

**TO:** City Plan Board

**Item Number:** OB2.

**FROM:** Planning & Development Services Department

**DATE:** June 23, 2016

**SUBJECT:** **Petition PB-16-34 SUP:** Greenberg Farrow (John Vecchio, P.E.) agent for Walmart Stores East, owner. A special use permit with an intermediate development plan to allow for the construction of a gas station with convenience store. Zoned: MU-2 (12—30 units/acre mixed use medium intensity). Located at 1800 NE 12th Avenue.

## Recommendation

Staff recommends approval of Petition PB-16-34 SUP with conditions and the development plan.



## Description

This petition addresses a request to grant a special use permit at the above referenced site to allow construction of a gasoline station with 12 fueling positions and a retail/convenience store. Per the Comprehensive Plan and Policy 10.4.9 of the Transportation Mobility Element gasoline service stations with more than six fueling positions must meet a specific set of conditions with final approval by the City Commission.

The petition was submitted to the board for review on May 26, 2016. After presentations by staff and the applicant, neighborhood residents addressed the board stating that they did not receive notice of the neighborhood meeting conducted by the applicant. They also stated that they did not receive notice from the City concerning the public hearing. Neighborhood representatives expressed opposition to several aspects of

Petition PB-16-34 SUP  
June 23, 2016

the development, particularly the location of the fuel tanks and proximity of the development to the residential area.

The board accepted a motion to continue the petition and asked staff to confirm that proper notice was provided and that the neighborhood meeting was conducted and properly advertised. Staff has reviewed the record and determined that both meetings were properly noticed. It appears that some of the residents who spoke at the meeting are not on the list of property owners administered by the Property Appraiser's office.

Since the May 26, 2016 meeting, staff reviewed some modifications to the design of the site and hosted a meeting with the neighbors and the applicant. The map included in Attachment "B" shows the proposed modifications and Attachment "A" includes information about the public notices.

Attachment "A" provides the following:

1. A map showing the noticed area, 400 feet surrounding the subject property;
2. A list of property owners to whom notices were sent.
3. A copy of the notice announcing the neighborhood meeting;
4. Minutes of the neighborhood meeting and an attendance list;
5. A letter from the applicant addressing the Special Use Permit criteria, including information on when and where the neighborhood meeting was conducted.
6. A copy of the notice of Public Meeting announcing the proposed date, location and time of the hearing to review the petition.

### **Summary**

The board heard a presentation from staff and the applicant followed by questions about the petition. The floor was opened to the public who expressed opposition to the project and alleged that they did not receive notice about the meeting. The board deliberated and entertained a motion to continue the petition. Staff reviewed the public notice process and determined that it followed normal procedures.

Respectfully submitted,



Ralph Hilliard  
Planning Manager

Prepared by:



Lawrence Calderon  
Lead Planner

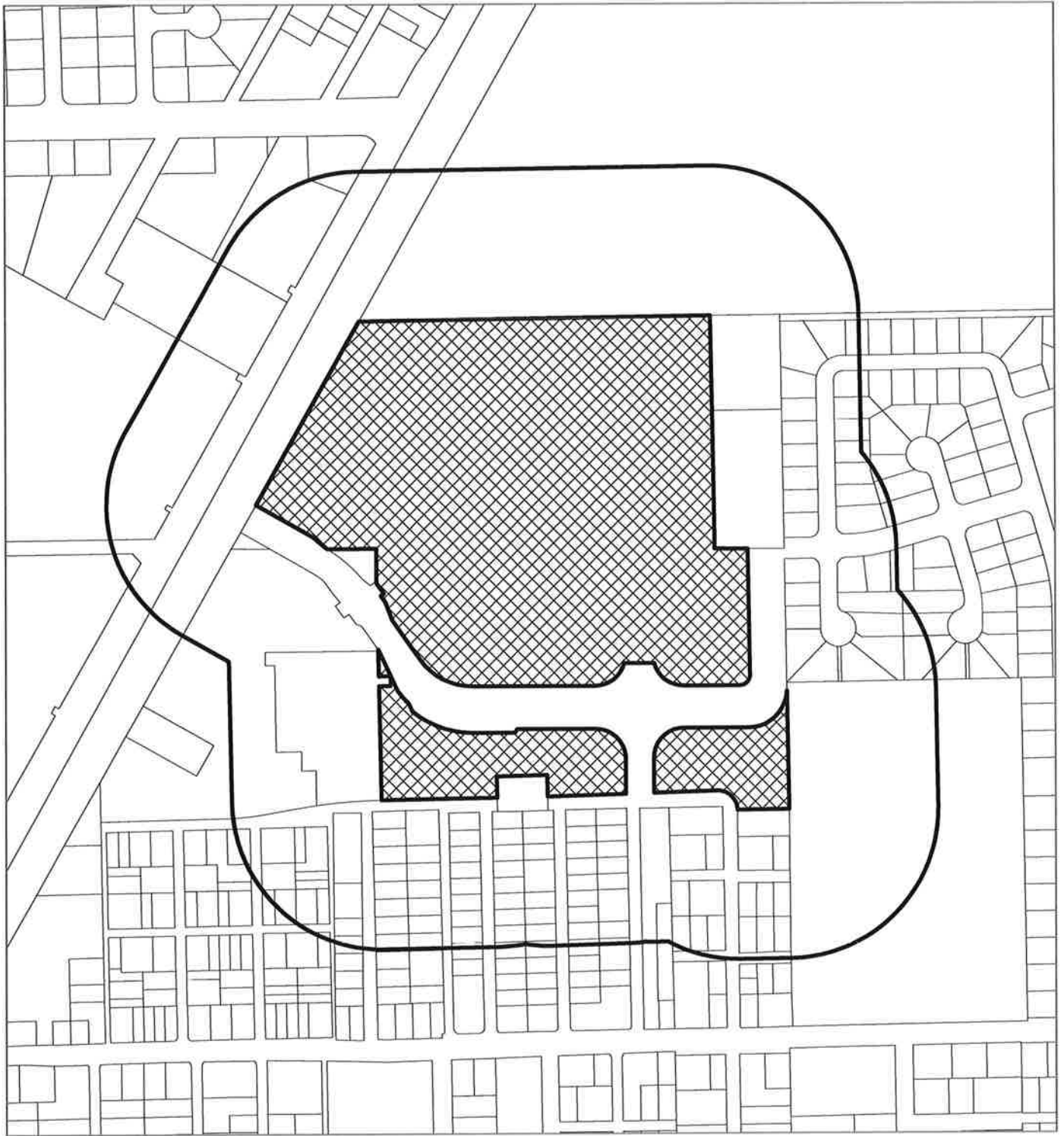
### **List of Exhibits**

**Attachment A: Information about Public Notices**

**Attachment B: Modified Development Plans & Map**

**Attachment C: May 26, 2016 Staff report presented to the City Plan Board.**

**Attachment “A”**  
**Information about Public Notices**



Proposed Murphy Express Gas Station  
1800 block NW 12th Avenue

Parcel #10859-010-003 (part)

400-Foot Notification Radius

Prepared by: Planning and Development  
Services Department  
City of Gainesville, Florida  
Date: 6/14/2016



1 inch = 417 feet

This map is for informational purposes only. Do not rely on this map for accuracy of dimensions, size or location. The City of Gainesville does not assume responsibility to update this information or for any error or omission on this map. For specific information, you are directed to contact the City of Gainesville, Florida.



**Neighborhood Workshop Notice**

10786-000-000 Murphy Express  
ADAMS & ADAMS  
301 N BEAUREGARD ST #H618  
ALEXANDRIA, VA 22312

**Neighborhood Workshop Notice**

10795-000-000 Murphy Express  
AWOFADEJU & WILLIAMS  
3390 NW 46TH AVE  
LAUDERDALE LAKES, FL 33319

**Neighborhood Workshop Notice**

10848-020-075 Murphy Express  
BIVENS & BIVENS  
1203 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10799-000-000 Murphy Express  
CAMP MHC LLC  
120 W LEXINGTON AVE  
ELKHART, IN 46516

**Neighborhood Workshop Notice**

10791-000-000 Murphy Express  
CHURCHILL & TUNNAGE  
613 NW 12TH TER  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

10848-020-129 Murphy Express  
NADIA D CLARK  
1118 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10826-002-000 Murphy Express  
ERNEST L COOK  
904 NE 18TH ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-051-000 Murphy Express  
DICKERSON SR & DICKERSON  
6018 NE 27TH AVE  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

10733-015-000 Murphy Express  
LEROY EDDY  
819 NE 18TH TER  
GAINESVILLE, FL 32641-4712

**Neighborhood Workshop Notice**

10733-023-000 Murphy Express  
FOOTE & WHYTE & WHYTE  
505 NORTH VALENCIA CURCLE SW  
VERO BEACH, FL 32968

**Neighborhood Workshop Notice**

10848-020-074 Murphy Express  
CYNTHIA E ASHFORD  
1204 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10790-000-000 Murphy Express  
BARTLEY TEMPLE METHODIST CHURCH  
PO BOX 5755  
GAINESVILLE, FL 32627-5755

**Neighborhood Workshop Notice**

10848-020-127 Murphy Express  
VERNELL BROWN JR  
1108 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10859-010-002 Murphy Express  
ROY O CAMP TRUSTEE  
4304 NW 78TH TER  
GAINESVILLE, FL 32606

**Neighborhood Workshop Notice**

10674-016-000 Murphy Express  
CITY OF GAINESVILLE  
% LAND RIGHTS COORDINATOR  
PO BOX 490 MS 58  
GAINESVILLE, FL 32627

**Neighborhood Workshop Notice**

10675-003-000 Murphy Express  
COBB & DALLAS  
13 ROSE AVE  
EDWARDSVILLE, IL 62025-1349

**Neighborhood Workshop Notice**

10733-027-000 Murphy Express  
JOHN KEDREN COWVINS  
417 NW 7TH AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

10848-020-125 Murphy Express  
TIFFANY CHERISE DORSEY  
1113 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-033-000 Murphy Express  
EQUITY TRUST COMPANY CUSTODIAN  
FBO JOHN ALAN MITCHELL IRA  
1 EQUITY WAY  
WESTLAKE, OH 44145-1050

**Neighborhood Workshop Notice**

10848-020-116 Murphy Express  
MARJORY M FRANCOIS  
1120 NE 21ST CT  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-070 Murphy Express  
SARAH W ATKINS LIFE ESTATE  
1228 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10849-000-000 Murphy Express  
C A BASKIN  
511 NE 25TH ST  
GAINESVILLE, FL 32641-3919

**Neighborhood Workshop Notice**

10733-020-000 Murphy Express  
TIMOTHY S BURKETT  
913 NE 18TH TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10858-074-000 Murphy Express  
CHRISTIAN METHODIST EPISCOPAL  
CHURCH  
% GLENDA WARREN TRUSTEE  
434 NW 37TH PL  
GAINESVILLE, FL 32609-2295

**Neighborhood Workshop Notice**

10848-020-072 Murphy Express  
ELEASE R CLARK  
1216 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-047-000 Murphy Express  
CONSTRUCTION CONSULTING &  
INVESTMENTS LLC  
21148 NW 167TH PL  
HIGH SPRINGS, FL 32643

**Neighborhood Workshop Notice**

10733-043-000 Murphy Express  
CRISWELL HEIRS & CRISWELL  
% T ALLEN  
830 NE 18TH TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10798-000-000 Murphy Express  
JONI DOWST  
429 NW 10TH AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

10733-031-000 Murphy Express  
EXIT STRATEGY APRIL 13 LLC  
25882 ORCHARD LAKE RD STE 106  
FARMINGTON HILLS, MI 48336

**Neighborhood Workshop Notice**

10733-034-000 Murphy Express  
FULLER & FULLER  
905 NE 19TH ST  
GAINESVILLE, FL 32641-4751

**Neighborhood Workshop Notice**

10811-000-000 Murphy Express  
GAINESVILLE TACACHALE CENTER  
ATTN: MICHAEL S MAYFIELD  
1621 NE WALDO RD  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

10848-020-097 Murphy Express  
GARRISON & MOBBS  
1218 NE 21ST CT  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-077 Murphy Express  
GEORGE & HENDERSON & HENDERSON  
1215 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10679-001-000 Murphy Express  
EDITH C GILL  
300 TOFFEE CT  
MCDONOUGH, GA 30253-6071

**Neighborhood Workshop Notice**

10848-020-098 Murphy Express  
CALYPSO GILLUM  
1214 NE 21ST CT  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-041-000 Murphy Express  
ELSIE GLOVER  
829 NE 18TH TER  
GAINESVILLE, FL 32641-4712

**Neighborhood Workshop Notice**

10826-001-000 Murphy Express  
GOULD JR & GOULD  
2815 NW 13TH ST STE 305  
% KAREN S YOCHIM  
GAINESVILLE, FL 32609-2865

**Neighborhood Workshop Notice**

10833-000-000 Murphy Express  
GRANT INTERNATIONAL LLC  
4581 WESTON RD #370  
DAVIE, FL 33331

**Neighborhood Workshop Notice**

10837-000-000 Murphy Express  
CHARLOTTE GUERLY HEIRS  
PO BOX 488  
BRADENTON, FL 34206-0488

**Neighborhood Workshop Notice**

10848-020-120 Murphy Express  
HALL & SHIDELER W/H  
2115 NE 12TH AVE  
GAINESVILLE, FL 32641-4615

**Neighborhood Workshop Notice**

10733-019-000 Murphy Express  
L D HARPER  
PO BOX 5563  
ALBANY, GA 31706-5563

**Neighborhood Workshop Notice**

10848-020-081 Murphy Express  
HELEN J HARRIS  
1237 NE 21ST ST  
GAINESVILLE, FL 32641-1720

**Neighborhood Workshop Notice**

10733-053-000 Murphy Express  
EDNA HENDERSON  
825 NE 18TH TER  
GAINESVILLE, FL 32641-4712

**Neighborhood Workshop Notice**

10674-007-000 Murphy Express  
LORINE HENDERSON LIFE ESTATE  
931 NE 17TH ST  
GAINESVILLE, FL 32641-4601

**Neighborhood Workshop Notice**

10848-020-122 Murphy Express  
MIA B HOLLAND  
2103 NE 12TH AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-018-000 Murphy Express  
HERBERT HOOKER HEIRS  
918 NE 18TH TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-123 Murphy Express  
DARRIA M JAMES  
1123 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10847-000-000 Murphy Express  
JENKINS & JENKINS  
906 NE 17TH DR  
GAINESVILLE, FL 32641-4717

**Neighborhood Workshop Notice**

10733-039-000 Murphy Express  
JJ KIND INVESTMENTS LLC  
4607 NW 6TH ST STE A  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

10827-001-000 Murphy Express  
KENETRA N JOHNSON  
2130 NW 31ST AVE APT M8  
GAINESVILLE, FL 32605-2313

**Neighborhood Workshop Notice**

10848-020-068 Murphy Express  
EUGENA M JOHNSON  
1240 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-069 Murphy Express  
CONSEUELLA B JOHNSON  
1234 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-026-000 Murphy Express  
DIANA D JONES  
908 NE 19TH TER  
GAINESVILLE, FL 32614

**Neighborhood Workshop Notice**

10848-020-115 Murphy Express  
RODNEY U JONES  
1112 NE 21ST CT  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10835-000-000 Murphy Express  
PATRICIA JORDAN  
909 NE 17TH DR  
GAINESVILLE, FL 32609

**Neighborhood Workshop Notice**

10733-006-000 Murphy Express  
KELLEY & KELLEY  
5 NW 15TH ST  
HIGH SPRINGS, FL 32643-5105

**Neighborhood Workshop Notice**

10733-022-000 Murphy Express  
LAW OFFICE S OF JUSTIN McMURRAY PA  
TRUSTEE  
10175 FORTUNE PARKWAY STE 603  
JACKSONVILLE, FL 32256

**Neighborhood Workshop Notice**

10733-014-000 Murphy Express  
ISSIE ANN LOWE TRUSTEE  
% ANN & MARTINE LOWE  
3631 SW 17TH PL  
GAINESVILLE, FL 32607

**Neighborhood Workshop Notice**

10733-005-000 Murphy Express  
EDMOND MACK TRUSTEE  
PO BOX 537  
WILLISTON, FL 32696-0537

**Neighborhood Workshop Notice**

10848-020-114 Murphy Express  
MATEO & MENDOZA H/W  
1110 NE 21ST TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-121 Murphy Express  
TENEKA N MAVIN  
2109 NE 12TH AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-009-000 Murphy Express  
MAVIN & FRANKLIN  
% ANNIE FRANKLIN  
922 NE 19TH ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-004-000 Murphy Express  
EFFIE MCCLELLAN HEIRS  
928 NE 19TH ST  
GAINESVILLE, FL 32641-4771

**Neighborhood Workshop Notice**

10733-017-000 Murphy Express  
ABRAHAM MCCRAY JR  
917 NE 18TH TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10826-000-000 Murphy Express  
MIDDLETON TRUSTEE & MILES  
1231 BETHABARA HILLS CT  
WINSTON SALEM, NC 27106-3157

**Neighborhood Workshop Notice**

10831-000-000 Murphy Express  
VERONICE MILES  
1231 BETHABARA HILLS CT  
WINSTON SALEM, NC 27106-3157

**Neighborhood Workshop Notice**

10832-000-000 Murphy Express  
VERONICE MILES  
1231 BETHABARA HILLS CT  
WINSTON SALEM, NC 27106-3157

**Neighborhood Workshop Notice**

10674-010-001 Murphy Express  
LILLIE MITCHELL LIFE ESTATE  
5507 NE 29TH AVE # 163  
GAINESVILLE, FL 32609-2650

**Neighborhood Workshop Notice**

10733-045-000 Murphy Express  
ADA MITCHELL TRUSTEE  
% BERNARD MITCHELL  
2717 SW 127TH TER  
ARCHER, FL 32618

**Neighborhood Workshop Notice**

10844-001-000 Murphy Express  
SUSIE MAE MOSLEY LIFE ESTATE  
928 NE 17TH DR  
GAINESVILLE, FL 32641-4717

**Neighborhood Workshop Notice**

10674-001-000 Murphy Express  
SUSIE M MOSLEY TRUSTEE  
928 NE 17TH DR  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

10848-020-078 Murphy Express  
TERRI LEE MYERS  
1221 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10827-004-000 Murphy Express  
BERNICE N NEAL  
824 NE 18TH ST  
GAINESVILLE, FL 32641-4764

**Neighborhood Workshop Notice**

10674-015-000 Murphy Express  
E V NIX  
6114 SE COUNTY ROAD 234  
GAINESVILLE, FL 32641-1604

**Neighborhood Workshop Notice**

10836-000-000 Murphy Express  
J H NIX JR  
6102 SE CR 234  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-067 Murphy Express  
CARDELLIA F OWENS  
1246 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-131 Murphy Express  
PATRICK PENNY JR  
1128 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10800-001-000 Murphy Express  
PRINCEARD INVESTMENT LLC  
PO BOX 5995  
GAINESVILLE, FL 32627

**Neighborhood Workshop Notice**

10733-011-000 Murphy Express  
J S QUINCEY TRUSTEE  
1934 NW 32ND TER  
GAINESVILLE, FL 32605-3723

**Neighborhood Workshop Notice**

10848-020-099 Murphy Express  
JO ANN RAINWATER  
1210 NE 21ST TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-080 Murphy Express  
EVELYN E RILEY  
1231 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10792-000-000 Murphy Express  
MILDRED ROBINSON HEIRS  
840 NE 20TH ST  
GAINESVILLE, FL 32641-4705

**Neighborhood Workshop Notice**

10848-020-066 Murphy Express  
MANUEL A ROSADO JR  
2102 NE 13TH AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-050-000 Murphy Express  
DONNIE RYLES  
818 NE 19TH TER  
GAINESVILLE, FL 32641-4707

**Neighborhood Workshop Notice**

10858-073-000 Murphy Express  
SCHOOL BOARD OF ALACHUA COUNTY  
DUVAL ELEMENTARY  
620 E UNIV AVE  
GAINESVILLE, FL 32601

**Neighborhood Workshop Notice**

10827-000-000 Murphy Express  
W J SIMMONS  
1600 SE 39TH TER #2  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10797-000-000 Murphy Express  
VERNELL SINGLETON  
2012 NE 9TH PL  
GAINESVILLE, FL 32641-4794

**Neighborhood Workshop Notice**

10733-054-000 Murphy Express  
SMALL & SMALL & SMALL HEIRS  
920 NW 41ST ST  
MIAMI, FL 33127-2745

**Neighborhood Workshop Notice**

10674-003-000 Murphy Express  
JOE SMITH HEIRS  
% JOYCE R STEPHENS  
747 LORRI AVE  
LAKELAND, FL 33815

**Neighborhood Workshop Notice**

10733-010-000 Murphy Express  
EDGAR SMITH JR  
210 SE STATE RD #121  
WILLISTON, FL 32696

**Neighborhood Workshop Notice**

10848-020-130 Murphy Express  
SANIYIYAH A SOLOMON  
1124 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10784-000-000 Murphy Express  
ALBERT SPENCER  
707 SANHILL DR  
LYNCHBURG, VA 24502

**Neighborhood Workshop Notice**

10848-020-126 Murphy Express  
TONYA P STARLING  
1107 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10801-001-000 Murphy Express  
STORTER PRINTING CO INC  
300 LANG BLVD  
GRAND ISLAND, NY 14072

**Neighborhood Workshop Notice**

10796-001-000 Murphy Express  
EDITH TAYLOR  
2004 NE 9TH PL  
GAINESVILLE, FL 32641-4794

**Neighborhood Workshop Notice**

10848-020-128 Murphy Express  
MARGARET THOMAS  
1112 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10838-000-000 Murphy Express  
GLADYS THOMPSON  
1228 SE 18TH TER  
GAINESVILLE, FL 32641-8312

**Neighborhood Workshop Notice**

10515-003-000 Murphy Express  
VFW POST 2811  
PO BOX 6147  
GAINESVILLE, FL 32627-5000

**Neighborhood Workshop Notice**

10674-004-000 Murphy Express  
VINSON & VINSON  
7007 SW 63RD TER  
GAINESVILLE, FL 32608

**Neighborhood Workshop Notice**

10802-000-000 Murphy Express  
WALDO ROAD INVESTMENTS INC  
5532 NW 43RD ST  
GAINESVILLE, FL 32653

**Neighborhood Workshop Notice**

10733-035-000 Murphy Express  
JERRY WALKER HEIRS  
906 NE 19TH TER  
GAINESVILLE, FL 32641-4707

**Neighborhood Workshop Notice**

10859-010-003 \*\*\*\* Murphy Express  
WAL-MART STORES EAST LP - PROP TAX  
DEPT 8013  
1301 SE 10TH ST  
STORE NO 1205-01  
BENTONVILLE, AR 72716-8013

**Neighborhood Workshop Notice**

10859-010-008 \*\*\*\* Murphy Express  
WALMART SUPERCENTER - WALDO  
ROAD  
1800 NE 12TH AVE  
ATTN: MANAGER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-065 Murphy Express  
LAWANDA C WARREN  
2106 NE 13TH AVE  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-079 Murphy Express  
MARIE WARREN  
1225 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10848-020-071 Murphy Express  
RENEE L WATKINS  
1222 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10674-010-000 Murphy Express  
MARGARET D WATSON  
PO BOX 358686  
GAINESVILLE, FL 32635-8686

**Neighborhood Workshop Notice**

10674-013-000 Murphy Express  
W B WATSON III  
PO BOX 358686  
GAINESVILLE, FL 32635-8686

**Neighborhood Workshop Notice**

10848-020-073 Murphy Express  
CAMELA V WELCOME  
1210 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-008-000 Murphy Express  
REGINALD WHITE  
3205 NW 83RD ST #2614  
GAINESVILLE, FL 32606-6229

**Neighborhood Workshop Notice**

10848-020-117 Murphy Express  
WILLIE WHITE III  
1126 NE 21ST CT  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10675-001-000 Murphy Express  
JILL S WILLIAMS  
1144 NE 22ND ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10788-000-000 Murphy Express  
ELIZABETH S WILLIAMS  
839 NE 20TH ST  
GAINESVILLE, FL 32641-4706

**Neighborhood Workshop Notice**

10796-000-000 Murphy Express  
H WILLIAMS  
823 NE 25TH TER  
GAINESVILLE, FL 32641-4884

**Neighborhood Workshop Notice**

10848-020-076 Murphy Express  
VERONICA L WILLIAMS  
1209 NE 21ST ST  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10794-000-000 Murphy Express  
WILLIAMS & WILLIAMS  
823 NE 25TH TER  
GAINESVILLE, FL 32641-4884

**Neighborhood Workshop Notice**

10733-030-000 Murphy Express  
NEWTON WILLIAMSON  
906 NE 18TH TER  
GAINESVILLE, FL 32641

**Neighborhood Workshop Notice**

10733-021-000 Murphy Express  
WINFALL CORPORATION  
PO BOX 1119  
ALACHUA, FL 32616

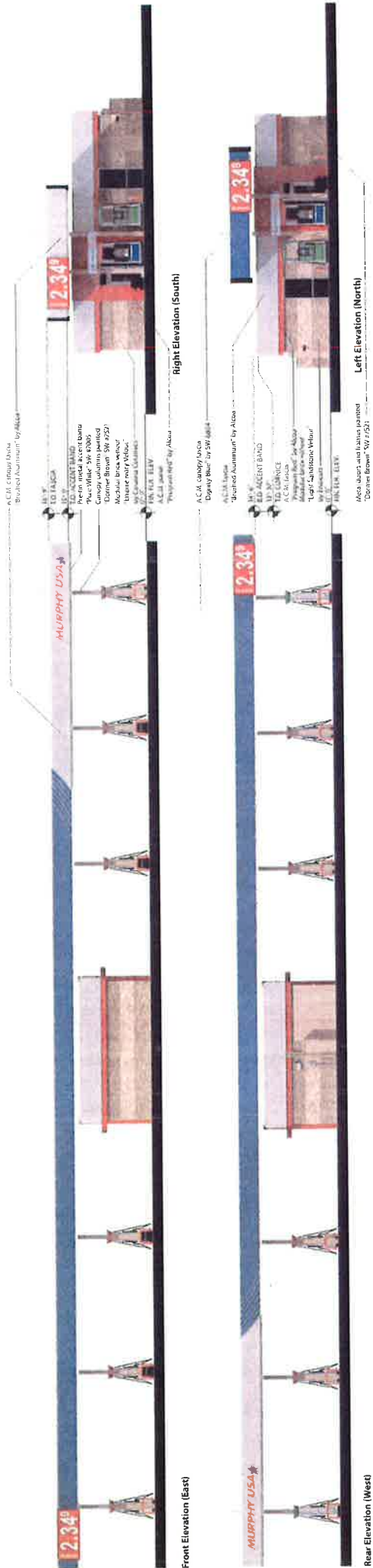
**Neighborhood Workshop  
For a Proposed  
Murphy USA Gas Station and Convenience Store**

A neighborhood workshop will be held to discuss a proposed Murphy USA gas station and convenience store to be located on the south side of NE 12<sup>th</sup> Avenue across from the existing Walmart at 1800 NE 12<sup>th</sup> Avenue, Gainesville, Florida. This is not a public hearing. The purpose of the meeting is to inform neighboring property owners of the nature of the proposal and to seek their comments about the project.

Date: Tuesday, January 26, 2016  
Time: 6:30 p.m.  
Place: Clarence R. Kelly Community Center  
1701 NE 8<sup>th</sup> Ave.  
Gainesville, FL

A Special Use Permit is required to (a) allow a fueling station within the Transportation Mobility Program Area, and (b) to allow a fueling station with six (6) fuel pumps (the City of Gainesville's code only allows three (3) pumps at a fueling station with a convenience store). Site plans and a building rendering are enclosed for your use and review.

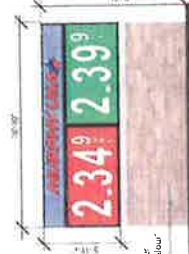
If you have any questions or concerns before the meeting, please contact John Vecchio, P.E., Project Manager, at (404) 205-8426 or [jvecchio@greenbergfarrow.com](mailto:jvecchio@greenbergfarrow.com). We look forward to seeing you at the meeting.



① 8" x 11" smooth face end with fibercon composite fence stakes finished "burned Sycamore" SW 47521



Trash Enclosure



Monument Sign (Not to scale)

Round top fence  
for 1200 BLDG

Qty	Weight	Volume	Area	Total S.F.
2	3333	1333	4444	8888
2	1122	4444	4444	8888
2	4444	1122	4444	8888
2	1122	4444	4444	8888
1	1122	4444	4444	8888
Total Signage				39437



6MPD 1200 BLDG  
October 22, 2014









MAF - 1 2016

1/28/16

The following is a summary of the Neighborhood Meeting held Tuesday evening, January 26, 2016 for the Murphy USA, Gainesville, FL project:

Date and Time: January 26, 2016, 6pm

Location: Clarence R. Kelly Community Center, 1701 NE 8<sup>th</sup> Avenue, Gainesville, FL 32601

Materials Presented: Site Plan-C-1 (Rev-0), Composite Site Plan- C-01 (Rev-0), Landscape Plan L1.0, Preliminary Survey S-3, Rendering (December 2, 2015)

GF Representatives: John Vecchio and Wayne Gibson

There were 5 individuals in attendance, 3 from the adjacent neighborhood group (Front Porch FL)

The following are their questions, comments and concerns:

1. Concerned about the trash. This is a vacant lot and is used to discard trash. (explained when site is fully developed the trash problem will go away, Murphy has a dumpster for trash removal)
2. Concerned about people using the site as a short cut to Wal-Mart. Again this lot is vacant and the existing fence along the rear property line is knocked down. (explained when the site is fully developed there will be perimeter landscaping to discourage the cut through. There are also existing sidewalks along the perimeter streets that connect to Wal-Mart)
3. Asked question about UST installation and any concerns with the environment. (explained the UST's require a State Permit and there are no environmental threats)
4. Asked question regarding stormwater control. (We explained the site was part of the overall Wal-Mart Development Plan approval and the Murphy site stormwater is part of the existing ERP (Environmental Resource Permit) for the Wal-Mart development site.
5. Asked question regarding increased traffic in the area due to the gas station use. (explained the site was included in the original Traffic Study for the Wal-Mart Development Plan and all of the traffic improvements have been installed including turning lanes and curb cuts to the proposed Murphy site)
6. Asked questions regarding Landscaping and Lighting. (showed them the Landscaping Plan and explained the proposed lighting for the site. Lighting to meet City requirements and will be shielded toward the residential area). Neighbors commented that the vacant lot is dark and dangerous and any lighting would be an **improvement**.

The Neighborhood group went on record that they **support the plan**. They intend to go back to the remainder of their group to increase support for the project. Front Porch FL intends to write a letter to City Council indicating support for the project.

John C Vecchio, PE  
Senior Project Manager  
1430 West Peachtree St. NW, Suite 200, Atlanta, GA 30309  
D 404.205.8426 C 404.834.5546 T 404.601.4000 x7213

**GreenbergFarrow**

🐦 f in







February 25, 2016

Mr. Ralph Hilliard  
Planning Manager  
Planning and Development Services Department  
City of Gainesville, FL  
200 East University Avenue  
Gainesville, FL 32601

Re: Murphy USA Letter of Application

Dear Mr. Hilliard:

Murphy Oil USA, Inc. proposes to construct a 1,200 sq. ft. convenience store with six (6) fueling pumps. The store will have a coffee bar, soda fountains, hot dogs, pizza, and pre-packaged food items available for purchase. An outdoor vacuum, air hose, ice machine and propane tanks will be available for customer convenience. The site is located on an approximately 2-acre outparcel across from the existing Walmart store at 1800 NE 12<sup>th</sup> Avenue.

The site is currently vacant and is bounded by NE 12<sup>th</sup> Avenue to the north, a detention pond and church to the east, NE 10<sup>th</sup> Avenue to the south, and a large tract of land to the west occupied by a single-family residence.

The property is zoned Mixed Use Medium Intensity District (MU-2), and the *"district is intended to encourage a reduction in the number and length of vehicular trips by providing for basic needs and employment opportunities within close proximity to residential areas,"* per the City of Gainesville's Land Development Code. The Murphy USA store meets the intent of the district by conveniently providing basic needs by selling fuel for nearby residents and customers of Walmart, as well as providing employment opportunities for residents in the neighborhood. A gas station at this location is complementary to the existing Walmart.

#### Special Use Permit

The City of Gainesville's Land Development Code only allows three (3) fuel pumps at service stations. Because Murphy Oil proposes to construct six (6) fuel pumps, a Special Use Permit is required. Murphy satisfies the City of Gainesville's requirements for a Special Use Permit in the following ways:

1. At the time of this project's review by the Development Review Board and City Plan Board, the project will have been reviewed by the City's Technical Review Committee and Gainesville Regional Utilities,

and will comply with the City's Land Development Code and other requirements specific to the proposed use.

2. The proposed project is compatible and harmonious with the existing Walmart and will provide a much needed service for customers and residents of the neighborhood.
3. All necessary public utilities are at the site and have adequate capacity to serve the proposed Murphy USA fueling station and convenience store.
4. Waldo Avenue and NE 13<sup>th</sup> Avenue have adequate capacity to serve the proposed Murphy development and any traffic generated by the proposed development. The project will have little to no impact on public streets or traffic in the area. When Walmart was constructed, a gas station was included in the overall traffic study for the Walmart, and the study concluded that adequate street capacity for a gas station was available.
5. Extensive landscape screening is proposed around the development, as shown on the landscape plan, to screen the project from the adjacent properties. Site lighting will be shielded to prevent glare onto neighboring residential properties.
6. The use is consistent with the City's comprehensive plan and is within the Mixed Use Medium district.
  - a. As part of the overall neighborhood development, Murphy USA provides the neighborhood with gas services and complements the existing Walmart. It improves the condition of the neighborhood (Objective 2.1) Additionally, the building faces the street, and is located close to the street for pedestrians.
  - b. Regarding transportation, the project has a minimal traffic impact on the street system and the traffic generated by the development was included in the overall Walmart project. Pedestrians and bicyclists will be accommodated with sidewalks along NE 12<sup>th</sup> Avenue and with onsite bicycle parking is provided.
7. The project satisfies the City's minimum concurrency requirements. A gas station was included in the traffic study that was done for Walmart.

#### Transportation Mobility Program Area

The site is located in Zone A of the Transportation Mobility Program Area (TMPA) and satisfies the requirements of gasoline service stations (policy 10.4.9) as follows.

1. The site is designed to enhance pedestrian and bicycle access by locating the building near NE 12<sup>th</sup> Avenue and utilizing the existing sidewalks along NE 12<sup>th</sup> Avenue.
2. Only two (2) driveways are proposed for the project to provide adequate truck ingress, egress and circulation. Both curb cuts are existing and were part of the Wal-Mart overall development.
3. Twelve (12) fueling positions are proposed, six (6) more than what is allowed by code. The additional fueling positions are consistent with what is allowed in the TMPA through the Special Use Permit process and by satisfying all of the following conditions:
  - a. The site can safely accommodate all of the proposed fueling positions and satisfies all required landscaping, buffering and other requirements of the Land Development code.
  - b. Site access and safety are not compromised by the additional fueling positions; Murphy USA will have little to no impact on public streets and traffic, and the site has been carefully designed to provide safe and efficient traffic circulation.

- c. Pedestrian and bicycle safety are maintained by connecting the store to the existing sidewalk on NE 12<sup>th</sup> Avenue. The two proposed driveways will provide for safe and efficient ingress and egress for cars, trucks and bicyclists. Bicycle parking is provided near the store.
- d. The building architecture is “upscale” with windows and neutral brick colors that are compatible with Walmart’s colors. A mansard roof is proposed over the convenience store and gas canopy. The dumpster enclosure will be enclosed with the same colored brick as the building.
- e. Regarding the policy section that *“retail convenience good sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site are encouraged, and that the retail convenience goods sales or restaurant building and development shall meet all of the following requirements”*, please be advised of the following:
  - i. The building has been placed close to the sidewalk for safe and convenient pedestrian and bicycle access.
  - ii. Windows have been added to the building; please refer to the building rendering submitted with this application.
  - iii. The front entrance to the store faces the NE 12<sup>th</sup> Avenue.
  - iv. Parking and fueling operations are located behind the building.
  - v. The building massing, height and elevations are appropriately scaled for the site, surrounding uses.

#### Concurrency

Murphy USA meets concurrency requirements. A gas station was proposed as part of the overall Walmart development

#### Neighborhood Workshop

A neighborhood workshop was conducted on Tuesday, January 26<sup>th</sup> at 6:30 p.m. at the Clarence R. Kelly Community Center in accordance with the City’s requirements. A summary of the meeting and a copy of the sign-in sheet have been provided separately with this submittal.

In summary, Murphy USA is a complementary use to the existing Walmart store, and provides a much needed service to shoppers and residents in the community.

If you have any questions or need anything else, I may be reached at [jvecchio@greenbergfarrow.com](mailto:jvecchio@greenbergfarrow.com) or (404) 205-8426.

Sincerely,



John C. Vecchio, P.E.  
Senior Project Manager



**PB-16-34 SUP**

**NOTICE OF PUBLIC MEETING**

**SPECIAL USE PERMIT**

June 7 , 2016

A petition for a Special Use permit is proposed for within 400 feet of property you own. This letter is a legal notification of the public hearing.

**Date & Time: Thursday, June 23, 2016 at 6:30 p.m., or as soon thereafter as it may be heard**

**Location: City Hall Auditorium, First Floor, 200 East University Avenue, Gainesville, FL**

The City Plan Board will hold a Public Hearing and render a decision on the petition. There will be an opportunity for public comment at the hearing prior to the Board's decision.

If you have questions about this petition or the process or wish to comment, you can:

- Call the Planning & Development Services Department at (352) 334-5022
- Come to Room 158, Thomas Center B, 306 NE 6th Avenue, Gainesville, Florida, during business hours (Monday – Thursday, 7:00 a.m. to 6:00 p.m.; Friday 8:00 am – 4:00 pm)
- Visit our website at [www.cityofgainesville.org/planningdepartment](http://www.cityofgainesville.org/planningdepartment) and select Citizen Boards to view the meeting agenda.

Put your comments in writing 7 days prior to the meeting to: City Plan Board, c/o City of Gainesville, Planning and Development Services Dept., **Petition PB-16-34 SUP**, P.O Box 490, Mail Station 11, Gainesville, FL 32627.

**Petition Description**

**Petition PB-16-34 SUP.** Greenberg Farrow, agent for Walmart Stores East, owner. A Special use permit with an intermediate development plan to allow for the construction of a gas station with convenience store. Zoned: MU-2 (12—30 units/acre mixed use medium intensity). Located at 1800 NE 12th Avenue.

This hearing will be conducted as an **informal** quasi-judicial hearing unless the petitioner(s) or affected parties file for a formal quasi-judicial hearing. Following this quasi-judicial hearing,



based on the testimony provided, the City Plan Board will then either vote to approve or deny the petition.

All persons entitled to actual written notice of this petition, pursuant to Chapter 30, Gainesville Code of Ordinances, may request in writing during regular business hours a formal quasi-judicial hearing before the Board **no less than 7 days prior to the meeting**. All requests for a formal quasi-judicial hearing, along with review materials (written evidence and/or other form of documentation) must be submitted to: City Plan Board—Mail Station 11, Quasi-Judicial Hearing, **Petition PB 16-34 SUP**, P.O. Box 490, Gainesville, Florida 32627. **Mailed requests and review materials must be received by the City Plan Board at least 7 days prior to the hearing.** Failure to timely file a written request for a formal hearing shall set the petition for an informal quasi-judicial hearing.

In order to participate in the formal quasi-judicial portion of the proceeding, all affected parties (those actually entitled to this notice) will be required to complete the “Request to Participate in Formal Quasi-Judicial Hearing” form stating your name and address and other pertinent information, and whether you support or oppose the proposal before the Board.

Any affected party may be represented by an attorney. If an attorney represents an affected party or several affected parties, the attorney may complete the “Request to Participate in Formal Quasi-Judicial Hearing” form and identify the person or persons they represent and whether their client(s) supports or opposes the petition before the City Plan Board.

There will be an opportunity for public comment regardless of whether the hearing is informal or formal. If you have any questions about this petition or the process, you may call 334-5022 or come to Room 158 (Planning Counter), Thomas Center B, 306 NE 6th Avenue, Gainesville, Florida, during business hours. (Monday – Thursday, 7:00 a.m. to 6:00 p.m.; closed Fridays) Visit our website at [www.cityofgainesville.org/planningdepartment](http://www.cityofgainesville.org/planningdepartment)

If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Persons with disabilities who require assistance to participate in the meeting are requested to notify the Equal Opportunity Department at 334-5051 (TDD 334-2069) at least 48 hours prior to the meeting date.

**REQUEST TO PARTICIPATE IN FORMAL QUASI-JUDICIAL HEARING**

(Please refer to the "Quasi-Judicial Hearings" information provided on page 4.)

Quasi-judicial matter (e.g., petition/ordinance #, etc.): \_\_\_\_\_

Date of hearing: \_\_\_\_\_

1. Please indicate your status as it relates to this matter:

\_\_\_\_\_ : **APPLICANT** (i.e., the property owner or entity that has applied for a rezoning, Special Use Permit, development review, variance, etc.)

\_\_\_\_\_ : **AFFECTED PARTY** (i.e., you either: **a**) have received or are entitled to receive mailed notice under Section 30-351 of the Land Development Code, **OR b**) believe you may, depending on the result of this quasi-judicial hearing, suffer an injury distinct in kind and degree from that shared by the general public.)

2. Are you for or against approval of this matter?

\_\_\_\_\_ : **FOR**

\_\_\_\_\_ : **AGAINST**

3. Name (please print): \_\_\_\_\_

Address: \_\_\_\_\_

Phone number: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Attorney Information (if applicable):**

Name (please print): \_\_\_\_\_

Address: \_\_\_\_\_

Phone number: \_\_\_\_\_

Signature: \_\_\_\_\_

**This form together with any exhibits to be presented at the hearing shall be received by the City Plan Board no less than seven (7) calendar days prior to the date of the hearing as stated in the mailed notification letter.**

## Quasi-Judicial Hearings

**What is a quasi-judicial hearing?** The decisions of local government boards are generally of two types: legislative or quasi-judicial. A *legislative* decision is where a government board makes policy or law that generally applies to a broad group of citizens. A *quasi-judicial* decision is made in a court-like “hearing” where a government board applies already-established general policy or law to a specific, individualized situation. In other words, the decision-maker in a quasi-judicial hearing is not making policy or otherwise deciding what he/she would prefer to happen in a particular case, but rather is limited to making a determination on whether a specific application meets the existing regulations or requirements. Examples of legislative matters are amendments to the City’s Comprehensive Plan, including amendments to the City’s Future Land Use Map, and amendments to the City’s Code of Ordinances or Land Development Code. Examples of quasi-judicial matters are changes to a property’s zoning district (i.e., rezonings), applications for a Special Use Permit, and applications for development review.

**Who may participate in a quasi-judicial hearing?** Only the following may participate as a “party” in a quasi-judicial hearing: 1) the *applicant* (e.g., the property owner or entity that has applied for a rezoning, Special Use Permit, development review, etc.), 2) *city staff*, and 3) other “*affected parties*”. “Affected parties” include persons who are either: 1) entitled to mailed notice under Section 30-351 of the Land Development Code, or 2) have properly applied for such status no less than 7 days prior to the hearing and have been determined by the applicable reviewing board to be an “affected party” because he/she may, depending on the result of the quasi-judicial hearing, suffer an injury distinct in kind and degree from that shared by the general public. **Although the general public may not participate as a party, quasi-judicial hearings do provide an opportunity for public comment.**

**What are the due process rights of a party to a quasi-judicial hearing?** When conducting quasi-judicial hearings in Florida, local governments must provide the parties with notice of the hearing and an opportunity to be heard and to present evidence. The parties shall also have the opportunity to cross-examine any witnesses. In addition, parties are entitled to a fair hearing before an impartial decision-maker. To this end, board members (as the decision-maker) must avoid all “ex-parte communications”, which are communications regarding quasi-judicial matters that are made outside of the public hearing.

**What is the difference between a formal and an informal quasi-judicial hearing?** The City has established two methods for administering a quasi-judicial hearing: informal and formal. All quasi-judicial hearings are administered as informal hearings unless a formal hearing is requested by the applicant or an affected party. The informal hearing is an abbreviated process and may include a presentation by both city staff and the applicant, followed by questions from the applicable reviewing board and public comment. The formal hearing is administered with formalities similar to a trial court or administrative hearing, with regimented procedures that include the swearing in of all participants, formal presentations and admission of evidence, cross-examinations of witnesses, rebuttal, etc. Importantly, regardless of whether a hearing is administered as informal or formal, the applicable reviewing board’s decision-making criteria, the legal effect of any decision, and any opportunity for appeal are the same.

**How do you request a formal hearing?** The applicant or an affected party shall submit this form, together with any exhibits to be presented at the hearing, to the City no less than 7 days prior to the date of the hearing as stated in the mailed notification letter.

**Attachment “B”**  
**Modified Development Plans & Map**



48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



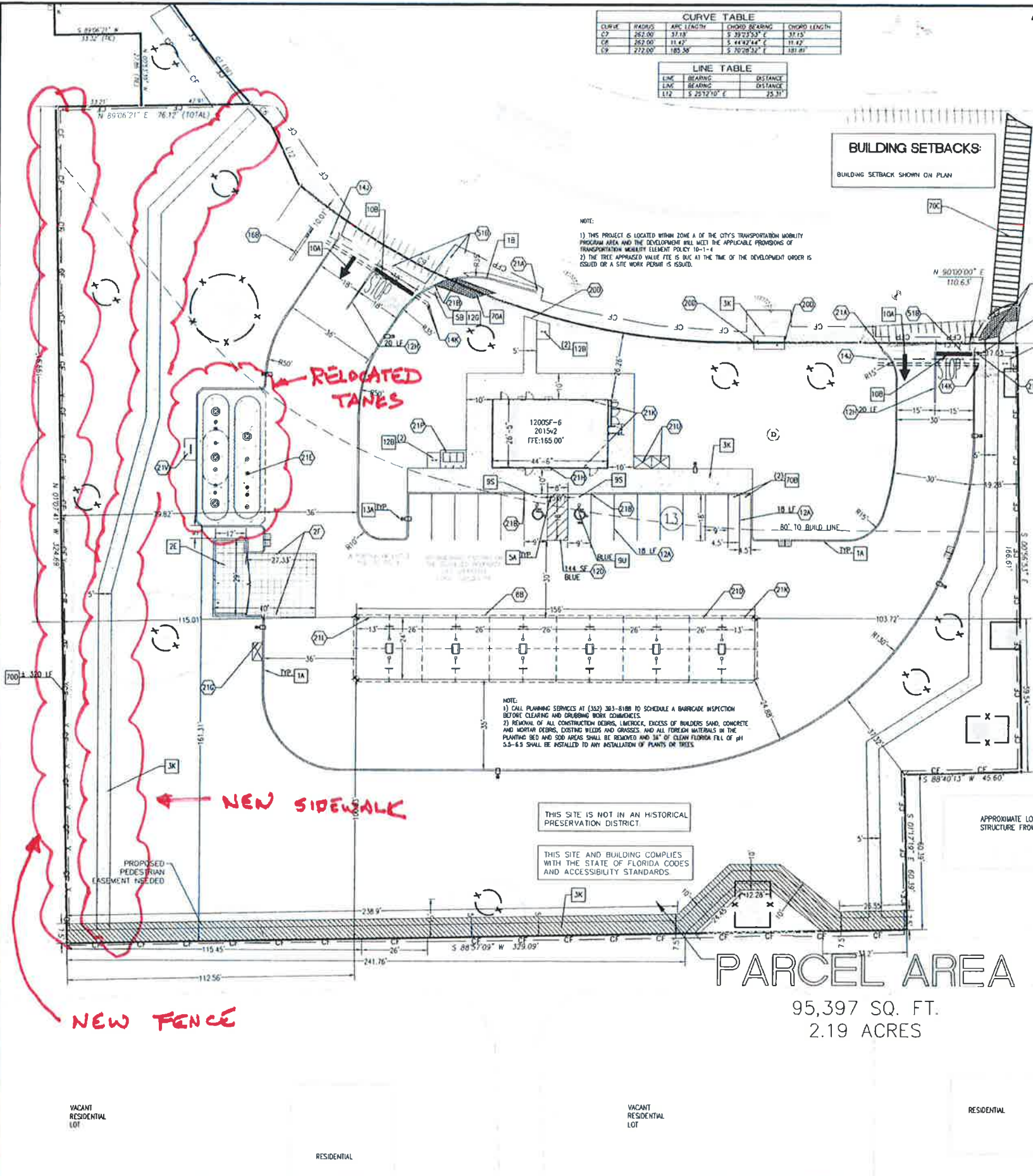
1200SF-6-2015v2

SHEET NO. C-1

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	252.00	37.18	S 39°23'53" E	37.15
C2	252.00	11.42	S 44°42'44" E	11.42
C3	222.00	189.58	S 70°28'52" E	189.49

LINE TABLE		
LINE	BEARING	DISTANCE
L12	S 23°12'10" E	25.31



**BUILDING SETBACKS:**  
BUILDING SETBACK SHOWN ON PLAN

NOTE:  
1) THIS PROJECT IS LOCATED WITHIN ZONE A OF THE CITY'S TRANSPORTATION MOBILITY PROGRAM AREA AND THE DEVELOPER SHALL MEET THE APPLICABLE PROVISIONS OF TRANSPORTATION MOBILITY ELEMENT POLICY 10-1-4  
2) THE TREE APPRAISED VALUE FTE IS \$1K AT THE TIME OF THE DEVELOPMENT ORDER IS ISSUED OR A SITE WORK PERMIT IS ISSUED.

1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT DUMP AREAS MUST BE SLOPED.
3. GC TO ENSURE THAT TRAFFIC THROUGH WAL-MART DRIVE IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS MAINTAINED AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MANAGE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRIERS, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGGING MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPAIRED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. DESIGN CONTROL MEASURES IMPLEMENTED AROUND THE WAL-MART DRIVE CURB AND PARKING LOT SHALL INCLUDE ONLY 54" BARS (OR WAL-MART PRE-APPROVED EQUALS) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPAIRED. CURB MET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE GLEYS OR PARKING LOT.
8. GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE GLEYS.

SITE DATA TABLE	
ADDRESS:	1800 NE 12 AVE
CITY:	GAINESVILLE
COUNTY:	ALACHUA
STATE:	FLORIDA
TOTAL SITE ACRES:	2.19 ACRES
LOT SIZE SQUARE FOOTAGE:	4,95,397 S.F.
EXISTING BUILDING COVERAGE:	N/A
EXISTING IMPERIALS:	N/A
EXISTING PERVIOUS:	96,292 S.F. = 100 X
PROPOSED BUILDING COVERAGE:	1,200 S.F.
PROPOSED DRIVEWAY COVERAGE:	5,562
PROPOSED PARKING, DRIVEWAY, & DRIVEWAY:	31,838 S.F.
TOTAL PROPOSED IMPERIALS:	38,602 S.F. = 40.16X
TOTAL PROPOSED PERVIOUS:	36,797 S.F. = 50.53X

- SITE DETAILS - SEE DETAIL SHEETS**
- 1A INTEGRAL CONCRETE CURB
  - 1B TYPE "B" CONCRETE CURB & OUTLET
  - 2E DUMPSTER ENCLOSURE
  - 3K CONCRETE SEPARALS
  - 3L GUARD POST (SHALL)
  - 5B TRAFFIC SIGN IN BOLLARD
  - 95 ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
  - 96 ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
  - 10A TRAFFIC FLOW ARROW (TYP.)
  - 10B STOP BAR (TYP.)
  - 12B BICYCLE BACK PER CITY OF GAINESVILLE STD DETAIL DRAWING B-9
  - 12C "STOP" SIGN
  - 13A SITE LIGHT POLE. SEE PHOTOGRAPHIC PLANS FOR POLE BASE DETAIL, FEATURE TYPE, AND MOUNTING DETAILS.
  - 13B BRICK SIDEWALK DETAIL PER CITY OF GAINESVILLE STD DETAIL DRAWING B-3
  - 13C MOTORCYCLE PARKING SIGN (TYP.)
  - 70C DISCRETE MARKING PER FLDOT STD DRAWING DETAIL NO. 17346
  - 730 BLACK DECORATIVE FENCE

LEGEND	
<b>EXISTING</b>	<ul style="list-style-type: none"> <li>EXISTING BUILDING</li> <li>LAND LOT LINE (LLI)</li> <li>PROPERTY LINE</li> <li>UTILITY POLE (UP), OVERHEAD LINES &amp; GUY</li> <li>FRESH SPAC CABLE</li> <li>TREE LINE</li> <li>SEWERY SEWER MANHOLE</li> <li>SEWERY CLEAN-OUT (SCO)</li> <li>TELEPHONE MANHOLE/PEDestal</li> <li>STORM DRAIN PIPE WITH HEADWALL</li> <li>DOUBLE-WING CATCH BASIN</li> <li>SINGLE-WING CATCH BASIN</li> <li>JUNCTION BOX (JB)</li> <li>DROP OR CURB INLET (DI OR CI)</li> <li>FENCE</li> <li>DRAINAGE DITCH OR SWALE</li> <li>EXISTING 10 FOOT CONTOUR</li> <li>EXISTING 2 FOOT CONTOUR</li> <li>EXISTING GRADE SPOT ELEVATION</li> <li>DIRECTION OF SURFACE FLOW</li> <li>RECORDED DATA</li> <li>PARKING SPACE COUNT</li> <li>LIGHT POLE (LP)</li> <li>ELECTRICAL TRANSFORMER BOX</li> <li>ELECTRICAL METER</li> <li>ELECTRICAL STUB OUT</li> <li>FIRE HYDRANT</li> </ul>
<b>PROPOSED</b>	<ul style="list-style-type: none"> <li>WATER VALVE</li> <li>GAS VALVE</li> <li>WATER METER</li> <li>GAS METER</li> <li>WELL</li> <li>MONITORING WELL</li> <li>POST INDICATOR VALVE</li> <li>MANHOLE</li> <li>STREET SIGN</li> <li>TRAFFIC SIGNAL POLE</li> <li>TRAFFIC SIGNAL BOX</li> <li>BACKFLOW PREVENTER</li> <li>FIRE DCP1 CONNECTION</li> <li>FIBER OPTIC BOX</li> <li>IRRIGATION CONTROL VALVE</li> <li>DRAINAGE MANHOLE</li> <li>RIGHT-OF-WAY</li> <li>REAR PIN FOUND</li> <li>OPEN TOP PIPE FOUND</li> <li>CONCRETE REINFORCEMENT FOUND</li> <li>BRASS BOX FOUND</li> <li>ABLE FOUND</li> <li>REAR PIN SET</li> <li>CONCRETE METAL PIPE</li> <li>REINFORCED CONC. PIPE</li> <li>HIGH-DENSITY POLYETHYLENE PIPE</li> </ul>
<b>GENERAL SITE NOTES</b>	<ul style="list-style-type: none"> <li>A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.</li> <li>B. ALL CURB RETURN RADIUS SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN UNLESS OTHERWISE NOTED.</li> <li>C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREIN: <ul style="list-style-type: none"> <li>ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1A</li> <li>PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.</li> <li>SEE ASSOCIATED PLANS FOR CHIMNEY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.</li> </ul> </li> <li>D. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BIRDS FOR RELOCATED LIGHT FIXTURES AND POLYMER OF ELECTRICAL SYSTEM AS SOON AS RELOCATION BEING. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.</li> <li>E. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MANAGE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRIERS, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGGING MAY BE ALSO NECESSARY.</li> <li>F. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPAIRED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.</li> <li>G. CONTRACTOR TO PROTECT EXISTING LANDSCAPE/VEGETATION MATERIALS.</li> <li>H. ALL SLOPES AND AREAS INTERFERED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL SHALL BE APPLIED IF AVAILABLE ON SITE. THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDING/SOILED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL MATURE GRASS DENSITY IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.</li> <li>I. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.</li> <li>J. CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BODIES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER DEVICES WHICH ARE PART OF THE SYSTEM. IF CHANGES THEY MUST BE REMOVED AT CONTRACTOR'S COST.</li> <li>K. THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR ORNAMENTAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.</li> <li>L. CONTRACTOR SHALL PURCHASE AND INSTALL A WALBLOC, AND SHALL COORDINATE LOCATION OF WALBLOC WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.</li> <li>M. ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.</li> </ul>

**PARCEL AREA**  
95,397 SQ. FT.  
2.19 ACRES

PARKING INFORMATION: MURPHY OIL					
DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED SPACES			
		RATIO	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
MURPHY OIL	1200	/1000 S.F.	4	5	1
STALL DIMENSIONS:		PROVIDED:			
90' 9" x 15'		RATIO	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
		/1000 S.F.	10.83	11	1
		TOTAL	13	1	1

- SITE NOTES**
- 2F DRILL (3) 3/4" x 5/8" DIA. HOLES (1) EACH FOR OPEN POSITION & CLOSED POSITION OF GATES. TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
  - 8B OVERHEAD CANOPY - (TYP. PER CANOPY PLANS)
  - 12A 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
  - 12B 4" WIDE MARKED STRIPES. 2" O.C. @ 45° (SEE SIZE COLOR INDICATED AT SYMBOL)
  - 12H 4" DOUBLE TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
  - 144 GC TO INSTALL (1) 4" PVC SLEEVE FOR PRODUCTION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
  - 14K GC TO INSTALL (2) 4" PVC SLEEVES FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
  - 18B MURPHY OIL MARKING SIGN PER APPROVED ELEVATION
  - 200 REPLACE/RESTORE SIGNING TO MATCH EXISTING
  - 21A TAPER CURB TO MATCH EXISTING CURB
  - 21B TAPER CURB FROM 8" TO 0" OVER 2'
  - 21C EDGE OF CONCRETE SLAB. PER MARK/PILING PLANS
  - 21E UNDERGROUNDING STAKE MARKS (1) 25,000 GAL-REGULAR, (1) BLOOD CAL-PREMIUM, (1) 10,000 GAL-DESEL, (1) BLOOD CAL-T-85
  - 21G AIR VACUUM UNIT WITH 4" x 7" CONCRETE SLAB
  - 21H ATM LOCATION FOR APPROVAL ONLY. LAST REQUIRES ADDITIONAL APPROVAL FROM WAL-MART. 5'x5' PAD BY OTHERS. SEE MARK & PILING PLANS SHEET C-1 FOR CONCRETE SIZE.
  - 21K MURPHY EXPRESS ID SIGN. PER APPROVED ELEVATION
  - 21L PRICE SIGN PER APPROVED ELEVATION
  - 21P 7" x 10" CONCRETE PAD FOR PREFERENCE TABLES
  - 21U 5' x 7' CONCRETE SLAB FOR ICE SHIRT. SEE NUMBER INDICATED AT SYMBOL.
  - 21V CONCRETE PAD FOR HOIST BEAMS. PER TIME & PILING PLANS
  - 31B LIMITS OF SHOULDER AND PAVEMENT REPAIR.

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**GreenbergFarrow**  
1800 NE 12 AVE  
GAINESVILLE, FL 32609  
TEL: 352.336.1100  
WWW.GREENBERGFARROW.COM

VACANT RESIDENTIAL LOT

RESIDENTIAL

VACANT RESIDENTIAL LOT

RESIDENTIAL

**Attachment “C”**

**May 26, 2016 Staff report presented to the City Plan Board.**



**TO:** City Plan Board

**Item Number: 3**

**FROM:** Planning & Development Services Department

**DATE:** May 26, 2016

**SUBJECT:** Petition PB-16-34 SUP: Greenberg Farrow, agent for Walmart Stores East, owner. A Special use permit with an intermediate development plan to allow for the construction of a gas station with convenience store. Zoned: MU-2 (12—30 units/acre mixed use medium intensity). Located at 1800 NE 12th Avenue.

### Recommendation

Staff recommends approval of Petition PB-16-34 SUP with conditions and the development plan.





## **Description**

This petition addresses a request to grant a special use permit at the above referenced site to allow construction of a gasoline station with 12 fueling positions and a retail/convenience store. Per the Comprehensive Plan and Policy 10.4.9 of the Transportation Mobility Element gasoline service stations with more than six fueling positions must meet a specific set of conditions with final approval by the City Commission.

The project site is located at 1800 NE 12<sup>th</sup> Avenue on 2.02 acres; this parcel was created as part of a Minor Subdivision of Tax Parcel 10859-010-003. The site has a land use designation of Mixed use Medium (MUM) and a zoning of MU-2 (Mixed use medium intensity 12-30 units per acre). The property is located in the northeast part of Gainesville, north of NE 8<sup>th</sup> Avenue and west of Waldo Road. The property sits on the south side of NE 12<sup>th</sup> Avenue opposite the Walmart Super Center. It is surrounded by residential development to the east and south. The parcel immediately to the west is improved with a transmitter tower, with most of the site being vacant along Waldo Road.

The development proposal includes a site plan showing the layout of the development with a free-standing building of approximately 1,200 square feet fronting NE 12<sup>th</sup> Avenue. Immediately south of the building is a 3,744 square foot gas canopy with 12 fueling positions. A small parking area consisting of 13 parking spaces sits between the retail building and the gas canopy. Other features of the site include sidewalks surrounding the property, landscaping with screening from the adjacent church and residential development to the south. The vehicular use area for the site allows internal circulation with two access points onto NE 12<sup>th</sup> Avenue connecting to the general road network. Stormwater management is accommodated within a pre-designed basin for the overall Walmart development.

The project is seeking a general Special Use Permit and a Transportation Mobility Program Area (TMPA) Special Use Permit with preliminary and final development plan approval.

## **Key Issues**

The issues pertaining to this development and its request for a Special Use permit and TMPA Special Use Permit are as follows:

1. The parcel is not located within the Wellfield Protection Zone but it is within 300 feet of the Tertiary Zone; the underground storage tanks are 390 feet from the Tertiary Zone.
2. The development includes the use of underground storage of gasoline which is a hazardous material.
3. The parcel is located between an established residential neighborhood and a frequently used Wal-Mart department store.
4. The vacant parcel is currently traversed by pedestrian routes that link the residential area to the Walmart retail establishment and a bus stop along NE 12<sup>th</sup> Avenue.
5. The current proposal is to operate the station 24 hours per day.
6. There is a large wet detention area located immediately west of the property.

## **Basis for Recommendation**

Staff's recommendation is based on the criteria for issuing a Special Use Permit as stated in the land development code Section 30-233 and the requirements of the Transportation Mobility Program Area, Policy 10.4.9 of the Comprehensive Plan.

**Special Use Permit Criteria**

In accordance Section 30-233 no special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

- 1. That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.***

The proposed development is in conformance with the land use designation of Mixed-Use Medium and the proposed uses are consistent with the MU-2 zoning district. The development has been subject to development plan review which ensures compliance with required development standards. The attached comments and conditions of the Technical Review Committee are included to ensure that areas of potential deficiencies are addressed. The project is also subject to the appropriate Federal, State and local agency regulations. Alachua County Environmental Protection Department has provided documentation confirming its intent to approve the development.

- 2. That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.***

The proposed development is in the MU-2 zoning district which is generally characterized as a mixed-use medium intensity district established for the purpose of providing a mix of employment, retail, professional, service and residential uses in medium level activity centers. It is also consistent with several of the listed objectives of the MU-2 district (See Attachment "D").

While the placement of the development within the MU-2 zoning district is consistent and compatible with the zoning, its relationship to the major road network and surrounding developments is atypical of the relationship generally associated with the location of gasoline stations. The development is well removed from the major arterials and major intersections where such uses are typically established. The development is on a local street leading to a relatively small and low density residential neighborhood; it is approximately 925 feet from Waldo Road (SR-24), a major north/south transportation corridor through the City. The development has a common boundary with an established residential neighborhood to the south.

Placement of the development is strongly influenced by the existence and location of the Walmart Super Center retail business and is intended to capture the patrons of that center.

The local community may benefit from both components of the development, the convenience store and gasoline service station. Nonetheless, care must be exercised in the placement, design and operation of the facility to ensure compatibility with surrounding developments, particularly the residential areas. The Technical Review Committee has therefore paid close attention to some of the key design features that would facilitate a compatible and harmonious coexistence of the proposed development with the surrounding neighborhoods. One notable features of the existing vacant site is the natural north/south imprint of pedestrian activity across the site. That feature has been retained in the proposed development by creating north/south pedestrian sidewalks on both the east and west sides of the development; one leads to the Walmart retail center and the other leads to the local bus stop on NE 12<sup>th</sup> Avenue. Those sidewalks will be a minimum five-foot wide with pedestrian lighting and will be connected to the east west sidewalks along NE 10<sup>th</sup> and 12<sup>th</sup> Avenues.

A buffer of landscaping materials is provided along the south and east sides of the property to screen the development from the adjacent church and residential areas. No direct vehicular access is provided from the proposed development to NE 10<sup>th</sup> Avenue; this will prevent the occurrence of non-relevant traffic into the residential neighborhoods. Through the review of a photometric plan for the development, care has been taken to ensure that adequate lighting is provided to the site in a manner that prevents light intrusion and glare into the residential areas. To the west of the site, there is an unprotected deep water body that creates a potential danger to pedestrians or patrons using the site. A minimum, six-foot high fence shall be erected along the west property boundary to avoid unintended access to that body of water. The development is proposing a 24 hour operation of the facility. Due to the proximity of the site to the residential development to the south, staff recommends operating hours of 5:00 AM to 11:00 PM in order to be less intrusive to the neighborhood.

***Condition 1. A minimum five-foot wide sidewalk shall be provided on both the east and west sides of the development and along the south boundary parallel to NE 10<sup>th</sup> Avenue. The sidewalks shall be lit in accordance with the lighting regulations for security lighting along pedestrian routes.***

***Condition 2. A nine-foot wide buffer with screening vegetation shall be provided along the east common boundary with the church and along the south boundary of the property parallel to NE 10<sup>th</sup> Avenue.***

***Condition 3. No motor vehicular access shall be allowed from the development to NE 10<sup>th</sup> Avenue.***

***Condition 4. The photometric plan shall ensure that lighting complies with the requirements of the Land Development Code. Consideration of any waivers shall not allow lighting intrusion and spillover lighting into the adjacent neighborhoods. All light fixtures shall be designed and placed so that there is no direct lighting into the adjacent neighborhoods.***

***Condition 5. The western perimeter of the site shall be protected with a minimum six-foot fence to ensure a safe relationship between the development and the pond on the west side of the development; the preferred fence is an aluminum wrought-iron type fencing with vegetation.***

***Condition 6. The operating hours of the facility shall be from 5:00 am to 11:00pm.***

- 3. That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.***

The project has been reviewed by the Technical Review Committee and a determination has been made that the necessary public utilities are available to service the demands of the site. Potable water, sewer and wastewater systems are in place to provide adequate services. Although the demands for the new development may vary, the existing site is currently served by electric, gas, water, and sanitary sewer at a capacity which is adequate to serve the needs of the facility. GRU has recommended approval and indicates that there is adequate capacity to serve future needs as demand changes.

***4. That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.***

The proposed development is located on the south side of NE 12<sup>th</sup> Avenue, approximately 500 feet west of NE 19<sup>th</sup> Street, which is a two-lane local road that connects NE 12<sup>th</sup> and NE 8<sup>th</sup> Avenues. Both roadways provide access to nearby local street networks as well as links to surrounding neighborhoods and communities. Both routes have adequate capacity to accommodate traffic associated with the development. The development is located in Zone A of the TMPA and must meet all requirements as stated in the Transportation Mobility Program Area Element of the Comprehensive Plan.

***5. That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.***

The proposed development satisfies the general landscaping and screening requirement per the Land Development Code; this is reflected in the proposed landscaping plan depicted in Attachment "B". Additional landscaping is proposed along the south and south east boundaries of the property adjacent to the church and the residential developments.

***6. That the use or development conforms to the general plans of the city as embodied in the city comprehensive plan.***

The property is zoned MU-2 which is consistent with the land use designation of Mixed Use Medium Intensity. The uses proposed for the property are uses allowed by right in the MU-2 zoning district, except that twelve fueling stations are allowed by special use permit per the Comprehensive Plan. The proposed uses and development are therefore consistent with the intent of the Future Land Use Element of the Comprehensive Plan.

The project can be considered as an infill development which is supported by Policy 2.1.1 of the Future Land Use Element of the Comprehensive Plan. The development can be described as a compact development which is supported by Objectives 1.5 and 2.1 of the comprehensive plan. It is also developed within close proximity to the urban core thus discouraging urban sprawl and promoting transportation choices. The development is consistent with Policy 1.2.5 in the manner in which it addresses the needs of local pedestrians through the implementation of several sidewalk routes connecting residential neighborhoods to frequently used surrounding neighborhood activity centers. The development has the potential of stimulating additional development and enhancing economic opportunities within the neighborhood; this is consistent with Policy 2.1.1 which seeks to encourage neighborhood enhancement and stabilization. Although the development is not in the Wellfield Protection Zone, care has been taken to ensure that the development is in compliance with the Alachua County Hazardous Material Code thus supporting the quality of life criteria of the Comprehensive Plan

***7. That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.***

The development shall meet all level of service requirements. Based on the above analysis, staff has determined that the information provided is sufficient to justify compliance with the criteria for issuing the special use permit. The development has been issued a Certificate of Preliminary and Final Concurrency subject to meeting the TMPA requirements as listed in the TRC comments.

***Condition 7. The applicant shall be required to comply with all requirements of the Technical Review Committee as included in Attachment "A".***

***Condition 8. The layout and design of fueling positions shall ensure that pumps are positioned to serve only two vehicles at a time at each pump station.***

### **Comprehensive Plan, Transportation Mobility Plan Areas (TMPA), Policy 10.4.9**

The Comprehensive Plan allows a maximum of six fueling positions within all zoning districts except industrial zoning (no limitation), and a maximum of 12 fueling positions by Special Use Permit with final approval of the City Commission.

***Due to the location of the property within the TMPA, petroleum sales with or without sale of convenience goods and/or food are required to demonstrate compliance with Concurrency Management Element Policy 10.4.9 and associated criteria as referenced in Exhibit "D".***

The development addresses the requirements for pedestrian/bicycle access and circulation. Sidewalks are provided along NE 12<sup>th</sup> and NE 10<sup>th</sup> Avenues with connections to the interior site facilities. One pedestrian crosswalk is shown on the development but a condition is included to address the full requirements of the intersection. The number and width of driveways will be modified to satisfy requirements of the Land Development Code.

***Condition 9. The applicant shall submit a design for a pedestrian crosswalk at the intersection of NE 12<sup>th</sup> Avenue and the main entrance to the Walmart development near the proposed development. A refuge area within the median of NE 12<sup>th</sup> Avenue shall be provided if approved by Public Works. The crosswalk shall be constructed by the developer per the specifications approved by Public Works.***

### **Policy 10.4.9 Criteria**

The development is located within the MU-2 zoning district and is allowed six fueling positions but is allowed consideration of up to twelve positions through the special use permitting process. The development is proposing twelve fueling positions in accordance with the following criteria:

- a. The size of the site can safely accommodate the additional fueling positions while meeting all required landscaping, buffering, and other Land Development Code requirements;***

The property is approximately 2.02 acres and is designed to safely accommodate required access, turning movements for large suppliers and the necessary separation of facilities on the site. The development complies with all landscaping and buffering requirements and all code requirements have been addressed.

***b. Site access and traffic safety conditions on adjacent roadways and intersections are not compromised by the additional trips generated by the additional fueling positions;***

Access to the site has been modified to address safety and efficient traffic circulation. Staff has determined that the proposed improvements with twelve fueling positions will not compromise the efficiency and safety of adjacent roadways.

***c. Pedestrian/bicycle safety and comfort in the area are not compromised by the additional trips generated by the additional fueling positions;***

Due to the site design, implementation of additional sidewalks, limited access points and pedestrian crosswalks, the additional fueling positions will not compromise pedestrian/bicycle safety in the area.

***d. The architectural and site design are of such high quality that they enhance the site area and promote the City's multi-modal and design goals.***

The site design is in compliance with the Land Development Code. The building placement and elevations are consistent with the build-to line and glazing requirements. The building is oriented with its primary entrance facing the more primary street, NE 12<sup>th</sup> Avenue. The southern building façade is well removed from the secondary street and presents a façade that contains an entrance with glazing. The architectural design and building materials present an attractive façade along NE 12<sup>th</sup> Avenue.

***e. Cross-access or joint driveway usage is provided to other adjacent developments.***

There are no adjacent developments requiring a common access with the proposed development. The parcels to the east and west are used as stormwater basins and the development to the south is a residential area to which pedestrian access is provided. The potential for future connection is available if necessary.

***f. Retail convenience goods sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site is encouraged:***

The development includes a 1,200 square foot retail convenience store which meets the following requirements.

1. The building is within 30 feet of the back of the sidewalk with no intervening driveways.
2. The front building façade along NE 12<sup>th</sup> Avenue shall be required to meet the 30% glazing requirement.
3. A pedestrian entry to the building is provided via a sidewalk which runs from the public sidewalk into the main building. Sidewalks are also provided to facilitate pedestrian circulation to and through the property.
4. All off-street parking is located to the rear of the building.
5. The building height and elevations are appropriate for the site. The building is a one-story building. The elevations and building materials are attractive and the building colors are neutral and meet the City's Advisory Color Guidelines.

## Summary

The development is in compliance with the development standards of the MU-2 zoning district as well as parking, access, landscaping and buffers requirements. The development must meet State and Regional requirements related to air emissions, surface and groundwater emission, noise, truck traffic, odor and glare. Based on the above analysis, staff has determined that the information provided is sufficient to justify compliance with the criteria for issuing the TMPA Special Use Permit and the general Special Use permit.

## Special Use Permit Conditions

***Condition 1. A minimum five-foot wide sidewalk shall be provided on both the east and west sides of the development and along the south boundary parallel to NE 10<sup>th</sup> Avenue. The sidewalks shall be lit in accordance with the lighting regulations for security lighting along pedestrian routes.***

***Condition 2. A nine-foot wide buffer with screening vegetation shall be provided along the west common boundary with the church and along the south boundary of the property parallel to NE 10<sup>th</sup> Avenue.***

***Condition 3. No motor vehicular access shall be allowed from the development to NE 10<sup>th</sup> Avenue.***

***Condition 4. The photometric plan shall ensure that lighting complies with the requirements of the Land Development Code. Consideration of any waivers shall not allow lighting intrusion and spillover lighting into the adjacent neighborhoods. All light fixtures shall be designed and placed so that there is no direct lighting into the adjacent neighborhoods.***

***Condition 5. The western perimeter of the site shall be protected with a minimum six-foot fence to ensure a safe relationship between the development and the pond on the west side of the development; the preferred fence is an aluminum wrought-iron type fencing with vegetation.***

***Condition 6. The operating hours of the facility shall be from 5:00 am to 11:00pm.***

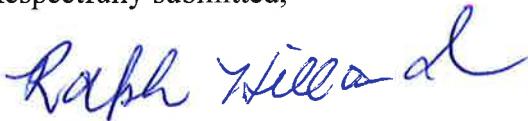
***Condition 7. The applicant shall be required to comply with all requirements of the Technical Review Committee as included in Attachment "A".***

***Condition 8. The layout and design of fueling positions shall ensure that pumps are positioned to serve only two vehicles at a time at each pump station.***



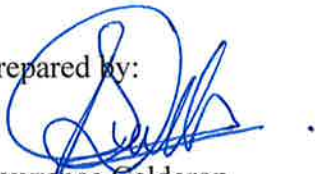
***Condition 9. The applicant shall submit a design for a pedestrian crosswalk at the intersection of NE 12<sup>th</sup> Avenue and the main entrance to the Wal-Mart development near the proposed development. A refuge area within the Median of NE 12<sup>th</sup> Avenue shall be provided if approved by Public Works. The crosswalk shall be constructed by the developer per the specifications approved by Public Works.***

Respectfully submitted,



Ralph Hilliard  
Planning Manager

Prepared by:



Lawrence Calderon  
Lead Planner

**List of Exhibits**

- Attachment A: Technical Review Committee Comments**
- Attachment B: Development Plans & Maps**
- Attachment C: Application and Neighborhood Workshop Information**
- Attachment D: Comprehensive Plan and Land Development Code References.**

# Attachment "A"

## TECHNICAL REVIEW COMMITTEE COMMENTS

PLANNING & DEVELOPMENT SERVICES DIVISION  
 THOMAS CENTER BUILDING "B"  
 306 NE 6<sup>TH</sup> AVENUE (352)334-5023

<b>PETITION NO.</b> <b>PB-16-34 SUP</b>	<b>DATE PLAN RECEIVED:</b> 04/19/2016	<b>REVIEW TYPE:</b> <input checked="" type="checkbox"/> Prelim Dev <input checked="" type="checkbox"/> Final Dev <input type="checkbox"/> Amendment <input type="checkbox"/> Special Use <input type="checkbox"/> Planned Dev <input type="checkbox"/> Design Plat <input type="checkbox"/> Concept <input type="checkbox"/> Minor Dev. <input type="checkbox"/> Minor Sub. <input type="checkbox"/> Street Vacation <input type="checkbox"/> Other: Land Use
<b>REVIEWING BODY:</b> Technical Review Cmt.	<b>REVIEW DATE:</b> 05/02/2016	
	<b>REVIEW LEVEL:</b> N/A	
<b>PROJECT DESCRIPTION:</b> <u>Petition PB-16-34 SUP</u> Greenberg Farrow (John Vecchio, P.E.) agent for Walmart Stores East, owner. A special use permit with an intermediate development plan to allow for the construction of a gas station with convenience store. Zoned: MU-2 (12—30 units/acre mixed use medium intensity). Located at 1800 NE 12th Avenue. <b>(Lawrence)</b>		<b>PROJECT PLANNER:</b> Lawrence Calderon
<b>PROJECT LOCATION:</b> Located at 1800 NE 12th Avenue.	<b>PROPERTY AGENT:</b> Greenberg Farrow (John Vecchio, P.E.) .	

### RECOMMENDATIONS/REQUIREMENTS/COMMENT

**Planning Comments: Approvable subject to comments.**  
**Lawrence Calderon, Lead Planner,**  
**352-334-5023 May 26, 2016**

1. Some concerns about the development center around its close proximity to a residential area to the south. Concerns are about pedestrian and automobile access, pedestrian facilities, buffering, noise, odor and safety.
2. The hours of operation shall be 5:00am to 11:00 pm.
3. Please show lots existing on the south side of the property along NE 10<sup>th</sup> Avenue.

## *TRC COMMENTS*

(CONTINUED)

4. The sidewalk on the east side of the property serves as an excellent pedestrian access to the Wal-Mart stores; a similar pedestrian access is required on the west side of the property to connect to the bus stop on NE 12<sup>th</sup> Avenue.
5. The code requires the following:
  - a. Lighting shall be automatically extinguished no later than one hour after the close of business or facility operation and/or use by the public
6. I see the elevations contain glazing with some "Faux Windows"; could not see how the elevation meets the required glazing. Glazing provided must meet the description per the code.
7. It appears that the landscaping provided along the exterior of the vehicular use area may create a safety concern because of its height. Staff recommends a species that would be shorter and provide less screening.
8. There is a water body on the west side of the property that appears to be very deep and unprotected; a secured fence, preferably aluminum wrought-iron type fencing with vegetation, shall be provided.

### **Fire and Life Safety Services (Approvable) Steve Hesson, Fire Inspector, 334-5065**

GRU Comments (Waiting for comments as of 5-19-2016.)

Neal Beery, GRU New Services, 352-393-1413, [newservices@gru.com](mailto:newservices@gru.com)

GRU comments are being provided to the applicant in the form of redline markups of the plans.

Real Estate: (Not Approved)

No Comments

Water/WasterWater: (Not Approved)

No Comments

Electric: (Approved)

No Comments

GRUCom: (Approved)

No Comments

GRU GAS: (Approved)

No Comments

**Environmental Comments: No Comments**  
**John Hendrix, Environmental Coordinator**  
**E-mail: [hendrixjw@cityofgainesville.org](mailto:hendrixjw@cityofgainesville.org); Phone: 352-393-8**

**Concurrency Comments (Approvable subject to below)**  
**Jason Simmons, Concurrency Planning, 334-5022**

## *TRC COMMENTS*

(CONTINUED)

1. Please add the trip generation numbers for the gas station onto sheet C-1 and site the traffic study for the Walmart as the source.

**Building Department Comment: No comments**  
**Linda Patrick, Plans Examiner (PX934), 334-5050**  
**patricklr@cityofgainesville.org**

**Urban Forestry Comments (Approvable with Conditions)**  
**Earline Luhrman, Urban Forestry Inspector, 393-8188**

4/29/16

1. Please replace the Red Maple trees with Florida Maple trees.

**Public Works Department Comments (APPROVABLE - Subject to Comments)**  
**Erika Morin, GIS Intern, 393-8483, morinek@cityofgainesville.org**

Public Works Review (Approvable subject to comments)

Roadway and Site Design:

1. The proposed crosswalk on NE 12th Ave. is considered an unsignalized pedestrian crosswalk per the MUTCD and must be signed per the criteria stated in the MUTCD.

Stormwater Management:

1 - The stormwater management facility is a wet detention system. The retention volume would be the volume retained between the permanent pool volume elevation and the lowest discharge elevation. Please correct the appropriate values on the cover sheet.

**Hazardous Materials - ACEPD (See attached comments)**  
**Agustin Olmos, Water Resources Supervisor, PE, 264-6800**

**GPD Crime Prevention Unit Comments:**  
**Dr. Richard Schneider, Title: 334-2385;**  
**GPD Crime Prevention Unit Comments**

Light levels very high under and adjacent to the canopy -- could create a light island and eye adjustment issues. GPD is reviewing the options of pedestrian or vehicular access to the station and convenience store from NE 10th Avenue.

**Attachment “B”**

**Development Plan and Associated Maps**



# SITE DEVELOPMENT PLANS FOR MURPHY OIL USA, INC. GAINESVILLE, FLORIDA

## 1800 NE 12TH AVE (WALMART SUPERCENTER# 3877)

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



### GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- WARRANTY/DISCLAIMER:**  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- CONSTRUCTION AND INSTALLATION OF 1200 S.F. C-STORE, ALL UTILITY ENTRANCES, (1)25,000 GAL-REGULAR, (1)8,000 GAL-PREMIUM, (1)10,000 GAL-DIESEL, AND (1)8,000 GAL-E-85 UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- CONTRACTOR IS NOT TO START WORK UNTIL MURPHY OIL USA HAS RECEIVED WRITTEN AUTHORIZATION FROM WAL-MART AND WAL-MART STORE #3877 MANAGER HAS BEEN CONSULTED FOR SCHEDULING AND COORDINATION.
- THE GENERAL CONTRACTOR TO FIELD COORDINATE THE CANOPY SIGN LOCATION WITH MURPHY'S CONSTRUCTION SUPERVISOR.

### NOTES TO CONTRACTOR

- THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD INFORMED OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FROM THE ISSUING AUTHORITY.
- IF AN AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE OBTAINING THE AS-BUILT SURVEY, PREPARED BY A LICENSED SURVEYOR, AND SUBMITTING THE AS-BUILT SURVEY TO ISSUING AUTHORITY AND THE ENGINEER OF RECORD.

### WETLANDS NOTE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

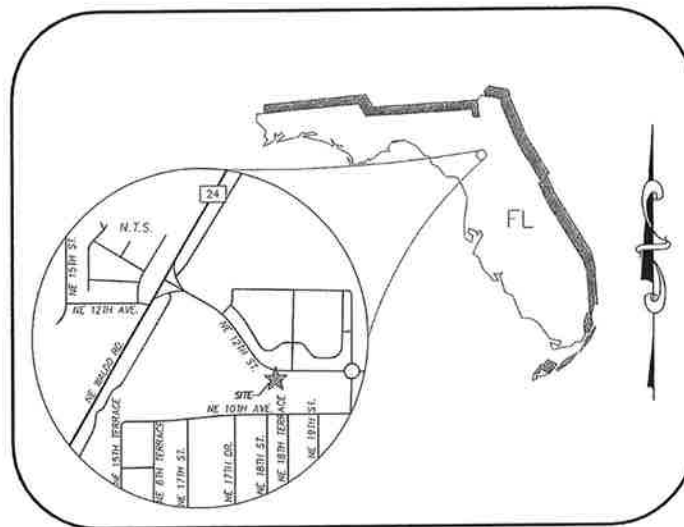
### FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 12001C0316D, COMMUNITY PANEL NUMBER 0316 DATED 06/16/2006.

### NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (870) 881-6786 SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

- The development shall comply with the Florida Fire Prevention code and protection code, [Gainesville Fire Prevention Code Section 10-5(a) & (b)]
- Fire hydrants and stabilized surfaces shall be in service prior to the accumulation of combustibles on site. [Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-16.4.3)]
- In the Building Public Safety Radio Enhancement Systems shall be provided in all buildings where minimum radio signal strength for fire department communications is not achieved at a level determined by the AHJ. It is highly recommended that developers evaluate and address the potential need for IBPRES at the early stages of project planning. For additional specific requirements pertaining to signal strength, [Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-11.1.0)]
- The owner or the owner's authorized agent shall develop a fire safety program to address all essential fire and life safety requirements for the duration of demolition, alteration and construction. As specified in the Florida Fire Prevention Code, including NFPA 241, the fire safety program shall include an emergency response plan, as well as identifying fire prevention precautions, site and building emergency access routes, temporary and permanent water supplies, building egress routes, good housekeeping practices, and fire protection system installation and maintenance. Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-16)



Vicinity Map  
NOT TO SCALE

### PLAN INDEX:

#### ENGINEER (CIVIL)

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C-3	GRADING PLAN
C-3-1	STORM DRAINAGE PLAN
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C-4-1	EROSION CONTROL PLAN PHASE 2
C-4-2	EROSION CONTROL DETAILS
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C-6	UTILITY PLAN
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FS-2	SPECIFICATIONS
FS-3	SPECIFICATIONS
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A2	EGRESS/ACCESSIBILITY FLOOR PLAN
S1	STRUCTURAL GENERAL NOTES
E1	EXTERIOR ELEVATIONS
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E10	FLOOR FINISH PLAN
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S1	STRUCTURAL GENERAL NOTES
E1	FRAMING PLAN
E2	ELEVATIONS
E3	LIGHTING AND SOFFIT PLAN
E4	SECTION
E5	SECTION
E6	SECTION
F1	FOUNDATION PLAN

# GreenbergFarrow

CONTACT: JOHN VECCHIO, P.E.  
1430 WEST PEACHTREE ST. NW, STE. 200  
ATLANTA, GEORGIA 30309  
(404) 601-4000

### RESOURCE LIST:

#### PLANNING AND ZONING

CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### BUILDING

CONTACT: NANCY TESTA  
CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### ENGINEER

CONTACT: MALONE VINCENT  
GRU,  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3434

#### STORMWATER

CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### FIRE PREVENTION

CONTACT: JOHN LAKE  
CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### WATER AND SEWER

GRU WATER & SEWER  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3434

#### ELECTRIC

GRU ELECTRIC CO.  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3434

#### GEOTECH

UNITED CONSULTING, INC.  
625 HOLCOMB BRIDGE ROAD  
NORCROSS, GEORGIA 30071  
PHONE: (770) 209-0029

#### TELEPHONE

AT&T  
CONTACT: STUART NOLEN  
PHONE: (352) 371-5278

#### MURPHY

CONTACT: BASSAM ZIADA  
422 N. WASHINGTON  
EL DORADO, AR 71780  
PHONE: (870) 875-7636

ELECTRICAL DESIGN PROVIDED BY  
GRU ENERGY DELIVERY

THIS SITE IS NOT IN AN HISTORICAL  
PRESERVATION DISTRICT.

THIS SITE AND BUILDING COMPLIES  
WITH THE STATE OF FLORIDA CODES  
AND ACCESSIBILITY STANDARDS.

### AGENCY

### DATE

PLANNING & ZONING	_____
STORMWATER	_____
BUILDING	_____
NPDES	_____
WAL-MART	_____

BASED ON A DRAWING BY:  
BASED ON A DRAWING BY:  
CPH  
SANFORD, FLORIDA  
PHONE: (407) 322-6841  
FAX: (407) 330-0639  
DRAWING DATE 08-24-2006

BASED ON A SURVEY BY:  
BECHTLER GREENFIELD  
SOUTHEAST, LLLP  
1430 WEST PEACHTREE ST NW,  
SUITE 225  
ATLANTA, GEORGIA 30309  
PHONE: (770) 422-8181  
FAX: (770) 422-8101  
SEPTEMBER 10, 2015

REVISION	DATE	DESCRIPTION
REV-0	12-08-15	PRELIMINARY REVIEW SET
REV-1	02-26-16	SUP & GRU SUBMITTAL
REV-2	04-18-16	2ND SUP & GRU SUBMITTAL



APR 18 2016

JOB NO: 20150870.0

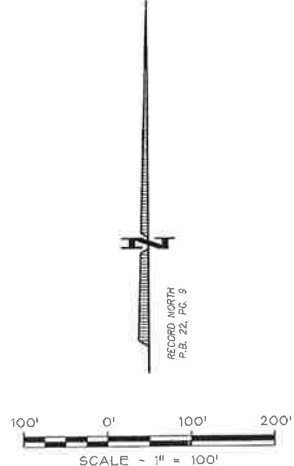
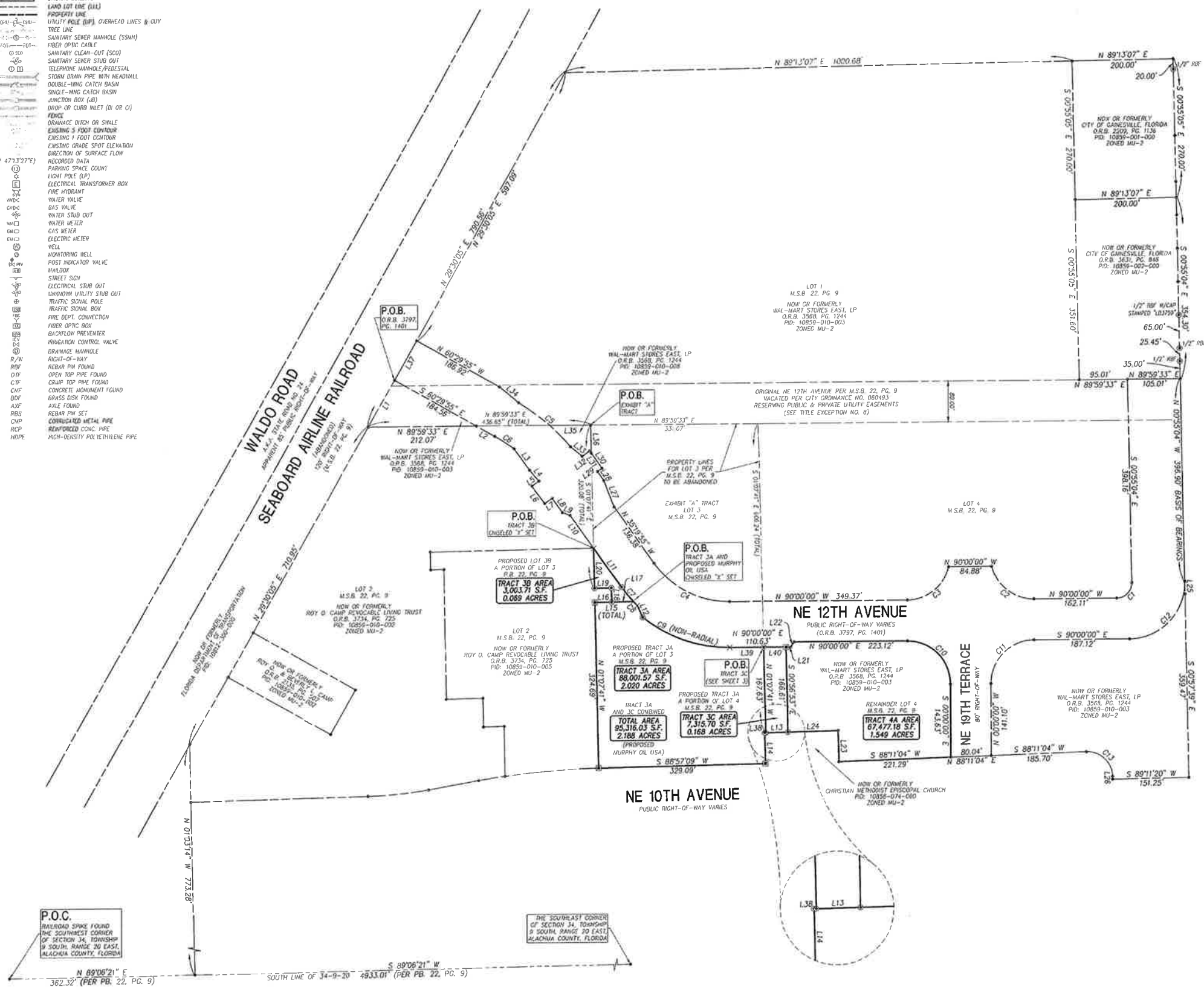
DATE: 04-18-16 SHEET NO.

REV-2 C-0

**LEGEND**

- EXISTING BUILDING
- LAND LOT LINE (ALL)
- PROPERTY LINE
- UTILITY POLE (HP) OVERHEAD LINES & OUT TREE LINE
- SANITARY SEWER MANHOLE (SSMH)
- FIBER OPTIC CABLE
- SANITARY CLEAN-OUT (SCO)
- SANITARY SEWER STUB OUT
- TELEPHONE MANHOLE/PEDESTAL
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WING CATCH BASIN
- SINGLE-WING CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SHALE
- EXISTING 3 FOOT CURB/POUR
- EXISTING 1 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- WATER STUB OUT
- WATER METER
- GAS METER
- ELECTRIC METER
- WELL
- MONITORING WELL
- POST INDICATOR VALVE
- MANHOLE
- STREET SIGN
- ELECTRICAL STUB OUT
- UNKNOWN UTILITY STUB OUT
- TRAFFIC SIGNAL BOX
- FIRE DEPT. CONNECTION
- FIBER OPTIC BOX
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- DRAINAGE MANHOLE
- RIGHT-OF-WAY
- REBAR PIN FOUND
- OPEN TOP PIPE FOUND
- GROUP TOP PIPE FOUND
- CONCRETE MONUMENT FOUND
- BRASS DISK FOUND
- AXLE FOUND
- REBAR PIN SET
- CORRUGATED METAL PIPE
- REINFORCED CONC. PIPE
- CWP
- RCP
- HOPE

(N 473°27'27")



**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 20°30'05" E	104.47
L2	S 60°29'55" E	44.81
L3	S 34°17'29" E	52.74
L4	S 40°14'12" E	28.31
L5	S 54°40'05" W	16.25
L6	S 35°19'50" E	42.00
L7	N 54°30'05" E	18.00
L8	S 35°19'50" E	34.66
L9	S 89°25'24" E	15.08
L10	S 35°19'50" E	79.37
L11	S 35°19'50" E	94.48
L12	S 29°17'10" E	25.31
L13	S 88°49'13" W	43.51
L14	S 01°17'19" E	60.39
L15	N 89°56'21" E	70.17
L16	N 59°59'11" E	33.71
L17	S 89°00'21" W	42.91
L18	N 00°53'39" W	27.86
L19	S 89°56'21" W	33.25
L20	N 01°07'41" W	106.72
L21	N 90°00'00" E	9.11
L22	N 33°01'26" E	11.93
L23	N 07°18'56" W	61.24
L24	S 88°29'11" W	98.40
L25	S 00°55'01" E	25.08
L26	N 01°59'12" W	5.20
L27	N 71°01'31" W	55.31
L28	N 35°29'53" W	71.88
L29	N 54°06'35" W	11.09
L30	N 55°19'55" W	36.51
L31	N 55°19'55" W	42.00
L32	S 54°49'05" W	18.27
L33	N 50°18'53" W	29.44
L34	N 49°45'59" W	48.02
L35	N 89°59'33" E	80.31
L36	S 01°07'41" E	54.24
L37	S 29°20'05" W	89.09
L38	S 88°40'13" W	2.09
L39	N 90°00'00" E	86.59
L40	N 90°00'00" E	44.04

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	30.00'	47.60'	S 41°32'29" W	42.20'
C2	43.00'	11.19'	N 41°52'24" E	104.94'
C3	35.00'	115.10'	S 51°52'56" W	104.94'
C4	182.00'	173.65'	N 82°39'58" W	187.14'
C5	358.00'	174.37'	N 49°37'46" W	133.73'
C6	316.00'	44.58'	S 82°27'31" E	44.53'
C7	263.00'	37.16'	S 39°23'53" E	37.15'
C8	262.00'	11.42'	S 44°42'44" E	11.42'
C9	272.00'	185.53'	S 70°28'32" E	181.81'
C10	85.00'	133.59'	S 43°00'00" E	120.31'
C11	85.00'	133.52'	N 43°00'00" E	120.21'
C12	110.00'	174.55'	N 44°32'28" E	156.00'
C13	50.00'	29.12'	N 45°29'08" W	71.12'

Bechtler Greenfield Southeast, LLP  
 1430 West Peachtree St. NW, Suite 225  
 Atlanta, GA 30309  
 Phone: (770) 422-8181  
 Fax: (770) 422-8101  
 Email: info@gsurveying.com



2-22-16  
 STATE OF FLORIDA  
 SURVEYING BOARD

DRAWING SCALE: 1" = 100.00 FT.  
 DATE: 02-22-16  
 PROJECT: 15-148-0  
 SHEET NO.: S-2  
 CHECKED BY: [Signature]  
 DRAWN BY: [Signature]  
 DATE: 02-22-16  
 REVISIONS:  
 1. 02-22-16 RECOMPUTED LOT DATA  
 2. 02-22-16 UPDATED TITLE COMMENTS  
 3. 04-09-16 COUNTY COMMENTS

**PROPOSED 2.188 ACRES  
 LOTS 3 & 4 ~ P.B. 22, PG. 9  
 GAINESVILLE, FL 32641**  
 S.W. 1/4 OF SECTION 34 - TOWNSHIP 9 SOUTH - RANGE 20 EAST  
 CITY OF GAINESVILLE - ALACHUA COUNTY - FLORIDA

BOUNDARY, TOPOGRAPHIC AND ALTA/ACSM LAND TITLE SURVEY  
 FOR  
**PROPOSED MINOR SUBDIVISION  
 OF LOTS 3 AND 4  
 OF MINOR SUBDIVISION BK. 22, PG. 9**

PROJECT NO.  
**15-148-0**  
 DRAWING FILE:  
 15-148-0 SURVEY.DWG  
 SHEET NO.  
**S-2**  
 2 OF 3

1200SF-6-2015v2

SHEET NO.

C-1

REGISTERED PROFESSIONAL ENGINEER

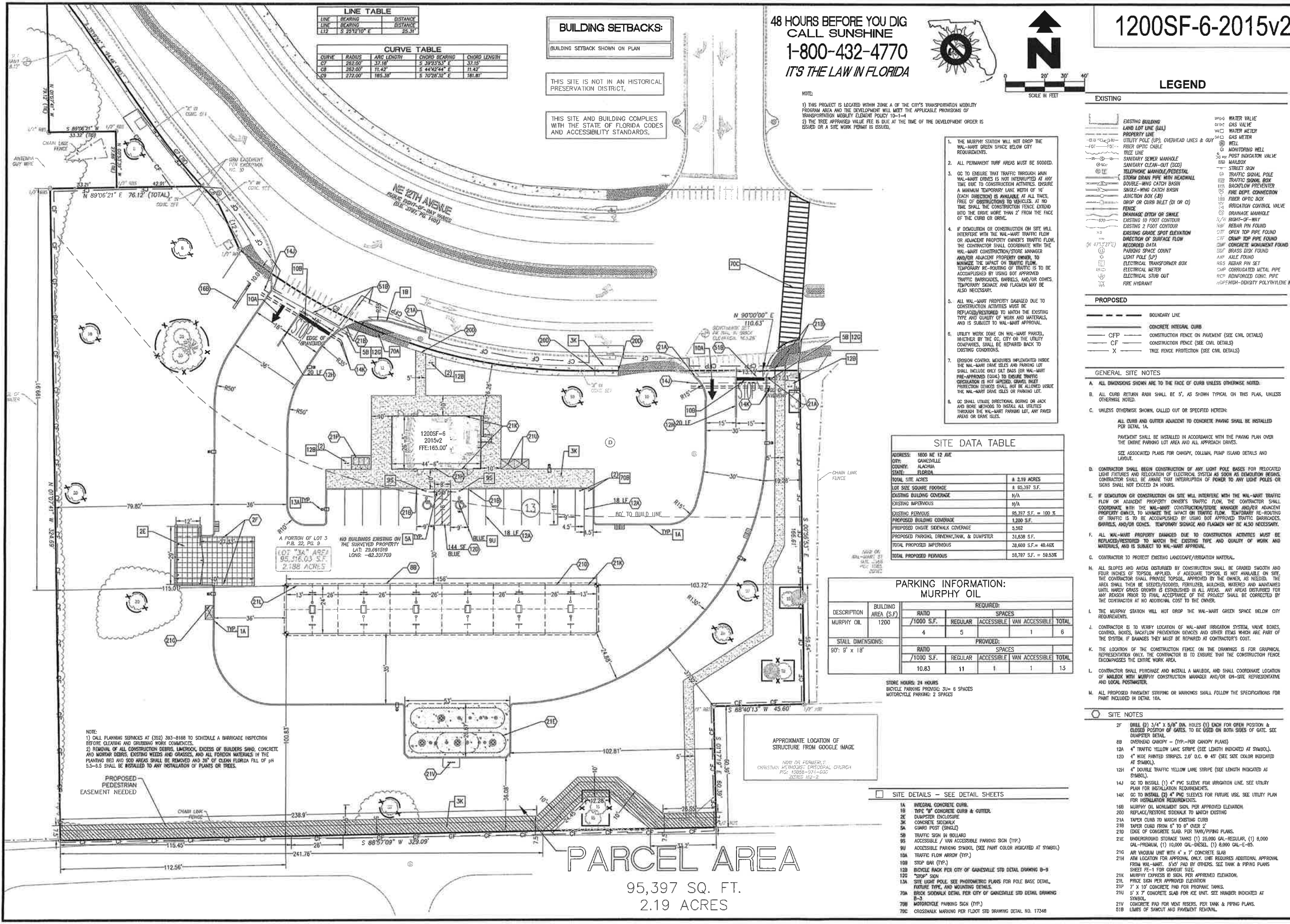
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

GrenbergFarrow

1430 W. PEACH STREET, SUITE 200  
GAINESVILLE, FLORIDA 32609  
PHONE: (352) 331-8000  
FAX: (352) 331-8000  
DWC NAME: GAINESVILLE, FL  
JOB NO.: 201506010

MURPHY OIL USA, INC.

MURPHY OIL USA  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000



**LINE TABLE**

LINE	BEARING	DISTANCE
L12	S 25°12'10" E	25.31'

**CURVE TABLE**

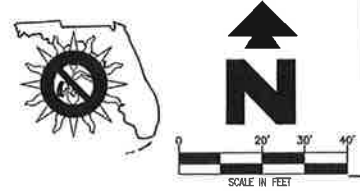
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C7	262.00'	37.16'	S 39°23'53" E	37.16'
C8	262.00'	71.42'	S 44°42'44" E	71.42'
C9	272.00'	165.35'	S 70°28'33" E	161.81'

**BUILDING SETBACKS:**  
BUILDING SETBACK SHOWN ON PLAN

THIS SITE IS NOT IN AN HISTORICAL PRESERVATION DISTRICT.

THIS SITE AND BUILDING COMPLIES WITH THE STATE OF FLORIDA CODES AND ACCESSIBILITY STANDARDS.

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



**LEGEND**

- EXISTING**
- EXISTING BUILDING
  - LAND LOT LINE (ALL)
  - PROPERTY LINE
  - UTILITY POLE (UP), OVERHEAD LINES & OUT
  - FIBER OPTIC CABLE
  - TRIE LINE
  - SANITARY SEWER MANHOLE
  - SANITARY CLEAN-OUT (SCO)
  - TELEPHONE MANHOLE/PRESTAL
  - STEAM DRAIN PIPE WITH HEADWALL
  - DOUBLE-WING CATCH BASIN
  - SINGLE-WING CATCH BASIN
  - JUNCTION BOX (JB)
  - DROP OR CURB INLET (D or CI)
  - FENCE
  - DRAINAGE DITCH OR SWALE
  - EXISTING 10 FOOT CONTOUR
  - EXISTING 2 FOOT CONTOUR
  - EXISTING GRADE SPOT ELEVATION
  - DIRECTION OF SURFACE FLOW
  - RECORDED DATA
  - PARKING SPACE COUNT
  - LEFT POLE (LP)
  - RIGHT-OF-WAY
  - BEARER PIN FOUND
  - OPEN TOP PIPE FOUND
  - CONCRETE MONUMENT FOUND
  - BRASS DISK FOUND
  - AXE FOUND
  - REBAR PIN SET
  - ELECTRICAL TRANSFORMER BOX
  - ELECTRICAL METER
  - ELECTRICAL STUB OUT
  - FIRE HYDRANT
  - WATER VALVE
  - GAS VALVE
  - WATER METER
  - GAS METER
  - WELL
  - MONITORING WELL
  - POST INDICATOR VALVE
  - MAILBOX
  - STREET SIGN
  - TRAFFIC SIGNAL POLE
  - TRAFFIC SIGNAL BOX
  - BACKFLOW PREVENTER
  - FIRE DEPTH CONNECTION
  - FIBER OPTIC BOX
  - IRRIGATION CONTROL VALVE
  - DRAINAGE MANHOLE
  - BRIGHT-OF-WAY
  - BEARER PIN FOUND
  - OPEN TOP PIPE FOUND
  - CONCRETE MONUMENT FOUND
  - BRASS DISK FOUND
  - AXE FOUND
  - REBAR PIN SET
  - ELECTRICAL TRANSFORMER BOX
  - ELECTRICAL METER
  - ELECTRICAL STUB OUT
  - FIRE HYDRANT
  - HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED**
- BOUNDARY LINE
  - CONCRETE INTEGRAL CURB
  - CONSTRUCTION FENCE ON PAVEMENT (SEE CML DETAILS)
  - CONSTRUCTION FENCE (SEE CML DETAILS)
  - TREE FENCE PROTECTION (SEE CML DETAILS)

- NOTE:**
- THIS PROJECT IS LOCATED WITHIN ZONE A OF THE CITY'S TRANSPORTATION MOBILITY PROGRAM AREA AND THE DEVELOPMENT WILL MEET THE APPLICABLE PROVISIONS OF TRANSPORTATION MOBILITY ELEMENT POLICY 10-1-4.
  - THE TREE APPRAISED VALUE FEE IS DUE AT THE TIME OF THE DEVELOPMENT ORDER IS ISSUED OR A SITE WORK PERMIT IS ISSUED.
  - THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
  - ALL PERMANENT TURF AREAS MUST BE SOODED.
  - GO TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVE IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
  - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
  - ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
  - UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
  - EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC OBSTRUCTION IS NOT INTRODUCED. SLOPE PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
  - GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

**SITE DATA TABLE**

ADDRESS: 1800 NE 12 AVE  
CITY: GAINESVILLE  
COUNTY: ALACHUA  
STATE: FLORIDA

TOTAL SITE ACRES	± 2.19 ACRES
LOT SIZE SQUARE FOOTAGE	± 85,397 S.F.
EXISTING BUILDING COVERAGE	N/A
EXISTING PERVIOUS	N/A
EXISTING FERROUS	95,397 S.F. = 100 %
PROPOSED BUILDING COVERAGE	1,200 S.F.
PROPOSED ON-SITE SIDEWALK COVERAGE	5,562
PROPOSED PARKING, DRIVEWAY, WALK, & DUMPSTER	31,838 S.F.
TOTAL PROPOSED PERVIOUS	38,600 S.F. = 40.46%
TOTAL PROPOSED PERVIOUS	58,787 S.F. = 58.53%

**PARKING INFORMATION: MURPHY OIL**

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO /1000 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
MURPHY OIL	1200	4	5	1	6
SMALL DIMENSIONS:		PROVIDED:			
90' x 9' x 18'		10.83	11	1	13

STORE HOURS: 24 HOURS  
BICYCLE PARKING PROVIDED: 30 = 6 SPACES  
MOTORCYCLE PARKING: 2 SPACES

**NOTE:**

- CALL PLANNING SERVICES AT (352) 393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LAMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SO2 AREAS SHALL BE REMOVED AND 3" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED TO ANY INSTALLATION OF PLANTS OR TREES.

**PARCEL AREA**

95,397 SQ. FT.  
2.19 ACRES

- SITE DETAILS - SEE DETAIL SHEETS**
- 1A INTEGRAL CONCRETE CURB
  - 1B TYPE "B" CONCRETE CURB & GUTTER
  - 2E DUMPSTER ENCLOSURE
  - 3K CONCRETE SIDEWALK
  - 5A GUARD POST (SINGLE)
  - 5B TRAFFIC SIGN IN BOLLARD
  - 9E ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
  - 9J ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
  - 10A TRAFFIC FLOW ARROW (TYP.)
  - 10B STOP BAR (TYP.)
  - 12B BICYCLE BACK PER CITY OF GAINESVILLE STD DETAIL DRAWING B-9
  - 12C "STOP" SIGN
  - 13A SITE LIGHT POLE, SEE PHOTOGRAPHIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS.
  - 70A BRICK SIDEWALK DETAIL PER CITY OF GAINESVILLE STD DETAIL DRAWING B-3
  - 70B MOTORCYCLE PARKING SIGN (TYP.)
  - 70C CROSSWALK MARKING PER FDOT STD DETAIL DRAWING NO. 1734B





48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SOODED.
3. GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING NOT APPROVED TRAFFIC BARRICADES, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPAIRED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES SUPERIMPOSED OVER THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BARRIERS (ON WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPAIRED. SLOTTED CURB PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
8. GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND SHOE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

**GENERAL EROSION NOTES**

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WAIVERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- E. GENERAL CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES AS NEEDED.
- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE OBTAINED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- H. DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- I. RUBBER TIRMS, CARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- J. ALL DEMOLISHED/BURN AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST GRADING ACTIVITY, WITH THE USE OF FAST-GROWING NATURAL, COVER-GROWING VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, JACKPINES, NETTING OR BLANKETS.
- K. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDING, SOODED, AND/OR VEGETATED IMMEDIATELY, OR STABILIZED AS SHOWN ON PLANS, NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE DRIVEWAY CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- O. ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DEMONSTRATE/DENIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.

**SEQUENCE OF CONSTRUCTION**

- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
  2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  3. CONSTRUCT THE SILT FENCES ON THE SITE.
  4. INSTALL ALL PERIMETER SEDIMENT MEASURES.
  5. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROLS AS NEEDED.
  6. CLEAR AND GRUB THE SITE.
  7. BEGIN GRADING THE SITE.
- PHASE II**
8. START CONSTRUCTION OF BUILDING PAD, STRUCTURES, AND OFF-SITE IMPROVEMENTS.
  9. TEMPORARILY SEED DISTURBED AREAS.
  10. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND OUTLETS.
  11. INSTALL INLET/FILLAGE PROTECTION DEVICES.
  12. INSTALL TOP SOIL AROUND OUTLET STRUCTURES.
  13. PREPARE SITE FOR PAVING.
  14. PAVE SITE.
  15. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
  16. REMOVE EROSION AND TEMPORARY SEDIMENT CONTROL DEVICES AFTER FINAL STABILIZATION IS ACHIEVED.

**BMP MAINTENANCE NOTES**

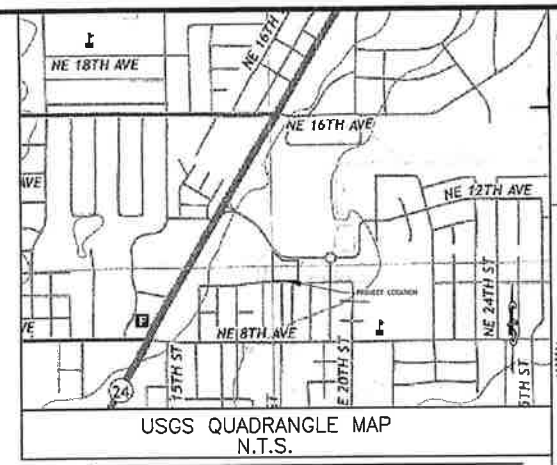
ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETRIORATION.
2. ALL SEEDING AREAS SHALL BE CHECKED NECESSARILY TO SEE THAT GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE), THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
6. FILTER TUBES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM TUBES WHEN IT REACHES 1/2 OF ITS EXPOSED HEIGHT. SEE DETAILS.
7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

EROSION & SEDIMENT CONTROLS ROCK CONSTRUCTION ENTRANCES, AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.



USCS QUADRANGLE MAP N.T.S.

**EXISTING**

EXISTING BUILDING	WATER VALVE
LAND LOT LINE (ALL)	GAS VALVE
PROPERTY LINE	WATER METER
UTILITY POLE (UP), OVERHEAD LINES & CUY	WELL
TREE LINE	MONITORING WELL
SANITARY SEWER MANHOLE (SSMH)	POST INDICATOR VALVE
SANITARY CLEAN-OUT (SCO)	MAILBOX
TELEPHONE MANHOLE OR PEDestal	STREET SIGN
DOUBLE-WING CATCH BASIN	UNKNOWN UTILITY STUB OUT
SINGLE-WING CATCH BASIN	FIRE DEPT. CONNECTION
JUNCTION BOX (JB)	HANDICAPPED ABSOLUTION CONTROL VALVE
DROP OR CURB INLET (DI OR CI)	RIGHT-OF-WAY
FENCE	STORM DRAIN
DRAINAGE DITCH OR SWALE	REBAR PIN FOUND
EXISTING 1 FOOT CONTOUR	OPEN TOP PIPE FOUND
EXISTING GRADE SPOT ELEVATION	CONCP TOP PIPE FOUND
DIRECTION OF SURFACE FLOW	CONCRETE MOUND FOUND
RECORDED DATA	ROD FOUND
PARKING SPACE COUNT	BRASS DISK FOUND
LIGHT POLE (LP)	ABLE FOUND
ELECTRICAL TRANSFORMER BOX	REBAR PIN SET

**PROPOSED**

BOUNDARY LINE	CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)
CFP	CONSTRUCTION FENCE (SEE CIVIL DETAILS)
CF	TREE FENCE PROTECTION (SEE CIVIL DETAILS)
X	LIMITS OF DISTURBED AREA
##	SOIL TYPE DESIGNATION

**PROJECT INFORMATION**

RECEIVING WATER IS UN-PAVED LOCAL DEPRESSION. DEPRESSION EVENTUALLY CONNECTS TO UN-PAVED DETENTION BASIN ± 0.05 MILES TO EAST OF PROJECT SITE.

PROPOSED PROJECT SITE MADE UP OF SEVERAL EXISTING COMMERCIAL LOTS. STORM RUN-OFF FROM SITE WILL PIPE INTO THE PROPOSED DETENTION SYSTEM INSTALLED TO ACCOMMODATE STORM RUN-OFF FOR THE GAS STATION LOT AND FUTURE OUTLET DEVELOPMENT.

PROPOSED PROJECT IS CONSTRUCTING A GAS STATION CONSISTING OF 1200 SF. CONVENIENT STORE WITH 6 PUMP ISLANDS AND ASSOCIATED PARKING AREA.

ADRENCE OF SITE IS 2.19 ACRES.

DISTURBED ACREAGE OF SITE (INCLUDING OFF-SITE WORK) IS 42.35 ACRES.

ANTICIPATED CONSTRUCTION START DATE IS DECEMBER 2016 AND COMPLETION DATE IS DECEMBER 2017.

CONTRACTOR TO TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ESCAPING SITE AND ALL ACCUMULATED SEDIMENT SHALL BE CLEANED OUT AND REMOVED FROM SITE.

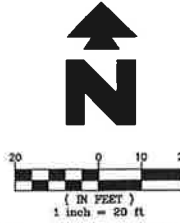
DOWNSTREAM CONDITION WILL NOT BE NEGATIVELY AFFECTED BY PROPOSED DEVELOPMENT.

**EROSION DETAILS - SEE DETAIL SHEET C-4.2**

CE	STABILIZED CONSTRUCTION ACCESS
SF	SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT
DC	DUST CONTROL (USING: PHASING OF THE PROJECT, MULCH, SPRINKLING WATER, SPRAY-ON-ADHESIVE, CALCIUM CHLORIDE, BARRIERS, ETC.)
IF4	INLET FILTER BAG
SDP	SILT BIRE (ON EXISTING PAVEMENT)

**SITE SOILS**

14	POHONA SAND
21	NEWMAN SAND



24 HR EMERGENCY CONTACT:  
RUSTY COAN, P.E. 870-875-7629

SHEET NO. **C-4**

APR 18 2016

PROFESSIONAL ENGINEER

EROSION CONTROL PHASE 1  
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

REV-2 04-18-16 DATE

VLU DRW  
VLU DES  
JV PM  
JN PRN

**GrenbergFarrow**

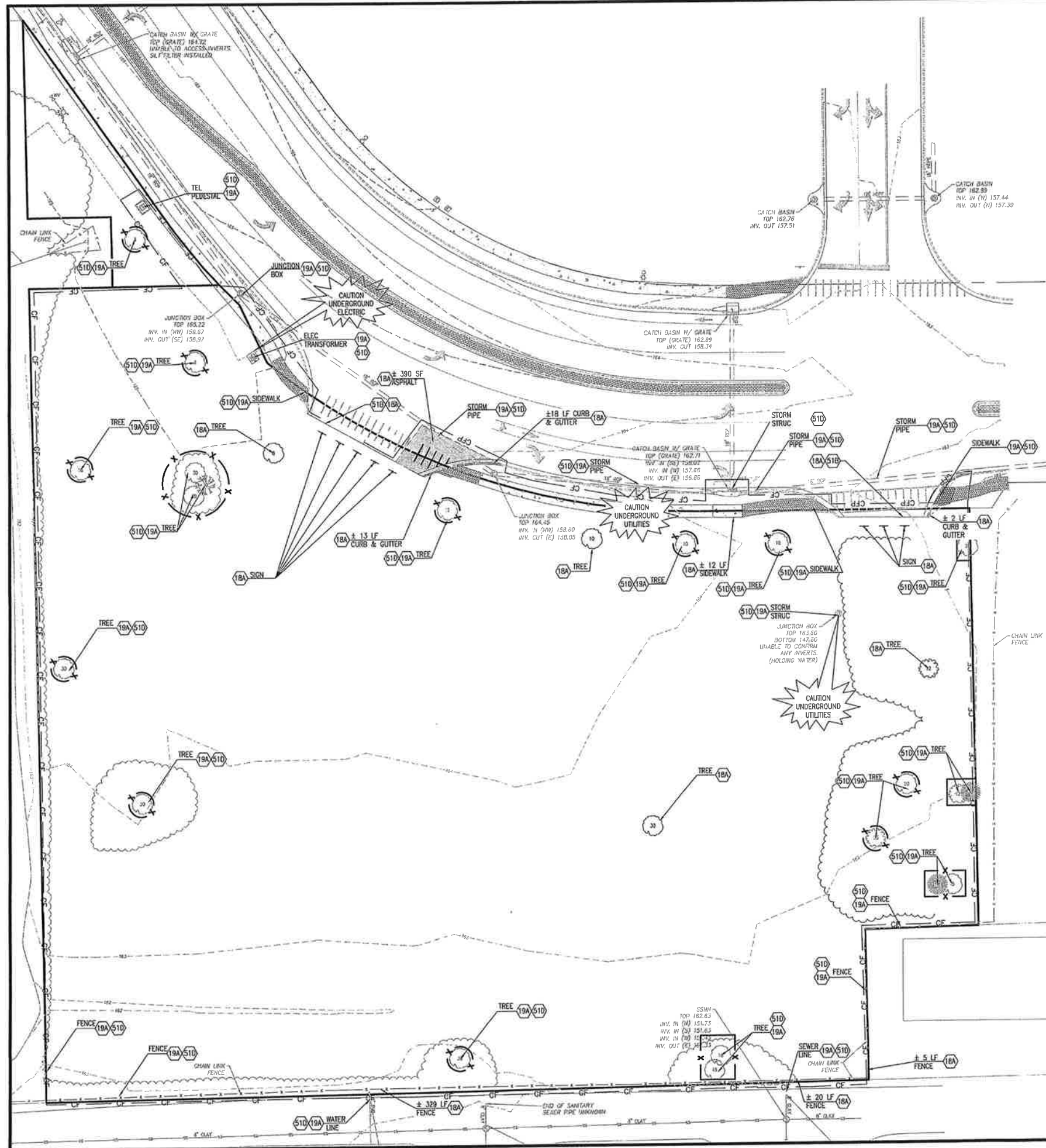
1400 W. PEACH STREET, SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 607-4000  
FAX: (404) 607-3970  
DWC NAME: GAINESVILLE, FL  
JOB NO.: 015616010

**MURPHY OIL USA, INC.**

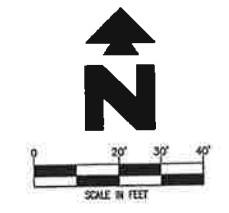
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**MURPHY USA**





48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



### LEGEND

EXISTING	
[Symbol]	EXISTING BUILDING
[Symbol]	LAND LOT LINE (ALL)
[Symbol]	PROPERTY LINE
[Symbol]	UTILITY POLE (UP), OVERHEAD LINES & DUY
[Symbol]	FIBER OPTIC CABLE
[Symbol]	TREE LINE
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	SANITARY CLEAN-OUT (SCO)
[Symbol]	TELEPHONE MANHOLE/PEDESTAL
[Symbol]	STORM DRAIN PIPE WITH HEADWALL
[Symbol]	DOUBLE-WING CATCH BASIN
[Symbol]	SINGLE-WING CATCH BASIN
[Symbol]	JUNCTION BOX (JB)
[Symbol]	DROP OR CURB INLET (DI OR CI)
[Symbol]	FENCE
[Symbol]	DRAINAGE OPEN OR SHALE
[Symbol]	EXISTING 10 FOOT CONTOUR
[Symbol]	EXISTING 2 FOOT CONTOUR
[Symbol]	EXISTING GRADE SPOT ELEVATION
[Symbol]	DIRECTION OF SURFACE FLOW
[Symbol]	RECORDED DATA
[Symbol]	PARKING SPACE COUNT
[Symbol]	LIGHT POLE (LP)
[Symbol]	ELECTRICAL TRANSFORMER BOX
[Symbol]	ELECTRICAL METER
[Symbol]	ELECTRICAL STUB OUT
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	WATER METER
[Symbol]	GAS METER
[Symbol]	WELL
[Symbol]	MONITORING WELL
[Symbol]	POST INDICATOR VALVE
[Symbol]	MAILBOX
[Symbol]	STREET SIGN
[Symbol]	TRAFFIC SIGNAL POLE
[Symbol]	TRAFFIC SIGNAL BOX
[Symbol]	BACKFLOW PREVENTER
[Symbol]	FIRE DEPT. CONNECTION
[Symbol]	FIBER OPTIC BOX
[Symbol]	IRRIGATION CONTROL VALVE
[Symbol]	DRAINAGE MANHOLE
[Symbol]	RIGHT-OF-WAY
[Symbol]	REBAR PIN FOUND
[Symbol]	ORAMP TOP PIPE FOUND
[Symbol]	CONCRETE ALIGNMENT FOUND
[Symbol]	BRASS BASK FOUND
[Symbol]	AXF AXLE FOUND
[Symbol]	REBAR PIN SET
[Symbol]	ELECTRICAL TRANSFORMER BOX
[Symbol]	ELECTRICAL METER
[Symbol]	ELECTRICAL STUB OUT
[Symbol]	FIRE HYDRANT

PROPOSED	
[Symbol]	BOUNDARY LINE
[Symbol]	CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)
[Symbol]	CONSTRUCTION FENCE (SEE CIVIL DETAILS)
[Symbol]	TREE FENCE PROTECTION (SEE CIVIL DETAILS)

1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SOCCED.
3. GO TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPAIRED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE CC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BACS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPAIRED. DRIVE SILET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
8. GO SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHODS TO LOCATE ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

**REMOVAL OF EXISTING PAVEMENT MARKINGS**

CONFLICTING STRIPING AND PAVEMENT MARKINGS SHALL BE REMOVED BEFORE THE INSTALLATION OF NEW STRIPING AND PAVEMENT MARKINGS. ALL TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL BE REMOVED IN A RECTANGULAR SHAPE. NEW STRIPING AND PAVEMENT MARKINGS SHALL BE INSTALLED WITHIN 24 HOURS OF REMOVAL OF OLD STRIPING AND PAVEMENT MARKINGS.

PAVEMENT MARKINGS MAY BE REMOVED BY SANDBLASTING, WATERBLASTING, GRINDING, OR OTHER APPROVED MECHANICAL METHODS.

GRINDING IS NOT PERMITTED AND GRINDING IS PERMITTED ONLY FOR REMOVING THERMOPLASTIC OR EPOXY PAVEMENT MARKINGS.

WHERE GRINDING OR SAND-BLASTING IS USED FOR THE REMOVAL OF EXISTING TRAFFIC STRIPING AND PAVEMENT MARKINGS, AND SUCH REMOVAL OPERATION IS BEING PERFORMED WITHIN 10 FEET OF A LANE OCCUPIED BY PUBLIC TRAFFIC, THE RESIDUE, INCLUDING DUST SHALL BE REMOVED IMMEDIATELY AFTER CONTACT BETWEEN THE GRINDING OR SAND-BLASTING MATERIAL AND THE SURFACE BEING TREATED. SUCH REMOVAL SHALL BE BY A VACUUM ATTACHMENT OPERATING CONCURRENTLY WITH THE GRINDING OR SAND-BLASTING OPERATION.

PAINTING OVER EXISTING MARKINGS TO OBLITERATE THE MARKINGS DOES NOT WORK AND IS NOT PERMITTED.

REPAIR DAMAGE TO ASPHALTIC SURFACES, SUCH AS SPALLING, SHELLING, ETC. GREATER THAN 1/4 IN. IN DEPTH RESULTING FROM THE REMOVAL OF PAVEMENT MARKINGS AND MARKERS. DISPOSE OF MARKERS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.

**NOTE:**

- 1) CALL PLANNING SERVICES AT (502) 393-8188 TO SCHEDULE A BARRAGE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.
- 2) REMOVAL OF ALL CONSTRUCTION DEBRIS, INERTS, DISCASS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANNING RED AND RED AREAS SHALL BE REMOVED AND 3" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED TO ANY INSTALLATION OF PLANTS OR TREES.

- ### GENERAL DEMOLITION NOTES
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
  - B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
  - C. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  - D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  - E. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
  - F. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - G. INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED (24) HOURS.
  - H. CONTRACTOR SHALL CAP EXISTING WAL-MART IRRIGATION LINES AT LIMITS OF CURVE OUT PROPERTY, BUT SHALL ENSURE THAT REMAINING WAL-MART SYSTEM FUNCTIONS CORRECTLY.
- DEMOLITION NOTES**
- 18A EXISTING TO BE REMOVED
  - 19A EXISTING TO REMAIN
  - 510 LIMITS OF SHROUT AND PAVEMENT REMOVAL.
  - 510 PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

SHEET NO. C-5

MURPHY OIL USA, INC.

200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

MURPHY USA

DEMOLITION PLAN  
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

GreenbergFarrow  
1450 W. PEACH STREET, SUITE 200  
GAINESVILLE, FL 32609  
PHONE: (352) 391-0000  
FAX: (352) 391-9770  
DWG NAME: GAINESVILLE, FL  
JOB NO.: 2015087010

MURPHY OIL USA, INC. PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
NO. 12573

REV. 2  
DATE: 04-16-16  
VLU: VLU  
DES: DES  
DRW: DRW  
JV: JV  
PM: PM  
PRN: PRN  
UN: UN

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CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



SHEET NO. C-6



UTILITY PLAN  
WALMART SUPERCENTER #3677  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

GreenbergFarrow  
1450 W. PEACHTREE, NW SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 501-0000  
FAX: (404) 501-3970  
WWW.GFARROW.COM  
DWG NO. 20180501

MURPHY OIL USA, INC.  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000  
MURPHY USA

METER SIZES	
DOMESTIC:	1"
IRRIGATION:	1"

UTILITY CONFLICTS ADDITIONAL NOTES	
GROUND PENETRATING RADAR (GPR) SHALL BE USED TO VERTICALLY/HORIZONTALLY LOCATE ALL CONDUITING UTILITY LINES FOR WHICH THE SURVEY DOES NOT PROVIDE SUFFICIENT INFORMATION TO DETERMINE SAID LOCATION. SIZE OF LINE SHALL ALSO BE DETERMINED BY GPR.	

UTILITY FEE SCHEDULE	
WATER & SANITARY SEWER FEES TO BE PAID BY MURPHY:	
WATER:	0.00 IMPACT FEE
	710.00 REVIEW FEE
	940.00 NET TAP
	8468.84 DOMESTIC METER
	4,422.00 IRRIGATION METER
	1,685.84 TOTAL
SANITARY SEWER:	1,932.60 IMPACT FEE
	1,280.00 INSPECTION FEE
	9212.60 TOTAL

1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SOODED.
3. GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS MAINTAINED AT ALL TIMES, FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MANAGE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGGING MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, LOCAL OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY Silt Basins (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC OBSTRUCTION IS NOT IMPAIRED. GRASS INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
8. GC SHALL UTILIZE GEOTECHNICAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

UTILITY CONTACT INFORMATION	
<b>ELECTRIC AND WATER</b> GRU ELECTRIC 301 SE 4TH AVE GAINESVILLE, FLORIDA 32601 PHONE: (352) 334-3400	<b>SEWER</b> GRU SEWER 301 SE 4TH AVE GAINESVILLE, FLORIDA 32601 PHONE: (352) 334-3400
TELEPHONE ATTN: CONTACT: STUART MOLEN PHONE: (352) 371-5278	

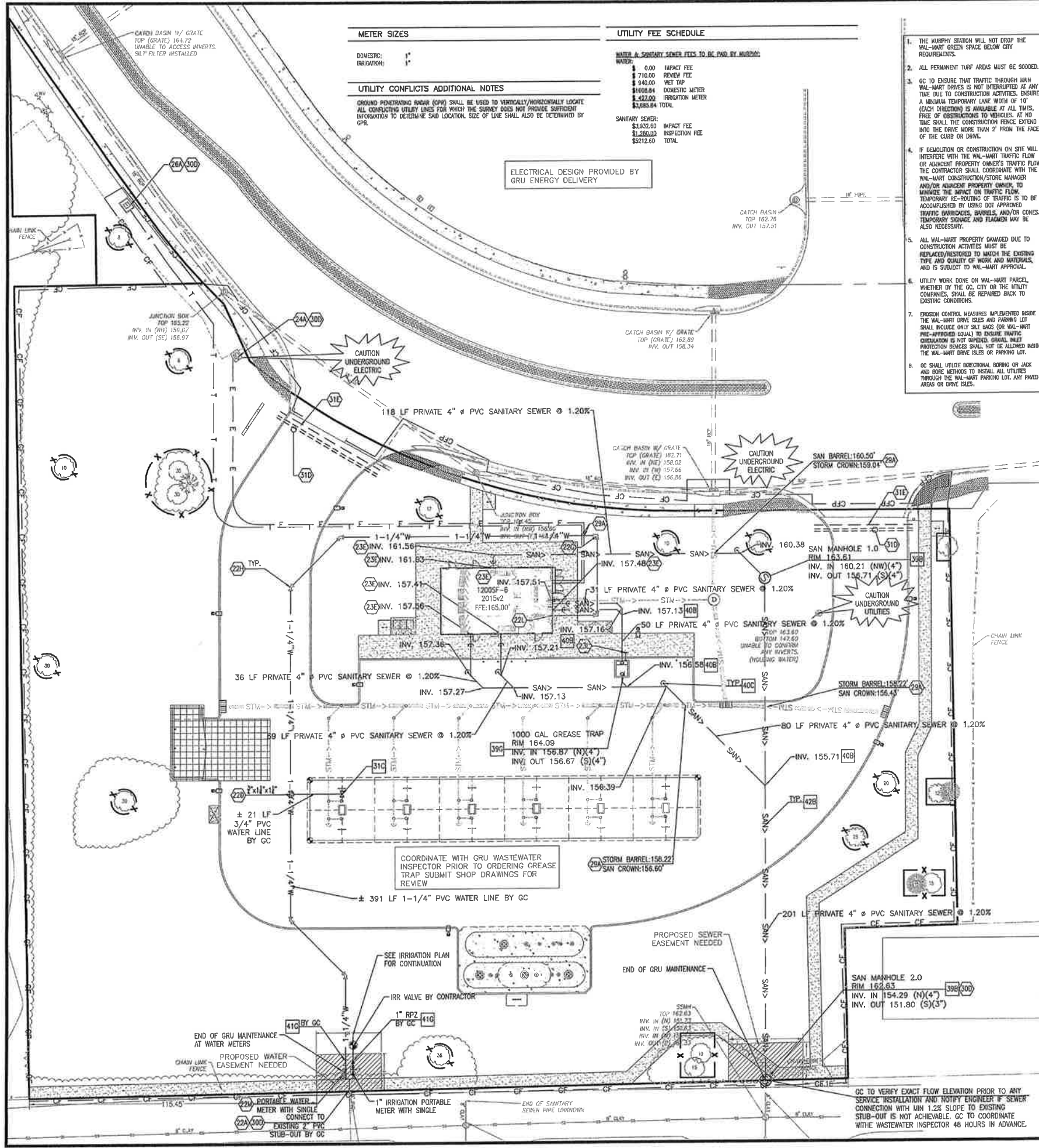
UTILITY INSTALLATION RESPONSIBILITIES	
<b>WATER SERVICE</b>	WATER COMPANY TO INSTALL DOMESTIC/IRRIGATION METERS. CONTRACTOR TO INSTALL ALL WATER LINE APPURTENANCES UP TO THE METER, RPE, AND TAP.
<b>SEWER SERVICE</b>	CONTRACTOR IS RESPONSIBLE FOR SERVICE CONSTRUCTION FROM EXISTING TRANSFORMER TO BUILDING PER ELECTRIC COMPANY SPECIFICATIONS. CONTRACTOR TO PROVIDE A CONCRETE TRANSFORMER PAD PER ELECTRIC COMPANY SPECIFICATIONS. CONTRACTOR TO TRENCH AND INSTALL CONDUIT, ELECTRIC COMPANY TO PULL PRIMARY WIRE. CONTRACTOR TO BACK-FILL. NO CONSTRUCTION COST CHARGED BY ELECTRIC COMPANY.

**GRU WATER & WASTEWATER STANDARD NOTES**  
PROVIDE A STATEMENT IDENTIFYING ANY ASSOCIATED UTILITY PERMITS THAT ARE REQUIRED BY GRU.

- The utility plan and plat shows all Public Utility Easements (PUE's) in a mates and bounds format. Upon GRU's approval of plans for developments not being planned, Owner may choose to grant the mates and bounds easements as shown, or a blanket easement over the entire property, provided facilities are installed within the prescribed distances as shown on the utility plans and in accordance with the Utility Separation Requirements Table in Appendix C of the GRU WWWWRCW Design Standards.
- All construction materials and methods for potable water, wastewater, and reclaimed water systems shall be in conformance with GRU's most recent Potable Water, Wastewater, & Reclaimed Water System Design Standards, and Approved Materials Manual.
- Potable Water and Wastewater mains shall maintain a minimum 10 feet horizontal and 1.5 foot vertical separation.
- A minimum horizontal separation of 10 feet for potable water mains, wastewater force mains, and reclaimed water mains, and 15 feet for gravity wastewater mains shall be provided and maintained from buildings, transformers, and all permanent structures. Service laterals require 5 feet less clearance for each of the utilities; note that water service laterals shall be installed within 3" sleeves. Separation to trees is reduced to 7.5 feet for pressurized mains and services and 10' (minimum) for gravity mains and services. (See Appendix C of GRU's Design Standards and Construction Details for Potable Water, Wastewater, and Reclaimed Water - Horizontal Separation Distances for Parallel and Perpendicular Clearance from Other Objects Table.)
- Potable water services, requiring a separate water meter, shall be provided to each lot, building or parcel. Effective October 1, 2007, for commercial, multifamily, and institutional developments, the Developer shall be responsible for installing potable water services and Yoke Assembly Package up to and including the meter yoke, box (installed at final grade) and associated appurtenances, for meters 1" and smaller (see GRU WWWWRCW Construction Detail W-8.0), with a one-year warranty.
- 2" valves located in paved areas, including sidewalks, shall be GRU approved cast iron, resilient seal gate valves with standard 2" operating nut, threaded with brass nipple between the valves and tapping saddle or tapped tee.
- Water mains 4" in diameter and greater, placed under roadways, shall be cement lined ductile iron pipe (CLDIP) extending 5 feet past the back of curb (3 feet within City of Gainesville limits). Tracer wire installed on PVC water mains shall continue across the CLDIP sections.
- 1" or 2" water service crossings located under roadways shall be encased in 3" SCH 40 PVC extending 5' past the back of curb (3 feet inside City of Gainesville limits).
- Anchoring tees, couplings, and bands shall be used on all fire hydrant assemblies.
- All pressurized main fittings shall be mechanical joint with restrained joint glands; a sufficient length of the pipe connected to the fittings shall be mechanically restrained to provide reaction as specified on the Restrained Joint Standard in the Construction Details (W-2.8 & 2.9, RW-2.8 & 2.9, and WW-2.4 & 2.5). Calculations for required restraint length must be provided if the specified restraint length, due to soil type or depth of cover, differs from those provided on these details.
- All sanitary wastewater service laterals shall be min. 4" diameter PVC (SDR 35) at 1.00% min. slope unless otherwise labeled.
- Wastewater cleanout covers located within pavement and sidewalks shall be rated for traffic load bearing.
- Manholes which are not installed under pavement shall have a firm elevation at least 6" above finished grade, and a 10:1 slope to finished grade.
- Unless otherwise noted on the plans, the finished floor elevations of buildings shall be a minimum of 6" above the lowest upstream manhole top. If this is infeasible, a wastewater service lateral backwater valve is required on the customer side of the cleanout.
- When a potable or reclaimed water main, or a wastewater force main is routed within 10 ft. of an electric transformer, a 20 ft. length of DIP shall be centered on the transformer with mechanical restraint at each end. No fittings or valves shall occur within 10 ft. of the nearest edge of the transformer. A minimum clearance of 3' shall be maintained between the main and the transformer.

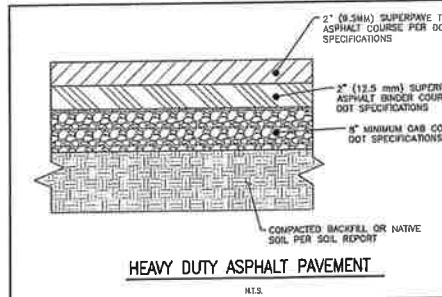
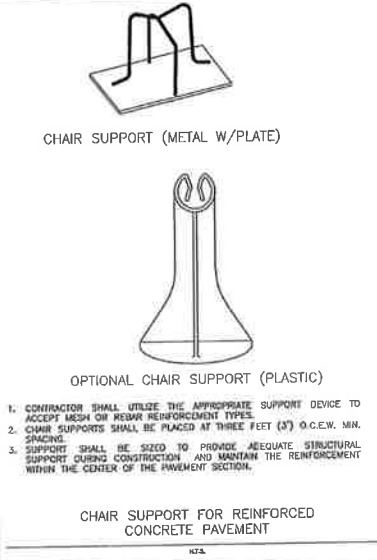
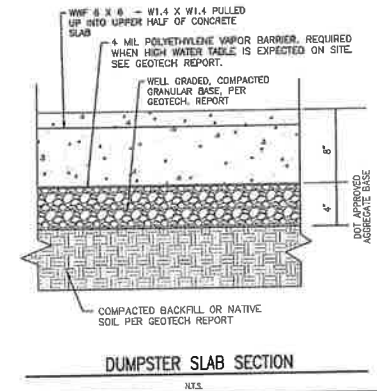
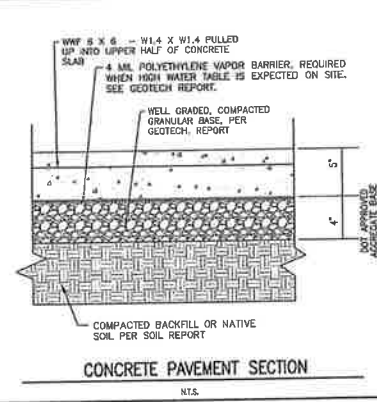
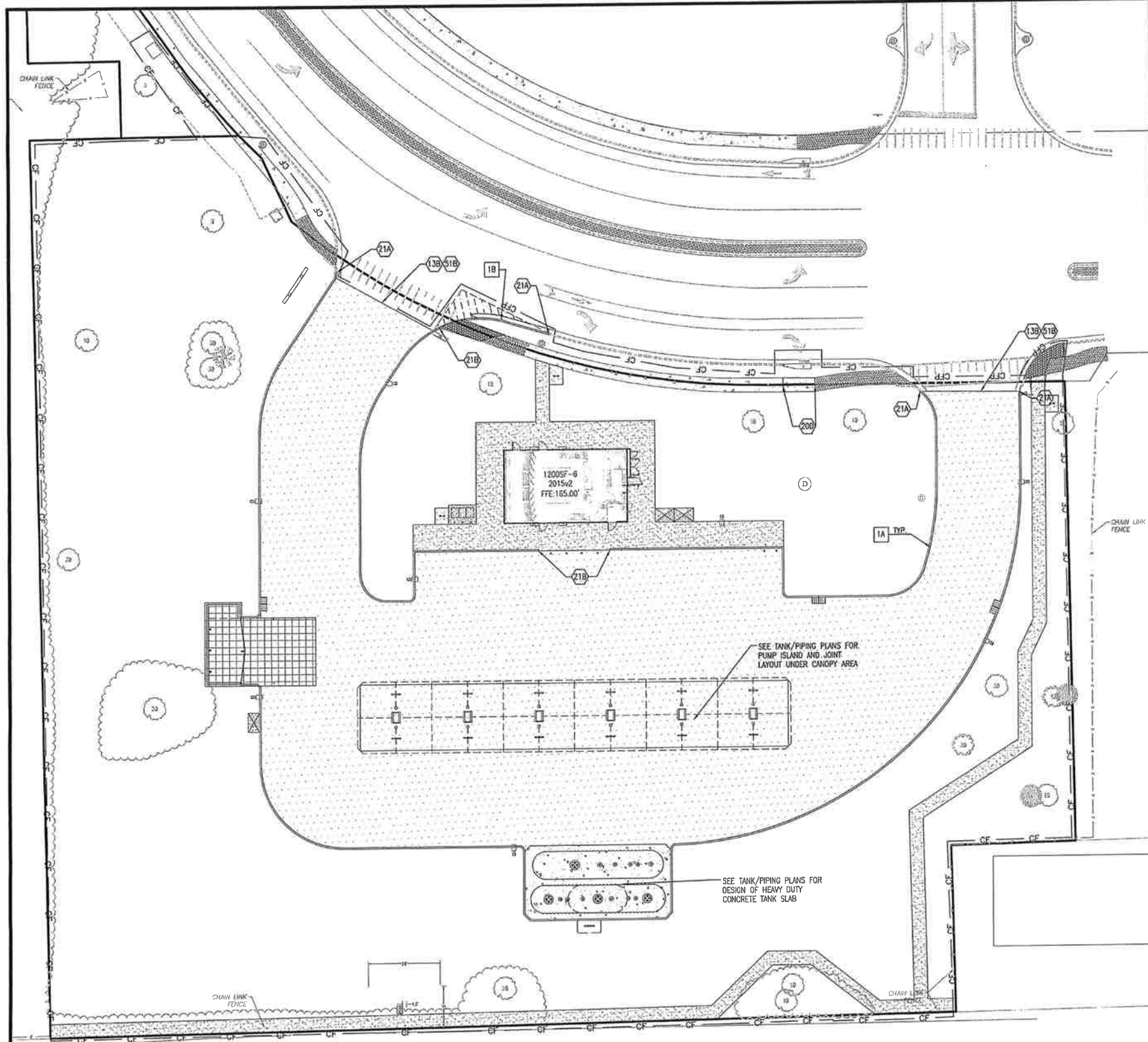
LEGEND	
<b>EXISTING</b>	<ul style="list-style-type: none"> <li>EXISTING BUILDING</li> <li>LAND LOT LINE (LL)</li> <li>PROPERTY LINE</li> <li>UTILITY POLE (UP), OVERHEAD LINES &amp; CUY</li> <li>FIBER OPTIC CABLE</li> <li>TREE LINE</li> <li>SANITARY SEWER MANHOLE</li> <li>SANITARY CLEAN-OUT (SCO)</li> <li>TELEPHONE MANHOLE/PEDESTAL</li> <li>STORM DRAIN PIPE WITH HEADWALL</li> <li>DOUBLE-WING CATCH BASIN</li> <li>SINGLE-WING CATCH BASIN</li> <li>JUNCTION BOX (JB)</li> <li>DROP OR CURB INLET (DI OR CI)</li> <li>FENCE</li> <li>DRAINAGE DITCH OR SWALE</li> <li>EXISTING 10 FOOT CONTOUR</li> <li>EXISTING 2 FOOT CONTOUR</li> <li>EXISTING GRADE SPOT ELEVATION</li> <li>DIRECTION OF SURFACE FLOW</li> <li>RECORDED DATA</li> <li>PARKING SPACE COUNT</li> <li>LIGHT POLE (LP)</li> <li>ELECTRICAL TRANSFORMER BOX</li> <li>ELECTRICAL METER</li> <li>ELECTRICAL STUB OUT</li> <li>FIRE HYDRANT</li> </ul>
<b>PROPOSED LEGEND</b>	<ul style="list-style-type: none"> <li>BOUNDARY LINE</li> <li>SAN - SANITARY SEWER SERVICE</li> <li>UE - UNDERGROUND ELECTRIC SERVICE</li> <li>UT - UNDERGROUND TELEPHONE SERVICE</li> <li>W - WATER SERVICE</li> <li>CF - CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)</li> <li>CF - CONSTRUCTION FENCE (SEE CIVIL DETAILS)</li> <li>X - TREE FENCE PROTECTION (SEE CIVIL DETAILS)</li> </ul>

GENERAL UTILITY NOTES	
A.	ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC MEETING ASTM D1785 & D2665 SPECIFICATIONS, AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF STD. 61 & STD.14, WITH 38" MIN. COVER.
B.	ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, PROVIDE 36" MINIMUM COVER.
C.	CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
D.	ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS, ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
E.	CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
F.	PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND RECORD GREENBERGFARROW ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REDUCED CLEARANCES FROM THE PLANS. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND HIS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
G.	CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA, UNLESS OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHIELDING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
<b>UTILITY NOTES</b>	<ul style="list-style-type: none"> <li>22A POINT OF CONNECTION - WATER SERVICE</li> <li>22B 1/2" TAPPING SLEEVE WITH M.A. TAPPING VALVE AND THRUST BLOCKING WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET)</li> <li>22C 1/2" TEE WITH THRUST BLOCKING (SEE SIZES THIS SHEET)</li> <li>22D 90° M.A. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)</li> <li>22E 45° M.A. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)</li> <li>22F METEDED DOMESTIC WATER SERVICE ENTRY PER BLDG PLUMBING PLAN (SEE SIZES THIS SHEET)</li> <li>22G PROPOSED WATER METER (PER CITY OF GAINESVILLE STD DETAIL DRAWING W-8.0 &amp; W-8.1)</li> <li>22H SANITARY SEWER SERVICE ENTRY (PER BUILDING MECHANICAL PLANS)</li> <li>22I CONNECT GREASE TRAP VENT TO BUILDING VENT SYSTEM. GREASE TRAP VENT INVERT MUST BE HIGHER THAN INLET INVERT.</li> <li>24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE.</li> <li>26A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE.</li> <li>28A MANTAIN MIN. 18" VERTICAL SEPARATION.</li> <li>300 VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY.</li> <li>310 INSTALL (2) 4" PVC SLEEVES 30" BELOW FINAL GRADE UNDER DRIVEWAY. EXTEND SLEEVES 2 FEET BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF EACH SLEEVE WITH CAPPED VERTICAL PVC PIPE 12" ABOVE GRADE. DO NOT ALLOW SOIL OR WATER TO ENTER SLEEVES DURING OR AFTER CONSTRUCTION.</li> <li>31E INSTALL (1) 4" PVC SLEEVE 30" BELOW FINAL GRADE UNDER DRIVEWAY FOR IRRIGATION LINE. EXTEND SLEEVE 2 FEET BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF SLEEVE WITH CAPPED VERTICAL PVC PIPE 12" ABOVE GRADE. DO NOT ALLOW SOIL OR WATER TO ENTER SLEEVE DURING OR AFTER CONSTRUCTION.</li> </ul>
<b>UTILITY DETAILS - SEE DETAIL SHEETS</b>	<ul style="list-style-type: none"> <li>31C FREEZELESS WATER BIBB TO BE LOCATED ON BUILDING SIDE OF CANOPY COLUMN (SEE PLAN FOR LOCATION OF TAP TO WATER LINE)</li> <li>39B SANITARY SEWER MANHOLE PER CITY OF GAINESVILLE STD DRAWING DETAIL WW-7.5 &amp; WW-7.9</li> <li>39C SANITARY SEWER GREASE TRAP PER REGIONAL UTILITIES STD DETAIL DRAWING WW-3.0</li> <li>40B SANITARY SEWER WYE CONNECTION WITH CLEAN-OUT</li> <li>40C SANITARY SEWER CLEAN-OUT WITH TRAFFIC LOAD BEARING COVER PER GRU STD DETAIL NO WW-5.3</li> <li>41B REDUCED PRESSURE ZONE BACKFLOW PREVENTER</li> <li>42B SANITARY SEWER TRENCHING AND BEDDING PER CITY OF GAINESVILLE STD DRAWING DETAIL WW-2.2</li> </ul>



GC TO VERIFY EXACT FLOW ELEVATION PRIOR TO ANY SERVICE INSTALLATION AND NOTIFY ENGINEER IF SEWER CONNECTION WITH MIN 1.2% SLOPE TO EXISTING STUB-OUT IS NOT ACHIEVABLE. GC TO COORDINATE WITH WASTEWATER INSPECTOR 48 HOURS IN ADVANCE.





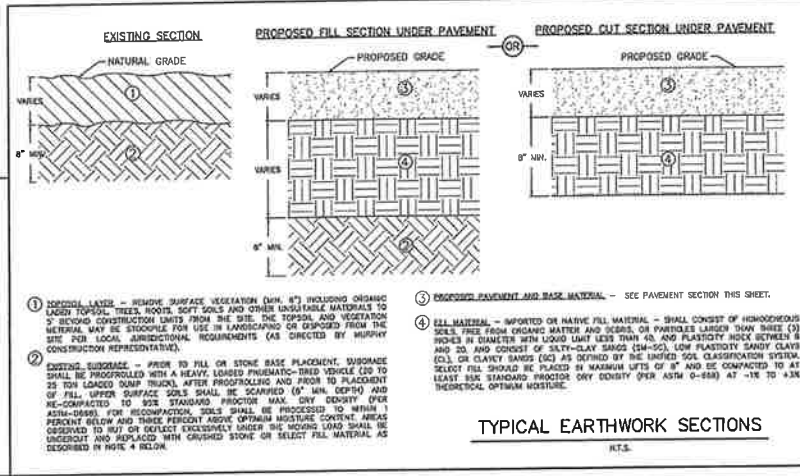
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**1-800-432-4770**  
**IT'S THE LAW IN FLORIDA**

**LEGEND**

EXISTING		PROPOSED	
W1	WATER VALVE	---	BOUNDARY LINE
W2	GAS VALVE	---	CONCRETE CURB AND GUTTER
W3	WATER METER	---	CFP CONSTRUCTION SAFETY FENCE (SEE CIVIL DETAILS)
W4	GAS METER		
W5	WELL		
W6	MONITORING WELL		
W7	POST INDICATOR VALVE		
W8	MAILBOX		
W9	STREET SIGN		
W10	TRAFFIC SIGNAL POLE		
W11	TRAFFIC SIGNAL BOX		
W12	BACKFLOW PREVENTER		
W13	FIRE DEPT. CONNECTION		
W14	FIBER OPTIC BOX		
W15	IRRIGATION CONTROL VALVE		
W16	1/2\"/>		
W17	RIGHT-OF-WAY		
W18	REBAR PIN FOUND		
W19	OPEN TOP PIPE FOUND		
W20	COMP TOP PIPE FOUND		
W21	CONCRETE MONUMENT FOUND		
W22	BRASS BOX FOUND		
W23	AXE FOUND		
W24	REBAR PIN SET		
W25	CORRUGATED METAL PIPE		
W26	REINFORCED CONC. PIPE		
W27	HIGH-DENSITY POLYETHYLENE PIPE		

- GENERAL PAVING NOTES**
- CONCRETE ON ASPHALT UTILITY CUT REPAIRS TO BE DYED TO MATCH SURROUNDING ASPHALT.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 1A (SEE DETAILS SHEET C-12).
  - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECH REPORT PREPARED BY UNITED CONSULTANTS, INC. DATED OCTOBER 26, 2015 AND THIS PAVING PLAN OVER THE ENTIRE PAVING LOT AREA AND ALL APPROACH DRIVES.
  - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
- PAVING NOTES**
- LIMITS OF HEAVY DUTY CONCRETE PAVING
  - REPLACE EXISTING SIDEWALK TO MATCH EXISTING
  - TAPER CURB TO MATCH EXISTING CURB
  - TAPER CURB FROM 6" TO 0" OVER 2'
  - LIMITS OF SAWCUT AND PAVEMENT REMOVAL

- PAVING DETAILS**
- INTEGRAL CONCRETE CURB
  - TYPE "B" CURB & GUTTER
  - CONCRETE SIDEWALK
  - SIDEWALK TO BE REPLACED WITH DECORATIVE RAMPS TO MATCH EXISTING
- PAVING DETAILS**
- 8" CONCRETE PAVING FOR TANK, SEE TANK/PIPING PLANS FOR DESIGN AND DETAILS.
  - 8" HEAVY DUTY CONCRETE DUMPSTER PAD
  - 5" CONCRETE PAVING
  - HEAVY DUTY ASPHALT PAVING PER FLOOD SPECIFICATION



**NOTE:**  
GC IS REFERRED TO GEOTECHNICAL REPORT PREPARED BY UNITED CONSULTING DATED OCTOBER 26, 2015 FOR SITE PREPARATION CONDITIONS AND PAVEMENT REQUIREMENTS.

- ADDITIONAL PAVING NOTES**
- SURFACE COURSE, BASE, AND SUB-GRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
  - SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR OR AS SPECIFIED BY THE GEOTECHNICAL REPORT WHICHEVER IS MORE STRINGENT.
  - FOLLOW RECOMMENDATIONS IN GEOTECH REPORT FOR RE-ENFORCEMENT OF CONCRETE SECTIONS.

**NOTE:**  
1) CALL PAVING SERVICES AT (503) 393-5188 TO SCHEDULE A BARRODGE INSPECTION BEFORE CLEANING AND GRUBBING WORK COMMENCES.  
2) REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS SHALL BE REMOVED AND 3\"/>

**Greenbergfarrow**  
1400 W. PEACHTREE ST., NW SUITE 200  
FARMINGTON, CT 06030  
TEL: (860) 441-4000  
FAX: (860) 403-3970  
DWG NAME: GAINESVILLE, FL  
JOB NO.: 20150570.0

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**MURPHY OIL USA**

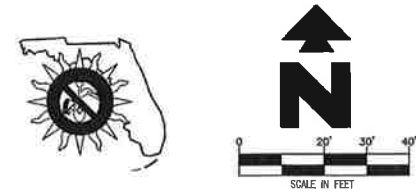
**PROFESSIONAL ENGINEER**  
STATE OF FLORIDA  
NO. 12514  
APR 18 2016

**PAVING PLAN**  
**WALMART SUPERCENTER #3877**  
**1800 NE 12 AVE**  
**GAINESVILLE FLORIDA**

**SHEET NO. C-7**

REV-2  
DATE 04-18-16  
JUN PRN  
JUL DES  
AUG DRW

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



**LEGEND**

EXISTING		PROPOSED	
	EXISTING BUILDING		BOUNDARY LINE
	LAND LOT LINE (LLL)		CONCRETE INTEGRAL CURB
	PROPERTY LINE		CONSTRUCTION FENCE (SEE DETAIL SHEETS)
	UTILITY POLE (UP), OVERHEAD LINES & GUY		CONSTRUCTION SAFETY FENCE (SEE CIVIL DETAILS)
	FIBER OPTIC CABLE		
	TREE LINE		
	SANITARY SEWER MANHOLE		
	SANITARY SEWER CLEAN-OUT (SSO)		
	TELEPHONE MANHOLE/PEDESTAL		
	STORM DRAIN PIPE WITH HEADWALL		
	DOUBLE-WING CATCH BASIN		
	SINGLE-WING CATCH BASIN		
	JUNCTION BOX (JB)		
	DROP OR CURB INLET (DI OR CI)		
	FENCE		
	DRAINAGE DITCH OR SWALE		
	EXISTING 10 FOOT CONTOUR		
	EXISTING 2 FOOT CONTOUR		
	EXISTING GRADE SPOT ELEVATION		
	DIRECTION OF SURFACE FLOW		
	RECORDED DATA		
	PARKING SPACE COUNT		
	LIGHT POLE (LP)		
	ELECTRICAL TRANSFORMER BOX		
	ELECTRICAL METER		
	ELECTRICAL STUB CUT		
	FIRE HYDRANT		
	WATER VALVE		
	GAS VALVE		
	WATER METER		
	GAS METER		
	WELL		
	MONITORING WELL		
	POST INDICATOR VALVE		
	MAILBOX		
	STREET SIGN		
	TRAFFIC SIGNAL POLE		
	BACKFLOW PREVENTER		
	FIRE DEPT. CONNECTION		
	FIBER OPTIC BOX		
	IRRIGATION CONTROL VALVE		
	DRAINAGE MANHOLE		
	RIGHT-OF-WAY		
	REBAR PIN FOUND		
	OPEN TOP PIPE FOUND		
	CURB TOP PIPE FOUND		
	CONCRETE MOVEMENT FOUND		
	BRASS DISK FOUND		
	AXLE FOUND		
	REBAR PIN SET		
	CORRUGATED METAL PIPE		
	REINFORCED CONC. PIPE		
	HIGH-DENSITY POLYETHYLENE PIPE		

PROPOSED	
	BOUNDARY LINE
	CONCRETE INTEGRAL CURB
	CONSTRUCTION FENCE (SEE DETAIL SHEETS)
	CONSTRUCTION SAFETY FENCE (SEE CIVIL DETAILS)

**GENERAL JOINT LAYOUT NOTES**

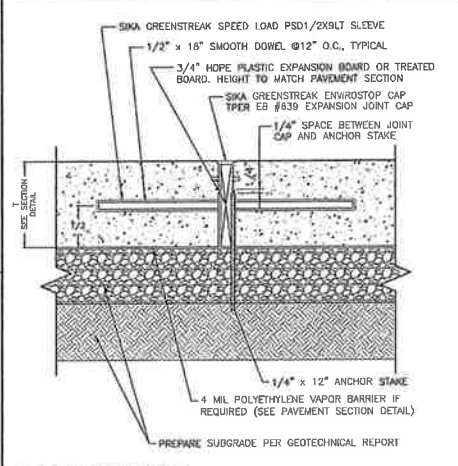
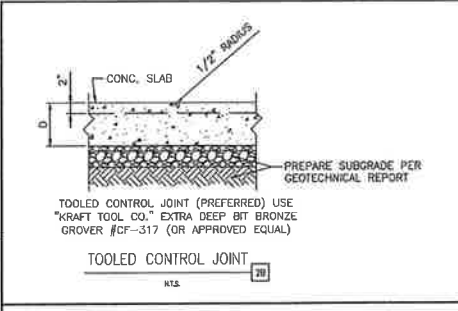
- THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN FOR RELATIONSHIP OF THESE STRUCTURES TO EXISTING CONDITIONS AND REFERENCE POINTS.
- SEE SHEET C-7 FOR PAVING NOTES.
- 1/2" FOAM EXPANSION JOINT MATERIAL SHALL SURROUND THE CANOPY COLUMNS, U-BUMPERS, BOLLARDS AND DISPENSER ISLANDS AT GRADE. SEE TANK-PIPING PLANS (STANDARD YARD AND DRIVE DETAILS).
- SEE TANK-PIPING PLANS FOR NOTES ON REBAR REINFORCING AROUND UST MANHOLE.
- SEE TANK-PIPING PLANS CONDUIT PIPING LAYOUT.
- DOWELED JOINTS SHALL BE LOCATED ON 12" CENTERS, ALONG THE INSIDE OF THE MOST EXTERIOR SLABS. DOWELS SHALL BE SMOOTH TYPE AND INSERTED INTO GREENSTREAK SPEED DOWEL FORMS. THE DOWEL IS LOCATED AT MID-SLAB DEPTH AND HELD IN PLACE LEVEL AND PERPENDICULAR TO THE JOINT USING THE SPEED DOWEL, WHICH REMAINS WITH THE FORM. AFTER THE FORMS ARE STRIPPED, THE DOWELS SHOULD BE CHECKED TO ASSURE FULL INSERTION AND ALIGNMENT IN THE INITIAL SLAB BEFORE POURING THE ADJACENT SLAB. DOWELS OCCURRING UNDER AND PARALLEL TO CONTROL JOINTS SHOULD BE DELETED. SEE TANK-PIPING PLANS FOR ADDITIONAL INFORMATION.

**JOINT LAYOUT NOTES**

- 10A TANK MANHOLE REINFORCEMENT (SEE TANK/PIPING PLANS FOR ADDITIONAL DETAILS)
- 23A ASPHALT ABUTTING JOINT
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

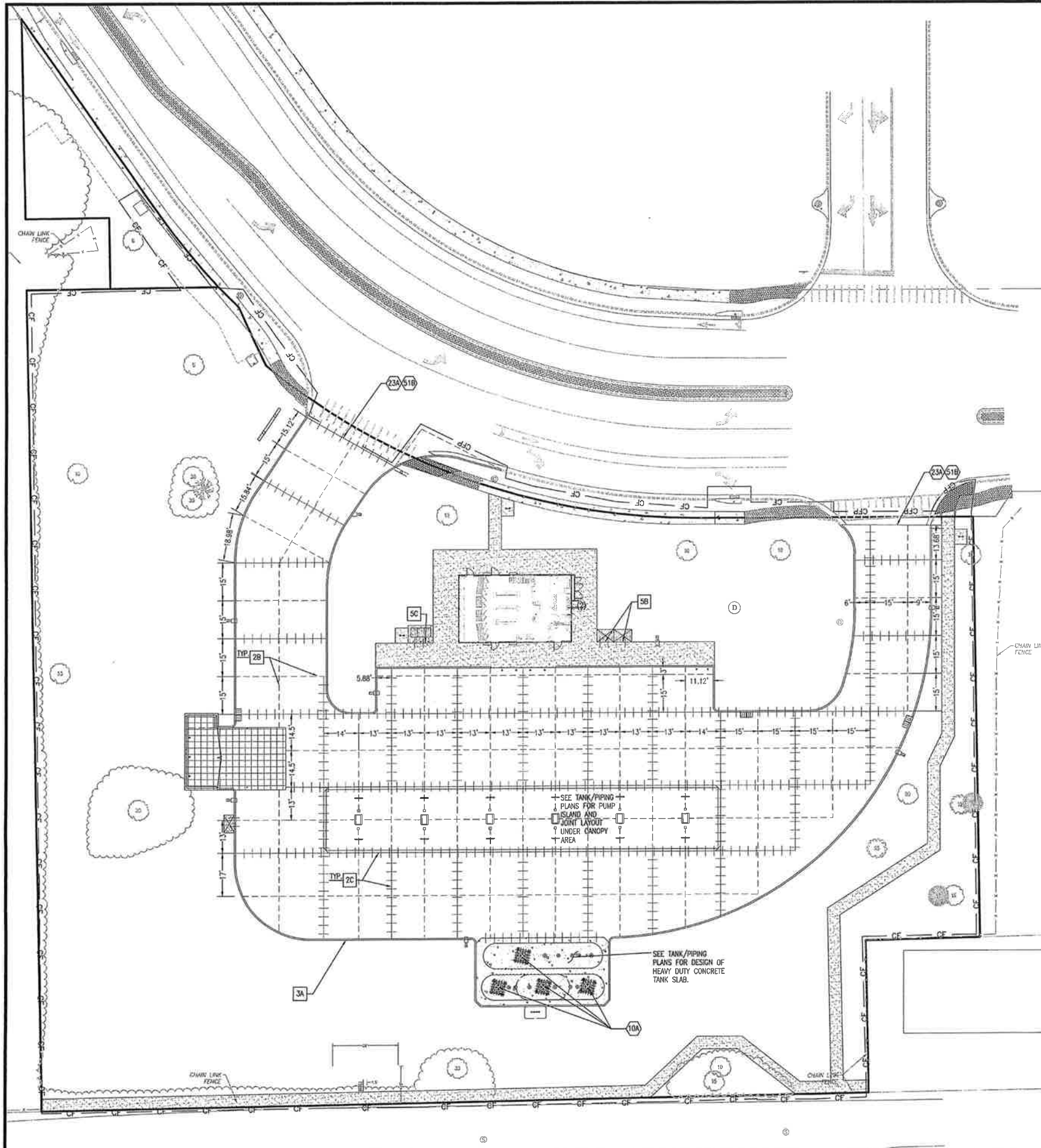
**JOINT LAYOUT DETAILS -- SEE DETAIL SHEETS**

- 2B TOOLED CONTROL JOINT
- 2C DOWEL CONSTRUCTION JOINT IN CONCRETE SLAB
- 3A AIR/HAC UNIT MOUNTING SLAB
- 5B ICE BOX MOUNTING SLAB
- 5C PHOSPHATE BOX MOUNTING SLAB



**INSTALLATION STEPS:**

- TERMINATE STAKES BELOW THE TOP OF THE BOARD A DISTANCE EQUAL TO THE DEPTH OF THE JOINT CAP PROFILE PLUS 1/4" MIN.
- USE FACTORY FABRICATIONS FOR INTERSECTIONS AND CHANGES OF DIRECTION. ENSURE ALL SECTIONS TO BE SPLICED ARE CUT SQUARE AND BOND TOGETHER USING C-SEAL ADHESIVE.
- SECURE JOINT CAP TO THE EXPANSION BOARD WITH STAPLES, NAILS, SCREWS BELOW THE PROFILE RIDGES (APPROXIMATELY 18" ON CENTER) OR ADHESIVE TO PREVENT DISLOCATION DURING CONCRETE PLACEMENT.
- INSERT SPEED LOAD SLEEVES INTO HOLES DRILLED THROUGH EXPANSION BOARDS AT MINIMUM 2" BELOW TOP OF SLAB. ENSURE SPEED LOAD SLEEVES ARE SECURED IN EXPANSION BOARD WITH BASE FLANGE FLAT TO EXPANSION BOARD FACE.
- INSERT SMOOTH DOWEL INTO SPEED LOAD SLEEVES AND PLACE CONCRETE USING NORMAL PLACEMENT TECHNIQUES. UTILIZING THE JOINT CAP AS A SCREENED RAIL, VIBRATE CONCRETE TO ENSURE GOOD CONSOLIDATION AROUND JOINT CAP, SPEED LOAD AND REBAR.



SHEET NO. C-8

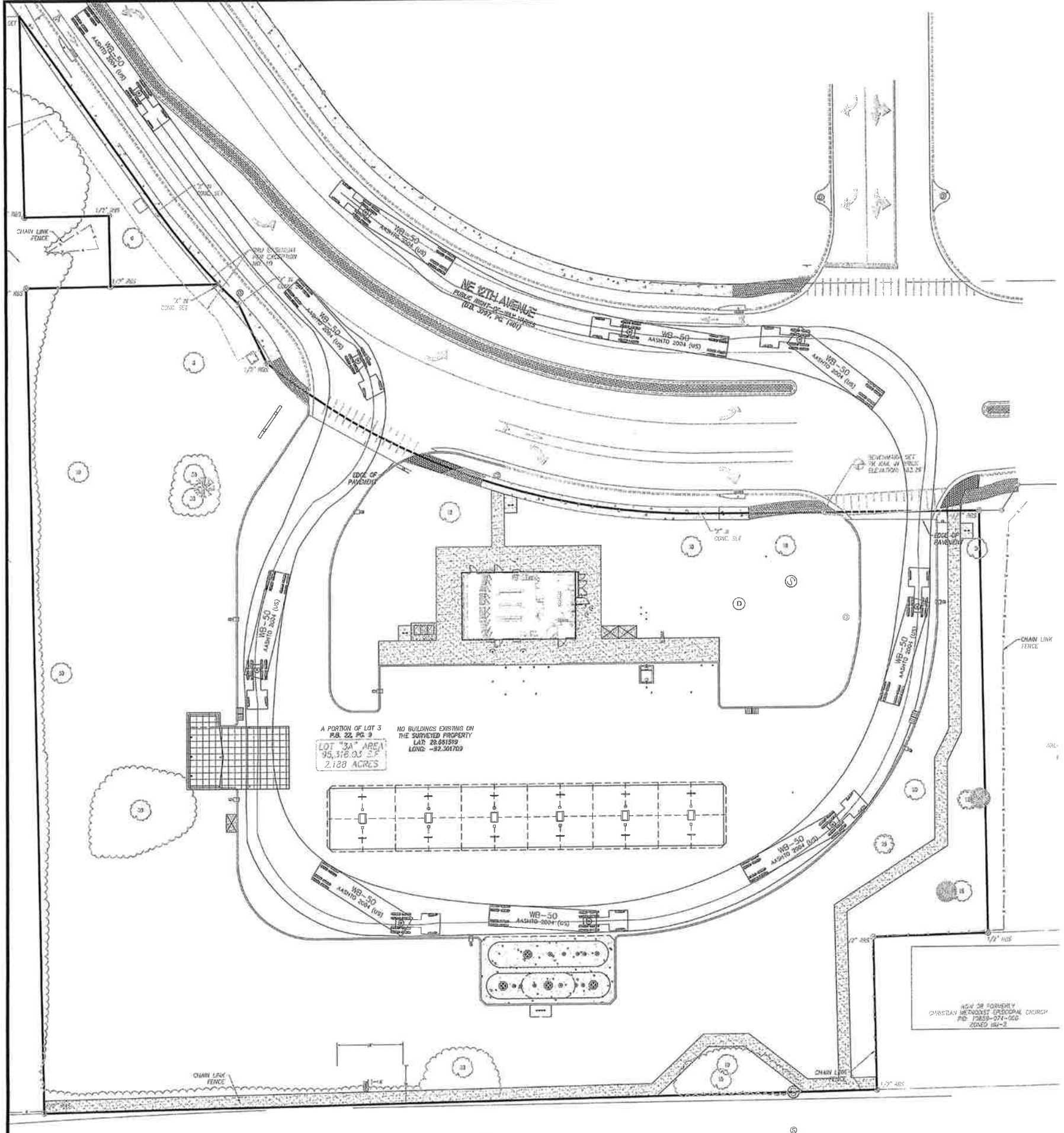
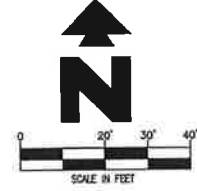


JOINT LAYOUT PLAN  
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

**GreenbergFarrow**  
1800 W. PEACHTREE ST. SUITE 200  
ATLANTA, GA. 30309  
PHONE: (404) 601-4000  
FAX: (404) 601-3070  
DWG NO.: 20150710  
JOB NO.: 20150710

MURPHY OIL USA, INC.  
MURPHY 200 PEACH STREET  
P.O. BOX 7000  
USA  
EL DORADO, AR 71730-7000

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



SHEET NO. **C-9**

REV-2  
DATE 04-18-16  
UN PRN  
JV PM  
VLU DES  
VLU DRW

**TRUCK ROUTE PLAN**  
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

APR 18 2016  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
NO. 12188

**GreenbergFarrow**  
1430 W. PEACHTREE ST., NW SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 643-1000  
FAX: (404) 601-3970  
DWG NAME: GAINESVILLE, FL  
JOB NO.: 20160970

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**MURPHY USA**

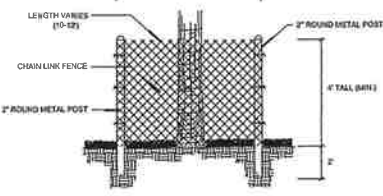


**PLANT MATERIAL SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / NOTES	Spacing
AR	9	Acer rubrum	RED MAPLE	30 GALLON, 10' HT. x 4' SPR., 2" CAL.	
FA	13	Fraxinus americana	WHITE ASH	30 GALLON, 10' HT. x 3' SPR., 2" CAL.	24" O.C.
IAE	14	Ilex attenuata "East Palatka"	EAST PALATKA HOLLY	30 GALLON, 10' HT. x 3' SPR., 2" CAL.	
IVS	170	Ilex vomitoria "Schillings Dwarf"	DWARF SCHILLINGS YAUPON HOLLY	3 Gallon, 18" HT. x 18" SPR.	30" O.C.
LIM	13	Lagerstroemia indica "Muskegoe"	CRAPE MYRTLE "LAVENDER"	30 GALLON, 10' HT. x 4' SPR., 2" CAL.	
LIN	18	Lagerstroemia indica "Natchez"	CRAPE MYRTLE "WHITE"	30 GALLON, 10' HT. x 4' SPR., 2" CAL.	
MG	9	Magnolia grandiflora	MAGNOLIA	30 GALLON, 10' HT. x 4' SPR., 2" CAL.	
QV	13	Quercus virginiana "Cathedral"	CATHEDRAL LIVE OAK	30 GALLON, 10' HT. x 5' SPR., 2" CAL.	
TRD	125	Tripsacum dactyloides	FAKAHATCHEE GRASS	3 Gallon, 24" HT. x 12" SPR.	42" O.C.
TV	65	Tulbaghia violacea	SOCIETY GARLIC	1 Gallon	24" O.C.
UPE	13	Ulmus parvifolia "Altee"	ALLEE ELM	30 GALLON, 10' HT. x 4' SPR., 2" CAL.	
VOS	561	Viburnum obtovatum "Mrs Shiller's Delight"	MRS SHILLER'S DELIGHT VIBURNUM	3 GALLON, 24" HT. x 12" SPR.	30" O.C.

SOD Zoysia japonica "Empire" EMPIRE ZOYSIA TURF

DISTANCE WALES: POSTS TO BE LOCATED AT  
DIAPHRAGM OF TREE UNLESS OTHERWISE  
APPROVED BY LANDSCAPE ARCHITECT



**1 TREE PROTECTION DETAIL**  
N.T.S.

**GENERAL LANDSCAPE NOTES**

- All plant material to be Florida #1 or better quality, as specified in the current edition of the IFAS "Grades and Standards for Nursery Stock".
- Tree caliper measurements shall be taken at six (6) inches above natural grade. Measurements for trees over four (4) inches of caliper shall be taken at twelve (12) inches above natural grade. Diameter breast height (DBH) measurements to be taken at 4.5 feet above natural grade.
- The Plant Material Schedule included with the Plans is provided only for the Contractor's convenience; it shall not be construed as to conflict or predominate over the Plans.
- In the event of discrepancies in the quantities shown on the Plant Material Schedule/Bid Form and those shown on the Plans, the Contractor shall bid the quantity shown on the Plant Material Schedule/Bid Form and provide a note as to the quantity shown on the Plans.
- If a conflict between the Plans and the Specifications exists, the Plans shall predominate and be considered the controlling document.
- Contractor shall provide documentation of plant variety when specified. Plants specified by Genus and Species alone shall not require documentation.
- All materials shall be installed as specified on the Plans. If material and labor do not adhere to the Details and Specifications, they will be rejected by the Landscape Architect. Rejected materials will be replaced by the Landscape Contractor at no additional cost.
- All necessary permits are to be provided by the installing contractor for work shown on the Plans (unless otherwise specifically stated in the Specifications or Bid Documents).
- The Contractor shall be responsible for verification and protection of all underground and overhead utilities. Plant material shown on the Plans that conflict with the utilities shall be brought to the attention of the Landscape Architect prior to installation.
- The Owner or Owners Representative shall provide site grading to within 0.1 foot of finish grade. The Contractor shall provide fine grading to produce a positive drainage condition on the site. Surface water shall be directed to engineered drainage structures/swales with smooth grading transitions. Debris larger than 1.5 inches shall be removed from surface of landscape beds and sodded areas.
- All plant material shall be installed and maintained in the highest standard of workmanship and in accordance with the Details and Specifications. Plant material shall be maintained by the Contractor until Final Acceptance is granted by the Owner.
- All B&B trees shall have strings, twine or rope removed from the top of the basket. All logging tape, identification tags, and other objects shall be removed from the plant material prior to calling for a Substantial Completion Inspection.
- Mulch shall be Pina Bark mini-nuggets. Sod shall be as specified in the Plant Material Schedule.
- The Contractor shall remove existing vegetation necessary to complete the work shown on the plans. Use of herbicide shall be in accordance to manufacturer's recommendations and supervised by licensed applicators. The Contractor is solely responsible for the means to remove existing vegetation and responsible to ensure that re-growth does not occur.
- The Contractor shall keep a neat and orderly job site. Paved surfaces necessary for access shall be kept clear of debris. Debris generated by the work shown on the Plans shall be removed from the site.
- The Contractor shall provide a replacement warranty for trees of one year's duration and shrub/groundcover for three months duration from Final Acceptance.
- Sod shall be laid with tight joints. Sodded areas shall be rolled within three days after installation. Contractor shall apply proper irrigation water quantities prior to rolling to insure proper soil/root contact but not produce indentations from pedestrians.
- All questions concerning the Plans, Details, or Specifications shall be directed to the Landscape Architect. (727-343-1809).
- Mulch all disturbed areas with a three (3) inch minimum layer of pine bark mulch.
- All plant material shall be guaranteed one year after acceptance by owner.
- Landscape contractor shall call Planning Services at (352) 393-8188 to schedule an on-site meeting prior to purchasing any plant material.
- All trees in sod to be in a four (4) foot minimum mulched ring around the newly planted trees.
- All trees planted in sod to have ten (10) inch plastic protector around trunk base to protect from mowing damage.
- Trees to be planted so that the trunk flare is exposed and topmost root in rootball originating from the trunk is at soil surface or within the top inch of soil on the rootball.
- The City shall require the rootball/container size of the tree, which takes precedence over the caliper size of the tree.
- Removal of all construction debris, limerock, excess of builders sand, concrete and mortar debris, existing weeds and grasses, and all foreign materials in the planting bed and sod areas shall be removed and 30' of clean Florida fill of pH 5.5-6.5 shall be installed prior to any installation of plants or trees.
- Call Planning Services at (352) 393-8188 to schedule a barricade inspection before clearing and grubbing work commences.
- Automatic irrigation system is required for this development, and provide bubblers by each tree to be installed too.

**FERTILIZATION SCHEDULE**

- All plant material shall be fertilized upon installation but prior to mulching. Plant material adjacent to open bodies of water shall be mulched immediately following fertilization to reduce translocation of the granules.
- Fertilizer shall be Scotts Osmocote "Classic" 19-6-12 in the twelve (12) month release formulation. Contractor may use the Standard or Lo-Salt mixes depending on the level of existing fertilizer from plant nursery applications.
- Each containerized plant shall receive fertilization at the rates shown for each container size. One (1) cup equals two hundred eighty (280) grams of Scotts Osmocote "Classic" 19-6-12 fertilizer.
 

1 Gallon Container	1/5 plants per cup
3 Gallon Container	1/4 cup
7 Gallon Container	1/2 cup
16 Gallon Container	3/4 cup
25 Gallon Container	1-1/2 cups
30 Gallon Container	1-3/4 cups
45 Gallon Container	2-1/4 cups
65 Gallon Container	2-1/4 cups
100 Gallon Container	3 cups

- Each balled and burlapped plant shall receive one half (0.5) cup of Scotts Osmocote "Classic" 19-6-12 in the twelve (12) month release formulation for every caliper inch of trunk. One (1) cup equals two hundred eighty (280) grams of Scotts Osmocote "Classic" 19-6-12 fertilizer.
- Scotts Osmocote "Classic" 19-6-12 in the twelve (12) month release formulation shall be applied to sodded or seeded areas at a rate of ten (10) pounds per one thousand (1000) square feet.
- Scotts Osmocote "Plus" 15-9-12 in the twelve (12) month release formulation shall be applied to palms at a rate of five (5) cups per one hundred (100) square feet of palm canopy. One (1) cup equals two hundred fifty (250) grams of Osmocote "Plus" 15-9-12 fertilizer. If the dripline of palm extends into lawn or other shrub/groundcover areas, the palm fertilizer shall be the only fertilizer applied to the area under the dripline of the palm.

**OPTIONAL FERTILIZATION TECHNIQUES**

- The Contractor may substitute Scotts Agrilom 20-10-5 Ferting Tablets Plus Minors for fertilization of trees, and large containers. The application rate shall be three (3) twenty-one (21) gram tablets per inch of caliper. Use Manufacturer's recommendations for palm fertilizer label application rate. Contractor shall notify Landscape Architect of the election to use fertilizer tablets prior to substantial completion inspection.
- Sodded or seeded areas over one half (0.5) acre may be fertilized (at contractor's choice) with a quick release granular fertilizer with the formulation that delivers three and one half (3.5) pounds of nitrogen, one half (0.5) pound of phosphate and one and one half (1.5) pounds of potash per one thousand (1000) square feet.
- Palms may be fertilized (at contractor's choice) with Florikan B-2-12 Plus Magnesium under entire drip line of palm. The application rate to be fifteen (15) pounds per one thousand (1000) square feet.

**IRRIGATION**

- Landscape irrigation to be provided by automatic irrigation system. Bubblers will be installed by each tree as part of the irrigation system.

**INVASIVE EXOTIC PLANT MATERIAL**

- All invasive plant species to be removed from site prior to issuance of Certificate of Occupancy.

**NOTIFICATION**

- Call the City of Gainesville Nature Operations 352-393-8171 for inspection on site prior to the purchase of any landscape material.

**LEGEND**

- EXISTING ON-SITE TREE TO REMAIN
- EXISTING ON-SITE TREE TO BE REMOVED
- EXISTING OFF-SITE TREE



PERIMETER LANDSCAPE CALCULATIONS						
	REQUIRED	SHADE TREES		ORN TREES		SHRUBS
		REQ.	PROV.	REQ.	PROV.	REQ.
3 Shade Trees, 2 Ornamental Trees, 20 Shrubs PER 100 LF						
<b>PERIMETER LANDSCAPE BUFFERS</b>						
NORTH BUFFER (330 LF)	9' Buffer (Type B)	10	10	7	9	66
SOUTH BUFFER (370 LF)	9' Buffer (Type B)	11	13	8	11	74
EAST BUFFER (220 LF)	9' Buffer (Type B)	7	7	5	8	44
WEST BUFFER (320 LF)	9' Buffer (Type B)	10	16	7	18	64

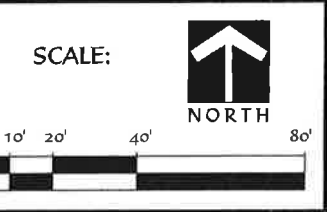
HERITAGE TREE APPRAISED VALUE CALCULATIONS		TOTAL
HERITAGE TREES REMOVED (1 LIVE OAK @ 30')		30'
REQUIRED HERITAGE TREE REMOVAL APPRAISED VALUE		\$15,543.00

\*NOTE - TREE APPRAISED VALUE FEE IS DUE AT THE TIME OF THE DEVELOPMENT ORDER IS ISSUED OR A SITE WORK PERMIT IS ISSUED.

TREE MITIGATION CALCULATIONS		TOTAL
HERITAGE TREES REMOVED TOTAL CALIPER		30"
REGULATED TREES REMOVED (TOTAL TREES)		3
REQUIRED HERITAGE REPLACEMENT (INCH FOR INCH)		30"
REQUIRED REGULATED REPLACEMENT (2 FOR 1 TREES @ 1.5" CAL.)		9"
TOTAL REQUIRED MITIGATION REPLACEMENT		39"
TREES PROPOSED (TOTAL CALIPER)		96"

Jacob Zimmerman

Digitally signed by Jacob Zimmerman  
DN: cn=Jacob Zimmerman,  
o=Heartwood and Bark, PLC,  
ou=Landscape Architect,  
email=jake@heartwoodandbark.com,  
c=US  
Date: 2016.04.15 15:09:13 -0407



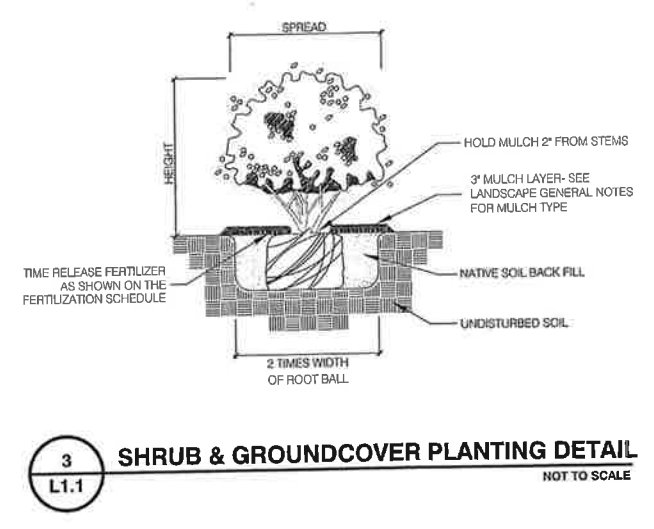
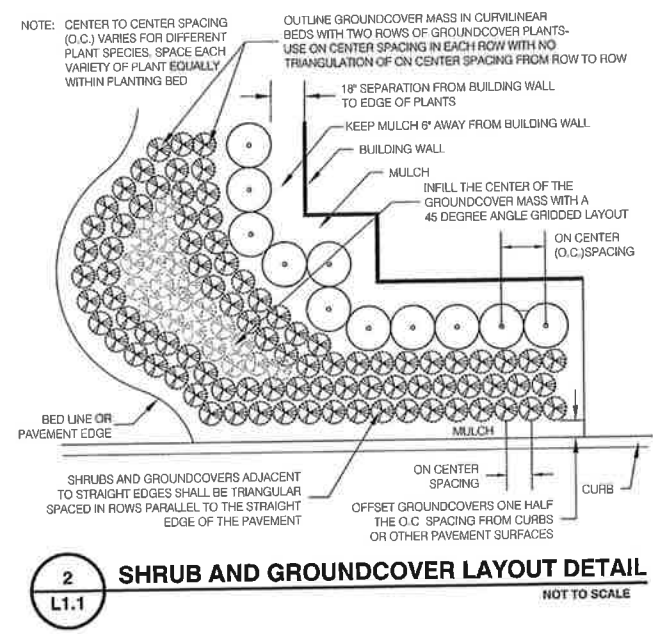
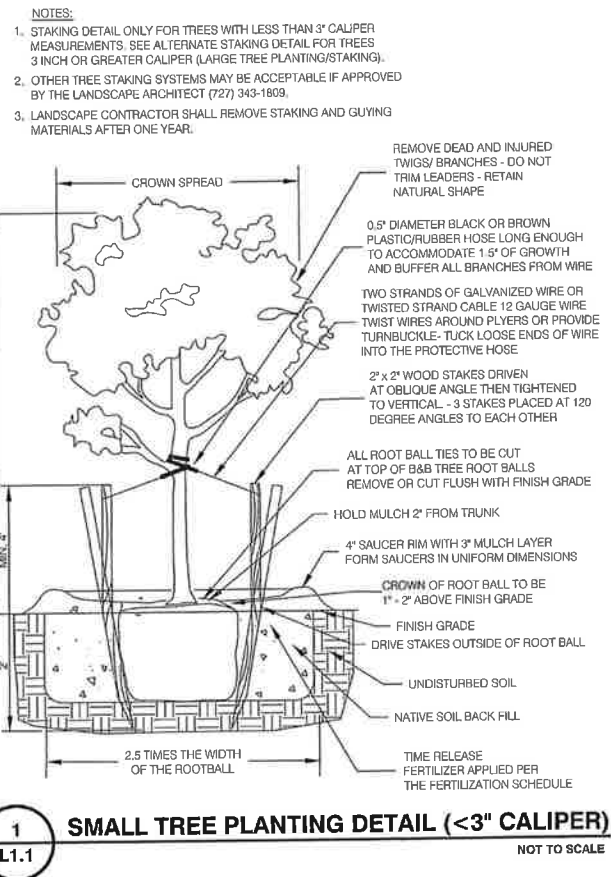
JACOB ZIMMERMAN, RLA  
REG. NO. FL IA 0001653  
LANDSCAPE ARCHITECT

REVISIONS:	
1.	04-12-16 (PER TRC COMM.)
2.	
3.	
4.	

DRAWN BY: DJF  
DATE: 02-25-16  
**15049**  
LANDSCAPE PLAN  
**L1.0**

**Murphy Oil U.S.A., Inc.**  
Gainesville, Florida  
1800 NE 14th Avenue (Walmart Supercenter 3877)

**HEARTWOOD AND BARK, INC.**  
LANDSCAPE ARCHITECTURE - URBAN DESIGN  
200 and St. S. #433 St. Petersburg, FL 33701  
Tel: (727) 943-1809  
Web: www.heartwoodandbark.com  
License Number: LC0500025



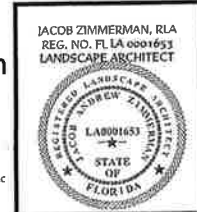
**Murphy Oil U.S.A., Inc.**  
Gainesville, Florida  
1800 NE 12th Avenue (Walmart Supercenter 3877)

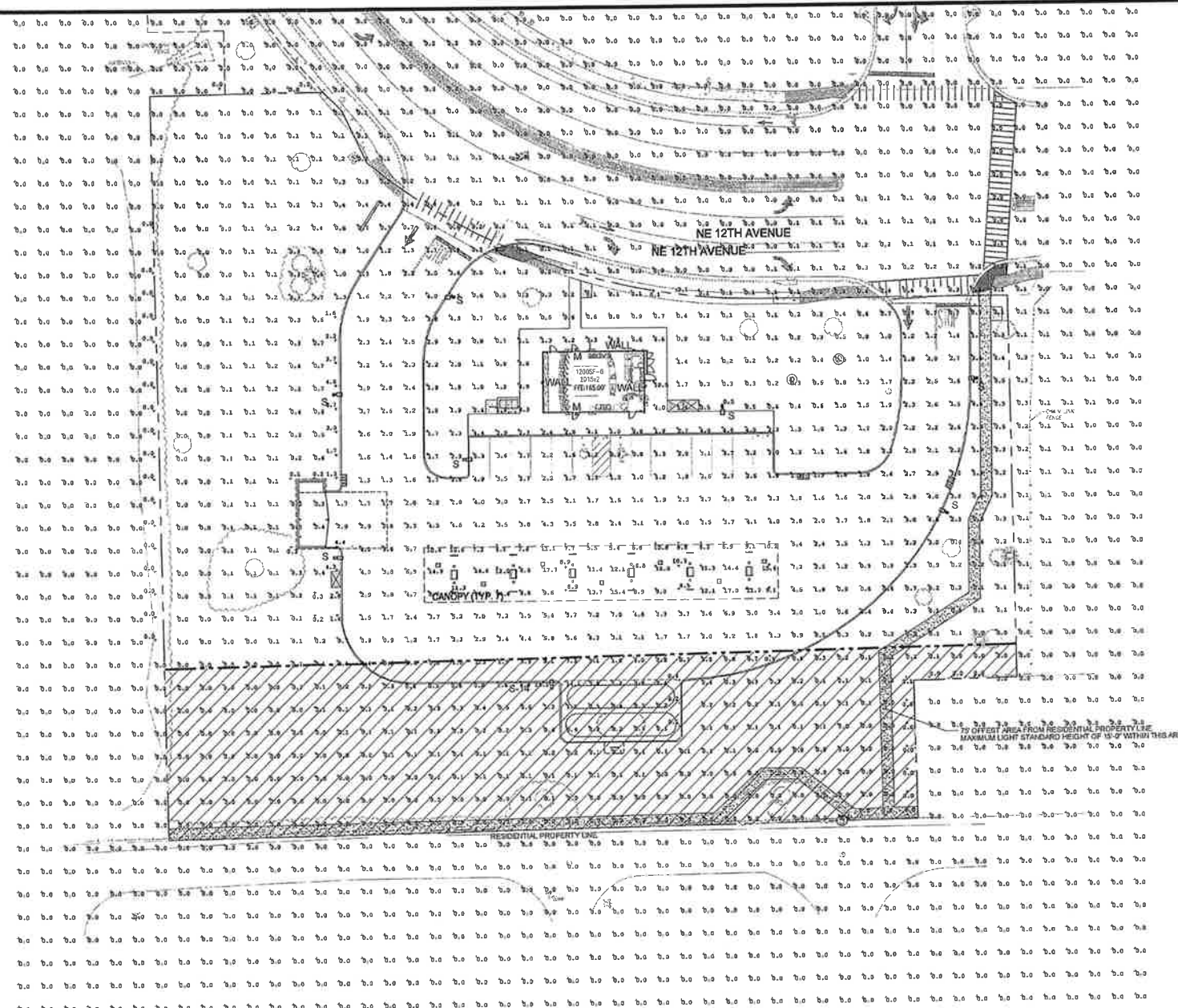
REVISIONS:

1.	04-12-16 (PER TRC COMM.)
2.	
3.	
4.	

DRAWN BY: DJF
DATE: 02-25-16
<b>15049</b>
LANDSCAPE DETAILS
<b>L1.1</b>

Jacob Zimmerman  
Digitally signed by Jacob Zimmerman  
DN: cn=Jacob Zimmerman, o=Heartwood and Bark, PLC, ou=landscape-architect, email=jakez@heartwoodandbark.com, c=US  
Date: 2016.04.15 15:09:48 -0400





**1 PHOTOMETRIC SITE PLAN**  
SCALE: 1"=30'-0"

**CALCULATION SUMMARY**

LABEL	UNITS	AVG	MAX	MIN	UNIFORMITY RATIO	MAXIMUM RATIO
CANOPY AREA	FC	10.85	17.7	5.4	1.97 to 1	3.28 to 1
6' OFF CANOPY	FC	4.57	7.5	2.0	2.29 to 1	3.75 to 1
PARKING	FC	2.31	5.3	0.8	2.89 to 1	6.63 to 1
BUILDING EXTERIOR	FC	3.34	6.5	0.7	4.77 to 1	9.29 to 1
MAX AT PROPERTY LINES	FC	NA	0.5	NA	NA	NA
MAX AT RESIDENTIAL PROPERTY LINE	FC	NA	0.0	NA	NA	NA

**POLE SCHEDULE**

MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S	[Symbol]	7	24'-0"	55QB3-S11G-24-S-BRZ-5BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE
S-14	[Symbol]	1	12'-0"	55QB3-S11G-12-S-BRZ-5BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

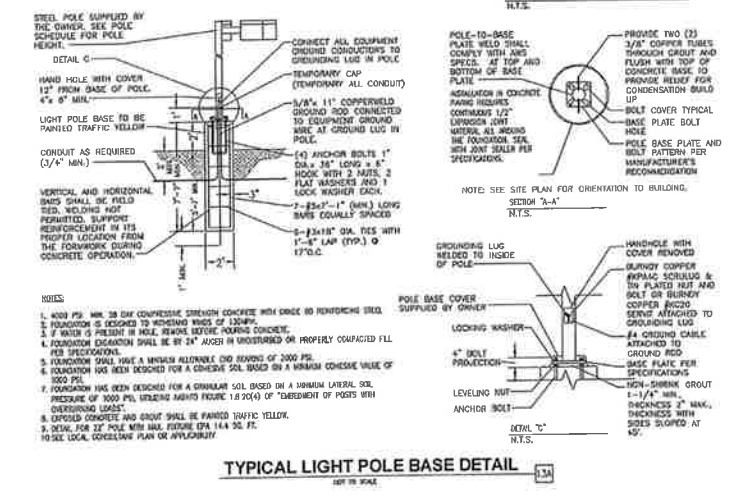
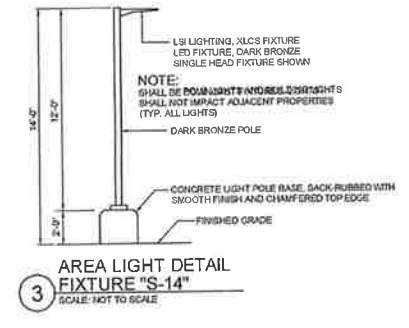
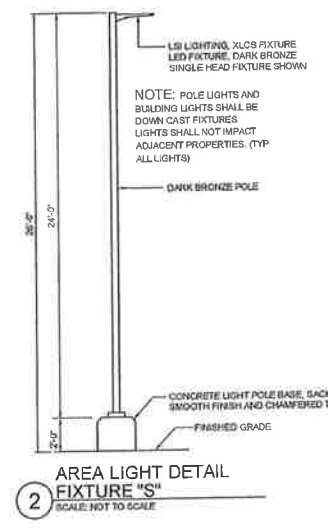
NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
POLES RATED TO 130 MPH WIND VELOCITY

**LUMINAIRE SCHEDULE**

MOUNTING CONFIG	SYMBOL	QTY	MIN MOUNTING HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S	[Symbol]	7	26'-0"	24'-0"	9227	98	XLCS-FT-LED-SS-NW-UE-BRZ	LSI LIGHTING, SLICE SMALL LED SERIES AREA LIGHT, SUPER SAVER, NEUTRAL WHITE COLOR TEMP (4000K), SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH REAR MOUNTED SHIELD
S-14	[Symbol]	1	14'-0"	12'-0"	9227	98	XLCS-FT-LED-SS-NW-UE-BRZ	LSI LIGHTING, SLICE SMALL LED SERIES AREA LIGHT, SUPER SAVER, NEUTRAL WHITE COLOR TEMP (4000K), SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH REAR MOUNTED SHIELD
CANOPY	[Symbol]	7	15'-0"	N/A	10871	88	CRUS-SC-LED-LW-GW-UE	LSI LIGHTING, LEGACY SERIES, FLAT LENS, FULL CUT-OFF CANOPY FIXTURE
WALL	[Symbol]	3	8'-3"	N/A	2073	26	XSPWA03FG-UZP	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 25 WATT INPUT, 4000K CCT, WITH PHOTOCELL SENSOR
M	[Symbol]	2	8'-3"	N/A	1800	20	LR6-18L-35K-120V-A-DR WLT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, FULLY RECESSED ENTRY LIGHTS WITH HOUSING R08-12V-GU24

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.  
ALL FIXTURES ARE FULL CUT-OFF FIXTURES

- GENERAL NOTES:**
- LIGHTING CONTROLS INFORMATION WILL BE PROVIDED ONCE HOURS OF OPERATION ARE FINALIZED. MURPHY USA WILL COMPLY WITH ANY AND ALL CITY OF GAINESVILLE REGULATIONS REGARDING LIGHTING CONTROLS.
  - ALL PROPOSED LUMINAIRES WILL BE HIGH PERFORMANCE LED LIGHTS.
  - LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION THROUGHOUT THE NIGHTTIME HOURS OF OPERATION AND/OR USE BY THE PUBLIC OF A BUSINESS OR FACILITY. HOWEVER, LIGHTING SHALL BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATION AND/OR USE BY THE PUBLIC. AFTER-HOURS SECURITY LIGHTING MAY BE PERMITTED WHEN SUCH LIGHTING DOES NOT EXCEED 50 PERCENT OF THE NUMBER OF LUMINAIRES OR THE ILLUMINATION LEVEL REQUIRED OR PERMITTED DURING REGULAR NIGHTTIME OPERATION HOURS.



CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS.

**TYPICAL LIGHT POLE BASE DETAIL**

**NOTES:**  
PLAN WAS BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.  
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. HOWEVER, LIGHTING SHALL BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATION AND/OR USE BY THE PUBLIC. AFTER-HOURS SECURITY LIGHTING MAY BE PERMITTED WHEN SUCH LIGHTING DOES NOT EXCEED 50 PERCENT OF THE NUMBER OF LUMINAIRES OR THE ILLUMINATION LEVEL REQUIRED OR PERMITTED DURING REGULAR NIGHTTIME OPERATION HOURS.  
ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT, LAMP TILT FACTOR, BALLAST WATTAGE OUTPUT, LINE VOLTAGE AT BALLAST, REFLECTOR SPECULARITY, LAMP LUMEN DEPRECIATION, AND LUMINAIRE DIRT DEPRECIATION.  
THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

NO.	REVISION	DATE	BY	DATE
1	REVISE PER TRC COMMENTS	3/29/2016	JMG	
2	REVISE PER DISCUSSIONS WITH CITY	4/7/2016	JMG	
2	REVISE PER GREENBERG CHANGES	4/12/2016	JMG	

**Gaiioway**  
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**MURPHY USA**

**MURPHY USA**  
**GAINESVILLE, FLORIDA**

Project No: MOC9421  
Sheet Scale: 1"=30'-0"  
Designed By: JMG  
Drawn By: JMG  
Date: February, 2016

**PHOTOMETRIC SITE PLAN**



**LED CANOPY LIGHT - LEGACY™ (CRUS)**



**KEY FEATURES**  
 • **AC Symmetrical**  
 • **AC Asymmetrical**  
 • **AC Distribution** utilizes a reflector which allows the light from a uniform distribution

**DOE LIGHTING FACTS**  
 Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.gainway.com](http://www.gainway.com) for specific catalog sheets.

**HOUSING** - Cast profile, die-cast, aluminum construction, providing a reliable weather-resistant light fixture.

**LEDS** - Features an array of cooled, high power, high efficiency LED chips. 5000K color temperature. 70°C (158°F) operating.

**DRIVE CURRENT** - Dielectric Vary Low Voltage (VLL), Low Voltage (LV) or Super Star (SS).

**OPTICS / DISTRIBUTION** - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

**OPTICAL UNIT** - Features an ultra-thin 7/8" (20mm) die-cast housing, with a flat glass lens. Unit is water-resistant, coated to an IP67 rating. Integrated designed heat sink does not trip GFI and GFCI, ensuring good cooling performance over the life of the fixture.

**PRESSURE STABILIZING VENT** - Laminable assembly incorporates a pressure stabilizing vent/breather to prevent seal fatigue and failure.

**HAZARDOUS LOCATION** - Designed for lighter than air full applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

**MOUNTS** - Choice of on-cantilever technology, superior energy efficiency and optimum light output. Other components are fully enclosed in profile for maximum protection. Complies with NEC and IEC standards. 6" NIP die-cast housing is standard with all drive currents.

**WEATHER RESISTANT** - Die-cast aluminum, vent/breather and dielectric enclosure is designed above canopy deck to prevent water entry, provide easy "lock-out" connection of primary wiring and create site to stabilizing the lowest operating temperatures available. Built to resist weather for one piece mounted above canopy deck.

**OPERATING TEMPERATURE** - -40°C to 50°C (-40°F to +122°F)

**ELECTRICAL** - Universal voltage power supply, 120-277 VAC, 50/60 Hz, input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41-2002, Separate surge protection Class C.

**FINISH** - Standard color is white and is finished with LSI's Duragrip™ polymer powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.

**INSTALLATION** - One piece installation. No additional sealant required. Installs in a 12" or 16" deck span. One-piece installation of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly install into existing Sylvania HT hole as well as openings for Lutron and Levcon key boxes and to recessed wiring for the DECCA without having to recess the canopy. Spare parts are available for existing fixtures (see back page) as well as kits for recessed and GFI installations (see separate spec sheets). Support brackets are provided standard. To prevent sagging of deck.

**SHIPPING WEIGHT** - 27 pounds (single pack), 18 pounds (bulk 10 pack).

**EXPECTED LIFE** - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

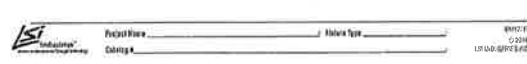
**WARRANTY** - Limited 5-year warranty.

**LISTING** - UL and ETL listed to UL 1585, UL 8753 and other U.S. and International safety standards. Suitable for wet locations.

**PHOTOMETRICS** - Please visit our web site at [www.lsiindustries.com](http://www.lsiindustries.com) for detailed photometric data.

Connell Factory  
 Class 1, Division 2 - Standard on SS & LV  
 TS Temperature Classification - This surface temperature of this product will not rise above 100°C, within a 40°C ambient.

Gea Groups A, B, C, and D - Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Butane, Butane, Methane & Propane



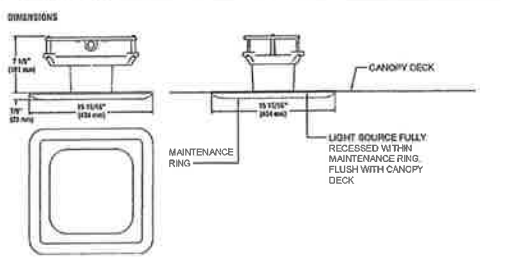
**LED CANOPY LIGHT - LEGACY™ (CRUS)**

**SUMMARY ORDERING INFORMATION**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
CRUS-SS-LED-60	60" Dia	LED	SS	CW	120-277V	White	None
CRUS-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None
CRUS-SS-LED-60-UE-WHT	60" Dia	LED	SS	UE	120-277V	White	None

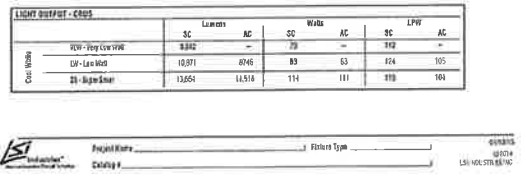
**ACCESSORY ORDERING INFORMATION**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
CRUS-SS-LED-60-UE-WHT	60" Dia	LED	SS	UE	120-277V	White	None
CRUS-SS-LED-60-UE-WHT	60" Dia	LED	SS	UE	120-277V	White	None



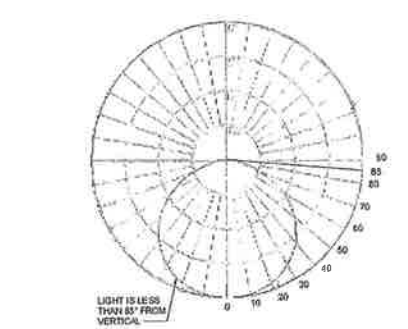
**LIGHT OUTPUT - CRUS**

Color	SS	AC	SS	UE	AC	SS	UE	AC
100' - 100' (100' x 100')	8,302	8,302	8,302	8,302	8,302	8,302	8,302	8,302
100' - 150' (100' x 150')	10,871	10,871	10,871	10,871	10,871	10,871	10,871	10,871
150' - 150' (150' x 150')	13,565	13,565	13,565	13,565	13,565	13,565	13,565	13,565



**XSP Series**

**Product Description**  
 The XSP™ LED Wall Mount Luminaire is a slim, low profile design intended for outdoor wall mount applications. The rugged aluminum housing and mounting hardware are designed for installation on exterior wall and roof applications. The luminaire is designed for long-term use in outdoor environments. The housing is made of die-cast aluminum and is finished with a powder coat finish. The luminaire is designed for long-term use in outdoor environments. The housing is made of die-cast aluminum and is finished with a powder coat finish.



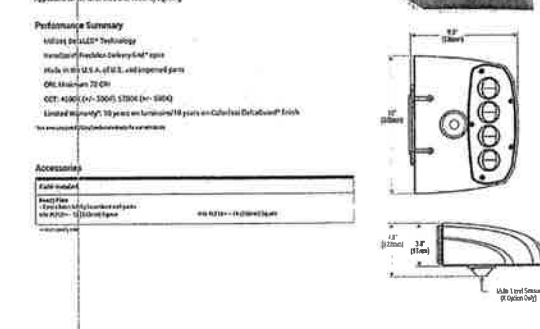
**Ordering Information**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
XSP-SS-LED-60	60" Dia	LED	SS	CW	120-277V	White	None
XSP-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None



**XSP Series**

**Performance Summary**  
 • **High Efficiency** - Superior energy efficiency and optimum light output.  
 • **Weather Resistant** - Die-cast aluminum, vent/breather and dielectric enclosure is designed above canopy deck to prevent water entry, provide easy "lock-out" connection of primary wiring and create site to stabilizing the lowest operating temperatures available.  
 • **Operating Temperature** - -40°C to 50°C (-40°F to +122°F)  
 • **Electrical** - Universal voltage power supply, 120-277 VAC, 50/60 Hz, input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41-2002, Separate surge protection Class C.  
 • **Finish** - Standard color is white and is finished with LSI's Duragrip™ polymer powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.



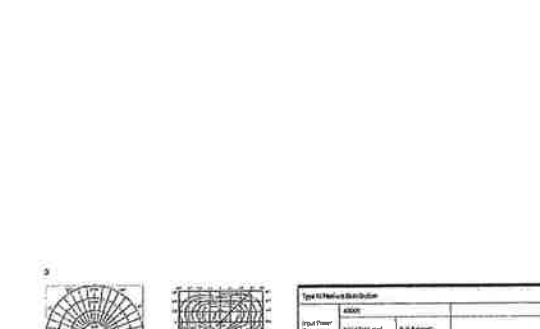
**Ordering Information**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
XSP-SS-LED-60	60" Dia	LED	SS	CW	120-277V	White	None
XSP-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None



**XSP Series**

**Product Description**  
 The XSP™ LED Wall Mount Luminaire is a slim, low profile design intended for outdoor wall mount applications. The rugged aluminum housing and mounting hardware are designed for installation on exterior wall and roof applications. The luminaire is designed for long-term use in outdoor environments. The housing is made of die-cast aluminum and is finished with a powder coat finish. The luminaire is designed for long-term use in outdoor environments. The housing is made of die-cast aluminum and is finished with a powder coat finish.



**Ordering Information**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
XSP-SS-LED-60	60" Dia	LED	SS	CW	120-277V	White	None
XSP-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None



MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURES 'CANOPY'

MANUFACTURER SPECIFICATION SHEET FOR BUILDING FIXTURES 'WALL'

**LED AREA LIGHTS - LSI SLICE SMALL (XLCS)**



**KEY FEATURES**  
 • **AC Symmetrical**  
 • **AC Asymmetrical**  
 • **AC Distribution** utilizes a reflector which allows the light from a uniform distribution

**DOE LIGHTING FACTS**  
 Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.gainway.com](http://www.gainway.com) for specific catalog sheets.

**HOUSING** - Cast profile, die-cast, aluminum construction, providing a reliable weather-resistant light fixture.

**LEDS** - Features an array of cooled, high power, high efficiency LED chips. 5000K color temperature. 70°C (158°F) operating.

**DRIVE CURRENT** - Dielectric Vary Low Voltage (VLL), Low Voltage (LV) or Super Star (SS).

**OPTICS / DISTRIBUTION** - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

**OPTICAL UNIT** - Features an ultra-thin 7/8" (20mm) die-cast housing, with a flat glass lens. Unit is water-resistant, coated to an IP67 rating. Integrated designed heat sink does not trip GFI and GFCI, ensuring good cooling performance over the life of the fixture.

**PRESSURE STABILIZING VENT** - Laminable assembly incorporates a pressure stabilizing vent/breather to prevent seal fatigue and failure.

**HAZARDOUS LOCATION** - Designed for lighter than air full applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

**MOUNTS** - Choice of on-cantilever technology, superior energy efficiency and optimum light output. Other components are fully enclosed in profile for maximum protection. Complies with NEC and IEC standards. 6" NIP die-cast housing is standard with all drive currents.

**WEATHER RESISTANT** - Die-cast aluminum, vent/breather and dielectric enclosure is designed above canopy deck to prevent water entry, provide easy "lock-out" connection of primary wiring and create site to stabilizing the lowest operating temperatures available. Built to resist weather for one piece mounted above canopy deck.

**OPERATING TEMPERATURE** - -40°C to 50°C (-40°F to +122°F)

**ELECTRICAL** - Universal voltage power supply, 120-277 VAC, 50/60 Hz, input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41-2002, Separate surge protection Class C.

**FINISH** - Standard color is white and is finished with LSI's Duragrip™ polymer powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.

**INSTALLATION** - One piece installation. No additional sealant required. Installs in a 12" or 16" deck span. One-piece installation of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly install into existing Sylvania HT hole as well as openings for Lutron and Levcon key boxes and to recessed wiring for the DECCA without having to recess the canopy. Spare parts are available for existing fixtures (see back page) as well as kits for recessed and GFI installations (see separate spec sheets). Support brackets are provided standard. To prevent sagging of deck.

**SHIPPING WEIGHT** (in cartons) - One fixture: 17.5 lbs (7.9 kg). Packed box per carton: 30 lbs (13.6 kg).

**LISTING** - UL listed to U.S. and International safety standards. Suitable for wet locations. For a list of the specific products in this series that are UL listed, please contact the LED Lighting section of our website or the Design Lights website at [www.designlights.com](http://www.designlights.com).



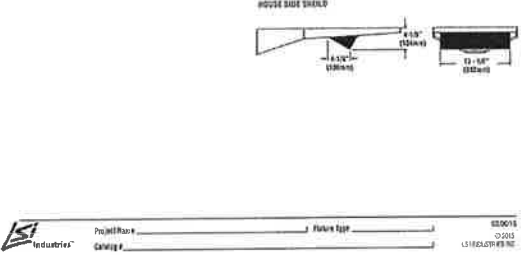
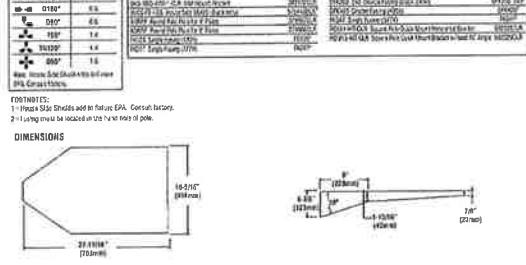
**LED AREA LIGHTS - LSI SLICE SMALL (XLCS)**

**SUMMARY ORDERING INFORMATION**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
XLCS-SS-LED-60	60" Dia	LED	SS	CW	120-277V	White	None
XLCS-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None

**ACCESSORY ORDERING INFORMATION**

Part #	Description	Light Source	Color	Mount	Input Voltage	Finish	Options
XLCS-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None
XLCS-SS-LED-60-UE	60" Dia	LED	SS	UE	120-277V	White	None

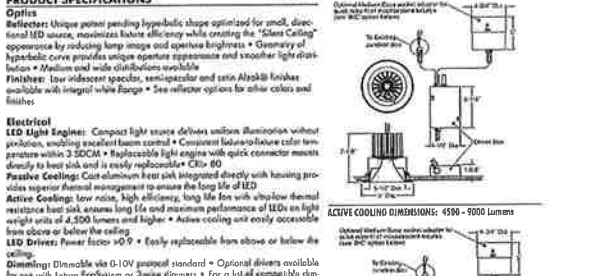


MANUFACTURER SPECIFICATION SHEET FOR AREA/SITE FIXTURES 'S'

**Environmentally Friendly, Energy Efficient**

**800 TO 9000 LUMEN 6" LED RETRO-FIT SILENT CEILING DOWNLIGHT MEDIUM/WIDE BEAM HYPERBOLIC OPEN APERTURE LRT6 SERIES**

• **Environmentally Friendly** - Superior energy efficiency and optimum light output.  
 • **Weather Resistant** - Die-cast aluminum, vent/breather and dielectric enclosure is designed above canopy deck to prevent water entry, provide easy "lock-out" connection of primary wiring and create site to stabilizing the lowest operating temperatures available.  
 • **Operating Temperature** - -40°C to 50°C (-40°F to +122°F)  
 • **Electrical** - Universal voltage power supply, 120-277 VAC, 50/60 Hz, input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41-2002, Separate surge protection Class C.  
 • **Finish** - Standard color is white and is finished with LSI's Duragrip™ polymer powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.



MANUFACTURER SPECIFICATION SHEET FOR SOFFIT FIXTURES 'M'

**Environmentally Friendly, Energy Efficient**

**800 TO 9000 LUMEN 6" LED RETRO-FIT SILENT CEILING DOWNLIGHT MEDIUM/WIDE BEAM HYPERBOLIC OPEN APERTURE LRT6 SERIES**

• **Environmentally Friendly** - Superior energy efficiency and optimum light output.  
 • **Weather Resistant** - Die-cast aluminum, vent/breather and dielectric enclosure is designed above canopy deck to prevent water entry, provide easy "lock-out" connection of primary wiring and create site to stabilizing the lowest operating temperatures available.  
 • **Operating Temperature** - -40°C to 50°C (-40°F to +122°F)  
 • **Electrical** - Universal voltage power supply, 120-277 VAC, 50/60 Hz, input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41-2002, Separate surge protection Class C.  
 • **Finish** - Standard color is white and is finished with LSI's Duragrip™ polymer powder coat process. Duragrip withstands extreme weather changes without cracking or peeling.



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**MURPHY USA**  
 GAINESVILLE, FLORIDA

Project No: MOCB-21  
 Sheet Scale: 1"=30'-0"  
 Designed By: JMS  
 Drawn By: JMS  
 Date: February, 2018  
 Dep. File: C:\p\Murphy\_Sic\_Flm-Drawings\_IL  
**PHOTOMETRIC DETAILS**

L-1.1

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ISSUE RECORD	
DATE	REV. DESCRIPTION
04/04/2016	PERMIT SUBMISSION SET

**PROFESSIONAL SEAL**



**PROFESSIONAL IN CHARGE**

FRANK GRECO

**PROJECT MANAGER**

CHRIS CERRO

**QUALITY CONTROL**

Muytha

**DRAWN BY**

KLITON SHERU

**PROJECT NAME**



**MURPHY OIL CONVENIENCE STORE**  
1800 NE 12TH AVE  
GAINESVILLE FL 32641

GAINESVILLE FL 32641



1801 Rockdale Industrial Blvd.  
Gainesville, Florida 32612  
Voice: (889) 356-6395  
Fax: (774) 483-5037

FMS JOB NUMBER  
G16MU00032  
FMS MODEL NUMBER  
XXXXXX

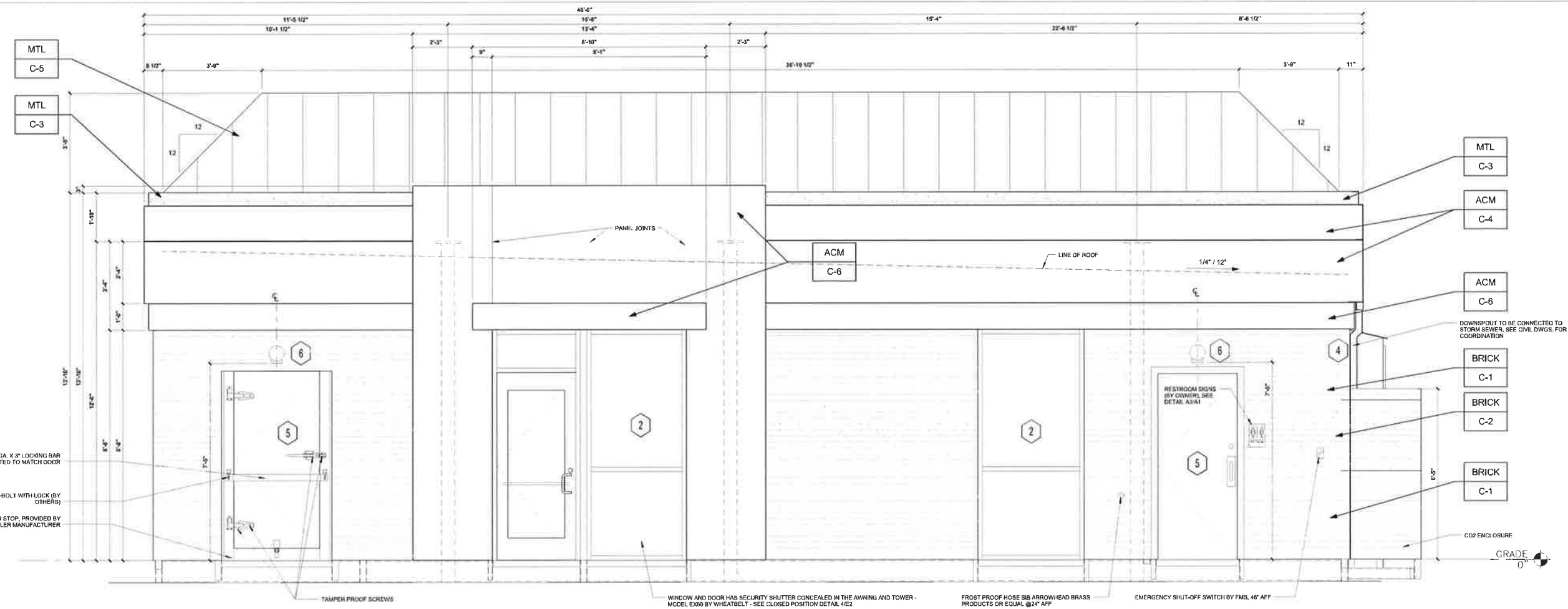
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**SHEET TITLE**

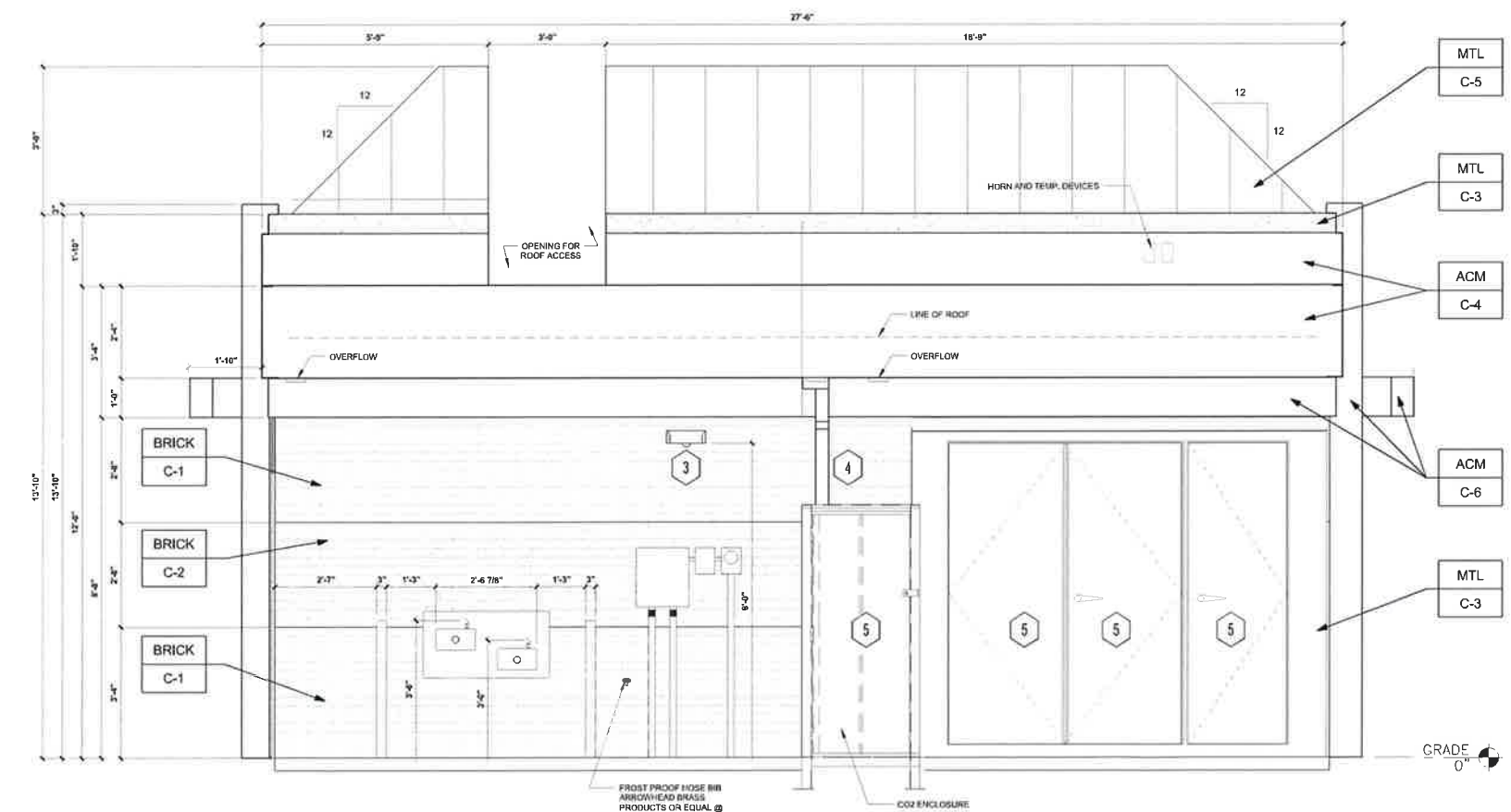
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**

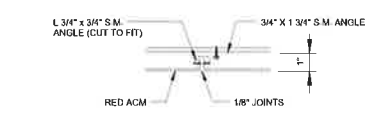
**E1**



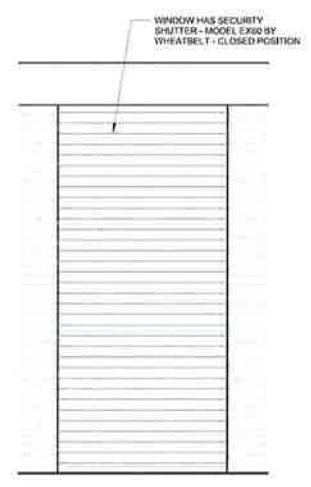
**1 FRONT ELEVATION**  
1/2" = 1'-0"



**2 RIGHT ELEVATION**  
1/2" = 1'-0"



**3 ACM JOINT DETAIL**  
N.T.S.



**4 SECURITY SHUTTER @ WINDOW**  
1/2" = 1'-0"

**KEYED NOTES:**

- 1 SIGNAGE (IF REQUIRED) BY SIGN CONTRACTOR
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM C-7
- 3 EXTERIOR LIGHTING. REFER TO LIGHTING PLAN SHEET EL2
- 4 3" x 2" PAINTED METAL CORRUGATED DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 LITHONIA REMOTE EMERGENCY HEAD RELAY SHEET EL2

**EXTERIOR FINISHES:**

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS

**EXTERIOR PAINT/COLORS:**

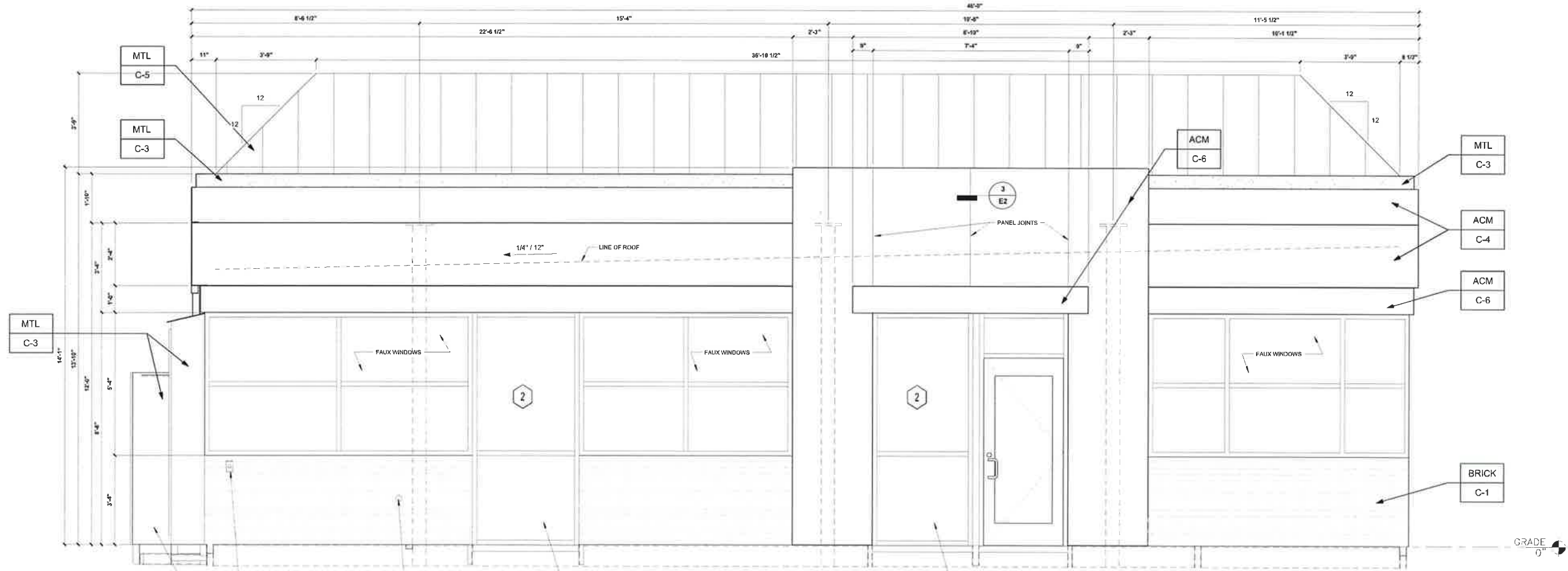
- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENGRICOTT (WIRE CUT FINISH) BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) BY FMS
- C-3 DORNER BROWN SW 7521 BY FMS
- C-4 REYNOLDS #4 NATURAL BRUSHED ALUMINUM BY FMS
- C-5 STANDING SEAM METAL ROOF 'LEAD-COTE' BY BURRIDGE BY FMS
- C-6 PROGRAM RED BY ALCOA BY FMS
- C-7 CLEAR ANODIZED ALUMINUM STOREFRONT BY FMS



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**ISSUE RECORD**

DATE	REV.	DESCRIPTION
04/04/2016		PERMIT SUBMISSION SET



**1 BACK ELEVATION**  
1/2" = 1'-0"

**GLASS AREA CALCULATIONS**

ELEVATION WITH STREET FRONTAGE	AREA OF WALL	AREA OF GLASS	PERCENTAGE OF GLASS
NORTH/BACK ELEVATION	544 SQ. FT.	208 SQ. FT.	38%
WEST/LEFT ELEVATION	323 SQ. FT.	143 SQ. FT.	44%

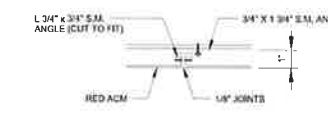
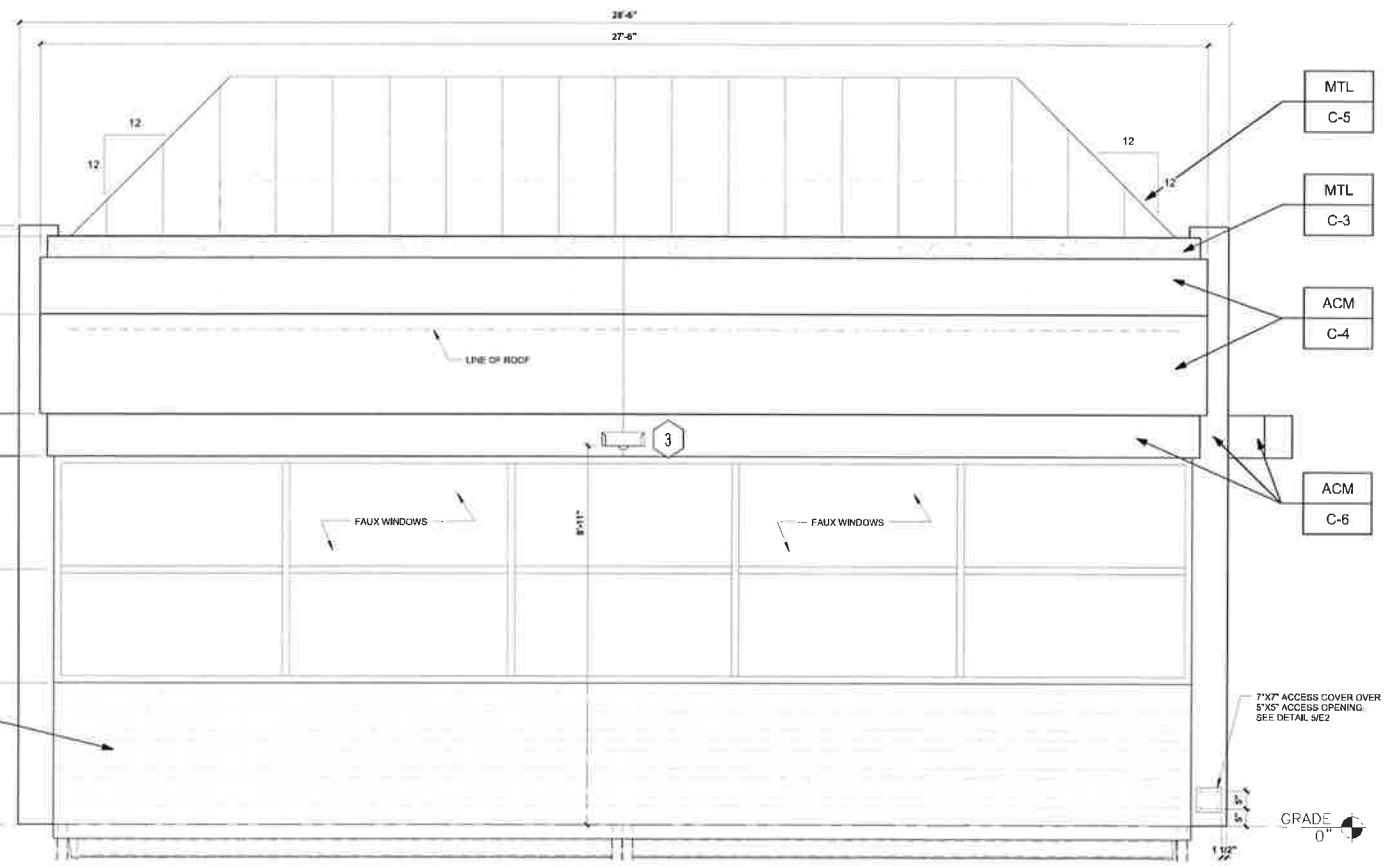
**6 E2 GLASS AREA CALCULATIONS**  
N.T.S.

- KEYED NOTES:**
- 1 SIGNAGE (IF REQUIRED) \_\_\_\_\_ BY SIGN CONTRACTOR
  - 2 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM \_\_\_\_\_ C-7
  - 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN \_\_\_\_\_ SHEET EL2
  - 4 3" x 2" PAINTED METAL CORRUGATED DOWNSPOUTS \_\_\_\_\_ C-3
  - 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED \_\_\_\_\_ C-3
  - 6 LITHONIA REMOTE EMERGENCY HEAD #ELA \_\_\_\_\_ SHEET EL2

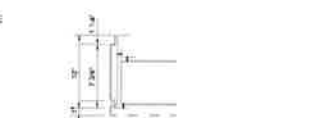
- EXTERIOR FINISHES:**
- ACM ACM (3MM THICKNESS) \_\_\_\_\_ BY FMS
  - BRICK THIN BRICK \_\_\_\_\_ BY FMS
  - MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) \_\_\_\_\_ BY FMS

- EXTERIOR PAINT/COLORS:**
- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDCOTT (WIRE CUT FINISH) \_\_\_\_\_ BY FMS
  - C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) \_\_\_\_\_ BY FMS
  - C-3 'DORMER BROWN' SW #7521 \_\_\_\_\_ BY FMS
  - C-4 REYNOLDBOND #4 NATURAL BRUSHED ALUMINUM \_\_\_\_\_ BY FMS
  - C-5 STANDING SEAM METAL ROOF "LEAD-COTE" BY BERRIDGE \_\_\_\_\_ BY FMS
  - C-6 'PROGRAM RED' BY ALCOA \_\_\_\_\_ BY FMS
  - C-7 CLEAR ANODIZED ALUMINUM STOREFRONT \_\_\_\_\_ BY FMS

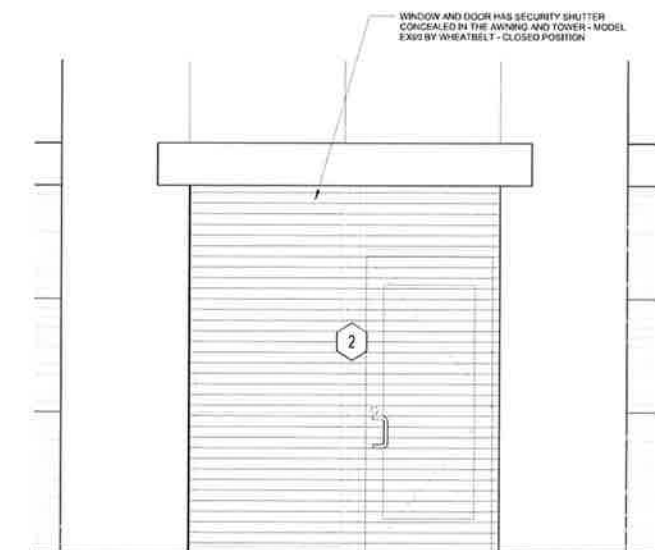
**2 LEFT ELEVATION**  
1/2" = 1'-0"



**3 E2 ACM JOINT DETAIL**  
N.T.S.



**5 E2 ACCESS PANEL**  
N.T.S.



**4 SECURITY SHUTTER @ ENTRY DOOR**  
1/2" = 1'-0"



**PROFESSIONAL IN CHARGE**  
FRANK GRECO

**PROJECT MANAGER**  
CHRIS CERBO

**QUALITY CONTROL**  
NIGHTS

**DRAWN BY**  
KLETON SHERO

**PROJECT NAME**  
**MURPHY OIL CONVENIENCE STORE**  
1800 NE 12TH AVE  
GAINESVILLE FL 32641

**FREY MOSS STRUCTURES**

1801 Rockdale Industrial Blvd.  
Cary, Georgia 30512  
Voice: (800) 366-6305  
Fax: (770) 483-6037

FMS JOB NUMBER  
G16MU00032

FMS MODEL NUMBER  
XXXXXX

**PROJECT NUMBER**  
20150870.0

**SHEET TITLE**

**EXTERIOR ELEVATIONS**

**SHEET NUMBER**  
**E2**

## **Attachment “C”**

### **Application and Neighborhood Workshop Information**



APPLICATION FOR SPECIAL USE PERMIT
Planning & Development Services

OFFICE USE ONLY
Petition No. Fee: \$
1st Step Mtg Date: EZ Fee: \$
Tax Map No. Receipt No.
Account No. 001-660-6680-3401 | |
Account No. 001-660-6680-1124 (Enterprise Zone) | |
Account No. 001-660-6680-1125 (Enterprise Zone Credit) | |

Application for a special use permit will be accepted for review only after a pre-application conference (First Step Meeting). Application to be completed by applicant. Application must include a preliminary development plan. Incomplete applications will be returned to the applicant.

Name of Owner(s) (please print)
Name: Wal-Mart Stores East LP
Address: 1301 SE 10th St.
Bentonville, AR 72716
Phone: 479-277-1348 Fax: 479-277-1957
Owner's Signature: [Signature]
(If additional owners, please include on back)

Applicant(s)/Agent(s), if different
Name: John Vecchio, P.E., GreenbergFarrow
Address: 1430 W. Peachtree Suite, NW
Suite 200
Atlanta, GA 30309
Phone: 404-205-8426 Fax:
Email: jvecchio@greenbergfarrow.com

PROPERTY INFORMATION: (Information below applies to property for which a Special Use Permit is being requested.)
Street address: Across the street from 1800 NE 12th Ave, Gainesville
Tax parcel no(s): 10859-010-003
Legal description (use separate sheet, if needed):

I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area for which the permit is being requested

Signature of applicant: [Signature] Date: 2/25/16

Certified Cashier's Receipt:

A Special Use Permit is requested pursuant to Section \_\_\_\_\_, Subsection \_\_\_\_\_, Paragraph \_\_\_\_\_, of the Land Development Code, City of Gainesville, to allow the following use:

A preliminary site plan is/is not required and is/is not attached.

Existing zoning classification: MU-2 Existing land use designation: MUM

Existing use of property: Vacant and undeveloped

<b>SURROUNDING PROPERTY INFORMATION:</b> (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.)			
	<b>Zoning</b>	<b>Land Use</b>	<b>Existing Use</b>
North	MU-2	MUM	Walmart
South	RC	RL	Single family residential homes
East	ED	E	Stormwater pond, church, Duval Elementary School
West	MU-2	MUM	one (1) single-family home on a large acreage parcel

**TO THE APPLICANT:** (Please sign the bottom of this application after you have read the following.)

- The City of Gainesville will notify owners of property within 400 feet of the subject property of this application
- No application for a Special Use Permit shall be entertained within 2 years after the denial or withdrawal of a request for the same use for the same property.
- The City Plan Board's decision concerning a Special Use Permit may be appealed by the applicant to a hearing officer within 15 days of the date notification of the decision is sent by certified mail to the applicant

Signature: [Handwritten Signature] Date: 2/25/15

<b>Name of Owner (please print)</b>	
Name	Wal-mart Stores East LP
Address	1301 SE 10th St Bentonville, AR 72716
Phone	479-277-1348 ax 479-277-1977
Owner's Signature	<u>[Handwritten Signature]</u>
(If additional owners, please list on separate sheet)	

<b>Name of Owner (please print)</b>	
Name	
Address	
Phone	Fax
Owner's Signature	

Reference Chapter 30, Land Development Code  
City Code of Ordinances, Article VII, Division 5



**DEVELOPMENT PLAN REVIEW APPLICATION  
PLANNING & DEVELOPMENT SERVICES**

<b>OFFICE USE ONLY</b>	
Petition No. _____	Fee: \$ _____
1 <sup>st</sup> Step Mtg Date: _____	EZ Fee: \$ _____
Account No. 001-660-6680-3401	
Account No. 001-660-6680-1124 (Enterprise Zone)	
Account No. 001-660-6680-1125 (Enterprise Zone Credit)	

**LEVEL OF REVIEW (check one)**

MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER

**Project Name:** Murphy USA

**Property Address:** 1800 NE 12th Ave., Gainesville, (across the street)

**Tax Parcel #(s):** 10859-010-003

**Site Area (acres):** 4/- 2.0 acres

**CHECK ALL PROPOSED USES**

<input type="checkbox"/> Residential	Density	<input type="checkbox"/> Non-residential
Multi-family	Units/acre:	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office
Total units:	Total bedrooms:	<input type="checkbox"/> Industrial <input type="checkbox"/> Other
		Gross floor area: <u>1,200</u> SF

<b>Owner(s) of Record (please print)</b>	
Name: <u>Wal-Mart Stores East LP</u>	
Address: <u>1301 SE 10th ST.</u>	
<u>Bentonville, AR 72716</u>	
Phone: _____	Fax: _____
<b>(If additional owners, attach information)</b>	

<b>Applicant(s)/Agent(s), if different</b>	
Name: <u>John Vecchio, P.E., GreenbergFarrow</u>	
Address: <u>1430 W. Peachtree St. NW</u>	
<u>Suite 200</u>	
<u>Atlanta, GA 30309</u>	
Phone: <u>404-205-8426</u>	Fax: _____
<b>(If additional agents, attach information)</b>	

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.

Signature of owner: Nathan Hamblen \*      Date: 2/24/16

I certify that all of the information contained in this application form is accurate and up-to-date.

Signature of Applicant: [Signature]      Date: 2/24/16

STATE OF ARKANSAS COUNTY OF Benton  
Sworn to and subscribed before me this 24 day of February 2016

Signature - Notary Public: Deann Michelle Druss

Personally Known  OR Produced Identification

*\* Nathan Hamblen  
SR Realty Manager  
for Wal-Mart Stores  
East, LP*

**Certified Cashier's Receipt:**



# PROPERTY OWNER AFFIDAVIT

<b>Owner Name:</b> Wal-Mart Stores East LP			
<b>Address:</b> 1301 SE 19th St. Bentonville, AR 72716		<b>Phone:</b> 479-277-1348 <i>nathan.hamblen@wal-mart.com</i>	
<b>Agent Name:</b> John Vecchio, PE, GreenbergFarrow			
<b>Address:</b> 1430 West Peachtree St., NW Atlanta, GA 30309		<b>Phone:</b> 404-205-8426	
<b>Email:</b> jvecchio@greenbergfarrow.com			
<b>Parcel No.:</b> 10859 010 003			
<b>Acreage:</b> 3.81 ac.		<b>S:</b> 34	<b>T:</b> 9
<b>R:</b> 20			
<b>Requested Action:</b> Authorization for Agent to act on behalf of Wal Mart Stores East LP for all activity associated with Murphy Oil USA, Inc., including Development Plans, SUP, and Subdivision Plat			
<p><b>I hereby certify that:</b> I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.</p> <p>Property owner signature: <i>Nathan Hamblen</i></p> <p>Printed name: <i>Nathan Hamblen, SR. Realty Manager, Wal-Mart Stores East, LP</i></p> <p>Date: <i>2/25/2014</i></p> <p>The foregoing affidavit is acknowledged before me this <u>25</u> day of <u>February</u>, 2016, by <u>Nathan Hamblen</u>, who is/are personally known to me, or who has/have produced _____ as identification.</p> <p style="text-align: center;">NOTARY SEAL <u><i>Gina Goodman</i></u></p> <p style="text-align: center;">Signature of Notary Public, State of <u>AR</u></p>			





1430 West Peachtree Street, NW  
Suite 200  
Atlanta, GA 30309  
t: 404 601 4000

ATLANTA  
LOS ANGELES  
NEW JERSEY  
CHICAGO  
NEW YORK  
DALLAS  
BOSTON  
COLUMBUS  
WISCONSIN  
BENTONVILLE  
PHILADELPHIA  
FRESNO  
MEMPHIS  
SHANGHAI  
MEXICO CITY



February 25, 2016

Mr. Ralph Hilliard  
Planning Manager  
Planning and Development Services Department  
City of Gainesville, FL  
200 East University Avenue  
Gainesville, FL 32601

Re: Murphy USA Letter of Application

Dear Mr. Hilliard:

Murphy Oil USA, Inc. proposes to construct a 1,200 sq. ft. convenience store with six (6) fueling pumps. The store will have a coffee bar, soda fountains, hot dogs, pizza, and pre-packaged food items available for purchase. An outdoor vacuum, air hose, ice machine and propane tanks will be available for customer convenience. The site is located on an approximately 2-acre outparcel across from the existing Walmart store at 1800 NE 12<sup>th</sup> Avenue.

The site is currently vacant and is bounded by NE 12<sup>th</sup> Avenue to the north, a detention pond and church to the east, NE 10<sup>th</sup> Avenue to the south, and a large tract of land to the west occupied by a single-family residence.

The property is zoned Mixed Use Medium Intensity District (MU-2), and the *"district is intended to encourage a reduction in the number and length of vehicular trips by providing for basic needs and employment opportunities within close proximity to residential areas,"* per the City of Gainesville's Land Development Code. The Murphy USA store meets the intent of the district by conveniently providing basic needs by selling fuel for nearby residents and customers of Walmart, as well as providing employment opportunities for residents in the neighborhood. A gas station at this location is complementary to the existing Walmart.

#### Special Use Permit

The City of Gainesville's Land Development Code only allows three (3) fuel pumps at service stations. Because Murphy Oil proposes to construct six (6) fuel pumps, a Special Use Permit is required. Murphy satisfies the City of Gainesville's requirements for a Special Use Permit in the following ways:

1. At the time of this project's review by the Development Review Board and City Plan Board, the project will have been reviewed by the City's Technical Review Committee and Gainesville Regional Utilities,

- and will comply with the City's Land Development Code and other requirements specific to the proposed use.
2. The proposed project is compatible and harmonious with the existing Walmart and will provide a much needed service for customers and residents of the neighborhood.
  3. All necessary public utilities are at the site and have adequate capacity to serve the proposed Murphy USA fueling station and convenience store.
  4. Waldo Avenue and NE 13<sup>th</sup> Avenue have adequate capacity to serve the proposed Murphy development and any traffic generated by the proposed development. The project will have little to no impact on public streets or traffic in the area. When Walmart was constructed, a gas station was included in the overall traffic study for the Walmart, and the study concluded that adequate street capacity for a gas station was available.
  5. Extensive landscape screening is proposed around the development, as shown on the landscape plan, to screen the project from the adjacent properties. Site lighting will be shielded to prevent glare onto neighboring residential properties.
  6. The use is consistent with the City's comprehensive plan and is within the Mixed Use Medium district.
    - a. As part of the overall neighborhood development, Murphy USA provides the neighborhood with gas services and complements the existing Walmart. It improves the condition of the neighborhood (Objective 2.1) Additionally, the building faces the street, and is located close to the street for pedestrians.
    - b. Regarding transportation, the project has a minimal traffic impact on the street system and the traffic generated by the development was included in the overall Walmart project. Pedestrians and bicyclists will be accommodated with sidewalks along NE 12<sup>th</sup> Avenue and with onsite bicycle parking is provided.
  7. The project satisfies the City's minimum concurrency requirements. A gas station was included in the traffic study that was done for Walmart.

#### Transportation Mobility Program Area

The site is located in Zone A of the Transportation Mobility Program Area (TMPA) and satisfies the requirements of gasoline service stations (policy 10.4.9) as follows.

1. The site is designed to enhance pedestrian and bicycle access by locating the building near NE 12<sup>th</sup> Avenue and utilizing the existing sidewalks along NE 12<sup>th</sup> Avenue.
2. Only two (2) driveways are proposed for the project to provide adequate truck ingress, egress and circulation. Both curb cuts are existing and were part of the Wal-Mart overall development.
3. Twelve (12) fueling positions are proposed, six (6) more than what is allowed by code. The additional fueling positions are consistent with what is allowed in the TMPA through the Special Use Permit process and by satisfying all of the following conditions:
  - a. The site can safely accommodate all of the proposed fueling positions and satisfies all required landscaping, buffering and other requirements of the Land Development code.
  - b. Site access and safety are not compromised by the additional fueling positions; Murphy USA will have little to no impact on public streets and traffic, and the site has been carefully designed to provide safe and efficient traffic circulation.

- c. Pedestrian and bicycle safety are maintained by connecting the store to the existing sidewalk on NE 12<sup>th</sup> Avenue. The two proposed driveways will provide for safe and efficient ingress and egress for cars, trucks and bicyclists. Bicycle parking is provided near the store.
- d. The building architecture is "upscale" with windows and neutral brick colors that are compatible with Walmart's colors. A mansard roof is proposed over the convenience store and gas canopy. The dumpster enclosure will be enclosed with the same colored brick as the building.
- e. Regarding the policy section that "*retail convenience good sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site are encouraged, and that the retail convenience goods sales or restaurant building and development shall meet all of the following requirements*", please be advised of the following:
  - i. The building has been placed close to the sidewalk for safe and convenient pedestrian and bicycle access.
  - ii. Windows have been added to the building; please refer to the building rendering submitted with this application.
  - iii. The front entrance to the store faces the NE 12<sup>th</sup> Avenue.
  - iv. Parking and fueling operations are located behind the building.
  - v. The building massing, height and elevations are appropriately scaled for the site, surrounding uses.

Concurrency

Murphy USA meets concurrency requirements. A gas station was proposed as part of the overall Walmart development

Neighborhood Workshop

A neighborhood workshop was conducted on Tuesday, January 26<sup>th</sup> at 6:30 p.m. at the Clarence R. Kelly Community Center in accordance with the City's requirements. A summary of the meeting and a copy of the sign-in sheet have been provided separately with this submittal.

In summary, Murphy USA is a complementary use to the existing Walmart store, and provides a much needed service to shoppers and residents in the community.

If you have any questions or need anything else, I may be reached at [jvecchio@greenbergfarrow.com](mailto:jvecchio@greenbergfarrow.com) or (404) 205-8426.

Sincerely,



John C. Vecchio, P.E.  
Senior Project Manager

1/28/16

The following is a summary of the Neighborhood Meeting held Tuesday evening, January 26, 2016 for the Murphy USA, Gainesville, FL project:

Date and Time: January 26, 2016, 6pm

Location: Clarence R. Kelly Community Center, 1701 NE 8<sup>th</sup> Avenue, Gainesville, FL 32601

Materials Presented: Site Plan-C-1 (Rev-0), Composite Site Plan- C-01 (Rev-0), Landscape Plan L1.0, Preliminary Survey S-3, Rendering (December 2, 2015)

GF Representatives: John Vecchio and Wayne Gibson

There were 5 individuals in attendance, 3 from the adjacent neighborhood group (Front Porch FL)

The following are their questions, comments and concerns:

1. Concerned about the trash. This is a vacant lot and is used to discard trash. (explained when site is fully developed the trash problem will go away, Murphy has a dumpster for trash removal)
2. Concerned about people using the site as a short cut to Wal-Mart. Again this lot is vacant and the existing fence along the rear property line is knocked down. (explained when the site is fully developed there will be perimeter landscaping to discourage the cut through. There are also existing sidewalks along the perimeter streets that connect to Wal-Mart)
3. Asked question about UST installation and any concerns with the environment. (explained the UST's require a State Permit and there are no environmental threats)
4. Asked question regarding stormwater control. (We explained the site was part of the overall Wal-Mart Development Plan approval and the Murphy site stormwater is part of the existing ERP (Environmental Resource Permit) for the Wal-Mart development site.
5. Asked question regarding increased traffic in the area due to the gas station use. (explained the site was included in the original Traffic Study for the Wal-Mart Development Plan and all of the traffic improvements have been installed including turning lanes and curb cuts to the proposed Murphy site)
6. Asked questions regarding Landscaping and Lighting. (showed them the Landscaping Plan and explained the proposed lighting for the site. Lighting to meet City requirements and will be shielded toward the residential area). Neighbors commented that the vacant lot is dark and dangerous and any lighting would be an **improvement**.

The Neighborhood group went on record that they **support the plan**. They intend to go back to the remainder of their group to increase support for the project. Front Porch FL intends to write a letter to City Council indicating support for the project.

John C Vecchio, PE  
Senior Project Manager  
1430 West Peachtree St. NW, Suite 200, Atlanta, GA 30309  
D 404.205.8426 C 404.834.5546 T 404.601.4000 x7213

**Greenbergfarrow**









**APPLICATION FOR CONCURRENCY EXEMPTION  
DEPARTMENT OF PLANNING & DEVELOPMENT SERVICES**

Petition No. \_\_\_\_\_ (Will be filled in by staff.)

<b>OFFICE USE ONLY</b>		
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	Approval expiration date _____
Signature: _____		Date: _____
Department of Planning & Development Services		

**NOTICE:** The applicant is responsible for supplying all information necessary to determine exemption from the City's concurrency requirements. Any evidence supporting a claim of concurrency exemption must be attached to this form. Failure to answer all questions will result in the application being returned to the applicant. Additional information may be requested in order to process this application. Notification of the results of this application will be made in writing to the address shown on this form.

<b>Owner Name(s) (please print)</b>
Name(s): Wal-Mart Stores East LP
Mailing Address: 1302 SE 20th St Kentonville, TN 37116
Phone: 475-277-1348 Fax: _____
(If additional owners, please include on separate sheet)

<b>Applicant(s) Name (please print)</b>
Name: John Vecchio, PE, GreenbergFarrow
Mailing Address: 1430 W Peachtree St NW Suite 200 Atlanta, GA 30309
Phone: 404-265-8426 Fax: _____

<b>PROJECT INFORMATION</b>
Project name: Murphy 300
Project location: Acreage from Walmart (1800 NE 12th St.) on the south side of NE 20th St
Tax parcel No(s): 1365-010-000
Type of development order to which exemption will apply: Minor Subdivision Lot

*(over please)*

Application for Concurrency Exemption

Please check the box next to the reason(s) why you claim exemption to the City's Concurrency Requirements

- 1.  A valid and unexpired Vested Rights Certificate exists for this project. (Please attach a copy of the Vested Rights Certificate.)
- 2.  Lot split
- 3.  Project alteration not creating any additional impacts on adopted LOS standards
- 4.  Construction of accessory buildings or structures which will not create any additional impacts on adopted LOS standards.
- 5.  Replacement or rebuilding of a dwelling unit when no additional dwelling units are being created.
- 6.  Replacement or rebuilding of a non-residential structure when there is no change of use and no net change in structure dimensions.
- 7.  The replacement or rebuilding of a damaged non-residential structure where there is no net change in any facility capacity demand.
- 8.  A building permit for a single-family residential unit or duplex to be constructed on an existing lot of record as of the effective date of adoption of the Land Development Code (June 10, 1992).
- 9.  Redevelopment where there is no net change in any facility capacity demand.



I certify that I am the owner of the subject property and authorize the agent listed above to initiate this application for concurrency exemption. (Signature by the owner on this application or in a letter is necessary.) I further certify that all of the information contained in this application is accurate and up-to-date.

Owner's signature: Nathan Hamblen Date: 2/25/16

**ACDT**  
Applicant's signature: [Signature] Date: 2/25/16  
(if not the same as owner)



**APPLICATION FOR CONCURRENCY CERTIFICATION & TMPA REVIEW  
DEPARTMENT OF PLANNING & DEVELOPMENT SERVICES**

**LONG FORM  
(352) 334-5022**

<b>OFFICE USE ONLY</b>	
Petition No. _____	TMPA Zone [ ] A [ ] B [ ] C [ ] D [ ] E [ ] M

<b><u>TYPE OF CERTIFICATION REQUESTED:</u></b>
<input type="checkbox"/> Concurrency Determination (non-binding)
<input type="checkbox"/> Certificate of Preliminary Concurrency
<input type="checkbox"/> Certificate of Final Concurrency
<input type="checkbox"/> Certificate of Conditional Concurrency Reservation

<b>Owner Name(s) (please print)</b>
Name(s): Wal-Mart Stores East LP
1301 SE 10th St.
Bentonville, AR 72716
E-Mail Address:
Phone: 479-277-1348      Fax:
(If additional owners, please include on separate sheet)

<b>Agent(s) Name (please print)</b>
Name: John Vecchio, P.E., GreenbergFarrow
Mailing Address: 1430 W. Peachtree St., NW
Suite 200
Atlanta, GA 30309
E-Mail Address: jvecchio@greenbergfarrow.com
Phone: 404-205-8426      Fax:
(Attach notarized authorization for agent to act on owner's behalf.)

<b>PROJECT INFORMATION</b>	
Project Name: Murphy USA	Phase:
Location of Project (attach an 8 1/2" x 11" map showing location)	<b>ATTACHED</b>
1. Street address: Across the street from the Walmart at 1800 NE 12th Ave.	
2. Legal description (may be attached): <b>ATTACHED</b>	
3. Tax parcel number(s): 10859-010-003	4. Map number(s):
Existing Land Use Category: MUM	Existing Zoning: MU-2



Is there a proposal to change the zoning and/or land use associated with this project? [ ] Yes [x] No
If yes, indicate petition number(s) associated with change:

PHASING			
Is this project (phase) part of a larger project? [ ] Yes [x] No			
If yes, enumerate each phase, number of units or square footage in each phase and beginning/ completion date.			
Total Project: Residential units	SF	SFA	MF
Non-residential (square footage)			
Mixed-use (describe mix)			
(If this is a single phase project, name it Phase I – Total)			

RESIDENTIAL DATA					
Type	Phase	Number of units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Rooming houses or dormitories (beds)					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expected beginning date	Expected completion date
Murphy USA		1,200 SF	2.2	Jan 2017	May 2017

**STOP HERE AND SIGN CERTIFICATION ON PAGE 3 IF YOU ARE REQUESTING ONLY A CONCURRENCY DETERMINATION**

Required Information for Certificates of Preliminary, Final, and Conditional Concurrency Reservation & TMPA Review (Attach sheets to application.)

1. Attach a sheet with the average daily, and peak hour, peak direction trip generation for the project based on the latest edition of the ITE Trip Generation Manual. **(NOTE: The trip generation information MUST be attached to this application and shown on the development plan.)** In cases where the City and the applicant show differences in projected trips, the applicant's calculations must be signed and sealed by the professional engineer registered in the State of Florida.

Application for Concurrency Certification & TMPA Review

- 2. Is the proposed project within the Transportation Mobility Program Area (TMPA) (see attached map)? If yes, please be aware that special criteria apply in this area.  Yes  No  
 Zone A  Zone B  Zone C  Zone D  Zone E  Zone M
- 3. Indicate whether the proposed project will be eliminating any existing recreation facilities. If yes, detail the number and type being eliminated.  Yes  No
- 4. Submit a complete stormwater management plan for water quantity and water quality review by the City's Public Works Department. (Do not submit with this application, submit with the development plan.)
- 5. Does this application involve demolition or re-use of any structure(s)?  Yes  No

If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_ (unit(s) or square footage)

What is the current use of the structure to be demolished or re-used?  
\_\_\_\_\_

Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  
 Yes  No

If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations.)



Certification

The undersigned has read the above application and is familiar with the information submitted herewith. It is agreed and understood that the undersigned will be held responsible for its accuracy. The undersigned hereby attests to the fact that the parcel number(s) and legal description(s) shown in questions 2 and 3 is/are the true and proper identification of the area for which the concurrency application is being submitted. Signatures of all owners or their agent are required on this form.

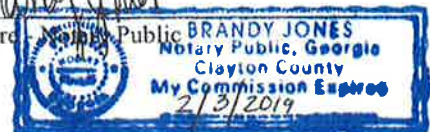
NOTE: The undersigned agrees that signing this application grants Planning staff the right to amend, for the sake of consistency, the square footage or number of units shown herein based on changes made to the development plan, subdivision, special use permit, or planned development during the review process.

[Signature]  
Owner/Agent Signature

2/25/16  
Date

Georgia  
STATE OF FLORIDA  
COUNTY OF Fulton  
Sworn to and subscribed before me this 25<sup>th</sup> day of February 2016.

[Signature]  
Signature



Personally Known  OR Produced Identification \_\_\_\_\_



**STAFF USE ONLY**

Estimated demand:

Potable water ( \_\_\_\_\_ units x 2.25) x 200 = \_\_\_\_\_ peak gallons per day (resid. only)

Water Supply \_\_\_\_\_ (see GRU)

Wastewater ( \_\_\_\_\_ units x 2.25) x 113 = \_\_\_\_\_ average gallons per day (resid. only)

Solid Waste ( \_\_\_\_\_ units x 2.25) x 3.6 = \_\_\_\_\_ pounds per day (resid. only)

Trip Generation \_\_\_\_\_ ADT; \_\_\_\_\_ added p.m. peak hour, peak direction trips

Stormwater	(See the Public Works Comment Sheet.)	Does the project meet water quality and water quantity LOS Standards, according to the Public Works Department?
------------	---------------------------------------	---

Recreation	_____	Does the project degrade the City's adopted LOS Standards for recreation?
------------	-------	---

Mass Transit	_____	Does the project impact any of the City's adopted LOS Standards for mass transit?
--------------	-------	---

Estimated credits for demolition/redevelopment/re-use:

Potable water ( \_\_\_\_\_ units x 2.25) x 200 = \_\_\_\_\_ peak gallons per day (resid. only)

Water Supply \_\_\_\_\_ (see GRU)

Wastewater ( \_\_\_\_\_ units x 2.25) x 113 = \_\_\_\_\_ average gallons per day (resid. only)

Solid Waste ( \_\_\_\_\_ units x 2.25) x 3.6 = \_\_\_\_\_ pounds per day (resid. only)

Trip Generation \_\_\_\_\_ ADT; \_\_\_\_\_ peak p.m. hour, peak direction trips

Note: 2.25 = 2010 Census persons/household in Gainesville, FL



**STAFF USE ONLY**

This development meets all relevant Planning and Development Services Department LOS standards for concurrency and TMPA Review. Please see the Public Works comment sheet for information about Stormwater Management concurrency.

Signed \_\_\_\_\_

Date \_\_\_\_\_

Concurrency long form--nf  
Revised: 10/24/13

## LOT "3A" LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN THE SOUTHWEST OF SECTION 34, TOWNSHIP 9 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF LOT 3 AS SHOWN ON A PLAT ENTITLED "A MINOR SUBDIVISION IN THE S.W. 1/4 OF SECTION 34, TOWNSHIP 9 SOUTH, RANGE 20 EAST, IN THE CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA" BY J.W. BROWN INC., LAND SURVEYOR, DATED JUNE 24, 1999 AND RECORDED IN P.B. 22, PG. 9, ALACHUA COUNTY, FLORIDA RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A RAILROAD SPIKE FOUND AT THE SOUTHWEST CORNER OF SECTION 34, TOWNSHIP 9 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA; THENCE ALONG THE SOUTH LINE OF SAID SECTION 34 NORTH 89°06'21" EAST, A DISTANCE OF 362.32 FEET TO A POINT; THENCE NORTH 01°03'14" WEST, A DISTANCE OF 773.28 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY OF SEABOARD AIRLINE RAILROAD (ABANDONED); THENCE ALONG SAID RIGHT-OF-WAY NORTH 29°30'05" EAST, A DISTANCE OF 710.95 FEET TO A POINT AT THE SOUTHWESTERLY PROPERTY CORNER OF WAL-MART STORES EAST, LP (PID: 10859-010-003, O.R. 3568, PG. 1244); THENCE LEAVING SAID RIGHT-OF-WAY NORTH 89°59'33" EAST, A DISTANCE OF 212.07 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF NE 12TH AVENUE (PUBLIC RIGHT-OF-WAY VARIES); THENCE ALONG SAID RIGHT-OF-WAY SOUTH 60°29'55" EAST, A DISTANCE OF 41.81 FEET TO A POINT; THENCE CONTINUE ALONG SAID RIGHT-OF-WAY WITH A CURVE TO THE RIGHT, HAVING A RADIUS OF 316.00 FEET, AN ARC LENGTH OF 44.56 FEET, A CHORD WHICH BEARS SOUTH 56°27'31" EAST, A DISTANCE OF 44.53 FEET TO A POINT; THENCE SOUTH 36°41'29" EAST, A DISTANCE OF 52.24 FEET TO A POINT; THENCE SOUTH 40°18'32" EAST, A DISTANCE OF 28.31 FEET TO A POINT; THENCE SOUTH 54°40'05" WEST, A DISTANCE OF 16.75 FEET TO A POINT; THENCE SOUTH 35°19'55" EAST, A DISTANCE OF 42.00 FEET TO A POINT; THENCE NORTH 54°40'05" EAST, A DISTANCE OF 18.00 FEET TO A POINT; THENCE SOUTH 35°19'55" EAST, A DISTANCE OF 34.66 FEET TO A POINT; THENCE SOUTH 69°25'24" EAST, A DISTANCE OF 16.06 FEET TO A POINT; THENCE SOUTH 35°19'55" EAST, A DISTANCE OF 79.37 FEET TO A CHISELED "X" SET AT THE NORTHEAST PROPERTY CORNER OF ROY O. CAMP REVOCABLE LIVING TRUST (PID: 10859-010-005, O.R. 3734, PG. 725); THENCE CONTINUE ALONG SAID SOUTHERLY RIGHT-OF-WAY OF NE 12TH AVENUE SOUTH 35°19'55" EAST, A DISTANCE OF 94.46 FEET TO A 1/2" REBAR SET; THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 262.00 FEET, AN ARC LENGTH OF 37.18 FEET, A CHORD WHICH BEARS SOUTH 39°23'53" EAST, A DISTANCE OF 37.15 FEET TO A CHISELED "X" SET; SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING.

THUS HAVING ESTABLISHED THE TRUE POINT OF BEGINNING, THENCE CONTINUE ALONG SAID SOUTHERLY RIGHT-OF-WAY WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 262.00 FEET, AN ARC LENGTH OF 11.42 FEET, A CHORD WHICH BEARS SOUTH 44°42'44" EAST, A DISTANCE OF 11.42 FEET TO A 1/2" REBAR SET; THENCE SOUTH 25°12'10" EAST, A DISTANCE OF 25.31 FEET TO A 1/2" REBAR SET; THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 272.00 FEET, AN ARC LENGTH OF 185.38 FEET, A CHORD WHICH BEARS SOUTH 70°28'32" EAST, A DISTANCE OF 181.81 FEET TO A POINT; THENCE NORTH 90°00'00" EAST, A DISTANCE OF 66.59 FEET TO A POINT AT THE NORTHEAST PROPERTY CORNER OF LOT 3 (PB. 22, PG. 9 WAL-MART STORES EAST, LP O.R. 3568, PG. 1244); THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 01°07'41" EAST, A DISTANCE OF 167.63 FEET TO A POINT ON THE NORTH PROPERTY LINE OF CHRISTIAN METHODIST EPISCOPAL CHURCH (PID: 10858-074-000); THENCE SOUTH 88°40'13" WEST, A DISTANCE OF 2.09 FEET TO A 1/2" REBAR SET; THENCE SOUTH 01°17'19" EAST, A DISTANCE OF 60.39 FEET TO A 4" X 4" CONCRETE MONUMENT SET ON THE NORTH RIGHT-OF-WAY OF NE 10TH AVENUE (PUBLIC RIGHT-OF-WAY VARIES); THENCE ALONG SAID RIGHT-OF-WAY SOUTH 88°57'09" WEST, A DISTANCE OF 329.09 FEET TO A 4" X 4" CONCRETE MONUMENT SET AT THE SOUTHWEST PROPERTY CORNER OF THE AFOREMENTIONED ROY O. CAMP REVOCABLE LIVING TRUST; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 01°07'41" WEST, A DISTANCE OF 324.69 FEET TO A 4" X 4" CONCRETE MONUMENT SET; THENCE NORTH 89°06'21" EAST, A DISTANCE OF 76.12 FEET TO A CHISELED "X" SET ON THE SOUTHERLY RIGHT-OF-WAY OF NE 12TH AVENUE AND THE TRUE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING AN AREA OF 88,001.57 SQUARE FEET OR 2.020 ACRES, MORE OR LESS.

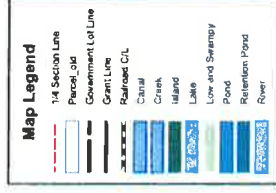
# MURPHY OIL USA, INC. - LOCATION MAP

ALACHUA COUNTY  
PROPERTY APPRAISER



Ed Crapo, CFA, ASA, AAS  
PROPERTY APPRAISER

Quarter Section Map

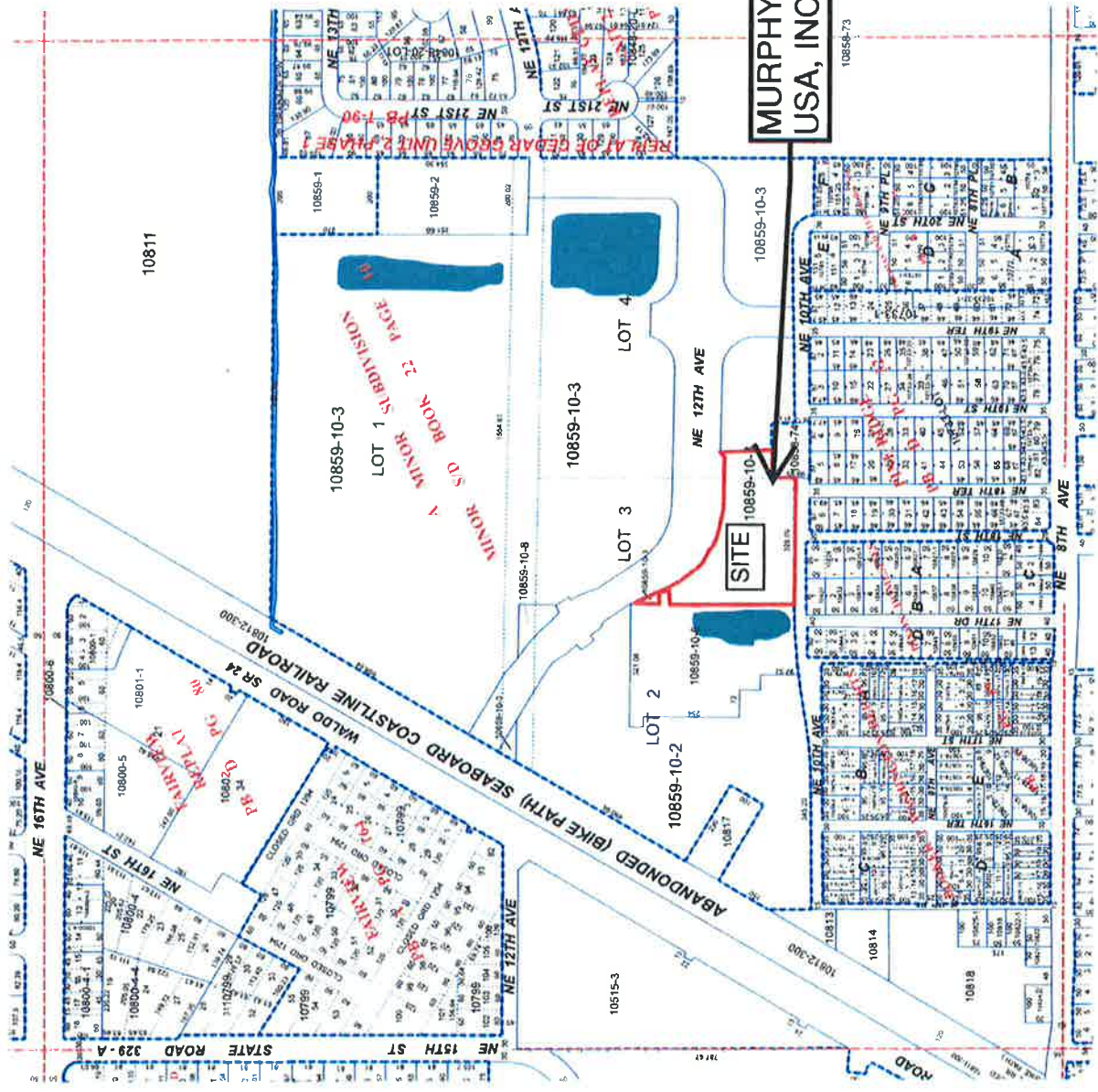


SCALE: 1" = 200'

**INFORMATION MAP - NOT A SURVEY**  
This map is a Quarter Section Map of the Property Appraiser's GIS Parcel database. The accuracy of the map meets national Map Accuracy Standards. The Alachua County Property Appraiser's Office is committed to providing the most accurate and current information. No warranties expressed or implied are made for the data herein, its use or related information. This map is to be read upon by anyone as a survey or determination of the ownership of property.

This Map was created by the  
Alachua County Property Appraiser's  
GIS Services located at 515 N Main  
Street, Suite 200, Gainesville, FL 32601

SEC TWP RGE QUAD  
**34 09S 20E SW**  
Revision Date: 7/13/2015



## William Peratta

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**From:** Leistner, Deborah L. <leistnerdl@cityofgainesville.org>  
**Sent:** Tuesday, January 26, 2016 8:45 AM  
**To:** William Peratta  
**Cc:** Scott Wright (scottw@chw-inc.com); Calderon, Lawrence D.  
**Subject:** RE: Murphy USA (Gainesville, FL) - Traffic Study

Mr. Perrata,

The original traffic study for the Northeast Walmart Supercenter, located at the intersection of Waldo Rd and NE 12<sup>th</sup> Ave, included a gas station with 12 fueling positions. All calculations and roadway modifications at the time anticipated the added traffic volumes from the gas station. If the same number of fueling positions is maintained, you will not need a revised study. If you need additional information please contact me at the number below.

Regards,

Debbie Leistner  
PW Planning Manager  
(352) 393-8412

**From:** William Peratta [mailto:wperatta@greenbergfarrow.com]  
**Sent:** Monday, January 25, 2016 6:16 PM  
**To:** Leistner, Deborah L.  
**Subject:** Murphy USA (Gainesville, FL) - Traffic Study

Debbie,

Will a TIA be required for a proposed Murphy USA gas station with 6 pumps (12 fueling positions) and a 1,200 SF convenience store, or was this type of use already included in Walmart's TIA?

Site plans are attached showing the proposed development and its location.

Thank you,  
Bill

William Peratta, AICP  
Due Diligence Coordinator  
1430 West Peachtree St. NW, Suite 200, Atlanta, GA 30309  
D 678.412.6024 T 404.601.4000 x7384

**GreenbergFarrow**

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Murphy Oil USA, Inc. 200 Peach Street (71730)  
 P.O. Box 7300  
 El Dorado, Arkansas 71731-7300

Check Number : 3079685  
 Check Date: 02/25/16  
 Payee: 5656973 GAINESVILLE CITY OF

Amount : \$\*\*\*\*\*2,568.88

INVOICE	DATE	COMMENT	AMOUNT PAID
20160232	02/23/16	TOTAL	2,568.88 2,568.88

<b>Murphy Oil USA, Inc.</b> 200 Peach Street (71730) P.O. Box 7300 El Dorado, Arkansas 71731-7300		<b>Murphy USA</b>	Check Number: 3079685 BancorpSouth El Dorado, Arkansas 71730	81-91 829			
			<table border="1"> <thead> <tr> <th>Payee</th> <th>Date</th> <th>Amount</th> </tr> </thead> <tbody> <tr> <td>5656973</td> <td>02/25/16</td> <td>\$*****2,568.88</td> </tr> </tbody> </table>	Payee	Date	Amount	5656973
Payee	Date	Amount					
5656973	02/25/16	\$*****2,568.88					
<b>Pay</b> TWO THOUSAND FIVE HUNDRED SIXTY EIGHT AND 88/100*****							
<b>To The Order Of</b> GAINESVILLE CITY OF 200 EAST UNIVERSITY AVE GAINESVILLE FL 32601	Counter Signature Required if over \$50,000.00 						

⑈03079685⑈ ⑆065300486⑆ ⑆⑆20390453⑈

5656973

Murphy Oil USA, Inc.  
 P.O. Box 7300  
 El Dorado, Arkansas 71731-7300

GAINESVILLE CITY OF  
 200 EAST UNIVERSITY AVE  
 GAINESVILLE FL 32601

Attachment “D”

Comprehensive Plan and Land Development Code References.

## Comprehensive Plan Goals, Objectives and Policies

This petition addresses a request to construct a gasoline service station with a convenience store, located within the MU-2 zoning district. The Land Development Code requires that all gas

### Policy 10.4.9

Within the TMPA, retail petroleum sales at service stations and/or car washes, either separately or in combination with the sale of food or eating places, shall be required to obtain a Special Use Permit. In addition to the review criteria in the Land Development Code for Special Use Permits, the following review standards shall apply:

- a. Site design shall enhance pedestrian/bicycle access to any retail and/or restaurant facilities on site. Sidewalk connections or marked pedestrian crosswalks shall be shown on the site plan.
- b. The number and width of driveways shall be minimized.
- c. Except where more stringently regulated by a special area plan or overlay district, the maximum number of fueling positions shall be set as follows:

1. No limitation on fueling positions in the Industrial zoning categories;
2. Six fueling positions in the Mixed-Use Low land use category or Mixed-Use 1 zoning district; Transportation Mobility B-37 Revised 08/12/02, Ord. 000515 Revised 04/26/04, Ord. 030466 Revised 12/17/09, Ord. 090184 Revised 08/15/13, Ord. 120370 Goals, Objectives & Policies
3. Until adoption in the Land Development Code of specific architectural and design standards, six fueling positions in all other zoning categories where gasoline service stations (retail petroleum sales) or food stores with accessory gasoline and alternative fuel pumps are allowed. In the interim period before the adoption of architectural and design standards, additional fueling positions, up to a maximum of twelve, may be allowed as part of a Planned Development rezoning or Special Use Permit process, with the final approval of the City Commission, based on meeting all of the following conditions:
  - a. The size of the site can safely accommodate the additional fueling positions while meeting all required landscaping, buffering, and other Land Development Code requirements;
  - b. Site access and traffic safety conditions on adjacent roadways and intersections are not compromised by the additional trips generated by the additional fueling positions;

c. Pedestrian/bicycle safety and comfort in the area are not compromised by the additional trips generated by the additional fueling positions;

d. The architectural and site design are of such high quality that they enhance the site area and promote the City's multi-modal and design goals. As part of a Planned Development rezoning or Special Use Permit review process, the developer shall provide a development plan, elevations and architectural renderings of the proposed site including details such as, but not limited to, façade treatment, colors, lighting, roof detail, signage, landscaping, building location relative to the street, and location of access points;

e. Cross-access or joint driveway usage is provided to other adjacent developments; and

f. Retail convenience goods sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site is encouraged. The retail convenience goods sales or restaurant building and development shall meet all of the following requirements:

1. Building(s) shall be placed close to the public sidewalk for a substantial length of the site's linear frontage; Transportation Mobility B-38 Revised 08/12/02, Ord. 000515 Revised 04/26/04, Ord. 030466 Revised 12/17/09, Ord. 090184 Revised 08/15/13, Ord. 120370 Goals, Objectives & Policies

2. A minimum of 30% window area or glazing at pedestrian level (between 3 feet above grade and 8 feet above grade) on all first-floor building sides with street frontage. Windows or glazing shall be at least 80% transparent;

3. A pedestrian entry is provided from the public sidewalk on the property frontage or near a building corner when the building is on a corner lot;

4. Off-street parking shall be located to the side or rear of the building; and

5. The building height and façade elevation are appropriate for the site and surrounding zoned properties.

4. Until adoption in the Land Development Code of specific architectural and design standards, ten fueling positions within 1/4 mile of an I-75 interchange. In the interim period before the adoption of architectural and design standards, additional fueling positions, to a maximum of twelve, may be allowed as part of a Planned Development rezoning or Special Use Permit process, with the final approval of the City Commission, based on meeting all of the conditions shown in 3 a-f above.

## **Future Land Use Element**

### Objective 1.2

Protect and promote viable transportation choices (including transit, walking and bicycling, and calmed car traffic).

#### Policy 1.2.5

The City should encourage creation of short-cuts for pedestrians and bicyclists with additional connections and cross access in order to create walking and bicycling connections between neighborhoods and neighborhood (activity) centers.

### Objective 1.3

Adopt land development regulations that guide the transformation of conventional shopping centers into walkable, mixed-use neighborhood (activity) centers.

### Objective 1.5

Discourage the proliferation of urban sprawl.

## **GOAL 2**

### **REDEVELOP AREAS WITHIN THE CITY, AS NEEDED, IN A MANNER THAT PROMOTES QUALITY OF LIFE,**

#### Objective 2.1

Redevelopment should be encouraged to promote compact, vibrant urbanism, improve the condition of blighted areas, discourage urban sprawl, and foster compact development patterns that promote transportation choice.

##### Policy 2.1.1

The City shall develop recommendations for areas designated as redevelopment areas, neighborhood centers and residential neighborhoods in need of neighborhood enhancement and stabilization.

b. The City should include in its redevelopment plans recommendations regarding economic development strategies, urban design schemes, land use changes, traffic calming, and infrastructure improvements;

c. The City should identify potential infill and redevelopment sites; provide an inventory of these sites; identify characteristics of each parcel, including land development regulations, infrastructure availability, major site limitations, and available public assistance; and develop a strategy for reuse of these sites; d. The City should encourage retail and office development to be placed close to the street side sidewalk.

#### Objective 4.2



The City shall implement regulations that will protect low-intensity uses from the negative impacts of high-intensity uses and provide for the healthy coexistence and integration of various land uses.

#### Objective 4.2

The City shall implement regulations that will protect low-intensity uses from the negative impacts of high-intensity uses and provide for the healthy coexistence and integration of various land uses.

#### Policy 4.2.1

The City shall adopt land development regulations that provide protection for adjacent residential areas and low intensity uses from the impacts of high intensity uses by separating intense uses from low - intensity uses by transitional uses and by performance measures. Performance measures shall address the buffering of adjacent uses by landscape, building type and site design. Regulation of building type shall insure compatibility of building scale, and overall building appearance in selected areas. Regulation of site design shall address orientation. Such regulation shall also include arrangement of functions within a site, such as parking, loading, waste disposal, access points, outdoor uses and mechanical equipment; and the preservation of site characteristics such as topography, natural features and tree canopy.

#### Policy 4.2.2

The City shall adopt land development regulations that encourage better access between residential neighborhoods and adjacent neighborhood centers through the use of street design and the use of pedestrian, bicycle and transit modifications.

#### Policy 4.2.3

The existence of non-residential uses on one or more corners of an intersection will not justify approval of the development of all corners with the same or similar use, nor does the existence of non-residential uses on a major arterial street dictate that all frontage must be similarly used.

## LAND DEVELOPMENT CODE REFERENCES

Sec. 30-65. - Mixed use medium intensity district (MU-2).

- (a) Purpose. The mixed-use medium intensity district is established for the purpose of providing a mix of employment, retail, professional, service and residential uses in medium level activity centers. The district is intended to encourage a reduction in the number and length of vehicular trips by providing for basic needs and employment opportunities within close proximity to residential areas. Such districts are established to allow uses compatible with each other and with surrounding residential areas to be clustered in a compact urban center. The mixed-use medium intensity district shall be located in areas where analysis of residential characteristics demonstrates that such facilities are required, and where there is limited overlapping of market areas with other mixed-use medium intensity districts.
- (b) Objectives. The provisions of this district are intended to:
  - (1) Coordinate the locations of activity centers with the population and land use needs of adjoining residential areas. It is intended that activity centers have only minimally overlapping market areas;
  - (2) Encourage large, mixed-use developments to locate on land that is physically capable of supporting the proposed development;
  - (3) Ensure that new development within the district is integrated with existing development and is designed to promote pedestrian and nonautomotive access within the district and from surrounding residential areas;
  - (4) Minimize traffic congestion by requiring that large, mixed-use developments be located on appropriate major collector and arterial roadways, and by minimizing the number and location of driveway connections;
  - (5) Encourage proper design review through the utilization of the development plan review process to ensure a harmonious relationship with surrounding development (including adequate ingress and egress);
  - (6) Integrate all outparcel development through landscaping; shared parking, traffic access management and circulation; and stormwater management; and
  - (7) Require appropriate buffering or screening around large mixed-use development to maintain its compatibility with surrounding land uses.
- (c) Requirements for developments of less than 50,000 square feet.
  - (1) Yard setbacks.
    - a. Front: The maximum setback shall be the average setback of existing development in the same face block face; however, when there is no existing development in the same block face, the setback shall be between 15 and 80 feet.

- b. Where the side or rear yard abuts property which is in a residential zoning district or is shown for residential use on the future land use map of the comprehensive plan, the minimum setback shall be 25 feet or the distance created by the 45-degree angle of light obstruction, whichever is greater. If MU-2 zoning abuts a single-family residential zoning district, then the residential portion of the mixed-use development shall be limited to RMF-7 in the area within 100 feet of the property line, plus the required buffers for the single-family residential zoning district. In addition, the multi-family development shall comply with all the regulations in the RMF-7 district and the requirements of section 30-56.
- (2) Maximum building height: Five stories.
  - (3) Maximum lot coverage: 50 percent.
  - (4) Access: Access shall be designed to integrate all aspects of the development and shall meet all requirements of article IX and Chapter 23. Driveways shall be coordinated or shared insofar as possible.
- (d) Requirements for developments of 50,000 square feet or more. These requirements apply to developments with at least 50,000 square feet of gross leasable area.
- (1) Location. Nonresidential development shall be located at intersections of arterials or arterials and collectors, as shown in the city comprehensive plan.
  - (2) Dimensional requirements. All principal and accessory structures shall be located and constructed in accordance with the following requirements:
    - a. Minimum lot area: 10,000 square feet.
    - b. Minimum lot width at minimum front yard setback: 100 feet.
    - c. Minimum yard setbacks:
      - 1. Internal to the district. Where there are separate residential uses and nonresidential uses within the MU-2 district, such uses shall have an angle of light obstruction for all principal and accessory structures of 60 degrees.
      - 2. Between different districts. Where the side or rear yard abuts property which is in a residential district, or is shown on the future land use map of the comprehensive plan for residential use, the minimum setback shall be 100 feet or the distance created by a 45-degree angle of light obstruction, whichever is greater. If MU-2 zoning abuts a single-family residential zoning district, then the residential portion of the mixed-use development shall be limited to RMF-7 in the area within 100 feet of the property line, plus the required buffers for the single-family residential zoning district. In addition, the multi-family development shall comply with all the regulations in the RMF-7 district and the requirements of section 30-56.
      - 3. Front yard. The maximum setback shall be the average setback of existing development in the same face block face; however, when there

is no existing development in the same block face, the setback shall be between 15 and 80 feet.

- d. Maximum lot coverage: 50 percent for single-use projects; 75 percent for mixed-use projects that include residential.
  - e. Maximum building height: Five stories.
- (3) Multiple structures. The use of multiple structures shall be considered on a case-by-case basis during development plan approval. Approval shall be conditioned upon findings by the development review board or city plan board that all such structures are compatible with the uses and purposes of the center and surrounding uses and traffic patterns and are safely incorporated into the overall transportation system for the center.
- (4) Outparcels.
- a. Purpose. The proliferation of outparcels contributes to strip commercial development, traffic circulation problems and visual clutter, and obstructs pedestrian and bicycle movement. To mitigate the problems associated with outparcels the following regulations shall apply.
  - b. Creation and design. The creation of outparcels shall be considered on a case-by-case basis during subdivision, lot split approval or development plan approval. Approval shall be conditioned upon findings by the plan board, development review board or staff, as applicable, that the center and all outparcels are integrated through the use of landscaping and buffers; shared parking, traffic access management and circulation; and stormwater management.
  - c. Dimensional requirements for outparcels. Outparcels with unified circulation systems with adjoining shopping centers shall not be required to meet the minimum lot area, lot depth, and lot width requirements; however, outparcels shall be required to meet the yard setback, lot coverage and floor area ratio requirements for the MU-2 district.
- (5) Access.
- a. Vehicular access. Access to the shopping centers shall be in accordance with the provisions of article IX, Division 3, of this chapter, Chapter 23 of the Code of Ordinances, and section 30-67(f) of the Code of Ordinances. Parking areas, including maneuvering space, ingress and egress roads and driving lanes, shall be improved in accordance with the provisions of Division 3 of article IX, pertaining to access management. All loading and unloading shall be done on the property. Areas used by motor vehicles shall be physically separated from public streets by landscaped buffer areas.
  - b. Bicycle, greenway and pedestrian access. Provisions shall be made to safely incorporate travel ways for bicycle and pedestrian usage into development projects. Where bikeways, greenways or sidewalks are presently adjoining the property, provisions shall be made to safely link the internal bicycle and pedestrian system with adjoining facilities. During

development plan review, the development review board shall also review the relationship of the mixed-use development to adjoining properties and may require appropriate access for bicycles or pedestrians at locations where vehicular access is prohibited.

(e) Permitted uses.

SIC	Uses	Conditions
	USES BY RIGHT:	
	Any accessory uses customarily and clearly incidental to any permitted principal use	
	Bed and breakfast establishments	In accordance with article VI
	Community residential homes with 14 or fewer residents	In accordance with article VI
	Compound uses	
	Eating places	
	Food trucks	In accordance with article VI
	Outdoor cafes	As defined in article II and in accordance with article VI
	Personal fitting and sales of prosthetic or orthopedic appliances	
	Places of religious assembly	In accordance with article VI
	Public service vehicles	As defined and in accordance with article VI
	Repair services for household needs	As defined in article II



	Residential uses (12 to 30 dwelling units per acre)	Residential development shall conform to the requirements of the RMF-7 or RMF-8 zoning districts, the requirements of section 30-56, and the additional requirements of this section. Lots that existed on November 13, 1991 as recorded in the planning and development services department and that are less than or equal to 0.5 acres in size are exempt from minimum density requirements.
	Specialty T-shirt production	
GN-074	Veterinary services	Only within enclosed buildings and in accordance with article VI
IN-0752	Animal specialty services, except veterinary	Only within enclosed buildings
GN-078	Landscape and horticultural services	
MG-15	Building construction - General contractors and operative builders	
GN-171	Plumbing, heating and air conditioning	
GN-172	Painting and paper hangers	
GN-173	Electrical work	
MG-27	Printing, publishing and allied industries	
MG-43	U.S. Postal Service	
GN-472	Arrangement of passenger transportation	Offices only, with no operation of passenger tours from the site

GN-481	Telephone communications	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI, excluding cellular telephone services
GN-482	Telegraph and other message communications	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-483	Radio and television broadcasting stations	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-484	Cable and other pay television services	Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI
GN-523	Paint, glass and wallpaper stores	
GN-525	Hardware stores	
GN-526	Retail nurseries, lawn and garden supply stores	
MG-53	General merchandise stores	
MG-54	Food stores	Accessory gasoline and alternative fuel pumps in accordance with article VI
GN-553	Auto and home supply stores	Garage and installation facilities, in accordance with the provisions for limited automotive services in article VI
GN-554	Gasoline service stations including the sales of alternative fuels for automobiles	In accordance with article VI
MG-56	Apparel and accessory stores	

MG-57	Home furniture, furnishings and equipment stores	
MG-59	Miscellaneous retail	Excluding fuel dealers (IN-5983)
Div. H	Finance, insurance and real estate	Excluding cemetery subdivisions and developers (IN-6553)
MG-72	Personal services	Including funeral services and crematories, in accordance with article VI
MG-73	Business services	Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN-7353), and equipment rental and leasing, not elsewhere classified (IN-7359)
GN-752	Automobile parking	
MG-76	Miscellaneous repair services	Excluding miscellaneous repair shops and related services (GN-769) and including repair services for household needs as defined in this chapter
MG-78	Motion pictures	Excluding drive-in theaters (IN-7833) and outdoor filming facilities
MG-79	Amusement and recreation services	Excluding go-cart rental and raceway operations, commercial sports (GN-794), and simulated gambling establishments. Must be located within enclosed structures.
MG-80	Health services	Excluding hospitals (GN-806) and including nursing and personal care facilities (GN-805) in accordance with article VI, and excluding rehabilitation centers
MG-81	Legal services	
MG-82	Educational services	Including private schools, in accordance with article VI

MG-83	Social services	Including day care centers as defined in this chapter and in accordance with article VI, excluding rehabilitation centers, halfway houses, social service homes, and residences for destitute people as defined in this chapter
GN-841	Museums and art galleries	
MG-86	Membership organizations	
MG-87	Engineering, accounting, research management and related services	Excluding testing laboratories (IN-8734) and facilities support management services (IN-8744)
MG-89	Services, not elsewhere classified	
Div. J	Public administration	
	USES BY SPECIAL USE PERMIT	
	Accessory transmission, retransmission and microwave towers over 100 feet in height	In accordance with article VI
	Alcoholic beverage establishments	In accordance with article VI
	Limited automotive services	In accordance with article VI
	Other uses (including light assembly or packaging)	Within completely enclosed structures; no outdoor storage, truck traffic limited to that normal to commercial activities such as grocery stores, loading docks and mechanical equipment must be screened, and sound attenuation shall be provided to any adjacent residential area or area in actual residential use; no access to any residential street; must meet industrial buffers. Storage of hazardous materials in

		accordance with the county hazardous materials management code
	Recycling centers	In accordance with article VI
	Rehabilitation centers	In accordance with article VI
	Residences for destitute people	In accordance with article VI
	Social service homes	In accordance with article VI
GN-598	Fuel dealers	
GN-701	Hotels and motels	
GN-702	Roominghouses and boardinghouses	In accordance with article VI
MG-79	Amusement and recreation services located outside of an enclosed structures	Excluding simulated gambling establishments. Must be in compliance with noise ordinance.