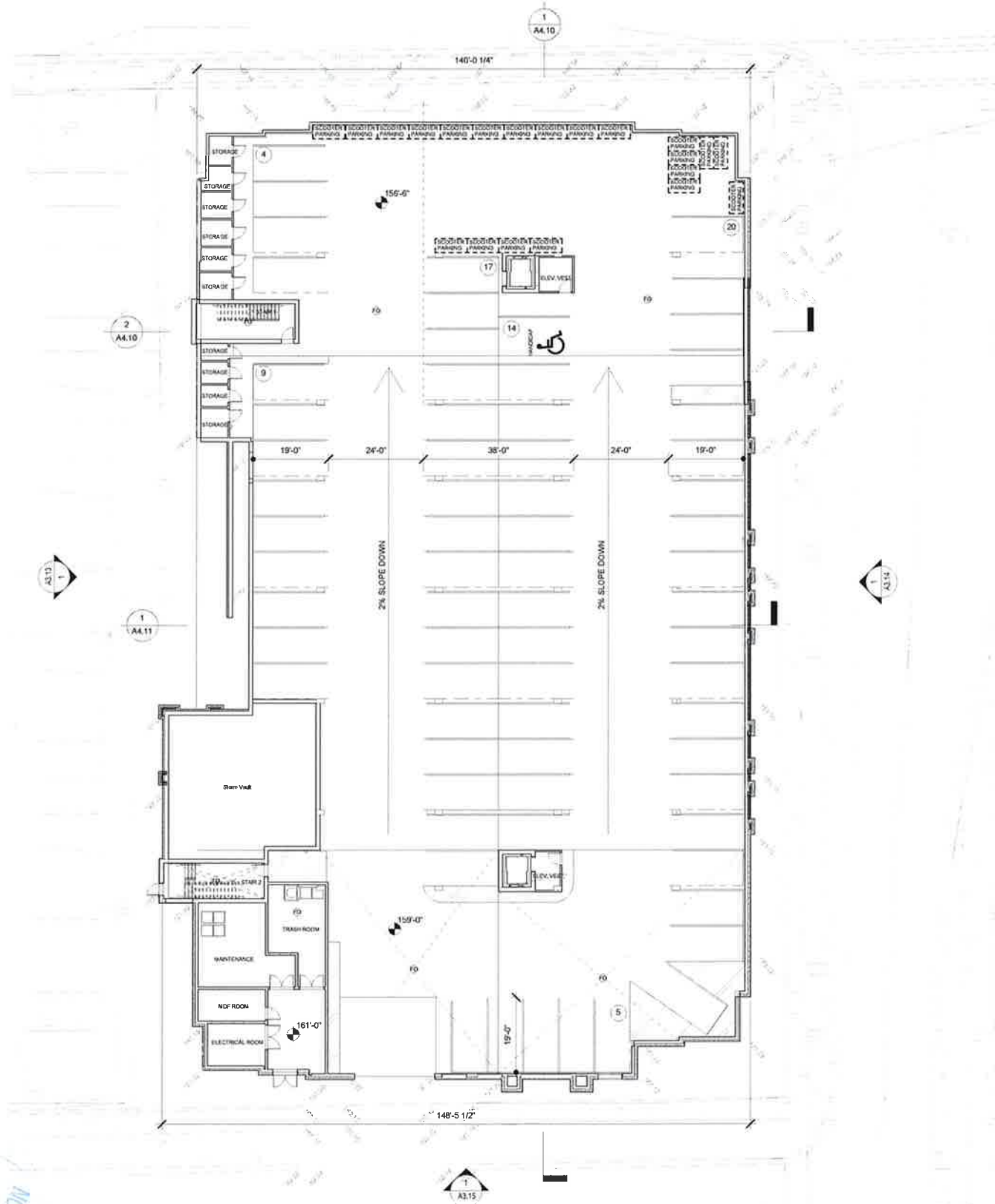
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NOT FOR CONSTRUCTION



1 00 BASEMENT LEVEL T.O. SLAB  
PLAN 1/16" = 1'-0" A1.0.0

**LEGEND**

- 2HR CONCRETE BLOCK WALL
- WOOD STUD WALL
- BRICK VENEER
- PARTITION TYPE: FOR WOOD FRAMING REFER TO A0.30, FOR CMU FRAMING REFER TO A0.31.
- DOOR NUMBER
- WINDOW TYPE
- 36" ACCESSIBLE ROUTE
- UNITS WITH MOBILITY FEATURES
- UNITS WITH COMMUNICATION FEATURES
- FIRE EXTINGUISHER CABINET

- NOTES:**
- REFER TO SHEETS A6.10-A6.22 FOR ALL STAIR AND ELEVATOR INFORMATION
  - ALL DIMENSIONS ARE TO FACE OF STUD OR BLOCK UNLESS NOTED OTHERWISE REFER TO UNIT PLANS FOR UNIT DIMENSIONS
  - DOORS ARE 4" FROM STRUCTURE OR FACE OF GYPSUM BOARD OR CENTERED IN WALL PANEL UNLESS DIMENSIONED OTHERWISE.
  - MAX. SLOPE 2% IN ALL DIRECTIONS AT ACCESSIBLE ROUTES AND SPACES
  - EACH UNIT WITH MOBILITY FEATURES MUST HAVE AN ACCESSIBLE MAILBOX OF 48" OR LESS.
  - A KNOX BOX WILL BE PROVIDED TO ENSURE EMERGENCY ACCESS TO THE "RESTRICTED ACCESS OCCUPANCY". RESTRICTED ACCESS OCCUPANCY MEANS: ANY MULTIPLE RESIDENTIAL OCCUPANCY WITH INTERIOR CORRIDORS THAT LEAD TO INDIVIDUAL RESIDENTIAL UNITS, TO WHICH GENERAL PUBLIC ACCESS IS RESTRICTED. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-16 (b)]

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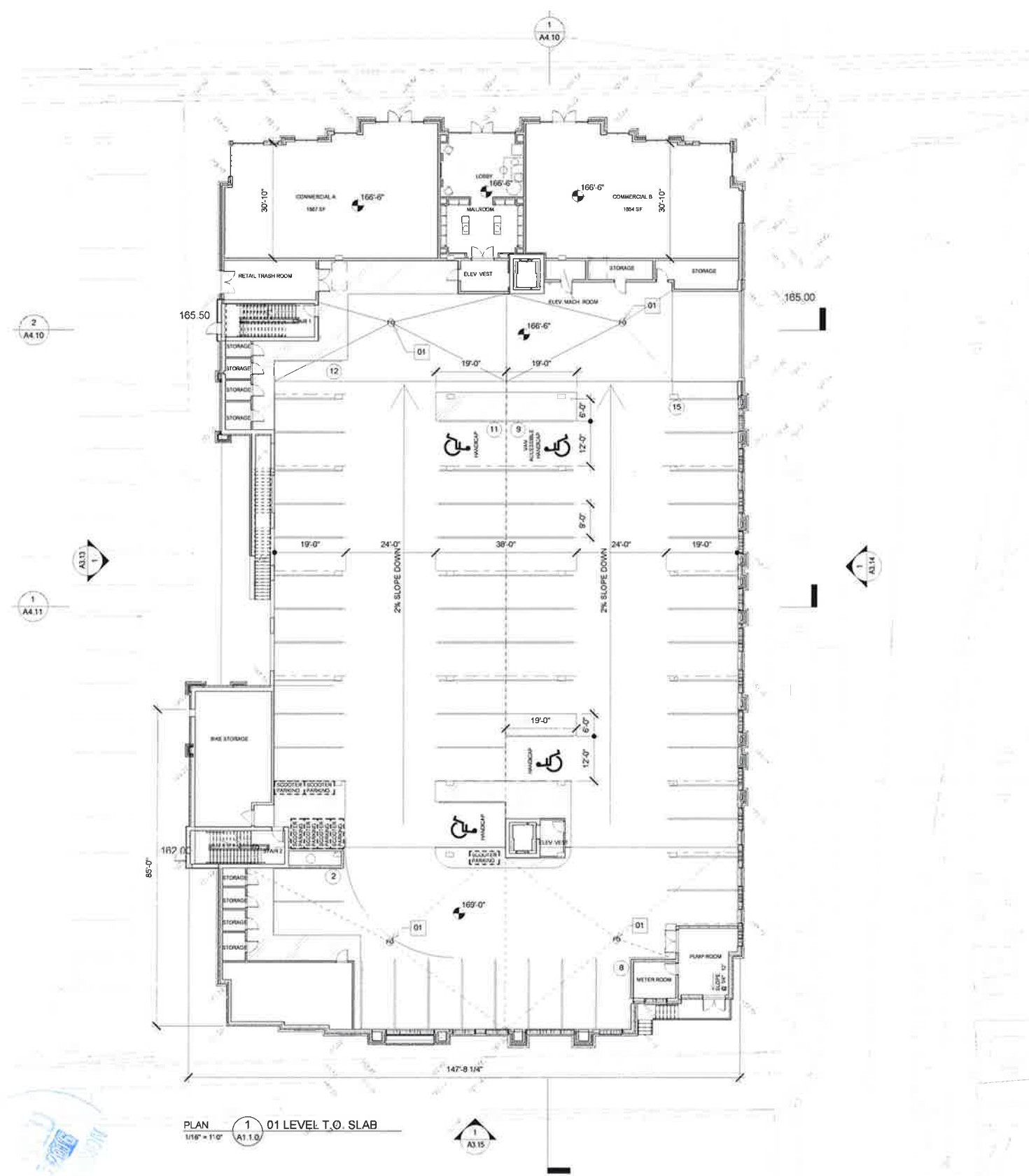
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SHEET TITLE  
**BASEMENT FLOOR PLAN**

SHEET NUMBER  
**A1.0.0**

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PLAN 1 01 LEVEL T.O. SLAB  
1/16" = 1'-0"

**LEGEND**

- 2HR CONCRETE BLOCK WALL
- WOOD STUD WALL
- BRICK VENEER
- PARTITION TYPE: FOR WOOD FRAMING REFER TO A0.30, FOR CMU FRAMING REFER TO A0.31
- DOOR NUMBER
- WINDOW TYPE
- 36" ACCESSIBLE ROUTE
- UNITS WITH MOBILITY FEATURES
- UNITS WITH COMMUNICATION FEATURES
- FIRE EXTINGUISHER CABINET

- NOTES:**
1. REFER TO SHEETS A6.10-A6.22 FOR ALL STAIR AND ELEVATOR INFORMATION. ALL DIMENSIONS ARE TO FACE OF STUD OR BLOCK UNLESS NOTED OTHERWISE.
  2. REFER TO UNIT PLANS FOR UNIT DIMENSIONS.
  3. DOORS ARE 4" FROM STRUCTURE OR FACE OF GYPSUM BOARD OR CENTERED IN WALL PANEL UNLESS DIMENSIONED OTHERWISE.
  4. MAX. SLOPE 2% IN ALL DIRECTIONS AT ACCESSIBLE ROUTES AND SPACES.
  5. EACH UNIT WITH MOBILITY FEATURES MUST HAVE AN ACCESSIBLE MAILBOX OF 48" OR LESS.
  6. A KNOX BOX WILL BE PROVIDED TO ENSURE EMERGENCY ACCESS TO THE "RESTRICTED ACCESS OCCUPANCY". RESTRICTED ACCESS OCCUPANCY MEANS; ANY MULTIPLE RESIDENTIAL OCCUPANCY WITH INTERIOR CORRIDORS THAT LEAD TO INDIVIDUAL RESIDENTIAL UNITS, TO WHICH GENERAL PUBLIC ACCESS IS RESTRICTED. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-16 (b)]

PROJECT # : 113070.00  
DRAWN BY: Author  
CHECKED BY: Checker

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**INNOVATION SQUARE - GAINESVILLE**  
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SHEET TITLE  
FIRST FLOOR PLAN

SHEET NUMBER

**A1.1.0**

2/26/16

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 ORIGINAL FILED: 2/26/16



Keynote Legend	
NUMBER	KEYNOTE
1	PAINTED FIBER CEMENT PANEL - PPG 1001-2: ARIA
2	PAINTED FIBER CEMENT PANEL - PPG 1002-5: ANTIQUE SILVER
3	PAINTED FIBER CEMENT PANEL - PPG 1233-5: TROPICAL SPLASH
4	PAINTED FIBER CEMENT PANEL - PPG 1196-7: ORANGE POPPY
5	PAINTED FIBER CEMENT PANEL - PPG 1003-6: CRACKED SLATE
6	PAINTED FIBER CEMENT TRIM - PPG 1001-2: ARIA
8	PAINTED FIBER CEMENT TRIM - PPG 1003-6: CRACKED SLATE
9	PAINTED FIBER CEMENT CORNICE - PPG 1002-5: ANTIQUE SILVER
12	METAL TRIM - IMETCO CADET GREY
13	BRICK VENEER - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
15	BRICK CORBELING - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
16	BRICK SOLDIER COURSE - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
17	BRICK ROWLOCK - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
18	METAL AWNING - IMETCO CADET GRAY
20	STOREFRONT
21	BUILDING SIGNAGE
23	BALCONY GLAZING
24	DECORATIVE SCREEN PANEL

PROJECT #: 113070.00  
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**INNOVATION SQUARE - GAINESVILLE**  
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SHEET TITLE  
ELEVATIONS

SHEET NUMBER

**A3.01**

2/26/16

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DRAWING FILE NAME PATH



Keynote Legend	
NUMBER	KEYNOTE
1	PAINTED FIBER CEMENT PANEL - PPG 1001-2: ARIA
2	PAINTED FIBER CEMENT PANEL - PPG 1002-5: ANTIQUE SILVER
3	PAINTED FIBER CEMENT PANEL - PPG 1233-5: TROPICAL SPLASH
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9	PAINTED FIBER CEMENT CORNICE - PPG 1002-5: ANTIQUE SILVER
12	METAL TRIM - IMETCO CADET GREY
13	BRICK VENEER - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
14	BRICK VENEER 2
15	BRICK CORBELING - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
16	BRICK SOLDIER COURSE - CHEROKEE BRICK: VELOUR MEDIUM GRAY MODULAR
18	METAL AWNING - IMETCO CADET GREY
20	STOREFRONT
23	BALCONY GLAZING

FENESTRATION CALCULATIONS:  
 BASED ON 3'-8" ZONE (FROM SIDEWALK ELEVATION)  
 PER CODE OF ORDINANCES FOR THE CITY OF GAINESVILLE (UMU-2 ZONING DISTRICT) REGULATIONS OVERVIEW GUIDELINES. 50% MINIMUM FOR FIRST STORY ON LOCAL STREET FRONTAGES.



ELEV 1 SOUTH ELEVATION  
 392' x 1'-0" A3.02

ELEV 2 WEST ELEVATION  
 392' x 1'-0" A3.02

PROJECT #: 113070.00  
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SHEET TITLE  
 ELEVATIONS

SHEET NUMBER

**A3.02**

2/26/16

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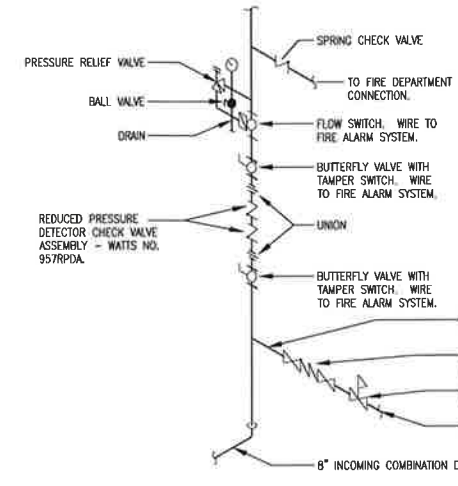
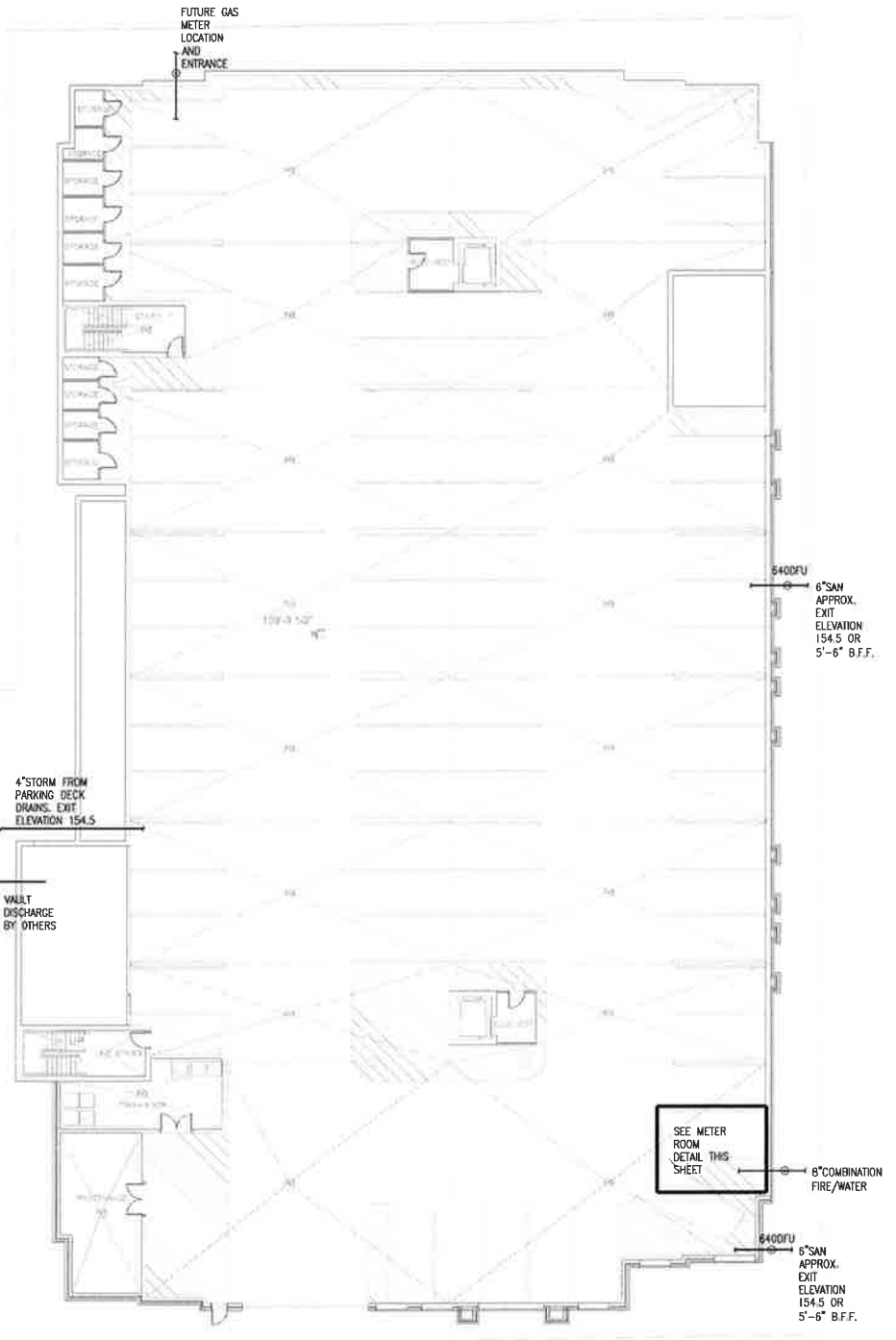




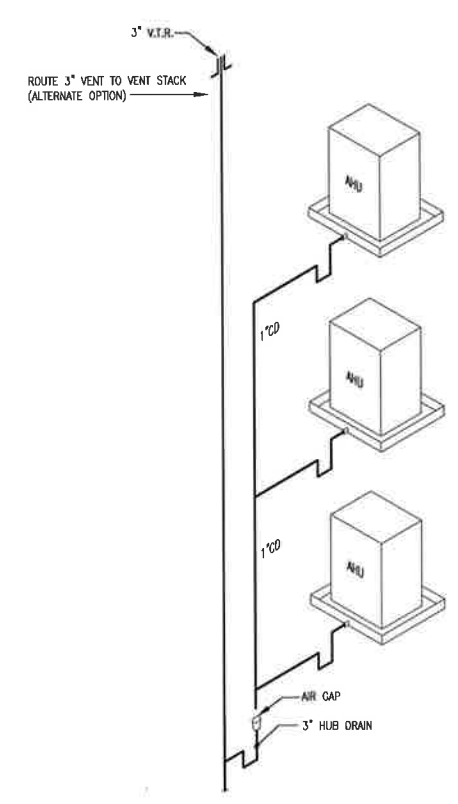




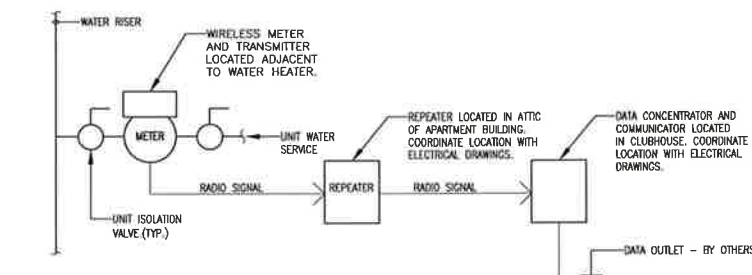




**NFPA 13 COMBINATION FIRE/WATER SERVICE SCHEMATIC**  
SCALE: N.T.S.

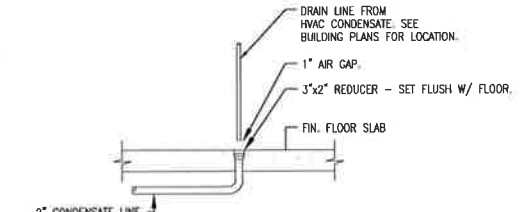


**CONDENSATE DRAIN PIPING DETAIL**  
NOT TO SCALE

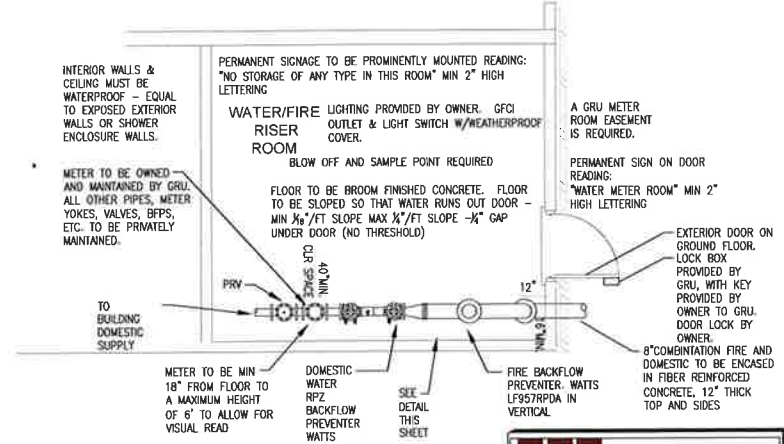


1. REMOTE READ WATER METER BASIS OF DESIGN:
- THE DOMESTIC WATER SUB-METERING SYSTEM SHALL BE H2O DEGREE PROVIDED BY ION ENERGY SOLUTIONS. THE METER SHALL BE 3/4" AND COMPLY WITH ALL H2O DEGREE REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO:
    - a. HOURLY OR DAILY WATER METER READINGS SHOULD BE SENT FROM THE WATER METERS IN INDIVIDUAL APARTMENTS WITH THE USE OF THE WIRELESS SUB-METERING SYSTEM.
    - b. WIRELESS COMMUNICATION SHALL OCCUR BETWEEN A TRANSMITTER/RECEIVER, LESS THAN 24 CU. IN., CONNECTED TO A WATER METER AND THE AQUA CLOUD GATEWAY. THE GATEWAY AND A COORDINATOR SHOULD BE "PLUG AND PLAY" WITH NO CONFIGURATION REQUIRED.
    - c. THE COORDINATOR SHOULD INTERFACE WITH THE AQUA CLOUD GATEWAY USING A USB 2.0 CABLE.
    - d. THE DATA FROM THE GATEWAY SHOULD BE RETRIEVABLE AUTOMATICALLY VIA AN INTERNET CONNECTION.
    - e. THE SYSTEM MUST UTILIZE BI-DIRECTIONAL WIRELESS COMMUNICATION TECHNOLOGY (I.E. RADIO FREQUENCY BASED) AND SHOULD USE DIRECT SEQUENCE SPREAD SPECTRUM (DSSS) IN CONJUNCTION WITH THE CARRIER SENSE MULTIPLE ACCESS WITH COLLISION AVOIDANCE (CSMA/CA) TECHNIQUE.
    - f. THE WIRELESS SMART-METERING EQUIPMENT SHOULD SUPPORT MULTIPLE BILLING COMPANIES (OFTEN CALLED READ, BILL AND COLLECT - RBC).
    - g. DAILY LEAK REPORTS SENT TO OWNER.

**WATER SUB-METER SCHEMATIC**  
NOT TO SCALE



**CONDENSATE HUB DRAIN DETAIL**  
NOT TO SCALE



PLAN 1 BASEMENT FLOOR PLAN - SECTION 1  
1/16" = 1'-0" X1.00

PROJECT #: 113070.00  
DRAWN BY: Author  
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The Benoit Group

SHEET TITLE  
OVERALL BASEMENT FLOOR PLAN

SHEET NUMBER

**P1.00-0**

Issue Date

**JSE** Jordan & Skala Engineers  
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Tel: 818 417-5311 Fax: 818 417-5312  
Project Number - XXX-XXXX Drawn By: XXXX Checked By: XXXX



