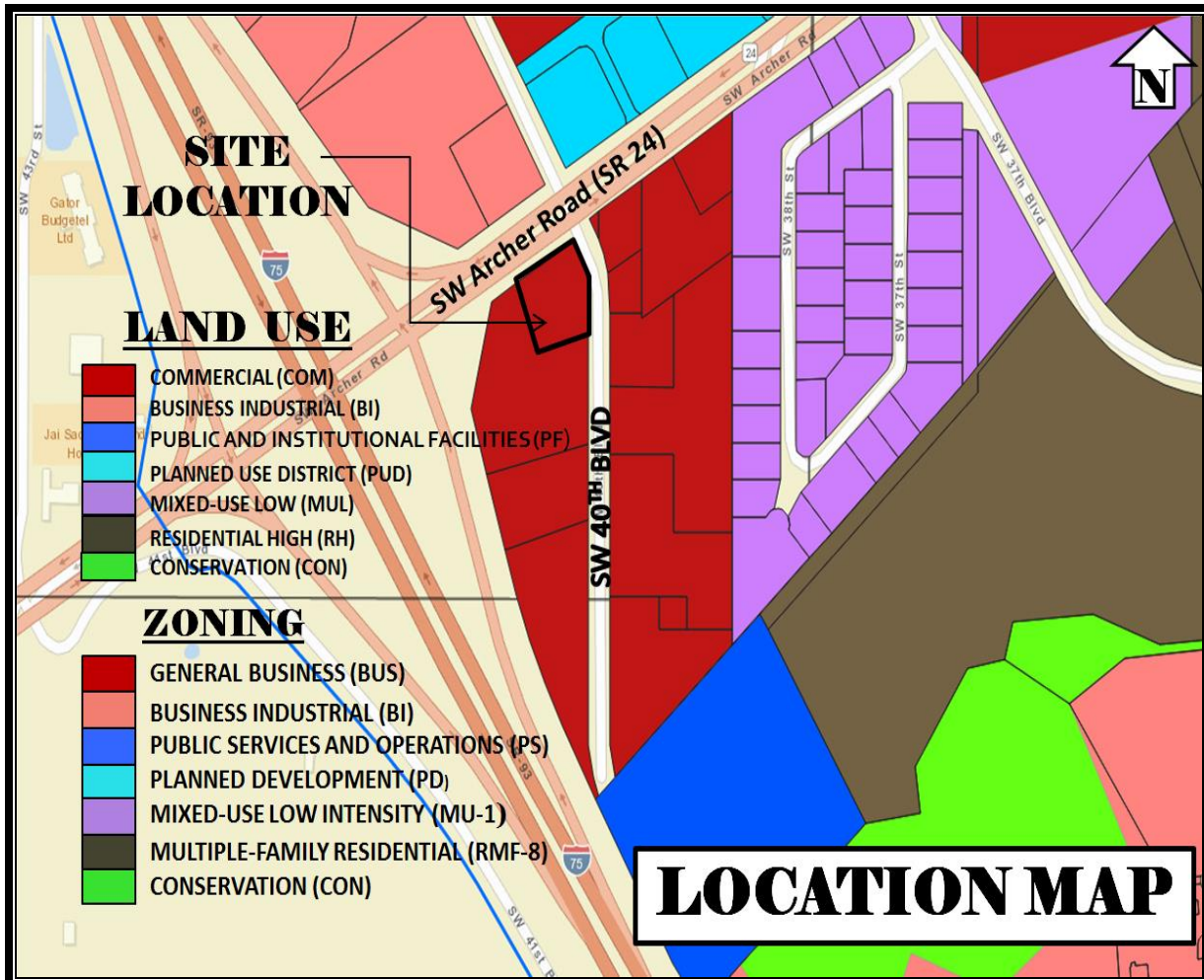


TO: City Plan Board **Item Number: 4**
FROM: Department of Doing Staff **DATE: May 25, 2017**
SUBJECT: Petition PB-17-26 SUP. Quality Dining, Inc., agent for Bravoflorida, LLC, owner. A Special Use Permit with associated minor development plan review for the construction of a fast food restaurant with a drive-through. Zoned: BUS (General business district). Located at 3902 SW 40th Boulevard.

Recommendation

Approve this petition, subject to the conditions in this staff report and Appendix E.



Description

This petition is for a Special Use Permit (SUP) and associated minor development plan approval to construct a Burger King restaurant with a drive-through. The restaurant will be housed in a new, one-story building that is approximately 3,801 square feet in size. The drive-through will feature two order lanes; a by-pass lane; a pay window; a pick-up window, and menu/order boards. Other improvements will include off-street parking, landscaping, utilities, stormwater, solid waste facilities, lighting, sidewalks, and a pedestrian cross-walk. Signage will be permitted separately.

The development site consists of 1.108 (MOL) acres located on the southwest corner of SW Archer Road (SR 24) and SW 40th Boulevard. A one-story masonry building that contains a Burger King restaurant with a drive-through currently occupies the development site. Adjacent properties are predominantly non-residential (see Table 1). SW Archer Road (SR 24), a state-maintained arterial listed in the annual Level of Service Report produced by the North Central Florida Regional Planning Council, abuts on the north. A hotel site undergoing construction abuts on the south and west. SW 40th Boulevard, a local street, abuts on the east.

As shown on the Location Map, the development site and adjacent properties have a Commercial (C) land use and General business (BUS) zoning designation. The commercial land use designation supports retail establishments, such as eating places. The BUS zoning district permits eating places by right, subject to compliance with the requirements in [section 30-61](#) of the City Land Development Code. Adjacent properties on the north side of SW Archer Road (SR 24) have Business Industrial (BI) and Planned Development (PD) land use and zoning designations. These land use and zoning designations also permit eating places.

In addition to the requirements of the City Land Development Code (LDC), the development site is also subject to policies affecting redevelopment projects within Zone C of the City's Transportation Mobility Program Area (TMPA). The first of these policies is [Transportation Mobility Element, Policy 10.3.1](#), which requires redevelopment projects on roadways listed in the annual Level of Service Report to comply with the build-to-line, parking, sidewalks, building wall articulation and mechanical equipment standards of the [Special Area Plan for Central Corridors \(SAPCC\)](#). [Transportation Mobility Element, Policy 10.4.5](#) requires a Special Use Permit (SUP) for new free-standing drive-through facilities with a direct access connection from a street within the TMPA. The approval of the SUP must be based upon a finding that the drive-through facility meets the review standards in [Transportation Mobility Element, Policy 10.4.4](#) and the review criteria in [section 30-233](#) of the LDC. Lastly, [Transportation Mobility Element, Policy 10.5.5](#) states that at least 50% of the number of street trees planted on redevelopment sites in Zone C shall be 65-gallon-sized trees, 18 feet tall and 3.5 inches in trunk caliper, or their equivalent in winter-dug and hardened-off balled and burlapped trees selected from the Tree List in the LDC. An automated irrigation system is also required.

The construction activities to occur on the development site that are subject to the above-referenced requirements include removing the existing building and drive-through facilities. Other existing improvements, such as impervious areas, utilities, plant material and light poles will also be removed. The new building to house the Burger King restaurant will be constructed

near the center of the development site. The main entrances to the new building will face the abutting roadways. A newly paved off-street parking area, consisting of 33 car spaces and 4 bike spaces, will surround the new building. Major components of the drive-through facility will be located on the north side of the new building. A sidewalk, pedestrian connection and two-directional driveway will be provided on SW 40th Boulevard. Landscape material consisting of groundcover, trees and shrubs will be provided on the development site with an underground irrigation system. Two existing pole signs on SW Archer Road (SR 24) will be maintained.

Findings on whether this petition complies with the City's Comprehensive Plan and Land Development Code are provided in the following sections of the staff report and the City Technical Review Committee (TRC) comments in Appendix E. Documents referenced throughout the staff report can either be found in the Appendices as a hardcopy or as a hyperlink.

Key Issues

- A board-approved waiver from the lighting requirements in section [30-344\(e\) \(3\)](#) of the City Land Development Code is requested. If approved, the lighting waiver will allow the use of up/down light fixtures on the exterior of the new building to house the Burger King restaurant. The City Land Development Code requires the use of full cutoff light fixtures and an average vertical illuminance that does not exceed 0.2 foot-candles measured five feet above the height of the luminaire. According to the manufacturer's specifications, the proposed up/down light fixtures will eliminate high angle brightness and not exceed the maximum average vertical illuminance allowed. This light fixture is also to be installed on the exterior of the new Burger King restaurant on Newberry Road (SR 26), as a result of a staff-approved lighting waiver.
- The build-to-line standard of the [Special Area Plan for Central Corridors \(SAPCC\)](#) requires the north (front) wall of the new building to be placed no closer than 14 feet and no greater than 80 feet from the curb along SW Archer Road (SR 24). This distance shall be met for at least 70 percent of the north (front) wall of the new building. A board-approved exception from this standard is requested to have a build-to-line distance of 113.87 feet instead. If approved, the exception will allow major components of the new drive-through facility to be placed on the north side of the development site, which abuts SW Archer Road (SR 24).

Basis for Recommendation

The staff recommendation is based on the criteria for issuance of a Special Use Permit (SUP) shown in [Transportation Mobility Element, Policy 10.4.4](#) and [sec. 30-233](#) of the City's Land Development Code. The City Plan Board must make findings concerning the SUP to ensure that the design, location, and methods of operation conform to these requirements.

Transportation Mobility Element, Policy 10.4.4., Special Use Permit Criteria:

- a. Maximization of pedestrian and bicycle safety and convenience.** Pedestrian connections will not intersect with the order and by-pass lanes of the drive-through

- facility. Vehicle and bike spaces will be provided in close proximity to building entrances for safety and convenience. A sidewalk will be constructed along the west side of SW 40th Boulevard to connect pedestrian traffic on SW Archer Road (SW 24) to the main building entrances.
- b. Adequate queuing space for vehicles such that there is no back-up of traffic onto adjacent roadways.** Based on comments from the City Public Works Department in Appendix E, there will be sufficient queuing space for vehicles in the drive-through facility in order to prevent back-up of traffic onto the abutting roadways.
 - c. Provision of a by-pass lane or sufficient driveway area around the drive-through lanes to assist internal vehicular circulation.** The drive-through facility will include one by-pass lane to facilitate safe and efficient traffic circulation on the development site. The two order lanes will be transitioned into one lane in order to create a safer intersection of traffic approaching the pay and pick-up windows. Also, striping will be provided to delineate the separation between the order lanes and bypass lane.
 - d. Minimization of the visual impacts of the drive-through lanes on street frontage.** Street buffers will be planted along SW Archer Road (SR 24) and SW 40th Boulevard to screen the drive-through facility. The street buffers will consist of a dense mixture of large and small vegetation that will serve to reduce the visibility of the drive-through lanes from the abutting roadways. [Transportation Mobility Element, Policy 10.5.5](#) requires minimum 65-gallon-sized trees, 18 feet tall and 3.5 inches in trunk caliper, or their equivalent in winter-dug and hardened-off balled and burlapped trees selected from the Tree List in the Land Development Code, along both SW Archer Road (SR 24) and SW 40th Boulevard.
 - e. Minimization of the total number of drive-through lanes based on site conditions and the operating conditions of the impacted roadway segments.** The proposed development will have two drive-through lanes that merge into a single lane. The lane merger will lessen the impact of the double drive-through design on traffic circulation and the aesthetics of the development site. The drive-through facility will also have a by-pass lane to minimize traffic back-up on the development site and the adjoining roadways. The provision of a by-pass lane is consistent with the review criteria for a drive-through in [Transportation Mobility Element, Policy 10.4.4](#).
 - f. Minimization of the number of access points to roadways.** The development site currently has two, two-way driveway connections on SW 40th Boulevard. The driveway connection located closest to the intersection of SW Archer Road (SR 24) and SW 40th Boulevard will be removed to prevent traffic back-up on the development site and the adjoining roadways.
 - g. Design of access points and ingress/egress directional flows to minimize impacts on the roadway and non-motorized traffic.** The development site will have one driveway connection on SW 40th Boulevard that can accommodate two-way traffic.

The driveway connection must comply with the City's design standards. One driveway connection will serve to control the flow of vehicle traffic on the development site and SW 40th Boulevard in order to prevent accidents and back-up. It will also make the sidewalk proposed along SW 40th Boulevard safer by reducing the interaction between pedestrians and motor vehicles.

- h. Design of internal pedestrian access and safety as related to the position of the drive-through lane/s.** The drive-through facility will be located on the north end of the development site away from a striped crosswalk and concrete sidewalks that will be provided, so that pedestrians can safely access the new building. Also, the drive-through lanes will be clearly demarcated and directional signage will be provided.
- i. Meeting any additional design criteria established in the Land Development Code.** SW Archer Road (SR 24) is listed in the annual level of service report produced by the North Central Florida Regional Planning Council (NCFRPC). According to [Transportation Mobility Element, Policy 10.3.1](#), developments on roadways in the City's Transportation Mobility Program Area that are listed in the annual level of service report produced by the NCFRPC must comply with certain standards of the City's [Special Area Plan for Central Corridors \(SAPCC\)](#). The applicable standards are listed below with staff's findings:

(1) **Build-to-line.** According to the build-to-line standard, the north (front) wall of the new building shall be placed no closer than 14 feet and no greater than 80 feet from the curb along SW Archer Road (SR 24). This distance shall be met for at least 70 percent of the north (front) wall of the new building. The applicant, however, is requesting a board-approved exception to have a build-to-line distance of 113.87 feet. The applicant considers the requested build-to-line distance necessary to having a successful business because it will provide space needed to accommodate key components of the drive-through facility, such as two drive-through lanes; a by-pass lane; a sidewalk, and required landscaped areas. The requested build-to-line distance is due, in large part, to a 31 (MOL) foot wide undeveloped section of the right-of way that lies between the northern boundary of the development site and the curb. Without this separation, the build-to-line distance between the north (front) wall of the new building and curb would only be 73.87 feet.

(2) **Parking location.** The proposed development will comply with the minimum number of vehicle and bike spaces required for an eating place with seating. Excess parking is not proposed or allowed due to the requirements of the City's Transportation Mobility Program Area (TMPA). Vehicle and bike parking spaces will be located near the entrances to the new building. The two drive-through lanes and a by-pass lane will be located along SW Archer Road (SR 24). A dense mixture of evergreen shrubs and trees in 65-gallon containers are required for screening along the abutting roadways. Landscape buffers will also be provided along the remaining sides of the development site.

(3) **Sidewalks.** The existing sidewalk along SW Archer Road (SR 24) will be maintained. A new sidewalk will be constructed along SW 40th Boulevard. A pedestrian connection will be provided between the east building entrance and the new sidewalk on SW 40th Boulevard. There will be no crosswalk between the new building and SW Archer Road (SR 24) in order to avoid conflicts between pedestrians and the vehicle traffic within the drive-through facility.

(4) **Building wall articulation.** Over 50% of the surface on the north (front) wall of the new building, between 3 feet above grade and 8 feet above grade, is shown to contain transparent glazing. This percentage exceeds the minimum 25 percent required in the [Special Area Plan for Central Corridors \(SAPCC\)](#).

(5) **Placement of mechanical equipment.** Mechanical equipment will be placed on the roof of the new building. The new building will have parapets to screen the rooftop mechanical equipment from the public right-of-way and other adjacent properties.

Land Development Code, Sec. 30-233, Special Use Permit Criteria:

- 1. That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.** The proposed use and development complies with all applicable standards and regulations, except as noted in this staff report and Appendix E.
- 2. That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.** The land development regulations within [sec. 30-61](#) and the [Special Area Plan for Central Corridors \(SAPCC\)](#) are written to ensure compatibility and harmony between properties. The proposed use and development complies with these and other land development regulations, except as noted in this staff report and Appendix E.
- 3. That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.** Based on comments from Gainesville Regional Utilities (GRU) in Appendix E, necessary public utilities with adequate capacity are available to service the proposed use and development.
- 4. That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.** The proposed use and development will place fewer vehicle trips on the adjoining roadways than the existing Burger King restaurant, since the new building will contain fewer seats.
- 5. That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.** Landscape buffers, at least ten (10) feet in width, will be provided along the perimeter of the development

site. The width of the landscape buffers will exceed the minimum 9 feet that the City Land Development Code typically requires. The landscape buffers will include a mixture of large and small plant material that is compatible with utilities and other requirements. Large trees in 65-gallon containers will be provided in the landscape buffers that abut roadways to screen the proposed drive-through facility and as required in the City's Transportation Mobility Program Area (TMPA). The dumpster/recycling facility will also be screened from the roadways and adjacent properties with an opaque enclosure that is at least eight (8) feet in height. The enclosure will be made of material that matches the new building, and it will have latching gates to continuously screen and secure the contents.

- 6. That the use and development conforms to the general plans of the city as embodied in the city comprehensive plan.** The commercial land use designation on the development site allows eating places that support other highway-oriented uses, such as hotels and retail establishments. The commercial land use designation also permits highway-oriented commercial uses that seek to attract tourist traffic from nearby I-75. [Transportation Mobility Element, Policy 10.4.5](#), requires a Special Use Permit (SUP) for new free-standing drive-through facilities with a direct access connection from a street within the City's Transportation Mobility Program Area (TMPA). The proposed use and development meets the SUP criteria, except as noted in this staff report and Appendix E.
- 7. That the proposed use and development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in Article III, Division 2.** The proposed use and development are in compliance with the City's Comprehensive Plan, Transportation Mobility Element and Land Development Code, except as noted in this staff report and Appendix E. The City Public Works Department has addressed the concurrency requirements for stormwater management within their comments in Appendix E.

Findings

The City's Technical Review Committee finds this petition approvable, subject to the adoption of the conditions in this staff report and Appendix E. The applicant's requested lighting waiver and build-to-line exception are also subject to City Plan Board approval.

If approved, the Special Use Permit (SUP) is valid for a period of one (1) year from the date of City Plan Board approval. Prior to the expiration of this one year period, the applicant must obtain a final development order for the associated development plan and obtain a valid building permit. Failure to comply with these requirements shall cause the approved SUP to become null and void unless, prior to the expiration date of the SUP, a request for an extension is approved by the City Plan Board. A request to extend the SUP must be made through the City Planning Division prior to the expiration date.

Development Plan Review

The associated development plan requires a minor level of review based on the applicant's proposal to construct a building, consisting of 3,801 (MOL) square feet, and only 33 motor vehicle spaces. In addition to receiving an approved Special Use Permit (SUP), the applicant must also receive preliminary approval of the associated development plan from the City Plan Board and final approval of the associated development plan from the City's Technical Review Committee (TRC). A copy of the associated development plan is provided in Appendix F.

Copies of the development application and documents discussing a neighborhood workshop held on May 3, 2017 are provided in Appendix D. A copy of the letter explaining how the proposed development complies with the general performance standards in [sec. 30-345](#) of the City's Land Development Code is provided in Appendix C.

Conditions

CONDITION 1: ALL REQUESTS FOR MODIFICATIONS TO THE ASSOCIATED DEVELOPMENT PLAN THAT ARE RELATIVE TO THE CRITERIA FOR ISSUANCE OF A SPECIAL USE PERMIT (SUP) SHALL REQUIRE CITY PLAN BOARD APPROVAL.

Respectfully submitted,



Ralph Hilliard,
Planning Manager

Prepared by:



Bedez E. Massey
Planner

Table 1

Adjacent Existing Uses

North	Drive-Through Restaurant
South	Hotel
East	Gas Station/Convenience Store; Eating Place
West	Hotel

Table 2

Adjacent Zoning and Land Use

	Land Use Category	Zoning Category
North	Business Industrial (BI)	Business Industrial (BI)
South	Commercial (COM)	General Business (BUS)
East	Commercial (COM)	General Business (BUS)
West	Commercial (COM)	General Business (BUS)

List of Appendices

Appendix A Comprehensive Plan Goals, Objectives and Policies

[Transportation Mobility Element: Policies 10.3.1, 10.4.4, 10.4.5, and 10.5.5](#)

Appendix B Land Development Code

[Articles IV, VII, IX, and Appendix A](#)

Appendix C Supplemental Documents

Exhibit C-1: Applicant's Letter Requesting Lighting Waiver

Exhibit C-2: Applicant's Letter Requesting Build-to-Line Exception

Exhibit C-3: General Performance Standards Letter

Appendix D Application and Neighborhood Workshop

Appendix E Technical Review Committee Conditions

Appendix F Development Plan

Appendix A

Comprehensive Plan Goals, Objectives and Policies

(See Hyperlinks)

Appendix B

Land Development Code

(See Hyperlinks)

Appendix C

Supplemental Documents



Burger King® • Chili's® • SpageddiesSM • Papa Vino's® •



Ms. Bedez Massey, Planner
City of Gainesville
Planning and Development Services
306 NE 6th Avenue
Gainesville, Florida 32602-0490

Date: April 24, 2017

Re: **Lighting Waiver Request**
Burger King #2314 @ 3902 SW 40th Blvd. Gainesville Fl.
PB-17-026 SUP | BP-17-01560



Ms. Massey,

Bravoflorida, LLC is requesting a Waiver to the following Code requirements for wall light specifications.

Code Requirements:

LDC 30-344 (d) *General requirements*

(d)(1)a -For the lighting of predominately horizontal surfaces such as, but not limited to, parking areas, recreational areas, and building entrances, luminaires shall be full-cutoff fixtures and shall be aimed downwards.

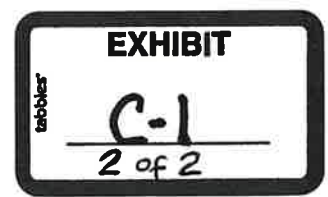
(e)(3)- *Building exteriors.* Lighting provided for the general security of areas such as, but not limited to, building entrances, stairways, ramps and main walkways shall not exceed an average horizontal illuminance of five footcandles at ground level, a uniformity ratio of 6:1, a maximum uniformity ratio of 10:1, and an average vertical illuminance of 0.2 footcandles measured five feet above the height of the luminaire.

Specific Waiver Request:

We are asking to deviate from Gainesville LDC 30-344 section d (General requirements) which requires all light fixture to be full-cutoff. This request applies to (7) Seven of the wall packs that will be mounted at 8'-10" above Finish Floor Elevation. The lights proposed are Up/Down wall packs which wash the building façade. The Manufacturer states that the proposed Up/Down wall pack provide 768 Lumens upward, and 1632 Lumens downward. This equates to 32% upward and 68% downward. They have an integrated design which eliminates high angle brightness. The photometric plans demonstrate that there is an average of 0.2fc or less at 5' above the wall packs.

Lighting Waiver Request

Burger King #2314 @ 3902 SW 40th Blvd. Gainesville Fl.
Cont.



It is therefore our opinion that we meet the following criteria:

- (1) The requested waiver is consistent with and promotes the purpose and intent of this section in that the Lighting proposed contains an integrated design which eliminates high angle brightness, while still providing an average of 0.2fc or less at 5' above the wall packs.
- (2) The applicant otherwise meets the requirements of this section;

We thank you for your consideration of this request.



Carlos M. Orama, PE
Electrical Power Designs, Inc
Ph 813-600-5136
PE#60205 CA#27385





Burger King® • Chili's® • SpageddiesSM • Papa Vinos®



May 5, 2017

Ms. Bedez Massey
City of Gainesville
Planning and Development Services
306 NE 6th Avenue
Gainesville, Florida 32602-0490



RE: Design Exception
Burger King Restaurant #2314
3902 SW 40th Boulevard
Gainesville, Florida

Ms. Massey,

Please accept this letter as our request for a design exception from the 80-foot build to line standard of the City's Central Corridor Special Area Plan. (This dimension is measured from the existing curb within Archer Road to the building) We are unable to place the building closer to the property line than 73.8 feet and still provide drive thru service, which is essential to the success of the restaurant. We are requesting an exception to allow the building to be setback 113.87' from the existing curb within Archer Road.

Should you have any questions or require additional information, please call me.

Sincerely,

Robin Kendall
BravoFlorida, LLC
3018 U.S. Highway 301 N.
Suite 100
Tampa, Florida 33619
813.559.8256 (o)
813.690.4913 (c)
rkendall@qdi.com

Cc: H. Duane Milford, P.E.



Memorandum

To: City of Gainesville Planning Department

From: Robin Kendall, Bravoflorida, LLC

Date: May 9, 2017

Re: Burger King #2314

3902 SW 40th Blvd., Gainesville, FL

Satisfaction of Section 30-345 Performance Standards



Pursuant to Section 30-345 of the City's LDC we are providing this as satisfaction of the General Performance Standards as set forth in the section.

1. Fire and explosion hazards: No storage of flammable or explosive materials is proposed at the site.
2. Radiation: No radiation operations are proposed for this development.
3. Electromagnetic radiation: No electromagnetic radiation is proposed for the site.
4. Smoke and other particulate matter: No smoke or particulate matter will be discharged from this development without proper treatment and permitting with ACEPD.
5. Toxic or noxious matter: no activity involving toxic or noxious matter is proposed for this development.
6. Waste disposal: This site will not discharge waste (liquid or solid) that will result in violation of local, state or federal regulations.
7. Vibration: This use will not create any vibrations as defined in the section.
8. Heat, cold, dampness, or movement of air: The proposed use of the site will not affect temperature, motion or humidity of the atmosphere.
9. Glare: The site plan meets the City's lighting ordinance and therefore meets the performance standard for glare.
10. Noise, Odor, etc.: Use of the site will not create noise, odor or any other irritant that will unreasonably disturb the adjoining lands.

In addition all utilities are proposed to be underground except for those appurtenances (i.e. transformers, fire hydrants, etc.) that are defined by code to be allowed to be above grade.

Please let us know if you need any additional information for your review.

Appendix D

Application and Neighborhood Workshop

PLAN REVIEW APPLICATION

OVERVIEW:

Project Name: Burger King #2314	Tax Parcel Number: 06800-002-000
Property Address: 3905 SW Archer Road	
First Step Meeting Date: Nov 17, 2017	GRU Project Meeting Date:

Proposed Uses/Type of Development (Check all that apply)

<input type="checkbox"/> Residential	Density	<input checked="" type="checkbox"/> Non-residential
<input type="checkbox"/> Multi-family	Units/acre:	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office
Total Units:	Total bedrooms:	<input type="checkbox"/> Industrial <input type="checkbox"/> Other
Gross floor area: 3,801 SF		

PROJECT MANAGEMENT:

Owner(s) of Record (please print)		
Name: Bravoflorida, LLC		
Mailing Address: 4220 Edison Lakes Parkway Mishawaka, IN. 46545		
Phone: 574.243.6617	Fax:	E-Mail: sburns@qdi.com

Applicant/Engineer of Record/Project Coordinator (please print)		
Name: MPH Civil Consultants, Inc. - H. Duane Milford, P.E.		
Mailing Address: PO Box 1121 Odessa FL 33556		
Phone: 813.731.0052	Fax:	E-Mail: duane@mphcivil.com
Project Coordinator Name: Robin Kendall, Quality Dining, Inc. robin@qdi.com		

FEES:

Level of Review (check one)		Special Use Permit <input checked="" type="checkbox"/>	Enterprize Zone <input type="checkbox"/>
MINOR	INTERMEDIATE	MAJOR	CONCEPT
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
			MASTER
			<input type="checkbox"/>

Fees are determined at First Step Meeting or GRU Project Meeting and are based on level of review and EZ Zone. More information about EZ Zones can be found at http://cityofgainesville.org/Portals/0/plan/2015%20Web%20Docs/landdevfees151001.pdf	
Plan Review Fee: \$ 1,736.50 Site Review	\$1086.00 Special Use - Minor
GRU Fee: \$ TBD	GRU Business Acct No.: 2000-5645-8718
Plan review fee will be paid by: Quality Dining, Inc.	
Name: Trevor Gregory	E-Mail: tgregory@qdi.com Phone: 813.559.8258

Applicant Signature: _____

Date: 2.27.2017

THIS SECTION FOR OFFICE USE ONLY
Petition Number:

SUFFICIENCY CHECKLIST BELOW. PLEASE FILL OUT



STATE OF FLORIDA
COUNTY OF ALACHUA

Published Daily and Sunday
Gainesville, Florida

Before the undersigned authority personally appeared Maddie Mottl

Who on oath says that he/she is Advertising Account Executive of THE GAINESVILLE SUN, a weekly newspaper published in Gainesville in Alachua County, Florida, that the attached copy of advertisement, being an PUBLIC NOTICE

In the matter of;

Bravoflorida, LLC is proposing to demolish and rebuild the Burger King Restaurant and associated infrastructure improvements located at 3902 SW 40th Blvd, Gainesville Florida.


A neighborhood workshop will be held to discuss a Special Use Request to allow drive thru windows.

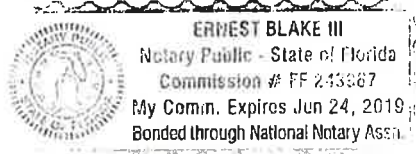
This is not a public hearing. The purpose of the meeting is to inform neighboring property owners of the nature of the proposal and to seek their comments.

Burger King Restaurant located at 3902 SW 40th Blvd, Gainesville Florida., was published in said newspaper in the issue of, April 19th, 2017

Affiant further says that THE GAINESVILLE SUN is a newspaper published at Gainesville, in said Alachua County, Florida and that the said newspaper has heretofore been continuously published in said Alachua County, each day, and has been entered as second class mail matter at the post office in Gainesville, in said Alachua County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount for publication in said newspaper.

Sworn to and subscribed before me this
19th Day of April A.D. 2017


(Seal) Notary Public



TODAY IN HISTORY

In 1773, the American Revolution's War began with the battle of Lexington and Concord.

In 1987, the East Boston Airport was closed when John J. Abt, Jr. was elected mayor. The airport was closed in 1985, the 10th anniversary of the Vietnam War. The airport was closed in 1985, the 10th anniversary of the Vietnam War.

The new program, recently launched in Phoenix, is one of three years after the VA faced allegations of mismanagement at a facility in the Phoenix area, including the Phoenix facility, which treats about 100,000 veterans.

TODAY'S BIRTHDAYS

ACTV: 10:00-11:00 AM. ACTV: 10:00-11:00 AM. ACTV: 10:00-11:00 AM. ACTV: 10:00-11:00 AM. ACTV: 10:00-11:00 AM.

LOTTERY

Wednesday, April 12, 2017. 6:00 PM. 6:00 PM. 6:00 PM. 6:00 PM. 6:00 PM.

PREVIOUS RESULTS

Wednesday, April 12, 2017. 6:00 PM. 6:00 PM. 6:00 PM. 6:00 PM. 6:00 PM.

UPCOMING AUCTION
LAKE COUNTY, FLORIDA
LAND AUCTION
AN INCREDIBLE INVESTMENT OPPORTUNITY!
Tuesday, April 25th - 10AM
1,187
Call Today to Pre-Register for Auction
300.607.6833

The Sun
Sun
Sun
Sun
Sun
Sun

Some vets can go to CVS 'MinuteClinics'

By Roger Vorn
The Associated Press

WASHINGTON — Some aging veterans will soon get their first dental care through a network of CVS 'MinuteClinics' to treat minor illnesses and injuries.



A CVS drugstore and pharmacy in Phoenix, Ariz., in 2014. (AP Photo/Chris Wedel)

The new program, recently launched in Phoenix, is one of three years after the VA faced allegations of mismanagement at a facility in the Phoenix area, including the Phoenix facility, which treats about 100,000 veterans.

The Phoenix pilot program is a first step by VA Secretary David Shulkin, who is working on a nationwide plan to reduce veterans' wait times.

Veterans would not be bound by current restrictions under the VA's Choice program, which limits outside care to those who have been waiting more than 30 days for an appointment.

The program would allow VA patients to visit MinuteClinics for medical services such as flu shots, colds, sore throats, and other minor ailments.

Shulkin has made clear he does not intend to cut VA services, but he wants to get the VA to handle all the health care needs of veterans.

The program has been expanded to include dental care, which is a major need for many veterans.

On Wednesday, President Donald Trump signed legislation to increase the VA's budget, allowing the VA to expand its services.

The program is part of a larger effort to improve the VA's health care system and reduce wait times for veterans.

administration's plan to expand its services to include dental care, which is a major need for many veterans.

The program would allow VA patients to visit MinuteClinics for medical services such as flu shots, colds, sore throats, and other minor ailments.

Shulkin has made clear he does not intend to cut VA services, but he wants to get the VA to handle all the health care needs of veterans.

The program has been expanded to include dental care, which is a major need for many veterans.

On Wednesday, President Donald Trump signed legislation to increase the VA's budget, allowing the VA to expand its services.

The program is part of a larger effort to improve the VA's health care system and reduce wait times for veterans.

The program is part of a larger effort to improve the VA's health care system and reduce wait times for veterans.

The program is part of a larger effort to improve the VA's health care system and reduce wait times for veterans.

Setback doesn't deter future executions

By Andrew Dornelle
and Tom Ichniowski
The Associated Press

ARMORE, Ark. — Arkansas officials vowed to carry out a double execution later this week after the U.S. Supreme Court delayed a setback to the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

The court's decision was the second time last month that the state's plan to resume capital punishment for the first time in nearly 14 years.

assistant federal public defender for the last six days Monday.

Devo had already been served a last meal of fried chicken, ribs, beans, mashed potatoes and strawberry pie, and witnesses were being moved to the execution site.

Devo was scheduled to die for the 2000 death of James Donald Roberts, Arkansas. The execution was called in by Devo's lawyer in and he later withdrew his appeal.

Despite the setback, Arkansas Governor Asa Carter and federal courts Monday said they would proceed with their planned executions, including the one set for Thursday — Lashell Lee and Clayton Johnson.

There are five scheduled executions pending in Arkansas, including the one set for Thursday — Lashell Lee and Clayton Johnson.

There are five scheduled executions pending in Arkansas, including the one set for Thursday — Lashell Lee and Clayton Johnson.

There are five scheduled executions pending in Arkansas, including the one set for Thursday — Lashell Lee and Clayton Johnson.

There are five scheduled executions pending in Arkansas, including the one set for Thursday — Lashell Lee and Clayton Johnson.

There are five scheduled executions pending in Arkansas, including the one set for Thursday — Lashell Lee and Clayton Johnson.

There are five scheduled executions pending in Arkansas, including the one set for Thursday — Lashell Lee and Clayton Johnson.

United CEO says no one will be fired for incident

By David Koenig
The Associated Press

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

The CEO of United Airlines says no one will be fired for an incident involving a passenger who was allegedly kicked off a plane.

PUBLIC NOTICE
Notice of the Board of Directors of United Airlines regarding the incident involving a passenger who was allegedly kicked off a plane.

Neighborhood Workshop Notice

06800-002-000 *** Burger King - Archer Rd
BRAVOFLORIDA LLC
4220 EDISON LAKES PARKWAY
MISHAWAJA, TN 46545

Neighborhood Workshop Notice

06800-005-000 Burger King - Archer Rd
CIP 2014 GAINESVILLE, LANDLORD
ONE BOSTON PLACE STE 2300
BOSTON, MA 02108

Neighborhood Workshop Notice

06800-003-000 Burger King - Archer Rd
DDC HOTELS INC
721 EMERSON RD STE 200
ST LOUIS, MO 63141

Neighborhood Workshop Notice

06800-004-000 Burger King - Archer Rd
FRANCHISE REALTY
% C CORT INC
PO BOX 143130
GAINESVILLE, FL 32614-3130

Neighborhood Workshop Notice

06801-003-001 Burger King - Archer Rd
KARAN OF GAINESVILLE LLC
11980 SE 22ND AVENUE RD
OCALA, FL 34480

Neighborhood Workshop Notice

06801-003-004 Burger King - Archer Rd
LI, JOHN & SHOANN
4005 SW 40TH BLVD
GAINESVILLE, FL 32608-2373

Neighborhood Workshop Notice

06801-001-000 Burger King - Archer Rd
MNG/JAKE CXI LLC
% MARVIN F POER & COMPANY
PO BOX 52427
ATLANTA, GA 30355

Neighborhood Workshop Notice

06800-003-003 Burger King - Archer Rd
P & R HOSPITALITY LLC
% PATEL
729 SW 136TH ST
NEWBERRY, FL 32669-3386

Neighborhood Workshop Notice

06800-003-002 Burger King - Archer Rd
REALTY INCOME PROPERTIES INC
11995 EL CAMINO REAL
ATTN: PM DEPT #1087
SAN DIEGO, CA 92130

Neighborhood Workshop Notice

06801-004-000 Burger King - Archer Rd
REMBERT, DAVIS JR TRUSTEE
% WAFFLE HOUSE
PO BOX 6450
NOCROSS, GA 30091-6450

Neighborhood Workshop Notice

06801-001-001 Burger King - Archer Rd
SOARING WINGS GAINESVILLE LLC
7491 ULMERTON RD STE B
LARGO, FL 33771

Neighborhood Workshop Notice

06810-003-000 Burger King - Archer Rd
STANLEY ROBERT E TRUSTEE
PO BOX 141105
GAINESVILLE, FL 32614-1105

Neighborhood Workshop Notice

06810-003-005 Burger King - Archer Rd
STANLEY, ROBERT E TRUSTEE
1230 PEACHTREE ST NE
STE 2400
ATLANTA, GA 30309

Neighborhood Workshop Notice

06801-003-000 Burger King - Archer Rd
WPS SHS GAINESVILLE LLC
1575 WELTON ST STE 300
DENVER, CO 80202



U.S. POSTAGE
PAID
TAMPA, FL
33619
APR 19 17
AMOUNT
\$5.46
R2304H1 09868-35



Neighborhood Workshop Notice

5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE
ATTN: MIKE HOGE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Black Acres/Black Pines
JIM CONNOR
400 NW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Lampighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Madison Park
CHARLES FLOYD
1911 N.W. 36 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Pineridge
BERNADINE TUCKER
9 TURKEY CREEK
ALACHUA, FL 32615

Neighborhood Workshop Notice

North Lincoln Heights
ANDREW LOVETTE SR.
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Mill Pond
HAROLD HANEL
309 NW 48 BLVD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Rainbows East
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Pinebreeze
JUDITH MEDER
3460 NW 46 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Eagle Eyes
BEATRICE ELLIS
316 NE 14 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

University Village
BRUCE DELANEY
1710 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
SANDRA WATTS KENNEDY
514 NW 31 LANE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Phoenix Subdivision
APRIL JONES
3214 SW 26 TERR, Unit B
GAINESVILLE, FL 32608

Neighborhood Workshop Notice
LEE NELSON
DIRECTOR OF REAL ESTATE - UF
204 TIGERT HALL
PO BOX 113100
GAINESVILLE, FL 32611-3100



0000

U.S. POSTAGE
PAID
TAMPA, FL
33619
APR 19 17
AMOUNT
\$1.35
R2304H109668-35



0000

U.S. POSTAGE
PAID
TAMPA, FL
33619
APR 19 17
AMOUNT
\$1.35
R2304H109668-35

PUBLIC NOTICE SIGNAGE AFFIDAVIT

Petition Name PB-17-26 SUP BURGER KING RESTAURANT @ 3902 SW 40th BLVD.

Applicant (Owner or Agent) BRAVOFLORIDA,LLC

Tax parcel(s) 06800-002-000

Being duly sworn, I depose and say the following:

1. That I am the owner or authorized agent representing the application of the owner and the record title holder(s) of the property described by the tax parcel(s) listed above;
2. That this property constitutes the property for which the above noted petition is being made to the City Of Gainesville;
3. That this affidavit has been executed to serve as posting of the "Notice of Proposed Land Use Action" sign(s) which describes the nature of the development request, the name of the project, the anticipated hearing date, and the telephone number(s) where additional information can be obtained. In addition, the applicant has securely posted the sign(s) on the property along each street frontage, at intervals of not more than four hundred (400) feet, and set back no more than ten (10) feet from the street and visible from the street. If the property does not abut a public right-of-way, signs have been placed at the nearest public right-of-way with an indication of the location of the subject property.
4. That the applicant has posted the sign(s) at least fifteen (15) days prior to the scheduled public hearing date; or for Historic Preservation Certificate of Appropriateness applications, at least ten (10) days prior to the scheduled public hearing date.
5. That the applicant shall maintain the signs(s) as provided above until the conclusion of the development review and approval process and that the signs shall be removed within ten (10) days after the final action has been taken on the development application.
6. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

7. T. MICHAEL LONGLEY
[Signature]
8. Applicant (signature)

Applicant (print name)

STATE OF FLORIDA, HILLSBOROUGH
COUNTY OF ALACHUA
Before me the undersigned, an officer duly commissioned by the laws of the State of Florida, on this 17th day of MAY, 2017, personally appeared who having been first duly sworn deposes and says that he/she fully understands the contents of the affidavit that he/she signed.
[Signature] Notary
Public
My Commission expires: September 08, 2020
TREVOR L GREGORY
MY COMMISSION # GG028068
EXPIRES September 08, 2020

RECORDING SPACE

Form revised on March 11, 2014. Form location: <http://www.cityofgainesville.org/PlanningDepartment.aspx>

FOR OFFICE USE ONLY
Petition Number _____ Planner _____

PB-17-26 SUP
BURGER KING @ 3902 SW 40th BLVD
SIGN PLACEMENT



PB-17-26 SUP
BURGER KING @ 3902 SW 40th BLVD
SIGN PLACEMENT



NEIGHBORHOOD WORKSHOP ATTENDANCE SIGN IN SHEET

May 3rd, 2017

BURGER KING RESTAURANT #2314
3902 SW 40th Blvd, Gainesville, FL.

6:00 PM

NAME

ADDRESS

PHONE NO.

TREVA GREGORY

3018 US Hwy 301 N. TAMPA, FL. 33619

(813) 559-8258

NO OTHER ATTENDEES. CONCLUDED MEETING AT 7:00 PM



Appendix E

Technical Review Committee Conditions

Department Review Status Report

Project Name: PB-17-26 SUP (Burger King)

Location: 3902 SW 40th Boulevard

Subject: City Technical Review Committee Conditions, City Plan Board, May 25, 2017

Department	Status	Reviewer Comments
Building Coordinator	Approved for Board Review	Provide missing building code data on cover sheet. Civil plans put in a "portrait" layout instead of "landscape" makes it harder to do a review and may print incorrectly at final publishing. Original review comments still stand.
Gainesville Fire Rescue Department	Approved	Approvable
Gainesville Police Department	Approved	
GRU New Services Department	Approved	
Electric West	Corrections Required	
Gas	Corrections Required	Rand Larsen, GRU Gas, spoke to Duane Milford, PE for MPH Consultants, concerning clearances needed between GRU facilities and the trees. Duane said he did not have the updated landscape plan. He said he have another representative contact Rand to discuss the tree locations for the Burger King Archer Rd. project. GRU Energy Delivery Engineering - Gas. 5.8.17.
GRUCom	No Review Required	No facilities on property. No conflicts. If GRUCom fiber services are desired please contact GRUCom Sales (352-334-3200).
Real Estate	Corrections Required	
Right of Way Permit - GRU Real Estate	Approved	No Joint ROW Permit Required
Water-Waste Water	Corrections Required	
Water-Waste Water	Corrections Required	
Water-Waste Water Planners	No Review Required	
	Corrections Required	
Public Works - Design	Approved	
Public Works Constructability	Approved	Comment can be addressed in final submittal. No need to resubmit.
Public Works Stormwater	Approved	
Transportation Mobility	Approved	
Urban Forestry	Corrections Required	Just one more correction on tree selection, please. Many thanks, Earline

Appendix F

Development Plan

SITE CONSTRUCTION PLANS FOR: BURGER KING # 2314 CITY OF GAINESVILLE, FLORIDA SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST

LEGAL DESCRIPTION

LEGAL DESCRIPTION: (ORB 4397, PAGE 1792)
A PORTION OF SECTION 14, TOWNSHIP 10 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 14, AND RUN THENCE S 32°01'08" E, 8.71 FEET TO THE CENTERLINE OF STATE ROAD NO. 24 (ARCHER ROAD); THENCE N 57°38'54" E ALONG SAID CENTERLINE OF STATE ROAD NO. 24, 1155.38 FEET, TO ITS INTERSECTION WITH THE CENTERLINE OF INTERSTATE HIGHWAY NO. 76; THENCE CONTINUE N 57°38'54" E ALONG SAID CENTERLINE OF STATE ROAD NO. 24, 871.37 FEET TO ITS INTERSECTION WITH THE CENTERLINE EXTENDED OF A 70' ACCESS ROAD; THENCE S 32°01'08" E ALONG SAID CENTERLINE EXTENDED, 101.29 FEET; THENCE S 57°38'54" W PARALLEL TO THE CENTERLINE OF SAID STATE ROAD NO. 24, 35.00 FEET; THENCE S 32°01'08" E, 27.00 FEET TO THE INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF SAID STATE ROAD NO. 24 AND THE WESTERLY RIGHT OF WAY LINE OF SAID 70' ACCESS ROAD AND THE POINT OF BEGINNING; THENCE CONTINUE S 32°01'08" E ALONG SAID WESTERLY RIGHT OF WAY LINE, 15.03 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 265.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID WESTERLY RIGHT OF WAY LINE OF 70' ACCESS ROAD, THROUGH A CENTRAL ANGLE OF 31°01'00" AN ARC DISTANCE OF 143.48 FEET TO THE END OF SAID CURVE; THENCE S 01°00'08" E ALONG SAID WESTERLY RIGHT OF WAY LINE OF 70' ACCESS ROAD, 107.28 FEET; THENCE S 73°38'05" W, 172.94 FEET; THENCE N 22°01'08" W, 200.00 FEET TO SAID SOUTHEASTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 24; THENCE N 57°38'54" E ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE 225.00 FEET TO THE POINT OF BEGINNING.

FIRE DEPARTMENT NOTES:

1. THE DEVELOPMENT SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-5(a) & (b)).
2. FIRE HYDRANTS AND STABILIZED SURFACES SHALL BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-18.4.3))
3. IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE A.H.J. IT IS HIGHLY RECOMMENDED THAT DEVELOPERS EVALUATE AND ADDRESS THE POTENTIAL NEED FOR IBPES IN THE EARLY STAGES OF PROJECT PLANNING. FOR ADDITIONAL SPECIFIC REQUIREMENTS PERTAINING TO SIGNAL STRENGTH, COVERAGE, MAINTENANCE AND TESTING REFER TO NFPA 72-14.4.12 AND 24.5.2. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-11.10))
4. THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION. AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241, THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN, AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16))



VICINITY MAP

UTILITY PROVIDERS:

WATER

GAINESVILLE REGIONAL UTILITIES
301 S.E. 4TH AVENUE
GAINESVILLE, FLORIDA 32614-7117
RUSSELL INGRAM
352.393.1641

SEWER

GAINESVILLE REGIONAL UTILITIES
301 S.E. 4TH AVENUE
GAINESVILLE, FLORIDA 32614-7117
RUSSELL INGRAM
352.393.1641

GAS

GAINESVILLE REGIONAL UTILITIES
P.O. BOX 147117, STATION #A105
GAINESVILLE, FLORIDA 32614-7118
PHILLIP LANCASTER
352.393.8078

TELEPHONE

AT&T DISTRIBUTION
1120 S. ROGERS CIRCLE
BOCA RATON, FLORIDA 33487
DINO FARRUGGIO
561.987.0240

CABLE

COX CABLE-ALACHUA
3405 MCLEMORE DRIVE
PENSACOLA, FLORIDA 32514
LARRY TAYLOR
850.857.4559

ELECTRIC

GAINESVILLE REGIONAL UTILITIES
P.O. BOX 147117, STATION #A105
GAINESVILLE, FLORIDA 32614-7118
OSMAN BAYINDIR
352.393.1542

ELECTRIC DESIGN PROVIDED BY
GRU ENERGY DESIGN.

GRU NOTES:

1. FOR REVIEW ONLY
2. THE POTABLE WATER, WASTEWATER, RECLAIMED WATER SYSTEM DESIGN IS CERTIFIED TO BE IN ACCORDANCE WITH GRU STANDARDS.
3. ELECTRIC DESIGN PROVIDED BY GRU ENERGY DELIVERY.



GOVERNING SPECIFICATIONS: STATE OF FLORIDA DEPT. OF TRANSPORTATION, STANDARD SPECIFICATIONS, LATEST EDITION

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CITY OF GAINESVILLE STANDARDS AND SPECIFICATIONS.

CIVIL ENGINEER

MPH
CIVIL CONSULTANTS, INC.
MPH Civil Consultants, Inc.
Civil Engineering Services
P.O. Box 1121 Odessa, FL 33556
813.731.0052
duane@mphcivil.com • www.mphcivil.com
FLORIDA CA NO. 30727

OWNER/DEVELOPER:

BRAVOFLORIDA, LLC.

John C. Firth, President
3018 U.S. Highway 301 N.
Suite 100
Tampa, Florida, 33619
813-374-2413

INDEX OF DRAWINGS

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS & DEMOLITION PLAN
C-4	HORIZONTAL CONTROL/STRIPING PLAN
C-5	PAVING, GRADING & DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	CIVIL DETAILS
C-8	CIVIL DETAILS
C-9	CIVIL DETAILS
C-10	STORMTECH CHAMBER PLAN
C-11	STORMTECH CHAMBER DETAILS
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN

SUPPLEMENTAL DOCUMENTS BY OTHERS:

- A101 FLOOR PLAN
- A201 REFLECTIVE CEILING PLAN
- A401 BLDG ELEVATION
- A402 BLDG ELEVATION
- EP-1 PHOTOMETRIC PLAN
- EP-2 PHOTOMETRIC DETAILS
- ALTA/NSPS LAND TITLE BOUNDARY/TOPO SURVEY

SITE AREA DATA

SITE ADDRESS:	3002 SW 40th Blvd GAINESVILLE, FLORIDA
TOTAL SITE AREA:	1.108 AC. or 48,256 S.F.
PARCEL NUMBER:	66800-002-000
EXISTING ZONING:	BUS (GENERAL BUSINESS)
NUMBER OF STORES:	1-STORY
FLOOD ZONE CLASSIFICATION:	Flood Zone "A" & "X" According to the Flood Insurance Rate Map, Community Panel Number 125107, Panel No. 435, Suffix D, Effective June 16, 2006.
PROP. FLOOR AREA RATIO (FAR):	0.08
BUILDING SETBACKS:	FRONT: 10 FEET SIDE: 0 FEET REAR: 0 FEET
BUILDING CLASSIFICATION:	A2
TYPE OF CONSTRUCTION:	YB
PROPOSED "BUILD-TO" LINE SW ARCHER ROAD:	113.87'
REQUIRED "BUILD-TO" LINE SW ARCHER ROAD:	80.00'

STORMWATER MANAGEMENT UTILITY DATA:	
• TOTAL PROPOSED IMPERVIOUS AREA:	28,080 SF (58.2%)
• EXISTING IMPERVIOUS AREA:	38,638 SF (75.9%)
• TOTAL SEMI-IMPERVIOUS AREA:	0 SF
• SMF ID:	T.B.D.
• LOWEST DISCHARGE ELEVATION (FT):	ELEV. 73.92
• RETENTION VOLUME BELOW LOWEST DISCHARGE ELEVATION (CF):	5,972 CF
• RETENTION AREA AT LOWEST DISCHARGE ELEVATION (FT):	4,212 SF

SITE AREA DESCRIPTION - EXISTING

DESCRIPTION	SQUARE FEET	PERCENTAGE
SIDEWALK	883	1.8
BUILDING	3,487	7.2
PAVEMENT	32,266	66.9
OPEN SPACE	11,820	24.1
TOTAL	48,256	100

SITE AREA DESCRIPTION - PROPOSED

DESCRIPTION	SQUARE FEET	PERCENTAGE
SIDEWALK	1,619	3.4
BUILDING	3,801	7.9
PAVEMENT	22,640	47.7
OPEN SPACE	20,196	41.0
TOTAL	48,256	100

VEHICLE PARKING REQUIRED = (80 FIXED SEATS) 1 SPA/3 SEATS + 3 SPACES = 27 SPACES
VEHICLE PARKING PROVIDED = 33 SPACES INCLUDING 2 HANDICAP SPACES
BICYCLE PARKING REQUIRED = (10% OF VEHICLE SPACES) = 3 SPACES
BICYCLE PARKING PROVIDED = 4 SPACES

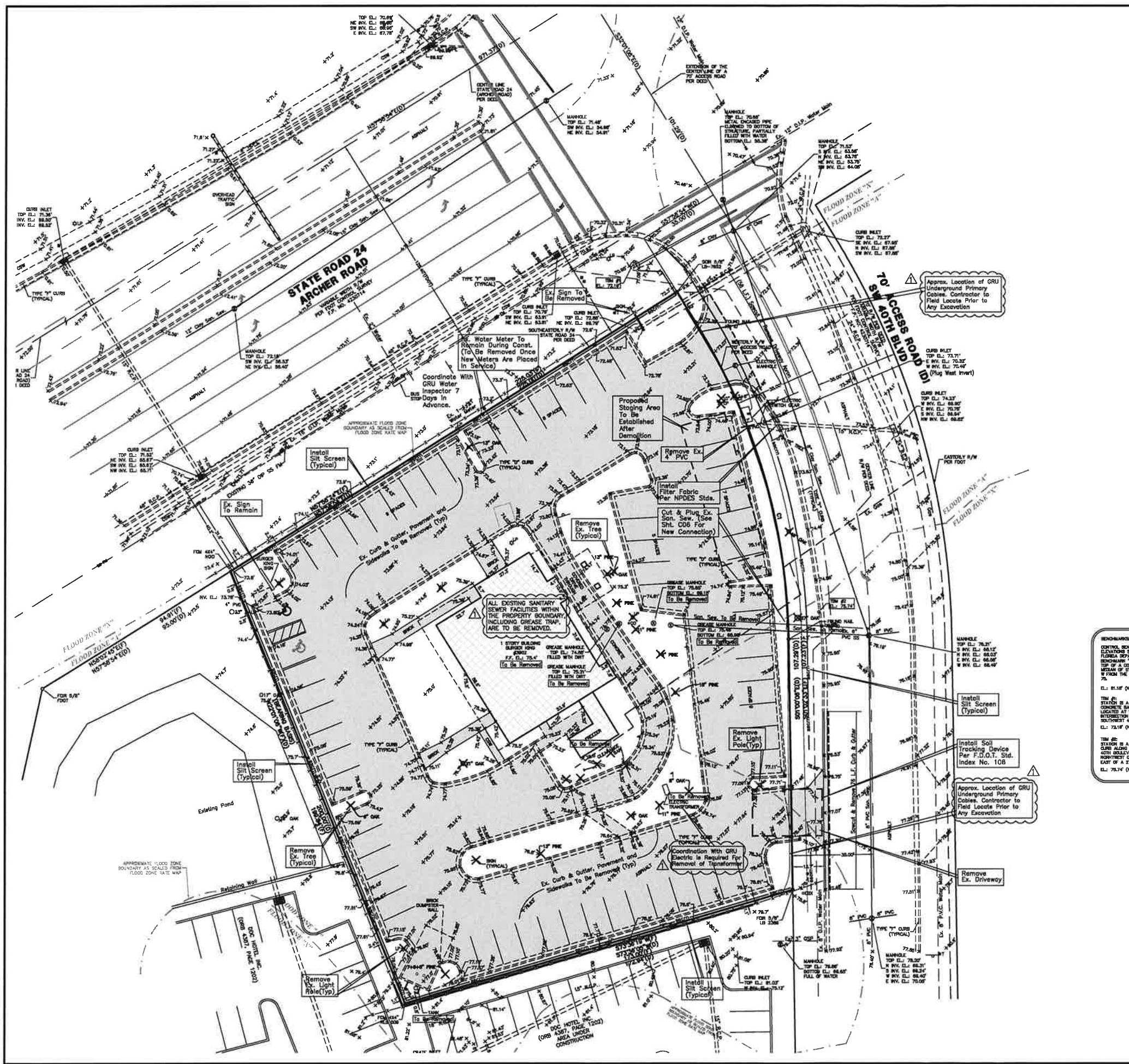
PROJECT NO. 2314
DATE: 2.22.17
REVISED: 4.17.17

Burger King Restaurant #2314 @ 3002 SW Archer Road - Gainesville, Florida											
Existing Conditions											
Use	Area (SF)	Impervious	Permeable	Area (SF)	Impervious	Permeable	Area (SF)	Impervious	Permeable	Area (SF)	Impervious
Building	3,487	3,487	0	3,487	3,487	0	3,487	3,487	0	3,487	3,487
Driveway	1,100	1,100	0	1,100	1,100	0	1,100	1,100	0	1,100	1,100
Paved Area	29,679	29,679	0	29,679	29,679	0	29,679	29,679	0	29,679	29,679
Total	34,266	34,266	0	34,266	34,266	0	34,266	34,266	0	34,266	34,266

Proposed Conditions											
Use	Area (SF)	Impervious	Permeable	Area (SF)	Impervious	Permeable	Area (SF)	Impervious	Permeable	Area (SF)	Impervious
Building	3,801	3,801	0	3,801	3,801	0	3,801	3,801	0	3,801	3,801
Driveway	1,100	1,100	0	1,100	1,100	0	1,100	1,100	0	1,100	1,100
Paved Area	17,739	17,739	0	17,739	17,739	0	17,739	17,739	0	17,739	17,739
Total	22,640	22,640	0	22,640	22,640	0	22,640	22,640	0	22,640	22,640

Key Topographical											
Driveway Type	Area (SF)	Impervious	Permeable	Area (SF)	Impervious	Permeable	Area (SF)	Impervious	Permeable	Area (SF)	Impervious
Asphalt Paved	1,100	1,100	0	1,100	1,100	0	1,100	1,100	0	1,100	1,100
Grass	1,100	0	1,100	1,100	0	1,100	1,100	0	1,100	1,100	
Total	2,200	1,100	1,100	2,200	1,100	1,100	2,200	1,100	1,100	2,200	2,200

NOTE:
This development is located in Zone C of the TMP and shall meet the applicable provisions of the Transportation Mobility Element Policy 10.1.4 and 10.1.7.



EX. LEGEND		
MC	MANHOLE	ME
...

DEMOLITION LEGEND	
	EXIST. TREE TO BE REMOVED
	SILT SCREEN
	SAWCUT LINE
	CONTOUR LINE
	EX. ELEVATION POINT
	BUILDING TO BE REMOVED
	PAVEMENT & SIDEWALK TO BE REMOVED
	NPDES INLET PROTECTION

DEMOLITION NOTES:

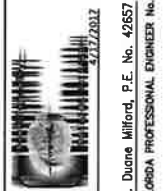
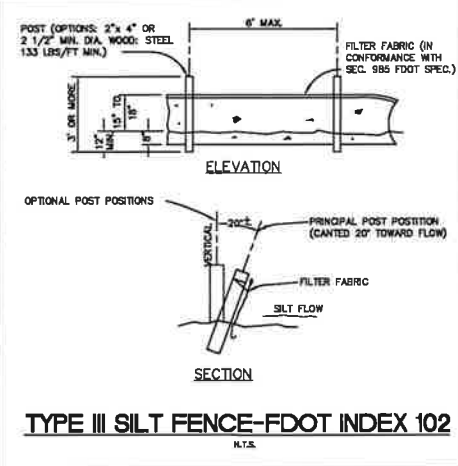
1. ALL DEMOLITION SHALL MEET CITY OF GAINESVILLE STANDARDS AND SPECIFICATIONS AT A MINIMUM.
2. FILTER FABRIC SHALL BE INSTALLED WITHIN INLETS WHERE APPLICABLE.
3. SILT FENCE SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN INTACT THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR THE LOCATION OF THAT UTILITY AND ITS REMOVAL OR RELOCATION.
5. CONTRACTOR WILL RESTORE ALL ROAD SIGNAGE DISTURBED BY DEMOLITION.
6. ANY SIDEWALK OR CURB DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND REPLACED IN KIND.
7. THE SITE SHALL UTILIZE A SOIL TRACKING PREVENTION SYSTEM THAT IS CONSISTENT WITH FDOT STANDARD INDEX #106.
8. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC PLAN, PER FDOT INDEX SERIES 600, TO BE APPROVED BY THE E.O.R.
9. ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
10. REFER TO EARTHWORK NOTES ON SHEET C-02.
11. CONTRACTOR TO INCLUDE DETERIORATION AS PART OF BID.

REMARKS:

ELEVATION POINTS SHOWN HEREON ARE BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK "TAMPA 8051" A BENCH MARK IS TOP OF A CONCRETE UTILITY IN THE MIDDLE OF STATE ROAD 24, 77.8 FEET ± 0.1 FT FROM THE CENTERLINE OF INTERSTATE 75. E.L.: 85.18' (NAVD80)

TYP. STATION IS A FOUND SIDE CUT IN TOP OF THE CONCRETE BASE OF A TRAFFIC SIGNAL POLE, LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF STATE ROAD 24 AND SOUTHWARD 40TH BLENHEAVEN. E.L.: 72.18' (NAVD80)

TYP. STATION IS A SIDE CUT IN TOP OF A TYPE 'T' CURB ALONG THE WEST SIDE OF SOUTHWEST 40TH BLENHEAVEN, LOCATED 263.5 FEET NORTHWEST OF A MANHOLE AND 45.8 FEET EAST OF A 27' CURB TOE. E.L.: 72.24' (NAVD80)



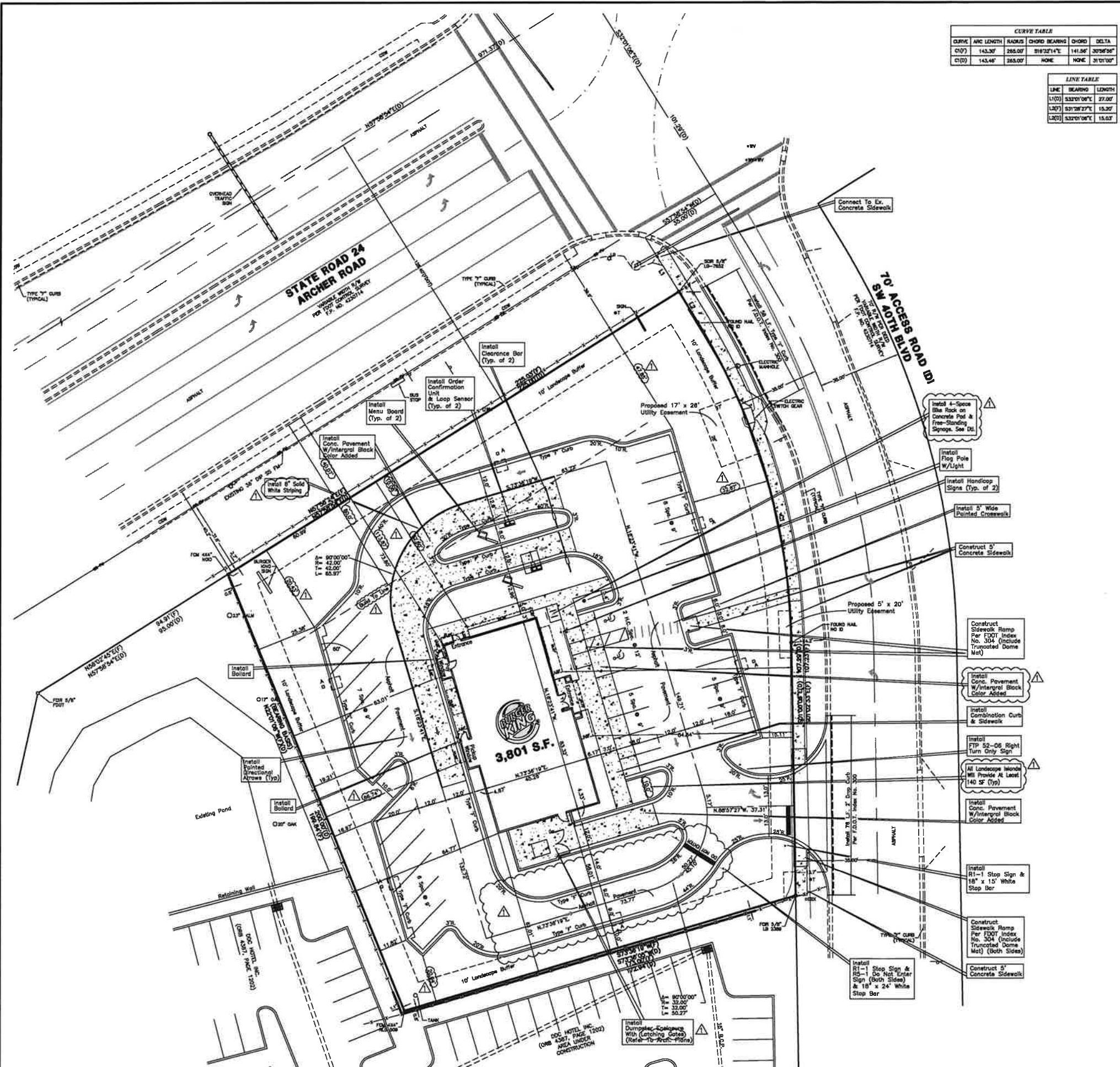
Consultant:
MPH
 CIVIL CONSULTANTS, INC.
 MPH Civil Consultants, Inc.
 Civil Engineering Services
 P.O. Box 33156
 813.731.0052
 dmu@mphcivil.com · www.mphcivil.com
 FLORIDA DA. NO. 30727

Developer:
BRAVOFLORIDA, LLC.
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL 33619
 (813) 374-2413

REVISIONS	
NO.	DATE
1	10/17/16
2	
3	
4	
5	

EXISTING CONDITIONS & DEMOLITION PLAN
 BURGER KING #2314
 3902 SW 40TH BLVD
 GAINESVILLE, FLORIDA

SCALE: 1"=20'
 DATE: 2.22.17
 CAD FILE: C-03 EC-DEMO
 JOB NUMBER: BK #2314
 SHEET: C-03



CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD DELTA
C1(7)	143.30'	286.60'	S18°22'14"E	141.56'
C1(8)	143.46'	286.92'	NONE	NONE

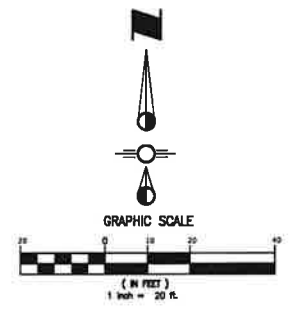
LINE TABLE		
LINE	BEARING	LENGTH
L1(1)	S33°01'08"E	27.00'
L2(7)	S31°08'27"E	15.00'
L2(8)	S33°01'08"E	15.00'

LEGEND

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.
- REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.
- CONTRACTOR TO INSTALL TRUNCATED DORNES AT EACH SIDE OF CROSSWALK, WHERE SIDEWALK MEETS DRIVE.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) & FDOT STANDARDS.
- ALL SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE CITY OF GAINESVILLE.
- ALL STANDARD PARKING SPACES SHALL BE 9'x18'. ALL DISABLED PARKING SPACES SHALL BE 12'x18'.
- DUMPSTER ENCLOSURE MATERIALS SHALL MATCH THOSE OF THE PRINCIPAL STRUCTURE. MINIMUM HEIGHT SHALL BE 6 FEET. LATCHING GATES BE PROVIDED. REFER TO ARCH PLANS FOR DETAILS.
- ALL EROSION & SEDIMENT CONTROL WITHIN R/W SHALL CONFORM TO FDOT INDEX 102.
- CONSTRUCT SIDEWALK AND RAMPS IN ACCORDANCE TO FDOT INDEX 304, AND 310 AND IN COMPLIANCE WITH ADA STANDARDS.
- CONSTRUCTION OF TURNOUTS ARE TO BE CONSTRUCTED IN ACCORDANCE TO FDOT INDEX 515 URBAN RADIAL, AND GENERAL APPLICATION.
- CONTRACTOR IS TO SOD ALL DISTURBED PORTIONS OF THE R/W WITH BAHIA SOD.
- ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE NEAREST JOINT.
- SAWCUT EXISTING ASPHALT PRIOR TO REMOVAL OF ANY MATERIAL.
- ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT INDEX 612. NO LANE CLOSURES WILL BE ALLOWED UNLESS OTHERWISE AUTHORIZED BY FDOT.
- ALL WORK WITHIN FDOT R/W SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND DESIGN STANDARDS (LATEST EDITIONS):
 - THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (A.K.A. STANDARD SPECS)
 - FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAY SYSTEM (A.K.A. STANDARD INDEX). COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.
 - ROADWAY AND TRAFFIC DESIGN STANDARDS
 - FDOT ROADWAY PLANS PREPARATION MANUAL, VOLUME 1, CHAPTER 2 AND 25
 - FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALK, DRAINAGE SYSTEM, AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION. ROAD IMPROVEMENTS, SUCH AS BUT NOT LIMITED TO, RESURFACING MAY BE REQUIRED.
- THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
- ACCESS SHALL BE PROVIDED DURING CONSTRUCTION OF BUILDING BY AN UNOBSTRUCTED 20FT WIDE ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING A 32 TON EMERGENCY VEHICLE. THE DRIVING SURFACE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED FROM PUBLIC VIEW.

- HORIZONTAL CONTROL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.
 - REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.
 - CONTRACTOR TO INSTALL TRUNCATED DORNES AT EACH SIDE OF CROSSWALK, WHERE SIDEWALK MEETS DRIVE.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) & FDOT STANDARDS.
 - ALL SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE CITY OF GAINESVILLE.
 - ALL STANDARD PARKING SPACES SHALL BE 9'x18'. ALL DISABLED PARKING SPACES SHALL BE 12'x18'.
 - DUMPSTER ENCLOSURE MATERIALS SHALL MATCH THOSE OF THE PRINCIPAL STRUCTURE. MINIMUM HEIGHT SHALL BE 6 FEET. LATCHING GATES BE PROVIDED. REFER TO ARCH PLANS FOR DETAILS.
 - ALL EROSION & SEDIMENT CONTROL WITHIN R/W SHALL CONFORM TO FDOT INDEX 102.
 - CONSTRUCT SIDEWALK AND RAMPS IN ACCORDANCE TO FDOT INDEX 304, AND 310 AND IN COMPLIANCE WITH ADA STANDARDS.
 - CONSTRUCTION OF TURNOUTS ARE TO BE CONSTRUCTED IN ACCORDANCE TO FDOT INDEX 515 URBAN RADIAL, AND GENERAL APPLICATION.
 - CONTRACTOR IS TO SOD ALL DISTURBED PORTIONS OF THE R/W WITH BAHIA SOD.
 - ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE NEAREST JOINT.
 - SAWCUT EXISTING ASPHALT PRIOR TO REMOVAL OF ANY MATERIAL.
 - ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT INDEX 612. NO LANE CLOSURES WILL BE ALLOWED UNLESS OTHERWISE AUTHORIZED BY FDOT.
 - ALL WORK WITHIN FDOT R/W SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND DESIGN STANDARDS (LATEST EDITIONS):
 - THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (A.K.A. STANDARD SPECS)
 - FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAY SYSTEM (A.K.A. STANDARD INDEX). COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.
 - ROADWAY AND TRAFFIC DESIGN STANDARDS
 - FDOT ROADWAY PLANS PREPARATION MANUAL, VOLUME 1, CHAPTER 2 AND 25
 - FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALK, DRAINAGE SYSTEM, AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION. ROAD IMPROVEMENTS, SUCH AS BUT NOT LIMITED TO, RESURFACING MAY BE REQUIRED.
 - THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
 - ACCESS SHALL BE PROVIDED DURING CONSTRUCTION OF BUILDING BY AN UNOBSTRUCTED 20FT WIDE ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING A 32 TON EMERGENCY VEHICLE. THE DRIVING SURFACE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
 - ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED FROM PUBLIC VIEW.



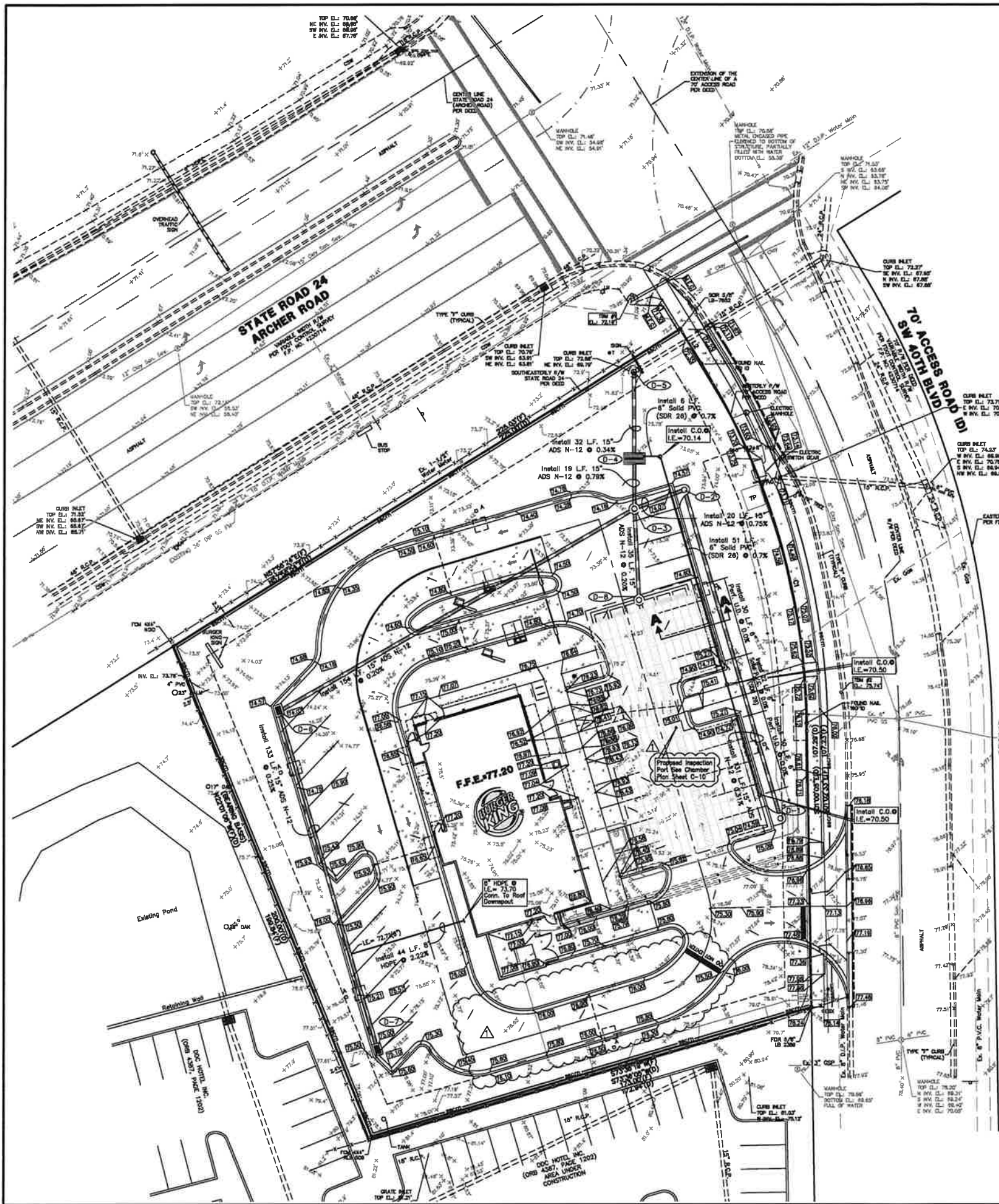
Consultant: **MPH CIVIL CONSULTANTS, INC.**
 MPH Civil Consultants, Inc.
 Civil Engineering Services
 P.O. Box 413, 731,0052
 duane@mphcivil.com | www.mphcivil.com
 H. Duane Milford, P.E. No. 42657
 FLORIDA PROFESSIONAL ENGINEER No.

Developer: **BRAVOFLORIDA, LLC.**
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL. 33619
 (813) 374-2413

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY/STATE COMMENTS	4.13.17	TD
2			

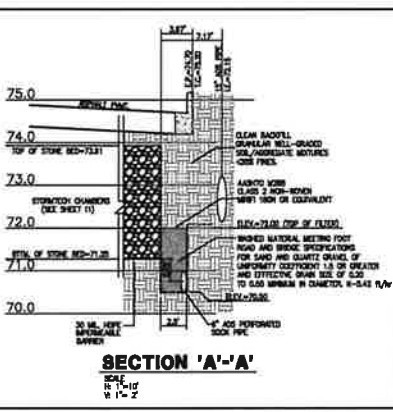
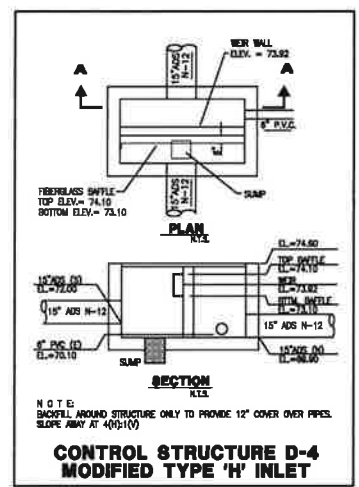
HORIZONTAL CONTROL AND STRIPING PLAN
BURGER KING #2314
3902 SW 40TH BLVD
GAINESVILLE, FLORIDA

SCALE: 1"=20' DATE: 2.22.17
 CAD FILE: C-04 HC
 JOB NUMBER: BK #2314
 SHEET: C-04



STORM STRUCTURE DATA

D-1	CURB INLET #1 TYPE 'A' TOP E.P. EL.= 74.50 I.E.= 72.40(N) FDOOT INDEX 210	D-5	REMOVE CURB INLET TOP & CONVERT MANHOLE TOP RM EL.=72.70 I.E.= 69.78(N) I.E.= 69.78(S)
D-2	CURB INLET #2 TYPE 'A' TOP E.P. EL.= 74.07 I.E.= 72.00(N&S) FDOOT INDEX 210	D-6	TYPE 'C' INLET GRATE EL.= 74.07 I.E.= 72.18(S&E)
D-3	STORM M.H. RM EL.= 74.15 I.E.= 71.85(N) I.E.= 71.85(S) I.E.= 71.85(W)	D-7	TYPE 'C' INLET GRATE EL.= 73.00 I.E.= 72.50(N)
D-4	CONTROL STRUCTURE TYPE 'H' INLET TOP EL.= 74.80 TOP OF BAFFLE EL.= 74.10 TOP OF 6'-7" WEIR EL.= 73.62 BOTTOM OF BAFFLE EL.= 73.10 I.E.= 71.70(S) I.E.= 70.10 (E) I.E.= 69.90(N)	D-8	STORM M.H. RM EL.=74.85 I.E.= 71.82(N) I.E.= 71.98(S) I.E.= 71.98(W) I.E.= 71.58(W)



EX. LEGEND

AS CONSIDERED	AS SHOWN	AS SHOWN
CONCRETE	CONCRETE	CONCRETE
ASPHALT	ASPHALT	ASPHALT
GRAVEL	GRAVEL	GRAVEL
...

GRAPHIC SCALE

1 inch = 20 ft.

DRAINAGE LEGEND

PROPOSED GRADE: 10.48
EX/PROP DRAINAGE ARROW: —>
EXISTING GRADE: XXX
PROPOSED SILT SCREEN: SSCFT
TREE BARRICADE: □

- ### PAVING, GRADING & DRAINAGE NOTES:
- REFER TO UTILITY PLANS FOR UNDERGROUND PIPING INFORMATION.
 - REFER TO EXISTING CONDITIONS/DEMOLITION PLAN FOR LIMITS OF TREE BARRICADES, TREE REMOVAL AND OR LIMITS OF TREE ROOT PRUNING.
 - ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY SHALL BE SODDED WITH BAHIA SOD.
 - ALL ROOF RUNOFF FROM PROPOSED BUILDING SHALL BE CONNECTED TO STORM SEWER. REFER TO MECHANICAL PLANS FOR ROOF DOWNSPOUT LOCATION AND CONNECTION.
 - PROPOSED ELEVATIONS ARE TO EDGE OF PAVEMENT OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.

- ### GENERAL NOTES:
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH CITY OF GAINESVILLE AND THE EOR FOR ALL NECESSARY INSPECTIONS DURING CONSTRUCTION.
 - ALL EXISTING UTILITIES SHOWN ON PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION PROVIDED TO THE EOR AT TIME OF PERMITTING. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - THE PROPERTY SHOWN HEREON FALLS WITHIN ZONES "A" (NO BASE FLOOD ELEVATION DETERMINED) & "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 125107, PANEL NO. 435, SUFFIX D, EFFECTIVE JUNE 16, 2006.
 - ALL ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 1988 DATUM.
 - ALL EROSION & SEDIMENT CONTROL WITHIN R/W SHALL CONFORM TO FDOT INDEX 102.
 - CONSTRUCT SIDEWALK AND RAMPS IN ACCORDANCE TO FDOT INDEX 304, AND 310 AND IN COMPLIANCE WITH ADA STANDARDS.
 - CONSTRUCTION OF TURNOUTS ARE TO BE CONSTRUCTED IN ACCORDANCE TO FDOT INDEX 515 URBAN RADIAL, AND GENERAL APPLICATION.
 - CONTRACTOR IS TO SOD ALL DISTURBED PORTIONS OF THE R/W WITH BAHIA SOD.
 - ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE NEAREST JOINT.
 - SAWCUT EXISTING ASPHALT PRIOR TO REMOVAL OF ANY MATERIAL.
 - ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT INDEX 612. NO LANE CLOSURES WILL BE ALLOWED UNLESS OTHERWISE AUTHORIZED BY FDOT.
 - ALL WORK WITHIN FDOT R/W SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND DESIGN STANDARDS (LATEST EDITIONS):
 - THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (A.K.A. STANDARD SPECS)
 - FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAY SYSTEM (A.K.A. STANDARD INDEX).
 - COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.
 - ROADWAY AND TRAFFIC DESIGN STANDARDS
 - FDOT ROADWAY PLANS PREPARATION MANUAL, VOLUME 1, CHAPTER 2 AND 25
 - FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALK, DRAINAGE SYSTEM, AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION, ROAD IMPROVEMENTS, SUCH AS BUT NOT LIMITED TO, RESURFACING MAY BE REQUIRED.
 - THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
 - SIDEWALKS IN THE PUBLIC RIGHT-OF-WAY TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT INDEX 310.
 - ACCESS SHALL BE PROVIDED DURING CONSTRUCTION OF BUILDING BY AN UNOBSTRUCTED 20 FT WIDE ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING A 32 TON EMERGENCY VEHICLE. THE DRIVING SURFACE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

- ### LANDSCAPE NOTES:
- ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.

- ### EARTHWORK NOTES:
- IN PREPARATION OF THE EXISTING SUBGRADE AND PLACEMENT OF ANY FILL IN ACCORDANCE WITH THE RECOMMENDATIONS INCLUDED WITHIN THE GEOTECHNICAL REPORT, INCLUDING OVER EXCAVATION OF SHALLOW CLAY SOIL TO A DEPTH OF 5 FEET BELOW THE FLOOR SLAB (4 FEET BELOW THE FOUNDATION BEARING ELEVATIONS).
 - ALL REMAINING AREAS SHALL BE OVER EXCAVATED OF CLAY SOIL TO A DEPTH OF 3 FEET BELOW THE BOTTOM OF THE PAVEMENT BASE ELEVATION.
 - SHEET FILES (FOR APPROXIMATE EQUAL) SHALL BE USED DURING EXCAVATION OF SOILS.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL BECOME PART OF THE CONSTRUCTION DOCUMENTS.

REMARKS:

VERTICAL ELEVATIONS SHOWN HEREON ARE BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION RECOMMENDED "STANDARD" UNIT & GRADE SYSTEM FOR A SURFACE ELEVATION IN THE INTERSECTION OF STATE ROAD 24 AND INTERSECTION WITH BELLEVILLE BLVD. 72.18' (DAVIDS)

RM EL.: 71.18' (DAVIDS)

TOP OF STATION IN A FLOOD BEZEL OUT IN TOP OF THE STATION IS A TRAFFIC SIGNAL POLE. CONCRETE BASE OF A TRAFFIC SIGNAL POLE LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF STATE ROAD 24 AND INTERSECTION WITH BELLEVILLE BLVD. 72.18' (DAVIDS)

TOP OF STATION IN A BEZEL CUT IN TOP OF A TYPE 'T' CURB REFERENCE LOCATED 3 FEET WESTWEST OF A MANHOLE AND 3 FEET EAST OF A 27" OAK TREE. EL.: 75.74' (DAVIDS)

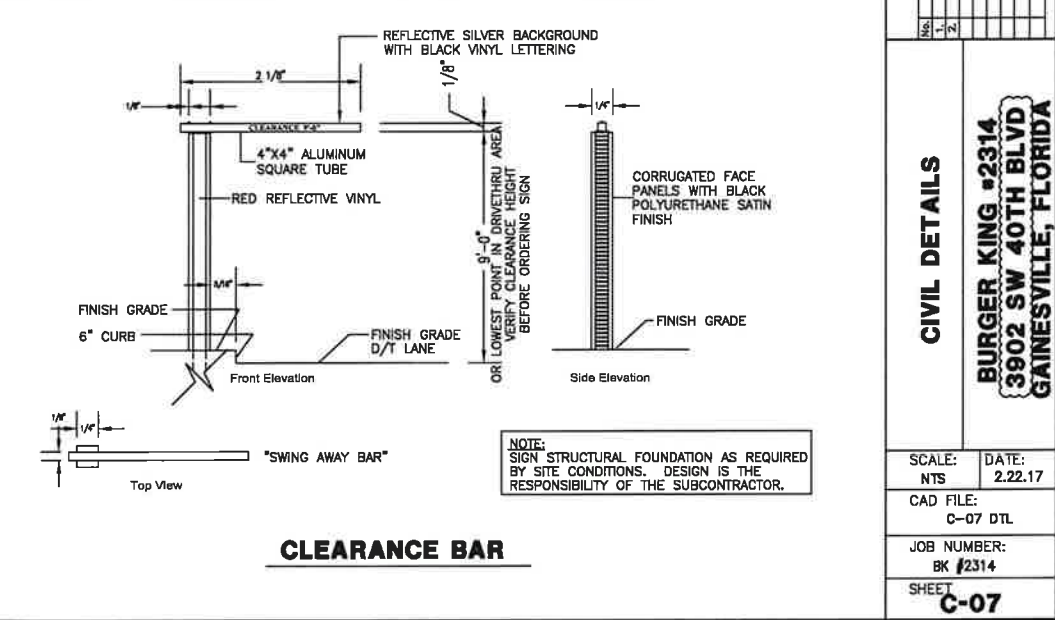
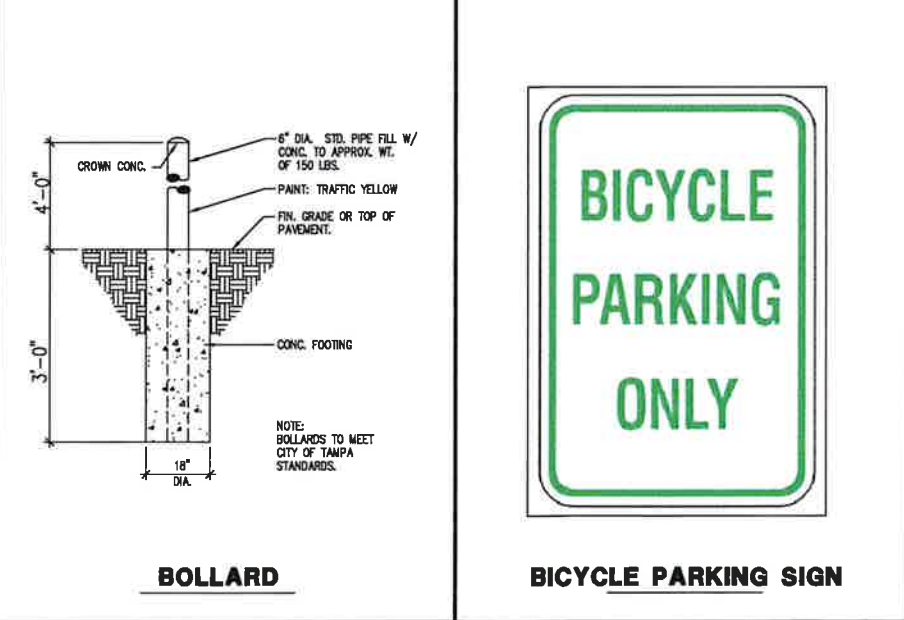
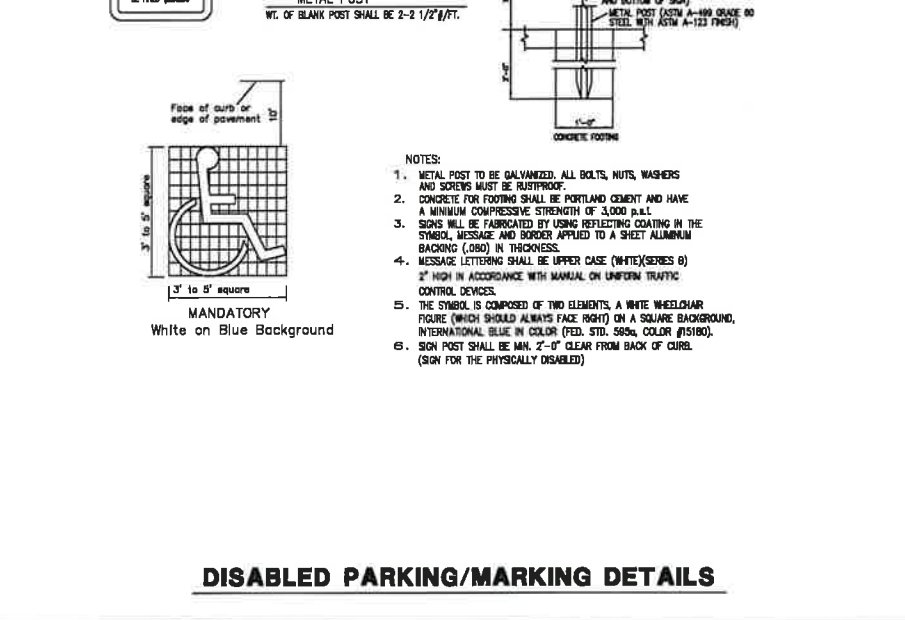
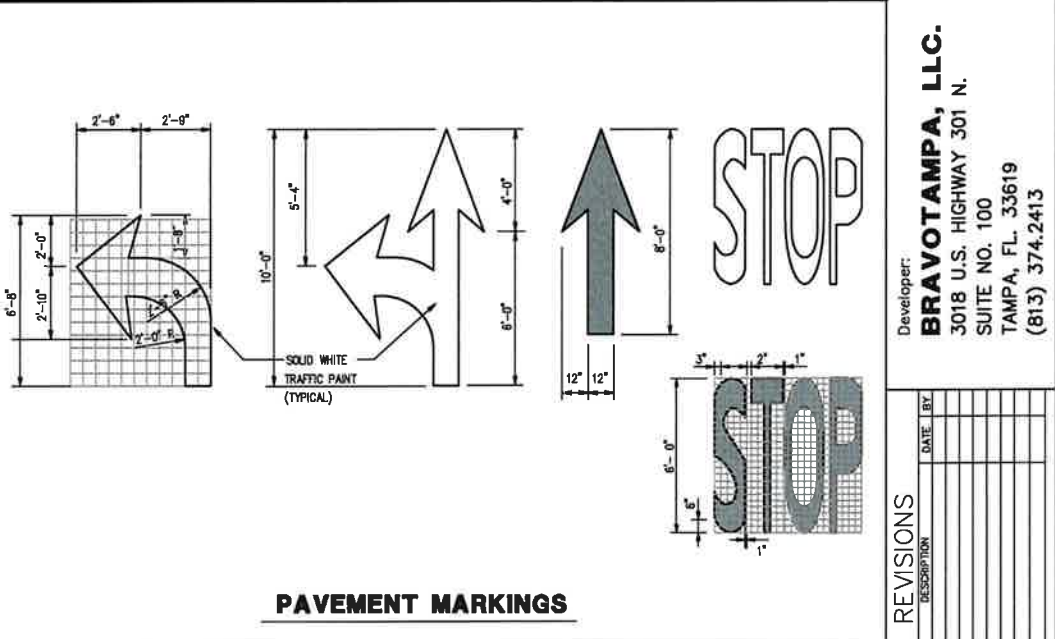
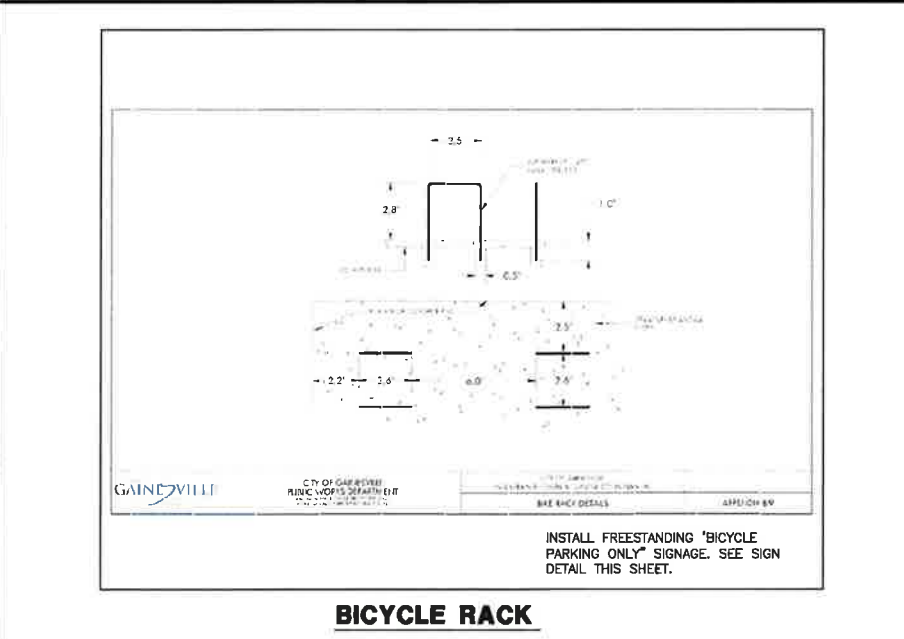
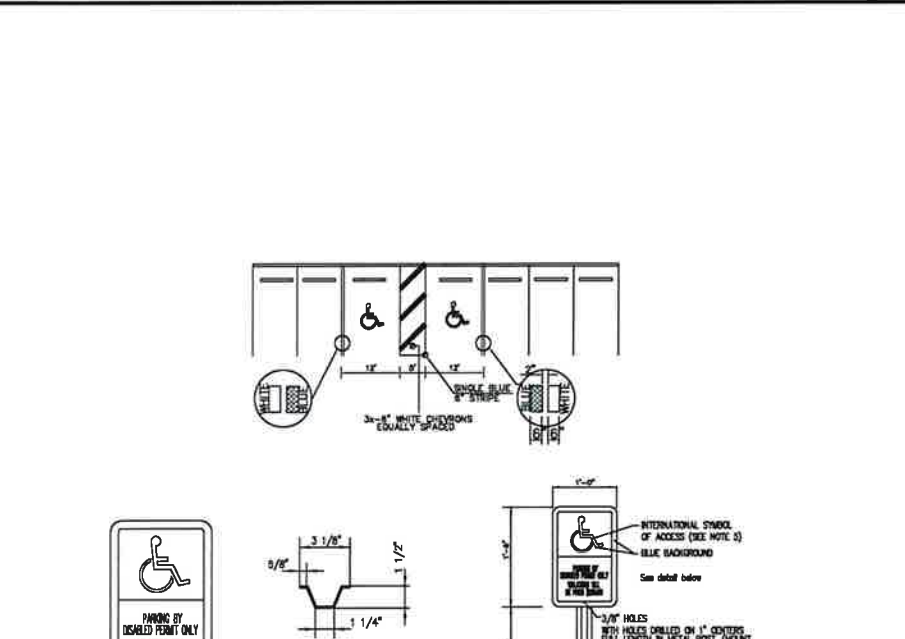
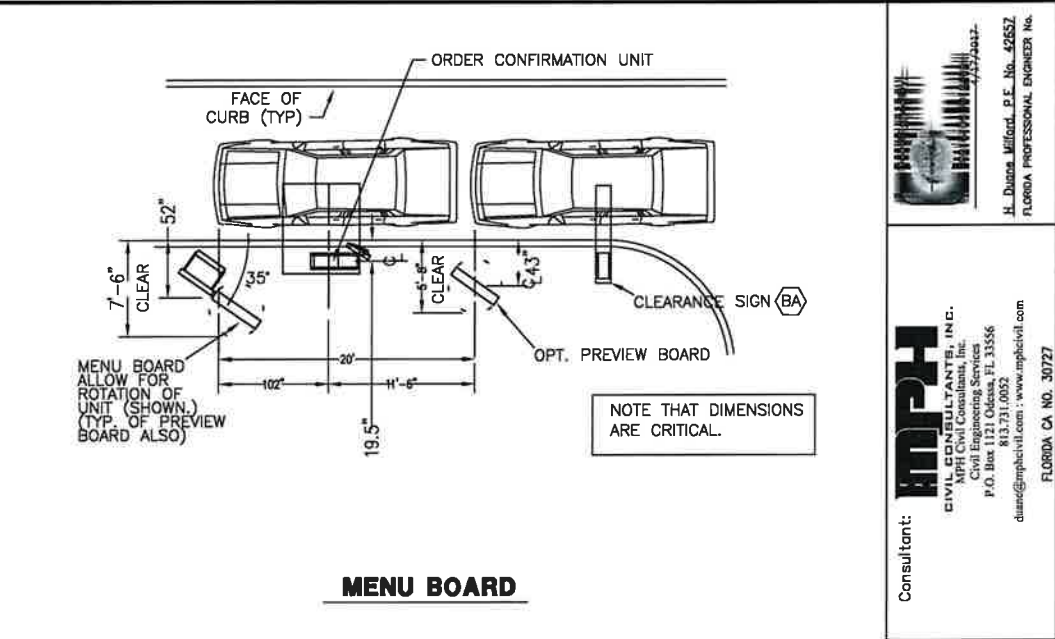
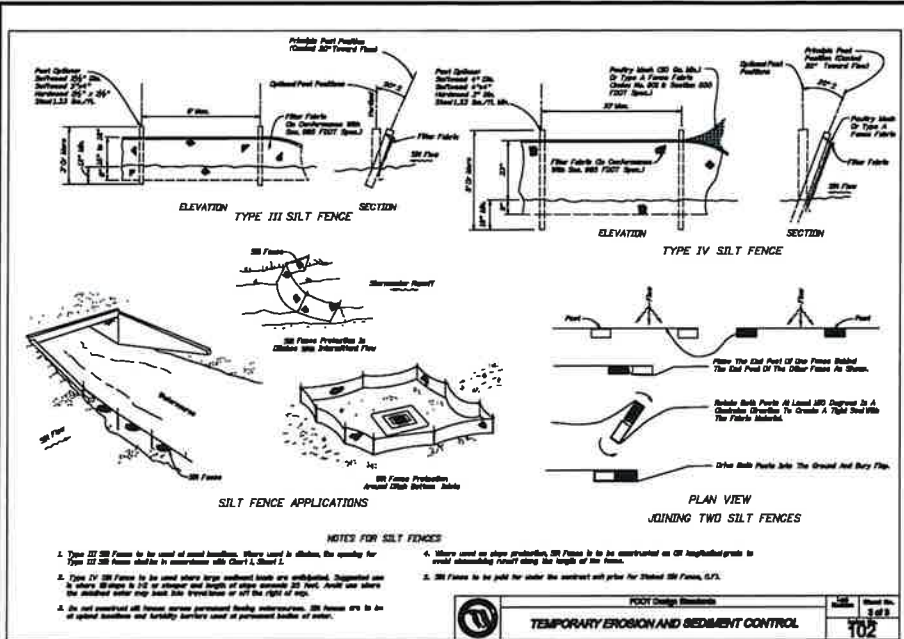
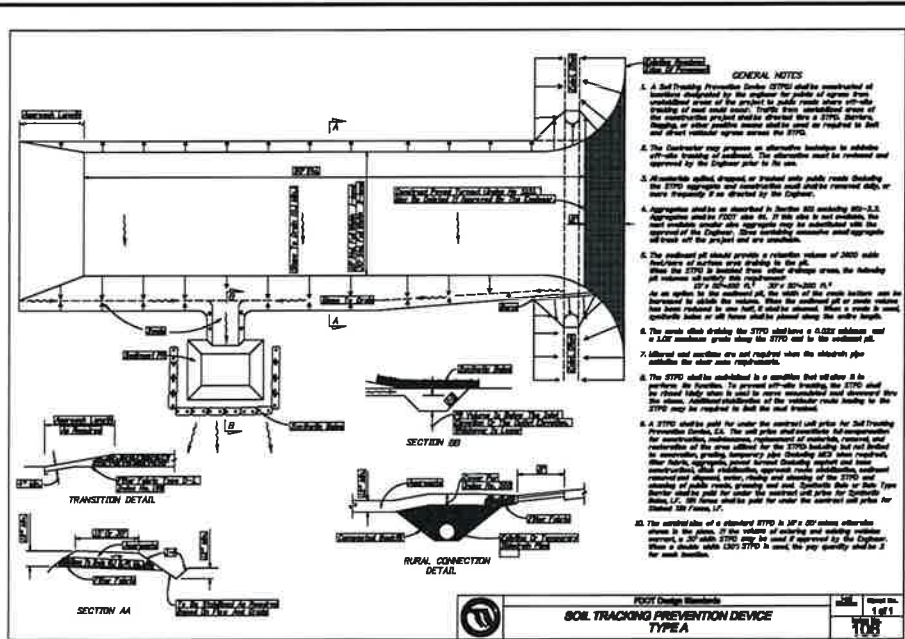
Consultant: **MPH CIVIL CONSULTANTS, INC.**
Civil Engineering Services
P.O. Box 413, 731 0652, FL 33156
dunn@mphcivil.com; www.mphcivil.com
FLORIDA PROFESSIONAL ENGINEER No. 47777017
H. Duane Mifford, P.E. No. 49587
FLORIDA PROFESSIONAL ENGINEER No. 47777017

Developer: **BRAVOFLORIDA, LLC.**
3018 U.S. HIGHWAY 301 N.
SUITE NO. 100
TAMPA, FL. 33619
(813) 374-2413

NO.	REVISION	DATE	BY
1	REVISED PER CITY/STATE COMMENTS	4/15/14	TR

SCALE: 1"=20'
DATE: 2.22.17
CAD FILE: C-05 PGD
JOB NUMBER: BK #2314
SHEET: **C-05**

PAVING, GRADING & DRAINAGE PLAN
BURGER KING #2314
3902 SW 40TH BLVD
GAINESVILLE, FLORIDA



Consultant: **MPH CIVIL CONSULTANTS, INC.**
 MPH Civil Consultants, Inc.
 Civil Engineering Services
 P.O. Box 813731 8002 L 33346
 diane@mphcivil.com www.mphcivil.com
 H. Diana Milford, P.E. No. 52652
 FLORIDA PROFESSIONAL ENGINEER No. 52652
 FLORIDA CA No. 30727

Developer: **BRAVOTAMPA, LLC.**
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL 33619
 (813) 374-2413

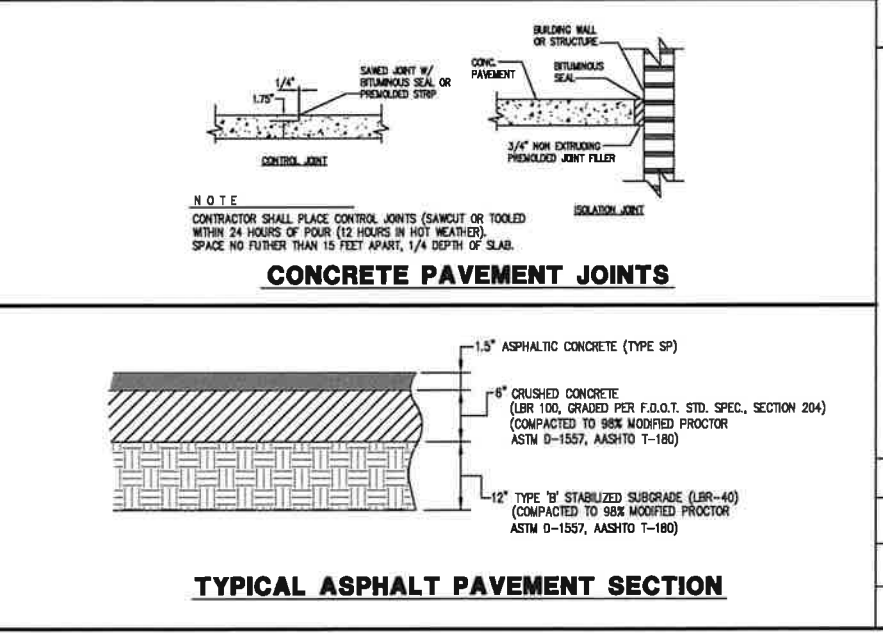
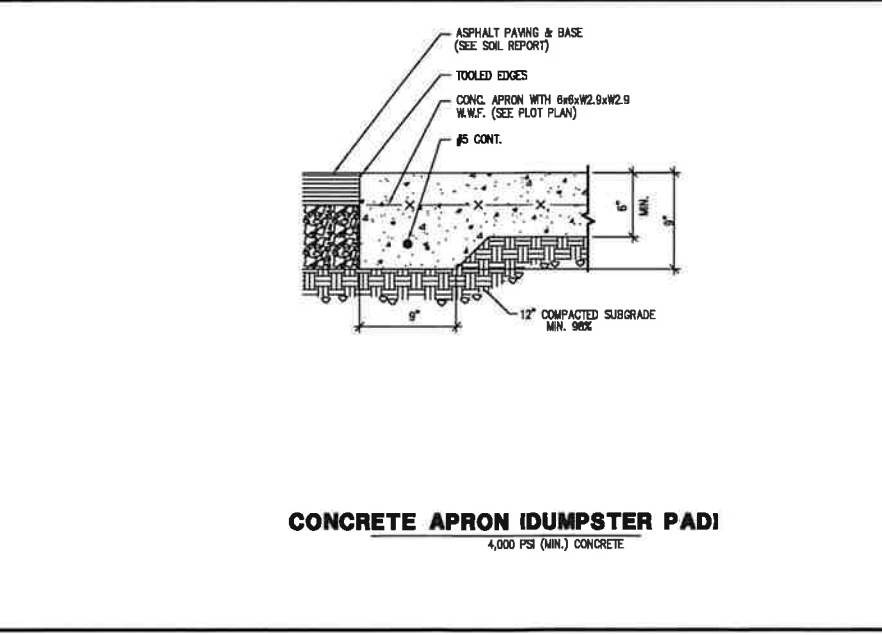
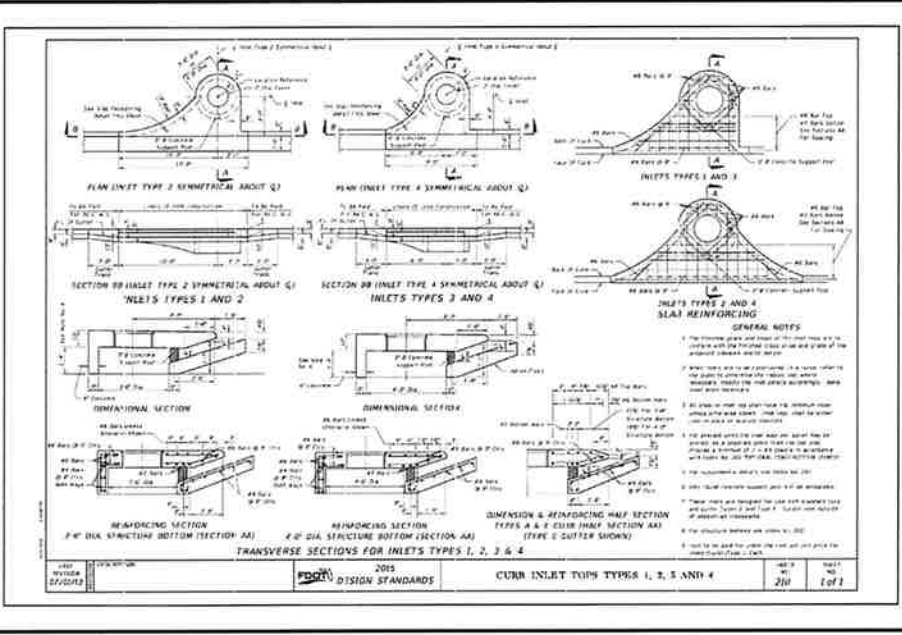
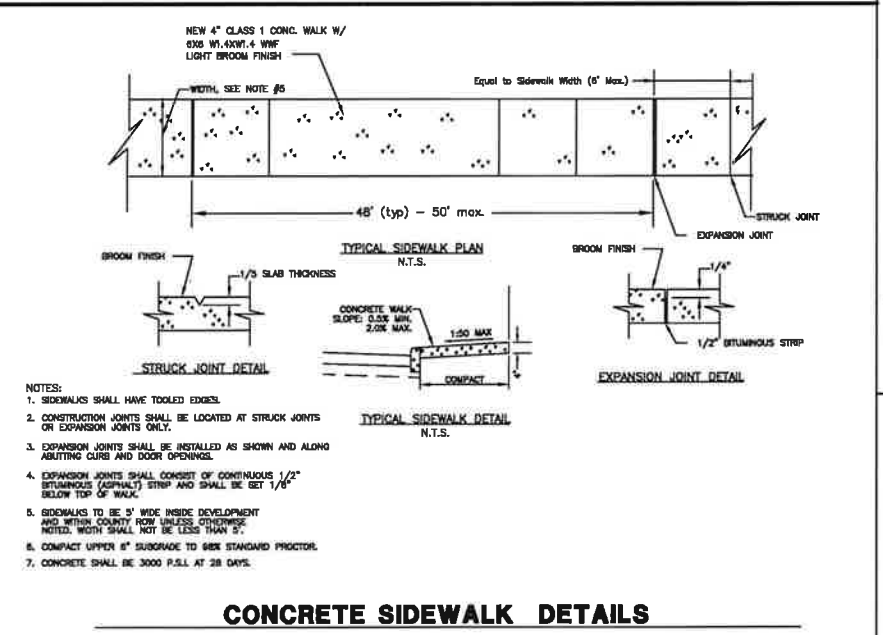
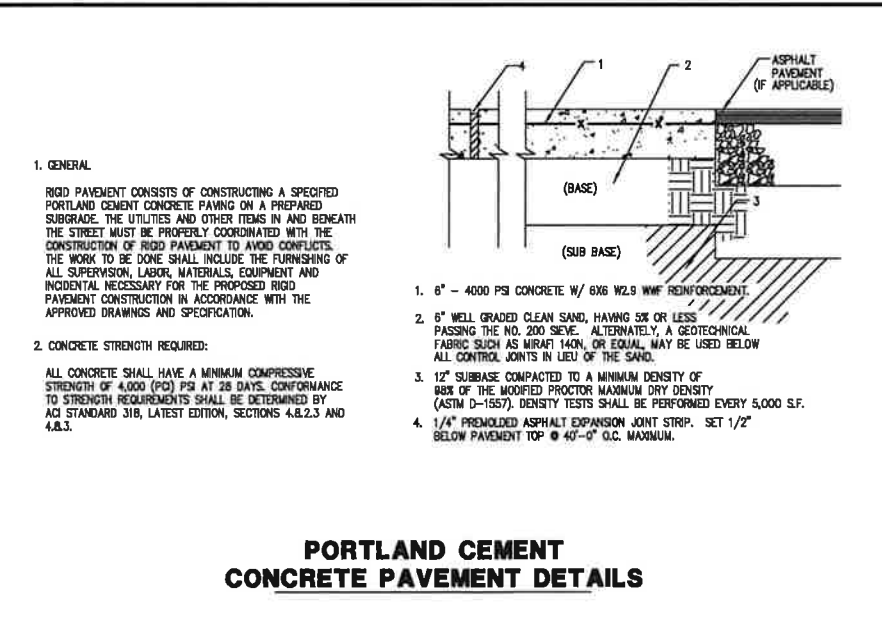
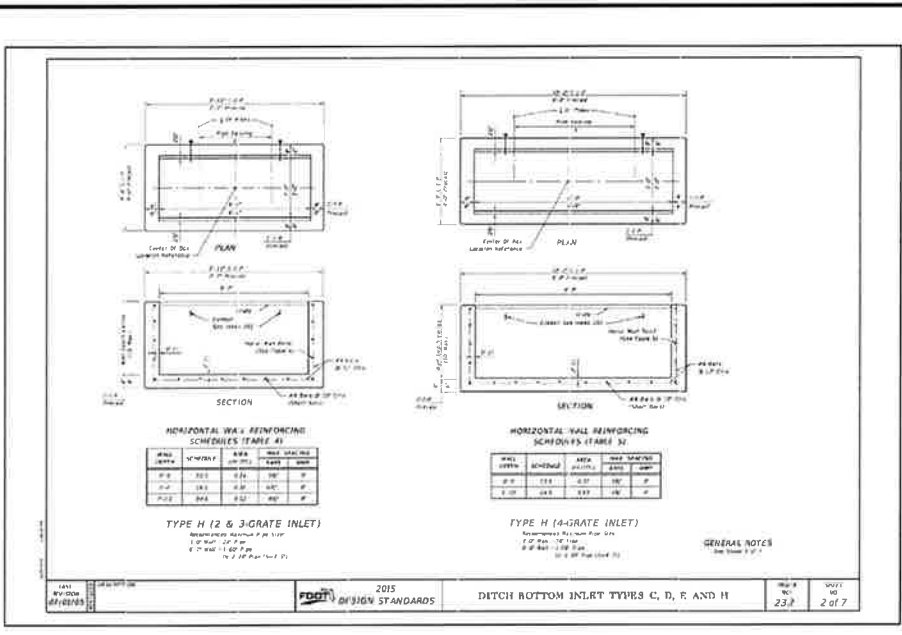
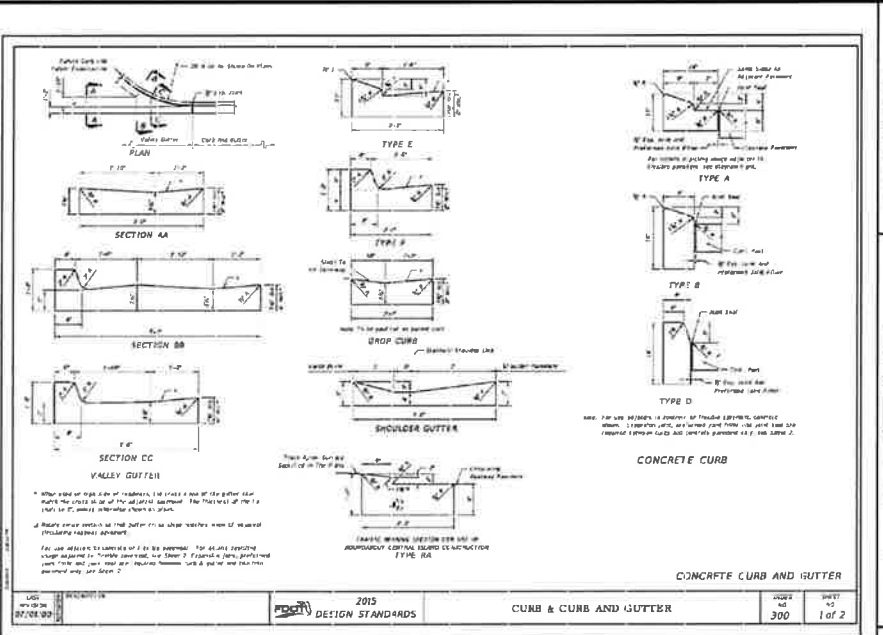
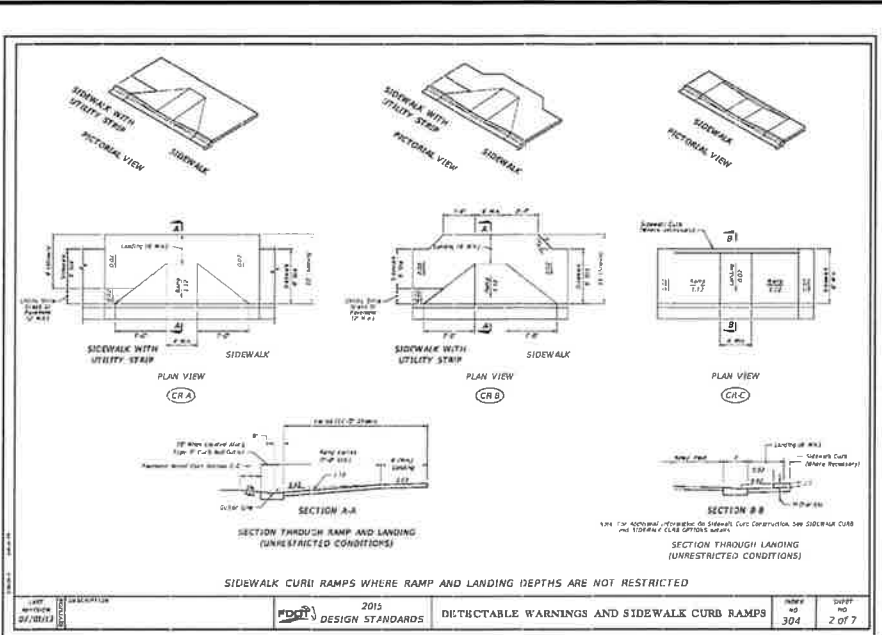
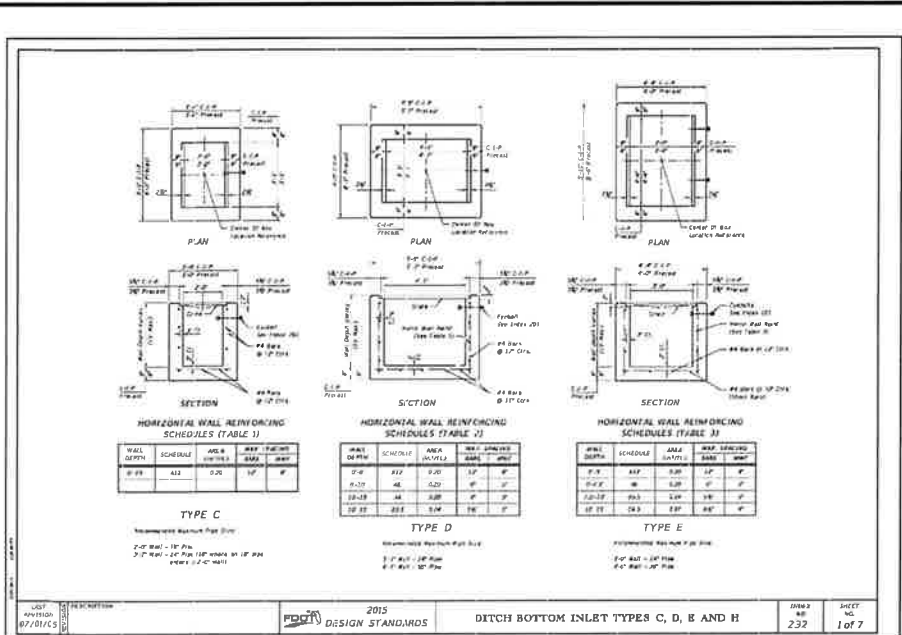
REVISIONS

NO.	DATE	BY	DESCRIPTION

CIVIL DETAILS

BURGER KING #2314
 3902 SW 40TH BLVD
 GAINESVILLE, FLORIDA

SCALE: NTS DATE: 2.22.17
 CAD FILE: C-07 DTL
 JOB NUMBER: BK #2314
 SHEET: C-07



mpc
 CIVIL CONSULTANTS, INC.
 Civil Engineering Services
 P.O. Box 811731, Miami, FL 33186
 Phone: (305) 551-1100
 Fax: (305) 551-1101
 Email: info@mpcivl.com
 Website: www.mpcivl.com

Consultant: **mpc**

Developer: **BRAVOTAMPA, LLC.**
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL 33619
 (813) 374-2413

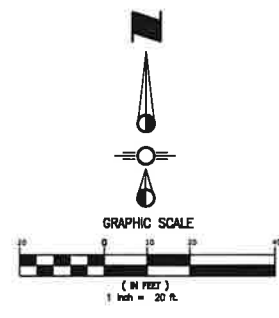
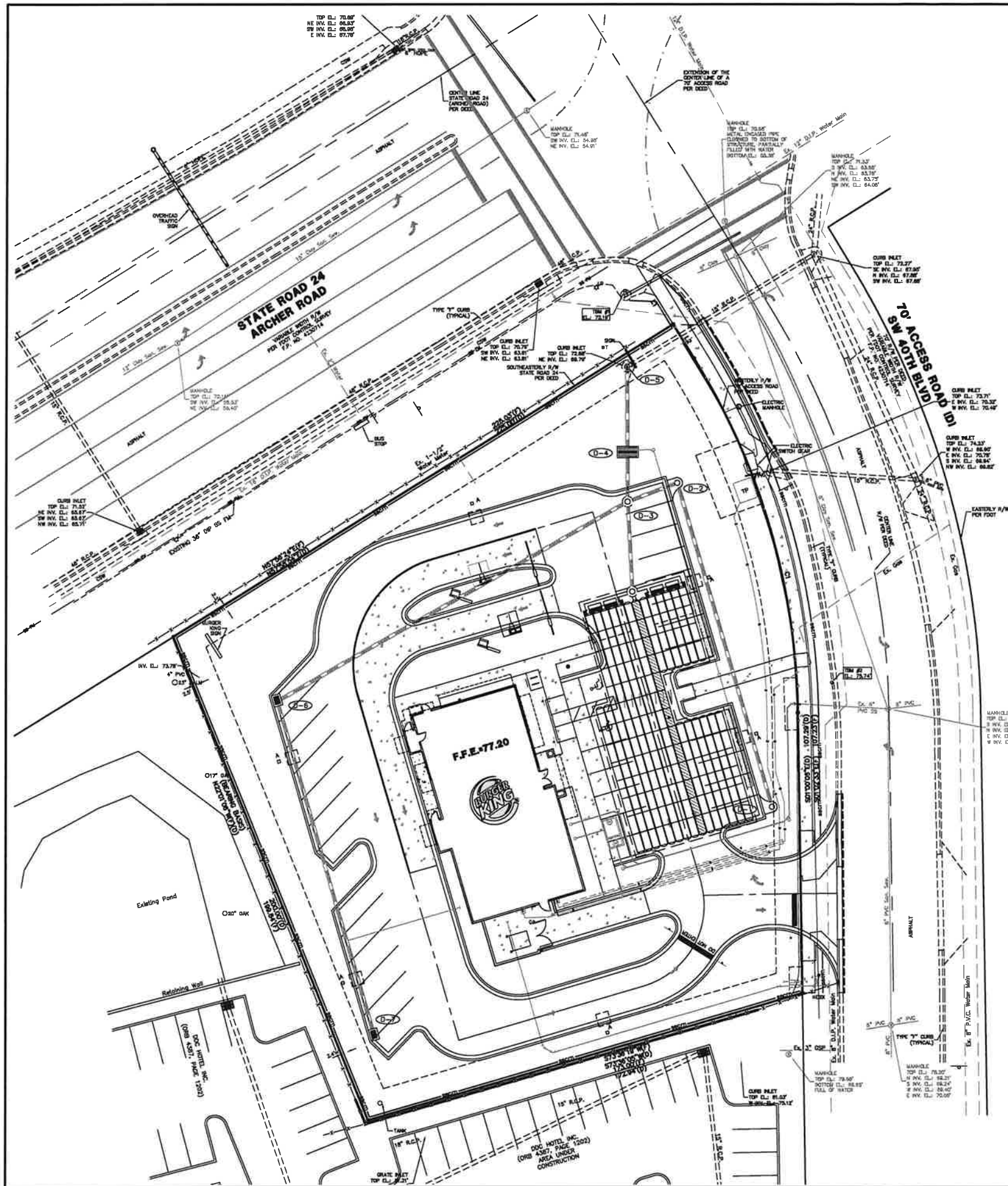
BURGER KING #2314
 3902 SW 40TH BLVD
 GAINESVILLE, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

CIVIL DETAILS

SCALE: NTS DATE: 2.22.17
 CAD FILE: C-08 DTL
 JOB NUMBER: BK #2314
 SHEET: C-08



STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPERE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.56 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET; THE 30 YEAR CRISP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

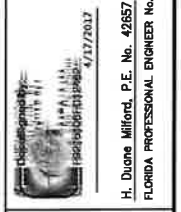
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONEHOPPER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HEC OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITY TO THE SITE DESIGN ENGINEER.
- ADD RECOMMENDS THE USE OF "WELLS" TO CATCH IT' INSURERS DURING CONSTRUCTION FOR ALL BLET'S TO PROTECT THE SURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-882-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



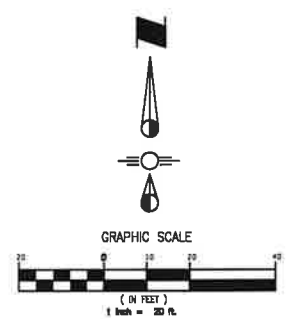
Consultant:
MPH
 CIVIL CONSULTANTS, INC.
 MPH Civil Consultants, Inc.
 3011 East Broadway Street
 P.O. Box 1000
 Tampa, FL 33601
 813.731.0052
 duane@mphcivil.com www.mphcivil.com
 FLORIDA, CA, MD, 30727

Developer:
BRAVOFLORIDA, LLC.
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL 33619
 (813) 374.2413

NO.	REVISIONS	DATE	BY
1			
2			

STORMTECH CHAMBER PLAN & DETAILS
BURGER KING #2314
3902 SW 40TH BLVD
GAINESVILLE, FLORIDA

SCALE: 1"=20'
 DATE: 2.22.17
 CAD FILE: C10-DTL
 JOB NUMBER: BK #2314
 SHEET: C-10



CODE REQUIREMENTS

PERIMETER REQUIREMENTS
 NORTH - ONE TREE PER 40 LF
 225 LF / 40 = 6 TREES

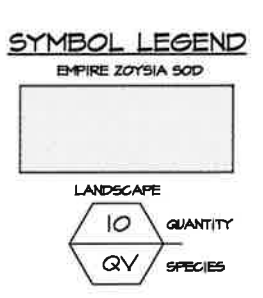
EAST - ONE TREE PER 40 LF
 233 LF / 40 = 6 TREES

SOUTH - THREE SHADE TREES PER 100 LF
 173 LF / 33 = 5 TREES

WEST - THREE SHADE TREES PER 100 LF
 200 LF / 33 = 6 TREES

INTERIOR REQUIREMENTS
 ONE TREE PER ISLAND
 8 ISLANDS / 1 = 8 TREES

TOTAL TREES REQUIRED
 22 + 6 = 30 TREES
 30 TREES PROVIDED



PLANT MATERIAL LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
QV	6	QUERCUS VIRGINIANA	LIVE OAK	12' HT X 3" SPD, 3" CAL, 65 GALLON B&B	AS SHOWN
MG	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	12' HT X 3" SPD, 3" CAL, 65 GALLON B&B	AS SHOWN
UA	6	ULMUS AMERICANA FLORIDANA	FLORIDA ELM	10' HT X 4" SPD, 2" CAL, 30 GALLON	AS SHOWN
AR	6	ACER RUBRUM	RED MAPLE	10' HT X 4" SPD, 2" CAL, 30 GALLON	AS SHOWN
PP	5	PINUS PALUSTRIS	LONGBEAF PINE	10' HT X 3" SPD, 2" CAL, 30 GALLON	AS SHOWN
DH	2	ILEX CASSINE	DANDON HOLLY	8' HT X 4" SPD, 2" CAL, 30 GALLON	AS SHOWN
BH	1	ILEX ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	8' HT X 4" SPD, 2" CAL, 30 GALLON	AS SHOWN
PM	50	PODOCARPUS MACROPHYLLUS	PODOCARPUS	36" HT X 30" SPD, 10 GALLON	30" OC
VO	214	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	24" HT X 24" SPD, 9 GALLON	36" OC
LC	41	LOROPETALUM CHINENSE RUBRUM	RUBY LOROPETALUM	18" HT X 18" SPD, 3 GALLON	36" OC
GG	51	GALPHIMIA GRACILIS	YELLOW THYRALLIS	18" HT X 18" SPD, 3 GALLON	36" OC
RI	50	RHOODODENDRON INDICA 'LITTLE JOHN'	LITTLE JOHN AZALEA	18" HT X 18" SPD, 3 GALLON	36" OC
HS	188	HENEROCALLIS 'STELLA DE ORO'	YELLOW DAYLILY	10" HT X 10" SPD, 1 GALLON	24" OC
LM	188	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	10" HT X 10" SPD, 1 GALLON	24" OC
AS	180	OPHIOPOGON INTERMEDIUS 'ARISTECHNOMATIS'	AZTEC GRASS	10" HT X 10" SPD, 1 GALLON	24" OC
AN	188	ANNUALS OF THE SEASON	ANNUALS	6" HT X 8" SPD, 1 GALLON	18" OC

TREE MITIGATION CALCULATIONS

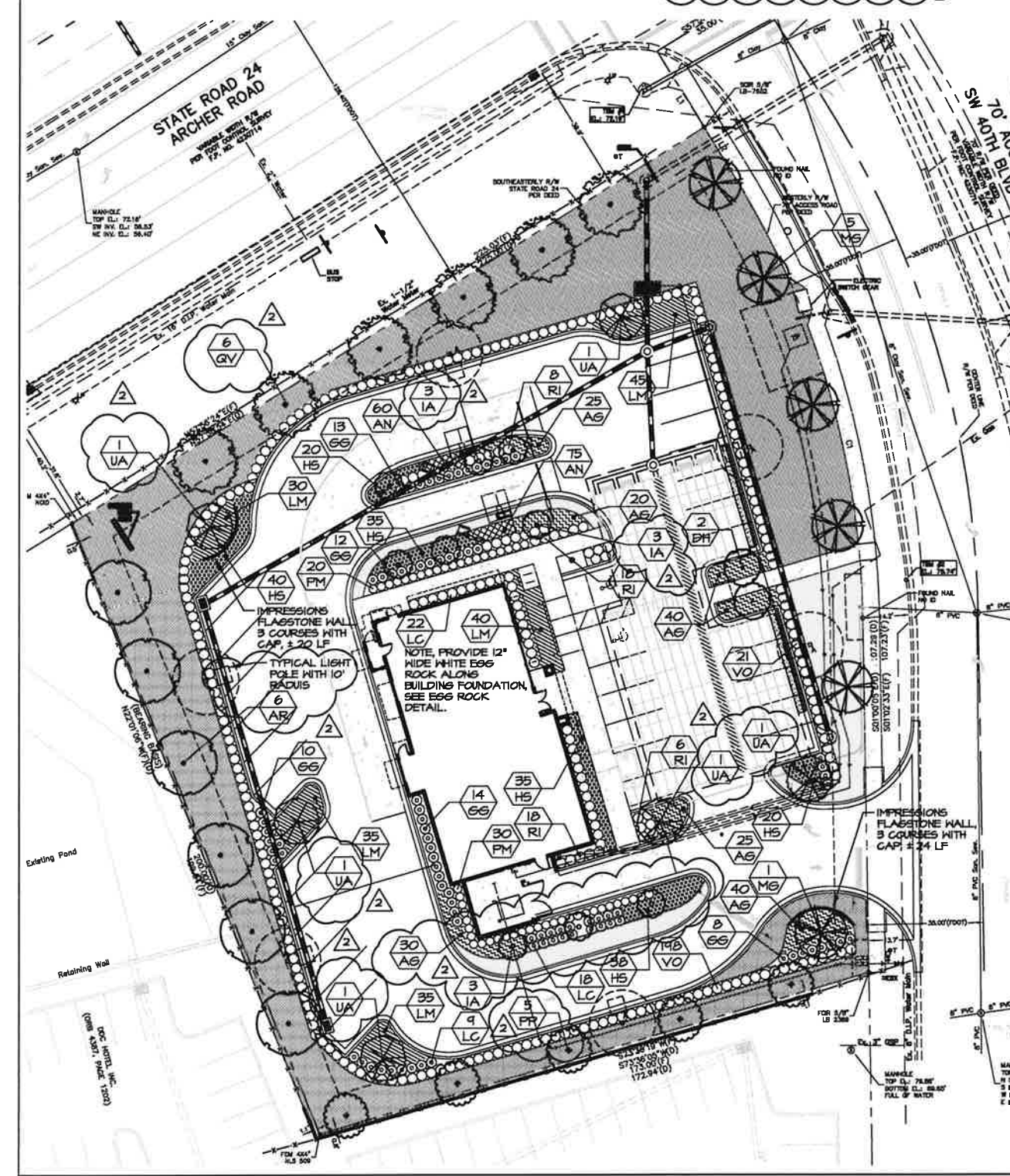
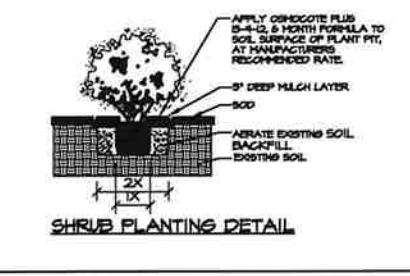
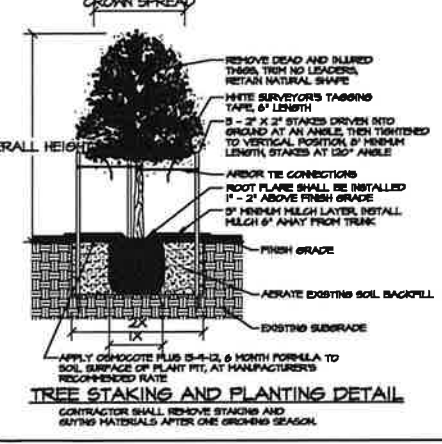
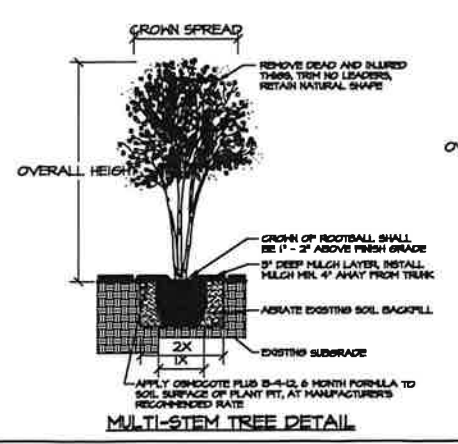
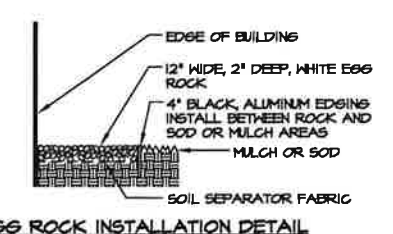
TREE APPRAISED VALUE	TREES IN CATEGORY TO BE MITIGATED 0 TREES	0 TREE
MAXIMUM 3 TREES PER ACRE: TOTAL SITE AREA: 0.8 ACRES MAXIMUM APPRAISED TREES		0 TREE
TREES BEYOND MAXIMUM TO BE MITIGATED INCH FOR INCH		0 TREES
APPRAISED TREES XX' OAK 10.5 X 10.5 X 3.14 X \$40.00 X .55 = \$		\$
1:1 REPLACEMENT	TOTAL TREES TO BE MITIGATED AT 1:1 REPLACEMENT	1 TREES
2:1 REPLACEMENT	TOTAL TREES TO BE MITIGATED AT 2:1 REPLACEMENT	12 TREES
TOTAL TREE MITIGATION	12 TREES X 2 = 24 + 1 TREES X 1 = 1 40 PROPOSED - 28 REPLACEMENTS =	25 TREES 0 TREES
TOTAL MITIGATION PAYMENT	TOTAL MITIGATION PAYMENT	\$ 000.00
TREE APPRAISALS TOTAL	TREE APPRAISALS TOTAL	\$ 000.00
DEFICIT PAYMENT 10 TREES X \$100.00=	DEFICIT PAYMENT 10 TREES X \$100.00=	\$ 000.00
TOTAL PAYMENT REQUIRED	TOTAL PAYMENT REQUIRED	\$ 000.00

- LANDSCAPE INSTALLATION NOTES**
- 1) ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 - 2) LOCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC - SEE THE LANDSCAPE ARCHITECT FOR QUESTIONS ON EXACT LOCATIONS. THE PLANT MATERIAL LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, THE PLAN SHALL PREVAIL.
 - 3) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
 - 4) THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
 - 5) ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3" DEEP TRIPLE SHREDDED BLACK MULCH. ALL NEW TREES SHALL HAVE A TREE RING WITH A MINIMUM OF 24" RADIUS. ALL NEW TREES AND PALMS SHALL BE STAKED.
 - 6) NEW SOD SHALL BE EMPIRE ZOYSIA SOD APPROXIMATELY 15,400 SF, IN THE LOCATIONS SHOWN ON THE PLAN. CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
 - 7) TREES, SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT PITS SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL BEFORE BACKFILLING PIT. ADD OSMOGOTTE FERTILIZER TO EACH PLANT PIT, AS PER THE INSTALLATION DETAILS.
 - 8) TREE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL B & B STOCK.

TREE MITIGATION FEE NOTE

THE TREE MITIGATION FEE IS DUE AT THE TIME A DEVELOPMENT ORDER OR A SITE WORK PERMIT IS ISSUED.

- CITY OF GAINESVILLE NOTES**
- 15) MULCH ALL DISTURBED AREAS WITH THREE (3) INCH MINIMUM LAYER OF PINE BARK MULCH.
 - 16) ALL PLANT MATERIAL SHALL BE GUARANTEED ONE YEAR AFTER ACCEPTANCE BY OWNER.
 - 17) LANDSCAPE CONTRACTOR SHALL CALL THE URBAN FORESTRY INSPECTION AT (352)343-8180 TO SCHEDULE AN ON-SITE MEETING PRIOR TO PURCHASING ANY PLANT MATERIAL.
 - 18) ALL TREES IN SOD TO BE IN A FOUR (4) FOOT MINIMUM MULCH RING AROUND THE NEWLY PLANTED TREES.
 - 19) ALL TREES PLANTED IN SOD ARE TO HAVE A TEN (10) INCH PLASTIC PROTECTOR AROUND THE TRUNK BASE TO PROTECT FROM MOWING DAMAGE.
 - 20) TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOTBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
 - 21) THE CITY SHALL REQUIRE THE ROOTBALL/CONTAINER SIZE OF THE TREE, WHICH TAKES PRECEDENCE OVER THE CALIPER SIZE OF THE TREE.
 - 22) REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FLORIDA FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
 - 23) CALL THE URBAN FORESTRY INSPECTOR AT (352) 343-8180 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND WORK COMMENCES.
 - 24) AUTOMATIC IRRIGATION SYSTEM IS REQUIRED FOR THIS DEVELOPMENT AND PROVIDE BUBBLERS BESIDE EACH NEW TREE TO BE INSTALLED.
 - 25) IF THERE ARE PROBLEMS WITH PROPOSING SHADE TREES, THE CODE PROVIDES METHODS OF INSTALLING THE TREES WITH SHEET PILING. LAND DEVELOPMENT CODE SECTION 30-251 (1) (B) 1-5.
 - 26) THE TREE MITIGATION FEE IS DUE AT THE TIME A DEVELOPMENT ORDER OR A SITE WORK PERMIT IS ISSUED FOR THE DEVELOPMENT.



ANDERSON LESNIAK LIMITED, INC.
 Landscape Architects
 4621 S. WESTSHORE BOULEVARD
 TAMPA, FLORIDA 33611
 (813) 831-9595 FAX 831-5485
 www.andersonlesniak.com

ANDERSON LESNIAK LIMITED, INC.
 LANDSCAPE ARCHITECT No. 14000125

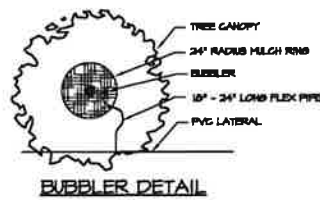
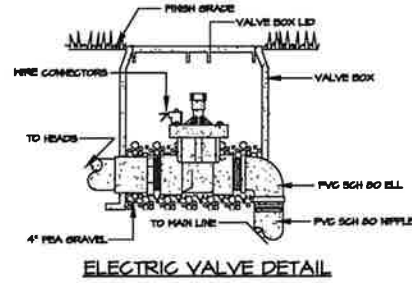
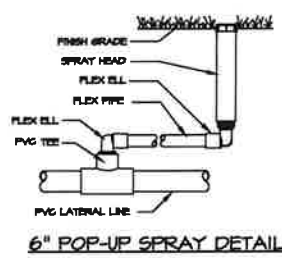
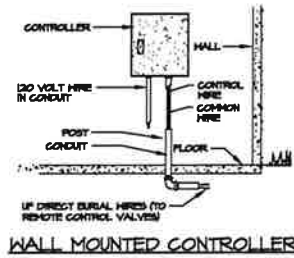
Developer:
BRAVOFLORIDA, LLC.
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL 33619
 (813) 374-2413

REVISIONS

NO.	DATE	BY	REVISION
1	03-12-17	BL	AS PER REVISED COMMENTS
2	04-12-17	BL	AS PER REVISED COMMENTS

LANDSCAPE PLAN
 BURGER KING #2314
 3902 SW 40TH BLVD.
 GAINESVILLE, FLORIDA

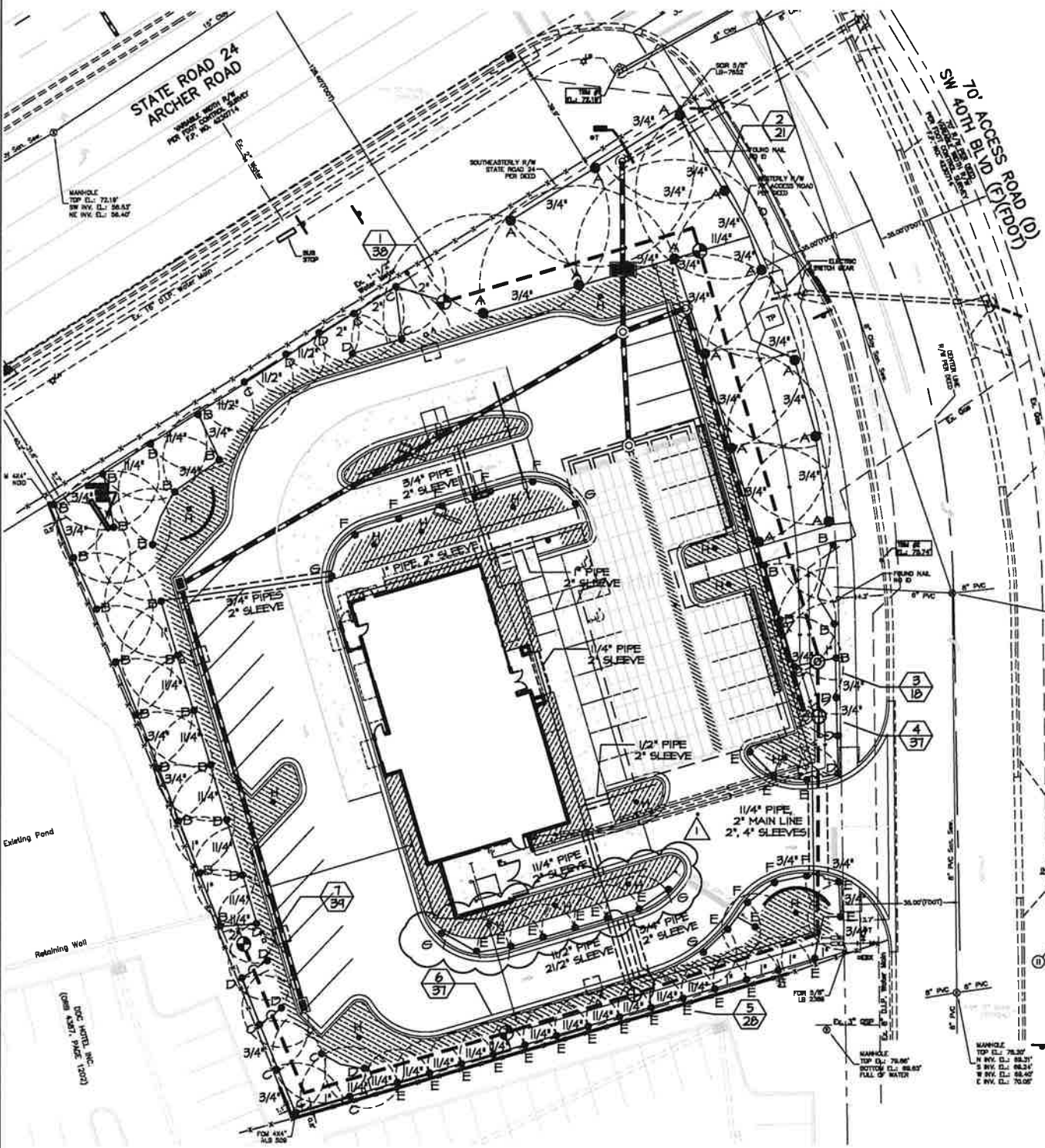
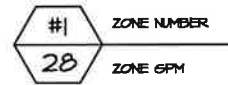
SCALE: 1"=20'
 DATE: 02.21.17
 CAD FILE: LA-16
 JOB NUMBER: BK #2314
 SHEET: L-01



IRRIGATION MATERIAL LIST

SYMBOL	QUANTITY	MODEL NUMBER
A ●	14	PEP-04-CV-1.5, 4\"/>
B ●	27	PROS-06-PR330-17A, 6\"/>
C ●	10	PROS-06-PR330-15A, 6\"/>
D ●	11	PROS-06-PR330-12A, 6\"/>
E ●	27	PROS-06-PR330-10A, 6\"/>
F ●	9	PROS-06-PR330-55-530, SIDE STRIP, 6\"/>
G ●	5	PROS-06-PR330-ES-315, END STRIP, 6\"/>
H ●	15	PCB-R-25, 25 GPM PRESSURE COMPENSATING BUBBLER
± 4,350 LF		FLD-10-12-250, LANDSCAPE DRIPLINE
⊕	4	1CV-1516-FS-R, 1 1/2\"/>
⊙	1	1GZ-101-FS-R, 1\"/>
⊕	2	1GZ-151-40-R, 15\"/>
---	± 525 LF	2\"/>
⊠	1	PC-12-455, 12 STATION CONTROLLER W/ SOLAR SYNC

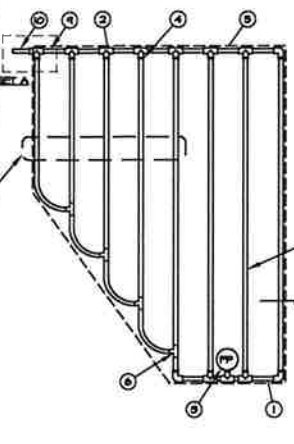
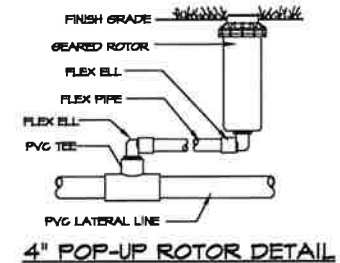
SYMBOL LEGEND



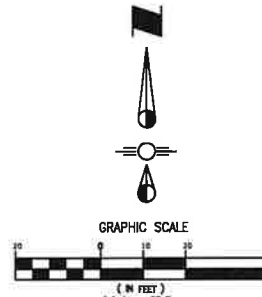
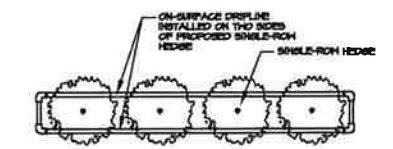
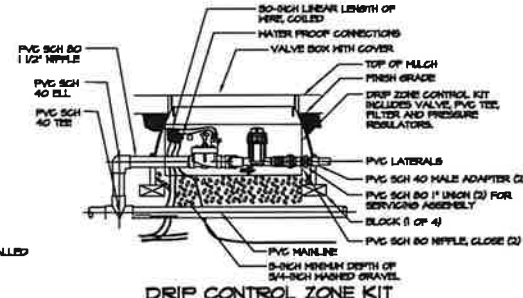
- ### IRRIGATION INSTALLATION NOTES
- 1) ALL QUANTITIES SHOWN ON THE DRAWINGS ARE NOT GUARANTEED AS TO ACCURACY AND ARE SHOWN FOR THE PURPOSES OF INDICATING VOLUME OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO SATISFY HIMSELF AS TO THE ACCURACY OF THE QUANTITIES.
 - 2) PIPING OR VALVES MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS, I.E., IN BUILDINGS, UNDER PAVEMENT, OR OUTSIDE OF THE PROPERTY LINES. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN SOIL AREAS.
 - 3) INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - 4) PIPE SIZES ARE LABELED AT LOCATIONS WHERE AN INCREASE IN SIZE OCCURS. CONTINUE PIPE SIZE UNTIL SIZE INCREASE IS INDICATED. PIPES SHALL BE INSTALLED ALONG MALKS, CURBS OR WALLS, THEY SHALL NOT BE INSTALLED IN THE MIDDLE OF PLANTERS. CONTRACTOR SHALL REVIEW LANDSCAPE PLANS TO DETERMINE TREE AND PALM LOCATIONS. MAIN LINE AND LATERALS SHALL BE SCH 40 PVC.
 - 5) ALL POP-UP SPRAY AND ROTOR HEADS SHALL BE INSTALLED ON 18\"/>

DRIPLINE INSTALLATION NOTES

- 1) DRIPLINE SHALL BE LAID DIRECTLY UNDER THE 3\"/>



- 1) PVC EXHAUST HEADER
- 2) PVC SCH 40 TEE OR EL (TYPICAL)
- 3) FLUSH POINT (TYPICAL)
- 4) BARS X MALE FITTING
- 5) PERIMETER OF AREA
- 6) BARS X BARS INSERT TIE OR CROSS
- 7) PERIMETER DRIPLINE PIPE TO BE INSTALLED 2-4\"/>



ANDERSON LESNIAK LIMITED, INC.
 landscape architects
 4821 S. WESTSHORE BOULEVARD
 TAMPA, FLORIDA 33611
 (813) 831-9595 FAX 831-5485
 anderson.lesniak@andersonlesniak.net
 www.andersonlesniak.net

Developer:
BRAVOFLORIDA, LLC.
 3018 U.S. HIGHWAY 301 N.
 SUITE NO. 100
 TAMPA, FL. 33619
 (813) 374-2413

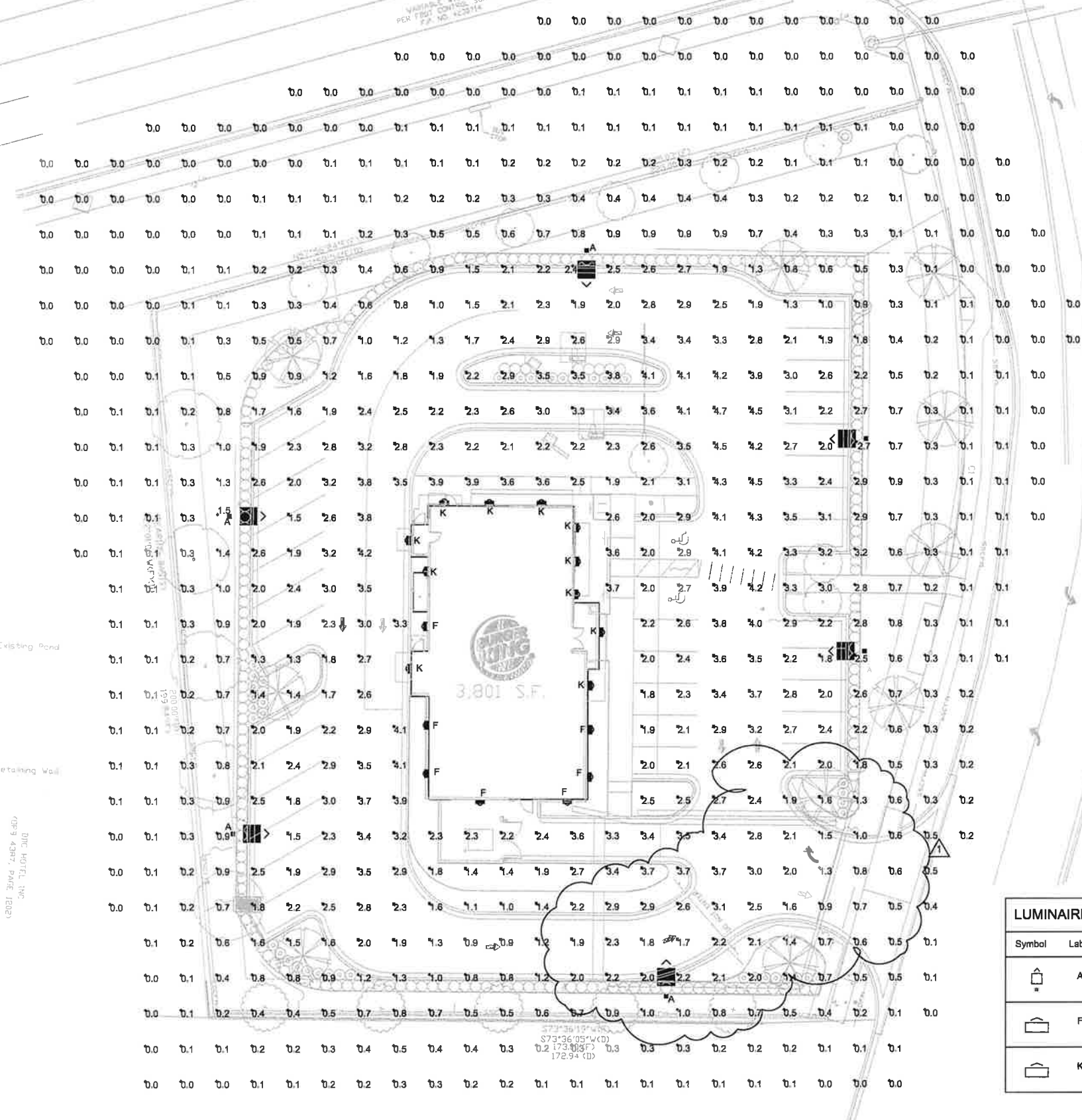
NO.	DATE	BY	REVISIONS
1	04-12-17	BT	AS PER COMMENTS
2			

IRRIGATION PLAN
 BURGER KING #2314
 3902 SW 40TH BLVD.
 GAINESVILLE, FLORIDA

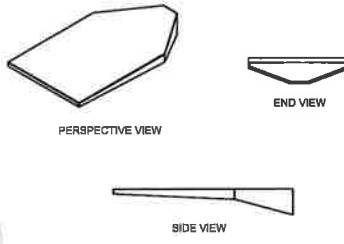
SCALE: 1"=20'
 DATE: 02.21.17
 CAD FILE: LA-16
 JOB NUMBER: BK #2314
 SHEET: L-02

L. ALYSON LUTTER
 FLORIDA LANDSCAPE ARCHITECT No.
 14000183

STATE ROAD 24
ARCHER ROAD
VARIABLE WIDTH R/W
PER FDOT CONTRACT
F.P. NO. 1423114



**XLCM
LED Area Light**



LIGHTING GENERAL NOTES:

1. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS
2. THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARDS LAMP RATINGS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.
3. THESE CALCULATIONS WERE DERIVED USING A COMMERCIAL COMPUTER SOFTWARE. THE FOOT CANDLE LEVELS WERE DERIVED FROM MANUFACTURER PROVIDED IES FILES WITH FIXTURES LOCATED WHERE SHOWN, WITH INDICATED MOUNTING HEIGHT, AND A LIGHT LOSS FACTOR OF 0.86. TREES AND SHRUBS AT THIS PROPERTY LOCATIONS WERE TAKEN INTO ACCOUNT FROM LANDSCAPE PLANS.
4. CONTRACTOR SHALL PROVIDE ALL PERIMETER ASSEMBLIES WITH FIELD INSTALLED PAINTED ALUMINUM EXTERNAL HOUSE SHIELDS TO LIMIT LIGHT SPILL AT THE PROPERTY LINE IF NECESSARY.
5. FOR TYPICAL CONDITIONS LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH GAINESVILLE LDC SECTION 30-344 THROUGHOUT THE NIGHTTIME HOURS OF OPERATION AND/OR USE BY THE PUBLIC OF A BUSINESS OR FACILITY. HOWEVER, LIGHTING SHALL BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATION AND/OR USE BY THE PUBLIC. AFTER-HOURS SECURITY LIGHTING MAY BE PERMITTED WHEN SUCH LIGHTING DOES NOT EXCEED 50 PERCENT OF THE NUMBER OF LUMINAIRES OR THE ILLUMINATION LEVEL REQUIRED OR PERMITTED DURING REGULAR NIGHTTIME OPERATION HOURS.
6. IT IS RECOMMENDED THAT A CRIME STUDY IS DONE FOR THE AREA TO DETERMINE IF HIGHER LEVELS OF LIGHTING IS REQUIRED. THE DESIGN LEVELS USED WERE UNDER NORMAL CONDITIONS. ALTHOUGH LIGHTING CAN NOT GUARANTEE SECURITY IT MAY BE NECESSARY TO INCREASE TO HIGHER LEVELS IF SAFETY AND SECURITY IS AN ISSUE.
7. ELECTRICAL PLANS SHALL CONTAIN SPECIFICATIONS FOR EXTERIOR LIGHTING CONTROL DIAGRAM AND SEQUENCE OF EVENTS FOR FUNCTIONALITY. CONSULT ELECTRICAL PLANS.
8. ALL ELECTRICAL WORK DONE MUST BE IN COMPLIANCE WITH NATIONAL ELECTRICAL CODE 2011, AND FLORIDA BUILDING CODE 2014, 5TH EDITION.
9. PHOTOMETRIC PLANS WERE DESIGNED PER IESNA RP-20-08 STANDARDS AND GAINESVILLE LAND DEVELOPMENT CODE 30-344.
10. LIGHTING SHALL BE PROVIDED FOR GENERAL SECURITY LIGHTING IN ACCORDANCE WITH CITY OF GAINESVILLE LDC 30-344. EXTERIOR LIGHTING SHALL BE AUTOMATICALLY EXTINGUISHED NOT LATER THAN ONE HOUR OF CLOSE OF BUSINESS AND/OR FACILITY OPERATIONS USE BY THE PUBLIC. AFTER-HOURS SECURITY LIGHTING MAY BE PERMITTED WHEN SUCH LIGHTING DOES NOT EXCEED 50% OF THE NUMBER OF LUMINAIRES OR THE ILLUMINATION LEVEL REQUIRED OR PERMITTED DURING REGULAR NIGHTTIME OPERATIONS LEVELS.
11. ALL LIGHT FIXTURES ARE FULL CUTOFF. ONLY LIGHT "F" HAS UP AND DOWN LIGHT. CALCULATIONS WERE DONE 5 FT ABOVE LIGHT FIXTURES TO ENSURE THERE WAS AN AVERAGE VERTICAL ILLUMINANCE OF 0.2 FC OR LESS.

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
5 FT Above Pole Lights	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A
5 Ft. Above Wall Packs	+	0.2 fc	2.0 fc	0.0 fc	N / A	N / A
Lot Line	+	0.3 fc	0.7 fc	0.0 fc	N / A	N / A
Parking Lot	X	2.6 fc	4.7 fc	0.8 fc	5.9:1	3.3:1
Total Lot	+	1.1 fc	4.7 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
A	A	6	XLCM-FTE-LED-HO-CW-HSS	LSI SLIDE MEDIUM XLCM FULL CUT OFF	LED Mounted @ 25' AFF	XLCM-FTE-LED-HO-CW-HSS.IES	Absoluta	1.00	271.6
F	F	7	RWSC-72L-5K-UD-U-PS	Wall mount outdoor fixture. Down Light.	LED Mounted @ 8'-10"	RWSC-72L-5K-UD-U-PS.ies	Absoluta	0.81	25
K	K	11	RWSC-36L-5K-DO-U-PS	WALL MOUNTONG OUT DOOR FIXTURE	LED Mounted @ 8'-10"	RWSC-36L-5K-DO-U-PS.ies	Absolute	0.81	14.4

PHOTOMETRIC CALCULATIONS

SCALE: 1" = 20' - 0"

BKC HOTEL, INC.
CORP 4287, PAGE 1202
AREA UNDER CONSTRUCTION

1

ISSUED FOR: REVIEW

PREPARED FOR: **QUALITY DINING**

PREPARED BY: **ELECTRICAL POWER DESIGNS, INC.**

PROJECT LOCATION: **BURGER KING #2314**
3902 SW 40TH BLVD
GAINESVILLE FLORIDA 32608

SHEET NAME: **PHOTOMETRIC PLAN**

DATE: 01/23/17

BY: [Signature]

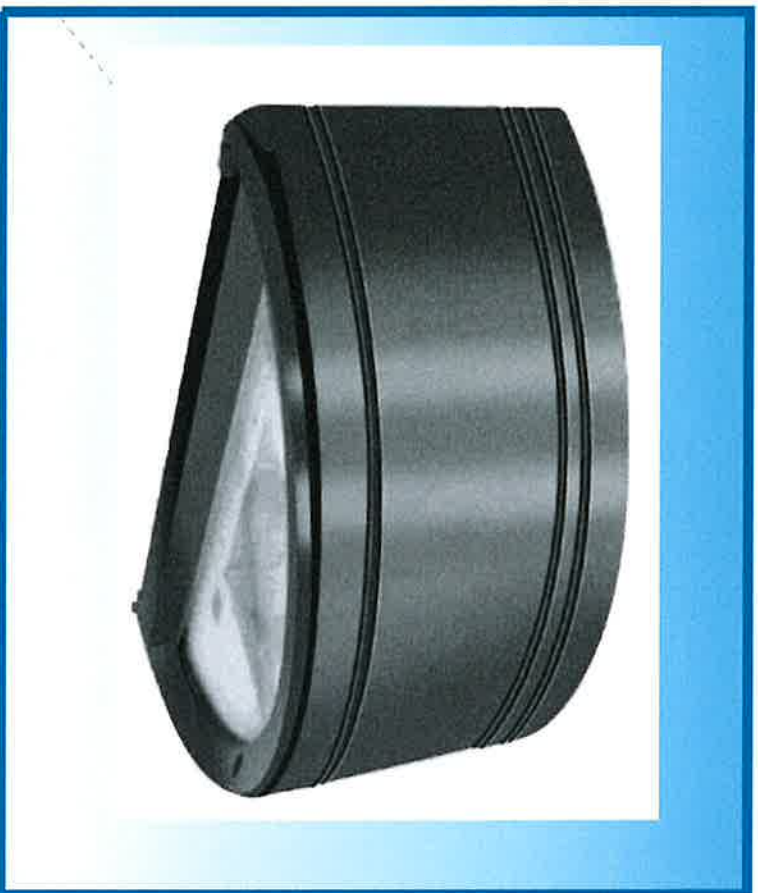
NO. 11

Digitally signed by Carlos M. Orma, DN: c=US, o=Electrical Power Designs, Inc., ou=Electrical Power Designs, Inc., email=carlos@epd.com, cn=Carlos M. Orma

DATE: 2017.01.14 18:24:01 -0500

EP-1

RADIUS WALL SCONCE



The RWSC Series radius wall sconce offers maximum versatility with multiple light sources and finishes. The available combination of uplight/downlight washes the building facade while the radial soft form housing will complement similar architectural design elements.

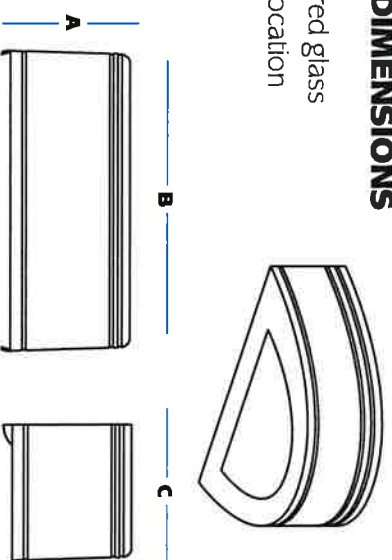


Fixture Specifications

FEATURES

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaire finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses suitable for use in wet location
- Ships complete with lamp
- Downlight only, full cut-off
- Dark Sky compliant

DIMENSIONS



A	B	C
7.25"	18.0"	9.0"

ORDERING INFORMATION

SAMPLE CATALOG NUMBER

RWSC | **XXXXXXXX** | **XX** | **XX** | **XXX**

Series | Wattage/Source | Distribution | Finish | Voltage

SERIES	Radius Wall Sconce
RWSC	Radius Wall Sconce
WATTAGE/SOURCE¹	
70PMH	70 watt pulse start metal halide
100PMH	100 watt pulse start metal halide
150PMH	150 watt pulse start metal halide
70HPS	70 watt high pressure sodium
100HPS	100 watt high pressure sodium
150HPS	150 watt high pressure sodium
26OF	26 watt quad tube fluorescent
32TRF	32 watt triple tube fluorescent
42TRF	42 watt triple tube fluorescent
226OF	2x26 watt quad tube fluorescent
232TRF	2x32 watt triple tube fluorescent
242TRF	2x42 watt triple tube fluorescent
30LED	19 watt LED ³
50LED	44 watt LED

DISTRIBUTION	
UD	Up/Downlight
WD	Downlight only (wide distribution)- standard
FT	Downlight only (forward throw)
FINISH²	
DB	Dark Bronze
BK	Black
WH	White
PS	Platinum Silver

¹ Consult factory for other lamp wattage and sources.
² Other finishes available. Consult factory.
³ Available with WD distribution only.
⁴ Not for use with LED source.

VOLTAGE	
120	120 volt
277	277 volt
MT	Multi-Tap
OPTIONS	
OSL	Quartz re-strike with lamp
F	Single fusing
FF	Double fusing
EM12⁴	1 MR11/MR16 two pin socket for 12v power (by others) 35w max. 35w MR11 lamp included.
2EM12⁴	2 MR11/MR16 two pin sockets for 12v power (by others) 35w max. 35w MR11 lamp included.
ACCESSORIES	
EM	Remote emergency ballast (fluorescent only)

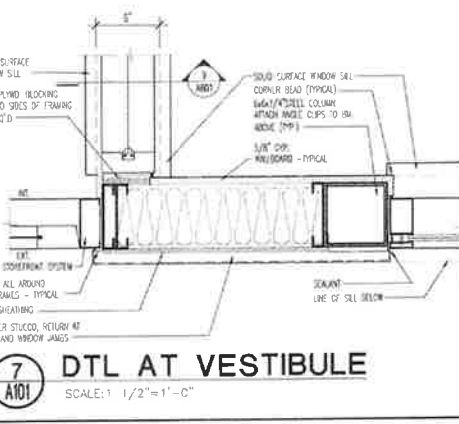
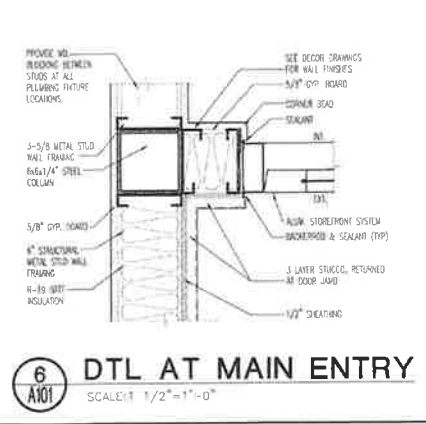
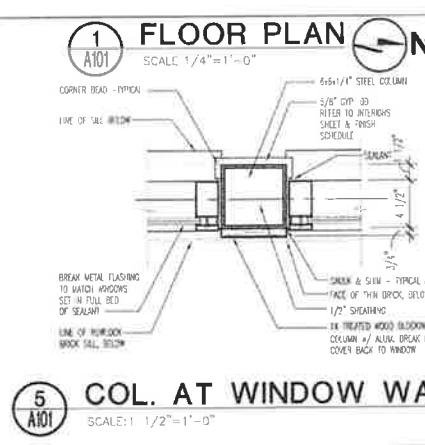
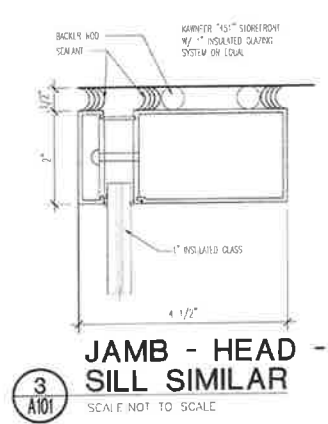
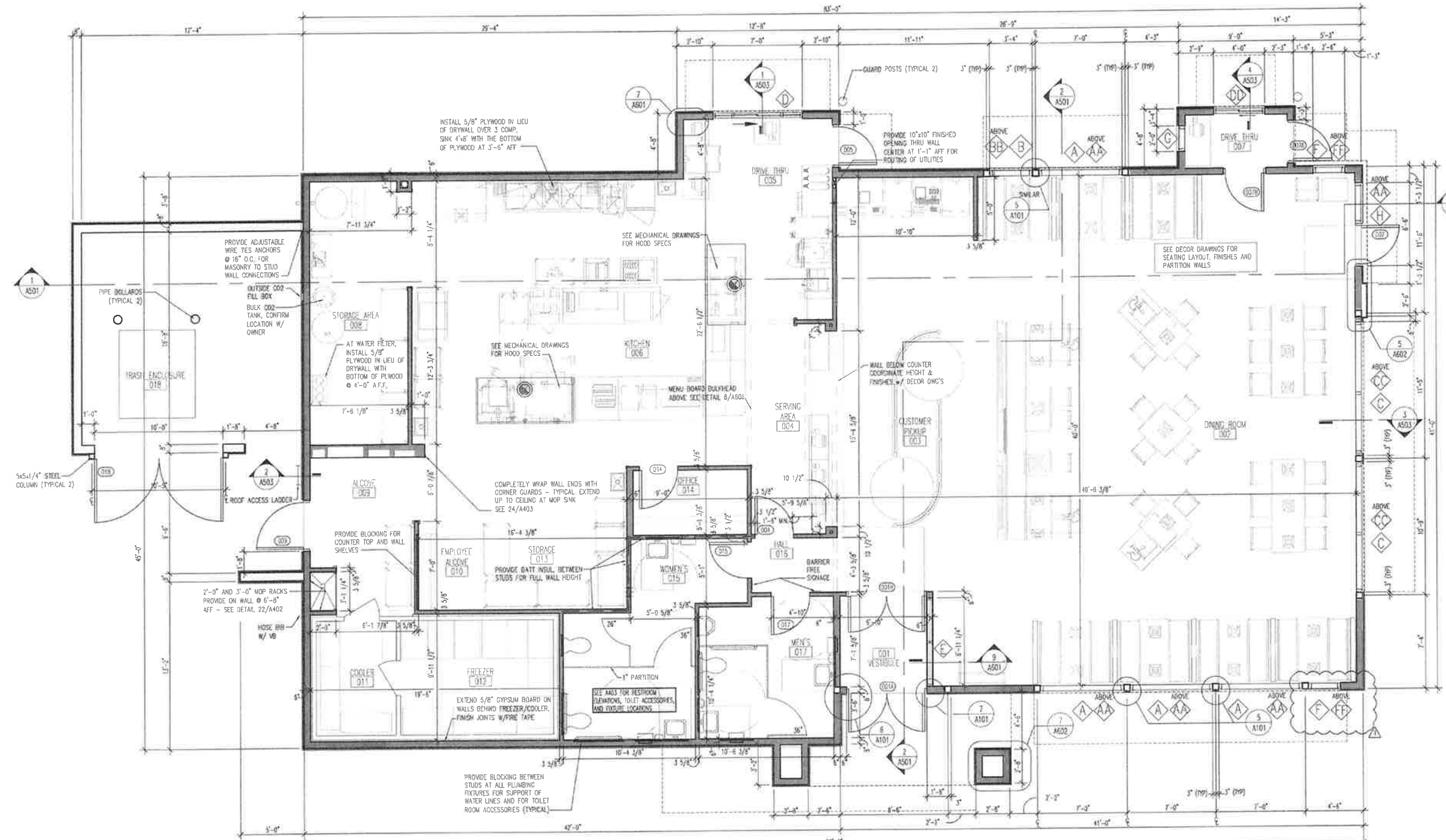


A HUBBELL LIGHTING, INC. COMPANY

Performance Designed Lighting Products

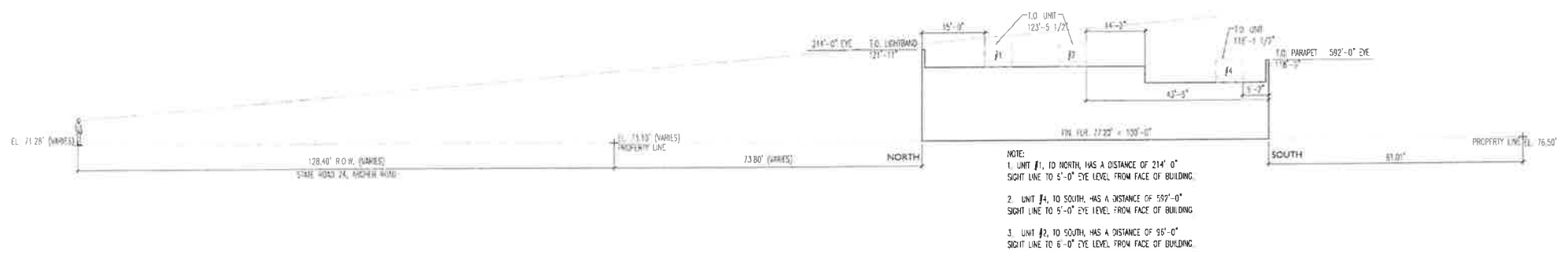
1085 Johnson Drive • Buffalo Grove, IL 60089 • TOLL-FREE: 800-544-4848 • PHONE: 847-279-0627 • FAX: 847-279-0642

www.securitylighting.com



- NOTES:**
- 3-1/2" METAL STUD @ 16" O.C. W/ 5/8" OYP BOARD UNLESS NOTED OTHERWISE
 - INTERIOR WALLS SEE 10/03051 BEHIND MOP SINK TRACK TO CONCRETE SLAB W/ GANGET PARTITION. 1/2" MIN PER SECTION. 2" MIN W/ 1" W/ 1" MIN FROM HES OF PILEE OR INTERIOR METAL STUDS. EXTEND OYP. 10" TO 4" ABOVE HIGHEST ADJACENT CEILING PROVIDE 2" PINE BLOCKING BETWEEN STUDS AT EACH CEILING JOINT
 - 5" STRUCTURAL STUD @ 16" O.C. W/ 5/8" OYP BOARD TO STRUCTURE HOODS - UNLESS OTHERWISE NOTED (EXTERIOR WALLS SEE BOTTOM METAL TRACK OF EXTERIOR 6" STRUCTURAL STEEL STUD WALL @ 5/8" DIAMETER x 12" LONG BOLTS @ 8" MIN (EMBEDMENT) @ 6'-0" O.C. WALL TWO BOLTS PER PIECE AND 12" MIN FROM END OF PIECE UNLESS NOTED OTHERWISE ON SHEET WALL SCHEDULE ON SHEET SOIL
 - ALL FINISH REQUIREMENTS SHALL MEET ADA REQUIREMENTS.
 - SUBSTRATE PANELS
 - KITCHEN-COOL-RESIDUOUS
 - 5/8" OYP SHOWER PANELS AT FRESH FLOOR TO 1'-4" AFF.
 - 5/8" WATER RESISTANT OYP BOARD FROM 1'-4" AFF. TO 4" ABOVE FINISHED CEILING
 - PROVIDE ALTERNATE ED OF 5/8" OYP WATERPROOF PANELS IN LIEU OF SHOWER
 - DINING ROOM - CORRIDOR
 - 5/8" OYP SHOWER, 1" OYSPAN WALL BOARD, FINISH COORDINATE PAINT
 - LIGHT CHIMNEY FEEL APPLIED WITH CORROSION RESISTANT (2-1/2" DIA OR EQUAL (INTERIOR SURFACES))
 - EXTERIOR WALLS (INTERIOR SURFACES)
 - 5/8" OYP SHOWER, SHOWER GLASS-W/ PANELS WELD TO OYP. FREEZE 4" OR EQUAL STAINLESS STEEL PANELS BENEATH 1/2" W/ 1" MIN AT EACH SIDE OF HOOD SUPPLIED BY HOOD MFG AND INSTALLED BY C.O.
 - DRY WASH - OYSPAN SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING
 - SEE HOOD FOR RESTROOM TITANIUM, TOILET ACCESSORIES & FINISH LAYOUTS
 - BUILDING WRAP ON EXTERIOR WALLS TO BE TYPICAL OR EQUAL MEETING ICC-ES AC308 STANDARDS, TYPICAL FOR WATER RESISTANCE AND AIR BARRIER REQUIREMENTS
 - DISCREET FINISHING ON EXTERIOR WALLS TO BE 5/8" GYPSUM W/ ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED

DATE	04/24/17
BY	CSS
DISCUSSION	ZONING DEPARTMENT PERMITS
REVISION	
ST. ARCHITECTS 325 S. LAKEVIEW BLVD SOUTH BEND, IN 46601 PHONE: (574) 232-4800 FAX: (574) 232-4833 IL # A2320252	
BRAVOTAMPA, INC. 4720 EDISON LAKES PARKWAY MISHAWAKA, INDIANA 46345	
BURGER KING - BK #2314 GAINESVILLE GAINESVILLE, FLORIDA 32608 3702 SOUTHWEST 40TH BLVD	
DESIGNED BY:	SLL
REVIEWED BY:	SLL
DRAWN BY:	CSS
DATE:	MARCH 24, 2017
JOB NUMBER:	2016-0784
SCALE:	AS NOTED
FLOOR PLAN	
A101	



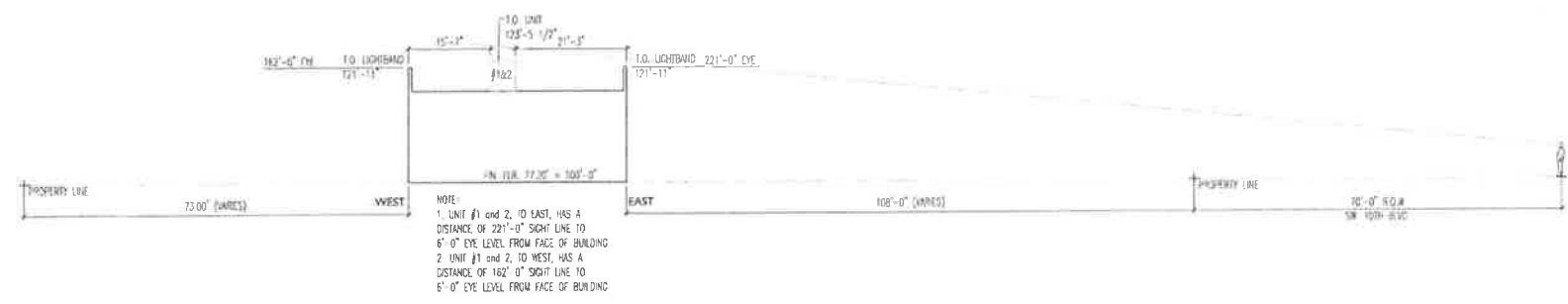
NOTE:
 1. UNIT #1, TO NORTH, HAS A DISTANCE OF 214'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.
 2. UNIT #4, TO SOUTH, HAS A DISTANCE OF 592'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.
 3. UNIT #2, TO SOUTH, HAS A DISTANCE OF 95'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.

1 LONGITUDINAL SECTION
 SCALE 1/16"=1'-0"



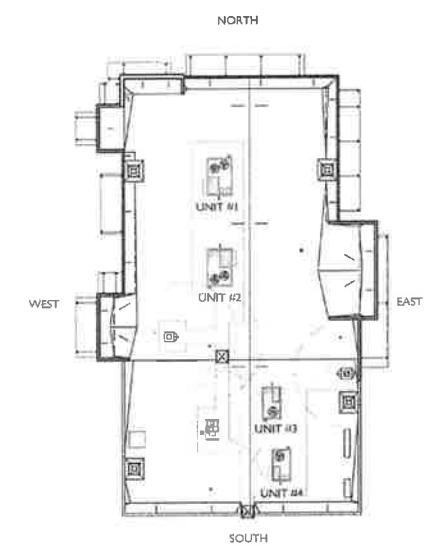
NOTE:
 1. UNIT #4, TO EAST HAS A DISTANCE OF OVER 330'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.
 2. UNIT #3, TO WEST HAS A DISTANCE OF OVER 300'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.

2 TRANSVERSE SECTION THRU KITCHEN
 SCALE 1/16"=1'-0"



NOTE:
 1. UNIT #1 and 2, TO EAST, HAS A DISTANCE OF 221'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.
 2. UNIT #1 and 2, TO WEST, HAS A DISTANCE OF 162'-0" SIGHT LINE TO 6'-0" EYE LEVEL FROM FACE OF BUILDING.

3 TRANSVERSE SECTION-THRU DINING
 SCALE 1/16"=1'-0"



4 ROOF KEY PLAN
 SCALE N.T.S.

REV	DESCRIPTION	CS	BY	DATE
1	SCHEMATIC DEVELOPMENT			
2	SCHEMATIC DEVELOPMENT			
3	SCHEMATIC DEVELOPMENT			
4	SCHEMATIC DEVELOPMENT			
5	SCHEMATIC DEVELOPMENT			
6	SCHEMATIC DEVELOPMENT			
7	SCHEMATIC DEVELOPMENT			
8	SCHEMATIC DEVELOPMENT			
9	SCHEMATIC DEVELOPMENT			
10	SCHEMATIC DEVELOPMENT			
11	SCHEMATIC DEVELOPMENT			
12	SCHEMATIC DEVELOPMENT			
13	SCHEMATIC DEVELOPMENT			
14	SCHEMATIC DEVELOPMENT			
15	SCHEMATIC DEVELOPMENT			
16	SCHEMATIC DEVELOPMENT			
17	SCHEMATIC DEVELOPMENT			
18	SCHEMATIC DEVELOPMENT			
19	SCHEMATIC DEVELOPMENT			
20	SCHEMATIC DEVELOPMENT			
21	SCHEMATIC DEVELOPMENT			
22	SCHEMATIC DEVELOPMENT			
23	SCHEMATIC DEVELOPMENT			
24	SCHEMATIC DEVELOPMENT			
25	SCHEMATIC DEVELOPMENT			
26	SCHEMATIC DEVELOPMENT			
27	SCHEMATIC DEVELOPMENT			
28	SCHEMATIC DEVELOPMENT			
29	SCHEMATIC DEVELOPMENT			
30	SCHEMATIC DEVELOPMENT			
31	SCHEMATIC DEVELOPMENT			
32	SCHEMATIC DEVELOPMENT			
33	SCHEMATIC DEVELOPMENT			
34	SCHEMATIC DEVELOPMENT			
35	SCHEMATIC DEVELOPMENT			
36	SCHEMATIC DEVELOPMENT			
37	SCHEMATIC DEVELOPMENT			
38	SCHEMATIC DEVELOPMENT			
39	SCHEMATIC DEVELOPMENT			
40	SCHEMATIC DEVELOPMENT			
41	SCHEMATIC DEVELOPMENT			
42	SCHEMATIC DEVELOPMENT			
43	SCHEMATIC DEVELOPMENT			
44	SCHEMATIC DEVELOPMENT			
45	SCHEMATIC DEVELOPMENT			
46	SCHEMATIC DEVELOPMENT			
47	SCHEMATIC DEVELOPMENT			
48	SCHEMATIC DEVELOPMENT			
49	SCHEMATIC DEVELOPMENT			
50	SCHEMATIC DEVELOPMENT			



S L L ARCHITECT
 325 S. LAVETTE BLVD
 SOUTHERN BEND, FL 34681
 PHONE: (813) 232-4388
 FAX: (813) 232-4383
 IL # AAS200213

BURGER KING - BK #2314 GAINESVILLE
 GAINESVILLE, FLORIDA 32608
BRAYOTAMPA, INC.
 4328 EDISON LAKES PARKWAY
 MISHAWAKA, INDIANA 46545
 5903 SOUTHWEST 40TH BLVD

DESIGNED BY:	SLL
REVIEWED BY:	STEVE LACLUYSE
DRAWN BY:	CSS
DATE:	MARCH 24, 2017
JOB NUMBER:	2016-0284
SCALE:	1/4" = 1'-0"

