



238 W UNIVERSITY

GAINESVILLE, FLORIDA DEVELOPMENT REVIEW PACKAGE

DATE OF ISSUE: 03/01/16

LEGAL DESCRIPTION:

TAX PARCEL #14260-000-000 & #14269-000-000 (OFFICIAL RECORDS BOOK 173, PAGE 1542)
ALL OF LOTS 1, 2, AND 5 TOGETHER WITH THE SOUTH 81.55 FEET OF LOTS 3 AND 4 OF THE REPLAT OF THE WEST HALF OF BLOCK-19 OF "BRUSH'S ADDITION TO GAINESVILLE, FL.", FILED JANUARY 24, 1925, IN PLAT BOOK "A", AT PAGE 16 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, ALSO THE EAST HALF OF BLOCK 19 OF BRUSH'S ADDITION AS PER PLAT THEREOF, AS RECORDED IN DEED BOOK "O", PAGE 218 LESS THE EAST 150 FEET THEREOF, LESS ALL THE RIGHT-OF-WAY FOR N.W. 2ND AVENUE, PER OFFICIAL RECORDS BOOK 733, PAGE 431, ALSO THE WEST 260.70 FEET OF BLOCK 20 OF BRUSH'S ADDITION AS PER PLAT THEREOF, AS RECORDED IN DEED BOOK "O", PAGE 216, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, THAT PART OF SAID BLOCK 19 ABOVE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF BEGINNING, COMMENCE AT A DRILL HOLE MARKING THE SOUTHWEST CORNER OF SAID BLOCK 19, OF "BRUSH'S ADDITION TO GAINESVILLE FLORIDA", SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF N.W. 3RD STREET (A 32 FOOT RIGHT-OF-WAY), THENCE RUN NORTH 01°20'11" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 81.55 FEET, THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE, RUN NORTH 89°19'22" EAST, A DISTANCE OF 104.11 FEET TO A SET REBAR AND CAP STAMPED P.L.S. 2228, THENCE RUN NORTH 01°20'58" WEST, A DISTANCE OF 18.38 FEET TO A CONCRETE MONUMENT, THENCE RUN NORTH 89°13'38" EAST, A DISTANCE OF 48.80 FEET TO A CONCRETE MONUMENT, THENCE RUN NORTH 01°22'07" WEST, A DISTANCE OF 85.35 FEET TO AN IRON PIPE ON THE EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF N.W. 2ND AVENUE (RIGHT-OF-WAY VARIES), THENCE SOUTH 89°28'32" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 96.22 FEET TO A SET NAIL AND DISK STAMPED P.L.S. 2228, THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY, RUN SOUTH 01°22'07" EAST, A DISTANCE OF 183.28 FEET TO AN IRON PIPE ON THE EXISTING NORTHERLY RIGHT-OF-WAY LINE OF N.W. 1ST AVENUE (A 100 FOOT RIGHT-OF-WAY), THENCE RUN SOUTH 89°15'22" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 250.24 FEET TO THE POINT OF BEGINNING.

TAX PARCEL #14260-001-000 (OFFICIAL RECORDS BOOK 2022, PAGE 540)
THE EAST 150 FEET OF BLOCK 19 OF BRUSH'S ADDITION TO GAINESVILLE AS PER MAP OR PLAT THEREOF AS RECORDED IN DEED BOOK "O", PAGE 216 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL: COMMENCE AT THE NE CORNER OF BLOCK 19, BRUSH ADDITION, DEED BOOK "O", PAGE 219 RUN SOUTH 89 DEGREES, 10 MINUTES AND 57 SECONDS WEST 96.00 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 01 DEGREES, 22 MINUTES AND 32 SECONDS EAST 18.29 FEET; THENCE RUN NORTH 89 DEGREES, 28 SECONDS AND 32 MINUTES WEST 100.05 FEET; THENCE RUN NORTH 01 DEGREES, 22 MINUTES AND 32 SECONDS WEST 15.94 FEET; THENCE RUN NORTH 89 DEGREES, 10 MINUTES AND 57 SECONDS EAST 100.00 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST.

FIRE AND LIFE SAFETY SERVICES:

- THE DEVELOPMENT SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-5 (A) AND (B)]
- FIRE HYDRANTS AND STABILIZED SURFACES SHALL BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16.4.3)]
- IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE A.H.J. IT IS HIGHLY RECOMMENDED THAT DEVELOPERS EVALUATE AND ADDRESS THE POTENTIAL NEED FOR IBPRES IN THE EARLY STAGES OF PROJECT PLANNING. FOR ADDITIONAL SPECIFIC REQUIREMENTS PERTAINING TO SIGNAL STRENGTH, COVERAGE, MAINTENANCE AND TESTING REFER TO NFPA 72-14.4.12 AND 24.5.2. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-11.10)]
- THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION, AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241, THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN, AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16)]

DEVELOPMENT INFORMATION:

- PROJECT NAME: 238 W. UNIVERSITY
- ADDRESS: 238 W. UNIVERSITY AVENUE
- PROJECT DESCRIPTION: THE PROJECT CONSISTS OF THE CONSTRUCTION OF A MIXED USE APARTMENT COMPLEX WITH 129 RESIDENTIAL UNITS, RETAIL FACADE ALONG UNIVERSITY AVE., PARKING, AND ASSOCIATED STREETScape, STORMWATER, AND UTILITY IMPROVEMENTS.
- TOTAL PROJECT AREA: 110,538 S.F. / 2.54 A.C.

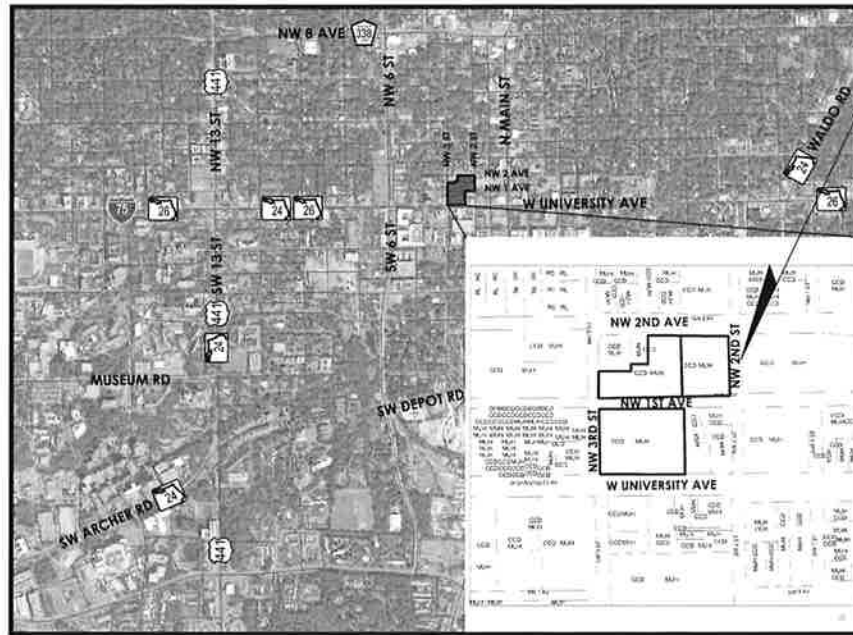
ZONING STANDARDS:

- ZONING: CCD - CENTRAL CITY DISTRICT
- FUTURE LAND USE: MIXED USE RESIDENTIAL
- MAX. BUILDING HEIGHT: 12 STORIES
- SIDEWALK WIDTH: 10' ON ARTERIAL STREETS AND 7' LOCAL STREETS
- SETBACKS: NONE REQUIRED
- BUILD-TO LINE: 14' FOR ARTERIAL ROADS AND 11' FOR LOCAL STREETS PER TRADITIONAL CITY SPECIAL DEV. PLAN
- THIS SITE IS LOCATED IN THE "TRADITIONAL CITY OVERLAY DISTRICT"
- THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT

STORMWATER INFORMATION:

1. TOTAL IMPERVIOUS AREA:	2.190 AC	
2. TOTAL SEMI-IMPERVIOUS AREA:	0.000 AC	
SMF ID	1	2
DESCRIPTION	NORTH PROPERTY	SOUTH PROPERTY
LOWEST DISCHARGE ELEVATION	173.50 FT-NAVD	173.50 FT-NAVD
RETENTION VOLUME BELOW LOWEST DISCHARGE ELEVATION	0.268 AC-FT	0.250 AC-FT
RETENTION AREA AT LOWEST DISCHARGE ELEVATION	0.075 AC (UNDERGROUND CHAMBER)	0.069 AC (UNDERGROUND CHAMBER)

LOCATION MAP



EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS PRESENTED ARE BASED ON A TOPOGRAPHIC SURVEY PROVIDED BY DEREN LAND SURVEYING, PROJECT NUMBER 16831, DATED 10/20/15. ADDITIONAL INFORMATION WAS OBTAINED FROM AS-BUILTS AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES, G.I.S. INFORMATION AND FIELD VISITS.
- ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- CONTRACTOR IS TO PROTECT ALL EXISTING TREES, SIGNS, AND ABOVE GROUND UTILITIES NOT IMPACTED BY THIS PLAN.
- BOUNDARIES ARE BASED ON A RECORDED CALL OF SOUTH 89°15'22" WEST FOR THE SOUTH LINE OF TAX PARCEL 14260-000-000.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" MAP (AREAS DETERMINED TO BE OUTSIDE THE 2% ANNUAL CHANCE FLOOD PLAIN), EFFECTIVE DATE JUNE 16, 2006 (BASED ON AN INTERPRETATION OF F.I.R.M. PANEL No. 314 OF 640, COMMUNITY PANEL No. "125107 0314 D").

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, WHETHER SHOWN OR NOT, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON FIELD OBSERVATION AND/OR AVAILABLE PLANS. THE EXACT LOCATION MAY VARY. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- ALL EXISTING MANHOLES, VALVES, ETC. ARE TO BE ADJUSTED TO MATCH PROPOSED ELEVATIONS.
- ANY EXISTING ITEM DISTURBED DURING CONSTRUCTION IS TO BE RESTORED TO EQUAL OR BETTER QUALITY.
- GROUND RESTORATION IS TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.
- THE CONTRACTOR SHALL PROVIDE THE CITY WITH AN AS-BUILT SURVEY OF THE RETENTION/DETENTION BASIN (INCLUDING UNDERGROUND SYSTEMS) AND ASSOCIATED STRUCTURES, PREPARED BY A REGISTERED LAND SURVEYOR. THE SURVEYOR SHALL BE SUBMITTED ON PAPER COPY AND ELECTRONICALLY (PDF AUTOCAD).
 A NOT PERMIT IS REQUIRED FOR ANY ACTIVITY IN THE ROW THAT EITHER DIRECTLY OR INDIRECTLY AFFECTS VEHICULAR OR PEDESTRIAN TRAFFIC.

DEMOLITION NOTES:

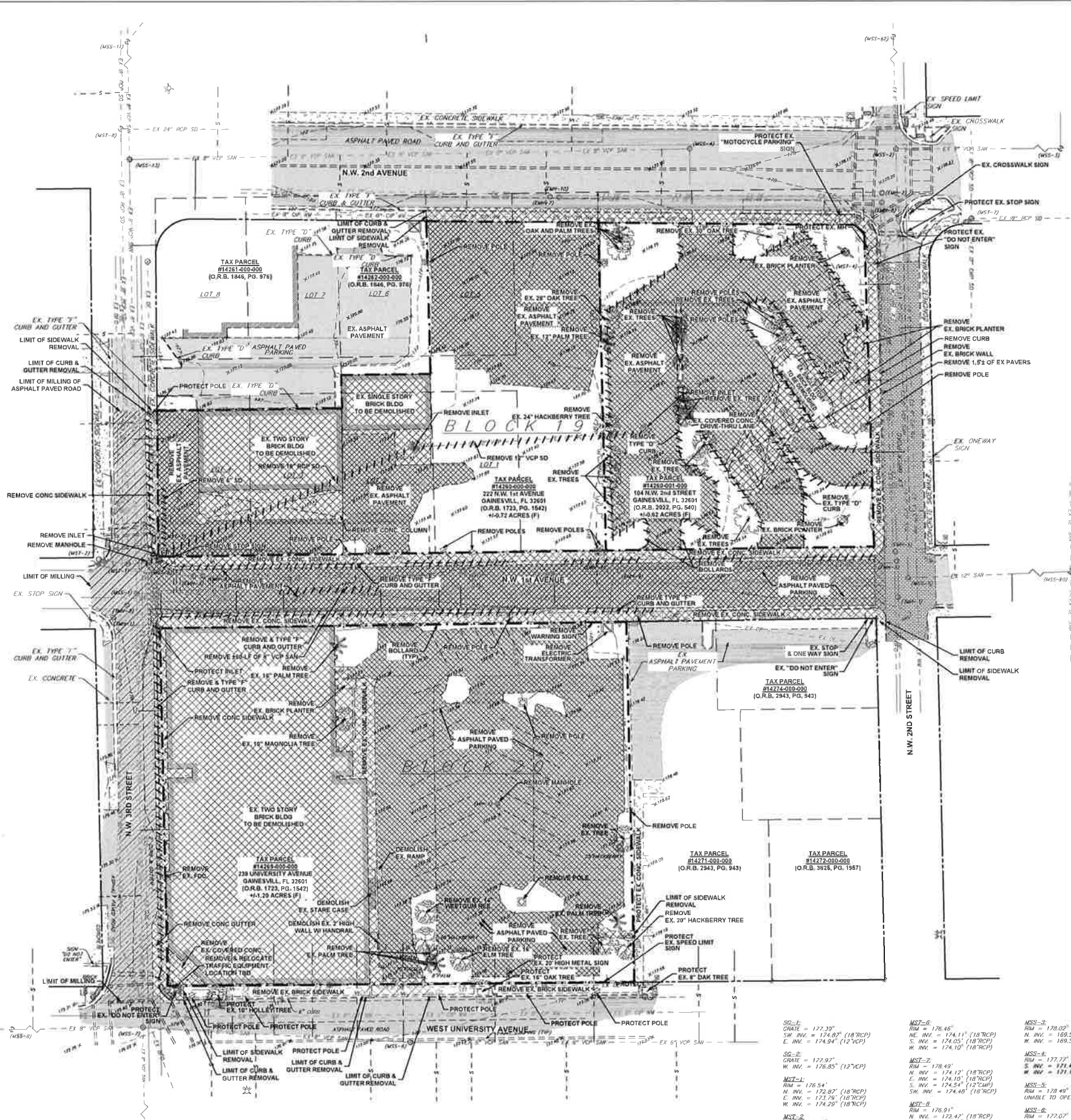
- ALL EXISTING FEATURES WITHIN THE PROPERTY BOUNDARY ARE TO BE REMOVED.
- DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- BEFORE PROCEEDING WITH DEMOLITION OPERATIONS THE CONTRACTOR IS TO DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES, OR OTHER DANGEROUS MATERIALS.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR IN-USE FACILITIES WITHOUT PERMISSION FROM OWNER, THE TRIBE AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS AS REQUIRED BY GOVERNING REGULATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, BARRIERS, RAILINGS, ETC. WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- ADJACENT IMPROVEMENTS SHALL BE CLEANED OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- FOR SELECTIVE DEMOLITION, USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERS OR CHOPPING. TEMPORARILY COVER OPENINGS TO REMAIN.
- DEMOLISH CONCRETE IN SMALL SECTIONS. CUT CONCRETE AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS.
- INFORMATION SHOWN ON THE DRAWINGS AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER; HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER, AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN.
- REMOVAL, DEMOLITION, HAULING, AND DISPOSAL SHALL COMPLY WITH REGULATIONS BY F.D.E.P., E.P.A., AND ANY OTHER AUTHORITY HAVING JURISDICTION.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ALL EXISTING PATHWAY AND STREET LIGHTING WILL REMAIN IN PLACE AND REMAIN IN SERVICE DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL USE CARE TO ENSURE EXISTING REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS SHALL BE REMOVED AND 18" OF CLEAN FLORIDA FILL OF PH 5.4-5.8 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.



GRAPHIC SCALE
 0 15 30 60
 1 INCH = 30 FEET

LEGEND

- REMOVE OR ABANDON ITEM AS INDICATED ON PLAN
- RESTORATION AREA
- MILL EX ASPHALT
- PLAT INFORMATION
- RECORD MEASUREMENT
- FIELD MEASUREMENT
- IDENTIFICATION
- RIGHT-OF-WAY
- OFFICIAL RECORDS BOOK
- TYPICAL
- EXISTING
- INVERT
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- VITRIFIED CLAY PIPE
- (NDS) NAL & DISK SET
- (RCS) REBAR & CAP SET
- (RCP) REBAR & CAP FOUND
- (OP) OPEN PIPE FOUND
- (NDF) NAL & DISK FOUND
- (NF) NAL FOUND
- (BR) IRON ROD FOUND
- (DHF) DRILL HOLE FOUND
- BOLLARD
- EXISTING PAVER BRICKS
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING RIGHT OF WAY
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN
- EXISTING SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
- EXISTING STORM DRAIN PIPE
- EXISTING BURIED FIBER-OPTIC LINES
- EXISTING BURIED ELECTRIC LINES
- EXISTING OVERHEAD ELECTRIC LINES
- EXISTING CABLE TELEVISION BOX
- EXISTING CURB INLET
- EXISTING CONCRETE LIGHT POLE
- EXISTING CLEAN-OUT
- EXISTING CROSSWALK SIGNAL POLE
- EXISTING ELECTRIC BOX
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC MANHOLE (EMH)
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING GUY WIRE
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- EXISTING MANHOLE (MH)
- EXISTING SANITARY SEWER MANHOLE (MSS)
- EXISTING STORM DRAIN MANHOLE (MST)
- EXISTING SIGN
- EXISTING SEWER VALVE
- EXISTING TELEPHONE MANHOLE (TMH)
- EXISTING TELEPHONE PEDESTAL
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING TRAFFIC SIGNAL POLE
- EXISTING WATER METER
- EXISTING WOOD POWER POLE
- EXISTING WATER VALVE



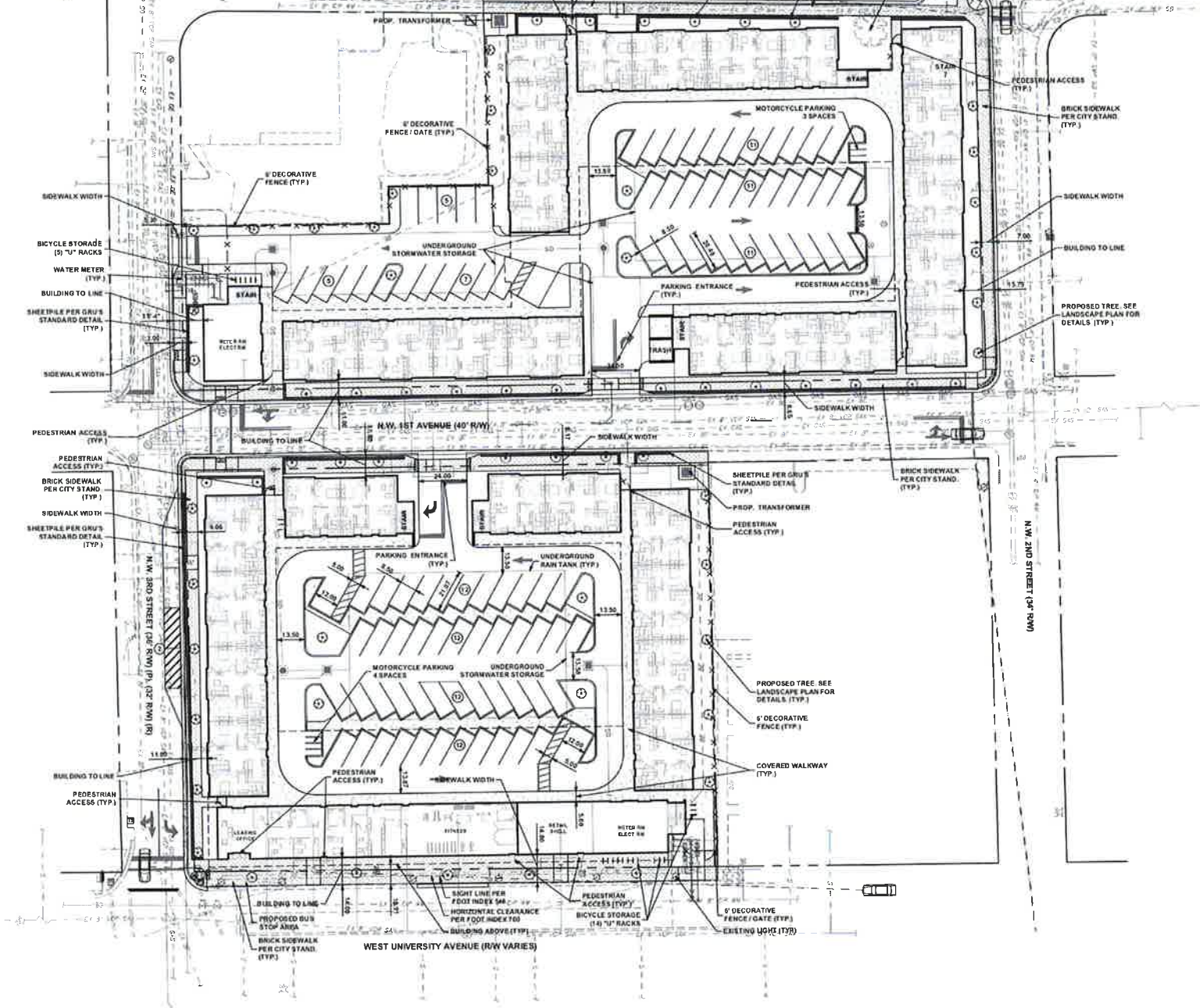
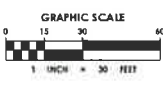
LINE #	LINE BEARING AND DISTANCE
L1	N01°20'55"W 18.58'(R) N01°20'55"W 18.31'(T)
L2	N89°13'30"E 48.90'(R) N89°13'30"E 48.90'(T)
L3	7.19'(R) S46°27'42"E 7.26'(T)

<p>SG-1: GRADE = 172.39' SW INV. = 174.02' (18"RCP) E. INV. = 174.05' (18"RCP) S. INV. = 174.10' (18"RCP)</p> <p>SG-2: GRADE = 172.97' W. INV. = 176.05' (12"VCP)</p> <p>MST-1: RIM = 176.54' N. INV. = 172.87' (18"RCP) E. INV. = 172.76' (18"RCP) W. INV. = 174.29' (18"RCP)</p> <p>MST-2: RIM = 176.81' N. INV. = 173.88' (18"RCP)</p> <p>MST-3: RIM = 176.26' N. INV. = 174.47' (18"RCP) E. INV. = 173.16' (18"RCP)</p> <p>MST-4: RIM = 176.37' N. INV. = 174.73' (18"RCP)</p> <p>MST-5: RIM = 176.80' N. INV. = 174.55' (8"VCP) E. INV. = 174.65' (18"RCP) SW INV. = 174.60' (18"RCP)</p>	<p>MST-6: RIM = 176.45' N. INV. = 174.11' (18"RCP) E. INV. = 174.05' (18"RCP) W. INV. = 174.10' (18"RCP)</p> <p>MST-7: RIM = 178.49' N. INV. = 174.12' (18"RCP) E. INV. = 174.10' (18"RCP) S. INV. = 174.54' (12"VCP) SW INV. = 174.46' (18"RCP)</p> <p>MST-8: RIM = 176.91' N. INV. = 172.47' (18"RCP) E. INV. = 172.59' (24"RCP) S. INV. = 172.35' (18"RCP)</p> <p>MST-9: RIM = 176.52' N. INV. = 169.19' (8"VCP) E. INV. = 168.96' (8"VCP) S. INV. = 166.92' (8"VCP)</p> <p>MST-10: RIM = 175.89' N. INV. = 169.19' (8"VCP) E. INV. = 168.96' (8"VCP) S. INV. = 166.92' (8"VCP)</p> <p>MST-11: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p> <p>MST-12: RIM = 177.55' N. INV. = 169.58' (8"VCP) S. INV. = 169.54' (8"VCP)</p> <p>MST-13: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p>	<p>MSS-1: RIM = 172.20' N. INV. = 163.24' (8"VCP) S. INV. = 163.21' (8"VCP)</p> <p>MSS-2: RIM = 178.18' N. INV. = 175.24' (12"VCP) E. INV. = 175.03' (12"VCP) S. INV. = 175.20' (12"VCP) W. INV. = 175.51' (12"VCP)</p> <p>MSS-3: RIM = 175.35' N. INV. = 168.19' (8"VCP) E. INV. = 168.42' (8"VCP) S. INV. = 168.15' (8"VCP)</p> <p>MSS-4: RIM = 177.55' N. INV. = 169.58' (8"VCP) S. INV. = 169.54' (8"VCP)</p> <p>MSS-5: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p> <p>MSS-6: RIM = 177.55' N. INV. = 169.58' (8"VCP) S. INV. = 169.54' (8"VCP)</p> <p>MSS-7: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p> <p>MSS-8: RIM = 177.55' N. INV. = 169.58' (8"VCP) S. INV. = 169.54' (8"VCP)</p> <p>MSS-9: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p> <p>MSS-10: RIM = 177.55' N. INV. = 169.58' (8"VCP) S. INV. = 169.54' (8"VCP)</p> <p>MSS-11: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p> <p>MSS-12: RIM = 177.55' N. INV. = 169.58' (8"VCP) S. INV. = 169.54' (8"VCP)</p> <p>MSS-13: RIM = 177.09' N. INV. = 167.45' (8"VCP) E. INV. = 167.87' (8"VCP) S. INV. = 165.41' (8"VCP)</p>	<p>EMH-1: RIM = 178.41" BOTTOM = 168.11"</p> <p>EMH-2: RIM = 178.22" BOTTOM = 167.37"</p> <p>EMH-3: RIM = 176.52" BOTTOM = 166.22"</p> <p>EMH-4: RIM = 172.62" UNABLE TO OPEN</p> <p>EMH-5: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-6: RIM = 172.47" UNABLE TO OPEN</p> <p>EMH-7: RIM = 178.20" UNABLE TO OPEN</p> <p>EMH-8: RIM = 178.51" UNABLE TO OPEN</p> <p>EMH-9: RIM = 177.69" UNABLE TO OPEN</p> <p>EMH-10: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-11: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-12: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-13: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-14: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-15: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-16: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-17: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-18: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-19: RIM = 176.52" UNABLE TO OPEN</p> <p>EMH-20: RIM = 176.52" UNABLE TO OPEN</p>
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Plot Date: 8/15/2016 11:37:31 PM User Name: JHall Layout Name: C1.01
 Folder Path: C:\Users\jhall\Desktop\Projects\15-195.004 - 238 W University Avenue\Design\CAD\Plans
 Filename: 15-195.004 Existing Conditions and Demolition Plan.dwg

Always call 811 two full business days before you dig to have underground utilities located and marked.





- ZONING STANDARDS:**
1. ZONING: CCD - CENTRAL CITY DISTRICT
 2. FUTURE LAND USE: MIXED USE RESIDENTIAL
 3. MAX. BUILDING HEIGHT: 12 STORIES
 4. SIDEWALK WIDTH: 10' ON ARTERIAL STREETS AND 7' LOCAL STREETS
 5. SETBACKS: NONE REQUIRED
 6. BUILD TO LINE: 14' FOR ARTERIAL ROADS AND 11' FOR LOCAL STREETS PER TRADITIONAL CITY SPECIAL DEV. PLAN
 7. THIS SITE IS LOCATED IN THE "TRADITIONAL CITY OVERLAY DISTRICT"
 8. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT

SITE AREA CALCULATIONS:

DESCRIPTION	SQUARE FOOT / ACRES / PERCENTAGE OF SITE COVERAGE
TOTAL SITE AREA:	119,842 S.F. / 2.74 A.C. / 100%
BUILDING COVERAGE:	(B) BLDG. 220,047 S.F. / 0.66 A.C. / 25.98%
(N) BLDG. 31,137 S.F. / 0.71 A.C. / 27.55%	60,184 S.F. / 1.37 A.C. / 51.93%
TOTAL BUILDING COVERAGE:	35,451 S.F. / 1.219 A.C. / 88.22%
TOTAL IMPERVIOUS AREA:	15,161 S.F. / 0.35 A.C. / 13.79%

BUILDING DATA:

BUILDING HEIGHT:	WORTH BUILDING = 3 STORIES OF RESIDENTIAL SOUTH BUILDING = 3 STORIES OF RESIDENTIAL
GROSS FLOOR AREA:	NORTH BUILDING = 49,219 S.F. SOUTH BUILDING = 62,065 S.F.
GROSS FLOOR AREA PER FLOOR:	NORTH BUILDING = 29,952 S.F. SOUTH BUILDING = 37,456 S.F.
RESIDENTIAL UNITS:	NORTH BUILDING: 24 ONE BEDROOM UNITS + 47 TWO BEDROOM UNITS + 71 TOTAL UNITS SOUTH BUILDING: 9 ONE BEDROOM UNITS + 48 TWO BEDROOM UNITS + 53 TOTAL UNITS TOTAL UNITS = 126

PARKING CALCULATIONS:

BUILDING	SPACES	MOTORCYCLE	COMMENTS
No. 1 (B)	46	4	
No. 2 (N)	50	3	
EXT. SURF. SP	69		69 SPACES AT LOT 2
DROP OFF	2		2 EXST. SPACES ON 3RD ST.
TOTAL	169		INCL. 4 HOV SPACES
BICYCLE PARKING:	15% OF REQUIRED VEHICULAR SPACES	183 X 6.50 = 18.9 SPACES REQUIRED	19 BIKE SPACES PROVIDED

TRIP GENERATION:

238 University Proposed Trip Generation								
		AM			PM		ADT	
ITE Code	Type	Amount	In	Out	In	Out	Total	
220	Apartment	219 Persons	21	80	101	83	44	127
Multi-modal Reduction 15%		(3)	(12)	(15)	(12)	(7)	(19)	(216)
Total		18	68	86	70	38	108	1,227

GENERAL NOTE:
DEVELOPMENT IS WITHIN ZONE A OF THE TRANSPORTATION MOBILITY PROGRAM AREA WILL COMPLY WITH POLICIES 10.1.4 AND 10.1.14 OF THE TRANSPORTATION MOBILITY ELEMENT

Plot Date: 3/14/2016 5:09:43 PM. Username: jputton. Layout Name: C2.01. Filename: 15-195.004 Site Plan.dwg
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CHEN-MOORE ASSOCIATES
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 Gainesville, FL 32601
 352-374-1997
 www.chenmoore.com
 CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

REGISTRATION
 REGISTRATION NO. ---
 DATE: ---

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W UNIVERSITY

GAINESVILLE, FLORIDA

PROJECT NUMBER
15-195.004

CLIENT PROJECT NUMBER

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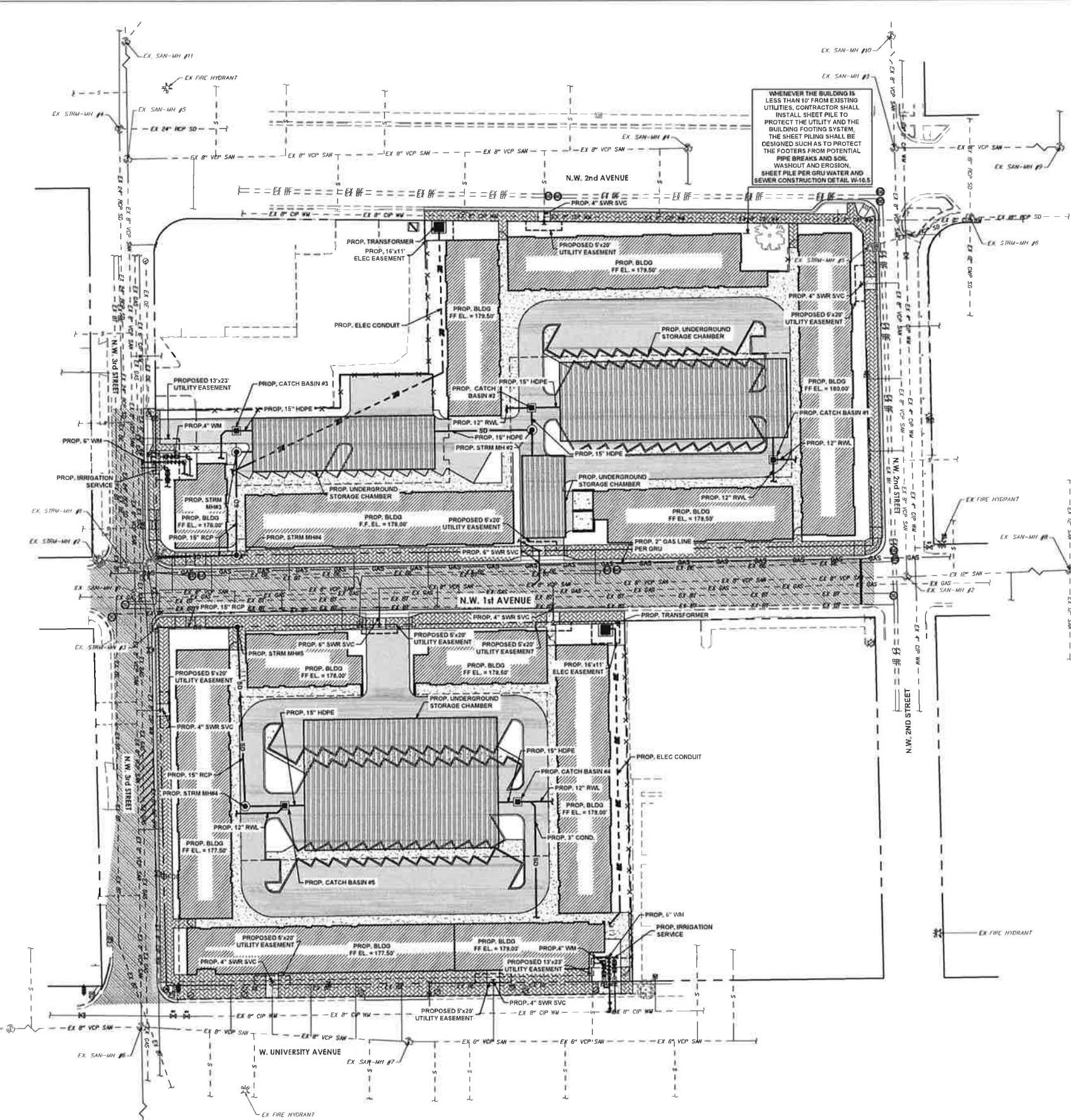
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SITE PLAN - GROUND LEVEL

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C2.01
4 OF 00

DEVELOPMENT REVIEW PACKAGE

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 Folder Path: V:\Projects\2015\15-195.004 - 238 W University Avenue\Design\CA0\References
 Filename: 15-195.004 Utility Plan.dwg



WHENEVER THE BUILDING IS LESS THAN 10' FROM EXISTING UTILITIES, CONTRACTOR SHALL INSTALL SHEET PILE TO PROTECT THE UTILITY AND THE BUILDING FOOTING SYSTEM. THE SHEET PILING SHALL BE DESIGNED SUCH AS TO PROTECT THE FOOTERS FROM POTENTIAL PIPE BREAKS AND SOIL WASHOUT AND EROSION. SHEET PILE PER GRU WATER AND SEWER CONSTRUCTION DETAIL W-16.5



NOTE
 THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENT LINES IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR A BLANKET PUE OVER THE ENTIRE PROPERTY PROVIDED IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU STANDARDS.

NOTE
 FOR DETAILED INFORMATION ON THE WATER AND SEWER, REFER TO THE WATER AND SEWER PLAN, AND FOR DETAILED INFORMATION ON THE DRAINAGE SYSTEM, REFER TO THE PAVING, GRADING AND DRAINAGE PLAN.
 REFER TO ELECTRICAL PLANS FOR ADDITIONAL DETAIL.

LEGEND	
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED ASPHALT MILL & RESURFACING
[Symbol]	PROPOSED PAVERS
[Symbol]	SD PROPOSED STORM DRAIN PIPE
[Symbol]	PROPOSED CATCH BASIN OR INLET
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED SANITARY SEWER MAIN
[Symbol]	PROPOSED SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
[Symbol]	PROPOSED WATER MAIN
[Symbol]	PROPOSED CAP
[Symbol]	PROPOSED TAP SLEEVE AND VALVE
[Symbol]	PROPOSED BACKFLOW PREVENTER
[Symbol]	PROPOSED NATURAL GAS LINE
[Symbol]	GAS EXISTING WATER MAIN
[Symbol]	EXISTING SANITARY SEWER MAIN
[Symbol]	EXISTING SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
[Symbol]	EXISTING STORM DRAIN PIPE
[Symbol]	EXISTING BURIED FIBER-OPTIC LINES
[Symbol]	EXISTING BURIED ELECTRIC LINES
[Symbol]	EXISTING OVERHEAD ELECTRIC LINES
[Symbol]	EXISTING CABLE TELEVISION BOX
[Symbol]	EXISTING CURB INLET
[Symbol]	EXISTING CONCRETE LIGHT POLE
[Symbol]	EXISTING CLEAN-OUT
[Symbol]	EXISTING CROSSWALK SIGNAL POLE
[Symbol]	EXISTING ELECTRIC BOX
[Symbol]	EXISTING ELECTRIC METER
[Symbol]	EXISTING ELECTRIC TRANSFORMER
[Symbol]	EXISTING ELECTRIC MANHOLE
[Symbol]	EXISTING FIRE DEPARTMENT CONNECTION
[Symbol]	EXISTING GUY WIRE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING SANITARY SEWER MANHOLE
[Symbol]	EXISTING STORM WATER MANHOLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SEWER VALVE
[Symbol]	EXISTING TELEPHONE MANHOLE
[Symbol]	EXISTING TELEPHONE PEDESTAL
[Symbol]	EXISTING TRAFFIC SIGNAL BOX
[Symbol]	EXISTING TRAFFIC SIGNAL POLE
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WOOD POWER POLE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING RIGHT-OF-WAY
[Symbol]	HOPE EXISTING REINFORCED CONCRETE PIPE
[Symbol]	CMP EXISTING CORRUGATED METAL PIPE
[Symbol]	VCP EXISTING VITRIFIED CLAY PIPE

GAINESVILLE REGIONAL UTILITIES NOTES:

- ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, & RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
- POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM TREES, BUILDINGS, TRANSFORMERS, AND ALL PERMANENT STRUCTURES. LIVE OAK TREES REQUIRE AN ADDITIONAL 5 FEET OF HORIZONTAL CLEARANCE. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES; NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
- POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2017, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKES ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKES BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU WWWRCW CONSTRUCTION DETAIL W-8.6), WITH A ONE-YEAR WARRANTY.
- 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
- WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 6 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS). TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLOSURE SECTIONS.
- 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3' INSIDE CITY OF GAINESVILLE LIMITS).
- ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
- ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT LENGTH OF A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.8 & 2.9, RW-2.8 & 2.9, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
- ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 35) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
- WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS ADJACENT TO PAVED AREAS SHALL BE RATED FOR TRAFFIC LOAD BEARING. WASTEWATER CLEANOUT COVERS IN OTHER SIDEWALKS/WALKWAYS SHALL BE BRASS WITH A SQUARE RECESS.
- MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 1:1 SLOPE TO FINISHED GRADE.
- UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF THE CLEANOUT.
- WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 25 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, WHETHER SHOWN OR NOT, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON FIELD OBSERVATION AND/OR AVAILABLE PLANS. THE EXACT LOCATION MAY VARY. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- ALL EXISTING MANHOLES, VALVES, ETC. ARE TO BE ADJUSTED TO MATCH PROPOSED ELEVATIONS.
- ANY EXISTING ITEM DISTURBED DURING CONSTRUCTION IS TO BE RESTORED TO EQUAL OR BETTER QUALITY.
- PAVEMENT AND DRIVEWAY RESTORATION ARE TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.

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DEVELOPMENT REVIEW PACKAGE

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 Gainesville, FL 32601
 352.374.1997
 www.chenmoore.com
 CERTIFICATES OF AUTHORIZATION
 EB4593 LC2600D425

REGISTRATION
 REGISTRATION NO. _____
 DATE: _____

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W UNIVERSITY

GAINESVILLE, FLORIDA

PROJECT NUMBER
 15-195.004

CLIENT PROJECT NUMBER

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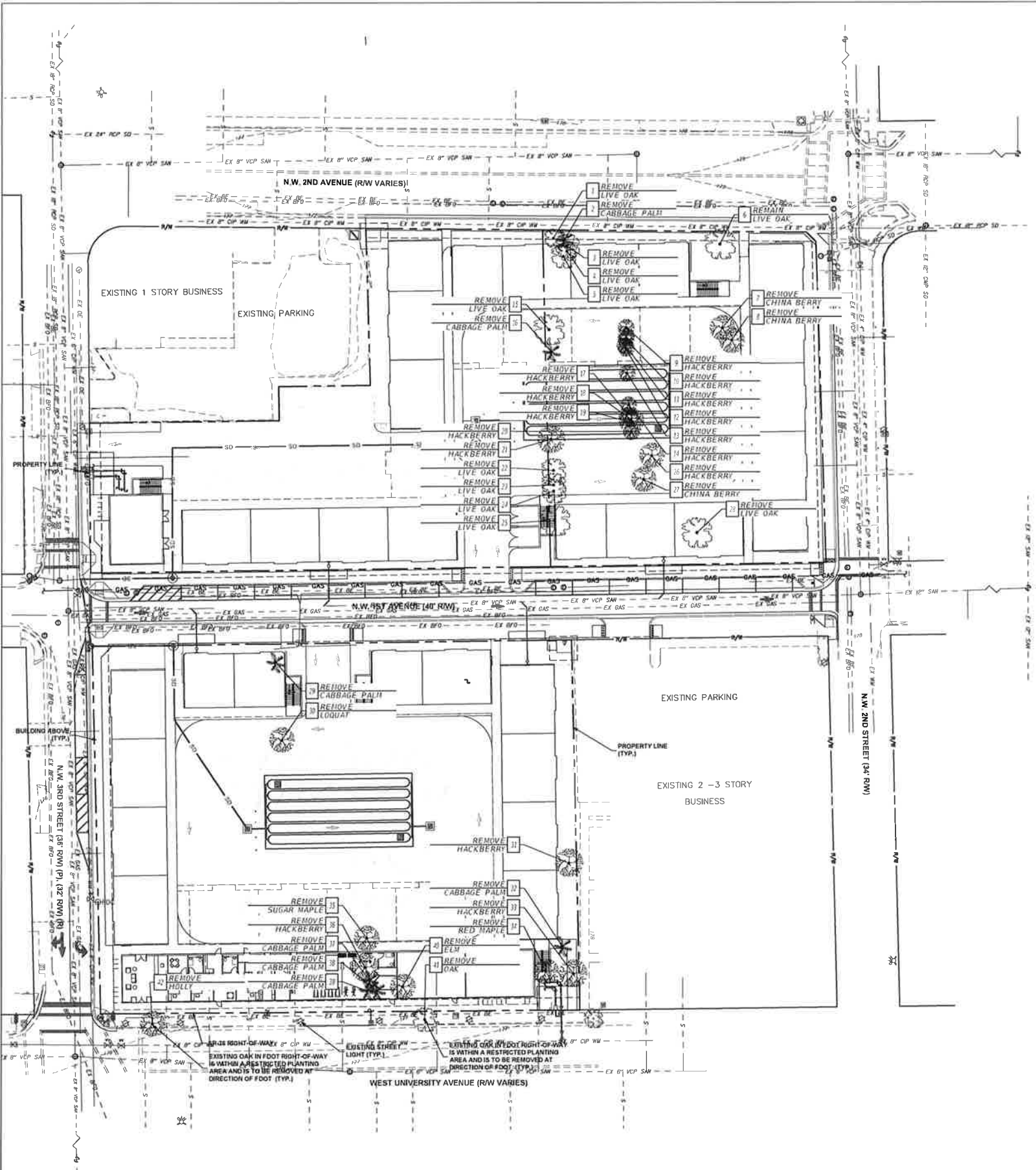
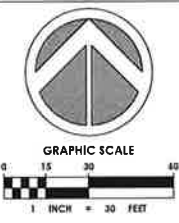
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MASTER UTILITY PLAN

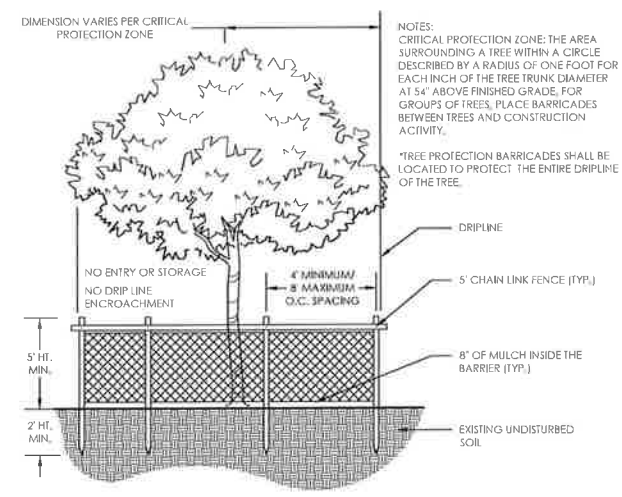
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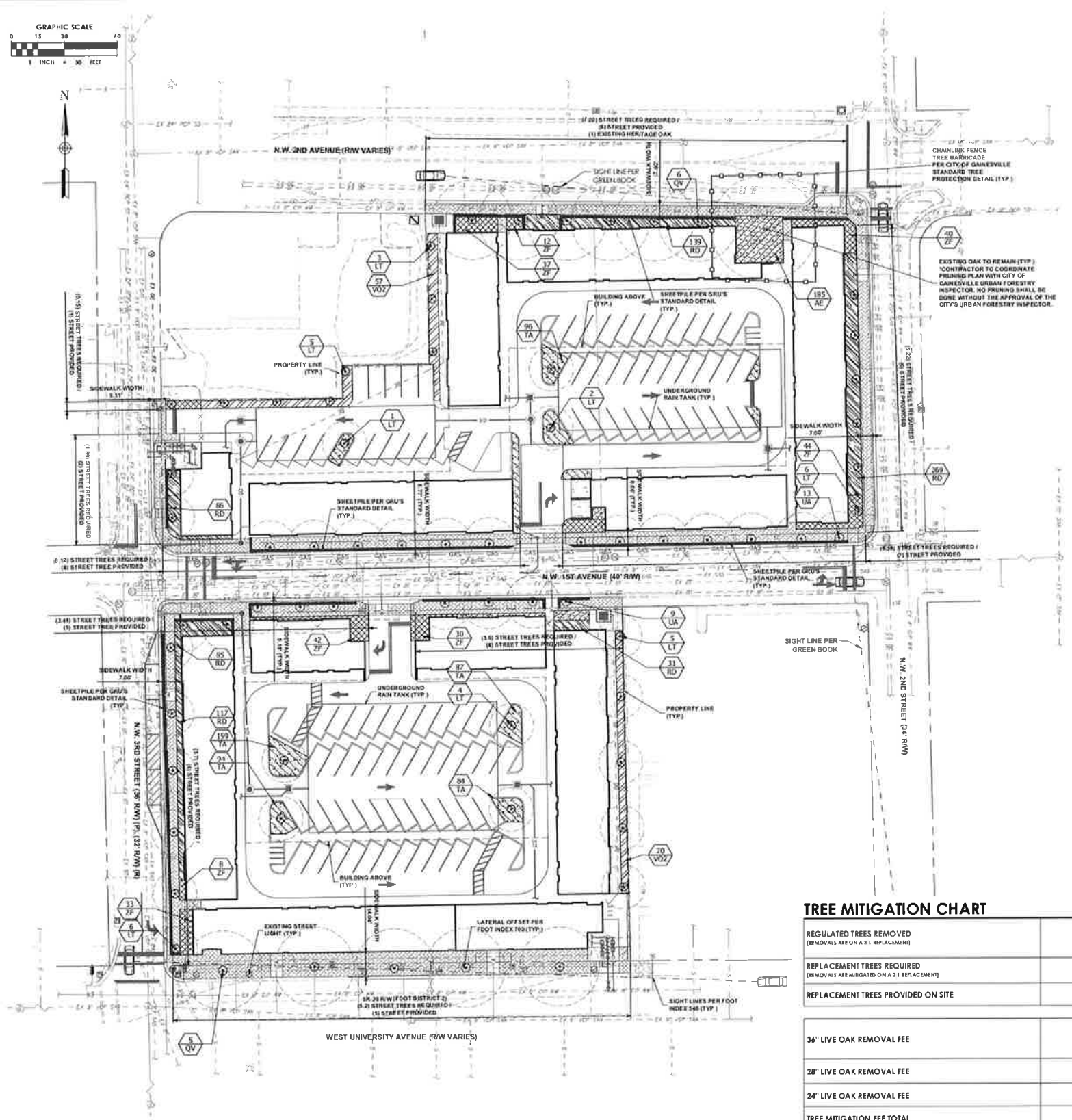
TREE DISPOSITION NOTES

1. CONTRACTOR SHALL SECURE ALL APPLICABLE TREE REMOVAL PERMITS FOR THE SITE PRIOR TO MOBILIZATION.
2. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ABOVE OR BELOW GROUND STRUCTURES OR SERVICES THAT IMPACT THIS PROJECT.
3. ALL ADJACENT PROPERTIES AND AREAS ACCESSIBLE TO THE PUBLIC AND EXTERIOR PROPERTY LINES SHALL BE PROTECTED AGAINST DEBRIS FALLING OVER THE PROPERTY LINES.
4. CONTRACTOR SHALL INSPECT & ASSESS THE SITE TO FULFILL THE INTENT OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS AND PRIOR TO THE ISSUE OF THE GUARANTEED MAXIMUM PRICE. DEVIATIONS FROM THE CONTRACT DOCUMENTS REQUIRED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW BEFORE PROCEEDING. DEMOLISHED & REMOVED ITEMS SHALL BE DISCARDED, TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
5. SITE AREA CLEAN UP MUST TAKE PLACE SEVERAL TIMES A DAY OR WHEN NEEDED. REMOVAL FROM CONSTRUCTION SITE IS THE RESPONSIBILITY OF CONTRACTOR.
6. CONTRACTOR SHALL MAINTAIN CLEAN, CLEAR, AND SAFE PUBLIC ACCESS AT ALL TIMES.
7. PEDESTRIAN ACCESS SHALL BE MAINTAINED TO ALL ADJACENT FACILITIES DURING CONSTRUCTION.
8. ALL UTILITIES, STRUCTURES AND OTHER INFORMATION IDENTIFIED ON THIS PLAN ARE BASED ON THE SURVEY. REFER TO SURVEY FOR ADDITIONAL INFORMATION ON EXISTING CONDITIONS.
9. ROOTZONE PROTECTION
 - 9.1. DURING THE ENTIRE CONSTRUCTION PERIOD ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT THE ROOT ZONE FROM DAMAGE. TREE PROTECTION BARRICADING SHALL BE ERECTED AROUND THE TREES. ALL PLANT MATERIAL DESIGNATED TO BE SAVED, OR OUTSIDE OF THE LIMITS OF CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION WORK. WORK UNDER THESE ITEMS WILL INCLUDE CONSTRUCTION AND MAINTENANCE OF TEMPORARY BARRICADE FENCING TO PROTECT THE ROOT ZONES OF EXISTING TREES AND OTHER PLANTINGS.
 - 9.2. A PROTECTION BARRIER OR TEMPORARY FENCE OF AT LEAST 4 FEET IN HEIGHT SHALL BE INSTALLED AROUND EACH TREE TO BE PROTECTED AND PRESERVED. THE TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE ACTUAL CONSTRUCTION START AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 - 9.3. TREE BARRICADE FENCING SHALL BE: AS PER THE APPLICABLE DETAIL(S).



1 TREE PRESERVATION BARRICADE FENCING
 3/8" = 1'-0"

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 Filename: 15-195.004 Tree Disposition Plan.dwg
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PLANT SCHEDULE GROUND LEVEL LANDSCAPE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	SIZE	
	LT	34	Tulip Tree	Liriodendron tulipifera	45 gal	12" - 14" HT, 4" SPRD, 3" CAL	
	OV	11	Southern Live Oak	Quercus virginiana 'Park Side'	F.G.	16" HT MIN, 9" SPRD, 5" CAL	
	UA	22	Florida Elm	Ulmus americana floridana	65 gal	14" OAH, 6" SPR, 3" CAL	
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	SIZE	SPACING
	AE	255	Cash Iron Plant	Aspidistra elatior	3 gal		24" o.c.
	RD	774	Azalea	Rhododendron azalea 'Duc de Rohan'	7 gal	24" HT, 24" SPRD	24" o.c.
	TA	875	Asiatic Jasmine	Trachelopogon asiaticum 'Asiatic'	1 gal	6"x6"	18" o.c.
	VO2	183	Walter's Viburnum	Viburnum obtusatum	3 gal	18" HT, 18" SPRD	28" o.c.
	IF	294	Carolee Palm	Zamia floridana	3 gal	14" HT, 14" SPRD	30" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	SIZE	
	PN	1,567 sq ft	Bahia Grass	Paspalum notatum	Sold Sod		

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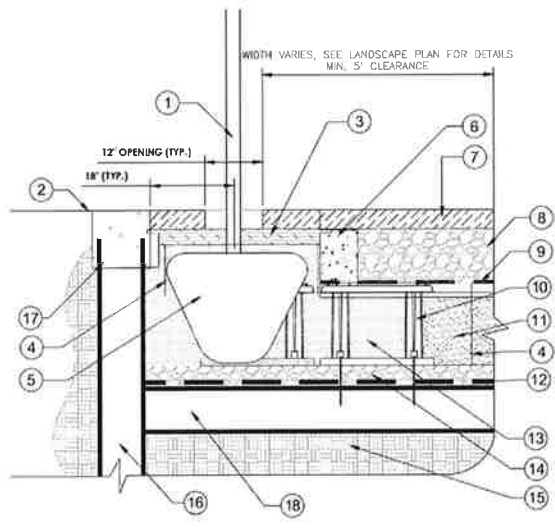
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LANDSCAPE PLAN - GROUND LEVEL

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- 1 STREET TREE
- 2 MATCH EXISTING GRADE. SEE PLAN/LANDSCAPE PLAN FOR SHEETPILE LOCATIONS
- 3 36"X36" PAVER GRATE
- 4 ROOF BARRIER. INSTALL AT BACK OF CURB AND BETWEEN EDGE OF CELL AND BUILDING/ WALL FOUNDATION
- 5 TREE ROOTBALL
- 6 CONCRETE CURB, POSITIONED OVER CELL POSTS. ATTACH TO PAVERS.
- 7 PAVERS, PER CITY OF GAINESVILLE STANDARD DETAILS
- 8 12" AGGREGATE BASE COURSE
- 9 GEOTEXTILE. 18" MINIMUM OVERLAP POST EXCAVATION
- 10 SILVA CELL FRAME
- 11 BACKFILL. INSTALLED IN 8" LIFTS, WITHIN 4'-6" FROM TOP OF DECKS. COMPACTED TO 95%
- 12 GEOTEXTILE ON COMPACTED SUBGRADE
- 13 PLANTING SOIL PER SILVA CELL SPECIFICATIONS. INSTALLED IN 8" LIFTS (2 LIFTS PER CELL)
- 14 4" COMPACTED SUB. BASE. COMPACTED TO 95%
- 15 SUBGRADE BELOW GEOTEXTILE AND AGGREGATE BASE COURSE. COMPACTED TO 95%
- 16 SHEETPILE FOR HORIZONTAL SEPARATION PER GRU'S SHEETPILE DETAIL W-10.5
- 17 12" CONCRETE CAP FLUSH WITH FINISH GRADE PER GRU'S SHEETPILE DETAIL W-10.5
- 18 SHEETPILE FOR VERTICAL SEPARATION OF UNDERGROUND UTILITIES

1 STREET TREE PLANTING DETAIL W/ SHEETPILE

TREE MITIGATION CHART

REGULATED TREES REMOVED (REMOVALS ARE ON A 2:1 REPLACEMENT)	28
REPLACEMENT TREES REQUIRED (REMOVALS ARE MITIGATED ON A 2:1 REPLACEMENT)	56
REPLACEMENT TREES PROVIDED ON SITE	67
36" LIVE OAK REMOVAL FEE	\$22,381.90
28" LIVE OAK REMOVAL FEE	\$13,539.68
24" LIVE OAK REMOVAL FEE	\$9,947.52
TREE MITIGATION FEE TOTAL	\$45,869.10

NOTE:
 * MITIGATION FEES ARE DUE AT THE TIME OF DEVELOPMENT ORDER OR A SITE WORK PERMIT IS ISSUED FOR THE DEVELOPMENT.

Plot Date: 9/14/2016 5:14:01 PM User Name: kutton Layout Name: L2.01
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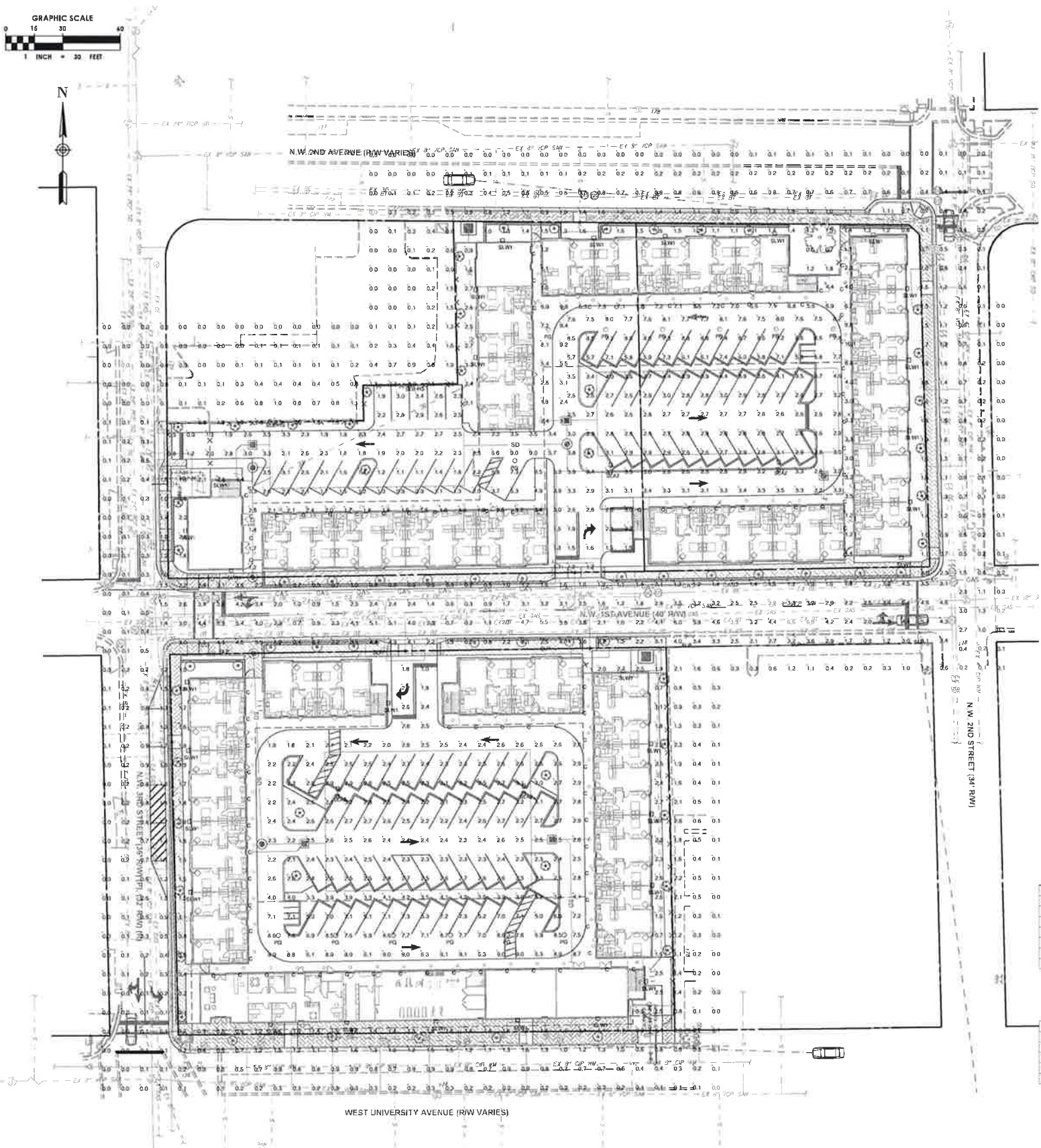
**LIGHTING PLAN -
 GROUND LEVEL**

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Landreth Lighting Luminaire Schedule

Symbol	(MANUFAC)	Qty	Label	Arrangement	Description	LEF	Lum. Watts	Lum. Lumens	BUO Rating
○	Browise Lighting	92	C	SINGLE	7700-4-96LED-35K, CEILING MOUNTED	1.000	5.58	403	B0-U3-G1
○	Lithonia Lighting	13	PG	SINGLE	POX LED FS 30K 150 MVOLT, CEILING MOUNTED	1.000	114	10814	B3-U3-G3
○	Lithonia Lighting	4	SLA3	BACK-BACK	DSX0 LED 40C 700 40K 15W MVOLT, POLE MOUNTED @ 20' AFG	1.000	91	11508	B4-U3-G2
○	Lithonia Lighting	2	SLB-HS	SINGLE	DSX0 LED 40C 700 40K 15W MVOLT, POLE MOUNTED @ 20' AFG	1.000	91	8815	B1-U2-G2
○	Lithonia Lighting	6	SLP	SINGLE	MRP LED 40C 700 40K SR3 MVOLT, POLE MOUNTED @ 14' AFG	1.000	100	7994	B1-U2-G2
○	Lithonia Lighting	30	SLW1	SINGLE	DSXW1 LED 10C 530 40K 12M MVOLT, WALL MOUNTED @ 15' AFG	1.000	19.1	2101	B1-U3-G1

Landreth Lighting Calculation Summary

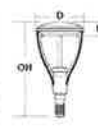
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
1st Avenue	Illuminance	Fc	2.60	6.6	0.2	13.00	33.00
North Covered & Open Parking Lot	Illuminance	Fc	3.67	9.0	0.5	7.34	18.00
Perimeter	Illuminance	Fc	0.88	3.4	0.0	N/A	N/A
South Covered & Open Parking Lot	Illuminance	Fc	3.78	9.1	1.0	3.78	9.10

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MRP LED LED Area Luminaire

Specifications
EPA: 1.12
Luminaire Height: 25"
Overall Height: 32"
Diameter: 18"
Weight: 11 lbs
Depth: 18"



Introduction
The MRP LED luminaire is a stylish, fully integrated LED solution for building mount applications. It features a sleek, modern design and is carefully engineered to provide long lasting, energy efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the MRP LED is a reliable, low maintenance lighting solution that reduces costs that are operationally illuminated.

Ordering Information EXAMPLE: MRP LED 42C 700 40K SR5 MVOLT DBBK

MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED
MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED	MRP LED

Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories
Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories



Street Lights



D-Series Size 0 LED Area Luminaire

Specifications
EPA: 1.12
Length: 18"
Width: 18"
Height: 18"
Weight: 11 lbs
Depth: 18"



Introduction
The modern styling of the D-Series is striking yet conservative, making a bold geometric statement even at 18 inches in every direction. The D-Series is built the equivalent of the latest LED technology to provide a high performance, high efficiency lighting solution. The constant frequency driver performance results in a steady, consistent, and healthy light output and lower power consumption. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSXQ LED 40C 1000 40K T3M MVOLT SPA DDBBK

DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED
DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED	DSXQ LED

Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories
Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories

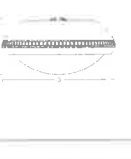


Parking Lot Lights



PGX LED Parking Garage Luminaire

Specifications
Diameter: 16"
Height: 16"
Weight: 11 lbs
Depth: 16"



Introduction
The PGX LED luminaire is designed to provide visual comfort, energy savings, and long life. Its prismatic, hexagonal glass lens delivers optimal visual comfort, superior photometric control, and no discoloration over the life of the luminaire. The PGX LED delivers up to 65% in energy savings when replacing 175W metal halide luminaires. With over a 100,000 hour life expectancy (L70 - 70% of L90) continuous operation, the PGX LED luminaire provides significant maintenance savings over traditional luminaires.

Ordering Information EXAMPLE: PGX LED P1 40K T5M MVOLT PM DWHX

PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED
PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED	PGX LED

Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories
Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories

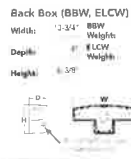


Parking Garage Light



D-Series Size 1 LED Wall Luminaire

Specifications
Width: 13.125"
Depth: 10"
Height: 8.50"



Introduction
The D-Series Wall luminaire is a stylish, fully integrated LED solution for building mount applications. It features a sleek, modern design and is carefully engineered to provide long lasting, energy efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low maintenance lighting solution that reduces costs that are operationally illuminated.

Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTK

DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED
DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED	DSXW1 LED

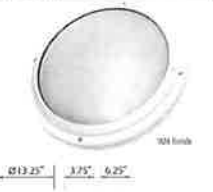
Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories
Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories	Accessories



Wall Light

7700 LED

STANDARD SPECIFICATIONS
EPA: 1.12
Diameter: 18"
Height: 18"
Weight: 11 lbs
Depth: 18"



2. SIZE	3. FINISH	4. WATTAGE	5. AVAILABLE OPTIONS
4 1/2" dia	BL Satin	35W	2500K warm white
6" dia	BL Satin	21W	3000K warm white
8" dia	BL Satin	14W	3500K warm white
10" dia	BL Satin	10W	4000K cool white
12" dia	BL Satin	7W	4500K cool white
14" dia	BL Satin	5W	5000K cool white
16" dia	BL Satin	4W	5500K cool white
18" dia	BL Satin	3W	6000K cool white
20" dia	BL Satin	2W	6500K cool white
22" dia	BL Satin	1.5W	7000K cool white
24" dia	BL Satin	1W	7500K cool white
26" dia	BL Satin	0.7W	8000K cool white
28" dia	BL Satin	0.5W	8500K cool white
30" dia	BL Satin	0.4W	9000K cool white
32" dia	BL Satin	0.3W	9500K cool white
34" dia	BL Satin	0.2W	10000K cool white
36" dia	BL Satin	0.15W	10500K cool white
38" dia	BL Satin	0.1W	11000K cool white
40" dia	BL Satin	0.07W	11500K cool white
42" dia	BL Satin	0.05W	12000K cool white
44" dia	BL Satin	0.04W	12500K cool white
46" dia	BL Satin	0.03W	13000K cool white
48" dia	BL Satin	0.02W	13500K cool white
50" dia	BL Satin	0.01W	14000K cool white

CEILING MOUNTED

Always call 811 two full business days before you dig to have underground utilities located and marked.



14 East University Avenue
Suite 206
Gainesville, FL 32601
352.374.1997
www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION

REGISTRATION NO. ---
DATE: ---

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W UNIVERSITY

GAINESVILLE, FLORIDA

PROJECT NUMBER
15-195.004

CLIENT PROJECT NUMBER

VERIFY SCALES

0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE
03/01/16

DESIGNED BY

DRAWN BY

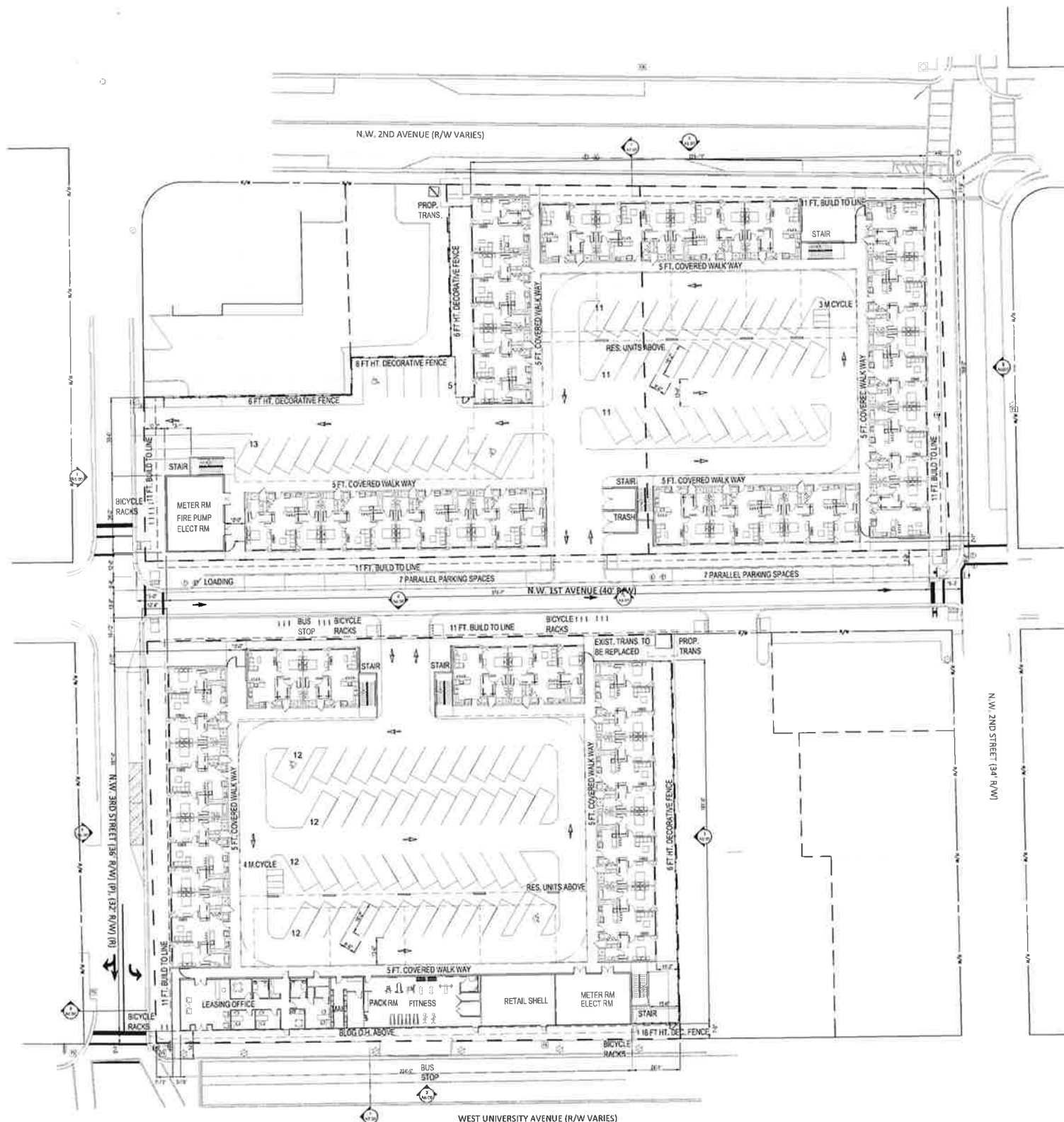
CHECKED BY

DRAWING TITLE

LIGHTING DETAILS

DRAWING NUMBER

L3.02
22 OF 00



PROJECT DATA

GENERAL

CCD - CENTRAL CITY DISTRICT

- APPLICABLE CODES: FBC 2014 5TH EDITION, FPFC 5TH EDITION (NFPA 1 AND 101)
- OCCUPANCY TYPE - R2 - MULTI FAMILY COMMERCIAL DEVELOPMENT.
- CONSTRUCTION TYPE - III - PER TABLE 503 AND 603, NON COMBUSTIBLE NON BEARING WOOD PARTITIONS, EXT WALLS AND ROOF CONSTRUCTION.
- BUILDINGS SHALL BE FULLY SPRINKLERED.
- BUILDING STORES: 3 STORES
- BUILDING HT.
- BUILDING AREA
- PER FBC TABLE 508.4 (R) 1 HOUR SEPARATION REQUIRED.
- PER FBC TABLE 601, 0 HRS FIRE RESISTANCE RATING.
- 20 OPEN MEANS OF EGRESS STAIRS PROVIDED FOR EACH BUILDING. TRAVEL DISTANCE 200 FT.

SETBACKS REQUIRED:

(CCD) - NONE REQUIRED

TRADITIONAL CITY SPECIAL DEV. PLAN - BUILD TO LINES: ARTERIAL RD (14 FT) AND LOCAL RD (11 FT)

BUILT TO LINE PROVIDED:

SOUTH BUILDING:
 W. UNIVERSITY AVE. VARIES (14 FT. AT GROUND FLOOR AND 10'-11" FOR RES. UNITS ABOVE)
 NW 1ST AVE: 16'-0"
 NW 2ND STREET SIDE: (EAST ADJACENT PROPERTY) 11'-2" TO PROPERTY LINE
 NW 3RD STREET: 12'-4"

NORTH BUILDING:
 NW 1ST AVE: 16'-0"
 NW 2ND AVE: 11'-0"
 NW 2ND STREET: 14'-0"
 NW 3RD STREET: 15'-0"

FULL BALCONIES (ALL WITHIN R/W)

12'-0" CLR. COLONNADE ON W. UNIVERSITY AVE. (2'-7" DP) AND 3RD STREET (4'-10" DP)

10 FT. WIDE MIN. SIDEWALK ON UNIVERSITY AVE. SIDEWALKS VARY FROM 7 FT MIN. FOR ARTERIAL RD AND LOCAL RD, REF. TO CIVIL ENG. PLANS FOR FURTHER INFO.

NW 1ST AVE. (BETWEEN 3RD AND 2ND ST) DEDICATED TO OWNER AND CHANGED TO ONE WAY TRAFFIC (EAST BOUND) EAST BOUND BUS ROUTE MAINTAINED W/ PARALLEL PARKING FOR RESIDENCES.

7'-2" HT. DRIVEWAY CLEARANCE UNDER RESIDENTIAL UNITS.

DROP OFF ON NW 3RD STREET, 2 PARKING SPACES (SHORT TERM)

8'-6" X 18 FT DP ANGLED, 8'-6" X 20'-0" 90 DEGREE AND 8' X 20' PARALLEL PARKING STALLS PER CITY ENG. STANDARDS APPENDIX B-2

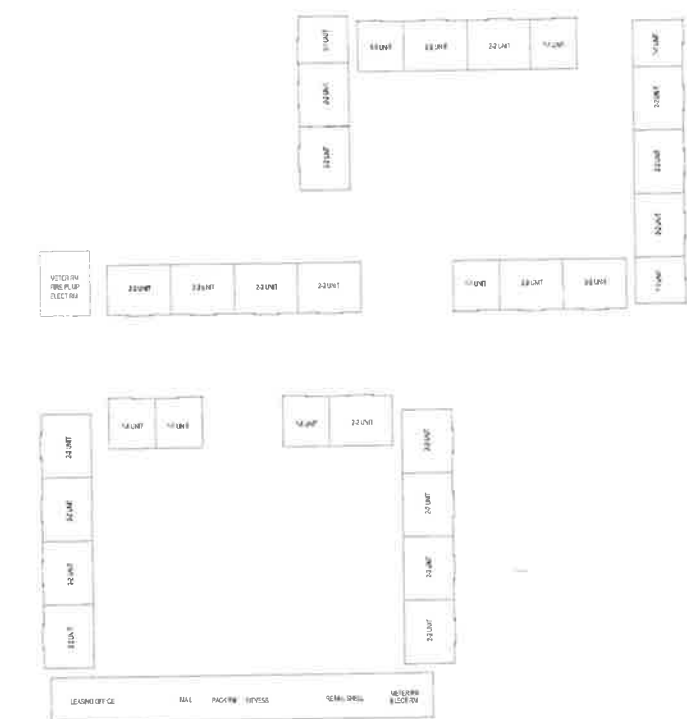
24 FT. WIDE DRIVEWAY ENTRANCES AND 13'-6" ONE WAY DRIVE ISLES PROVIDED PER CITY ENG. STANDARDS APPENDIX B-2

THIS SITE IS NOT LOCATED WITHIN THE HISTORIC DISTRICT OR FLOOD PLAIN.

THIS SITE AND BUILDING COMPLIES WITH THE STATE OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION

KNOX BOX WILL BE PROVIDED TO ENSURE EMERGENCY ACCESS TO THE "RESTRICTED ACCESS OCCUPANCY", PER GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-16(b).

BUILDING			
AREA TYPE	STORIES	APPROX. G.S.F.	COMMENTS
(B) BLDG. No. 1	3	82,068	APPROX. 27,456 / FLR
(N) BLDG. No. 2	3	89,859	APPROX. 29,953 / FLR
LEASING MGMT. OFFICE	1	1,850	DOUBLE HT. LOBBY CEILING
FITNESS	1	1,445	
MAIL PACK RM.	1	402	
RETAIL SHELL	1	971	SHELL SPACE AT UNIVERSITY AVE.
MFP SUPPORT	1	1,584	
TOTAL UNIT COUNT - BUILDING No. 1 AND 2 (3 RES. FLOORS)			
UNIT TYPE	UNITS	PERCENTAGE	COMMENTS
1 BEDROOM	38	28.46%	
2 BEDROOM	91	70.54%	
TOTAL	129	100%	220 BEDS
PARKING			
BUILDING	SPACES	MOTORCYCLE	COMMENTS
No. 1 (S)	48	4	
No. 2 (N)	51	3	
EXT. SURF. SP.	83		14 PARALLEL SPACES ON 1ST AVE 88 SPACES AT LOT 2 1ST AVE ONE WAY - (1) LOADING ST.
DROP OFF	2		2 EXIST. SPACES ON 3RD ST.
TOTAL	184		INCL. 4 HC SPACES



KEY PLAN

1" = 50'-0"

ARCHITECTURAL SITE PLAN

1" = 30'-0" 1



238 DEVELOPMENT LLC

OWNER
 KLM PROPERTIES INC.
 101 SE 2ND PLACE, STE 202
 GAINESVILLE, FL 32601
 352.372.8172

ARCHITECT
PGAL
 791 Park of COMMERCE BLVD.
 SUITE 400
 BOCA RATON, FLORIDA 33487
 (T) 561 988 4002
 (F) 561 988 3002
 PGAL TBPE REG. No. F-2742
 www.pgal.com
 CONSULTANT

PROJECT TITLE
 238 UNIVERSITY

PROJECT LOCATION
 238 W. UNIVERSITY AVE.
 GAINESVILLE, FL

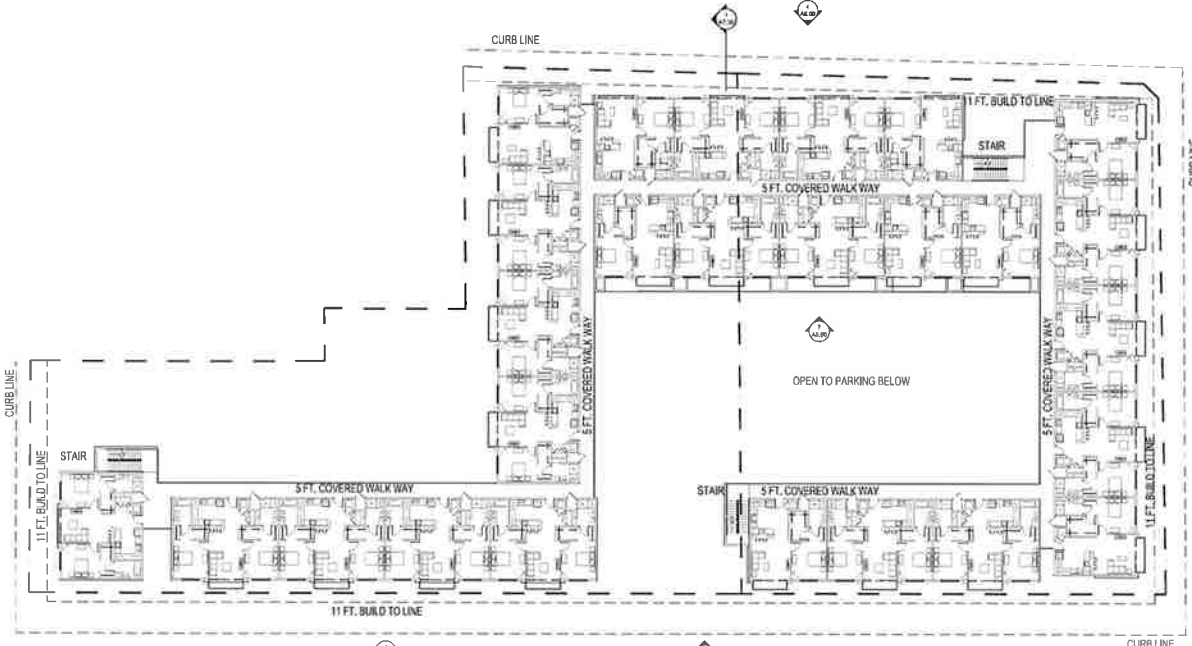
SUBMITTAL HISTORY

REGISTRATION No. AR-009498
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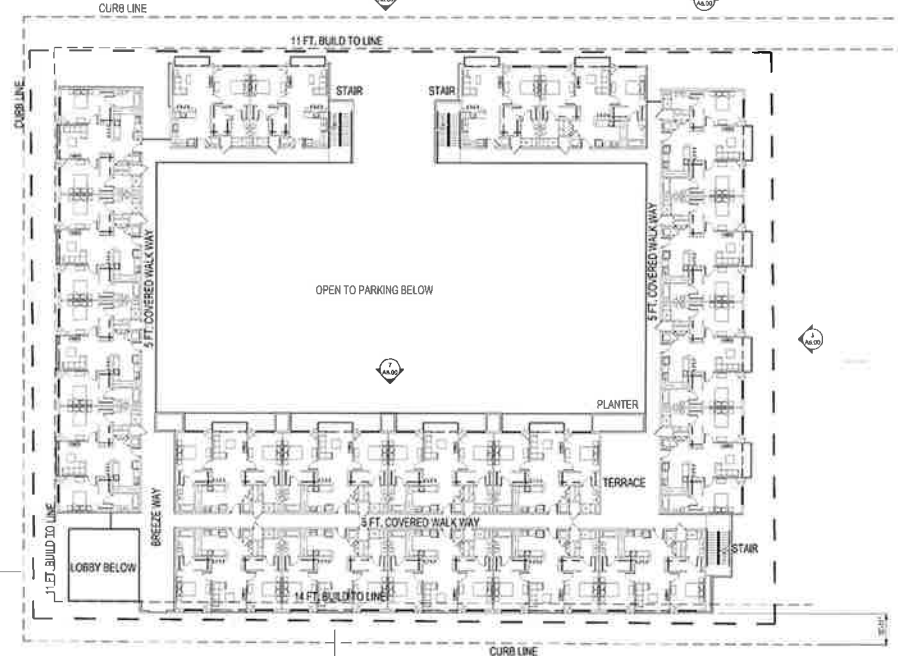
PROJECT NUMBER
 1002712.00
 CURRENT DOCUMENT STAGE
 SITE PLAN SUBMITTAL
 CURRENT ISSUE DATE
 08/16/16
 SHEET TITLE
 ARCHITECTURAL SITE PLAN

SHEET NUMBER
A1.00

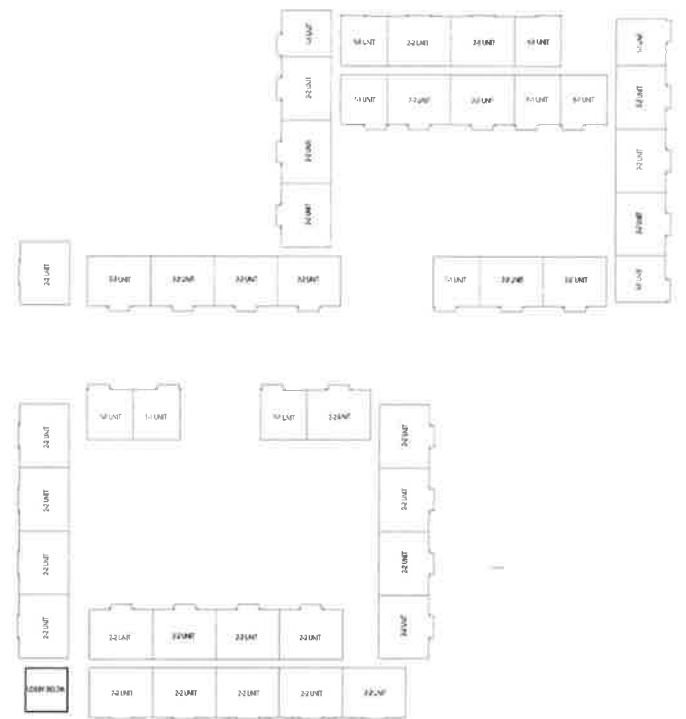
Pierce Goodwin Alexander & Linville | New Orleans | Los Angeles | Houston | Las Vegas | Dallas | Boston | Atlanta | Austin | Boca Raton | Phoenix | San Antonio | San Diego | San Francisco | Seattle | Tampa | Washington, DC



BUILDING 1 1" = 30'-0" ①

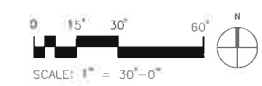


BUILDING 2 1" = 30'-0" ②



KEY PLAN 1" = 50'-0" ○

SECOND FLOOR PLAN 1" = 30'-0" ○



238 DEVELOPMENT LLC

OWNER

KLM PROPERTIES INC.
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GAINESVILLE, FL 32601
352.372.6172

ARCHITECT

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(F) 561 988 3002
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www.pgal.com

CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AV.
GAINESVILLE, FL

SUBMITTAL HISTORY

REGISTRATION No. AR-009468
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PROJECT NUMBER

1002712.00

CURRENT DOCUMENT STAGE

SITE PLAN SUBMITTAL

CURRENT ISSUE DATE

08/16/16

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A2.02

Pierce Goodwin Alexander & Linville
Alexandria | Atlanta | Austin | Boca Raton | Boston | Dallas | Houston | Las Vegas | Los Angeles | New Orleans | Mexico City

DATE PLOTTED: 08/16/16 10:00 AM
PLOTTER: HP DesignJet T1100PS
PLOT SCALE: 1" = 30'-0"

OWNER

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GAINESVILLE, FL 32601
352.372.6172

ARCHITECT

PGAL

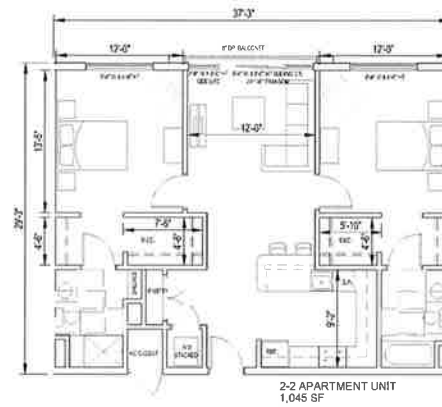
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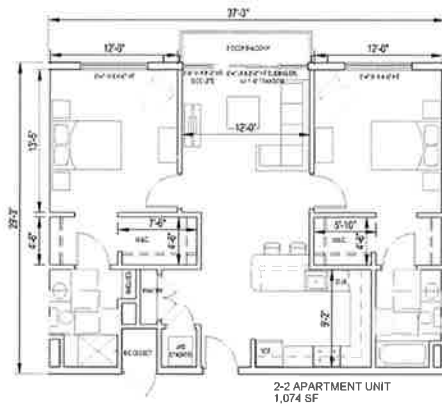
UNIT FLOOR PLANS (GROUND FLOOR BAY WINDOW)

1/8" = 1'-0" 3



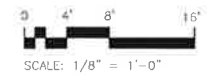
UNIT FLOOR PLANS (BALCONET)

1/8" = 1'-0" 2



UNIT FLOOR PLANS

1/8" = 1'-0" 1



PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

REGISTRATION No. AR-0094488
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PROJECT NUMBER

1002712.00

CURRENT DOCUMENT STAGE

SITE PLAN SUBMITTAL

CURRENT ISSUE DATE

08/16/16

SHEET TITLE

UNIT FLOOR PLANS

SHEET NUMBER

A4.00

Pierce Goodwin Alexander & Limville

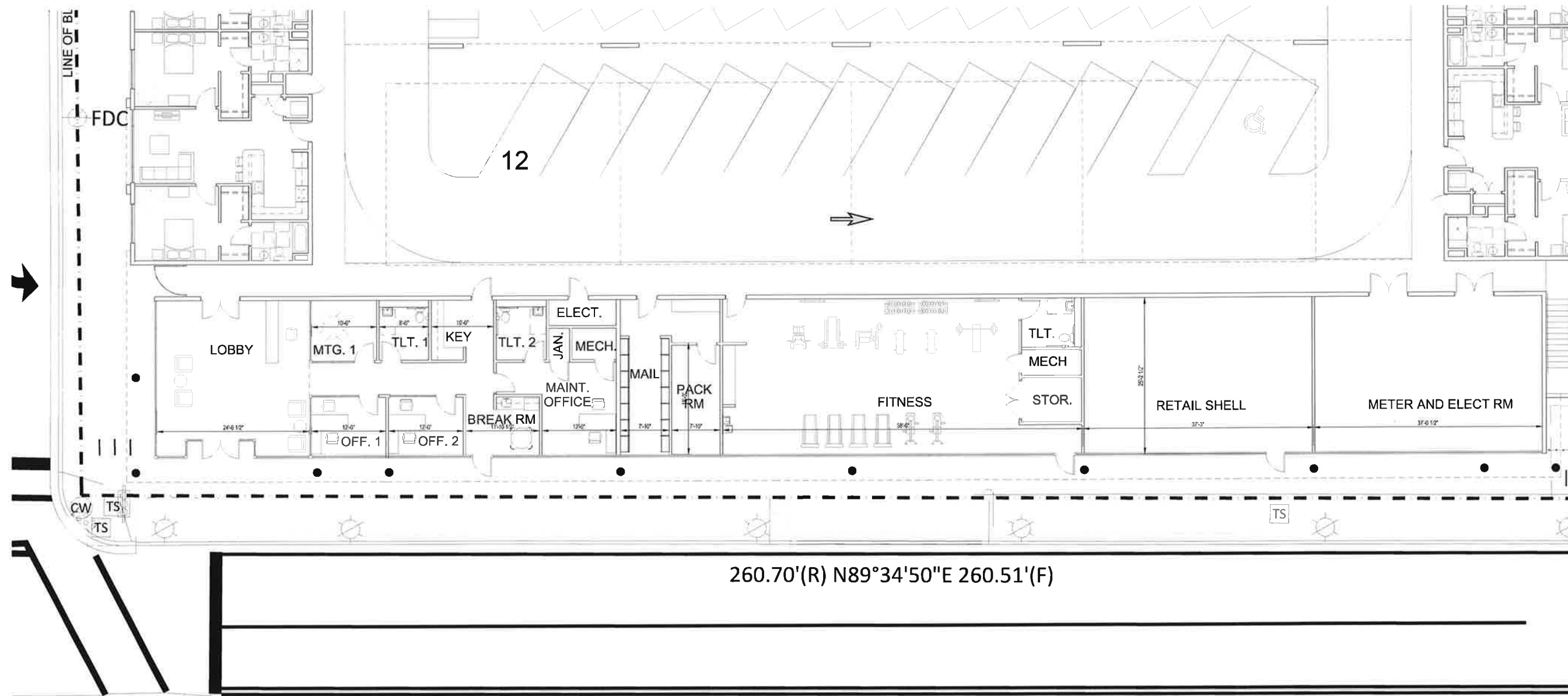
Mexico City

New Orleans

Houston

Las Vegas

PGAL
791 Park of Commerce Blvd.
Suite 400
Boca Raton, FL 33487
Tel: 561.988.4002
Fax: 561.988.3002
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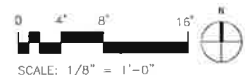


260.70'(R) N89°34'50"E 260.51'(F)

WEST UNIVERSITY AVENUE (R/W VARIES)

ENLARGED GROUND FLOOR PLAN

1/8" = 1'-0" 1



238 DEVELOPMENT LLC

OWNER

PLM PROPERTIES INC.
101 SE 2ND PLACE, STE 202
GAINESVILLE, FL 32601
352.372.6172

ARCHITECT

PGAL

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SUITE 400
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(F) 561 988 3002
PGAL TBPE REG. No. F-2742
www.pgal.com

CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

REGISTRATION No. AR-0094498

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PROJECT NUMBER

1002712.00

CURRENT DOCUMENT STAGE

SITE PLAN SUBMITTAL

CURRENT ISSUE DATE

08/16/16

SHEET TITLE

ENLARGED GROUND
FLOOR PLAN

SHEET NUMBER

A4.01

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PGAL ARCHITECTS, INC. | 791 PARK OF COMMERCE BLVD., SUITE 400 | BOCA RATON, FL 33487 | (561) 988-4002 | WWW.PGAL.COM



SOUTH BUILDING 1 - SOUTH ELEVATION (W. UNIVERSITY AVE.) 1" = 30'-0" ②



SOUTH BUILDING 1 AND NORTH BUILDING 2 - WEST ELEVATION (NW 3RD STREET) 1" = 30'-0" ①



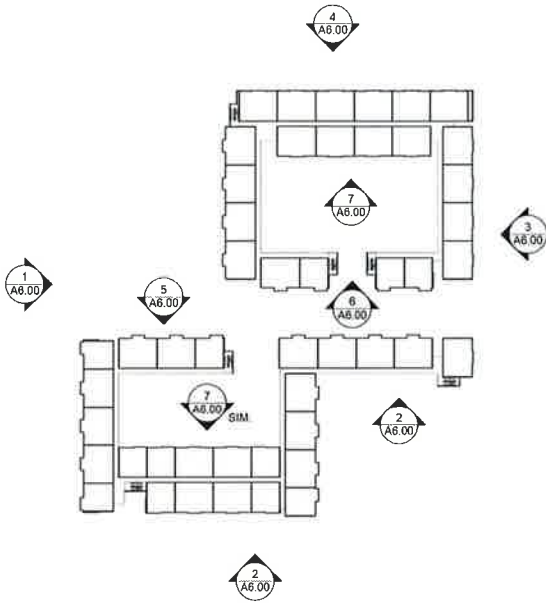
SOUTH BUILDING 1 AND NORTH BUILDING 2 - EAST ELEVATION (NW 2ND STREET) 1" = 30'-0" ③



SOUTH BUILDING 2 - NORTH ELEVATION (NW 2ND AVE.) 1" = 30'-0" ④



NORTH BUILDING 2 - SOUTH ELEVATION (NW 1ST AVE.) 1" = 30'-0" ⑤



KEY PLAN N.T.S.



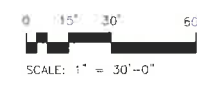
SOUTH BUILDING 1 - NORTH ELEVATION (NW 1ST AVE.) 1" = 30'-0" ⑥



SOUTH BUILDING 1 - NORTH INTERIOR CAR PARK ELEVATION 1" = 30'-0" ⑦

GRAPHIC LEGEND	
	THIN BRICK VENEER - LIGHT YELLOW BROWN BLENDED COLOR
	HORIZONTAL RIBBED CEMENTITIOUS ARCHITECTURAL WALL CLADDING (BM 1534 ROCCO COLOR)
	LARGE FORMAT CEMENTITIOUS ARCHITECTURAL WALL CLADDING (BM 1462 MOUNTAIN COLOR)
	PRE-FINISHED ALUMINUM HORIZ. CLADDING WITH INSULATED HIGH PERFORMANCE CLEAR GLASS (WHITE FRAME AND SILL)
	CLEAR TEMPERED GLASS AND METAL FRAME BALUSTRADE AND RAILING - WHITE GLOSS FRAME COLOR

KEY NOTES	
001	THIN BRICK VENEER ON MFG. RECOMMENDED CLIPS OVER WATER/WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING (LIGHT YELLOW BROWN BLENDED COLOR)
002	HORIZONTAL RIBBED CEMENTITIOUS ARCHITECTURAL WALL CLADDING W/ 3/8" REVEALS AT 5/8" O.C. INSTALLED ON MFG. RECOMMENDED CLIPS OVER WATER/WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING (BM 1534 ROCCO PAINT COLOR)
003	LARGE FORMAT CEMENTITIOUS ARCHITECTURAL WALL CLADDING WITH 2" WIDE REVEALS AS SHOWN, INSTALLED ON MFG. RECOMMENDED CLIPS OVER WATER/WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING (BM 1462 GRAY MOUNTAIN PAINT COLOR)
004	ALUMINUM CORNER TRIM PAINTED TO MATCH CLADDING FINISH
005	ALUMINUM FLASHING PAINTED TO MATCH CLADDING FINISH
006	CLEAR TEMPERED GLASS AND METAL FRAME BALUSTRADE AND RAILING - WHITE GLOSS FRAME COLOR
007	PRE-FINISHED ALUMINUM HORIZ. CLADDING WINDOW WITH INSULATED HIGH PERFORMANCE CLEAR GLASS AND 1/2" HIGH PRE-FINISHED ALUMINUM SILL (WHITE FRAME AND SILL)
008	PRE-FINISHED ALUMINUM SLIDING DOORS WITH INSULATED HIGH PERFORMANCE CLEAR GLASS (WHITE FRAME) + FIXED SILLIES AND TRANSOMS FOR ELEVATION AND FLAM.
009	PRE-FINISHED ALUMINUM STORE FRONTS WITH INSULATED HIGH PERFORMANCE CLEAR GLASS (WHITE FRAME)
010	PAINTED METAL DOOR AND FRAME WITH CLEAR GLASS (TRANSOM PAINTED TO MATCH CLADDING FINISH)
011	PRE-FINISHED ALUMINUM TRELLIS (PAINTED WHITE COLOR)
012	8 FT. HT. CARBON TRASH ENCLOSURE WALL AND CONCRETE CAP WITH BRICK VENEER FINISH (LIGHT YELLOW BROWN BLENDED COLOR)
013	PRE-FINISHED ALUMINUM TRUSS (PAINTED WHITE COLOR)
014	16" DIA. COLUMNS COVERS WITH PAINTED FINISH (WHITE)
015	3 FT. DEEP BALCONY WITH PAINTED WHITE ALUMINUM CLADDED PERIMETER FASCIA, RETURNS AND SOFFIT (CEILING)
016	8 INCH DEEP BALCONY WITH PANELS OF ALUMINUM CLADDED PERIMETER FASCIA AND RETURNS
017	PLANTER WALL AND CONT. CONCRETE CAP WITH BRICK VENEER FINISH (LIGHT YELLOW BROWN BLENDED COLOR)
018	FINISH STAINLESS STEEL CHANNEL LETTERS
019	PAINTED METAL TRASH ENCLOSURE GATES WITH PRE-FINISHED DECORATIVE GRILLE INSERTS 5" HT X 1" WID X 3" DP HEAVY DUTY HINGES AND LOCKABLE LATCH WHITE FRAMES AND ALUMINUM COLOR GRILLE
020	DECORATIVE METAL FENCE PAINTED BLACK
021	ALUMINUM FASCIA, SOFFIT RETURNS AND TRIM PAINTED TO MATCH CLADDING FINISH (BM 1462 GRAY MOUNTAIN PAINT COLOR)
022	TWO STEP (12" AND 6" HT.) ALUMINUM CLADDED CORNICE PAINTED WHITE
023	12" HT. ALUMINUM CLADDED TRIM PAINTED WHITE
024	6" HT. ALUMINUM CLADDED CAP PAINTED WHITE
025	PRE-FINISHED STORE FRONT WINDOW FRAME (NO GLAZING) PAINTED WHITE



SCALE: 1" = 30'-0"

Pierce Goodwin Alexander & Linville | New Orleans | Muscovy City | Houston | Dallas | Los Angeles | Los Vegas | Boston | Atlanta | Alameda



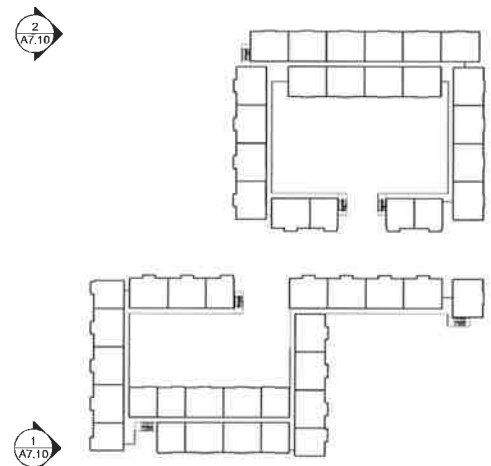
EXTERIOR RENDERING LOOKING NORTHWEST FROM WEST UNIVERSITY AVE

N.T.S. ②



EXTERIOR RENDERING LOOKING NORTHEAST FROM WEST UNIVERSITY AVE

N.T.S. ①



KEY PLAN

N.T.S. ①

238 DEVELOPMENT LLC

OWNER

KLM PROPERTIES INC.
101 SE 2ND PLACE, STE 202
GAINESVILLE, FL 32601
352.372.6172

ARCHITECT

PGAL

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PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

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