



**City of Gainesville  
Department of Doing  
Planning Division**

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## CITY PLAN BOARD STAFF REPORT

**PUBLIC HEARING DATE:** October 25, 2018

**ITEM NO:** 6

**PROJECT NAME AND NUMBER:** North Florida Regional Medical Center (NFRMC) Parking Garage, PB-18-111 SUP

**APPLICATION TYPE:** Special Use Permit (SUP) with development plan review for the construction of a parking garage with more than 5 stories. **Quasi-Judicial**

**CITY PROJECT CONTACT:** Bedez E. Massey, Planner

**RECOMMENDATION:** Approve, subject to compliance with all applicable regulations and the conditions recommended in the staff report and Appendix C.

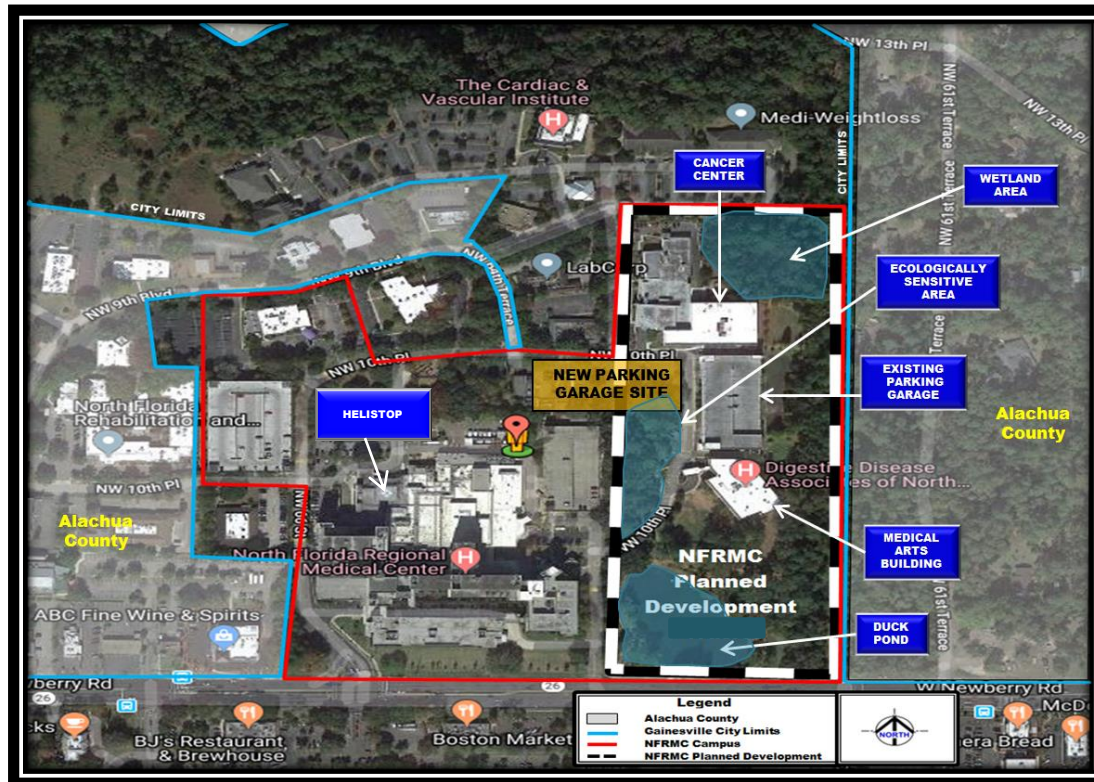


Figure 1. Location Map

**APPLICATION INFORMATION:**

**Agent/Applicant:** eda engineers-surveyors-planners, inc.

**Property Owner(s):** North Florida Regional Medical Center (NFRMC) and Radiation Therapy of Gainesville

**Related Petition(s):** None

**Legislative History:** Petition PB-18-45 PDA: eda engineers-surveyors-planners, inc., agent for North Florida Regional Medical Center and North Florida Regional Medical Arts Condominium Association, Inc., owners. A planned development (PD) amendment to the existing approved PD ordinance to allow the construction of a parking garage and other related improvements.

*Staff to City Plan Board on May 24, 2018 – Approve, subject to provisions of previously adopted ordinances remaining in full force and effect, except with amended by this petition.*

*City Plan Board Recommendation on May 24, 2018 – Approve, subject to provisions of previously adopted ordinances remaining in full force and effect, except where amended by this petition (Vote: 5-0 - Sutton recused).*

*City Commission Action on August 2, 2018 – Adopted on Final Reading (Ordinance No. 180016) with Staff and City Plan Board recommendations (Vote: 7-0).*

**Neighborhood Workshop:** Wednesday, March 13, 2018

**SITE INFORMATION:**

<b>Address:</b>	1021 NW 64 <sup>th</sup> Terrace and 6500 W Newberry Road
<b>Parcel Number(s):</b>	06340-007-001 & 06340-007-002
<b>Acreage:</b>	±24.14
<b>Existing Use(s):</b>	North Florida Regional Medical Center (NFRMC)
<b>Land Use Designation(s):</b>	Office (O), Recreation (REC) and Conservation (CON)
<b>Zoning Designation(s):</b>	Planned Development (PD) and Medical Services (MD)
<b>Overlay District(s):</b>	Airport Height Notification Zone (Subzone 2)
<b>Transportation Mobility Program Area (TMPA):</b>	Zone B
<b>Census Tract:</b>	17.02
<b>Water Management District:</b>	St. Johns River Water Management District
<b>Special Feature(s):</b>	Surface Waters and Wetland
<b>Annexed:</b>	1994
<b>Code Violations:</b>	There are no open cases.

**PURPOSE AND DESCRIPTION:**

This application is a request to construct a 6-story parking garage with a roof deck and 847 vehicle spaces on the North Florida Regional Medical Center (NFRMC) campus. Associated paving, grading, utilities, stormwater facilities, lighting, and landscape material are also proposed. These proposed improvements, which are part of the applicant's ongoing efforts to enhance health care services to the community, are illustrated on the associated development plan in Appendix E.

The parking garage will be constructed on a ±1.97-acre site located immediately south of the Cancer Center (see Figure 1). It will replace a surface parking lot that has 82 vehicle spaces. The parking garage will have an open-air design and two driveway connections. A driveway connection to NW 10<sup>th</sup> Place will be provided on the east side of the parking garage, and a driveway connection to an internal driveway will be provided on the west side. Northwest 10<sup>th</sup> Place is a private street.

Construction of the parking garage will impact 0.05 acres of a surface water feature that is ±18 acres in size. The applicant will mitigate the impact by placing a minimum 35-foot buffer with a 50-foot average width around the remaining portion of the surface water feature using the City's wetland buffer criteria. The buffer will provide for 1.2 acres of open space and buffer protection that exceeds the City's standard buffer regulations. Other mitigation activities include maintaining existing sidewalks in the buffer area for pedestrian circulation. The sidewalks will further help to facilitate pedestrian activity and passive recreation for the NFRMC campus. The applicant will also submit a landscape management plan to control invasive exotic species within the surface water feature due to heavy inundation. The landscape management plan must be submitted prior to receiving a certificate of occupancy (CO) for the parking garage. The terms and conditions of the applicant's mitigation plan were approved as part of the NFRMC Planned Development (PD) amendment that was recently adopted under City Ordinance No. 180016 (see Exhibit B-6).

The parking garage will be located in both the Medical Services (MD) and Planned Development (PD) zoning districts. The MD zoning district allows building heights up to 5 stories by right, and up to 14 stores through the special use permit process for hospitals and large-scale medical office facilities. The PD zoning district permits a 7-story parking garage by right under City Ordinance No. 180016, provided the applicant receives a Federal Aviation Administration (FAA) determination of no hazard as part of the development plan review. The applicant must also demonstrate to the City that the parking garage will not cause the helicopter flight paths for the NFRMC helistop to be modified in a manner that increases the frequency of flights over the single-family residential areas to the east.

**ADJACENT PROPERTY CHARACTERISTICS:**

**Table 1. Existing Land Use and Zoning**

	<b>EXISTING USE(S)</b>	<b>LAND USE CATEGORY</b>	<b>ZONING DISTRICT</b>
<b>North</b>	Medical Offices / Open Space	Office (O) / Conservation (CON)	Medical Services (MD) / Conservation (CON)
<b>South</b>	West Newberry Road (SR 26) / Oaks Mall	N/A / Commercial	N/A / General Business (BUS)
<b>East</b>	Single-Family Residential Dwelling Units	Low Density (1-4 du/acre) (Alachua County)	R-1A / Single-family, Low Density (Alachua County)
<b>West</b>	Medical Offices/Facilities	Office/Medical (Alachua Co.)	Hospital/Medical (Alachua Co.)

*Note: The data in Table 1 was obtained from the following sources: City of Gainesville, Department of Doing, Planning Division, Field Survey, 2018; City of Gainesville, Department of Doing, Geographic Information Systems (GIS), 2018; and Alachua County, Growth Management Department, Geographic Information Systems (GIS), 2018.*

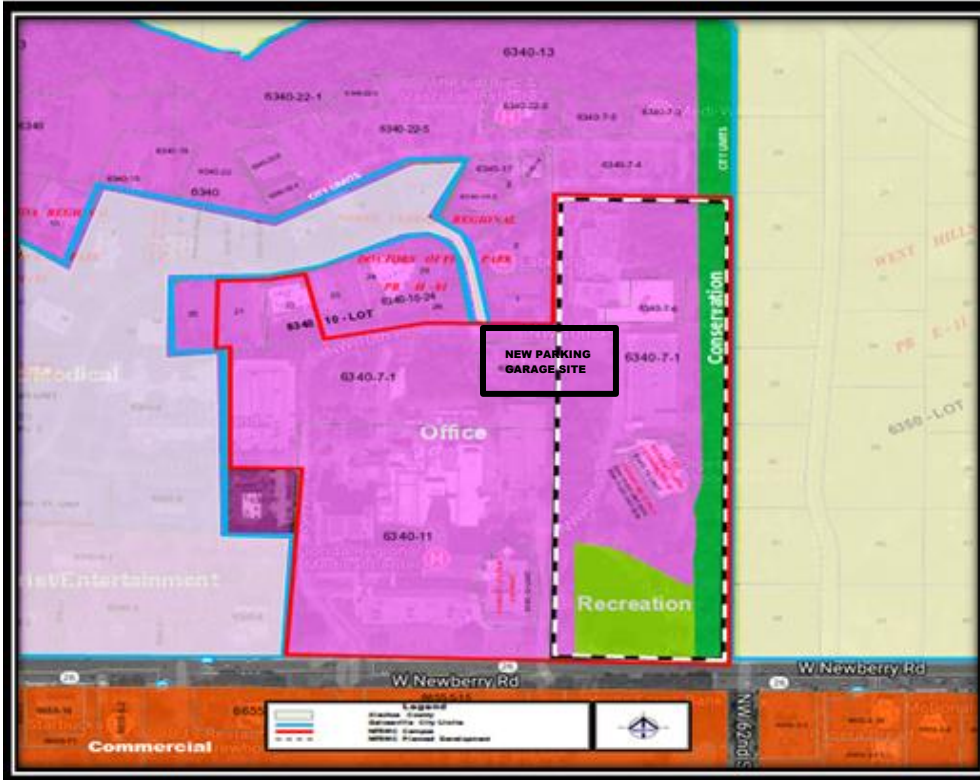


Figure 2. Future Land Use Category Map

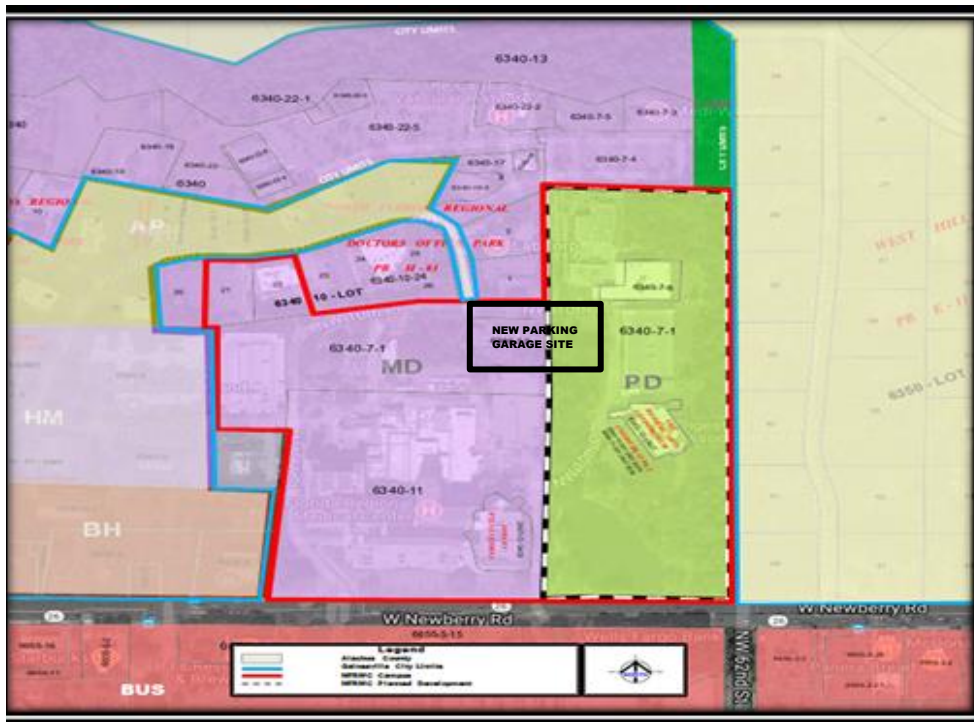


Figure 3. Zoning District Map

**STAFF ANALYSIS AND RECOMMENDATION:**

The following is an analysis of this application and a recommendation based on the review criteria provided in Section 30-3.24 of the City Land Development Code:

**ANALYSIS**

**A. The proposed use or development is consistent with the Comprehensive Plan and the Land Development Code.**

The parking garage will be constructed on a site that is designated for Office (O) land use (see Figure 2). The Office (O) land use category in the Comprehensive Plan allows hospitals and medical uses, and appropriate ancillary uses (see Exhibit A-1). The parking garage is an appropriate ancillary use because it provides needed off-street parking for patients, employees and visitors of the North Florida Regional Medical Center (NFRMC) campus. The parking garage also reduces the negative effects that surface parking lots have on the aesthetics and quantity of open space on the campus.

The parking garage will contain 847 vehicle spaces, which will create excess parking on the North Florida Regional Medical Center (NFRMC) campus. The campus is within the Transportation Mobility Program Area (TMPA), where Policy 10.6.1 of the Transportation Mobility Element prohibits excess parking (see Exhibit A-2). Provisions for allowing no limit on the number of parking spaces in parking structures is within Section 30-4.21 of Division 4. Mixed-Use and Nonresidential (see Exhibit B-2). The parking garage, however, is subject to the requirements of the Medical Services (MD) zoning district in Division 5. Special Districts and the requirements of the Planned Development (PD) zoning district in City Ordinance No 180016. Therefore, to avoid having excess parking, the applicant can request board approval of an alternative parking standard that increases the minimum number of parking spaces required on the Medical Services (MD) portion of the campus. If approved, the alternative parking standard would also apply to most of the remaining campus, since the portion of the Planned Development (PD) with an Office (O) future land use category shall be governed as if zoned Medical Services (MD). The portions of the PD with a Conservation (CON) or Recreation (REC) future land use category will not require off-street parking because they contain a compatibility buffer and surface water feature (see Figure 2).

**CONDITION 1: PRIOR TO RECEIVING FINAL DEVELOPMENT PLAN APPROVAL IN THE FORM OF A BATCH-STAMPED DEVELOPMENT PLAN, THE APPLICANT SHALL OBTAIN CITY APPROVAL OF A PARKING STUDY THAT COMPLIES WITH ALL APPLICABLE REGULATIONS AND PREVENTS EXCESS PARKING ON THE NORTH FLORIDA REGIONAL MEDICAL CENTER (NFRMC) CAMPUS.**

Regarding the Land Development Code, the parking garage will be constructed in the Medical Services (MD) and Planned Development (PD) zoning districts (see Figure 3). Since the parking garage (i.e., *parking structures*) is not listed as a permitted use in the Medical Services (MD) zoning district, it will be permitted under Sec. 30-4.5 (see Exhibit B-4). This section of the Land Development Code allows an interpretation of permitted uses in a particular zoning district in consideration of factors, such as the North Florida Regional Medical Center (NFRMC) west parking garage that was constructed in the MD zoning district by right in 2001, and the NFRMC south parking garage that was permitted by right when the MD zoning district was applied to the NFRMC campus in 1996. The Planned Development (PD) zoning district permits the parking garage (i.e., *parking structures*) by right under City Ordinance No. 180016, provided the applicant receives a Federal Aviation Administration (FAA) determination of no hazard as part of the development plan review. The applicant must also demonstrate to the City that the parking garage will not cause helicopter flight paths for the NFRMC helistop to be modified in a manner that increases the frequency of flights over the single-family residential areas to the east. The PD Layout Plan that was adopted as an exhibit to the ordinance provides a visual reference for the parking garage location.

**CONDITION 2: PRIOR TO RECEIVING FINAL DEVELOPMENT PLAN APPROVAL IN THE FORM OF A BATCH-STAMPED DEVELOPMENT PLAN, THE APPLICANT SHALL SUBMIT TO THE CITY MANAGER OR DESIGNEE A FEDERAL AVIATION ADMINISTRATION (FAA) DETERMINATION OF NO HAZARD AND WRITTEN PROOF THAT THE PARKING GARAGE**

**WILL NOT CAUSE HELICOPTER FLIGHT PATHS FOR THE NFRMC HELISTOP TO BE MODIFIED IN A MANNER THAT INCREASES THE FREQUENCY OF FLIGHTS OVER THE SINGLE-FAMILY RESIDENTIAL AREAS TO THE EAST.**

Other findings of staff that were obtained as a result of comparing the parking garage to the requirements of the Comprehensive Plan and Land Development Code are provided in the City Technical Review Committee (TRC) conditions in Appendix C.

- B. The proposed use or development is compatible with the existing land use pattern and future uses designated by the Comprehensive Plan. Factors by which the compatibility of the proposed use or development shall be reviewed include scale, height, mass and bulk, design, intensity, and character of activity.**

The parking garage will be constructed as an ancillary use to existing hospital and medical facilities on the NFRMC campus. These existing uses form a land use pattern that is compatible with the underlying Office (O) future land use category. The height and scale of the parking garage are comparable to adjacent multi-story buildings, as well as a 7-story patient tower proposed on the south side of the NFRMC campus.

- C. The proposed use will not adversely affect the health, safety, and welfare of the public.**

Based on the applicant's letter in Appendix B, the parking garage is expected to comply with the City's General Environmental Performance Standards, which are intended to protect the health, safety and welfare of the public. Failure to comply with these or any other requirement of the City Land Development Code shall cause the Special Use Permit (SUP) to become null and void.

**CONDITION # 3: FAILURE ON THE PART OF THE APPLICANT/OWNER TO COMPLY WITH THE CITY LAND DEVELOPMENT CODE SHALL RESULT IN REVOCATION OF THE SPECIAL USE PERMIT.**

- D. Ingress and egress to the property, proposed structures, and parking/loading/service areas is provided and allows for safe and convenient automobile, bicycle, and pedestrian mobility at the site and surrounding properties.**

Ingress and egress to the parking garage will be designed in consideration of adjacent developments to eliminate traffic conflicts on NW 10<sup>th</sup> Place. Curb ramps will be provided at the parking garage access drives for handicap accessibility. Sidewalks and striped crosswalks are proposed on NW 10<sup>th</sup> Place to make pedestrian access safe and convenient. No sidewalk is proposed on the northeast corner of the project site due to the low topography. (See Appendix E.)

- E. Off-street parking, service, and loading areas, where required, will not adversely impact adjacent properties zoned for single-family residential use.**

The project site is located on the interior of the North Florida Regional Medical Center (NFRMC) campus, such that the parking garage, service and loading areas will not be adjacent to properties for single-family residential use.

- F. Noise, glare, exterior lighting, or odor effects will not negatively impact surrounding properties.**

According to the applicant's written response to the City's General Environmental Performance Standards in Sec. 30-8.2 of the Land Development Code, the parking garage is not expected to negatively impact surrounding properties with noise, glare, exterior lighting, or odor effects. The applicant must further demonstrate to the City compatibility with surrounding properties with the submission of a required Federal Aviation Administration (FAA) determination of no hazard, as well as written proof that the parking garage will not cause helicopter flight paths to be modified in a manner that increases the frequency of flights over the single-family residential areas to the east.

- G. There is adequate provision for refuse and service/loading areas, and these areas shall be reviewed for access, screening, location on the site, and pedestrian/bicycle mobility and safety. Outdoor storage or**

**display areas, if included, will not adversely impact surrounding properties and shall be reviewed for screening and location on the site.**

The City Public Works Department will determine the location of refuse and service/loading areas, if needed, before the final development plan is approved. These facilities will be reviewed for proper screening, location, access and pedestrian/bicycle mobility and safety at this time. No outdoor storage or display areas are shown on the associated development plan.

**H. Necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use or development.**

Based on comments from Gainesville Regional Utilities (GRU) in Appendix C, necessary public utilities with adequate capacity are available to service the parking garage. However, GRU has requested that the applicant provide additional utility information before the final development plan is approved.

**I. Screening and buffers are proposed of such type, dimension, and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.**

The parking garage is located on a private street, as well as on the interior of the North Florida Regional Medical Center (NFRMC) campus. Although no perimeter landscape buffers are required, the applicant has proposed a 6-foot high chain link fence with mesh in front of the ground level parking area on NW 10<sup>th</sup> Place. These materials are typically used for construction purposes, while City codes require decorative material for screening. Therefore, to create a more aesthetically pleasing view of ground level parking from the street and other properties, staff recommends that the parking garage be screened along NW 10<sup>th</sup> Place using the screening requirements for transect zones in Article IV; or the screening requirements for non-transect zones in Article VIII; or a combination of the two requirements.

**CONDITION # 4: THE PARKING GARAGE SHALL BE SCREENED USING THE SCREENING REQUIREMENTS FOR TRANSECT ZONES IN ARTICLE IV OF THE LAND DEVELOPMENT CODE ; OR THE SCREENING REQUIREMENTS FOR NON-TRANSECT ZONES IN ARTICLE VIII OF THE LAND DEVELOPMENT CODE; OR A COMBINATION OF THE TWO REQUIREMENTS TO SCREEN GROUND LEVEL PARKING FROM NW 10<sup>TH</sup> PLACE.**

**J. The hours of operation will not adversely impact adjacent properties zoned for single-family residential use.**

The project site is not located adjacent to properties zoned for single-family residential use. The applicant's letter of response to the City's General Environmental Performance Standards for noise, glare, exterior lighting, or odor identifies no adverse impacts.

**K. Any special requirements set forth in the Land Development Code for the particular use involved are met.**

Construction of the parking garage will be subject to the special requirements of the Airport Height Notification Zone in Article IV of the Land Development Code (see Exhibit B-7). As per the requirements of the Planned Development (PD) zoning district, approved under City Ordinance No. 180016, the applicant must receive a Federal Aviation Administration (FAA) determination of no hazard as part of the development plan review. The applicant must also demonstrate to the City that the parking garage will not cause helicopter flight paths for the NFRMC helistop to be modified in a manner that increases the frequency of flights over the single-family residential areas to the east.

**RECOMMENDATION**

Staff recommends approval of Petition PB-18-111 SUP, subject to compliance with all applicable regulations and the conditions recommended in the staff report and Appendix C.

## DRAFT MOTION FOR CONSIDERATION

I move to approve Petition PB-18-111 SUP, subject to compliance with all applicable regulations and the conditions recommended in the staff report and Appendix C.

### BACKGROUND:

The demand for off-street parking has increased on the North Florida Regional Medical Center (NFRMC) campus. To meet this demand and better serve the healthcare needs of the community, the applicant is requesting a Special Use Permit (SUP) and associated development plan to add 847 new parking spaces on the campus. The Medical Services (MD) zoning on the campus was adopted in 1996, following the City's annexation of the NFRMC campus in 1994. The Planned Development (PD) zoning on the campus was amended on August 2, 2018, under City Ordinance No. 180016, to allow a seven-story parking garage.

### POST- APPROVAL REQUIREMENTS:

The applicant must submit all required documents, meeting board-approved conditions, to the City Planning Division on a designated resubmittal date. Once it is determined that all submittal requirements and board-approved conditions have been met, the applicant can be issued a final development order in conjunction with the requested Special Use Permit (SUP).

### LIST OF APPENDICES:

#### **Appendix A Comprehensive Plan Goals, Objectives and Policies**

Exhibit A-1: Future Land Use Element, Policy 1.1.1

Exhibit A-2: Transportation Mobility Element, Policy 10.6.1

#### **Appendix B Land Development Code**

Exhibit B-1: Section 30-3.24. Review Criteria.

Exhibit B-2: Section 30-4.21. Division 4. Mixed-Use and Nonresidential

Exhibit B-3: Division 5. Special Districts

Exhibit B-4: Section 30-4.5. Interpretation of Uses.

Exhibit B-5: Section 30-8.2. General Environmental Performance Standards Letter

Exhibit B-6: City Ordinance No. 180016

Exhibit B-7: Section 30-4.26. Airport Zoning Overlay

#### **Appendix C Technical Review Committee (TRC) Conditions**

#### **Appendix D Supplemental Documents**

Exhibit D-1: Applications

Exhibit D-2: Tree Removal Permit and Replanting Agreement

Exhibit D-3: Public Notice Signage Affidavit

Exhibit D-4: Cover Letter

Exhibit D-5: Neighborhood Meeting Package

Exhibit D-6: Invasive Exotic Plant Management Plan

Exhibit D-7: Property Ownership Documents

Exhibit D-8: Special Use Permit Justification Report

#### **Appendix E Development Plan**



# **Appendix A**

## **Comprehensive Plan Goals, Objectives and Policies**



**Urban Core (UC); up to 150 units per acre; and up to 25 additional units per acre by Special Use Permit**

This land use category allows residential, office, and business uses concentrated in the urban core area. Light assembly, fabrication, and processing uses within fully enclosed structures shall be allowed as specially regulated by the Land Development Code. Development in this category shall function as a center serving the urban area. Development within the urban core shall ensure the compact, pedestrian character of this area. Residential densities up to 150 units per acre shall be permitted with provisions to add up to 25 additional units per acre by Special Use Permit as specified in the land development regulations. Buildings in this category shall face the street and meet build-to lines established in the Land Development Code. Building height shall be limited to 12 stories, with up to 14 stories by a height bonus systems as established in the Land Development Code. Public and private schools, government offices, institutions of higher learning, places of religious assembly and community facilities are appropriate in this category.

**Office (O)**

The Office land use category identifies areas appropriate for office, residential, professional and service uses, hospital and medical uses, and appropriate ancillary uses. Office designations shall be applied to compact office development. Residential uses in office districts shall be designed as new in-town development, mixed-use, live-work, compound use or shall accommodate existing residential development within the Office zoning district. Some non-office type uses such as restaurants may be allowed in this land use category by a Special Use Permit process established in the Land Development Code. Densities shall not exceed 20 units per acre. Land development regulations shall determine the appropriate scale of uses; and the specific criteria for the siting of private schools and churches. Intensity will be controlled by adopting land development regulations that establish height limits of 5 stories or less, that require buildings to face the street, and modest build-to lines, instead of a maximum floor area ratio; however, height may be increased to a maximum of 8 stories by Special Use Permit. For hospitals and large-scale medical office facilities that are located in a Medical Services zoning district, the height may be increased to 14 stories by Special Use Permit.

**Commercial (C)**

The Commercial land use category identifies those areas most appropriate for large scale highway-oriented commercial uses. Land development regulations shall determine the appropriate scale of uses. This category is not appropriate for neighborhood centers. Intensity will be controlled by adopting height limits of 5 stories or less, requiring buildings to face the street, and modest build-to lines instead of a maximum floor area ratio; however, height may be increased to a maximum of 8 stories by Special Use Permit.

**Business Industrial (BI)**

This land use category is appropriate for those areas near the Gainesville Regional Airport for office, business, commercial and industrial uses. This category is distinguished from other industrial and commercial categories in that it is designed specifically to allow only uses that are



Zones B, C, D, E, and M shall also install an automated irrigation system to preserve new landscaping.

Redevelopment sites shall be required to plant 50% of the number of street trees otherwise required by the City's Land Development Code. Redevelopment sites where 40% or more of the developed area (as defined in the Land Development Code) is being altered shall also meet the automated irrigation system requirement.

Developments meeting the criteria for Rapid Review pursuant to the Land Development Code and developments within landscape exempt areas, special area plans with pedestrian-oriented build-to line provisions, and the approach and clear zone areas as specified on the Gainesville Regional Airport Master Plan shall be exempt from these requirements.

**Objective 10.6 The City shall adopt the following policies to regulate parking within the TMPA.**

Policy 10.6.1 Parking in excess of that required by the Land Development Code shall be prohibited within the TMPA.

Policy 10.6.2 Developments may apply for a parking reduction within the TMPA, based on criteria in the Land Development Code.

**Objective 10.7 The City shall coordinate with the Metropolitan Transportation Planning Organization (MTPO) to balance the need for and design of roadway modifications with the City's needs for urban redevelopment, infill, and quality urban design.**

Policy 10.7.1 In cooperation with the MTPO, the City shall encourage consideration of features to improve multi-modal transportation in all designs of new roadways and redesigns of existing roadways, as appropriate. These considerations shall include construction of bus turn-out facilities, bicycle lanes, sidewalks, enhanced pedestrian crosswalks, pedestrian scale lighting, landscaped medians and right-of-ways, and traffic calming mechanisms.

Policy 10.7.2 As part of the ongoing coordination with the MTPO and the Florida Department of Transportation, the City shall designate corridors where road widening is not feasible or desirable. These roadway corridors shall then be designated as "Policy Constrained" or "Physically Constrained" facilities where alternatives to road widening are the primary strategy for roadway congestion.

**Objective 10.8 The City shall coordinate with Alachua County on an ongoing basis concerning the TMPA.**

# **Appendix B**

## **Land Development Code Regulations**

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**DIVISION 5. SPECIAL USE PERMITS**

**Section 30-3.22. Purpose.**

It is the intent of this division to recognize and permit certain uses and developments that require special review, and to provide the standards by which the applications for permits for uses and development shall be evaluated. It is further intended that Special Use Permits be required for developments that, because of their inherent nature, extent, and external effects, require special care in the control of their location, design, and methods of operation in order to ensure conformance with the Comprehensive Plan and this chapter.

**Section 30-3.23. Required.**

The applicable uses listed in Article IV may be established in that zoning district only after issuance and recordation of a Special Use Permit by the City Plan Board.

**Section 30-3.24. Review Criteria.**

No Special Use Permit shall be approved by the City Plan Board unless the following findings are made concerning the proposed special use. The burden of proof on the issue of whether the development, if completed as proposed, will comply with the requirements of this chapter remains at all times on the applicant.

- A. The proposed use or development is consistent with the Comprehensive Plan and the Land Development Code.
- B. The proposed use or development is compatible with the existing land use pattern and future uses designated by the Comprehensive Plan. Factors by which compatibility of the proposed use or development shall be reviewed include scale, height, mass and bulk, design, intensity, and character of activity.
- C. The proposed use will not adversely affect the health, safety, and welfare of the public.
- D. Ingress and egress to the property, proposed structures, and parking/loading/service areas is provided and allows for safe and convenient automobile, bicycle, and pedestrian mobility at the site and surrounding properties.
- E. Off-street parking, service, and loading areas, where required, will not adversely impact adjacent properties zoned for single-family residential use.
- F. Noise, glare, exterior lighting, or odor effects will not negatively impact surrounding properties.
- G. There is adequate provision for refuse and service/loading areas, and these areas shall be reviewed for access, screening, location on the site, and pedestrian/bicycle mobility and safety. Outdoor storage or display areas, if included, will not adversely impact surrounding properties and shall be reviewed for screening and location on the site.
- H. Necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use or development.
- I. Screening and buffers are proposed of such type, dimension, and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.

- 1 J. The hours of operation will not adversely impact adjacent properties zoned for single-family  
2 residential use.
- 3 K. Any special requirements set forth in the Land Development Code for the particular use involved are  
4 met.

5 **Section 30-3.25. Review Procedures.**

- 6 A. *Pre-application meeting.* A pre-application meeting is not required; however, the applicant is  
7 encouraged to attend a meeting with staff to review applicable procedural and regulatory  
8 requirements.
- 9 B. *Applications.* Each application shall be filed with the City Manager or designee on the form  
10 prescribed. Any incomplete applications will be returned to the applicant. The application shall  
11 include proof of having met the requirements of a neighborhood workshop as provided in this  
12 article.
- 13 C. *Staff meeting.* The applicant for a Special Use Permit shall meet with city staff to discuss the  
14 procedures and requirements and to consider the elements of the proposed use and site and the  
15 proposed site layout.
- 16 D. *Staff report.* The City Manager or designee shall submit to the City Plan Board a written report that  
17 includes analysis of the application and a recommendation based on the review criteria provided in  
18 this division.
- 19 E. *City Plan Board hearing.*
  - 20 1. The City Plan Board shall consider the evidence presented in the public hearing and the written  
21 report submitted by the City Manager or designee and shall act on the application based on the  
22 review criteria provided in this division.
  - 23 2. Action on the application shall be one of the following:
    - 24 a. Approval;
    - 25 b. Approval subject to conditions; or
    - 26 c. Denial, with a statement of the reasons for denial.
- 27 F. *Effect of denial or withdrawal.* No application for a Special Use Permit may be submitted within two  
28 years after the date of denial or withdrawal of a request for the same use for the same property.  
29 The City Plan Board may waive this time limitation by the affirmative vote of five members, provided  
30 30 calendar days have elapsed and provided the City Plan Board deems such action necessary to  
31 prevent an injustice.
- 32 G. *Amended application.* Amendment of an application may be allowed at any time prior to or during  
33 the public hearing, provided that no such amendment shall be such as to make the case different  
34 from its description in the notice of public hearing. If the amendment is requested by the applicant  
35 after notice of the hearing has been given and such amendment is at variance with the information  
36 set forth in the notice, then the applicant shall pay an additional fee in the same amount as the  
37 original fee for amended public notice. If the amended notice can be mailed at least 10 calendar  
38 days prior to the hearing originally scheduled, the hearing on the amended petition may be held on  
39 that date; otherwise, the chairperson shall announce at the public hearing that the hearing will be  
40 continued to a future meeting with proper public notice.

**Section 30-4.18. Density Bonus Points.**

Development criteria described in the density bonus points manual, when met, shall allow increases in development intensity based upon the limits in this section. These increases in intensity shall be allowed should a developer propose to undertake a project that will result in a development sensitive to the unique environmental and developmental needs of the area. For each criterion met by the developer, certain points shall be credited to the project. Those points, calculated in accordance with the Density Bonus Points Manual, shall determine the maximum allowable density.

**Table V - 6: Permitted Density Using Density Bonus Points**

RMF-6		RMF-7		RMF-8	
Points	Max residential density (du/ac)	Points	Max residential density (du/ac)	Points	Max residential density (du/ac)
0	10	0	14	0	20
26	11	20	15	16	21
52	12	39	16	30	22
79	13	59	17	46	23
108	14	79	18	59	24
138+	15	98	19	75	25

**DIVISION 4. MIXED-USE AND NONRESIDENTIAL**

**Section 30-4.19. Permitted Uses.**

The following table contains the list of uses allowed, and specifies whether the uses are allowed by right (P), accessory to a principal use (A), or by special use permit approval (S). Blank cells indicate that the use is not allowed. No variances from the requirements of this section shall be allowed.

**Table V - 7: Permitted Uses in Mixed-Use and Nonresidential Districts.**

	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
<b>RESIDENTIAL</b>													
Single-family house		P	-	P	P	-	-	-	-	-	P	-	-
Attached dwellings		P	P	P	P	-	-	-	-	-	-	-	-
Multi-family dwellings		P	P	P	P	S	-	-	-	-	P	-	-
Accessory dwelling units	30-5.33	A	A	A	A	-	-	-	-	-	P	-	-
Adult day care homes	30-5.2	P	P	P	P	P	P	-	-	P	-	-	-
Community residential homes (up to 6 residents)	30-5.6	P	P	P	P	-	-	-	-	-	P	-	-
Community residential homes (more than 14 residents)	30-5.6	-	P	P	P	-	-	-	-	-	P	-	-
Community residential homes (7 to 14 residents)	30-5.6	P	P	P	P	-	-	-	-	-	P	-	-

	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Dormitory, large	30-5.8	-	-	-	S	-	-	-	-	-	-	-	-
Dormitory, small	30-5.8	S	S	S	P	-	S	-	-	-	-	-	-
Family child care homes	30-5.10	P	-	P	P	-	-	-	-	-	P	-	-
<b>NONRESIDENTIAL</b>													
Alcoholic beverage establishments	30-5.3	S	S	-	-	-	P	-	P	P	-	P	P
Assisted living facility		P	P	-	P	-	-	-	-	-	P	-	-
Armor systems manufacturing and assembly	30-5.16	P	-	-	-	-	-	-	-	-	-	-	-
Bed and breakfast establishments	30-5.4	P	P	S	S	-	P	-	P	-	-	-	-
Business services		P	P	-	P	P	P	P	P	P	P	P	P
Car wash facilities	30-5.5	S	S	-	-	-	P	P	S	P	P	P	P
Civic, social & fraternal organizations		P	P	-	-	-	P	P	P	P	-	-	-
Daycare center	30-5.7	P	P	P	P	P	P	-	-	P	P	-	-
Drive-through facility	30-5.9	P	P	-	-	-	P	P	P	P	P	P	P
Emergency shelters		P	P	P	P	P	P	P	P	P	P	P	P
Equipment sales, rental and leasing, heavy		-	-	-	-	-	-	-	-	-	-	P	P
Equipment sales, rental and leasing, light		-	P	P	P	-	P	P	-	P	P	P	P
Food distribution center for the needy	30-5.12	-	-	-	-	-	S	-	S	S	-	-	-
Food truck	30-5.35	P	P	A	A	P	P	P	P	P	P	P	P
Fuel dealers		S	S	-	-	-	S	P	-	-	-	P	P
Funeral homes and crematories		P	P	P	P	-	P	P	-	-	-	-	-
Gasoline/alternative fuel stations	30-5.13	S	S	-	-	-	P	P	P	S	P	S	S
Go-cart raceway and rentals (indoor and outdoor)		-	-	-	-	-	-	-	-	-	-	S	S
Health services		P	P	P	P	P	-	-	-	-	P	-	-
Hotels and motels		S	S	-	-	S	P	-	P	P	S	-	-
Ice manufacturing/vending machines	30-5.38	-	-	-	-	-	S	S	S	A	A	A	A
Industrial	30-5.14	-	-	-	-	-	-	-	-	-	-	P	P
Job training and vocational rehabilitation services		-	P	-	-	-	P	-	-	P	P	P	-
Junkyard/Salvage Yard	30-5.15	-	-	-	-	-	-	-	-	-	-	S	P
Laboratories, medical and dental		P	P	P	P	P	P	-	-	P	P	P	P



	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Large-scale retail		-	P	-	-	-	P	P	P	P	-	-	-
Libraries		-	P	-	-	P	-	-	-	-	P	-	-
Light assembly, fabrication, and processing	30-5.16	P	P	-	S	S	S	P	-	P	P	P	P
Liquor stores		P	P	-	-	-	P	P	P	-	P	-	-
Medical marijuana dispensing facility		P	P	A <sup>1</sup>	A <sup>1</sup>	S	P	P	P	P	P	S	S
Microbrewery Microwinery Microdistillery <sup>3</sup>	30-5.17	S	P	-	-	-	P	-	P	P	P	P	P
Mini-warehouses, self-storage		-	-	-	-	-	-	-	-	P	P	P	P
Museums and art galleries		P	P	P	P	P	P	-	P	P	P	-	-
Offices		P	P	P	P	P	P	P	P	P	P	P	P
Offices, medical and dental		P	P	P	P	P	P	-	P	-	P	-	-
Outdoor storage, principal use	30-5.19	-	-	-	-	-	-	-	-	S	P	P	P
Parking, surface (as a principal use)	30-5.20	-	S	-	-	-	S	P	-	P	P	-	-
Passenger transit or rail stations		S	S	-	-	P	P	P	P	P	P	P	-
Personal services		P	P	P	P	P	P	P	P	P	P	P	P
Places of religious assembly	30-5.21	P	P	P	P	P	P	P	P	P	P	-	-
Public administration buildings		P	P	P	P	P	P	P	P	P	P	P	-
Public maintenance and storage facilities		-	-	-	-	-	-	-	-	P	P	P	P
Public parks		S	S	S	S	P	P	P	P	P	P	P	P
Recreation, indoor		P	P	P	P	P	P	P	P	P	P	P	P
Recreation, outdoor		-	-	-	-	-	S	P	P	S	-	P	P
Recycling centers		-	S	-	-	-	S	-	-	-	S	S	P
Rehabilitation centers	30-5.24	S	S	S	S	-	S	-	-	S	-	S	
Research, development and testing facilities		-	-	-	-	P	P	-	-	P	P	P	P
Residences for destitute people	30-5.22	S	S	S	S	-	S	-	S	-	-	-	-
Restaurants		P	P	-	S	P	P	P	P	P	P	P	P
Retail nurseries, lawn and garden supply stores		P	P	-	-	-	P	P	-	P	P	P	-
Retail sales (not elsewhere classified)		P	P	-	-	S	P	P	P	P	P	S	S
Schools, elementary, middle & high (public & private)		P	P	S	S	-	P	-	-	-	P	-	-
Schools, professional		P	P	P	P	P	P	P	-	P	P	P	P

	Use Standards	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Schools, vocational and trade		-	P	P	P	-	P	P	-	P	P	P	P
Scooter or electric golf cart sales		P	P	-	-	-	P	P	-	P	-	P	-
Sexually-oriented cabarets	30-5.23	-	-	-	-	-	-	-	P	-	-	-	P
Sexually-oriented motion picture theaters	30-5.23	-	-	-	-	-	-	-	P	-	-	-	P
Sexually-oriented retail store	30-5.23	-	-	-	-	-	P	-	P	-	-	-	P
Skilled nursing facility		P	P	-	P	P	P	-	-	-	P	-	-
Social service facility	30-5.25	S	S	S	S	-	-	-	-	-	P	S	S
Solar generation station	30-5.27	-	-	-	-	-	-	-	-	P	-	P	P
Truck or bus terminal/maintenance facilities		-	-	-	-	-	-	P	P	P	P	P	P
Vehicle repair	30-5.28	-	-	-	-	-	-	P	P	P	-	P	P
Vehicle rental		-	-	-	-	-	P	P	P	P	P	P	-
Vehicle sales (no outdoor display)		-	-	-	-	-	P	P	P	P	-	P	-
Vehicle sales (with outdoor display)		-	-	-	-	-	-	P	-	P	-	P	P
Vehicle services	30-5.28	S	S	-	-	-	P	P	P	P	S	P	P
Veterinary services	30-5.29	P	P	P	P	P	P	P	P	P	P	P	P
Warehouse/distribution facilities (<100,000 SF)		-	-	-	-	-	-	-	-	P	P	P	P
Warehouse/distribution facilities (>100,000 SF)		-	-	-	-	-	-	-	-	P	P	P	P
Waste management facilities		-	-	-	-	-	-	-	-	S	-	P	P
Wholesale trade		-	-	-	-	-	-	S	-	P	P	P	P
Wireless communication facilities	30-5.30												

1 **LEGEND:**

2 P = Permitted by right; S = Special Use Permit; A = Accessory; Blank = Use not allowed.

3 1 = Only when accessory to and in the same building as health services or offices of physicians, dentists,  
4 and other health practitioners.

5 2 = Accessory to and in the same building as health services and comprising less than 25% of the gross  
6 floor area of the building.

7 3 = Prohibited where adjacent to single-family zoned property.

**Section 30-4.20. Dimensional Standards.**

The following tables contain the dimensional standards for the various uses allowed in each district.

**Table V - 8: Mixed-Use and Nonresidential Districts Dimensional Standards.**

	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	W	BI	I-1	I-2
<b>DENSITY/INTENSITY</b>												
Residential density (units/acre)												
Min <sup>1</sup>	8	12	None	None	10	None	None	None	8	None	None	None
Max	30	30	20	20	30	None	None	None	30	None	None	None
Nonresidential building coverage	60%	75%	40%	50%	50%	None	None	None	None	None	None	None
Nonresidential GLA (max)	100,000 <sup>2</sup>	None <sup>2</sup>	None	None	None	None	None	None	None	None	None	None
<b>LOT STANDARDS</b>												
Min lot area (sq. ft.)	None	None	6,000	6,000	None	None	None	6,000	None	None	None	None
Min lot width (ft.)	None	None	60	60	None	None	None	60	None	None	None	None
Min lot depth (ft.)	None	None	90	90	None	None	None	90	None	None	None	None
<b>SETBACKS (ft.)</b>												
Front	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max	10 min 100 max	15 min	10 min 100 max	25 min	25 min	25 min	25 min
Side-street (min)	15	15	10	10	10	10	15	10	25	20	25	25
Side-interior (min)	10	10	10	10	10	10	10	10	10 <sup>4</sup>	10	10 <sup>4</sup>	20 <sup>4</sup>
Rear (min)	10	10	10	10	10	10	15	10	10 <sup>4</sup>	20	10 <sup>4</sup>	10 <sup>4</sup>
<b>MAXIMUM BUILDING HEIGHT (stories)</b>												
By right	5	5	3	3	5	5	5	5	5	5	5	5
With building height bonus	8	8	-	-	8	8	-	8	-	-	-	-

**LEGEND:**

1 = Lots that existed on November 13, 1991, as recorded in the city and that are less than or equal to 0.5 acres in size are exempt from minimum density requirements.

2 = Developments of 50,000 sq. ft. or more of gross leasable area shall be located along arterials or collectors, as defined in the official roadway map.

3 = Where the yard abuts and is used for access to a railroad siding, the minimum setback shall be zero feet.

4 = Where the rear or side yard abuts U1 or single-family residential zoning or a historic district, Section 30-4.8 development compatibility standards shall apply.

1  
2 **Section 30-4.21. Design Standards.**

3 **A. Parking.**

- 4 1. Motor vehicle parking is required in accordance with Article VII. All motor vehicle parking except  
5 a double-loaded row of parking shall be located in the rear and/or interior side of the building,  
6 unless such a location is prevented by topography, stormwater retention or significant trees, as  
7 determined by the appropriate reviewing board, City Manager or designee. In no case shall  
8 more than 50% of the parking be located between the front facade and the primary abutting  
9 street, unless modified by the appropriate reviewing board, City Manager or designee. However,  
10 driveway entrances and exits to parking areas shall be allowed on the front side of the building.  
11 There shall be no limit on the number of parking spaces in parking structures.
- 12 2. Bicycle parking spaces shall be installed as required by Article VII. Such parking may encroach  
13 into the public right-of-way and may be located within the building frontage and/or landscape  
14 zones. Bicycle parking requirements may be waived if public bicycle parking exists to serve the  
15 use.

16 **B. Sidewalks.**

- 17 1. All developments, unless provided otherwise in this chapter, shall provide sidewalks along all  
18 street frontage. All developments shall provide pedestrian connections from the public sidewalk  
19 to the principal building. Entrance sidewalks shall be a minimum of 5 feet of clear width.
- 20 2. *Minimum sidewalk widths.*

<b>Multi-Family Residential/Industrial</b>	<b>Commercial/Institutional/Office/Mixed-Use</b>
7 feet	8 feet

21 The minimum unobstructed width shall be 2 feet less than the required sidewalk width, as long  
22 as at least 5 feet of unobstructed width is retained. At transit stops, the minimum width is 8 feet  
23 of unobstructed width.

24 **C. Building orientation.** The main entrance of buildings or units shall be located on the first floor on  
25 the more primary street.

26 **D. Glazing.** Building walls facing the more primary street shall have non-reflective, transparent  
27 windows or glazed area covering at least 25% of their surface at pedestrian level (between 3 feet  
28 and 8 feet above grade) on the first floor. Operable transparent entrance doors may be included in  
29 the calculation of total facade surface area.

30 **E. Mechanical equipment.** All mechanical equipment shall be placed on the roof, in the rear or side of  
31 the building, and shall be screened with parapets or other types of visual screening.

1 **DIVISION 5. SPECIAL DISTRICTS**

2 **Section 30-4.22. Purpose and Standards.**

3 A. *Agriculture (AGR).*

4 1. *Purpose.* The AGR district is established for the purpose of providing for a diversity of  
5 agricultural activities, including limited processing and sale of agricultural products raised on the  
6 premises and including some agricultural activities that may be objectionable if conducted in  
7 close proximity to residential developments.

8 2. *Objectives.* The provisions of the AGR district are intended to:

9 a. Protect watersheds, wilderness and scenic areas and conserve wildlife, as well as preserve  
10 open space.

11 b. Promote forestry, the growing of crops and grazing.

12 c. Provide for spacious developments.

13 d. Encourage the orderly expansion of urban development.

14 B. *Airport Facility (AF).* See Section 30-4.25.

15 C. *Conservation (CON).*

16 1. *Purpose.* The CON district is established for the purpose of conserving, restoring and protecting  
17 environmentally significant lands within the city and for establishing natural buffers between  
18 incompatible uses. It is intended that this district shall protect, restore and preserve natural  
19 features and open space so that the present and future residents of the city shall be able to  
20 enjoy the benefits of the natural environment of the city.

21 2. *Objectives.* The provisions of the CON district are intended to:

22 a. Conserve parks, recreational areas, open space, floodplains and unique natural features.

23 b. Protect and restore the natural features of the city, environmentally significant lands along  
24 creeks, wetlands, uplands and lakes, areas subject to detrimental erosion, and areas subject  
25 to noise disturbance due to aircraft-generated sound levels in close proximity to an airport  
26 or under a flight path.

27 c. Restrict the development of lands upon which a more intensive development would cause  
28 adverse environmental impact.

29 d. Provide the assurance of natural buffering between incompatible land uses.

30 D. *Educational Services (ED).*

31 1. *Purpose.* The ED district is established to identify and locate public educational facilities at  
32 appropriate locations throughout the community.

33 2. *Objectives.* The provisions of the ED district are intended to locate such uses so as to provide  
34 easy accessibility and convenience to the users.

35 E. *Medical Services (MD).*

36 1. *Purpose.* The MD district is established to provide adequate space in appropriate locations  
37 suitable for accommodating the health and related medical needs of the community.

- 1 2. *Objectives.* The provisions of the MD district are intended to:
- 2 a. Encourage such development to locate in close proximity to the community's major
- 3 transportation arteries so as to provide maximum accessibility for emergency vehicles and
- 4 the general public.
- 5 b. Discourage encroachment by unrelated retail and office activities and other incompatible
- 6 uses.
- 7 c. Ensure through development plan review that development is undertaken in a manner
- 8 compatible with less intense uses of land or buildings in the area.

9 F. *Planned Development (PD).* See Article III.

10 G. *Public Services and Operations (PS).*

11 1. *Purpose.* The Public Services and Operations (PS) district is established for the purpose of

12 identifying and providing suitable locations for the necessary public and private utility, public-

13 private partnerships or other legal arrangements where the land title is vested in a government

14 and the use(s) serves a public purpose, and recreation activities that serve and are used directly

15 by the public for their own benefit and are necessary to the normal conduct of the community's

16 activities. This district may be isolated and surrounded by any other zoning district compatible

17 with the intended use of the facility.

18 2. *Objectives.* The provisions of the PS district are intended to:

19 a. Accommodate utilities, recreation and public facilities, at appropriate locations, necessary

20 to serve the public.

21 b. Ensure public awareness of the location of existing or potential utilities, recreation and

22 public facilities.

23 c. Ensure, by requiring development plan review where necessary, that such uses are designed

24 to minimize negative impacts on surrounding properties.

25 3. *Additional requirements.* The following criteria shall apply to all uses within the PS district:

26 a. *Site design.*

27 i. Building scale and massing shall relate to that of adjacent buildings to the extent

28 practical.

29 ii. Public developments shall be exemplary in their use of signage and landscaping and in

30 the preservation of existing trees.

31 iii. Pedestrian areas shall be separated from vehicular areas wherever possible. Traffic

32 circulation should be safe, convenient and designed according to sound engineering

33 practices.

34 iv. The design of the site and facilities shall promote energy conservation through proper

35 solar access, shading and other measures, where appropriate.

36 v. Appropriate access for emergency vehicles, garbage trucks and other service vehicles

37 shall be provided.

38 vi. All site elements shall be designed to protect natural and community resources, such as

39 wildlife habitats, historic structures and ecologically sensitive areas.

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- b. *External compatibility.*
  - i. Buffering and screening of public service facilities shall be provided commensurate with the facility's degree of impact and incompatibility with surrounding developments.
  - ii. Electrical transformers and other utility equipment shall be screened from public view.
  - iii. Site illumination and public address systems, particularly for recreation areas, shall be designed so as to create no interference with the privacy of adjoining properties.
  - iv. Adverse impacts on adjacent properties, such as noise, smoke, glare and odor, shall be mitigated through site design. Where necessary, building construction methods or mechanical equipment should also be used to mitigate these adverse impacts.

c. *Preliminary development plan in conjunction with rezoning.* When a property is rezoned to the PS district, the plan board shall recommend to the City Commission whether a preliminary development plan is required before the property is rezoned or the uses permitted on the property are changed. The City Commission may require such development plan, or those specific items or portions of a preliminary development plan that the City Commission deems necessary, to be included as part of any petition to rezone property to this classification or to change the permitted uses on the property if the newly permitted use has not been previously approved. Should the City Commission deem a preliminary development plan is needed to judge whether the proposed use can be accommodated on the site without detriment to the health, safety and general welfare of surrounding properties, the development plan shall meet the requirements of this chapter.

A preliminary development plan is intended to help further the purpose of this district by providing the plan board and City Commission with additional information on site-specific conditions that will assist the City Plan Board and City Commission in their decision-making process relating to the accommodation of the proposed use(s) at appropriate locations necessary to serve the public; the assurance of public awareness of the proposed location of potential public facilities, utilities and recreation; and the assurance that the conditions placed upon the rezoning are designed to minimize any potential negative impacts on surrounding properties.

**Section 30-4.23. Permitted Uses.**

The following table contains the list of uses allowed, and specifies whether the uses are allowed by right (P), accessory to a principal use (A), or by special use permit approval (S). Blank cells indicate that the use is not allowed. No variances from the requirements of this section shall be allowed.

**Table V - 9: Permitted Uses in Special Districts.**

Use	Use Standards	AGR	AF	CON	ED	MD	PS*
Agricultural, forestry and fishing uses		P	-	-	-	-	-
Airports		-	S	-	-	-	-
Animal specialty services		P	-	-	-	-	P
Arboreta and botanical or zoological gardens		-	-	P	-	-	P
Armor systems manufacturing and assembly		-	P	-	-	-	-
Assisted living facility		-	-	-	-	P	-

Use	Use Standards	AGR	AF	CON	ED	MD	PS*
Business services		-	P	-	-	P	P
Campgrounds		P	-	-	-	-	P
Cemeteries		-	-	-	-	-	P
Community residential homes (up to 6 residents)	30-5.6	P	-	P	-	-	-
Correctional institutions		-	-	-	-	-	P
Day care center	30-5.7	-	-	-	-	P	P
Drive-through facilities	30-5.9	-	P	-	-	-	-
Emergency shelters		-	-	P	P	P	P
Equipment rental and leasing, heavy		P	P	-	-	P	-
Equipment rental and leasing, light		P	P	-	P	P	-
Farmers markets		P	-	-	-	-	P
Food distribution center for the needy	30-5.12	-	-	-	-	P	P
Food trucks	30-5.35	-	P	-	P	P	A
Fuel dealers		-	P	-	-	-	-
Funeral service and crematories		S	-	-	-	P	-
Gasoline/alternative fuel stations	30-5.13	-	P	-	-	-	P
Golf courses		P	P	-	-	-	P
Health services		-	P	-	-	P	P
Heliports		-	P	-	-	S	-
Hospitals		-	-	-	-	P	-
Hotels and motels		-	P	-	-	P	-
Libraries		-	-	-	-	-	P
Light assembly, fabrication and processing		-	P	-	-	-	-
Medical and dental laboratories		-	P	-	-	P	-
Medical marijuana dispensing facility		-	P	-	-	A	-
Membership sports and recreation clubs		P	P	-	-	-	P
Mini-warehouses, self-storage		-	P	-	-	-	-
Museums and art galleries		-	-	-	P	-	P
Offices		-	P	-	-	P	P
Offices, medical and dental		-	P	-	-	P	-
Outdoor storage, principal use	30-5.19	S	S	-	-	-	-
Parking, surface (as a principal use)	30-5.20	-	S	-	-	-	P
Pet services		P	P	-	-	-	P
Places of religious assembly	30-5.21	-	P	-	P	-	-
Public administration buildings		-	P	-	P	-	P
Public maintenance and storage facilities		-	P	-	-	-	P
Public parks and recreational facilities		P	P	P	P	P	P
Recreation, indoor		P	P	-	P	-	P
Recreation, outdoor		-	P	-	P	-	P
Recreational vehicle parks and campsites		-	-	-	-	-	P
Rehabilitation centers	30-5.24	-	-	-	-	P	P



Use	Use Standards	AGR	AF	CON	ED	MD	PS*
Research, development and testing service		-	P	-	-	P	-
Residences for destitute people	30-5.22	-	-	-	-	P	P
Restaurants		-	P	-	-	P	-
Retail nurseries, lawn and garden supply stores		S	P	-	-	-	-
Retail sales		-	P	-	-	A	-
Sale of agricultural products		A	-	-	-	-	P
Schools, elementary, middle & high (public & private)		-	-	-	P	-	-
Schools, professional		-	P	-	P	-	-
Schools, vocational and trade		-	P	-	P	-	-
Shooting ranges, outdoor	30-5.24	S	-	-	-	-	-
Single-family dwellings		P	-	P	-	-	-
Skilled nursing facility		-	-	-	-	P	-
Social service facilities (not elsewhere classified)	30-5.25	-	-	-	-	P	-
Solar generation station	30-5.27	P	P	-	-	-	P
Stadiums and athletic/sports arenas		-	-	-	P	-	P
Theaters, drive-in		-	S	-	-	-	-
Truck, train or bus terminal/maintenance facilities		-	P	-	-	-	P
Utilities		-	-	-	-	-	P
Vehicle repair	30-5.28	-	P	-	-	-	P
Vehicles sales and rental		-	P	-	-	-	-
Veterinary services	30-5.29	P	P	-	-	-	-
Warehouse/distribution facilities (<50,000 SF)		-	P	-	-	-	-
Warehouse/distribution facilities (>50,000 SF)		-	P	-	-	-	-
Waste management facilities		-	-	-	-	-	S
Water conservation areas, water reservoirs and control structures, drainage wells and water wells.		-	-	P	-	-	P
Wholesale trade		-	P	-	-	-	-
Wireless communication facilities	See 30-5.30						

1 **LEGEND:**

2 P = Permitted by right; S = Special Use Permit; A = Accessory; Blank = Use not allowed.

3 \* = Other uses may be allowed as designated by the ordinance rezoning a property to PS.

**Section 30-4.24. Dimensional Standards.**

The following table contains the dimensional standards for the various uses allowed in each special district.

**Table V - 10: Dimensional Standards for Special Districts.**

	AGR	AF	CON	ED	MD	PS <sup>5</sup>
<b>DENSITY/INTENSITY</b>						
Max density (units/acre)	0.2		0.2			
Max lot coverage	20%	None	10% <sup>1</sup>	None	40% <sup>2</sup>	
<b>LOT STANDARDS</b>						
Min lot area	5 acres	None	5 acres	None	6,000 sq. ft.	
Min lot width (ft.)	300	None	None	None	60	
Min lot depth (ft.)	300	None	None	None	None	
<b>MIN SETBACKS (ft.)</b>						
Front	50 <sup>4</sup>	25	50	25 <sup>7</sup>	20	
Side-street	50 <sup>4</sup>	<sup>6</sup>	50	25 <sup>7</sup>	15	
Side-interior	25 <sup>4</sup>	<sup>6</sup>	25	15 <sup>7</sup>	15	
Rear	50 <sup>4</sup>	<sup>6</sup>	50	50	15	
<b>BUILDING HEIGHT (stories)</b>						
Max	3	None	3	None	5	
With SUP	NA	NA	NA	NA	14 <sup>8</sup>	

**LEGEND:**

1 = By impervious cover of any kind.

2 = 50% when a minimum of 75% of parking is accommodated within a parking structure.

3 = Intensive recreation uses such as fairgrounds, stadia, community assembly buildings, performing arts halls, arenas, etc.

4 = Hog raising operations, buildings for commercial poultry raising, dog kennels and open runs or cages, and stables shall be located a minimum of 200 feet from any property line.

5 = Development standards to be determined at the time of rezoning.

6 = Per FAA and airport regulations.

7 = If the development abuts land shown as SF or RL on the Future Land Use Map, the setback along that property line shall be 50 ft. plus an additional 10-ft. setback per every floor above the second.

8 = Building heights may be increased through the special use permit process only for hospitals and large-scale medical office facilities.

**1 Section 30-4.5. Interpretation of Uses.**

2 Any use that is not permitted by right, special use permit, or as an accessory use in a zoning district shall  
3 be prohibited in such district. In any case where the City Manager or designee interprets whether a  
4 particular proposed or existing use is in fact a use that is permitted by right, special use permit, or as an  
5 accessory use in a particular zoning district, the City Manager or designee may consider factors including  
6 but not limited to the following:

- 7 A. Hours of operation (including hours for service and deliveries);
- 8 B. Building and site arrangement relative to the neighboring permitted uses;
- 9 C. Types of vehicles used and parking requirements;
- 10 D. The number of vehicle trips generated; and
- 11 E. Whether the activity is likely to be found independent of the other activities on the site.

**12 Section 30-4.6. Utility Uses.**

13 The following utility uses shall be allowed as permitted uses in all zoning districts:

14 A. *Electric, cable, or fiber optic facilities.*

- 15 1. All underground transmission facilities;
- 16 2. All overhead utility transmission facilities not exceeding three feet in diameter and 75 feet in  
17 height;
- 18 3. All transformers, meters and associated appurtenances; and
- 19 4. Any electric structure or facility that is sited on property 10,000 square feet or less and no more  
20 than 20 feet in height (utility poles, light poles and telemetry towers shall not be considered a  
21 structure).

22 B. *Water facilities.* All water mains, valves, hydrants, services, backflow preventers or any other  
23 appurtenances required to distribute and deliver potable water and to satisfy fire safety  
24 requirements.

25 C. *Wastewater facilities.*

- 26 1. All underground wastewater collection facilities including gravity sewers, force mains, service  
27 laterals, manholes, valves or other appurtenances required to collect wastewater; and
- 28 2. Any lift station or similar structure that is sited on property 10,000 square feet or less with a  
29 structure height of 20 feet or less.

30 D. *Gas facilities.*

- 31 1. All gas distribution facilities including gas mains, valves, services, meters or any other  
32 appurtenances required to distribute and deliver natural or LP gas; and
- 33 2. Any gate station, regulator station or similar structure that is sited on property 5,625 square feet  
34 or less with a structure height of 20 feet or less.

35 E. *Chilled water.*

- 36 1. All distribution facilities including mains, valves, services, meters or any other appurtenances  
37 required to distribute and deliver chilled water; and

~~July 30, 2018~~  
September 26, 2018

Bedez Massey  
Senior Planner  
City of Gainesville  
P.O. Box 490  
Gainesville, Florida 32602

Re: DB-18-00111 NFRMC Parking Garage  
General Performance Standards

Dear Ms. Massey:

In accordance with Section 30-345 of the city of Gainesville Land Development Code (LDC), the following letter indicates how this project meets the general standards as follow:

1. Fire and explosion hazards: No storage of flammable or explosive materials is proposed at the site. All the uses proposed will be in accordance with the MD and PD zoning categories
2. Radiation: No sources of ionizing radiation will be handled on-site.
3. Electromagnetic radiation: No sources of electromagnetic radiation will be handled on-site.
4. Waste disposal: The waste from the site including stormwater will meet state, federal, and local agency guidelines.
5. Vibration: There will be no heavy equipment in use or located on the site. Therefore, there will be no on-site earth-born vibration that will exceed the limits as set forth in this section.
6. Sound: There will be no heavy equipment in use or located on the site and no manufacturing. Therefore, sounds on-site will not exceed the limits set forth in Chapter 15.
7. Heat, cold, dampness or movement of air: No activities will take place on-site that will produce adverse effects on the temperature, motion or humidity of the atmosphere beyond the lot lines.
8. Lighting: Lighting shall comply with requirements of this section for internal and external lighting as well as meet the height requirement for fixtures.
9. Light pollution: The external lights on the site shall be fully cut-off type not allowing upward light distribution. Lighting proposed complies with the city's lighting ordinance.

10. Odor: There will be no adverse odors produced on-site. No manufacturing or chemical operations will occur on the site. The development will consist of uses allowed by the MD and PD zoning categories only.

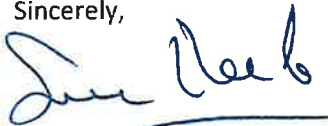
11. Air pollution emissions: No manufacturing or chemical operations will occur on the site. No air pollution emissions will be produced on-site.

12. Other air pollution: There will not be an excess amount of dust or airborne particulate matter generated on this site. No air pollution will be created associated with the development of this site that will exceed the standards set by the Florida Department of Environmental Protection, or successor agency, or any governmental entity with regulatory jurisdiction, whichever standards are more stringent.

13. Toxics: There will be no emissions of toxic or noxious matter on this site. No manufacturing or chemical operations will occur on the site

14. Utility service: Utility service on-site shall comply with the requirements of this provision and be installed underground.

Sincerely,



Sergio Reyes, P.E.  
President



**ORDINANCE NO. 180016**

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**An ordinance of the City of Gainesville, Florida, amending the Zoning Map Atlas by rezoning to Planned Development (PD) district approximately 17.39 acres of property located in the vicinity of 6500 Newberry Road and known as the North Florida Regional Medical Center Planned Development, as more specifically described in this ordinance; providing development conditions; providing directions to the City Manager; providing a severability clause; providing a repealing clause; and providing an effective date.**

**WHEREAS, Section 163.3167, Florida Statutes, requires the City of Gainesville to maintain a Comprehensive Plan to guide the future development and growth of the city; and**

**WHEREAS, Section 163.3177(6), Florida Statutes, requires the City of Gainesville Comprehensive Plan to include a Future Land Use Element with a Future Land Use Map that designates the future general distribution, location, and extent of the uses of land for residential, commercial, industry, agriculture, recreation, conservation, education, public facilities, and other categories of the public and private uses of land, with the goals of protecting natural and historic resources, providing for the compatibility of adjacent land uses, and discouraging the proliferation of urban sprawl; and**

**WHEREAS, the City of Gainesville is required by Section 163.3202, Florida Statutes, to adopt or amend and enforce land development regulations that are consistent with and implement the Comprehensive Plan and that are combined and compiled into a single land development code for the city; and**

**WHEREAS, the City of Gainesville Land Development Code (Chapter 30 of the City of Gainesville Code of Ordinances) establishes zoning districts to implement the Comprehensive Plan and land development regulations on specific classifications of land within the city; and**

27 **WHEREAS**, Planned Development District (PD) zoning is a zoning category that allows for  
28 landowners or developers to submit unique proposals that are not addressed or otherwise  
29 provided for in the zoning districts and land development regulations established by the City of  
30 Gainesville Land Development Code; and

31 **WHEREAS**, on July 28, 1992, the Board of County Commissioners of Alachua County adopted  
32 Resolution No. Z-92-29 and rezoned certain property, which included the property that is the  
33 subject of this ordinance, from Single-Family Low-Density (R-1A) district to Non-Residential  
34 Planned Unit Development (PUD) with development conditions; and

35 **WHEREAS**, on September 2, 1992, the electorate approved the annexation of certain property,  
36 including the subject property, into the City of Gainesville; and

37 **WHEREAS**, on October 9, 1995, the City Commission adopted Ordinance No. 950702 and  
38 amended the development conditions applicable to the subject property that were adopted by  
39 Alachua County Resolution No. Z-92-29; and

40 **WHEREAS**, on April 8, 1996, the City Commission adopted Ordinance No. 951321 and, among  
41 other things, rezoned the subject property from Alachua County Non-Residential Planned Unit  
42 Development (PUD) to City of Gainesville Planned Development (PD) district, and maintained  
43 by reference the development conditions adopted by Alachua County Resolution No. Z-92-29  
44 and City of Gainesville Ordinance No. 950702; and

45 **WHEREAS**, on July 22, 2002, the City Commission adopted Ordinance No. 002675 and  
46 amended City of Gainesville Ordinance No. 950702 regarding the development conditions  
47 regulating the subject property; and

48 **WHEREAS**, on June 14, 2004, the City Commission adopted Ordinance No. 030755 and imposed  
49 additional development conditions applicable to the subject property, and stated that the  
50 development conditions that regulate the subject property in Alachua County Resolution No. Z-  
51 92-29 and City of Gainesville Ordinance No. 950702 shall remain in full force and effect; and

52 **WHEREAS**, this ordinance, which was requested by the owner(s) of the property that is the  
53 subject of this ordinance and which was noticed as required by law, will amend the Planned  
54 Development District (PD) zoning applicable to the subject property; and

55 **WHEREAS**, the City Plan Board, which acts pursuant to the authority granted in Section 4.02 of  
56 the Charter Laws of the City of Gainesville and which acts as the Local Planning Agency  
57 pursuant to Section 163.3174, Florida Statutes, held a public hearing on May 24, 2018, and  
58 voted to recommend that the City Commission approve this PD zoning ordinance; and

59 **WHEREAS**, at least ten days' notice has been given once by publication in a newspaper of  
60 general circulation notifying the public of this proposed ordinance and of public hearings in the  
61 City Hall Auditorium located on the first floor of City Hall in the City of Gainesville; and

62 **WHEREAS**, public hearings were held pursuant to the notice described above at which hearings  
63 the parties in interest and all others had an opportunity to be and were, in fact, heard; and

64 **WHEREAS**, the City Commission finds that the rezoning of the subject property is consistent  
65 with the City of Gainesville Comprehensive Plan.

66 **NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF GAINESVILLE,**

67 **FLORIDA:**

68 **SECTION 1.** The Zoning Map Atlas of the City of Gainesville is amended by rezoning the  
69 following described property to Planned Development (PD) district:



70 See legal description attached as **Exhibit A** and made a part hereof as if set forth  
71 in full. The location of the property is shown on the PD Layout Plan attached as  
72 **Exhibit B** for visual reference. In the event of conflict or inconsistency, **Exhibit A**  
73 shall prevail over **Exhibit B**.  
74

75 **SECTION 2.** The use and development of the property described in Section 1 of this ordinance  
76 must be consistent with the City of Gainesville Comprehensive Plan and will be regulated in  
77 accordance with the conditions listed below. Except as expressly provided in the conditions  
78 below, the use, regulation and development of the portion of the PD with a future land use  
79 category designation of Office shall be governed as if it were zoned "MD – Medical Services"  
80 and the portions of the PD with a future land use category designation of Conservation or  
81 Recreation shall be governed as if it were zoned "CON – Conservation" and all development  
82 shall be in conformance with and regulated by the Land Development Code in effect at the  
83 time of development approvals.

84 A. The subject property must be developed in substantial compliance with the PD Layout Plan  
85 attached as **Exhibit B** and made a part hereof as if set forth in full.  
86

87 B. A minimum 100-foot wide buffer must be preserved and maintained, except for the  
88 running of the utility lines, along the eastern boundary of the property and must consist of  
89 a high-density combination of canopy and understory trees and shrubs or stockade fence  
90 (or appropriate alternative) to provide buffering and visual screening to the adjacent  
91 property.  
92

- 93 **Setbacks:**  
94 East property line: 100' minimum  
95 South property line: 100' minimum  
96 North property line: 0'  
97 West property line: 0'  
98

99 C. The uses allowed in the portion of the PD with a future land use category designation of  
100 Office (which is the portion of the PD that is not identified as Recreation land use or  
101 Conservation land use on the PD Layout Plan) are:  
102

03 1. Health Services

- 104 2. Medical and dental laboratories
- 105 3. Offices
- 106 4. Offices, medical and dental
- 107 5. Research, development and testing service
- 108 6. Restaurant, accessory use only
- 109 7. Telecommunication tower
- 110 8. Pharmacy, accessory use only
- 111 9. Medical marijuana dispensing facility, accessory use only
- 112 10. Parking structures

113  
 114 The uses allowed in the portion of the PD with future land use category designations of  
 115 Recreation or Conservation (as identified on the PD Layout Plan) are limited to passive  
 116 recreation in the pond, trails, and landscaped areas.

117  
 118 D. The maximum enclosed building square footage allowed in the PD is 170,000 square feet of  
 119 gross floor area (GFA). Square footages associated with parking structures or with  
 120 accessory structures for the telecommunication tower do not count against the maximum  
 121 allowable building square footage. The maximum building height may not exceed 7 stories.  
 122 Maximum lot coverage is 30%.

123  
 124 E. A minimum of 45% of the entire PD area must be open space. Open space, for the  
 125 purposes of this PD, means pervious ground area that includes, but is not limited to: areas  
 126 with future land use category designations of Recreation or Conservation, wetlands,  
 127 wetland buffers, surface waters, surface water buffers, stormwater management areas,  
 128 and the trails/paths/sidewalks (regardless of whether pervious or impervious) located  
 129 within the open space areas.

130  
 131 F. The telecommunication tower must be placed in a location and manner that will not  
 132 require removal of existing trees, except as allowed by the City Arborist in accordance with  
 133 the Land Development Code, and that will be the least visible to adjacent residential  
 134 neighbors to the north.

135  
 136 G. All accessory structures related to the functioning of the telecommunication tower must be  
 137 within a building or placed within an area that completely encloses the structures. The  
 138 enclosure must maintain architectural compatibility with nearby structures on the site, or  
 139 there may be alternative screening and enclosures subject to development plan approval.

140  
 141 H. All structures related to or constructed as part of the telecommunication tower must  
 142 maintain an average of 50 feet and a minimum of 35 feet from the outward limits of any  
 143 surface water or wetland area on the site.

144  
 145 I. As part of development plan review, any wetland or surface water boundaries that are  
 146 associated with a development site must be delineated and a jurisdictional determination

- 47 made by the appropriate water management district.
- 48
- 149 J. The approved buffer area around the telecommunication tower must be planted and  
150 maintained with appropriate vegetation and screening to provide necessary buffering.
- 151
- 152 K. All landscaping required as part of previously approved development plans must be  
153 maintained.
- 154
- 155 L. Any surface water buffer area must comply with Article VIII, Division 4 of the Land  
156 Development Code, and may contain utility relocations and pedestrian paths, trails and  
157 sidewalks.
- 158
- 159 M. As part of development plan review for the proposed parking structure, the  
160 owner/developer must provide proof of a Federal Aviation Administration determination of  
161 no hazard from the proposed 7-story building height in the PD.
- 162
- 163 N. As part of development plan review for the proposed parking structure, the  
164 owner/developer must demonstrate that the construction of a 7-story parking structure in  
165 the PD will not cause helicopter flight paths to be modified in a manner that increases the  
166 frequency of flights over the single-family areas to the east of the PD.
- 167
- 168 O. A landscape management plan concerning invasive exotic species control within the surface  
169 water and buffer areas must be submitted and approved prior to receiving a certificate of  
170 occupancy (CO) for the proposed parking structure.
- 171
- 172 P. The existing pond, the walking/jogging trail around its perimeter, and all trees and  
173 landscaping within 50 feet of the water's edge must be maintained and preserved, except  
174 for the running of utility lines.
- 175
- 176 Q. No buildings may be constructed, and the trees, undergrowth or landscaping must be  
177 preserved and maintained, in areas with a future land use designation of Recreation (as  
178 identified on the PD Layout Plan.)
- 179
- 180 R. Necessary utility lines may be placed through the buffer/setbacks and the areas with a  
181 future land use designation of Recreation (as identified on the PD Layout Plan.)

182

183 **SECTION 3.** The conditions and requirements in this ordinance will remain effective until such  
184 time as, upon either the City or the property owner(s) filing an application for rezoning, the City  
185 adopts an ordinance rezoning the subject property to another zoning district consistent with the  
86 Comprehensive Plan and Land Development Code.

187 **SECTION 4.** The City Manager or designee is authorized and directed to make the necessary  
188 changes to the Zoning Map Atlas to comply with this ordinance.

189 **SECTION 5.** If any word, phrase, clause, paragraph, section, or provision of this ordinance or  
190 the application hereof to any person or circumstance is held invalid or unconstitutional, such  
191 finding shall not affect the other provisions or applications of this ordinance that can be given  
192 effect without the invalid or unconstitutional provision or application, and to this end the  
193 provisions of this ordinance are declared severable.

194 **SECTION 6.** All ordinances or parts of ordinances in conflict herewith are to the extent of such  
195 conflict hereby repealed.

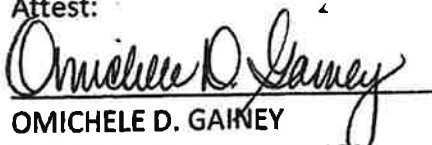
196 **SECTION 7.** Alachua County Resolution No. Z-92-29 and City of Gainesville Ordinance Nos.  
197 950702, 951321, 002675, and 030755 are hereby superseded and repealed to the extent that  
198 they regulate the property described in Section 1 of this ordinance. All other ordinances or  
199 parts of ordinances in conflict herewith are to the extent of such conflict hereby repealed.

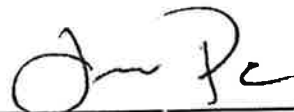
200 **SECTION 8.** This ordinance shall become effective immediately upon adoption.

201 **PASSED AND ADOPTED** this 2nd day of August, 2018.

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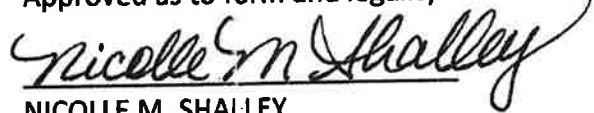
Attest:

  
OMICHELE D. GAANEY  
CLERK OF THE COMMISSION



LAUREN POE  
MAYOR

Approved as to form and legality:

  
NICOLLE M. SHALLEY  
CITY ATTORNEY

212  
213 This ordinance passed on first reading this 19th day of July, 2018.  
14 This ordinance passed on second reading this 2nd day of August, 2018.

## LEGAL DESCRIPTION

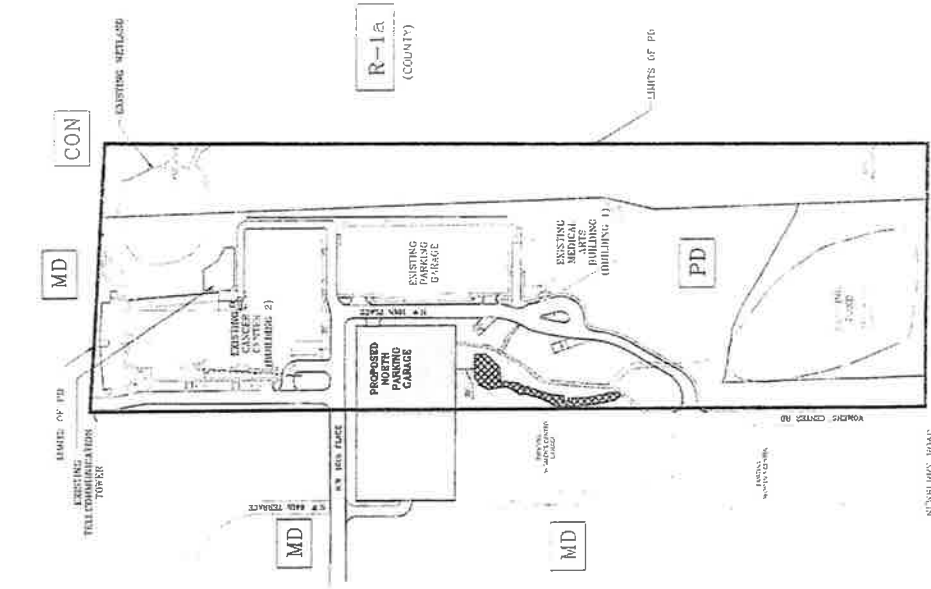
A PORTION OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 9 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 9 SOUTH, RANGE 19 EAST AND RUN THENCE SOUTH 89°23'10"EAST ALONG THE SOUTH LINE OF SAID SECTION 33 A DISTANCE OF 362.15 FEET; THENCE NORTH 06°20'54"EAST, 50.25 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 26 (NEWBERRY ROAD) AND THE SOUTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 798, PAGE 534 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 89°23'10"EAST, ALONG SAID RIGHT- OF-WAY LINE AND ALONG THE SOUTH BOUNDARY OF SAID PARCEL (O.R. 798, PAGE 534) A DISTANCE OF 739.76 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL (O.R. 798, PAGE 534) AND THE POINT OF BEGINNING, THENCE NORTH 00°14'09"EAST ALONG THE EAST BOUNDARY OF SAID PARCEL (O.R. 798, PAGE 534) AND ALONG A NORTHERLY EX- TENSION OF SAID EAST BOUNDARY 1100.00 FEET TO THE SOUTHEAST CORNER OF LOT 1 OF NORTH FLORIDA REGIONAL DOCTORS OFFICE PARK AS PER PLAT THEREOF RECORDED IN PLAT BOOK "H", PAGE 21 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE CONTINUE NORTH 00°14'09"EAST, ALONG THE EAST BOUNDARY OF SAID NORTH FLORIDA REGIONAL DOCTORS OFFICE PARK A DISTANCE OF 426.67 FEET; THENCE SOUTH 87°09'14"EAST, 499.41 FEET TO THE WEST BOUNDARY OF LOT 26 OF WEST HILLS AS PER PLAT THEREOF RECORDED IN PLAT BOOK "E", PAGE 11 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 00°14'09"WEST ALONG THE WEST BOUNDARY OF SAID WEST HILLS A DISTANCE OF 1507.20 FEET TO SAID NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 26; THENCE NORTH 89°23'10"WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, 499.40 FEET TO THE POINT OF BEGINNING. CONTAINING 17.39 ACRES, MORE OR LESS.

Exhibit "A" to Ordinance No. 180016

# NORTH FLORIDA REGIONAL MEDICAL CENTER P.D. LAYOUT PLAN CITY OF GAINESVILLE, FLORIDA



LOCATION MAP  
11.5



**PD DEVELOPMENT DATA**

PARKING GROSS FLOOR AREA = 170,000 SF

EXISTING	EXISTING SQUARE FOOTAGE	NOTE
1	51,399 SF	MEDICAL CENTER BUILDING (B.A.B.)
2	86,500 SF	CAN-OP DEVICE
<b>TOTAL</b>	<b>137,899 SF</b>	

- NOTES**
1. SQUARE FOOTAGES ASSOCIATED WITH STRUCTURING PERMIT OR ACCESSORY PERMIT SHALL BE SEPARATELY LISTED AND SHALL BE SEPARATELY COUNTED AGAINST THE MAXIMUM ALLOWABLE BUILDING SQUARE FOOTINGS.
  2. THIS P.D. IS LOCATED IN ZONE B OF THE CITY'S MAP.
  3. THE PROPOSED LOCATION OF THE NORTH PARKING GARAGE AND SURFACE WALKWAY BUFFER AREA, AS SHOWN ON THE P.D. LAYOUT PLAN, IS SUBJECT TO THE CITY'S DEVELOPMENT PLAN STAGE.



Project No.	15-032
City/County	CITY OF GAINESVILLE
Project Name	NORTH FLORIDA REGIONAL MEDICAL CENTER
Project Location	190th Street, Gainesville, FL 32609
Project Status	P.D. LAYOUT PLAN
Scale	1" = 100'
Author	EDS
Check	EDS
Date	11/11/15
Project Manager	EDS
City Engineer	EDS
City Manager	EDS
City Clerk	EDS
City Attorney	EDS
City Auditor	EDS
City Treasurer	EDS
City Recorder	EDS
City Public Works Director	EDS
City Planning Director	EDS
City Police Director	EDS
City Fire Director	EDS
City Public Safety Director	EDS
City Parks and Recreation Director	EDS
City Cultural and Arts Director	EDS
City Economic Development Director	EDS
City Information Technology Director	EDS
City Human Resources Director	EDS
City Finance Director	EDS
City Legal Director	EDS
City Communications Director	EDS
City Public Works Director	EDS
City Planning Director	EDS
City Police Director	EDS
City Fire Director	EDS
City Public Safety Director	EDS
City Parks and Recreation Director	EDS
City Cultural and Arts Director	EDS
City Economic Development Director	EDS
City Information Technology Director	EDS
City Human Resources Director	EDS
City Finance Director	EDS
City Legal Director	EDS
City Communications Director	EDS

**C1.00**

1 **Section 30-4.26. Airport Zoning Overlay.**

2 A. *Purpose.* The purpose of these airport zoning regulations is to provide both airspace protection and  
3 land use compatibility in relation to the normal operation of public-use airports located within the  
4 city. These regulations promote:

- 5 1. The maximum safety of residents and property within the areas surrounding the airport;
- 6 2. The maximum safety of aircraft arriving at and departing from the Gainesville Regional Airport  
7 and all public-use airports;
- 8 3. The full utility of the public-use airport;
- 9 4. Compatible development standards for land uses within the prescribed Airport Zones of  
10 Influence associated with the normal operation of the airport;
- 11 5. Building/structure height standards for use within the Airport Zones of Influence and other  
12 zones prescribed in the Federal Aviation Regulations; and
- 13 6. Proper enforcement of these regulations in compliance with state and federal laws in a manner  
14 that provides the greatest degree of safety, comfort, and well-being to both the users of the  
15 airport facility and the property owners within the vicinity of the airport.

16 B. *Findings.* The regulations set forth herein are adopted pursuant to the authority conferred by  
17 Chapter 333, Florida Statutes. It is hereby found that an airport hazard endangers the lives and  
18 property of users of the airport and of occupants of land in its vicinity and also, if of the obstruction  
19 type, reduces the size of areas available for the taking off, maneuvering, or landing of aircraft, thus  
20 impairing or destroying the utility of the airport and the public investment therein. It is further  
21 found that certain activities and uses of land in the immediate vicinity of airports, as enumerated in  
22 Section 333.03(2), Florida Statutes, are not compatible with normal airport operations and may, if  
23 not regulated, endanger the lives of the participants, adversely affect their health, or otherwise limit  
24 the accomplishment of normal activities. Accordingly, it is declared that:

- 25 1. The creation or establishment of an airport hazard that reduces the size of the areas available  
26 for such operations, or that inhibits the safe and efficient use of airspace or the airport, creates  
27 a public nuisance and injury to the city.
- 28 2. It is therefore necessary in the interest of the public health, safety, and welfare that the creation  
29 of airport hazards and incompatible use of land within the airport overlay district or the airport  
30 noise zones be prevented.
- 31 3. The creation or establishment of anything affecting the safety of aircraft or pilots or passengers,  
32 or that inhibits the safe operation of aircraft operating to or from the airport, shall be  
33 prevented.
- 34 4. The prevention of these hazards and incompatible land uses is desirable and should be  
35 accomplished, to the extent legally possible, by exercise of the police power, without  
36 compensation, in accordance with Chapter 333, Florida Statutes.
- 37 5. The prevention of the creation of airport hazards and incompatible land uses, and the  
38 elimination, removal, alteration, mitigation, or marking and lighting of existing airport hazards,  
39 are public purposes for which the political subdivision may raise and expend public funds and  
40 acquire land or interests in land or air rights thereover.

- 1 C. *Definitions.* Throughout these regulations, the following words and phrases shall have the meanings  
2 indicated unless the text of the ordinance clearly indicates otherwise:
- 3 ***Aeronautical study*** means a Federal Aviation Administration study, conducted in accordance with  
4 the standards of 14 C.F.R. part 77, subpart C, and Federal Aviation Administration policy and  
5 guidance, on the effect of proposed construction or alteration upon the operation of air navigation  
6 facilities and the safe and efficient use of navigable airspace.
- 7 ***Aircraft*** means any motor vehicle or contrivance now known, or hereafter invented, used or  
8 designed for navigation of or flight in the air.
- 9 ***Airport*** means any areas of land or water designed or set aside for the landing and taking-off of  
10 aircraft, and used or to be used in the interest of the public for such purpose.
- 11 ***Airport authority*** means the Gainesville-Alachua County Regional Airport Authority.
- 12 ***Airport hazard*** means an obstruction to air navigation that affects the safe and efficient use of  
13 navigable airspace or the operation of planned or existing air navigation and communication  
14 facilities.
- 15 ***Airport hazard area*** means any area of land or water upon which an airport hazard might be  
16 established.
- 17 ***Airport land use compatibility zoning*** means airport zoning regulations governing the use of land  
18 on, adjacent to, or in the immediate vicinity of airports.
- 19 ***Airport layout plan*** means a set of scaled drawings that provides a graphic representation of the  
20 existing and future development plan for the airport and demonstrates the preservation and  
21 continuity of safety, utility, and efficiency of the airport.
- 22 ***Airport master plan*** means a comprehensive plan of an airport that typically describes current and  
23 future plans for airport development designed to support existing and future aviation demand.
- 24 ***Airport protection zoning regulations*** means airport zoning regulations governing airport hazards.
- 25 ***Airport reference point*** means the approximate geometric center of the runways of an airport,  
26 expressed by its latitude and longitude, as shown on the approved airport layout plan of the  
27 Gainesville Regional Airport, and identified as the "future airport reference point."
- 28 ***Approach, transitional, horizontal and conical zones*** means zones that apply to the area under the  
29 approach, transitional, horizontal and conical surfaces defined in Part 77 of the Federal Aviation  
30 Regulations (FAR).
- 31 ***Avigation easement*** means the permanent grant of airspace rights over and above the surface of  
32 property in order to permit airport operations and operation of aircraft, despite the associated  
33 nuisance effects on the underlying surface property, such as but not limited to, noise, vibration,  
34 fumes, and fuel particles.
- 35 ***Day Night Average Sound Level (DNL)*** means the sound exposure level generated by aircraft  
36 operations, as defined in Federal Aviation Regulation Part 150 entitled "Airport Noise Compatibility  
37 Planning" (FAR Part 150) codified under 14 C.F.R. Part 150, estimated using the Federal Aviation  
38 Administration (FAA) Integrated Noise Model (INM) in a manner that complies with the  
39 requirements set forth in Part 150.



1 **Decision Height (or Decision Altitude)** means the lowest AMSL altitude to which descent is  
2 authorized on final approach in execution of a standard precision instrument approach where  
3 electronic glide slope is provided.

4 **Department** means the Department of Transportation as created under Section 20.23, Florida  
5 Statutes.

6 **Educational facility** means any structure, land, or use that includes a public or private kindergarten  
7 through 12th grade school, charter school, magnet school, college campus, or university campus.  
8 The term does not include space used for educational purposes within a multitenant building.

9 **Landfill** has the same meaning as provided in Section 403.703, Florida Statutes.

10 **Minimum Descent Altitude (MDA)** means the lowest AMSL altitude to which descent is authorized  
11 on final approach or during circling-to-land maneuvering in execution of a standard instrument  
12 approach procedure where electronic glide slope is not provided.

13 **Noise Exposure Map** means documentation identifying aircraft-related noise exposure around an  
14 airport that is developed in a manner that FAA finds compliant with the requirements set forth in  
15 FAR Part 150.

16 **Noise Level Reduction (NLR)** means a measurement standard for the reduction in sound level  
17 transmission between the exterior and interior of a structure. NLR standards are used to evaluate  
18 the effectiveness or establish requirements of techniques to limit sound transmission in order to  
19 prevent or mitigate adverse noise impacts through incorporation of noise attenuation into the  
20 design and construction of a structure.

21 **Nonconforming use, airport** means any preexisting structure, object of natural growth, or use of  
22 land that was in compliance with the provisions of this chapter that were in effect when the  
23 structure, object, or use was established, but which no longer conforms to one or more of the  
24 provisions of this chapter or an amendment thereto.

25 **Nonprecision instrument runway** means any runway having an existing instrument approach  
26 procedure utilizing air navigation facilities with only horizontal guidance, or area-type navigation  
27 equipment, for which a straight-in nonprecision instrument approach procedure has been approved  
28 or planned, or for which no precision approach facilities are planned.

29 **Object of natural growth** means any organism of the plant kingdom, including trees.

30 **Obstruction** means any existing or proposed object, terrain, or structure construction or alteration  
31 that exceeds the federal obstruction standards contained in 14 C.F.R. part 77, subpart C, or,  
32 regardless of height, may otherwise be hazardous to or interfere with the taking off, maneuvering,  
33 or landing of aircraft. The term includes:

34 1. Any tree or object of natural growth or terrain;  
35 2. Permanent or temporary construction or alteration, including equipment or materials used and  
36 any permanent or temporary apparatus; or  
37 3. Alteration of any permanent or temporary existing structure by a change in the structure's  
38 height, including appurtenances, lateral dimensions, and equipment or materials used in the  
39 structure.

40 **Occupied rooms** means rooms within enclosed structures that are, or may reasonably be expected  
41 to be, used for human activities including, but not limited to, sound communications, education or  
42 instruction, sleeping, eating, entertainment, or the use of telephones and other audio devices.

1 **Occupied structure** means a structure with at least one occupied room. See "Occupied Rooms."  
2 **Other-than-utility runway** means any existing or planned runway that is constructed for, and  
3 intended to be used by, all types of aircraft, including those having gross weights greater than  
4 12,500 pounds.  
5 **Person** means individual, firm, partnership, corporation, company, association, joint stock  
6 association, or political body, including the trustee, receiver, assignee, administrator, executor,  
7 guardian, or other similar representative.  
8 **Political subdivision** means the local government of any county, municipality, town, village, or other  
9 subdivision or agency thereof, or any district or special district, port commission, port authority, or  
10 other such agency authorized to establish or operate airports in the state.  
11 **Precision instrument runway** means a runway having an existing instrument approach procedure  
12 utilizing an Instrument Landing System, Microwave Landing System, or a Precision Approach Radar  
13 or other approach procedure defined by FAA as "Precision" whereby vertical guidance information  
14 is provided, or any runway for which a precision approach system is planned.  
15 **Primary surface** means a surface longitudinally centered on a runway extending 200 feet beyond  
16 each end of that runway's prepared surface. The width of the primary surface of a runway will be  
17 that width prescribed in FAR Part 77 for the most precise approach existing or planned for either  
18 end of that runway. The elevation of any point on the primary surface is the same as the elevation of  
19 the nearest point on the runway centerline.  
20 **Public-use airport** means an airport, publicly or privately owned, licensed by the state, which is open  
21 for use by the public.  
22 **Runways** means those existing or planned portions of the airport prepared for the landing and take-  
23 off of aircraft, as shown on the approved airport layout plan of the Gainesville Regional Airport, or  
24 those portions of each privately-owned airport prepared for the landing and take-off of aircraft, and  
25 identified as such by the Florida Department of Transportation.  
26 **Runway end elevation** means the elevation at each runway end centerline, expressed in "feet  
27 Above Mean Sea Level (AMSL)," as shown on the approved airport layout plan of the Gainesville  
28 Regional Airport. For each airport runway, the runway end elevation is that value reported by the  
29 Florida Department of Transportation for each respective runway.  
30 **Runway Protection Zone (RPZ) (formerly known as the Runway Clear Zone)** means an area at  
31 ground level beyond the runway end to enhance the safety and protection of people and property  
32 on the ground. The lateral dimensions of the RPZ are as defined in the most current FAA Airport  
33 Design Circular or the most recent FAA-approved Airport Layout Plan. Where there is a conflict, the  
34 more stringent standard shall apply.  
35 **Sound level** means the quantity, in decibels, measured by an instrument satisfying the requirements  
36 of the American Standard Specification for Type I sound level meters. The sound level is the  
37 frequency-weighted sound pressure level obtained with the frequency weighting "A" and the  
38 standardized dynamic characteristic "SLOW."  
39 **Statute mile** means a distance of 5,280 feet.  
40 **Structure (for the purpose of airport zoning regulations)** means any object constructed erected,  
41 altered, or installed, including but not limited to, antennae, buildings, cranes, towers, smoke stacks,  
42 power generation equipment, utility poles and overhead transmission lines.

1       **Substantial modification** means any repair, reconstruction, rehabilitation, or improvement of a  
2 structure when the actual cost of the repair, reconstruction, rehabilitation, or improvement of the  
3 structure equals or exceeds 50% of the market value of the structure.

4       **Utility runway** means a runway that is constructed for and intended to be used by only propeller  
5 driven aircraft of 12,500 pounds maximum gross weights and less.

6       **Visual runway** means a runway intended solely for the operation of aircraft using visual approach  
7 procedures with no straight-in instrument approach procedure and no instrument designation  
8 indicated on an FAA airport layout plan, or by any planning document submitted to the FAA by  
9 competent authority.

10    D. **Administration.** All airport zoning regulations shall be administered and enforced by the City  
11 Manager or designee. Per Section 333.04, Florida Statutes, in the event of conflict between the  
12 airport zoning regulations adopted herein and any other regulations applicable to the same area,  
13 whether the conflict be with respect to the height of structures or vegetation, the use of land, or any  
14 other matter, and whether such regulations were adopted by the City or by some other political  
15 subdivision having jurisdiction, the more stringent limitation or requirement shall govern and  
16 prevail.

17    E. **Airport Zones of Influence.** The City of Gainesville hereby adopts three airport zones of influence.  
18 The location of these airport zones of influence and their associated regulations are hereby  
19 established to protect the public safety and interest and ensure conformance with Code of Federal  
20 Regulations 14 CFR Part 77 and Florida Statutes Chapter 333. Unless otherwise provided for herein,  
21 the boundaries of said zones and their associated regulations may only be amended by the City  
22 Commission of the City of Gainesville. Any application for land development within these airport  
23 zones of influence shall comply with these regulations, any applicable state or federal regulations,  
24 and any applicable requirements of the land development regulations of the City of Gainesville. The  
25 airport zones of influence established in these regulations include the following: 1) Airport Height  
26 Notification Zone; 2) Airport Runway Protection Zone; and 3) Airport Noise Zone.

27       1. **Airport Height Notification Zone.**

28       a. **Establishment.** The Airport Height Notification Zone is hereby established as an overlay  
29 zone on the adopted city zoning map. The Airport Height Notification Zone is established to  
30 regulate the height of structures and objects of natural growth in areas around the  
31 Gainesville Regional Airport. The Airport Height Notification Zone consists of two subzones,  
32 defined as follows:

33       i. **Airport Height Notification Subzone 1:** The area surrounding the Gainesville Regional  
34 Airport extending outward 20,000 feet from the ends and each side of all active  
35 runways.

36       ii. **Airport Height Notification Subzone 2:** The area within the city limits not within Airport  
37 Height Notification Subzone 1.

38       For the Gainesville Regional Airport, the boundary of the Airport Height Notification Zone  
39 established in these regulations is based on the runway configuration that is planned and  
40 documented as such in its approved airport layout plan.

41       The Airport Height Notification Zone map shall be adopted by ordinance. When future  
42 Airport Height Notification Zone maps are prepared, the City shall consider revisions to the  
43 boundary of the Airport Height Notification Zone and to these regulations. Any such

1 revisions shall not be operative or effective for purposes of these regulations, until adopted  
2 by ordinance of the City.

3 In the event of a discrepancy between an Airport Height Notification Zone boundary as  
4 depicted on the map and as located by application of the definition of said boundary as set  
5 forth in these regulations, the boundary as prescribed by the latter shall prevail.

6 b. *Regulations.*

7 i. *Airport Obstruction Permit required.* Any person proposing to construct, alter, or allow  
8 an airport obstruction within an Airport Height Notification Zone or who receives a  
9 Notice of Potential Airport Obstruction as described in this section shall apply for an  
10 Airport Obstruction Permit.

11 1) *Airport hazard.* A permit may not be issued if it would allow the establishment or  
12 creation of an airport hazard.

13 2) *Nonconforming obstruction.* A permit may not be issued if it would permit a  
14 nonconforming obstruction to become a greater hazard to air navigation than it was  
15 when the applicable airport zoning regulation was adopted that allowed the  
16 establishment or creation of the obstruction, or than it is when the application for a  
17 permit is made.

18 ii. *Notice of Potential Airport Obstruction.* During the city's development review process,  
19 the City Manager or designee shall issue a Notice of Potential Airport Obstruction to all  
20 applicants for development that the City Manager or designee determines includes a  
21 "potential airport obstruction" and such applicants shall apply for an Airport  
22 Obstruction Permit. For purposes of this section, development proposals shall be  
23 considered a "potential airport obstruction" if it would result in the construction or  
24 alteration of a structure or object of natural growth having a height that would exceed:

25 1) An imaginary surface extending outward and upward from the ends and sides of a  
26 runway at a slope of one foot vertically for every 100 feet horizontally, for a distance  
27 of 20,000 feet, in Airport Height Notification Subzone 1; or

28 2) 200 feet above ground level in Airport Height Notification Subzone 2.

29 iii. *Permit procedures.*

30 1) An Airport Obstruction Permit applicant shall submit a completed application, as  
31 provided by the City, together with documentation showing both compliance with  
32 the federal requirement for notification of proposed construction or alteration and  
33 a valid aeronautical study.

34 2) Prior to any such permit request being scheduled for consideration by the City  
35 Manager or designee, the applicant shall submit a copy of the final written  
36 determination, as issued by the Federal Aviation Administration (FAA) based on its  
37 review of the applicant's Notice of Proposed Construction or Alteration, in  
38 accordance with the provisions of 14 CFR Part 77.

39 3) Upon receipt of a complete application, the City shall provide a copy of the  
40 application to the Florida Department of Transportation's aviation office by certified  
41 mail, return receipt requested.

42 iv. *Permit criteria.*

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- 1) *No airport obstruction.* If the FAA has reviewed a proposed development and determined it would not exceed any federal obstruction standard contained in 14 CFR Part 77, the City Manager or designee shall grant an Airport Obstruction Permit for the proposed development.
- 2) *Airport obstruction is an airport hazard.* If the FAA has reviewed a proposed development and determined that it includes an airport obstruction that constitutes an airport hazard, then no Airport Obstruction Permit shall be granted by the City Manager or designee.
- 3) *Airport obstruction is not an airport hazard.* If the FAA has reviewed a proposed land development and determined that it includes an airport obstruction that is not an airport hazard, then the City Manager or designee shall not grant a permit based solely on such FAA determination but shall grant or deny an Airport Obstruction Permit after considering the following criteria and in accordance with Section 333.07, Florida Statutes:
  - (a) The safety of persons on the ground and in the air.
  - (b) The safe and efficient use of navigable airspace.
  - (c) The nature of the terrain and height of existing structures.
  - (d) The effect of the construction or alteration of an obstruction on the state licensing standards for a public-use airport contained in Chapter 330, Florida Statutes, and rules adopted thereunder.
  - (e) The character of existing and planned flight operations and development at public use airports within the city.
  - (f) Federal airways, visual flight rules, flyways and corridors, and instrument approaches as designated by the Federal Aviation Administration.
  - (g) The effect of the construction or alteration of an obstruction on the minimum descent altitude or the decision height at the affected airport.
  - (h) The cumulative effects on navigable airspace of all existing obstructions and all known proposed obstructions in the area.
  - (i) Any comments received from the Florida Department of Transportation.
- 4) *Permit conditions.* Any permit granted under this section shall include conditions that require the owner of the obstruction to install, operate, and maintain, at the owner's expense, marking, lighting and/or flagging as required by Chapter 333, Florida Statutes, Chapter 14-60, Florida Administrative Code, or by the FAA in its written determination. No Airport Obstruction Permit shall be issued after the expiration date indicated on the FAA's written determination. Each Airport Obstruction Permit issued shall specify a reasonable expiration date as a condition.

2. *Airport Runway Protection Zone.*

- a. *Establishment.* There is hereby established the Airport Runway Protection Zone as an airport zone of influence. The Airport Runway Protection Zone is established to regulate the uses of land lying in specified areas above which aircraft shall routinely operate at low

1 altitudes and climb from or descend to the runways of the Gainesville Regional Airport.  
2 Within the Airport Runway Protection Zone, certain land uses are restricted or prohibited  
3 due to land use characteristics which could result in further death, injury, and property  
4 damage in the event of an aircraft accident, as such areas are more likely, statistically, to be  
5 exposed to accidents involving aircraft climbing from, or descending to, the runway at low  
6 altitudes.

7 The Airport Runway Protection Zone includes the area over which aircraft routinely operate  
8 at altitudes of 50 feet or less above the runway end elevation, and is defined as follows: that  
9 portion of the Approach Surface, as defined by 14 CFR Part 77.25, that extends outward  
10 from, and perpendicular to, its common boundary with the Primary Surface, as defined in 14  
11 CFR Part 77.25, for a horizontal distance of: 1) 1,000 feet for utility/visual runways, 2) 1,700  
12 feet for nonprecision instrument/other-than-utility runways, and 3) 2,500 feet for precision  
13 instrument runways.

14 The Airport Runway Protection Zone map shall be adopted by ordinance. In the event a  
15 discrepancy arises between an Airport Runway Protection Zone boundary as depicted on the  
16 map and an Airport Runway Protection Zone boundary located by application of the  
17 definition of said boundary as set forth in these regulations, the boundary as prescribed by  
18 the latter shall prevail.

19 b. *Regulations.* The following types of land uses shall be prohibited within the established  
20 Airport Runway Protection Zone:

- 21 i. Educational facilities (including all types of schools, pre-schools, and child-care facilities).
- 22 ii. Hospitals, medical, and health-related facilities.
- 23 iii. Places of religious assembly.
- 24 iv. Hotels and motels (including transient lodging, recreational vehicle, and mobile home  
25 parks).
- 26 v. Other similar land uses wherein or whereabouts persons are assembled.

27 Any use that is not prohibited in an Airport Runway Protection Zone, or otherwise deemed  
28 by the FAA as incompatible or a danger to persons on the ground, is allowable within such  
29 zone, subject to compliance with applicable Airport Noise and Height Notification Zone and  
30 zoning district regulations.

31 3. *Airport Noise Zone.*

32 a. *Establishment.* There is hereby established the Airport Noise Zone as an airport zone of  
33 influence. The Airport Noise Zone is established around the Gainesville Regional Airport to  
34 regulate land uses sensitive to sound levels generated by the routine operation of the  
35 Airport. Within the Airport Noise Zone, land use restrictions and special construction  
36 standards are established to minimize impacts of airport-generated noise. The Airport Noise  
37 Zone consists of three subzones, defined as follows:

- 38 i. *Airport Noise Subzone A:* The area commencing at the airport reference point and  
39 extending outward therefrom to that boundary which approximates a Day Night  
40 Average Sound Level of 65 dB DNL.

- 1           ii. *Airport Noise Subzone B*: The area commencing at the airport reference point and
- 2           extending outward therefrom to that boundary which approximates a Day Night
- 3           Average Sound Level of 60 dB DNL, excluding Subzone A.
- 4           iii. *Airport Noise Subzone C*: The area commencing at the airport reference point and
- 5           extending outward therefrom to that boundary which approximates a Day Night
- 6           Average Sound Level of 55 dB DNL, excluding Subzones A and B.

7           For the Gainesville Regional Airport, the boundary of the Airport Noise Zone established in  
 8           these regulations is based on the forecast of Day Night Average Sound Level noise contours  
 9           documented in the 2012 Noise Exposure Map prepared for the Gainesville Regional Airport  
 10          by RS&H and determined compliant by the FAA on April 20, 2009.

11          The Airport Noise Zone Map shall be adopted by ordinance. When future Noise Exposure  
 12          Maps are prepared and determined compliant by the FAA, the City shall consider revisions  
 13          to the boundary of the Airport Noise Zones and to these regulations. Any such revisions shall  
 14          not be operative or effective for purposes of these regulations, until adopted by ordinance  
 15          of the City.

- 16          b. *Regulations*. The provisions of this section shall apply to the construction, expansion,  
 17          alteration, moving, repair, replacement, use, and changes of use or occupancy of any  
 18          occupied structure located within any Airport Noise Zone defined by these regulations and  
 19          to any structure that is moved into or within any Airport Noise Zone, and those proposed to  
 20          be constructed within any Airport Noise Zone.

- 21           i. *Existing Structures*. Structures located within any Airport Noise Zone at the time of the  
 22           adoption of these regulations to which additions, expansions, alterations, repairs,  
 23           replacement, and changes of use or occupancy are made shall comply with the  
 24           requirements of these regulations, except for structures for which the cost of such  
 25           additions, expansions, alterations, or repairs made within any five-year period does not  
 26           exceed 50% of the value of such structures.

- 27           ii. *Moved Structures*. Structures moved into or within any Airport Noise Zone defined by  
 28           these regulations shall comply with requirements of these regulations before  
 29           permanent occupancy is permitted.

- 30           iii. *New Structures*. New structures proposed within any Airport Noise Zone defined by  
 31           these regulations shall comply with the requirements of these regulations before  
 32           permanent occupancy is permitted.

- 33           iv. *Avigation Easements*. Property owners required or choosing to provide an avigation  
 34           easement shall grant said easement to the City of Gainesville and to the Gainesville-  
 35           Alachua County Regional Airport Authority, and to their respective successors and/or  
 36           assigns. The easement shall be in the form provided by the City Attorney and Airport  
 37           Authority and shall be executed by the property owner and recorded by the property  
 38           owner in the Public Records of Alachua County, prior to the earliest occurrence of the  
 39           following: 1) release of a development site plan; 2) recording of a lot split, minor  
 40           subdivision, or final plat; or 3) issuance of a building permit, as applicable. The property  
 41           owner shall provide a copy of the recorded easement to the city and to the Airport  
 42           Authority.

- 43           v. *Regulated Uses within the Airport Noise Zone*. Uses that are not specified in the  
 44           following table may be allowed in the Airport Noise Zone if permitted by the underlying

1 zoning and other applicable Land Development regulations, provided all development  
 2 shall provide a minimum of 25 dB of exterior-to-interior noise level reduction and the  
 3 property owner shall provide the City and the Gainesville Regional Airport with a  
 4 permanent aviation easement in accordance with this section.

5 **Table V - 11: Airport Noise Zone Land Use Regulation.**

Subzones	A 65 dB DNL	B 65-60 dB DNL	C 60-55 dB DNL
Dwelling, intended for residential occupancy (excluding hotels, motels, and similar short-term transient occupancies)	Prohibited	Restricted (1)	Permitted (2)
Places of religious assembly, auditoriums, concert halls, libraries and similar assembly uses (primarily indoor uses)	Prohibited	Restricted (1)	Permitted (2)
Hospital	Prohibited	Prohibited	Permitted (2)
Correctional institution	Prohibited	Restricted (1)	Permitted (2)
Nursing homes, assisted living facilities, social service facilities and halfway houses	Prohibited	Restricted (1)	Permitted (2)
Public and private school, daycare centers, and other educational facilities (excluding aviation-related schools)	Prohibited	Restricted (1)	Permitted (2)
Outdoor Sports Arenas, amphitheaters and similar uses (primarily outdoor uses)	Prohibited	Permitted (2)	Permitted (2)
(1) Development shall be allowed only on isolated lots within neighborhoods or developments that were constructed prior to December 3, 2009 (i.e., "infill development lots.") Any such development that is allowed shall provide a minimum of 25 dB of exterior-to-interior noise level reduction and the property owner shall provide the City and the Gainesville Regional Airport with a permanent aviation easement.			
(2) All development shall provide a minimum of 25 dB of exterior-to-interior noise level reduction and the property owner shall provide the City and the Gainesville Regional Airport with a permanent aviation easement.			

6 F. *Special Requirements.* Notwithstanding any of the provisions of this section, no landfill shall be  
 7 established or expanded and no use of land, air, or water shall be made in such a manner to  
 8 interfere with the operation of any airborne aircraft or aircraft operation at the Gainesville Regional  
 9 Airport. The following special requirements shall apply to proposed developments.

- 10 1. *Aircraft Bird Strike Hazard.* No land use shall be permitted to store, handle, or process organic  
 11 or any other materials that foster or harbor the growth of insects, rodents, amphibians, or other  
 12 similar organisms, in such a way as to significantly increase the potential for aircraft bird strike  
 13 hazard to aircraft operations at the Gainesville Regional Airport:
  - 14 a. Within 10,000 feet of the nearest point of any runway used or planned to be used by  
 15 turbine aircraft;
  - 16 b. Within 5,000 feet of the nearest point of any runway used or planned to be used only by  
 17 non-turbine aircraft;
  - 18 c. Within the lateral limits of the airport imaginary surfaces defined in 14 CFR Part 77.19;



- 1           d. In locations where the passage of a significant volume of bird traffic originating from or
- 2           destined to bird feeding, watering, or roosting areas is induced across any Primary Surface
- 3           or Approach Surface, as defined in 14 CFR Part 77.19, of the airport; and
- 4           e. Where any landfill is located and constructed so that it attracts or sustains hazardous bird
- 5           movements from feeding, water, or roosting areas into or across the runways or approach
- 6           and departure patterns of aircraft, the operator of such a landfill shall be required to
- 7           incorporate bird management techniques or other practices to minimize bird hazards to
- 8           airborne aircraft.
- 9        2. *In-Flight Visual or Electronic Interference.* No land use shall produce smoke, steam, glare, or
- 10       other visual impairment within three statute miles of any runway of the Gainesville Regional
- 11       Airport. Furthermore, no land use shall:
  - 12       a. Produce electronic interference with navigation signals or radio communications of any
  - 13       airborne aircraft or aircraft operations at the airport;
  - 14       b. Use high energy beam devices that interfere with aircraft operations at the airport, and for
  - 15       which such energy transmission is not fully contained within a structure, or absorbing or
  - 16       masking vessel; or
  - 17       c. Use lights or illumination arranged or operated in such manner that either misleads or
  - 18       obscures the vision of pilots during take-off and landing stages of aircraft operations at the
  - 19       airport.
- 20       3. *Restrictions on the Educational Facilities of Public and Private Schools.*
  - 21       a. *Educational Facilities Restricted.* The construction of any educational facility of a public or
  - 22       private school, with the exception of aviation school facilities, is prohibited within an area
  - 23       that extends five miles out from either end of any runway, along the extended runway
  - 24       centerline, and which has a width measuring one-half the length of the longest runway of
  - 25       the Gainesville Regional Airport. The Restrictions on the Educational Facilities of Public and
  - 26       Private Schools map shall be adopted by ordinance. When future Restrictions on the
  - 27       Educational Facilities of Public and Private Schools maps are prepared, the City shall
  - 28       consider revisions to the boundary of the Restrictions on the Educational Facilities of Public
  - 29       and Private Schools and to these regulations. Any such revisions shall not be operative or
  - 30       effective for purposes of these regulations, until adopted by ordinance of the City.
  - 31       b. *Existing Educational Facilities.* These restrictions shall not be construed to require the
  - 32       removal, alteration, sound conditioning, or other change, or to interfere with the continued
  - 33       use or adjacent expansion of any non-conforming educational structure or site, or be
  - 34       construed to prohibit the construction of any new structure for which a site has been
  - 35       determined as provided in Section 1013.36, Florida Statutes.
    - 36       i. *Exceptions.* Exceptions approving construction of an educational facility within the
    - 37       delineated area(s) shall only be granted when the Development Review Board makes
    - 38       specific findings detailing how public policy reasons for allowing the construction
    - 39       outweigh health and safety concerns prohibiting such a location. The Development
    - 40       Review Board shall consider, at a minimum, the following criteria in determining
    - 41       whether or not to grant exceptions approving construction of educational facilities
    - 42       within the delineated area(s):

- 1) Physical attributes of the proposed site, including the nature of the terrain and topography, and the density of planned/existing land uses;
- 2) Situation of the proposed site relative to other geographic features, either natural or man-made, and other planned/existing land uses and activities;
- 3) Public and private interests and investments;
- 4) Safety of persons on the ground and in the air;
- 5) Any other applicable airport zoning restrictions;
- 6) Availability of alternate sites;
- 7) Any unique attributes of the proposed site;
- 8) Planned approach type of the runway: either precision instrument, nonprecision instrument, or visual;
- 9) Type(s) of aircraft using the runway, including the number and type of engine(s) used by, and gross weight of, aircraft; and
- 10) Inbound approach or outbound departure bearing relative to the extended runway centerline.

G. *Determination of Boundaries.* In determining the location of airport zone of influence boundaries, the following rules shall apply:

1. Where boundaries are shown to follow streets or alleys, the centerline of such streets or alleys shall be the airport zone boundary;
2. Where boundaries are shown to enter or cross platted lots, property lines of the lots shall be the airport zone boundary;
3. Notwithstanding the above, where boundaries are shown on any platted lot, provisions of the more restrictive airport zone that crosses the platted lot shall apply to the entire platted lot;
4. Where boundaries are shown to enter or cross unsubdivided property of less than five acres in area, property lines of the unsubdivided parcel shall be the airport zone boundary;
5. Notwithstanding the above, where boundaries are shown on unsubdivided property of less than five acres in area, provisions of the more restrictive airport zone that crosses the unsubdivided parcel shall apply to the entire unsubdivided parcel; and
6. Where boundaries are shown on unsubdivided property of five or more acres in area, the location shall be determined by the Airport Noise Zone boundary shown in Attachment 3, or the Airport Height Notification Zone or Airport Runway Protection Zone boundary located by application of the definition of said zone boundaries set forth in these regulations.

H. *Nonconforming Uses.* No use of land, structure, development, or object of natural growth is allowable in any airport zone of influence unless it conforms to the specific limitations set forth in these regulations. The general nonconformity provisions in the Land Development Code shall apply to nonconformities with the airport zoning regulations to the extent they are not in conflict with this section. If there is a conflict between the nonconformity provisions of this section and the general provisions of the Land Development Code, the provisions of this section shall govern.

Except as otherwise stated in this section, any legal nonconformity that was allowable or permitted by the airport zoning regulations in existence at the time of its establishment shall be allowed to

1 continue, and nothing herein shall be construed to require the removal, lowering, change or  
2 alteration, or otherwise interfere with the continuance of any legal nonconformity. However, legal  
3 nonconformities shall not be allowed to exceed the height of said object at the time it was  
4 established as a legal nonconformity or to otherwise become a greater hazard to air navigation than  
5 it was at the time it was established as a legal nonconformity, unless an Airport Obstruction Permit  
6 is issued by the City Manager or designee in accordance with these airport zoning regulations.

7 1. If the City Manager or designee determines that a nonconforming obstruction has been  
8 abandoned or is more than 80% torn down, destroyed, deteriorated, or decayed, then the  
9 following shall apply:

10 a. An Airport Obstruction Permit may not be granted if it would allow the obstruction to  
11 exceed the applicable height limit or otherwise deviate from the airport zoning regulations  
12 in place at the time of permit application; and

13 b. The City Manager or designee may require the owner of the nonconforming obstruction, at  
14 his or her own expense, to lower, remove, reconstruct, alter, or equip such obstruction as  
15 may be necessary to conform to the current airport zoning regulations. If the owner of the  
16 nonconforming obstruction neglects or refuses to comply with such requirement for 10  
17 calendar days after notice, the City may proceed to have the obstruction so lowered,  
18 removed, reconstructed, altered, or equipped and assess the cost and expense thereof upon  
19 the owner of the obstruction or the land whereon it is or was located.

20 I. *Future Uses.* No change shall be made in the use of land, and no structure shall be altered or  
21 otherwise established in any airport zone of influence created by these regulations except in  
22 conformance with the requirements of this section. Land use and zoning changes that would allow a  
23 prohibited use within an airport zone of influence shall be prohibited.

24 Properties with an incompatible land use and zoning map designation may be changed to a  
25 compatible land use and zoning by ordinance, Planned Use District (PUD) land use and Planned  
26 Development (PD) zoning may be used to designate new uses of properties within airport noise  
27 zones.

28 J. *Conflicting Regulations.* Where there exists a conflict between any of the requirements or  
29 limitations prescribed in these regulations and any other requirements, regulations or zoning  
30 applicable to the same area, whether the conflict be with respect to the height of structures or  
31 objects of natural growth, the use of land, or any other matter, the more stringent limitation or  
32 requirement shall govern and prevail.

33 K. *Penalties.* In addition to other remedies for violation of these regulations provided in the Land  
34 Development Code, the City may institute in any court of competent jurisdiction an action to  
35 prevent, restrain, correct, or abate any violation of Chapter 333, Florida Statutes, these regulations,  
36 or any order or ruling made in connection with their administration or enforcement. The court shall  
37 adjudge to the City such relief, by way of injunction (which may be mandatory) or otherwise, as may  
38 be proper under all the facts and circumstances of the case in order to fully effectuate the purposes  
39 of Chapter 333, Florida Statutes, and of these regulations, and the orders and rulings made pursuant  
40 thereto.

## **Appendix C**









### **Technical Review Committee (TRC) Conditions**

## Changemarks Report









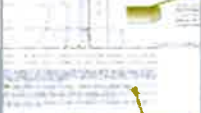


**Project Name:** NFRMC Parking Garage, PB-18-111 SUP

**Application Type:** Special Use Permit w/Development Plan Review (Quasi-Judicial)

**Public Hearing Date:** 25-Oct-18

Cycle	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date
1	False	Unresolved	Public Works Traffic Studies		C101 DIMENSION PLAN.pdf	PW_DLL	Connectivity	Connection between proposed sidewalk along NW 10th Place and access drive to the garage should be addressed. How does a pedestrian access the adjacent parking lot and how would they connect to the existing sidewalk along NW 64th Ter? At a minimum curb ramps should be added at the access drive.	09/18/2018 11:41 AM
1	False	Unresolved	Planners		A40.02 EXTERIOR BUILDING ELEVATIONS.pdf	Current Planning - Massey	Sheet A40.02	Generators are subject to the City's Noise Ordinance, as well as City screening requirements, where adjacent to public right-of-way.	09/12/2018 3:29 PM
1	False	Unresolved	Planners		Combined photometric drawings.pdf	Current Planning - Massey	Photometric Plan	A minimum footcandle of 1 is required per floor. Please correct.	09/12/2018 3:41 PM
1	False	Unresolved	Planners		Combined photometric drawings.pdf	Current Planning - Massey	Photometric Plan	A maximum uniformity ratio of 10:1 is required. Please correct.	09/12/2018 3:41 PM
1	False	Unresolved	Planners		Combined photometric drawings.pdf	Current Planning - Massey	Photometric Plan	A maximum uniformity ratio of 10:1 is required. Please correct.	09/12/2018 3:41 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 3	Changemark #01	Inset #1 see top left, sheet 2	09/12/2018 2:37 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 3	Changemark #02	Inset #2 continued from left	09/12/2018 2:37 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 3	Changemark #03	See inset #2 to Right	09/12/2018 2:37 PM






Changemarks Report

1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 2	Changemark #01	for continuation see Inset #1 on sheet 2	09/12/2018 2:33 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 2	Changemark #02	Private roadway	09/12/2018 2:33 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 2	Changemark #03	Public Right-of-way	09/12/2018 2:33 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 2	Changemark #04	This line apperas to represent a boundary line which is not consistent with property appraise'rs tax map. I would eliminate it since the boundary data is not pertinent: the propsoed improvements fall well within the propey lines of the two tax parcels this topo extends over.	09/12/2018 2:33 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 2	Changemark #05	North Florida Regiional Doctors Office Park	09/12/2018 2:33 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1 revised	Changemark #01	for the south lines of lots 1 and 26 of North Florida Regional doctors office Park	09/12/2018 2:21 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1 revised	Changemark #02	and the limits of the topographic data shown hereon extends over two tax parcels of which the boundary	09/12/2018 2:21 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1 revised	Changemark #03	Inset # 1	09/12/2018 2:21 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1 revised	Changemark #04	Inset #2	09/12/2018 2:21 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1	Changemark #01	NW 10th Place Private Road	09/12/2018 2:13 PM
1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1	Changemark #02	This line appears to represent a boundary line. I believe it should be eliminated. See note on sheet 2 markup.	09/12/2018 2:13 PM

## Changemarks Report

1	False	Unresolved	Public Works Survey		Topographic Survey.pdf	durbin sheet 1	Changemark #03	a vicinity map would be helpful. I realize this is part of a package that makes it obvious where this survey is but	09/12/2018 2:13 PM
1	False	Unresolved	Planners		C015 DEMOLITION PLAN.pdf	Current Planning - Massey	Demolition Plan	Please label the boundaries of the construction staging area on the subject proeprty.	09/12/2018 2:08 PM
1	False	Unresolved	Building Coordinator		C001 COVER SHEET.pdf	Building	Accessible Parking Spaces	AOR needs to evaluate the required accessible parking based on the use of the medical facility - See FBC-Accessibility 208.2.1 Hospital Outpatient Facilities.	09/12/2018 10:28 AM
1	False	Unresolved	Public Works Stormwater		C201 PAVING, GRADING AND UTILITY PLAN.pdf	PW - storm	Stormwater Vault	Approval is contingent on review of final design of stormwater chamber	09/11/2018 2:42 PM
1	False	Unresolved	Public Works Constructability		C201 PAVING, GRADING AND UTILITY PLAN.pdf	MWilliams	ADA ramps	Although a private roadway, ADA curb ramps should be provided at both ends of crosswalks and at driveways.	09/11/2018 2:11 PM
1	False	Unresolved	Water-Waste Water		C201 PAVING, GRADING AND UTILITY PLAN.pdf	WWW_Barbara Misener	8" x 2" tap	This will have to be an 8" x 2" tapping saddle.	09/10/2018 4:21 PM
1	False	Unresolved	Water-Waste Water		C201 PAVING, GRADING AND UTILITY PLAN.pdf	WWW_Barbara Misener	Water fitting schedule	Please provide a water fitting schedul with all bend, taps, pipe size, and valves.	09/10/2018 4:21 PM
1	False	Unresolved	Water-Waste Water		C201 PAVING, GRADING AND UTILITY PLAN.pdf	WWW_Barbara Misener	Please identify bends	Please label bends on the water main.	09/10/2018 4:21 PM
1	False	Unresolved	Public Works - Design		A10.01 LEVEL 1 FLOOR PLAN.pdf	RM	Wheel stops	Why are wheel stops used in these areas and not in the main portion of the parking garage?	09/10/2018 9:11 AM
1	False	Unresolved	Real Estate		C201 PAVING, GRADING AND UTILITY PLAN.pdf	GRU Real Estate	Show & Label Utility Setbacks & Existing Easements	Please show & label utility setback lines for proposed GRU maintained utilities and label any existing PUE's on the property.	09/10/2018 8:27 AM
1	False	Unresolved	Transportation Mobility		C001 COVER SHEET.pdf	TMPA Zone B	Changemark #01	Please add a note to the cover sheet indicating that this development is located in Zone B of the Transportation Mobility Program Area (TMPA).	09/07/2018 5:57 PM

Changemarks Report


1	False	Unresolved	Gainesville Fire Rescue Department		C201 PAVING, GRADING AND UTILITY PLAN.pdf	Burgett	Changemark #01	Please show the locations of existing and proposed fire hydrants with the size and locations of the water mains that supply them. [Gainesville Land Development Code Section 30-157 (d) (15)]	09/04/2018 2:06 PM
1	False	Unresolved	Gainesville Fire Rescue Department		C201 PAVING, GRADING AND UTILITY PLAN.pdf	Burgett	Changemark #02	2. All new buildings meeting any one of the criteria listed below require a standpipe system, and therefore a fire hydrant must be provided within 100 feet of the fire department connection. (1) More than three stories above grade where the building is protected by an approved automatic fire sprinkler system  Let's talk on the phone about FDC placement. Is it possible to put a remote FDC near the existing hydrant (I believe the GRU map to have one on the other side of the street near the SE corner of the building). Will there be stairs on the SE corner?	09/04/2018 2:06 PM
1	False	Unresolved	Gainesville Fire Rescue Department		C001 COVER SHEET.pdf	Burgett	Changemark #01	1. Please add a note to the cover sheet: The development shall comply with The Florida Fire Prevention Code.	09/04/2018 1:07 PM
1	False	Unresolved	Urban Forestry		NFRMC New Parking Garage Invasive Mgt Plan.pdf	Urban forestry	Removal methods around surface water	Please address methods to ensure invasive exotic removal will not result in impacts to the surface water, such as erosion or disposal of plant material.	08/31/2018 9:40 AM
1	False	Unresolved	Urban Forestry		NFRMC New Parking Garage Invasive Mgt Plan.pdf	Urban forestry	Replanting	Due to the heavy coverage of exotic invasive vegetation, replanting may be necessary to avoid erosion of exposed soil into the surface water. Please include provisions to address replanting in areas where vegetation cover would be insufficient following invasive removal.	08/31/2018 9:40 AM



Changemarks Report

1	False	Unresolved	Urban Forestry		L002 LANDSCAPE PLAN CALCULATIONS AND PLANT SCHEDULE.pdf	Urban Forestry	Tree Mitigation	Please set up a site visit to discuss tree mitigation requirements	08/23/2018 1:28 PM
1	False	Unresolved	Planners		C001 COVER SHEET.pdf	Current Planning - Massey	Development Information	Please add the following text for future clarification:... as accessory to the existing hospital.	09/12/2018 4:17 PM
1	False	Unresolved	Planners		C001 COVER SHEET.pdf	Current Planning - Massey	Proposed Impervious Area Calculations	The impervious area calculations must be revised to reflect the impact of the proposed parking garage on the entire area of the campus zoned MD. If the total campus area is shown to be 24.14 acres, and the legal description of the PD shows 17.39 acres, the total project area zoned MD should be 6.75 acres or 294,030 square feet. Please correct or explain the discrepancy.	09/12/2018 4:17 PM
1	False	Unresolved	Planners		C001 COVER SHEET.pdf	Current Planning - Massey	Building Information	Please also state the number of "stories" the proposed building height represents in the Building Information Table.	09/12/2018 4:17 PM
1	False	Unresolved	Planners		C001 COVER SHEET.pdf	Current Planning - Massey	Parking Calculations	Please provide a calculation showing that at least 75% of parking will be accommodated w/n a parking structure on the MD portion of the campus.	09/12/2018 4:17 PM
1	False	Unresolved	Planners		C001 COVER SHEET.pdf	Current Planning - Massey	Parking Calculations	Please note in parentheses that Area H involves surface parking.	09/12/2018 4:17 PM
1	False	Unresolved	Planners		C001 COVER SHEET.pdf	Current Planning - Massey	Parking Calculations	The parking calculations must include the required parking for the bed tower. Please correct	09/12/2018 4:17 PM
1	False	Unresolved	Planners		Performance Standards Letter.pdf	Current Planning - Massey	GPS Letter	Please explain Item 9, in which the applicant states the parking area is already equipped with lighting.	08/23/2018 12:25 PM

Changemarks Report

1	False	Unresolved	Planners		_ePlan Review App w-GRU Checklist.pdf	Current Planning - Massey	Plan Review Application	The parking garage requires a Special Use Permit (SUP) to exceed 5 stories in the MD zoning district. Please modify the application and submit additional fees.	08/23/2018 11:09 AM
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# **Appendix D**

## **Supplemental Documents**

# PLAN REVIEW APPLICATION

**OVERVIEW:**

Portion of 06340-007-001 &

<b>Project Name:</b> NFRMC North Parking Garage-	<b>Tax Parcel Number:</b> 06340-007-002
<b>Property Address:</b> 1021 NW 64th Terrace	
<b>First Step Meeting Date:</b> 2/22/18	<b>GRU Project Meeting Date:</b> 3/26/18

**Proposed Uses/Type of Development** (Check all that apply)

<input type="checkbox"/> Residential	<b>Density</b>	<input checked="" type="checkbox"/> <b>Non-residential</b>	
<input type="checkbox"/> Multi-family	Units/acre:	<input type="checkbox"/> Commercial	<input type="checkbox"/> Office
Total Units:	Total bedrooms:	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Other Parking Garage
		Gross floor area:	

**PROJECT MANAGEMENT:**

Owner(s) of Record (please print)		
<b>Name:</b> North Florida Regional Medical Center and Radiation Therapy of Gainesville		
<b>Mailing Address:</b> PO BOX 80610 Indianapolis IN 46280		
<b>Phone:</b> contact agent	<b>Fax:</b>	<b>E-Mail:</b> contact agent

Applicant/Engineer of Record/Project Coordinator (please print)		
<b>Name:</b> eda engineers - surveyors - planners, inc.		
<b>Mailing Address:</b> 2404 NW 43rd Street Gainesville, FL 32606		
<b>Phone:</b> 352-373-3541	<b>Fax:</b>	<b>E-Mail:</b> sreves@edafl.com

Project Coordinator Name: Stephanie Sutton, ssutton@edafl.com    permitting@edafl.com  
 permitting@edafl.com  
 permitting@edafl.com

**FEES:**

Level of Review (check one)		Special Use Permit <input checked="" type="checkbox"/>	Enterprize Zone <input type="checkbox"/>
<b>MINOR</b>	<b>INTERMEDIATE</b>	<b>MAJOR</b>	<b>CONCEPT</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<b>MASTER</b>	<input type="checkbox"/>

<b>Fees are determined at First Step Meeting or GRU Project Meeting and are based on level of review and EZ Zone. More information about EZ Zones can be found at</b>	
<a href="http://cityofgainesville.org/Portals/0/plan/2015%20Web%20Docs/landdevfees151001.pdf">http://cityofgainesville.org/Portals/0/plan/2015%20Web%20Docs/landdevfees151001.pdf</a>	
<b>Plan Review Fee:</b> \$ 4,855.00	
<b>GRU Fee:</b> \$	<b>GRU Business Acct No.:</b>
<b>Plan review fee will be paid by:</b> Previous project "NFRMC North Parking Garage"	
<b>Name:</b>	<b>E-Mail:</b>
	<b>Phone:</b>

**Applicant Signature:** See Fee

**Date:** 8/17/18

THIS SECTION FOR OFFICE USE ONLY
<b>Petition Number:</b>

SUFFICIENCY CHECKLIST BELOW. PLEASE FILL OUT



**APPLICATION FOR SPECIAL USE PERMIT**  
**Planning & Development Services**

OFFICE USE ONLY	
Petition No. <u>DB-18-00111</u>	Fee: \$ <u>1,140.25</u>
1 <sup>st</sup> Step Mtg Date: _____	EZ Fee: \$ <u>N/A</u>
Tax Map No. _____	Receipt No. <u>18206</u>
Account No. 001-670-6710-3401 <input checked="" type="checkbox"/>	
Account No. 001-670-6710-1124 (Enterprise Zone) [ ]	
Account No. 001-670-6710-1125 (Enterprise Zone Credit [ ]	

*Application for a special use permit will be accepted for review only after a pre-application conference (First Step Meeting). Application to be completed by applicant. Application must include a preliminary development plan. Incomplete applications will be returned to the applicant.*

Name of Owner(s) (please print)	Applicant(s)/Agent(s), if different
Name: North Florida Regional Medical Center	Name: eda
Address: PO Box 80610	Address: 2404 NW 43rd Street
Indianapolis IN, 46280	Gainesville, FL 32606
Phone: contact agent Fax: contact agent	Phone: 352-373-3541 Fax:
Owner's Signature: see owner's affidavit	
(If additional owners, please include on back)	

PROPERTY INFORMATION: (Information below applies to property for which a Special Use Permit is being requested.)
Street address: 1021 NW 64th Terrace
Tax parcel no(s): 06340-007-002 and portion of 06340-007-001
Legal description (use separate sheet, if needed): See attached

I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area for which the permit is being requested.

Signature of applicant: *Sen Reed* Date: 8/27/18

**Certified Cashier's Receipt:**

A Special Use Permit is requested pursuant to Section 30, Subsection 4.24, Table V-10, of the Land Development Code, City of Gainesville, to allow the following use:

A preliminary site plan is required and is attached.

Existing zoning classification: MD Existing land use designation: OF

Existing use of property: Medical offices

<b>SURROUNDING PROPERTY INFORMATION:</b> (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.)			
	Zoning	Land Use	Existing Use
North	MD	OF	Medical offices
South	MD	OF	Parking garage & Hospital
East	PD	OF & REC	Medical offices & Pond
West	MD & AC BH	OF & AC Tourist/ Entertainment	Medical offices

**TO THE APPLICANT:** (Please sign the bottom of this application after you have read the following.)

- The City of Gainesville will notify owners of property within 400 feet of the subject property of this application.
- No application for a Special Use Permit shall be entertained within 2 years after the denial or withdrawal of a request for the same use for the same property.
- The City Plan Board's decision concerning a Special Use Permit may be appealed by the applicant to a hearing officer within 15 days of the date notification of the decision is sent by certified mail to the applicant.

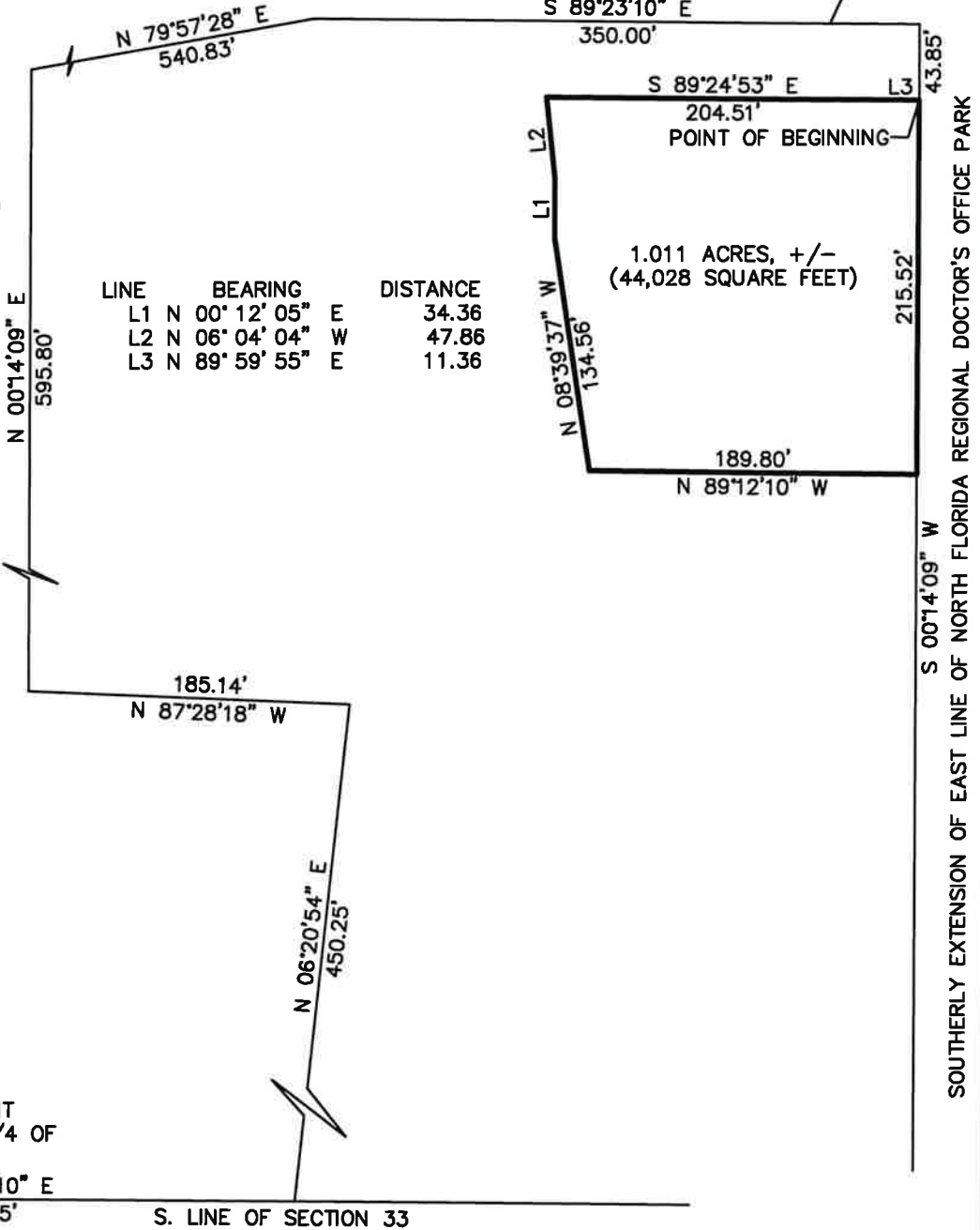
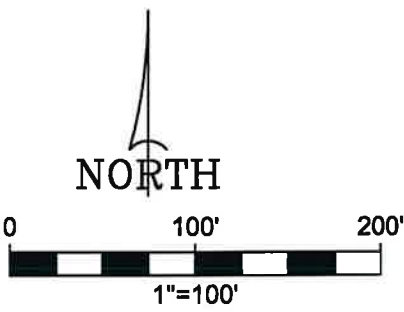
Signature:  Date: 8/27/18

Name of Owner (please print)	
Name: Radiation Therapy of Gainesville	
Address: PO Box 80610	
Indianapolis, IN 46280	
Phone: contact agent	Fax:
Owner's Signature: see owner's affidavit	
(If additional owners, please list on separate sheet)	

Name of Owner (please print)	
Name: North Florida Regional Medical Center	
Address: PO Box 80610	
Indianapolis, IN 46280	
Phone:	Fax:
Owner's Signature: see owner's affidavit	

Reference: Chapter 30, Land Development Code  
City Code of Ordinances, Article VII, Division 5

S. LINE OF NORTH FLORIDA REGIONAL DOCTOR'S OFFICE PARK PLAT BOOK H, PAGE 81



LINE	BEARING	DISTANCE
L1	N 00° 12' 05" E	34.36
L2	N 06° 04' 04" W	47.86
L3	N 89° 59' 55" E	11.36

POINT OF COMMENCEMENT  
S.W. CORNER OF S.E. 1/4 OF  
SECTION 33  
S 89°23'10" E  
362.15'

S. LINE OF SECTION 33

SOUTHERLY EXTENSION OF EAST LINE OF NORTH FLORIDA REGIONAL DOCTOR'S OFFICE PARK

**THIS IS NOT A BOUNDARY SURVEY**

DRN.	CHKD.	SURVEY DATE	DWG COMP	PROJ. NO.	FIELD BK.	PAGE NO.
B.G.	B.G.	8/27/2018		2018-28		

**LEGAL DESCRIPTION SKETCH OF**

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 33  
TOWNSHIP 9 SOUTH, RANGE 19 EAST  
ALACHUA COUNTY, FLORIDA

**FOR:** NORTH FLORIDA REGIONAL MEDICAL CENTER

THIS SKETCH OF LEGAL DESCRIPTION MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2018), FLORIDA STATUTES.

BY: ROBERT W. GRAVER P.S.M. 4239

Corporate Authorization  
No. LB 2389



engineers • surveyors • planners  
LB 2389  
2404 N.W. 43rd ST, GAINESVILLE, FLORIDA 32606-6602  
TEL. (352) 373-3541 FAX. (352) 373-7249  
www.edafl.com mail@edafl.com

J:\BOB\NFRH\REZONE.DWG

**APPLICATION FOR ENVIRONMENTAL REVIEW**

<b>OFFICE USE ONLY</b>	
Petition No. _____	Fee: \$ _____
1 <sup>st</sup> Step Mtg Date: _____	EZ Fee: \$ _____
Tax Map No. _____	Receipt No. _____
<b>Account No. 001-800-8018-4063</b>	


**CHECK ONE:**

Basic       Level 1       Level 2      Submittal:  1st  2nd  3rd

**Basic Environmental Review** – no environmental feature of concern\* on-site or adjacent – FEE: \$0  
**Level 1 Environmental Review** – environmental feature of concern\* on-site or adjacent – FEE: \$1,000  
**Level 2 Environmental Review** – impacts to environmental feature of concern\* on-site or adjacent, mitigation required – FEE: \$2,000  
 \*See checklist below for environmental features of concern.  
 The environmental review fee includes a maximum of three reviews within 2 years per project.

Owner(s) of Record (please print)	Applicant(s)/Agent(s) (please print)
Name: Owner 1: Radiation Therapy of Gainesville	Name: eda
Address: PO Box 100303 Gainesville, FL 32610	Address: 2404 NW 43rd St
Owner 2: North Florida Regional Medical Center	Gainesville, FL 32606
PO Box 80610, Indianapolis, IN 46280	
E-mail:	E-mail: permitting@edafl.com
Phone:                      Fax:	Phone: 352-373-3541 Fax:
<i>(If additional owners, please include on back)</i>	
PROJECT INFORMATION	
Project Name	NFRMC North Parking Garage
Environmental features of concern on-site or adjacent (check all that apply):	<input checked="" type="checkbox"/> surface waters on-site or adjacent
	<input type="checkbox"/> wetlands on-site or adjacent
	<input type="checkbox"/> high aquifer recharge areas on-site
	<input type="checkbox"/> significant ecological communities on-site
	<input type="checkbox"/> listed species known from or probably occur on-site
	<input type="checkbox"/> karst features (caves, springs, sinkholes) known on-site
	<input type="checkbox"/> other significant geological features on-site
	<input type="checkbox"/> significant uplands on-site

I certify that the above statements are correct and true to the best of my knowledge.

  
 Applicant's signature

8/17/10  
 Date

**Certified Cashier's Receipt:**



Return to:  
City Of Gainesville  
Nature Operations Division  
P.O. Box 490, Station 24  
Gainesville, FL 32627



Permit Number: 2018-10-5-001 LK  
Phone: (352) 393-8171  
Fax: (352) 334-3299  
Email: urbanforestry@cityofgainesville.org  
Location: Thomas Center B-306 NE 6<sup>th</sup> Ave

### TREE REMOVAL PERMIT AND REPLANTING AGREEMENT

The Gainesville Land Development Code requires mitigation for each regulated tree removed. The amount of mitigation ranges from the standard mitigation (two – 15 gallon trees replanted for each regulated tree removed) to Tree Appraised Value. The size (diameter), species, and condition of the tree as well as the zoning and where on the property the tree is located, will determine the mitigation. Mitigation trees must be nursery-grown, at least 8' tall (15-gal) and 1.5" in caliper, and Florida Nursery Grade #1. Please see the "Sec. 30-254 Permits for tree removal: mitigation" handout for more details. The "Gainesville Tree List" handout provides the species that are approved for mitigation.

Applicant: North Florida Regional Medical Center Phone 333-4160 Fax \_\_\_\_\_

Tree Location (Street Address): PRINT This site is located on the main NFRMC campus between the existing NFRMC garage to the south and NW 10th Place to the north.

Property Owner: North Florida Regional Medical Center Owners Rep Phone 352-333-9292  
First Last

Owners Rep Mailing Address 8200 NW 15th Place, Gainesville, FL Zip 32606

Owners Rep Email Address travis.quinn@cpqi.com

All fields must be filled out completely.

Number to Remove	Species	Diameter	Reason for Wanting to Remove Tree
Please see the attached list of regulated trees proposed for removal and their associated tree mitigation as per City of Gainesville Land Development Regulations. Please call to discuss if you have any questions - Elisabeth Manley, Project Landscape Architect, (352) 363-7412.			
Tree(s) must be marked (paint, tape, flag, etc.).			

Check box if a representative would like to be present at the time of inspection.

Property Owner's Signature Required\*:

John Berholt   
Printed Name Signature

\*Confirms agreement to satisfy mitigation requirement in accordance with Section 30-254, Gainesville Code of Ordinances; submit a Maintenance of Traffic (MOT) Permit with the City's Public Works Department, per Section 23-38, if the tree removal requires a road and/ or lane closure, sidewalk closure or any part of the right-of-way; and request utilities to be marked by calling 811, when stump removal requires work below ground.

Approved  Disapproved \_\_\_\_\_ Not Regulated \_\_\_\_\_ Permit valid through: 4/5/2019

Mitigation required: \$97,202.34

City of Gainesville Inspector: Liliana Kolluri Date: 10/5/2018

Inspector's Comments Associated with DB-18-00111



PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION  
PO Box 400, Station 12  
Gainesville, FL 32627-0490  
P: (352) 334-5023  
F: (352) 334-3259

**PUBLIC NOTICE SIGNAGE AFFIDAVIT**

Petition Name PB -18-111 SUP  
Applicant (Owner or Agent) eda engineers, surveyors, planners, inc  
Tax parcel(s) 06340-007-002 + 06340-007-001

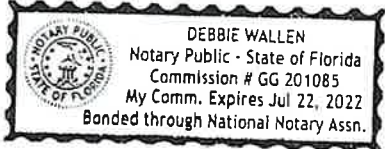
Being duly sworn, I depose and say the following:

1. That I am the owner or authorized agent representing the application of the owner and the record titleholder(s) of the property described by the tax parcel(s) listed above;
2. That this property constitutes the property for which the above noted petition is being made to the City of Gainesville;
3. That this affidavit has been executed to serve as posting of the "Notice of Proposed Land Use Action" sign(s) which describes the nature of the development request, the name of the project, the anticipated hearing date, and the telephone number(s) where additional information can be obtained. In addition, the applicant has securely posted the sign(s) on the property along each street frontage, at intervals of not more than four hundred (400) feet, and set back no more than ten (10) feet from the street and visible from the street. If the property does not abut a public right-of-way, signs have been placed at the nearest public right-of-way with an indication of the location of the subject property.
4. That the applicant has posted the sign(s) at least fifteen (15) days prior to the scheduled public hearing date; or for Historic Preservation Certificate of Appropriateness applications, at least ten (10) days prior to the scheduled public hearing date.
5. That the applicant shall maintain the signs(s) as provided above until the conclusion of the development review and approval process and that the signs shall be removed within ten (10) days after the final action has been taken on the development application.
6. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

7. \_\_\_\_\_  
8. Melissa Watson  
Applicant (signature)

Melissa Watson  
Applicant (print name)

STATE OF FLORIDA,  
COUNTY OF ALACHUA  
Before me the undersigned, an officer duly commissioned by the laws of the State of Florida, on this 9<sup>th</sup> day of October, 2018, personally appeared who having been first duly sworn deposes and says that he/she fully understands the contents of the affidavit that he/she signed.  
Debbie Wallen Notary  
Public  
My Commission expires: 7-22-22

RECORDING SPACE  


Form revised on March 11, 2014. Form location: <http://www.cityofgainesville.org/PlanningDepartment.aspx>

FOR OFFICE USE ONLY  
Petition Number \_\_\_\_\_ Planner \_\_\_\_\_



~~August 17, 2018~~

September 26, 2018

City of Gainesville  
302 NE 6<sup>th</sup> Avenue  
Gainesville, FL 32601

**Re: DB-18-00111 NFRMC Parking Garage  
Development Plan Application**

The proposed project is located at 1021 NW 64th Terrace and 6500 W. Newberry Road, on Tax Parcel numbers 06340-007-002 and a portion of 06340-007-001. The project site is located on approximately 2.0 +/- acres, and includes the construction of a 7-level parking garage with associated paving, grading, and utility improvements. This project is related to NFRMC North Parking Garage plans for utility improvements and relocation on this property, that were approved by GRU on 8/31/2018.

Included with this letter is all supporting information required for a development plan and civil plans showing the proposed facilities.

If you have any questions, please feel free to contact our office at any time.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Sergio Reyes'.

Sergio Reyes, P.E.  
President

CITY OF GAINESVILLE  
**NOTICE**  
OF PROPOSED  
**LAND USE ACTION**

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:  
SPECIAL USE PERMIT WITH DEVELOPMENT PLAN  
REVIEW FOR THE CONSTRUCTION OF A PARKING GARAGE  
WITH MORE THAN 5 STORES  
PETITION PB-18-111 SUP

WHEN: OCTOBER 25, 2018 at 6:30pm WHERE: CITY HALL AUDITORIUM  
200 N UNIVERSITY AVE

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023  
Additional details will be posted on our website prior to the meeting.  
Please visit us at [www.cityofgainesville.org/planningdepartment](http://www.cityofgainesville.org/planningdepartment)



engineers • surveyors • planners, inc.

## Memorandum

**AD REQUESTED:** 02/21/18  
**To:** Kimberly Kanemoto/Ken Blake  
**FROM:** Rosa Trautz  
**SUBJECT:** Neighborhood Workshop – Parking Garage  
**AD RUN DATE:** ~~02/23/18 (Friday)~~ Monday, Feb. 26  
**AD SIZE:** minimum 2 columns wide x 2 inches long, but as close to this as possible

### PUBLIC NOTICE

A neighborhood workshop will be held to discuss a proposed rezoning associated with the Medical Services (MD) and Planned Development (PD) zoning districts and a Development Plan for a parking garage located on the North Florida Regional Medical Center campus at 6500 W. Newberry Road (parcel numbers 06340-007-002, 06340-007-001, 06340-011-000, 06340-007-006, 06340-010-UNIT, 06340-012-UNIT, 06340-010-021, 06340-010-022, and a portion of 06340-010-024). This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

The meeting will be held on March 13, 2018 at 6:00 p.m. at the South Tower, Suite 1 at North Florida Regional Medical Center (NFRMC), 6500 W. Newberry Road.



Contact: Sergio Reyes, PE  
eda engineers – surveyors – planners, inc.  
(352) 373-3541

TODAY IN HISTORY

In 1818, astronomer Galileo Galilei met with a Roman inquisition official, Cardinal Robert Bellarmine, who ordered him to abandon the "heretical" concept of heliocentrism, which held that the earth revolved around the sun, instead of the other way around. In 1818, Napoleon Bonaparte escaped from exile on the island of Elba and headed back to France in a bid to regain power. In 1904, the United States and Panama proclaimed a treaty under which the U.S. agreed to undertake efforts to build a ship canal across the Panama Isthmus.

TODAY'S BIRTHDAYS

Game show host Tom Kennedy is 91. Country-rock musician Paul Cotton (Poco) is 75. Actor-director Bill Duke is 75. Singer Michelle Tyler is 72. Actress Maria Kefauver (TV: "Lost in Space") is 73. Rock musician Jonathan Cain (Journey) is 68. Singer Michael Bolton is 65. Actor Greg Kinnear is 60. Sen. Tim Wain, D-Va., is 60. Bartender/producer James Van Der Beek is 57. Actor-martial artist Mark Dacascos is 54. Actress Jennifer Grant is 52. Rock musician Tim Commerford (Audioslave) is 50. Actor Max Jearam (TV: "Superior Donuts") is 46. Rhythm-and-blues singer Nice White (Society of Soul) is 46. Olympic gold medal swimmer Jenny Thompson is 45. Rhythm-and-blues singer Rylee Harnan (Gapped Edge) is 43. Actor Greg Kinnear is 41. Rock musician Chris Culos (D.A.R.) is 39. Rhythm-and-blues singer Cedrese Bailey Rae is 39. Country singer Rodney Hayden is 38. Pop singer Kate Rusby (Fun.) is 36.

LOTTERY

Sunday, Feb. 25
Pick 2
Early drawing: 2-6
Night drawing: 0-4
Pick 3
Early drawing: 3-5-9
Night drawing: 0-2-1
Pick 4
Early drawing: 7-7-7-3
Night drawing: 7-1-4-8
Pick 5
Early drawing: 3-3-8-2
Night drawing: 1-1-1-3-6
Fantasy 5
4-13-17-22-30

PREVIOUS RESULTS

Lotto - Saturday
4-14-22-30-44-48
Match...Payoff...Winners
6-of-6...\$3.5M...0
5-of-6...\$4,244,000...9
4-of-6...\$67,111,446...3
3-of-6...\$5,727,991...1
Fantasy 5 - Saturday
3-8-19-21-28
Match...Payoff...Winners
5-of-5...\$0...0
4-of-5...\$555,406...1
3-of-5...\$14,12,378...1

Congress has ideas on gun violence, but no consensus

By Lisa Mascaro and Matthew Daly
The Associated Press

WASHINGTON — After a 10-day break, members of Congress are returning to work under hefty pressure to respond to the outcry over gun violence. But no plan appears ready to take off despite a long list of proposals, including many from President Donald Trump. Republican leaders have kept quiet for days as Trump tossed out ideas, including raising the minimum age to purchase assault-style weapons and arming teachers, though on Saturday the president tweeted that the latter was "Up to states."

shooting survivors, Trump has set high expectations for action. "I think we're going to have a great bill put forward very soon having to do with background checks, having to do with getting rid of certain things and keeping other things, and perhaps we'll do something on age," Trump said in a Fox News Channel interview Saturday night. He added: "We are drawing up strong legislation right now having to do with background checks, mental fitness. I think you will have tremendous support. It's time. It's time."

A Galaxy of features

New Samsung smartphones: Nicer camera, static design, higher price

By Anish Iyendram
The Associated Press

NEW YORK — Samsung unveiled new smartphones with largely unchanged designs and incremental improvements such as a better camera — accompanied by a second annual price increase for many customers. The static design of the new Galaxy S9 underscores both the slowing pace of smartphone innovation and the extent to which other manufacturers, particularly Apple, have caught up with Samsung features that once stood out. That includes everything from edge-to-edge screens to facial recognition to a water-resistant body.

will be offset with promotions. And T-Mobile will cut prices from last year's models. You can also buy unlocked versions more cheaply directly from Samsung — \$720 for the S9 and \$840 for the S9 Plus — though most people in the U.S. buy through their carriers. The new phones were unveiled Sunday in San Francisco, Calif., and will be available March 16. Advance orders begin this Friday. Here are some additional things to know:
• UNCHANGED: The S9 features the same screen, same virtual home button and same battery capacity as the S8. Samsung did move the fingerprint sensor on the back to reduce smears on the camera lens.
• A SECOND LENS: The camera on the Plus model now has a second lens with twice the magnification, a feature already available in Samsung's Galaxy Note 8 and some iPhones. This means sharper close-ups.
• A FUN WITH SELFIES: Snap a selfie, and Samsung's software will turn that into an emoji version of you for sharing. It's usually a static image, though you can produce an animated version — much like the iPhone X's Animoji feature.



In this June 13, 2003, photo, the Rev. Billy Graham preaches in Oklahoma City, Okla. (ASSOCIATED PRESS FILE PHOTO)

Billy Graham had pride and regret on civil rights issues

By Jay Bybee
The Associated Press

BIRMINGHAM, Ala. — The Rev. Billy Graham was single-minded when he preached about God, prefacing sermon points with the phrase "The Bible says..." Yet he had a complicated role in race relations, particularly in confronting segregation in his native South.

In Alabama for one of his evangelistic crusades in 1965, just months after passage of the Civil Rights Act, Graham talked about the Confederacy as "flag flying proudly" atop the state Capitol and the fact that both of his grandfathers served as rebel soldiers, according to a recording available on his ministry's website. He didn't address the evils of segregation directly, talking instead about God's unique power to change people and communities.

But Graham also drew scorn from segregationists for speaking to racially mixed crowds and allowing blacks and whites to mingle during the trademark altar call that ended each service. The Rev. Martin Luther King Jr. was an ally, and King publicly credited Graham with helping the cause of civil rights.

As a white moderate who spoke with a Southern drawl, Graham helped ease the region's transition away from legalized segregation, said Steven P. Miller, a scholar who has written about Graham. Graham had a "huge base" of white support in the Bible Belt, Miller said, and those people listened to him.

"He could reach that audience as a native Southerner, but also because he spoke a familiar evangelical language — and because he was obviously not an activist," said Miller, author of the book "Billy Graham and the Rise of the Republican South." "Ultimately, what Graham put forth was what we might now call a colorblind gospel," Miller said via email. "In

this sense, he provided a familiarly Christian path for some white Southerners to back away from Jim Crow." A current civil rights leader from Graham's native North Carolina, the Rev. William J. Barber II, credited Graham with meeting with King and agreeing to challenge segregation, an act Graham pursued through preaching reconciliation and peace rather than marching.

"Billy Graham inherited a faith in the American South that had accommodated itself to white supremacy, but he demonstrated a willingness to change and turn toward the truth," Barber said in a Facebook post after Graham's death. "He helped to tear down walls of segregation, not build them up."

Still, Graham had regrets. In an interview with The Associated Press in 2005, when he held his final crusade, Graham said he wished he had fought for civil rights more forcefully. In particular, Graham lamented not joining King and other pastors of voting rights marches in Selma, Alabama, in 1965.

"I think I made a mistake when I didn't go to Selma," Graham said. "I would like to have done more." Graham also apologized for making a Semitic remark that was captured on the White House taping system installed by President Richard Nixon, who relied on Graham for both spiritual needs and political cover. The relationship between the two men helped turn the South into the solidly Republican territory it is today, Miller argues in his book.

Born in 1918 on the family farm near Charlotte, North Carolina, Graham grew up in a South strictly divided by race. In an act that sounds mundane now but was perilous at the time, he demanded the removal of ropes separating black and white audience members at a crusade in the South in the early 1950s. Graham was an internationally known preacher traveling the world by 1955, when King first gained notice by leading a bus boycott against segregation in Montgomery, Alabama. Graham embraced King's work, and the two appeared on stage together during a Graham crusade at New York's Madison Square Garden in 1957. Graham paid the full bond following King's arrest during demonstrations in Albany, Georgia, in 1962.

PUBLIC NOTICE
A neighborhood workshop will be held to discuss a proposed rezoning...
Meeting will be held on March 15, 2018 at 6:00 p.m. at the South Tower, Suite 1 at North Florida Regional Medical Center (NFRMC), 5550 W. Newberry Road.

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Subscription information and contact details for The Gainesville Sun, including rates for print and digital versions and contact information for advertising and circulation departments.

Neighborhood Workshop Notice

06340-011-207 NFRMC Parking Garage  
720 REAL ESTATE HOLDINGS LLC  
6400 WEST NEWBERRY RD #207  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-007-003 NFRMC Parking Garage  
AFFILIATED GENERAL SURGEONS  
1143 NW 64TH TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-012-105 \*\*\* NFRMC Parking Garage  
AGRIDALE LLC  
222 SW 131ST ST  
NEWBERRY, FL 32669

Neighborhood Workshop Notice

06340-012-409 \*\*\* NFRMC Parking Garage  
BAILEY, GREG  
6440 WEST NEWBERRY RD STE 409  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-010-003 NFRMC Parking Garage  
BELLVIEW DEVELOPMENT LLC  
4010 NW 155TH TER  
NEWBERRY, FL 32669-2016

Neighborhood Workshop Notice

06655-002-002 NFRMC Parking Garage  
BRAVOFLORIDA LLC  
4220 EDISON LAKES PARKWAY  
MISHAWAJA, IN 46545

Neighborhood Workshop Notice

06340-022-002 NFRMC Parking Garage  
BUILDING GROUP RLLP (THE)  
1151 NW 64TH TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06655-002-001 NFRMC Parking Garage  
COALITION PARTNERSHIP  
% JOYCE DEVELOPMENT GROUP  
4337 PABLO OAKS CT STE 102  
JACKSONVILLE, FL 32224

Neighborhood Workshop Notice

06340-010-210 \*\*\* NFRMC Parking Garage  
DDA PHYSICIANS INC  
6400 WEST NEWBERRY RD STE 308  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-010-301 \*\*\* NFRMC Parking Garage  
EVJO LLC  
6400 W NEWBERRY RD STE 301  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-013-000 NFRMC Parking Garage  
GAINESVILLE COMMUNITY FOUNDATION  
1143 NW 64TH TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-012-401 \*\*\* NFRMC Parking Garage  
GAINESVILLE PEDIATRIC REAL ESTATE  
PARTNERS LLC  
6440 W NEWBERRY RD STE 402  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-010-001 NFRMC Parking Garage  
GAINESVILLE SURGICAL SPECIALTIES  
121 NW 116TH WAY  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06340-010-109 \*\*\* NFRMC Parking Garage  
GAP KIDS LLC  
3747 SW 92ND DR  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06340-007-005 NFRMC Parking Garage  
GHOA REAL ESTATE INC  
6420 W NEWBERRY RD STE 100  
GAINESVILLE, FL 32605-6622

Neighborhood Workshop Notice

06340-012-503 \*\*\* NFRMC Parking Garage  
GREGORY J BAILEY WOMEN'S CENTER  
6440 W NEWBERRY RD # 409  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-012-208 \*\*\* NFRMC Parking Garage  
GROVER & MAICO WH  
% DUCHARME MCMILLEN & ASSOC  
PO BOX 80610  
INDIANAPOLIS, IN 46280

Neighborhood Workshop Notice

06340-010-101 \*\*\* NFRMC Parking Garage  
HCA HEALTH SERVICE OF FLA INC  
% DUCHARME MCMILLEN & ASSOC  
PO BOX 80610  
INDIANAPOLIS, IN 46280

Neighborhood Workshop Notice

06340-014-000 NFRMC Parking Garage  
KRAMER, DEAN C & BARBARA G  
1155 NW 64TH TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-012-201 \*\*\* NFRMC Parking Garage  
LUKOWSKI, MICHAEL J & JUDITH A  
2200 NW 24TH ST  
GAINESVILLE, FL 32605-3854

Neighborhood Workshop Notice

06655-002-026 NFRMC Parking Garage  
MID CITIES INVESTMENT GROUP LLC  
% JOSEPH M WHELAN  
16582 FLEUR DE LIS WAY  
DELRAY BEACH, FL 33446-3617

Neighborhood Workshop Notice

06340-010-208 \*\*\* NFRMC Parking Garage  
NORTH FLORIDA GI CENTER LTD  
% DUCHARME MCMILLEN & ASSOC  
PO BOX 80610  
INDIANAPOLIS, IN 46280

Neighborhood Workshop Notice

06340-012-502 \*\*\* NFRMC Parking Garage  
NORTH FLORIDA REGIONAL MEDICAL  
CENTER INC, DELL SALTER PA  
3940 NW 16TH BLVD BLDG B  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-012-408 \*\*\* NFRMC Parking Garage  
TYLER, LINDA S  
PO BOX 358077  
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

06340-007-000 NFRMC Parking Garage  
NORTH FLORIDA REGIONAL MEDICAL  
CENTER, DUCHARME MCMILLEN & ASSOC  
PO BOX 80610  
INDIANAPOLIS, IN 46280-0610

Neighborhood Workshop Notice

06655-005-021 NFRMC Parking Garage  
OAKS MALL GAINESVILLE LTD, % BJ'S  
RESTAURANT INC  
7755 CENTER AVEN STE 300  
HUNTINGTON BEACH, CA 92647

Neighborhood Workshop Notice

06655-005-018 NFRMC Parking Garage  
OAKS MALL GAINESVILLE LTD, %  
GENERAL GROWTH PROPERTIES  
PO BOX 617905  
CHICAGO, IL 60661-7905

Neighborhood Workshop Notice

06655-005-011 NFRMC Parking Garage  
OAKS MALL GAINESVILLE LTD, %  
THOMSON REUTERS  
PO BOX 2609  
CARLSBAD, CA 92018

Neighborhood Workshop Notice

06655-005-015 NFRMC Parking Garage  
OAKS MALL GAINESVILLE LTD, BOSTON  
MARKET CORPORATION, PROPERTY  
ADMINISTRATION #559  
14103 DENVER WEST PARKWAY  
GOLDEN, CO 80401

Neighborhood Workshop Notice

06340-007-004 NFRMC Parking Garage  
PHYSICIANS PARK OWNERS ASSN  
% PATRICK BIZUB  
1143 NW 64TH TER  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

06340-007-002 \*\*\* NFRMC Parking Garage  
RADIATION THERAPY OF GVILLE  
% DUCHARME MCMILLEN & ASSOC  
PO BOX 80610  
INDIANAPOLIS, IN 46280

Neighborhood Workshop Notice

06340-010-002 NFRMC Parking Garage  
ROBERTS COMMERCIAL PROPERTIES  
PO BOX 238  
LAKE BUTLER, FL 32054

Neighborhood Workshop Notice

06655-005-002 NFRMC Parking Garage  
RUSHMORE OAKS MALL LLC  
212 W KINZIE ST 6TH FLOOR  
CHICAGO, IL 60654

Neighborhood Workshop Notice

06340-012-403 \*\*\* NFRMC Parking Garage  
SCOTT BUSINESS VENTURES LLC  
6440 WEST NEWBERRY RD STE 403  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

06340-012-204 \*\*\* NFRMC Parking Garage  
SWC BUILDING PARTNERSHIP LLC  
6400 W NEWBERRY RD # 207  
GAINESVILLE, FL 32605



Neighborhood Workshop Notice  
5th Avenue  
ROBERTA PARKS  
616 NW 8 ST  
GAINESVILLE, FL 32602

Neighborhood Workshop Notice  
CITY OF GAINESVILLE  
ATTN: MIKE HOGE  
PO BOX 490 MS 11  
GAINESVILLE, FL 32627

Neighborhood Workshop Notice  
Ashton  
ROXANNE WATKINS  
4415 NW 58 AVE  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice  
Azalea Trails  
MARIE SMALL  
1265 SE 12 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
REGINA HILLMAN  
506 NW 30 STREET  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice  
Capri  
JOHN DOLES  
4539 NW 37 TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Carol Estates South  
BECKY RUNNESTRAND  
1816 NE 16 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Cedar Grove II  
HELEN HARRIS  
1237 NE 21 ST  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice  
Creekwood  
HELEN SCONYERS  
2056 NW 55 BLVD.  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice  
Debra Heights  
SARAH POLL  
PO BOX 14198  
GAINESVILLE, FL 32604

Neighborhood Workshop Notice  
Northwood at Possum Creek  
WES WHEELER  
4728 NW 37 WAY  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Duval  
GILBERT S MEANS, SR  
2153 SE HAWTHORNE RD, #111  
PO BOX 7  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice  
Edgewood Hills  
BONNIE O'BRIAN  
2329 NW 30 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
LEE NELSON  
DIRECTOR OF REAL ESTATE – UF  
PO BOX 113135  
GAINESVILLE, FL 32611-3135

Neighborhood Workshop Notice  
Gateway Park  
HAROLD SAIVE  
1716 NW 10 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Golfview  
CHRIS MONAHAN  
222 SW 27 ST  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice  
Greater Northeast Community  
MIRIAM CINTRON  
915 NE 7 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Grove Street  
MARIA HUFF-EDWARDS  
1102 NW 4 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Hazel Heights  
ALLAN MOYNIHAN  
PO BOX 357412  
GAINESVILLE, FL 32635

Neighborhood Workshop Notice  
Hibiscus Park  
CAROL BISHOP  
2616 NW 2 AVE  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice  
Hidden Lake  
GEORGE KASNIC  
2116 NW 74 PL  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice  
Highland Court Manor  
DAVID SOUTHWORTH  
3142 NE 13 ST  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Ironwood  
NANCY TESTA  
4207 NE 17 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Kensington Park  
MAXINE HINGE  
5040 NW 50 TER  
GAINESVILLE, FL 32606

Neighborhood Workshop Notice  
Kingswood Court  
JOHN ORTON  
5350 NW 8 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Kirkwood  
JOHN BURMAN-HOLTON  
701 SW 23 PL  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Lampighter  
LARRY NICHOLSON (PROP MGR)  
5200 NE 50 DR  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Landmark Woods  
JACK OSGARD  
4332 NW 12 PL  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Las Pampas  
PETER JANOSZ  
3418 NW 37 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Woodland Terrace  
PETER PRUGH  
207 NW 35 ST  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Lincoln Estates  
DORIS EDWARDS  
1040 SE 20 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Mason Manor  
JOANNA LEATHERS  
2550 NW 13 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
North Lincoln Heights  
ANDREW LOVETTE SR.  
430 SE 14 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Northwood  
SUSAN W. WILLIAMS  
PO BOX 357492  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice  
Northeast Neighbors  
SHARON BAUER  
1011 NE 1 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Northwest Estates  
VERN HOWE  
3710 NW 17 LN  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Oakview  
DEBRA BRUNER  
914 NW 14 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Appletree  
JUDITH MORROW  
3616 NW 54 LANE  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice  
Pine Park  
DELORES BUFFINGTON  
721 NW 20 AVE  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Kirkwood  
KATHY ZIMMERMAN  
1127 SW 21 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Pleasant Street  
DOTTY FAIBISY  
505 NW 3 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Porters Community  
GIGI SIMMONS  
712 SW 5 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice  
Rainbows East  
JOE THOMAS  
5014 NW 24 TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Rainbows End  
SYLVIA MAGGIO  
4612 NW 21 DR  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Raintree  
RONALD BERN  
1301 NW 23 TER  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Ridgeview  
ROB GARREN  
1805 NW 34 PL  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Ridgewood  
KERRI CHANCEY  
1310 NW 30 ST  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Royal Gardens  
DOUGLAS BURTON  
2720 NW 27 PL  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Shadow Lawn Estates  
CONNIE SPITZNAGEL  
3521 NW 35 PL  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
South Black Acres  
DEANNA MONAHAN  
14 SW 32 ST  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice  
Southeast Evergreen Trails  
MAUREEN RESCHLY  
1208 SE 22 AVE  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice  
Springhill/Mount Olive  
VIVIAN FILER  
1636 SE 14 AVE  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice  
Springtree  
KATHY MEISS  
2705 NW 47 PL  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Stephen Foster  
ROBERT PEARCE  
714 NW 36 AVE  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice  
Suburban Heights  
BETH GRAETZ  
4321 NW 19 AVE  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice  
Sugarfoot Community/Anglewood  
HEATHER REILLY  
426 SW 40 TERRACE  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Sugarhill  
CYNTHIA COOPER  
1441 SE 2 TER  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Sutters Landing  
PETER REBMAN  
3656 NW 68 LN  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn  
ATTN: RITA SMITH  
8620 NW 13 ST, #210 CLUBHOUSE OFFICE  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

University Park  
JIMMY HARNSBERGER  
402 NW 24 ST  
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

University Village  
BRUCE DELANEY  
1710 NW 23 ST  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights  
JUANITA CASAGRANDE  
1911 NW 22 DRIVE  
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Appletree  
CHRIS GARCIA  
5451 NW 35 DR  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Ashton  
ASHTON HOMEOWNERS ASSOC  
5200 NW 43 ST STE 102  
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Duckpond  
STEVE NADEAU  
2821 NW 23 DR  
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Duckpond  
MELANIE BARR  
216 NE 5 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Front Porch Florida, Duval  
JUANITA MILES HAMILTON  
2419 NE 8 AVE  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters  
RUBY WILLIAMS  
237 SW 6 ST  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters  
INA HINES  
320 SW 5 AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

School Board  
VICK McGRATH  
3700 NE 53 AVE  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

University of Florida  
LINDA DIXON  
PO BOX 115050  
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

University Park  
MEL LUCAS  
620 E UNIVERSITY AVE  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Millennium Bank  
DANNY GILLILAND  
4340 NEWBERRY RD  
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Florida Bank  
LAUDE ARNALDI  
13840 W NEWBERRY RD  
NEWBERRY, FL 32669

Neighborhood Workshop Notice

LARRY SCHNELL  
2048 NW 7 LN  
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

MAC McEACHERN  
1020 SW 11 TER  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc  
MARIA PARSONS  
439 NW 37 AVENUE  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

BOBBIE DUNNELL  
3118 NE 11 TER  
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

JAMES WOODLAND  
225 SE 14 PL  
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Bivens North Association  
PENNY WHEAT  
2530 SW 14 DR  
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

STEWART WELLS  
6744 NW 36 DR  
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE  
% BRAXTON LINTON  
1907 SE HAWTHORNE RD  
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

KAREN BILLINGS  
2123 NW 72 PL  
GAINESVILLE, FL 32653



engineers • surveyors • planners, inc  
 2404 NW 43<sup>rd</sup> Street  
 Gainesville, FL 32606

JACKSONVILLE  
 FL 32201  
 25 FEB 2018  
 17 4 1



Neighborhood Workshop Notice  
 STEWART WELLS  
 6744 NW 36 DR  
 GAINESVILLE, FL 32653



32653-088844

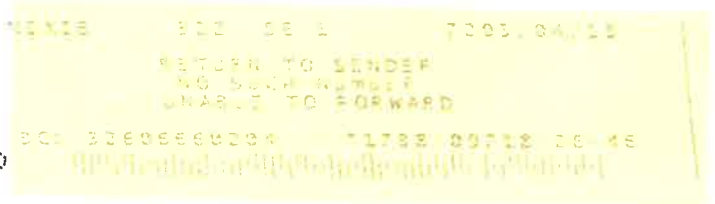


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 2404 NW 43<sup>rd</sup> Street  
 Gainesville, FL 32606

JACKSONVILLE  
 FL 32201  
 25 FEB 2018  
 17 4 1



Neighborhood Workshop Notice  
 06340-012-403 NFRMC Parking Garage  
 Scott Business Ventures LLC  
 6440 West Newberry Rd Ste 403  
 Gainesville, FL 32605



32605-066020

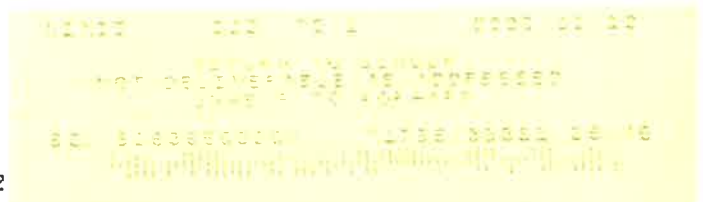


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 2404 NW 43<sup>rd</sup> Street  
 Gainesville, FL 32606

JACKSONVILLE  
 FL 32201  
 25 FEB 2018  
 17 4 1



Neighborhood Workshop Notice  
 Northwood  
 SUSAN W. WILLIAMS  
 PO BOX 357492  
 GAINESVILLE, FL 32653



32653-745292



engineers • surveyors • planners, inc  
 2404 NW 43<sup>rd</sup> Street  
 Gainesville, FL 32606

JACKSONVILLE

FL 32607

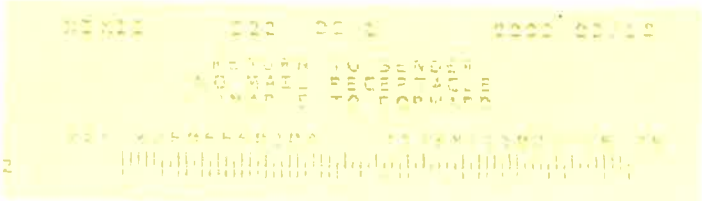
26 FEB 2018

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Neighborhood Workshop Notice

Kensington Park  
 MAXINE HINGE  
 5040 NW 50 TER  
 GAINESVILLE, FL 32606



32606-43153



engineers • surveyors • planners, inc  
 2404 NW 43<sup>rd</sup> Street  
 Gainesville, FL 32606

JACKSONVILLE

FL 32607

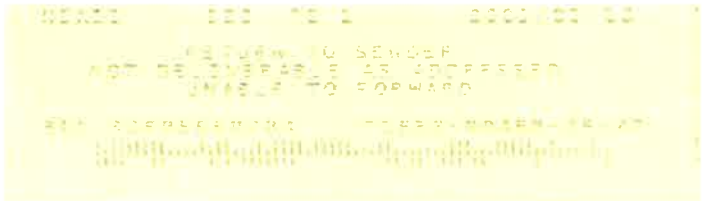
26 FEB 2018

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Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn  
 ATTN: RITA SMITH  
 8620 NW 13 ST, #210 CLUBHOUSE OFFICE  
 GAINESVILLE, FL 32653



32653-793960



engineers • surveyors • planners, inc  
 2404 NW 43<sup>rd</sup> Street  
 Gainesville, FL 32606

JACKSONVILLE

FL 32607

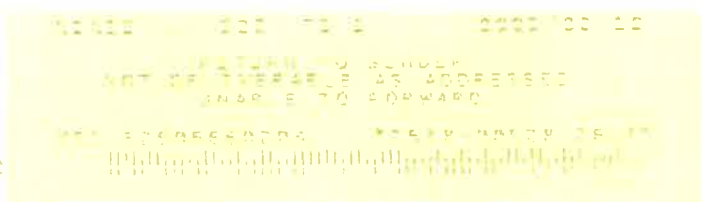
26 FEB 2018

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Neighborhood Workshop Notice

University Park  
 JIMMY HARNSBERGER  
 402 NW 24 ST  
 GAINESVILLE, FL 32604



32607-268502

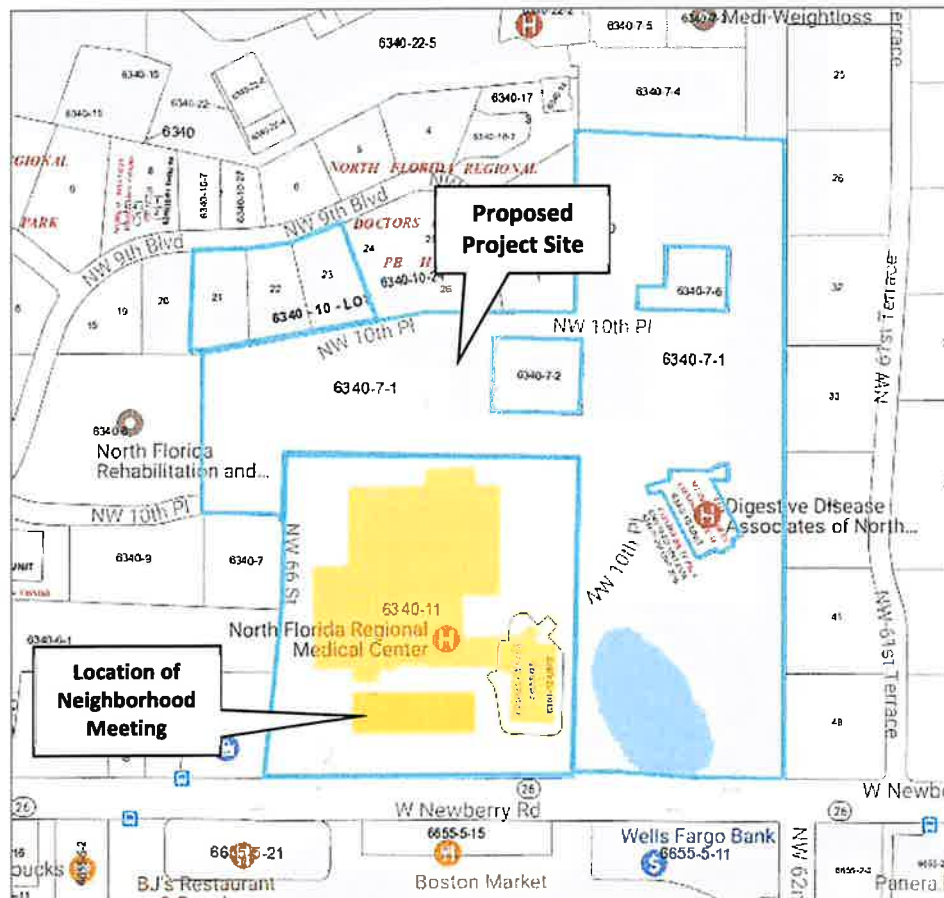
## NEIGHBORHOOD WORKSHOP NOTICE

**Date:** March 13, 2018  
**Time:** 6:00 p.m.  
**Place:** South Tower, Suite 1 at North Florida Regional Medical Center (NFRMC)  
 6500 W. Newberry Road, Gainesville, FL 32605  
**Contact:** eda engineers–surveyors–planners, inc. at (352) 373-3541

A neighborhood workshop will be held to discuss a proposed rezoning associated with the Medical Services (MD) and Planned Development (PD) zoning districts and a Development Plan for a parking garage located on the North Florida Regional Medical Center campus at 6500 W. Newberry Road (parcel numbers 06340-007-002, 06340-007-001, 06340-011-000, 06340-007-006, 06340-010-UNIT, 06340-012-UNIT, 06340-010-021, 06340-010-022, and a portion of 06340-010-024). This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

**Directions:** Enter main entrance of hospital, take door to right, follow corridor to South Tower, Suite 1 is on first floor.

**Hospital Phone:** 352-333-4000 ext. 0





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## Neighborhood Meeting Minutes

**Project:** Potential Building Expansion and Parking Garage

**Meeting Date & Time:** January 09, 2017 @ 6:00pm

**Location:** 2320 NW 66th Court  
Gainesville, FL 32653

**Community Participants:** 0

**Attendees:** As listed on attached Sign-in-Sheet  
Stephanie Sutton, eda

### **Project Representatives:**

**Engineer/Planner:** Sergio Reyes, PE and Clay Sweger, AICP

### **Meeting Minutes:**

There were no attendees from the community at this neighborhood meeting.



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**Neighborhood Meeting - Sign-in Sheet**

**Project:** Proposed Rezoning and Development Plan for a new parking garage.

**Date & Time:** March 13, 2018 @ 6:00pm

**Location:** South Tower, Suite 1 at North Florida Regional Medical Center (NFRMC)  
6500 W. Newberry Road, Gainesville, FL 32605

NAME	ADDRESS	PHONE	EMAIL
<b>NO MEMBERS OF THE PUBLIC ATTENDED THIS MEETING.</b>			





**Invasive Exotic Plant Management Plan  
For  
NFRMC New Parking Garage  
6400 Block West Newberry Road  
Gainesville, Florida**

August 19, 2018

**Submitted to:**

Sergio Reyes, P.E. President  
eda engineers-surveyors-planners, inc.  
2404 NW 43rd Street, Gainesville, Florida 32606  
352.373.3541, sreyes@edafl.com

**Submitted by:**

Erick Smith & Michael Meisenburg  
Kestrel Ecological Services  
PO Box 12417  
Gainesville, FL 32604  
Erick Smith [erick@kestreleco.com](mailto:erick@kestreleco.com)  
(352) 380-0648  
Michael Meisenburg [michael@kestreleco.com](mailto:michael@kestreleco.com)  
(352) 339-0701



**Introduction**

Charles Perry Partners, Inc. is planning the construction of a parking garage building with associated paving, drainage and utility improvements at North Florida Regional Medical Center (NFRMC) in Gainesville, Florida, specifically in the area north of the duck pond and near the existing Women's Center garage. The area covered in this report is 1.6 acres.

A detailed pedestrian survey was completed on August 19, 2018 of the invasive non-native plants at the NFRMC Garage project site, eleven species were observed at the project site (Table I). This report outlines a management plan for monitoring and control of these plants in accordance with the City of Gainesville Land Development Regulations Article VIII, Division 2, Section 30-8.3, F. #8. The invasive non-native plants described herein are from any of three lists: F.A.C. 62C-52.011, Florida Prohibited Aquatic Plants List; F.A.C. Rule 5B-57, Florida Noxious Weed List; and the invasive, non-native plant species listed in City of Gainesville Land Development Regulations Article VIII, Division 2, Section 30-8.3, F. #7 Table.

The goal of this management plan is to provide the owner with clear direction on the treatment of existing invasive nonnative plant material on the entire project site as well as monitoring guidelines for three years after a certificate of occupancy is issued. Native vegetation shall be retained and/or installed in order to protect wetland and surface water environmental features. The management plan includes general invasive non-native plant control information, evaluation and monitoring process timeline and success criteria, pesticide contractor requirements for the plant removal project, description of species and species specific recommended control methods. The initial treatment phase of this management plan shall be completed prior to issuance of the certificate of occupancy. The exotic-invasive species treatment program will be considered successful if re-inspection of the premises for two years has shown that less than 10% cover of the original infestation is present.

Table 1.

Common Name	Scientific Name	Site Coverage
Mimosa	<i>Albizia julibrissin</i>	10%
Coral Ardisia	<i>Ardisia crenata</i>	20%
Camphor	<i>Cinnamomum camphora</i>	5%
Glossy Privet	<i>Ligustrum lucidum</i>	5%
Loquat	<i>Eriobotrya japonica</i>	5%
Chinese Privet	<i>Ligustrum sinense</i>	5%
Heavenly Bamboo	<i>Nandina domestica</i>	5%
Mexican Petunia	<i>Ruellia simplex</i>	10%
Skunk Vine	<i>Paederia foetida</i>	10%
Asiatic Jasmine	<i>Trachelospermum asiaticum</i>	30%
Taro	<i>Colocasia esculenta</i>	30%



### **Control Methods for Treatment of Invasive Nonnative Plant Species**

There are three main control methods for the removal of these existing invasive nonnative species, manual, mechanical, and herbicide. Manual removal is the use of hand labor to pull seedlings or gather plant propagules. Mechanical control is the use of heavy equipment to remove the above ground portion at minimum and when appropriate, dig out the bulk of the root system. Herbicide control is using properly-applied chemicals to kill the target plant in place.

The advantage with manual labor is that it is very selective and non-target damage is minor. The disadvantage is the high cost for manual labor and possible re-sprouting if enough roots are left in the ground. The advantage of mechanical control can be cost, depending on availability of heavy equipment. The disadvantage is damage to non-target plants with heavy equipment, introduction of new exotics from other construction sites (improper decontamination) and compaction or disturbance of soils. The advantage of herbicide control is low cost and high success rate. The disadvantage to herbicide control is potential damage to non-target native plants.

The easiest way to control the spread of invasive non-natives is prevention. Preventing them from entering the property is a key part of the strategy. During construction, trucks and heavy equipment, as well as any fill material coming in should be inspected for clumps of plant material or obvious seed. Any new plant material that is discovered coming in to the property should be removed immediately. Moving the existing invasive plants around within the project site from infested areas to non-infested areas should also be avoided through careful cleaning of equipment, especially backhoes and bulldozers, after use in infested areas.

### **Evaluation and Monitoring**

Treatment of invasive nonnative plants is a process generally involving multiple treatments. Typically, depending on the time of year, a follow-up treatment is recommended every 60-90 days. Successful completion of the initial treatment is defined as 90% control of all target species. Or, said another way, less than 10% of the original population of invasive exotics is still present. The plant treatment process should be started at the same time as site development to ensure that success is achieved before the issuance of the certificate of occupancy. If the initial treatment process includes mechanical removal, the plant debris shall be tracked and documented as disposed of in a C&D landfill or burned.

The owner is responsible for yearly re-inspections of the premises by a qualified professional and any subsequent treatments following the completion of construction until there are at least 2 growing seasons exhibiting less than 10% cover of invasive exotics. Re-inspection of the



premises and treatment can terminate upon successful control (less than 10% cover) for two growing seasons.

After the original infestation is dealt with, the owner should transmit to city staff, monitoring reports certified by an environmental scientist, biologist, registered engineer or registered landscape architect every 12 months for at least three years. These monitoring reports should detail locations of persistent populations as well as any new species of listed invasive nonnative plants. The owner should use these monitoring reports as a guide for additional follow-up treatments in the spring, summer and fall of each year.

### **Management Plan Implementation and Timeline for Treatment and Evaluation**

#### **Phase 1 – Initial Treatment during construction**

As directed by the owner, or during site preparation and construction, all plants listed in this report shall be treated. Re-treat as necessary to achieve 90% control by the end of construction.

#### **Year 2**

Site shall be re-inspected by a qualified professional and a report should be submitted to the City of Gainesville Manager or designee. If exotic invasive plant cover exceeds 10%, then re-treat the site until 10% or less coverage is achieved.

#### **Year 3**

If re-inspection of the premises for the previous two years (year 2 & 3) has shown that less than 10% of the original infestation exists, then re-inspection of the premises and treatment can terminate. Otherwise, continue yearly inspections and treatments until two growing seasons occur of less than 10% exotic/invasive plant cover.

### **Pesticide Contractor Requirements**

The property owner or developer shall hire a qualified pesticide contractor to control the invasive non-native plants. The pesticide contractor shall have a State of Florida Commercial Pesticide Applicators License with a Natural Areas Certification and be able to identify the plants listed in this plan as well as any new plants listed in the monitoring reports.

Herbicides shall be used in a safe manner consistent with all labeling. The Material Safety Data Sheets (MSDS) should be read and followed as well as any other labeling on the containers. All of the herbicides that are recommended in this report have low potential to move through the soil into groundwater. Any herbicides used near or in water must be labeled for use in aquatic habitats.



## **Individual species descriptions and control recommendations**

### **Mimosa (*Albizia julibrissin*)**

**Description:** Deciduous tree that has gently arcing branches and distinctive compound leaves with many small leaflets. Clusters of pink and white flowers appear in the summer. Flat pea-pod type fruits in the fall.

**Control recommendations:** Small seedlings less than .25 inches caliper can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Larger saplings up to three-inch caliper should be girdled and sprayed with a solution of 3% Milestone VM in water. A cut-stump treatment is used for larger trees. The tree should be cut off a few inches from the ground and herbicide applied immediately to the cut surface. Use the same product, 3% Milestone VM in water.

### **Coral Ardisia (*Ardisia crenata*)**

**Description:** Understory shrub with dark green elliptical leaves and bright red berries.

**Control recommendations:** Small seedlings less than five inches tall can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Small seedlings and larger shrubs can be sprayed with a foliar application of Garlon 3A (3%) or a basal bark application with Garlon 4 (10%) in a basal oil carrier.

### **Camphor Tree (*Cinnamomum camphora*)**

**Description:** Camphor trees are evergreen, with dark glossy green leaves (3 in. long x 1.5 in. wide). The bark on the trunk and older branches is brownish, but the smaller branches are green. When the leaves are crushed, they have a strong camphor odor.

**Control recommendations:** Small seedlings less than .25 inches caliper can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Larger saplings up to three-inch caliper should be sprayed with a basal bark herbicide product, such as Garlon 4 (18%) in a basal oil carrier. The key to successful control is to completely cover the lower portion of the trunk all the way around from the ground up one to two inches for a small tree and from the ground up to a foot for a three-inch caliper tree. A cut stump treatment is used for larger trees. The tree should be cut off a few inches from the ground and herbicide applied immediately to the cut surface. Use either the same Garlon 4 product or a water-based formulation such as Garlon 3A (50%).



### **Glossy Privet (*Ligustrum lucidum*)**

**Description:** Large shrub to small tree with evergreen glossy leaves. White flower clusters produced in the spring and purple pea-sized fruits in the summer/fall.

**Control recommendations:** Small seedlings less than .25 inches caliper can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Larger saplings up to two-inch caliper should be sprayed with a basal bark herbicide product, such as Garlon 4 (18%) in a basal oil carrier. The key to successful control is to completely cover the lower portion of the stem all the way around from the ground up one to two inches for a small tree and from the ground up to a foot for a three-inch caliper tree. A cut-stump treatment is used for larger trees. The tree should be cut off a few inches from the ground and herbicide applied immediately to the cut surface. Use either the same Garlon 4 product or a water-based formulation such as Garlon 3A (50%).

### **Chinese Privet (*Ligustrum sinense*)**

**Description:** Medium shrub with small oval to elliptical shaped evergreen leaves. White flower clusters produced in the spring and purple pea-sized fruits in the summer/fall.

**Control recommendations:** Small seedlings less than .25 inches caliper can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Any stems larger than a seedling should be sprayed with a basal bark herbicide product, such as Garlon 4 (18%) in a basal oil carrier. The key to successful control is to completely cover the lower portion of the stem all the way around from the ground up three to four inches.

### **Loquat (*Eriobotrya japonica*)**

**Description:** Evergreen tree with edible yellow fruits in the fall.

**Control recommendations:** Small seedlings less than .25 inches caliper can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Trees larger than can be hand pulled should be treated using a hack-n-squirt process, one hack for every 1-2 inches of diameter. The hack should be sprayed immediately with a solution of 25% Method 240 SL. Just use enough to treat the cut in the stem, avoid using too much such that it runs out of the crack.



**Skunk vine (*Paederia foetida*)**

**Description:** A fast growing vine that can cover shrubs or small trees. Spreads by runners just under the leaf litter or by seeds. Soft pubescent leaves that have a foul odor when crushed. Produces clusters of tan seeds in the fall.

**Control recommendations:** Foliar applications of (0.0125%) Milestone during growing season. Plants that have climbed high in trees may be pulled down (best) or cut at head height, coiled up on ground, and then sprayed (kill rate is higher with more leaves and live plant left, sprayed to take up as much herbicide as possible). Coverage of at least 90% of plant is necessary. Plants must be treated before September when plants bear clusters of fruit. Larger vines may be cut stem or frill girdled and then immediately sprayed with 15% Milestone in water.

**Mexican bluebell (*Ruellia brittoniana*)**

**Description:** A woody plant to about 36" tall. Primarily found in wetlands, but invades uplands as well. Leaves to about 6" and narrow, and has purple flowers. Spreads with underground roots (rhizomes) and seeds.

**Control recommendations:** Foliar applications of Garlon 3A (2%) or glyphosate product (2%).

**Asiatic Jasmine (*Trachelospermum asiaticum*)**

**Description:** Dark green leafed vine that forms a dense groundcover.

**Control recommendations:** Vines with no woody stem can be foliar treated with Garlon 3A (3%). Woody vines should be sprayed with a basal bark herbicide product, such as Garlon 4 (18%) in a basal oil carrier. The key to successful control is to completely cover the lower portion of the stem all the way around from the ground up four to five inches. Be sure to pull the vine off the non-target plant before treating with a basal oil product.

**Taro (*Colocasia esculenta*)**

**Description:** Perennial with wide leaves in the shape of an arrow tip. Dies back to the ground in the winter.

**Control recommendations:** For small populations, manual removal is accomplished by cutting and leaving the leaves and then digging up tuber then bagging and removing from site. For larger clumps use a foliar application of Clearcast or Glyphosate product with a penetrant or surfactant during the growing season. Repeated applications will be necessary depending on size of underground stem.



### **Heavenly Bamboo (*Nandina domestica*)**

**Description:** Evergreen upright shrub usually with multiple stalks. Leaves are large bi- to tripinnately compound borne on the ends of branches.

**Control recommendations:** Small seedlings can be hand-pulled, making sure to bring up most of the root. These seedlings should be draped or hooked over other vegetation to prevent soil contact and subsequent re-rooting. Larger shrubs should be sprayed with a basal bark herbicide product, such as Garlon 4 (18%) in a basal oil carrier. The key to successful control is to completely cover the lower portion of the stem all the way around from the ground up.

## **Lists of Prohibited Aquatic, Wetland and Invasive Plants**

### **Florida List—From Department of Environmental Protection**

**State list from:** Rules of the State of Florida Department of Environmental Protection. Chapter 62C-52.011 -- Prohibited Aquatic Plants. Authority: 369.25, 369.251 F.S.S. History: New 8-11-86, amended 6-13-93. Formerly 16C-52.011.

#### **Class I.**

(Plants that may not be possessed, collected, transported, cultivated, or imported without a special permit.)

*Alternanthera philoxeroides* **alligator weed**

*Casuarina* (all) **Australian-pine**

*Crassula helmsii* **swamp stonecrop**

*Eichhornia* (all) **water hyacinth**

*Hydrilla verticillata* **hydrilla**

*Ipomoea aquatica* **water spinach**

*Ipomoea fistulosa*

*Lagarosiphon* (all) **African elodea**

*Limnocharis flava* **Sawah-flowering rush**

*Lythrum salicaria* **purple loosestrife**

*Melaleuca quinquenervia* **melaleuca**

*Mimosa pigra* **catclaw mimosa**

*Monochoria hastata*

*Monochoria vaginalis*

*Myriophyllum spicatum* **Eurasian watermilfoil**

*Nechamandra alternifolia*

*Oryza rufipogon* **wild red rice**





*Pontederia rotundifolia* **tropical pickerelweed**

*Salvinia* (all species except *S. rotundifolia (minima)*)

*Schinus terebinthifolius* **Brazilian pepper-tree**

*Sparganium erectum* **exotic bur-reed**

*Stratiotes aloides* **water soldier**

*Trapa* (all) **water-chestnut (not Chinese water chestnut)**

*Vossia cuspidata* **hippo grass**

#### **Class II.**

(Plants that can be cultured in-state for out-of-state sales only, but may not be imported or collected from the wild.)

*Hygrophila polysperma* **hygro**

*Limnophila sessiliflora* **ambulia**

*Pistia stratiotes* **water lettuce**

### **5B-57.007 Florida Noxious Weed List**

(1) Parasitic Weeds.

(a) *Aeginetia* spp. (*Aeginetia*).

(b) *Alectra* spp. (*Alectra*).

(c) *Cuscuta* spp. Only the native Florida species are excluded from this list. These include:

1. *C. americana*.

2. *C. compacta*.

3. *C. exaltata*.

4. *C. gronovii*.

5. *C. indecora*.

6. *C. obtusiflora*.

7. *C. pentagona*.

8. *C. umbellata*.

(d)1. *Orobanche* spp. (broomrapes), with the exception of:

2. *O. uniflora*. (oneflowered broomrape)

(2) Terrestrial Weeds.

(a) *Ageratina adenophora* (crofton weed).

(b) *Alternanthera sessilis* (sessile joyweed).

(c) *Abrus precatorius* (rosary pea).

(d) *Ardisia elliptica* (shoebutton ardisia).

(e) *Asphodelus fistulosus* (onionweed).

(f) *Avena sterilis* (including *Avena budoviciana*) (animated oat, wild oat).



- (g) *Borreria alata* (broadleaf buttonweed).
- (h) *Carthamus oxyacantha* (wild safflower).
- (i) *Casuarina equisetifolia* (Australian pine).
- (j) *Casuarina glauca* (suckering Australian pine).
- (k) *Chrysopogon aciculatus* (pilipiliula).
- (l) *Colubrina asiatica* (latherleaf).
- (m) *Commelina benghalensis* (Benghal dayflower).
- (n) *Crupina vulgaris* (common crupina).
- (o) *Cupaniopsis anacardioides* (carrotwood) Propagation prohibited effective 7/1/99; sale or distribution prohibited 1/1/2001.
- (p) *Digitaria scalarum* (African couchgrass, fingergrass).
- (q) *Digitaria velutina* (velvet fingergrass, annual couchgrass).
- (r) *Dioscorea alata* (white yam).
- (s) *Dioscorea bulbifera* (air potato).
- (t) *Drymaria arenarioides* (lightning weed).
- (u) *Emex australis* (three-corner jack).
- (v) *Emex spinosa* (devil's thorn).
- (w) *Euphorbia prunifolia* (painted euphorbia).
- (x) *Galega officinalis* (goat's rue).
- (y) *Heracleum mantegazzianum* (giant hogweed).
- (z) *Imperata brasiliensis* (Brazilian satintail).
- (aa) *Imperata cylindrica* (cogongrass).
- (bb) *Ipomoea triloba* (little bell, aiea morning glory).
- (cc) *Ischaemum rugosum* (muraingrass).
- (dd) *Leptochloa chinensis* (Asian sprangletop).
- (ee) *Leucaena leucocephala* (lead tree).
- (ff) *Lycium ferocissimum* (African boxthorn).
- (gg) *Lygodium japonicum* (Japanese climbing fern).
- (hh) *Lygodium microphyllum* (small-leaved climbing fern).
- (ii) *Melaleuca quinquenervia* (melaleuca).<sup>1</sup>
- (jj) *Melastoma malabathricum* (Indian rhododendron).
- (kk) *Mikania cordata* (mile-a-minute).
- (ll) *Mikania micrantha* (climbing hempweed).
- (mm) *Mimosa invisa* (giant sensitive plant).
- (nn) *Mimosa pigra* (catclaw mimosa).<sup>1</sup>
- (oo) *Nassella trichotoma* (serrated tussock).
- (pp) *Neyraudia reynaudiana* (Burma reed).
- (qq) *Opuntia aurantiaca* (jointed prickly pear).
- (rr) *Oryza longistaminata* (red rice).
- (ss) *Oryza punctata* (red rice).
- (tt) *Oryza rufipogon* (wild red rice).

- (uu) *Paederia cruddasiana* (sewer-vine).  
 (vv) *Paederia foetida* (skunk-vine).  
 (ww) *Paspalum scrobiculatum*  
 (Kodomillet).  
 (xx) *Pennisetum clandestinum* (Kikuyu  
 grass).  
 (yy) *Pennisetum macrourum* (African feathergrass).  
 (zz) *Pennisetum pedicellatum* (Kyasuma grass).  
 (aaa) *Pennisetum polystachyon* (missiongrass, thin napiergrass).  
 (bbb) *Prosopis* spp.  
 (ccc) *Pueraria montana* (kudzu).  
 (ddd) *Rhodomyrtus tomentosa* (downy myrtle).  
 (eee) *Rottboellia cochinchinensis* (itchgrass).  
 (fff) *Rubus fruticosus* (bramble blackberry).  
 (ggg) *Rubus molluccanus* (wild raspberry).  
 (hhh) *Saccharum spontaneum* (wild sugarcane).  
 (iii) *Salsola vermiculata* (wormleaf salsola).  
 (jjj) *Sapium sebiferum* (Chinese tallow tree).  
 (kkk) *Scaevola taccada* (beach naupaka). Propagation prohibited immediately and distribution prohibited by July 1, 2007.  
 (lll) *Schinus terebinthifolius* (Brazilian pepper-tree).<sup>1</sup>  
 (mmm) *Setaria pallidifusca* (cattail grass).  
 (nnn) *Solanum tampicense* (wetland nightshade).  
 (ooo) *Solanum torvum* (turkeyberry).  
 (ppp) *Solanum viarum* (tropical soda apple).  
 (qqq) *Tridax procumbens* (coat buttons).  
 (rrr) *Urochloa panicoides* (liverseed grass).

<sup>1</sup>Department of Environmental Protection permit required for these species.

*Specific Authority 570.07(13), (23) FS. Law Implemented 581.031(4), (5), (6), 581.083, 581.091 FS. History—New 7-27-93, Amended 2-28-94, 6-30-96, 7-7-99, 10-1-06.*





**City of Gainesville Florida**

Land Development Regulations Article VIII, Division 2, Section 30-8.3, F. #7

**Table of Invasive Plants**

Air potato	<i>Dioscorea bulbifera</i>
Arrow bamboo	<i>Pseudosasa japonica</i>
Brazilian pepper	<i>Schinus terebenthifolius</i>
Catclaw vine	<i>Macfadyena unguis- cati</i>
Camphor tree	<i>Cinnamomum camphora</i>
Chinaberry	<i>Melia azedarach</i>
Chinese privet	<i>Ligustrum sinense</i>
Chinese tallow tree	<i>Sapium sebiferum</i>
Chinese wisteria	<i>Wisteria sinensis</i>
Japanese climbing fern	<i>Lygodium japonicum</i>
Old world climbing fern	<i>Lygodium microphyllum</i>
Cogon grass	<i>Imperata cylindrica</i>
Coral berry	<i>Ardisia crenata</i>
Japanese Ardisia	<i>Ardisia japonica</i>
Elephant's ears	<i>Xanthosoma sagittifolium</i>
Glossy privet	<i>Ligustrum lucidum</i>
Golden raintree	<i>Koelreuteria paniculata</i> and <i>Koelreuteria bipinnata</i>
Golden bamboo	<i>Phyllostachys aurea</i>
Henon bamboo	<i>P. nigra</i> cv. "Henon"
Palm leaf bamboo	<i>Sasa palmate</i> ( <i>Arundinaria palmata</i> )
Hyacinth	<i>Eichhornia crassipes</i>
Hydrilla	<i>Hydrilla verticulata</i>
Miramar weed	<i>Hygrophia polysperma</i>
Japanese honeysuckle	<i>Lonicera japonica</i>
Japanese paper mulberry	<i>Brousonettia papyrifera</i>
Kudzu	<i>Pueraria lobata</i>
Mimosa	<i>Albizia julibrissin</i>
Oyster plant	<i>Tradescantia spathacea</i>
Skunk vine	<i>Paederia foetida</i>
Tropical soda apple	<i>Solanum viarum</i>
White-flowered small-leaved spiderwort	<i>Tradescantia fluminensis</i>
Wild taro	<i>Colocasia esculenta</i>

# PROPERTY OWNER AFFIDAVIT

Owner Name: North Florida Regional Medical Center			
Address: P.O. Box 750 Nashville, TN 37202		Phone:	
Agent Name: eda engineers - surveyors- planners, inc.			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: portion of 06340-007-001			
Acreage: 1 acre M.O.L.	S: 33	T: 09	R: 19
Requested Action: Utility relocation and site plan for parking garage			

**I hereby certify that:** I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.

Property owner signature: *John Gerholt*

Printed name: John Gerholt

Date: 6/6/18

The foregoing affidavit is acknowledged before me this 6 day of June, 2018, by John Gerholt, who is/are personally known to me, or who has/have produced \_\_\_\_\_ as identification.

NOTARY SEAL *Tamela J Clark*

Signature of Notary Public, State of Fla.





**Property Search Results**

The data displayed is the most current data available to the Property Appraiser.

Search Date: 8/1/2018 at 3:38:07 PM

Printer Friendly Page

Parcel: 06340-007-001 [GIS Map](#)

<p><b>Taxpayer:</b> NORTH FLORIDA REGIONAL MEDICAL CENTER</p> <p><b>Mailing:</b> PO BOX 80610 INDIANAPOLIS, IN 46280-0610</p> <p><b>9-1-1 Address:</b> 6420 W NEWBERRY RD GAINESVILLE</p> <p><b>Sec-Twn-Rng:</b> 33-09-19</p> <p><b>Property Use:</b> 01900 - Prof Offices</p> <p><b>Tax Jurisdiction:</b> Gainesville 3600</p> <p><b>Area:</b> Com N&amp;S E&amp;W I-75 OaksMall</p> <p><b>Subdivision:</b> Placeholder</p>	<p><b>Legal:</b> COM 362.15 FT E &amp; 50.25 FT N OF SE COR OF SW COR N 6 DEG E 400 FT TO POB W 185.14 FT N 595.80 FT NELY ALG S/L OF NFRDOP TO A PT 230 FT M/L E OF SE COR LOT 1 S 263.22 FT S 14 DEG W 152.17 FT S 13 DEG E 396.04 FT S 20 DEG E 197.91 FT S 121.83 FT W 1070 FT M/L TO POB OR 873/843 LESS 39805 SF TRACT LEASED TO GRESHAM DESC AS W 185.14 FT OF S 215 FT S OF A ROAD &amp; LESS TRACT LEASED TO RADIATION THERAPY OF GVILLE INC PER OR 1636/787 &amp; OR 1636/785 &amp; OR 1653/516 LESS R/W AS PER OR 1770/1063 ALSO COM SW COR OF SE 1/4 OF E 362.15 FT NLY 450.25 FT WLY 185.14 FT N 595.80 FT N 79 DEG E 540.83 FT E 350 FT S 50 FT POB S 175 FT E 248.91 FT N 175 FT W 248.91 FT POB OR 1636/787 PER OPTION LEASE AGREEMENT TO RADIATION THERAPY OF G'VILLE INC ALSO COM SE COR SW 1/4 E 362.15 FT NLY 50.25 FT E 1094.76 FT POB E 145 FT N 2679.84 FT N 70 DEG W 61.80 FT S 71 DEG W 212.42 FT S 46 DEG W 99.11 FT S 11 DEG W 136.20 FT S 40 DEG E 166.23 FT S 61 DEG W 223.19 FT S 78 DEG W 54.45 FT S 1074 FT E 239.65 FT SWLY ALG CURVE 264.94 FT S 14 DEG W 158.17 FT SELY ALG CURVE 617.63 FT S 121.83 FT POB LESS PARCEL PER OR 1243/907) OR 1222/508 (LESS CONSERVATION EASEMENT PER OR 2148/0579)(LESS THE MEDICAL ARTS CONDOMINIUM CONDO BK 3 PG 26-30) LESS THAT PT OF OR 2353/2426) (LESS COM SW COR LOT 48 WEST HILLS S/D PB E PG 11 N 1100-78 FT W 158.75 FT POB W 215 FT N 54.90 FT E 65.08 FT N 95.10 FT E 149.92 FT S 150 FT POB PER OWNER REQUEST 99 YR LEASE OR 4403/1090)OR 4013/1281</p>
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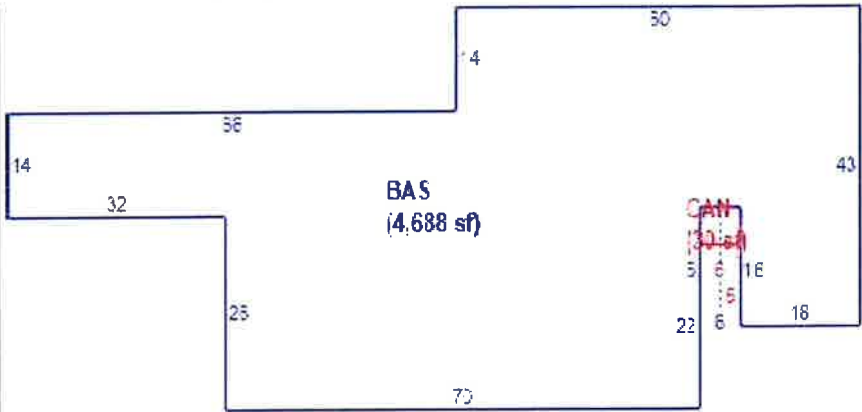
Year	Property Use	Land Value	Land Just Value	Building Value	Misc Value	Total Just Value	Deferred Value	County Assessed	School Assessed	County Exempt	School Exempt	County Taxable	School Taxable
2017	Prof Offices	2410300	2410300	13273000	509900	16193200	987130	15206070	16193200	0	0	15206070	16193200
2016	Prof Offices	2495200	2495200	12412200	526800	15434200	0	15434200	15434200	0	0	15434200	15434200
2015	Prof Offices	2495200	2495200	12578300	543900	15617400	0	15617400	15617400	0	0	15617400	15617400
2014	Prof Offices	2495200	2495200	12752500	561000	15808700	0	15808700	15808700	0	0	15808700	15808700
2013	Prof Offices	2481400	2481400	12888000	578300	15947700	0	15947700	15947700	0	0	15947700	15947700
2012	Prof Offices	2481400	2481400	12949300	581600	16012300	0	16012300	16012300	0	0	16012300	16012300
2011	Prof Offices	2481400	2481400	9257200	202100	11940700	0	11940700	11940700	0	0	11940700	11940700
2010	Prof Offices	2481400	2481400	9322200	205300	12008900	0	12008900	12008900	0	0	12008900	12008900
2009	Prof Offices	2481400	2481400	5773100	198400	8452900	0	8452900	8452900	0	0	8452900	8452900
2008	Prof Offices	2481400	2481400	5834300	201600	8517300	0	8517300	0	0	0	8517300	0

**Land**

Use	Zoning Type	Zoning Desc	Unit Type	Units
Hospital	MD		Square Feet	240015.6
Hospital	PD		Square Feet	148104
Hospital	PD		Square Feet	474368.4

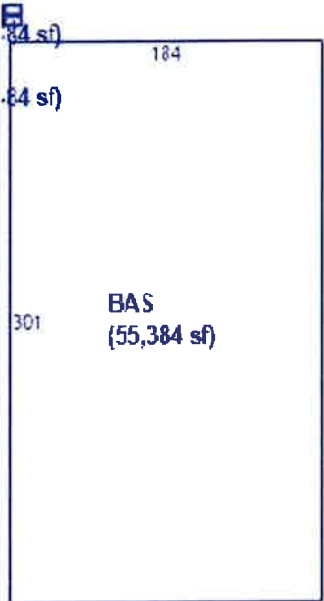
**Building**

<b>Actual Year Built</b>	1990
<b>Effective Year Built</b>	1990
<b>Building Quality</b>	Average
<b>Building Style</b>	94
<b>Building Use</b>	4900 - Office Low Rise
<b>Bedrooms</b>	
<b>Baths</b>	
<b>Stories</b>	1.0
<b>Exterior Wall 1</b>	Tile/Wd Stucco
<b>Exterior Wall 2</b>	N/A
<b>Interior Wall 1</b>	Drywall
<b>Interior Wall 2</b>	N/A
<b>Floor Cover 1</b>	Sheet Vinyl
<b>Floor Cover 2</b>	Carpet
<b>Roof Cover</b>	Tar & Gravel
<b>Roof Structure</b>	Wood Truss
<b>AC</b>	Roof Top Air
<b>Heating Type</b>	Forced Air
<b>Heating System</b>	Electric
<b>Total Square Feet</b>	4718
<b>Heated Square Feet</b>	4688
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<b>Area Type</b>	<b>Square Footage</b>
BAS (BASE AREA)	4688
CAN (CANOPY)	30



<b>Actual Year Built</b>	2002
<b>Effective Year Built</b>	2002
<b>Building Quality</b>	Average
<b>Building Style</b>	96
<b>Building Use</b>	6500 - Parking Garage
<b>Bedrooms</b>	
<b>Baths</b>	
<b>Stories</b>	3.0
<b>Exterior Wall 1</b>	Reinf Concrete

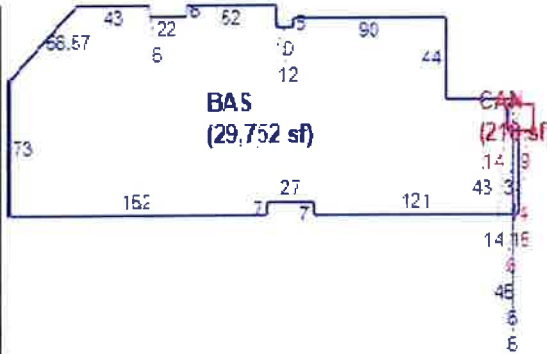
<b>Exterior Wall 2</b>	N/A
<b>Interior Wall 1</b>	None
<b>Interior Wall 2</b>	N/A
<b>Floor Cover 1</b>	Fin Concrete
<b>Floor Cover 2</b>	N/A
<b>Roof Cover</b>	Minimum
<b>Roof Structure</b>	Reinf Concrete
<b>AC</b>	None
<b>Heating Type</b>	None
<b>Heating System</b>	None
<b>Total Square Feet</b>	166152
<b>Heated Square Feet</b>	166152
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<b>Area Type</b>	<b>Square Footage</b>
BAS (BASE AREA)	55384
FUS (FINISHED UPPER STORY)	110768



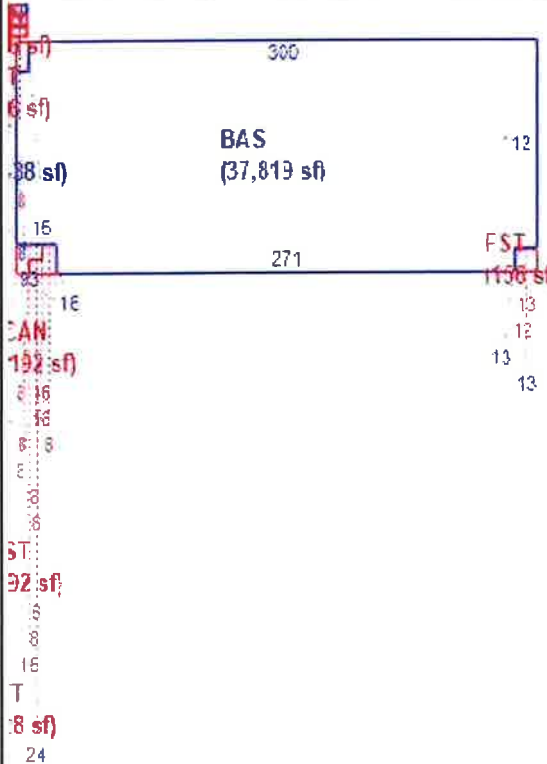
<b>Actual Year Built</b>	2009
<b>Effective Year Built</b>	2009
<b>Building Quality</b>	Above Average
<b>Building Style</b>	94
<b>Building Use</b>	5300 - Hospital
<b>Bedrooms</b>	
<b>Baths</b>	
<b>Stories</b>	1.0
<b>Exterior Wall 1</b>	Tile/Wd Stucco
<b>Exterior Wall 2</b>	N/A
<b>Interior Wall 1</b>	Drywall
<b>Interior Wall 2</b>	N/A
<b>Floor Cover 1</b>	Terrazzo
<b>Floor Cover 2</b>	Carpet
<b>Roof Cover</b>	Tar & Gravel
<b>Roof Structure</b>	Rigid Fr/Joist



<b>AC</b>	Roof Top Air
<b>Heating Type</b>	Forced Air
<b>Heating System</b>	Electric
<b>Total Square Feet</b>	29962
<b>Heated Square Feet</b>	29752
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<b>Area Type</b>	<b>Square Footage</b>
BAS (BASE AREA)	29752
CAN (CANOPY)	210



<b>Actual Year Built</b>	2011
<b>Effective Year Built</b>	2011
<b>Building Quality</b>	Average
<b>Building Style</b>	96
<b>Building Use</b>	6500 - Parking Garage
<b>Bedrooms</b>	
<b>Baths</b>	
<b>Stories</b>	3.0
<b>Exterior Wall 1</b>	Reinf Concrete
<b>Exterior Wall 2</b>	Common Brick
<b>Interior Wall 1</b>	None
<b>Interior Wall 2</b>	N/A
<b>Floor Cover 1</b>	Fin Concrete
<b>Floor Cover 2</b>	N/A
<b>Roof Cover</b>	Minimum
<b>Roof Structure</b>	Reinf Concrete
<b>AC</b>	None
<b>Heating</b>	None



<b>Type</b>	
<b>Heating System</b>	None
<b>Total Square Feet</b>	114957
<b>Heated Square Feet</b>	113457
<b>Area Type</b>	<b>Square Footage</b>
BAS (BASE AREA)	37819
CAN (CANOPY)	768
FST (FINISHED STORAGE)	732
FUS (FINISHED UPPER STORY)	75638

**Miscellaneous**

<b>Description</b>	<b>Unit Type</b>	<b>Units</b>
3800 - Drive/Walk	UNITS	560
4682 - Paving 2	SF	99720
4680 - Paving 1	SF	142400
3800 - Drive/Walk	UNITS	5150
5160 - Spr System	UNITS	1
4420 - Lights	UNITS	5
4420 - Lights	UNITS	10
3840 - Elevator	UNITS	2
3882 - Fence CB	SF	1540
4420 - Lights	UNITS	8
4420 - Lights	UNITS	6
4240 - Gutter	UNITS	126
3800 - Drive/Walk	UNITS	2630
3882 - Fence CB	SF	220
4420 - Lights	UNITS	4
4420 - Lights	UNITS	2
3840 - Elevator	UNITS	3
4420 - Lights	UNITS	16
3800 - Drive/Walk	UNITS	1745
4682 - Paving 2	SF	2000
3882 - Fence CB	SF	625
3883 - Fence CL	SF	500
3900 - Fire Pro/Comm-Interior	SF	114189

**Sale**

Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

<b>Date</b>	<b>Price</b>	<b>Vac/Imp</b>	<b>Qualified</b>	<b>OR Book</b>	<b>OR Page</b>	<b>Instrument</b>	<b>OR Link (Clerk)</b>
02/07/2011	100	I	U	4013	1281	QD	<a href="#">Official Public Record</a>
03/01/1986	100	V	U	1636	787	LE	<a href="#">Official Public Record</a>
07/01/1979	184500	V	Q	1222	508	WD	<a href="#">Official Public Record</a>

**Permit**

County Permit information is supplied by the Alachua County Office of Codes Enforcement. The Alachua County Office of Codes Enforcement and the Property Appraiser's Office assume no liability whatsoever associated with the use or misuse of this public information data and will not be held liable as to the validity, correctness, accuracy, completeness, and / or reliability of this data.

<u>Permit Number</u>	<u>Permit Type</u>	<u>Issue Date</u>	<u>Final Date</u>	<u>Appraisal Date</u>	<u>Comment</u>
15-02952-04	FS	01/11/2016		11/28/2016	FIRE SPRINKLERS
15-04856-03	FS	01/11/2016		11/28/2016	INSTALL SYSTEM FOR BULTOUT
15-02952-06	MISC	05/11/2016	05/20/2016	11/28/2016	Installing 150 kW Generx generator in cancer center
16-02435	SI	05/12/2016	06/24/2016	12/25/2016	SIGN
16-02051	SI	04/27/2016	06/24/2016	12/25/2016	SIGN
16-03426	ME	06/02/2016		11/28/2016	MECH CHG OUT
15-02952	COM	06/23/2015	05/26/2016	11/28/2016	NEW MEDICAL OFFICE BLD
15-04856	TBO	10/02/2015	05/26/2016	11/28/2016	Interior buildout-Florida Cancer Specialist NFRMC
13-03306	TC	06/11/2013	01/17/2014	12/25/2013	REM & REP ANTENNA/CABL

[Link to TaxCollector Record](#)

The information that is supplied by the Alachua County Property Appraiser's office is public information data and must be accepted and used with the understanding that the data was collected primarily for the use and purpose of creating a Property Tax Roll per Florida Statute. The Alachua County Property Appraiser's Office will not be held liable as to the validity, correctness, accuracy, completeness, and / or reliability of this data. The Alachua County Property Appraiser's Office furthermore assumes no liability whatsoever associated with the use or misuse of this public information data.

Alachua County Property Appraiser • 515 N Main Street Suite 200 • Gainesville, FL 32601 • 352-374-5230 (FAX) 352-374-5278

**Detail by Entity Name**

Florida Profit Corporation  
NORTH FLORIDA REGIONAL MEDICAL CENTER, INC.

**Filing Information**

**Document Number** P94000063194  
**FE/EIN Number** 61-1289294  
**Date Filed** 08/28/1994  
**State** FL  
**Status** ACTIVE

**Principal Address**

ONE PARK PLAZA  
NASHVILLE, TN 37203

Changed: 05/01/1995

**Mailing Address**

P.O. BOX 750  
NASHVILLE, TN 37202

Changed: 04/22/2004

**Registered Agent Name & Address**

CT CORPORATION SYSTEM  
1200 SOUTH PINE ISLAND ROAD  
PLANTATION, FL 33324

Name Changed: 04/22/2002

Address Changed: 04/22/2004

**Officer/Director Detail****Name & Address**

Title DP

HAZEN, SAMUEL N  
ONE PARK PLAZA  
NASHVILLE, TN 37203

Title DSVP

WYATT, CHRISTOPHER F  
ONE PARK PLAZA  
NASHVILLE, TN 37203

Title DVPA

FRANCK, JOHN M, II  
ONE PARK PLAZA  
NASHVILLE, TN 37203

Title SVPT

MORROW, J. WILLIAM B.  
ONE PARK PLAZA  
NASHVILLE, TN 37203

Title VPS

CLINE, NATALIE H  
ONE PARK PLAZA  
NASHVILLE, TN 37203

Title VP

GRUBBS, RONALD L, Jr.  
ONE PARK PLAZA  
NASHVILLE, TN 37203

**Annual Reports**

Report Year	Filed Date
-------------	------------



Recording Requested By and  
When Recorded Mail to:

Matthew G. Noggle, Esq.  
Waller Lansden Dortch & Davis, LLP  
511 Union Street, Suite 2700  
Nashville, TN 37219-8966

**QUITCLAIM DEED**

THIS QUITCLAIM DEED, executed as of Feb. 7, 2011, by HCA SQUARED, LLC, a Delaware corporation (hereinafter called "**Grantor**"), successor by merger to HCA-Hospital Corporation of America, a Delaware corporation, which itself was a successor by merger to Hospital Corporation of America, a Tennessee corporation, whose address is One Park Plaza, P.O. Box 550, Nashville TN 37202-0550, to NORTH FLORIDA REGIONAL MEDICAL CENTER, INC., a Florida corporation (hereinafter called "**Grantee**"), whose address is One Park Plaza, P.O. Box 550, Nashville TN 37202-0550. Copies of the applicable documents from the Delaware Secretary of State's Office referencing the corporate mergers described in the preceding sentence are attached hereto as Exhibit "A" and incorporated herein by reference.

**WITNESSETH:**

That Grantor, in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other good and valuable consideration paid to Grantor from Grantee, the receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, sell, quitclaim and convey unto the Grantee, and Grantee's heirs and assigns, in fee simple, forever, (a) that certain parcel of land located in Gainesville, Alachua County, Florida, more particularly described in Exhibit "B", attached hereto and incorporated herein (the "**Land**"), together with (b) all of the existing structures or improvements situated on the Land; and (c) all of Grantor's right title and interest, if any, in each and every right, benefit, privilege, tenement, hereditament, and appurtenance on or in any wise incident or appertaining to the Land (the real property and real property interests described in the foregoing clauses (a) through (c) being herein collectively referred to as the "**Property**").

Parcel Identification Number(s): 06340-007-001

TO HAVE AND TO HOLD the Property, unto Grantee, its successors and assigns, forever.

This Deed is without warranty of title, express, implied or statutory.

This conveyance is made subject to all restrictions, reservations and easements of record and to applicable zoning ordinances, matters appearing on any recorded plat of the land, and taxes for the current year.

(signature on the following page)

IN WITNESS WHEREOF, the Grantor has executed this deed as of Feb. 7, 2011.

Signed, sealed and delivered  
in our presence as witnesses:

HCA Squared, LLC,  
a Delaware corporation

Helen W. Cook

Printed Name: Helen W. Cook

John Miles

Printed Name: JOHN MILES

By: W. Mark Kimbrough

Name: Mark Kimbrough

Title: VP

STATE OF TN  
COUNTY OF Davidson

The foregoing instrument was acknowledged before me this 7 day of Feb., 2011, by Mark Kimbrough, as VP of HCA Squared, LLC, a Delaware corporation, with the authority to do so and on behalf of said corporation, who is personally known to me or has produced a valid driver's license.

[Signature]

Notary Public, State of TN

George R Woods Jr.

Print, Type or Stamp Commissioned Name  
of Notary Public

My Commission Expires: 10/4/14



**EXHIBIT "A"**

CERTIFICATES OF MERGER

(see attached certificates)

State of Delaware  
Office of the Secretary of State

---

PAGE 1

I, EDWARD J. FREEL, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF OWNERSHIP, WHICH MERGES:

"HOSPITAL CORPORATION OF AMERICA", A TENNESSEE CORPORATION, WITH AND INTO "HCA-HOSPITAL CORPORATION OF AMERICA" UNDER THE NAME OF "HCA-HOSPITAL CORPORATION OF AMERICA", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE SEVENTH DAY OF MARCH, A.D. 1994, AT 9 O'CLOCK A.M.



Handwritten signature of Edward J. Freel in cursive script.

Edward J. Freel, Secretary of State

AUTHENTICATION:

2353782 8100M

DATE: 8690624

971338012

10-07-97



STATE OF DELAWARE  
 SECRETARY OF STATE  
 DIVISION OF CORPORATIONS  
 FILED 09:00 AM 03/07/1994  
 944036005 - 2353782

CERTIFICATE OF OWNERSHIP AND MERGER  
 MERGING  
 HOSPITAL CORPORATION OF AMERICA  
 (a Tennessee subsidiary corporation)  
 INTO  
 HCA - HOSPITAL CORPORATION OF AMERICA  
 (a Delaware parent corporation)

It is hereby certified that:

1. HCA-Hospital Corporation of America (the "Corporation") is a business corporation of the State of Delaware.
2. The Corporation is the owner of all of the outstanding shares of stock of Hospital Corporation of America (the "Subsidiary"), which is a business corporation of the State of Tennessee.
3. The laws of the jurisdiction of organization of the Subsidiary permit the merger of a business corporation of that jurisdiction with a business corporation of another jurisdiction.
4. The Corporation hereby merges the Subsidiary into the Corporation effective March 15, 1994, with the Corporation being the surviving corporation.
5. The following is a copy of the resolutions adopted on February 25, 1994 by the Board of Directors of the Corporation to merge the Subsidiary into the Corporation:

WHEREAS, this Corporation lawfully owns all of the outstanding capital stock of Hospital Corporation of America, a corporation organized and existing under the laws of Tennessee (the "Subsidiary"); and

WHEREAS, this Corporation desires to merge the Subsidiary into itself and to be possessed of all the estate, property, rights, privileges and franchises of said Subsidiary;

NOW, THEREFORE, BE IT RESOLVED, that the Subsidiary be merged into this Corporation effective March 15, 1994; and

FURTHER RESOLVED, that the President or a Vice-President, the Secretary or Treasurer of this Corporation be and they hereby are authorized and directed to make, execute and file whatever instruments are prescribed by the laws of the State of Delaware and by the laws of the State of Tennessee as may be required to merge the Subsidiary into this Corporation and assume its liabilities and obligations; and

FURTHER RESOLVED, that the following Plan adopted for the merger of the Subsidiary into the Corporation:

(a). The Corporation, which is a business corporation in the State of Delaware and is the parent corporation and owns all of the outstanding shares of the Subsidiary which is a corporation of the State of Tennessee and is a subsidiary corporation merges the Subsidiary into the Corporation pursuant to the Tennessee Business Corporation Act and pursuant to the laws of the jurisdiction of organization of the Corporation.

(b). The separate existence of the Subsidiary shall terminate as of the effective date of the merger pursuant to the provisions of the Tennessee Business Corporation Act; and the Corporation shall continue to exist as the surviving corporation pursuant to the provisions of the laws of the jurisdiction of its organization.

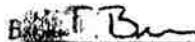
(c). The issued shares of the Subsidiary shall be returned in any manner, but each said share which is issued as of the date of the merger shall be surrendered and extinguished.

(d). The Board of Directors and the proper officers of the Corporation are hereby authorized, empowered, and directed to do all acts and things, and to make, execute, deliver, file, and sign any and all instruments, papers, and documents which shall be necessary, proper or convenient to carry out or put into effect the provisions of this Plan of Merger or of the merger hereinafter provided.

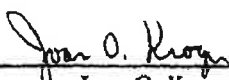
FURTHER RESOLVED, that the officers of the Corporation and they hereby are authorized and directed to do all acts and things which may be necessary or proper to effect said merger.

Dated February 25, 1994.

Corporation of America

  
Stephen T. Braun  
President

ATTEST:

By:   
Joan O. Kroger, Secretary

**FILED**  
RECEIVED  
STATE OF TENNESSEE

1994 MAR 11 PM 1:54

RILEY DARNELL  
SECRETARY OF STATE

**ARTICLES OF MERGER**

**MERGING**

**HOSPITAL CORPORATION OF AMERICA**  
(a Tennessee subsidiary corporation)

**INTO**

**HCA - HOSPITAL CORPORATION OF AMERICA**  
(a Delaware parent corporation)

To the Secretary of State  
State of Tennessee

Pursuant to the provisions of the Tennessee Business Corporation Act governing the merger of a domestic wholly-owned subsidiary business corporation into its foreign parent business corporation, the foreign parent business corporation hereinafter named does hereby adopt the following articles of merger.

1. The name of the subsidiary corporation, which is a business corporation organized under the laws of the State of Tennessee, and which is subject to the provisions of the Tennessee Business Corporation Act, is Hospital Corporation of America (the "Subsidiary").
2. The name of the parent corporation, which is a business corporation organized under the laws of the State of Delaware and which is the surviving corporation, is HCA-Hospital Corporation of America (the "Corporation").
3. The number of outstanding shares of the Subsidiary is 71,000,000, all of which are of one class, and all of which are owned by the Corporation.
4. The following is the Plan of Merger for merging the Subsidiary into the Corporation as approved by resolution of the Board of Directors of the Corporation:
  - (a). The Corporation, which is a business corporation of the State of Delaware and is the parent corporation and the owner of all of the outstanding shares of the Subsidiary which is a business corporation of the State of Tennessee and is a subsidiary corporation, hereby merges the Subsidiary into the Corporation pursuant to the provisions of the Tennessee Business Corporation Act and pursuant to the provisions of the laws of the jurisdiction of organization of the Corporation.
  - (b). The separate existence of the Subsidiary shall cease upon the effective date of the merger pursuant to the provisions of the Tennessee Business Corporation Act; and the Corporation shall continue its existence as the surviving corporation pursuant to the provisions of the laws of the jurisdiction of its organization.

02/25/94 11:33:43

RECEIVED  
STATE OF TENNESSEE  
FEB -4 AM 9:31

RECEIVED  
STATE OF TENNESSEE  
FEB 25 1994

RILEY DARNELL  
SECRETARY OF STATE

RILEY DARNELL  
SECRETARY OF STATE

(c) The issued shares of the Subsidiary shall not be converted in any manner, but each said share which is issued as of the effective date of the merger shall be surrendered and extinguished.

(d) The Board of Directors and the proper officers of the Corporation are hereby authorized, empowered, and directed to do any and all acts and things, and to make, execute, deliver, file, and/or record any and all instruments, papers, and documents which shall be or become necessary, proper or convenient to carry out or put into effect any of the provisions of this Plan of Merger or of the merger herein provided for.

5. The Corporation is the owner of all of the issued shares of the Subsidiary, and the Corporation waived the mailing to it of a copy of the Plan of Merger.

6. The laws of the jurisdiction of organization of the Corporation permit a merger of a wholly-owned subsidiary business corporation of another jurisdiction into a parent business corporation of the jurisdiction of organization of the Corporation; and the merger of the Subsidiary into the Corporation is in compliance with the laws of the jurisdiction of organization of the Corporation.

7. The merger herein provided for shall become effective in the State of Tennessee on March 1<sup>st</sup> 1994.

Dated: February 25, 1994.

HCA-Hospital Corporation of America

By: Stephen T. Braun  
Name: Stephen T. Braun  
Capacity: Vice President

Hospital Corporation of America

By: Ronald P. Soltman  
Name: Ronald P. Soltman  
Capacity: Vice President

State of Delaware

PAGE 1

Office of the Secretary of State

I, EDWARD J. FREEL, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF MERGER, WHICH MERGES:

"HCA-HOSPITAL CORPORATION OF AMERICA", A DELAWARE CORPORATION,

WITH AND INTO "HCA SQUARED, LLC" UNDER THE NAME OF "HCA SQUARED, LLC", A LIMITED LIABILITY COMPANY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE TWENTY-THIRD DAY OF APRIL, A.D. 1999, AT 2:15 O'CLOCK P.M.

A FILED COPY OF THIS CERTIFICATE HAS BEEN FORWARDED TO THE NEW CASTLE COUNTY RECORDER OF DEEDS.



*Edward J. Freel*

Edward J. Freel Secretary of State

3001024 8100M

991161149

AUTHENTICATION

DATE

9705101

04-23-99

**CERTIFICATE OF MERGER**  
**OF**  
**HCA-HOSPITAL CORPORATION OF AMERICA**  
**INTO**  
**HCA SQUARED, LLC**

Pursuant to Section 18-209 of the Delaware Limited Liability  
Company Act and Section 264 of the Delaware General Corporation Law

The undersigned limited liability company and corporation DO HEREBY  
**CERTIFY:**

**FIRST:** The name and the state of organization of each of the constituent  
entities to the merger are as follows:

<u>Name</u>	<u>State of Formation or Organization</u>
HCA Squared, LLC (the "LLC")	Delaware
HCA-Hospital Corporation of America (the "Company")	Delaware

**SECOND:** An Agreement and Plan of Merger between the constituent entities  
to the merger (the "Merger Agreement") has been adopted, approved, certified, executed and  
acknowledged by each of the constituent entities to the merger.

**THIRD:** The Company shall be merged with and into the LLC, with the LLC  
being the surviving entity (the "Surviving Entity") in the merger, and the name of the Surviving  
Entity shall be HCA Squared, LLC.

**FOURTH:** The Certificate of Formation of the LLC at the effective time of the  
merger shall be the Certificate of Formation of the Surviving Entity.

**FIFTH:** The executed Merger Agreement is on file at the principal place of  
business of the Surviving Entity. The address of the Surviving Entity is One Park Plaza,  
Nashville, Tennessee 37203.

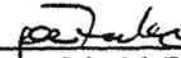
SIXTH: A copy of the Merger Agreement will be furnished by the Surviving Entity, on request and without cost, to any stockholder or member, as the case may be, of the constituent entities.

SEVENTH: This Certificate of Merger shall be effective on April 21, 1999.


\*\*\*\*\*

IN WITNESS WHEREOF, this Certificate of Merger has been executed on this  
22nd day of April, 1999.

HCA SQUARED, LLC

By:   
Name: John M. Franck II  
Title: Manager

HCA-HOSPITAL CORPORATION OF  
AMERICA

By:   
Name: R. Milton Johnson  
Title: Vice President



## AGREEMENT AND PLAN OF MERGER

AGREEMENT AND PLAN OF MERGER, dated as of April 22, 1999 (the "Agreement"), by and between HCA-Hospital Corporation of America, a Delaware corporation (the "Company"), and HCA Squared, LLC, a Delaware limited liability company (the "LLC") whose sole member is the Company.

WHEREAS, Columbia/HCA Healthcare Corporation desires to undertake a restructuring of certain of its subsidiaries and assets (the "Restructuring"); and

WHEREAS, in connection with the Restructuring, each of the Company and the LLC has determined that it is in its best interest to merge the Company with and into the LLC, with the LLC being the surviving entity, upon the terms and subject to the conditions provided in this Agreement (the "Merger").

NOW, THEREFORE, in consideration of the mutual agreements and covenants set forth herein, the parties hereto agree as follows:

1. Merger. Subject to and in accordance with the provisions of this Agreement, at the Effective Time (as defined in Section 2 hereof), the Company shall be merged with and into the LLC, with the LLC being the surviving entity (the "Surviving Entity") in the Merger. The Surviving Entity shall, in accordance with Section 264 of the Delaware General Corporation Law and Section 18-209 of the Delaware Limited Liability Company Act (the "DLLCA"), succeed by operation of law, without other transfer or action, to all of the rights, title, interests and property of the Company, and shall assume all debts, obligations and liabilities of the Company as if the Surviving Entity had itself incurred such debts, obligations and liabilities.

2. Effective Time. The Merger shall become effective upon the time which the parties hereto have agreed upon and designated in the Certificate of Merger as the effective time of the Merger (the "Effective Time").


3. Conversion of Securities. At the Effective Time, each share of common stock of the Company issued and outstanding shall, by virtue of the Merger and without any action on the part of the holder thereof, be automatically cancelled and retired.

4. Member of Surviving Entity. At the Effective Time, Healthtrust, Inc. - The Hospital Company, the sole stockholder of the Company, shall be the sole member of the Surviving Entity.

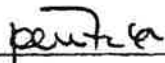
5. Certificate of Formation. The Certificate of Formation of the LLC, as in effect immediately prior to the Effective Time, shall continue as the Certificate of Formation of the Surviving Entity until amended in accordance with the applicable provisions of the DLLCA.

IN WITNESS WHEREOF, the parties have executed this Agreement and caused the same to be duly delivered on their behalf on the day and year first written above.

HCA-HOSPITAL CORPORATION OF AMERICA

By:   
R. Milton Johnson  
Vice President

HCA SQUARED, LLC

By:   
John M. Franck II  
Manager

**EXHIBIT "B"****LEGAL DESCRIPTION**

Being a tract of land lying in the City of Gainesville, in the County of Alachua, Florida. Said tract known as Alachua County property I.D. 06340-007-001 situated in the Southeast ¼ of Section 33, Township 9 South, Range 19 East of Alachua County. Tract bounded on the south partially by Right-of-Way (R/W) of West Newberry Road (State Road 26), also on the south by North Florida Regional Medical Center, Inc. (by Merger from North Florida Regional Hospital, Inc.) as recorded in Official Record 798, Page 534 of the Public Records of Alachua County, also on the south by Steven M. Gresham as recorded in Official Record 3735, Page 1129 of the Public Records of Alachua County; on the west by the 50' R/W of NW 10th Place, also on the west by North Florida Regional Medical Center, Inc. (by Merger from North Florida Regional Hospital, Inc.) as recorded in Official Record 1636, Page 787 of the Public Records of Alachua County; on the north by Lots 21, 22, 23, 24, 26, 1, 2 and 3 of the Final Subdivision of Doctors Office Park as recorded in Plat Book H, Page 81 of the Public Records of Alachua County, also on the north by The Gainesville Community Foundation, Inc. as recorded in Official Record 2583, Page 429 of the Public Records of Alachua County; on the east by Lots 26, 32, 33, 40, 41 and 48 of the Final Subdivision of West Hills as recorded in Plat Book E, Page 11 of the Public Records of Alachua County. Said tract being described as follows:

COMMENCING at the Southwest corner of the Southeast ¼ of said Section 33; thence South 89°23'10" East 362.15 feet; thence North 6°20'08" East 450.24 feet to a point running partially with the westerly line of North Florida Regional Medical Center for parcel I.D. 06340-011-000, said point also being the southeast corner of Gresham; thence continuing with said North Florida Regional Medical Center and Gresham's east line North 0°14'09" East 200.04 feet to the POINT OF BEGINNING; thence with a curve to the left having a radius of 25 feet, an arc length of 39.27 feet and a chord bearing and distance of North 43°21'11" West 35.54 feet to a point; thence continuing along the north line of Gresham North 89°23'10" West 160.48 feet to a point in the southerly R/W margin of NW 10th Place; thence with the easterly R/W margin of said NW 10th Place and thence with the easterly line of North Florida Regional Medical Center, Inc. (by Merger from North Florida Regional Hospital, Inc.) for parcel I.D. 06340-008-000 North 0°14'00" East 376.37 feet to a point at the Northwest corner of the tract being described, said point also lying on the southerly line of Lots 21, 22, 23, 24 and a portion of Lot 26 of the Final Subdivision of Doctors Office Park; thence with said line North 79°57'28" East 540.83 feet to a point; thence continuing with said southerly line of a portion of Lot 26 and Lot 1, also with the southerly R/W margin of NW 68th Terrace South 89°23'10" East 350.00 feet to a point at the southeast corner of said Lot 1; thence continuing with the easterly line of the Doctors Office Park Subdivision and Lots 1 and 2 and a portion of Lot 3 North 0°14'09" East 426.69 feet to a point at the southwest corner of The Gainesville Community Foundation, Inc. for parcel I.D. 06340-007-004; thence with the southerly line of the Gainesville Community Foundation South 87°09'14" East 500.51 feet to a point at the northeast corner of the tract being described, said point also lying in the westerly line of the Final Subdivision of West Hills Lots 26, 32, 33, 40, 41 and 48; thence with said westerly line South 0°14'09" West 1507.20 feet to the northerly R/W margin of West Newberry Road; thence with said R/W margin North 89°23'09" West 222.65 feet; thence continuing North 0°36'49" East 2.00 feet; thence continuing North 86°09'10" West 177.28 feet; thence continuing North 89°23'11" West 100.42 feet to a point in the easterly line of North Florida Regional Medical Center, Inc. (by Merger from North Florida Regional Hospital, Inc.) for parcel I.D. 06340-011-000; thence leaving said R/W margin of West Newberry Road and running with the easterly line of said North Florida Regional Medical Center North 0°14'09" East 758.00 feet to a point; thence with the northerly line of said North Florida Regional Medical Center North 89°23'10" West 697.17 feet to a point; thence with the westerly line of said North Florida Regional Medical Center South 0°14'09" West 171.95 feet to the point of beginning. Containing 1,047,893 square feet or 24.06 acres more or less.

Being a portion of the property conveyed to Hospital Corporation of America, by that certain Warranty Deed, dated August 31, 1970, and recorded in Official Record Book 660, Page 63 of the Public Records of Alachua County, Florida and by that certain Warranty Deed, dated July 18, 1979, and recorded in Official Record Book 1222, Page 508 of the Public Records of Alachua County, Florida.

Less and except that certain parcel of land conveyed to HCA Health Services of Florida, Inc., a Florida corporation, pursuant to that certain Fee Simple Deed, recorded August 16 1988, in Official Record Book 1708, Page 1882, of the Public Records of Alachua County, Florida, said tract of land containing 0.844 acres more or less; and

Less and except that certain Medical Arts Condominium at North Florida Regional Medical Center, established by that certain Declaration of Condominium of the Medical Arts Condominium at North Florida Regional Medical Center, recorded July 2, 1998, in Official Record Book 2178, Page 752, of the Public Records of Alachua County, Florida.



2017 Roll Details — Real Estate Account At 6218 W NEWBERRY RD

Print this page

Real Estate Account #06340 007 001 Parcel details Latest bill Full bill history

2017	2016	2015	2014	...	2002
PAID	PAID	PAID	PAID		PAID

Get Bills by Email

PAID 2017-11-29 \$340,102.03  
Receipt #17-0039687

Owner: NORTH FLORIDA REGIONAL MEDICAL CENTER  
DUCHARME MCMILLEN & ASSOC  
PO BOX 80610  
INDIANAPOLIS, IN 46280-0610  
Situs: 6218 W NEWBERRY RD

Account number: 06340 007 001  
Alternate Key: 1043788  
Millage code: 3600  
Millage rate: 22.3751  
Assessed value: 15,206,070  
School assessed value: 16,193,200  
Unimproved land value: 2,410,300

Localities is not guaranteed to be accurate

Property Appraiser

2017 Annual bill

View

Ad valorem: \$347,764.20  
Non-ad valorem: \$6,508.75  
Total Discountable: 354272.95  
No Discount NAVA: 0.00  
Total tax:

Legal description

COM 362.15 FT E & 50.25 FT N OF SE COR OF SW COR N 6 DEG E 400 FT TO POB W 185.14 FT N 595.80 FT NELY ALG  
NFRDDP TO A PT 230 FT M/L E OF SE COR LOT 1 S 263.22 FT S 14 DEG W 152.17 FT S 13 DEG E 396.04 FT S 20 DEG  
197.91 FT S 121.83 FT W 1070 FT M/L TO POB OR 873/843 LESS 39805 SF TRACT LEASED TO GRESHAM DESC AS W 185.  
S 215 FT S OF A ROAD & LESS TRACT LEASED TO RADIATION THERAPY OF GVILLE INC PER OR 1636/787 & OR 1636/785  
1653/516 LESS R/W AS PER OR 1770/1063 ALSO COM SW COR OF SE 1/4 OF E 362.15 FT NLY 450.25 FT WLY 185.14 FT  
FT N 79 DEG E 540.83 FT E 350 FT S 50 FT POB S 175 FT E 248.91 FT N 175 FT W 248.91 FT POB OR 1636/787 PER  
Location

Book, page, item: 4013-1281-  
Geo number: 33-09-19-06340007001  
Range: 19  
Township: 09  
Section: 33  
Neighborhood: 125310.50  
Use code: 01900  
Total acres: 19.800



# PROPERTY OWNER AFFIDAVIT

Owner Name: Radiation Therapy of Gainesville			
Address: P. O. Box 100303 Gainesville, FL 32610		Phone:	
Agent Name: eda engineers - surveyors- planners, inc.			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: 06340-007-002			
Acreage: 0.84 M.O.L	S: 33	T: 09	R: 19
Requested Action: Utility relocation and site plan for parking garage			

**I hereby certify that:** I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.

Property owner signature: *John Gerhold*

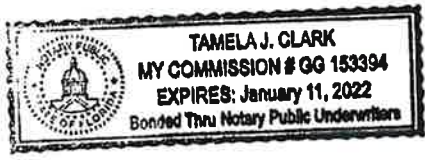
Printed name: John Gerhold

Date: 6/6/18

The foregoing affidavit is acknowledged before me this 6 day of June, 2018, by John Gerhold, who is/are personally known to me, or who has/have produced \_\_\_\_\_ as identification.

NOTARY SEAL *Tamela J Clark*

Signature of Notary Public, State of Florida





## Property Search Results

The data displayed is the most current data available to the Property Appraiser.

Search Date: 8/1/2018 at 3:39:15 PM

Printer Friendly Page

Parcel: 06340-007-002 [GIS Map](#)

<b>Taxpayer:</b> RADIATION THERAPY OF GVILLE <b>Mailing:</b> PO BOX 80610 INDIANAPOLIS, IN 46280 <b>9-1-1 Address:</b> 1021 NW 64TH TER GAINESVILLE <b>Sec-Twn-Rng:</b> 33-09-19 <b>Property Use:</b> 01900 - Prof Offices <b>Tax Jurisdiction:</b> Gainesville 3600 <b>Area:</b> N. Fla Reg Office Area <b>Subdivision:</b> Placeholder	<b>Legal:</b> COM SW COR OF SE1/4 OF SEC E 362.15 FT N 6 DEG E 450.25 FT N 87 DEG W 185.14 FT N 595.80 FT N 79 DEG E 540.83 FT E 140 FT S 50 FT POB S 175 FT E 210 FT N 175 FT W 210 FT TO POB AS PER LEASE AGREEMENT OR 1636/787 & 1636/785 & OR 1653/516 FEE OWNER: HOSP CORP OF AMERICA PER OR 873/843 & OR 1711/1211 & OR 1708/1882
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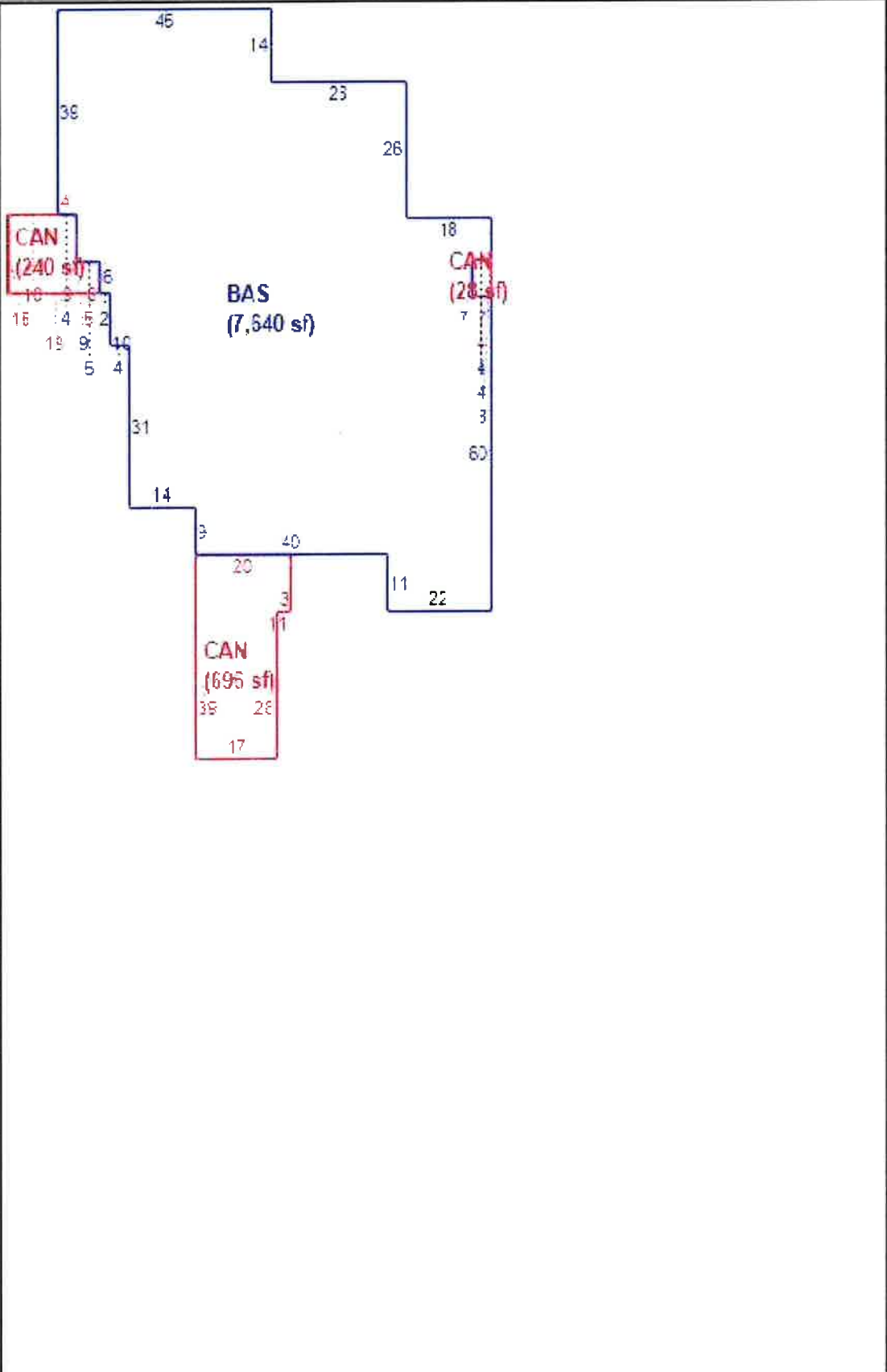
	Property	Land	Land	Building	Misc	Total	Deferred	County	School	County	School	County	School
Year	Use	Value	Just Value	Value	Value	Just Value	Value	Assessed	Assessed	Exempt	Exempt	Taxable	Taxable
2017	Prof Offices	239000	239000	649100	0	888100	25810	862290	888100	0	0	862290	888100
2016	Prof Offices	239000	239000	544900	0	783900	0	783900	783900	0	0	783900	783900
2015	Prof Offices	239000	239000	544900	0	783900	0	783900	783900	0	0	783900	783900
2014	Prof Offices	239000	239000	544100	0	783100	0	783100	783100	0	0	783100	783100
2013	Prof Offices	239000	239000	504400	0	743400	0	743400	743400	0	0	743400	743400
2012	Prof Offices	239000	239000	537400	0	776400	0	776400	776400	0	0	776400	776400
2011	Prof Offices	239000	239000	539100	0	778100	0	778100	778100	0	0	778100	778100
2010	Prof Offices	239000	239000	539100	0	778100	0	778100	778100	0	0	778100	778100
2009	Prof Offices	239000	239000	748500	5800	993300	0	993300	993300	0	0	993300	993300
2008	Prof Offices	239000	239000	833800	5800	1078600	0	1078600	0	0	0	1078600	0

### Land

Use	Zoning Type	Zoning Desc	Unit Type	Units
Medical Office	MD		Square Feet	36764.64

**Building**

<b>Actual Year Built</b>	1987
<b>Effective Year Built</b>	1995
<b>Building Quality</b>	Average
<b>Building Style</b>	94
<b>Building Use</b>	5200 - Medical Office
<b>Bedrooms</b>	
<b>Baths</b>	
<b>Stories</b>	1.0
<b>Exterior Wall 1</b>	Face Brick
<b>Exterior Wall 2</b>	Hardiboard
<b>Interior Wall 1</b>	Drywall
<b>Interior Wall 2</b>	Decorative
<b>Floor Cover 1</b>	Carpet
<b>Floor Cover 2</b>	Vinyl Tile
<b>Roof Cover</b>	Asphalt
<b>Roof Structure</b>	Steel Fr/Truss
<b>AC</b>	Roof Top Air
<b>Heating Type</b>	Forced Air
<b>Heating System</b>	Electric
<b>Total Square Feet</b>	8604
<b>Heated Square Feet</b>	7640
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<u>Area Type</u>	<u>Square Footage</u>
BAS (BASE AREA)	7640
CAN (CANOPY)	964

**Miscellaneous**

<u>Description</u>	<u>Unit Type</u>	<u>Units</u>
4681 - Paving C	UNITS	14500
4900 - Rtn Wall	SF	203
3800 - Drive/Walk	UNITS	1300
5160 - Spr System	UNITS	1

**Sale**

Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

<u>Date</u>	<u>Price</u>	<u>Vac/Imp</u>	<u>Qualified</u>	<u>OR Book</u>	<u>OR Page</u>	<u>Instrument</u>	<u>OR Link (Clerk)</u>
09/01/1988	100	I	U	1711	1211	FS	<a href="#">Official Public Record</a>
08/01/1988	100	V	U	1708	1882	FS	<a href="#">Official Public Record</a>
03/01/1986	100	V	U	1636	787	LE	<a href="#">Official Public Record</a>

[Link to TaxCollector Record](#)

The information that is supplied by the Alachua County Property Appraiser's office is public information data and must be accepted and used with the understanding that the data was collected primarily for the use and purpose of creating a Property Tax Roll per Florida Statute. The Alachua County Property Appraiser's Office will not be held liable as to the validity, correctness, accuracy, completeness, and / or reliability of this data. The Alachua County Property Appraiser's Office furthermore assumes no liability whatsoever associated with the use or misuse of this public information data.

Alachua County Property Appraiser • 515 N Main Street Suite 200 • Gainesville, FL 32601 • 352-374-5230 (FAX) 352-374-5278



R&C: 10.50  
Doc. Stamps .55  
Int. Tax  
Total 11.05

**This Indenture** Made the 8th day of September A. D. 19 88 by  
HCA HEALTH SERVICES OF FLORIDA, INC.

hereinafter called the grantor, to HOSPITAL CORPORATION OF AMERICA, a Tennessee corporation

whose postoffice address is Post Office Box 550, Nashville, Tennessee 37202-0550  
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, and transfers unto the grantee, all that certain land situate in Alachua County, Florida, viz:

Land described in schedule attached hereto and made a part hereof.

RECORDED  
ORIGINAL RECORDS  
1988 SEP 13 P 3:55  
CLERK OF CIRCUIT COURT  
ALACHUA COUNTY FL

Doc. St. Amt. \$ 0.55  
A. C. H. Powers, Clerk of Circuit Court  
Alachua County - By *John D. ...*

This instrument prepared by:  
W. Henry Barber, Jr.  
Dell, Graham, Wilcox, Barber,  
Henderson & Cates, P.A.  
203 N.E. First Street  
Gainesville, Florida 32601

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold,** the same in fee simple forever.

**In Witness Whereof,** the said grantor has hereunto set its hand and seal the day and year first above written.

HCA HEALTH SERVICES OF FLORIDA, INC.

Signed, sealed and delivered in our presence:

*[Signatures]*

By: *David J. Malone, Jr.* as its Vice President  
*John W. Wade, Jr.* Assistant Secretary

STATE OF ~~FLORIDA~~ Tennessee  
COUNTY OF Davidson

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

David J. Malone, Jr. and John W. Wade, Jr.

to me known to be the persons described in and who executed the foregoing instrument and they acknowledged before me that they executed the same, on behalf of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid this 8th day of September A. D. 19 88

*Laura K West*  
NOTARY PUBLIC  
AT LARGE  
Notary Public, State of Tennessee  
Commission Expires: 11-12-89

This Instrument prepared by:

Address

915163

SCHEDULE TO BE ATTACHED TO DEED FROM  
HCA HEALTH SERVICES OF FLORIDA, INC.  
TO HOSPITAL CORPORATION OF AMERICA

A tract of land situated in the Southeast 1/4 of Section 33, Township 9 South, Range 19 East, Alachua County, Florida, said tract of land being more particularly described as follows:

Commence at the Southwest corner of the Southeast 1/4 of said Section 33, and run South 89 deg. 23 min. 10 sec. East along the South line of said Section 33, a distance of 362.15 feet; thence run North 06 deg. 20 min. 54 sec. East, 450.25 feet; thence run North 87 deg. 28 min. 18 sec. West, 185.14 feet; thence run North 00 deg. 14 min. 09 sec. East, 595.80 feet to the South line of North Florida Regional Doctors Office Park, a subdivision as recorded in Plat Book "H", page 81, of the public records of Alachua County, Florida; thence run along the South line of said North Florida Regional Doctors Office Park with the following bearings and distances: North 79 deg. 57 min. 28 sec. East, 540.83 feet; South 89 deg. 23 min. 10 sec. East, 140.00 feet; thence leave the South line of said North Florida Regional Doctors Office Park and run South 00 deg. 36 min. 50 sec. West, 50.00 feet to the Point of Beginning; thence continue South 00 deg. 36 min. 50 sec. West, 175.00 feet; thence run South 89 deg. 23 min. 10 sec. East, 210.00 feet; thence run North 00 deg. 36 min. 50 sec. East, 175.00 feet; thence run North 89 deg. 23 min. 10 sec. West, 210.00 feet to the Point of Beginning, said tract of land containing 0.844 acres more or less.

Subject to Lease Agreement between Hospital Corporation of America as Lessor and Radiation Therapy, Inc., as Lessee, dated March 1, 1986, as amended by First Amendment to Lease Agreement recorded in Official Records Book 1636, page 785, both in the public records of Alachua County, Florida. Grantor hereby assigns all of its interest in said lease to Grantee.

Subject to taxes for the year 1988 and subsequent thereto.

**Detail by Entity Name**

Florida Not For Profit Corporation  
SHANDS AT LAKE SHORE, INC.

Filing Information

**Document Number** N15790  
**FBI/EIN Number** 59-2699865  
**Date Filed** 07/10/1986  
**State** FL  
**Status** ACTIVE  
**Last Event** AMENDMENT  
**Event Date Filed** 03/13/1997  
**Event Effective Date** NONE

Principal Address

368 FRANKLIN STREET  
LAKE CITY, FL 32055

Changed: 02/04/2004

Mailing Address

P. O. BOX 100303  
GAINESVILLE, FL 32610

Changed: 02/25/2014

Registered Agent Name & Address

ROBERTS, JAMES M  
3007 SW WILLISTON ROAD, SUITE 1A  
GAINESVILLE, FL 32608

Name Changed: 06/22/2015

Address Changed: 06/22/2015

Officer/Director Detail

**Name & Address**

Title CPD

ICAZA, BERNABE  
3007 SW WILLISTON ROAD/BOX 100303  
SUITE 1A  
GAINESVILLE, FL 32608

Title TD

FETTE, STEVE  
1329 SW 16TH STREET/BOX 100336  
GAINESVILLE, FL 32610

Title D

JIMENEZ, EDWARD  
1600 SW ARCHER RD/ BOX 100326  
GAINESVILLE, FL 32610

Annual Reports

Report Year	Filed Date
2016	01/13/2016
2017	01/24/2017
2018	01/29/2018

Document Images

<a href="#">01/29/2018 - ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2017 - ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/13/2016 - ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/22/2015 - Reg. Agent Change</a>	<a href="#">View image in PDF format</a>
<a href="#">03/04/2015 - ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/25/2014 - ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/28/2013 - Reg. Agent Change</a>	<a href="#">View image in PDF format</a>



2017 Roll Details — Real Estate Account At 1021 NW 64TH TER

[Print this page](#)

Real Estate Account #06340 007 002

[Parcel details](#)

[Latest bill](#)

[Full bill history](#)

<b>2017</b>	2016	2015	2014	...	2002
PAID	PAID	PAID	PAID		PAID

**Get Bills by Email**

**PAID** 2017-11-29 \$19,496.37

Receipt #17-0038687

Owner: RADIATION THERAPY OF GVILLE  
 % DUCHARME MCMILLEN & ASSOC  
 PO BOX 80610  
 INDIANAPOLIS, IN 46280  
 Situs: 1021 NW 64TH TER

Account number: 06340 007 002  
 Alternate Key: 1043789  
 Millage code: 3600  
 Millage rate: 22.3751

Assessed value: 962,280  
 School assessed value: 888,100  
 Unimproved land value: 239,000

Location is not guaranteed to be accurate.

Property Appraiser

2017 Annual bill

[View](#)

Ad valorem: \$19,490.83  
 Non-ad valorem: \$818.09  
 Total Discountable: 20308.72  
 No Discount NAVA: 0.00  
 Total tax:

Legal description

COM SW COR OF SE1/4 OF SEC E 362.15 FT N 6 DEG E 450.25 FT N 87 DEG W 185.14 FT N 595.00 FT N 79 DEG E 540.83 FT E 140 FT - S 50 FT POB S 175 FT E 210 FT N 175 FT W 210 FT TO POB AS PER LEASE AGREEMENT OR 1636/787 & 1636/785 & OR 1653/516 - FEE OWNER: HOSP CORP OF AMERICA PER OR 873/843 & OR 1711/1211 & OR 1700/1802

Location

Book, page, item: 1711-1211-  
 Geo number: 33-09-19-06340007002  
 Range: 19  
 Township: 09  
 Section: 33  
 Neighborhood: 114300.51  
 Use code: 01900  
 Total acres: 0.844





engineers • surveyors • planners, inc.

## Special Use Permit Application



**Project Request:** A Special Use Permit application to allow a 7-story parking garage

**Project Location:** 1021 NW 64<sup>th</sup> Terrace  
(Tax parcel 06340-007-002 and a portion of 06340-007-001)

**Project Owner:** North Florida Regional Medical Center and Radiation Therapy of Gainesville

**Submittal Date:** August 27, 2018

**Prepared By:** eda engineers – surveyors – planners, inc.

## **Table of Contents**

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Consistency with Comprehensive Plan	5
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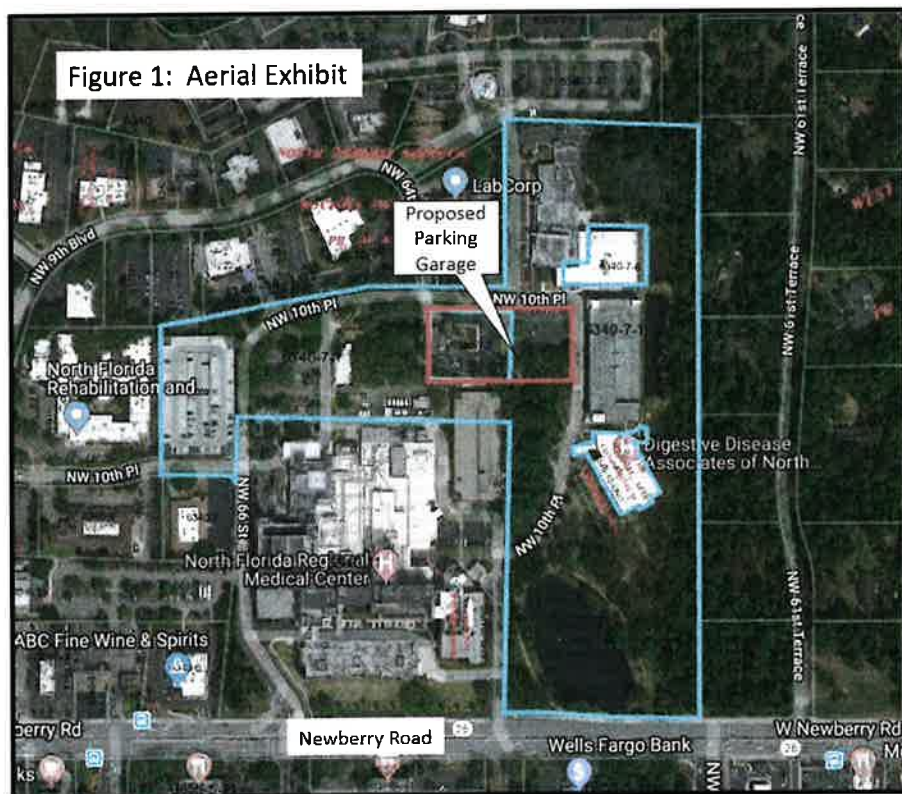
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Figure 2: Future Land Use Map	4
Figure 3: Zoning Map	4



## Background and Proposed Change

North Florida Regional Medical Center (NFRMC) wishes to build a 7-story parking garage on the hospital property located at 1021 NW 64<sup>th</sup> Terrace. The City's Land Development Code allows 5-story buildings in the Medical Services (MD) zoning district by right and allows up to 14 stories for hospitals and large-scale medical office facilities using the Special Use Permit process. This Special Use Permit application would result in a 7-story parking structure.

Figure 1 below illustrates the location of the proposed parking garage on an aerial photo relative to other NFRMC facilities and the surrounding properties.

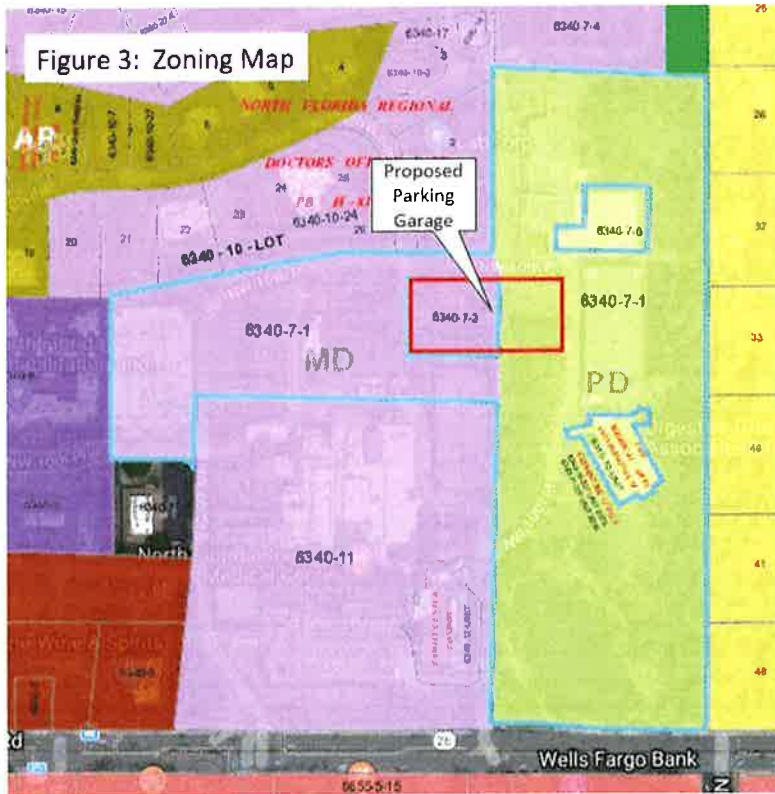
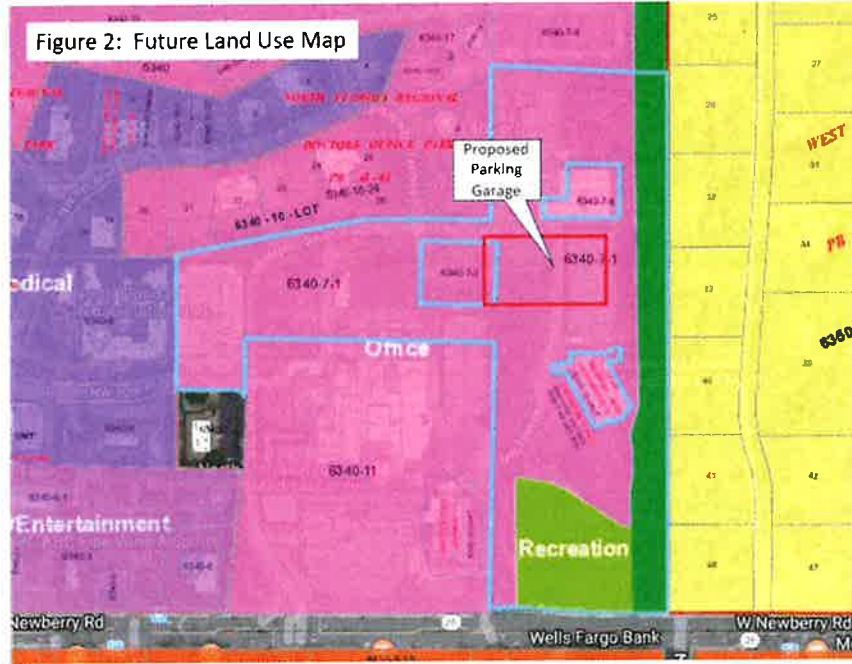


The PD zoned portion of Tax Parcel 06340-007-001 was recently amended to allow the 7-story height of the proposed parking garage. The proposed garage is located on Tax Parcel 06340-007-002 (with MD zoning) and a portion of Tax Parcel 06340-007-001 (with PD zoning). The parking garage will front on NW 10<sup>th</sup> Place. The project area is approximately 1.97 acres.

The proposed Special Use Permit will allow the hospital to build a 7-story parking garage to support the hospital facilities. A site plan accompanying this request includes the building details and required landscape and photometric plans.

## Future Land Use Designation and Zoning District

The subject property currently has a Office Future Land Use designation and Medical Services (MD) zoning district designation, as shown on the following maps:



## Surrounding Property Characteristics

	Future Land Use	Zoning	Existing Use
North	Office	MD	Medical Offices
South	Office	MD	Hospital & Parking Garage
East	Office & Recreation	PD	Medical Offices & Pond
West	Office & AC Tourist Entertainment	MD & AC BH	Retail & Parking Garage

## Consistency with the Comprehensive Plan

---

The subject property has an Office Future Land Use Designation. Policy 4.1.1 of the Future Land Use Element defines the Office Future Land Use category as follows:

*"The Office land use category identifies areas appropriate for office, residential, professional and service uses, **hospital and medical uses**, and appropriate ancillary uses. Office designations shall be applied to compact office development. Residential uses in office districts shall be designed as new in-town development, mixed-use, live-work, compound use or shall accommodate existing residential development within the Office zoning district. Some non-office type uses such as restaurants may be allowed in this land use category by a Special Use Permit process established in the Land Development Code. Densities shall not exceed 20 units per acre. Land development regulations shall determine the appropriate scale of uses; and the specific criteria for the siting of private schools and churches. Intensity will be controlled by adopting land development regulations that establish height limits of 5 stories or less, that require buildings to face the street, and modest build-to lines, instead of a maximum floor area ration; however, height may be increased to a maximum of 8 stories by Special Use Permit. **For hospitals and large-scale medical office facilities that are located in a Medical Services zoning district, the height may be increased to 14 stories by Special Use Permit.**"*

As indicated in the policy above, the Office future land use designation states that hospitals and medical uses are appropriate in this future land use category. The policy also states that height may be increased up to 14 stories by Special Use Permit. The proposed request for a 7-story parking garage using a Special Use Permit process is consistent with the Office future land use category.

## Consistency with Land Development Code

---

As stated previously, the subject property has a Medical Services (MD) zoning district designation. Sec. 30-4.24 Table V-10 of the LDC states that 14 stories is the maximum building height in the MD zoning district with a Special Use Permit. Footnote 8 to Table V-10 further states, "Building heights may be increased through the special use permit process only for hospitals and large-scale medical office facilities."

The applicant's Special Use Permit request for a 7-story parking garage fully complies with the stated Land Development Code requirements.

### **Special Use Permit Criteria**

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The Special Use Permit review criteria are stated in Land Development Code Section 30-3.24. These review criteria are cited below, followed by the applicant's response to each requirement:

#### **Sec. 30-3.24 – Review Criteria**

*No special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use. The burden of proof on the issue of whether the development, if completed as proposed, will comply with the requirements of this chapter remains at all times on the applicant.*

- A. *The proposed use or development is consistent with the Comprehensive Plan and the Land Development Code.*

**Response:** As indicated in this report, the proposed use and development of a 7-story parking garage is consistent with uses and heights allowed by both the Comprehensive Plan and the Land Development Code. The Office Future Land Use category specifically mentions hospitals and medical uses and allows up to 14 stories in the MD zoning district by a Special Use Permit process. The Land Development Code in Section 30-4.24, Table V-10 specifically allows up to 14 stories in the MD zoning district for "hospitals and large-scale medical office facilities" by the Special Use Permit process (see Footnote 8 for the table).

- B. *The proposed use or development is compatible with the existing land use pattern and future uses designated by the Comprehensive Plan. Factors by which compatibility of the proposed use or development shall be reviewed include scale, height, mass and bulk, design, intensity, and character of activity.*

**Response:** The subject property has historically operated at the site as a hospital since 1972 and is compatible with the existing land use pattern of adjacent properties, which include medical offices to the east and north and commercial/retail uses to the south (Oaks Mall) and west. The main hospital is 7 stories in one portion of the building. Buildings in the PD-zoned property to the east are allowed up to a height of 7 stories based on the recently adopted PD zoning (see Ordinance 180016). The proposed parking garage is compatible with the intensity and character of the surrounding NFRMC Hospital campus buildings and activities.

- C. *The proposed use will not adversely affect the health, safety, and welfare of the public.*

**Response:** The proposed parking garage at NFRMC is intended to serve the hospital's parking needs. NFRMC serves the health needs for residents in the City of Gainesville and larger region. The parking garage will provide additional infrastructure that will support additional hospital beds and facilities. It is intended to promote the health, safety, and welfare of the community by providing support for a regional medical services facility.

*D. Ingress and egress to the property, proposed structures, and parking/loading/service areas is provided and allows for safe and convenient automobile, bicycle, and pedestrian mobility at the site and surrounding properties.*

**Response:** There are no proposed changes to ingress/egress or parking/loading/service areas of the hospital as a result of this proposed parking garage. The garage will be accessed from the existing NW 10<sup>th</sup> Place in a similar manor as the existing surface parking lot on the site. Sidewalk connections from the parking garage to hospital buildings will be provided and there is currently a sidewalk connection from Newberry Road to the main hospital entrances. Transit service to the site is available, and there is a bus shelter located along Newberry Road.

*E. Off-street parking, service, and loading areas, where required, will not adversely impact adjacent properties zoned for single-family residential use.*

**Response:** The parking garage is proposed over a site that currently has a medical office building and surface parking lot. There are no adjacent properties zoned for single-family residential use.

*F. Noise, glare, exterior lighting, or odor effects will not negatively impact surrounding properties.*

**Response:** The proposed parking garage is located within the NFRMC campus. Surrounding properties are zoned for medical or commercial/retail uses. No impacts from noise, glare, exterior lighting, or odors are anticipated. A photometric plan meeting City Code requirements was included with the site plan for review.

*G. There is adequate provision for refuse and service/loading areas, and these areas shall be reviewed for access, screening, location on the site, and pedestrian/bicycle mobility and safety. Outdoor storage or display areas, if included, will not adversely impact surrounding properties and shall be reviewed for screening and location on the site.*

**Response:** There are no refuse and/or service/loading areas for the parking garage. There are no proposed outdoor storage or display areas.

H. *Necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use or development.*

**Response:** Existing utilities serve the site and there is existing capacity to serve the proposed parking garage.

I. *Screening and buffers are proposed of such type, dimension, and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.*

**Response:** A landscape plan meeting city code requirements is included in the site plan for the parking garage. Since the proposed parking garage is located within the main NFRMC campus, no additional screening or buffering is required.

J. *The hours of operation will not adversely impact adjacent properties zoned for single-family residential use.*

**Response:** There are no single-family zoned properties adjacent to the proposed parking garage. Please see the Surrounding Property Characteristics section of this report and Figure 3 for information about surrounding zoning.

K. *Any special requirements set forth in the Land Development Code for the particular use involved are met.*

**Response:** There are no special requirements in the Land Development Code for hospital uses. The proposed parking garage meets all the dimensional standards for the Medical services zoning district as established in Section 30-4.24 except for the maximum height requirement, which is the subject of the applicant's request for a Special Use Permit. When the Special Use Permit for the 7-story height is approved, all dimensional requirements will be met.

## **Summary**

---

As indicated in this justification report, the applicant is requesting a Special Use Permit for a 7-story parking garage on the NFRMC campus. The allowance for the additional 2 stories is within the maximum height allowed in the Medical Services (MD) zoning district and consistent with what is stated in the Comprehensive Plan in the Office Future Land Use Category. Therefore, the applicant's request is consistent with the Land Development Code, Comprehensive Plan, and as indicated above, meets all the criteria listed for a Special Use Permit.

## **Appendix E**

### **Development Plan**

# NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE

## CITY OF GAINESVILLE, FLORIDA

### DEVELOPMENT INFORMATION:

1. PROJECT OWNER:	HCA HEALTH SERVICES OF FLA INC. P.O. BOX 1504 NASHVILLE, TN 37202 (615) 333-4100
2. NAME OF PROJECT:	NORTH FLORIDA REGIONAL MEDICAL CENTER (NFRMC) NORTH PARKING GARAGE
3. PROJECT DESCRIPTION:	THE PROJECT INCLUDES THE CONSTRUCTION OF A 7 LEVEL PARKING GARAGE WITH ASSOCIATED PAVING, GRADING, AND UTILITY IMPROVEMENTS.
4. PROJECT ADDRESS:	6410 NEWBERRY ROAD GAINESVILLE, FLORIDA 32608
5. TAX PARCEL NUMBER:	PORTIONS OF 06340-007-001 AND 06340-011-000
6. SECTION/TOWNSHIP/RANGE:	SECTION 33, TOWNSHIP 9 SOUTH, RANGE 19 EAST
7. ZONING:	MD AND PD
8. FUTURE LAND USE:	OFFICE, RECREATION, AND CONSERVATION
9. THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.	
10. TRASH AND RECYCLING FACILITIES ARE LOCATED ON SITE.	
11. FIRE HYDRANTS AND STABILIZED SURFACES MUST BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLE ON SITE.	
12. THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION PER GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-18).	
13. IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE A.H.J.	
14. P.D. CONDITIONS AND RESPONSES CAN BE FOUND IN DOCUMENT INCLUDED WITH THIS SUBMITTAL.	

### PROPOSED IMPERVIOUS AREA CALCULATIONS

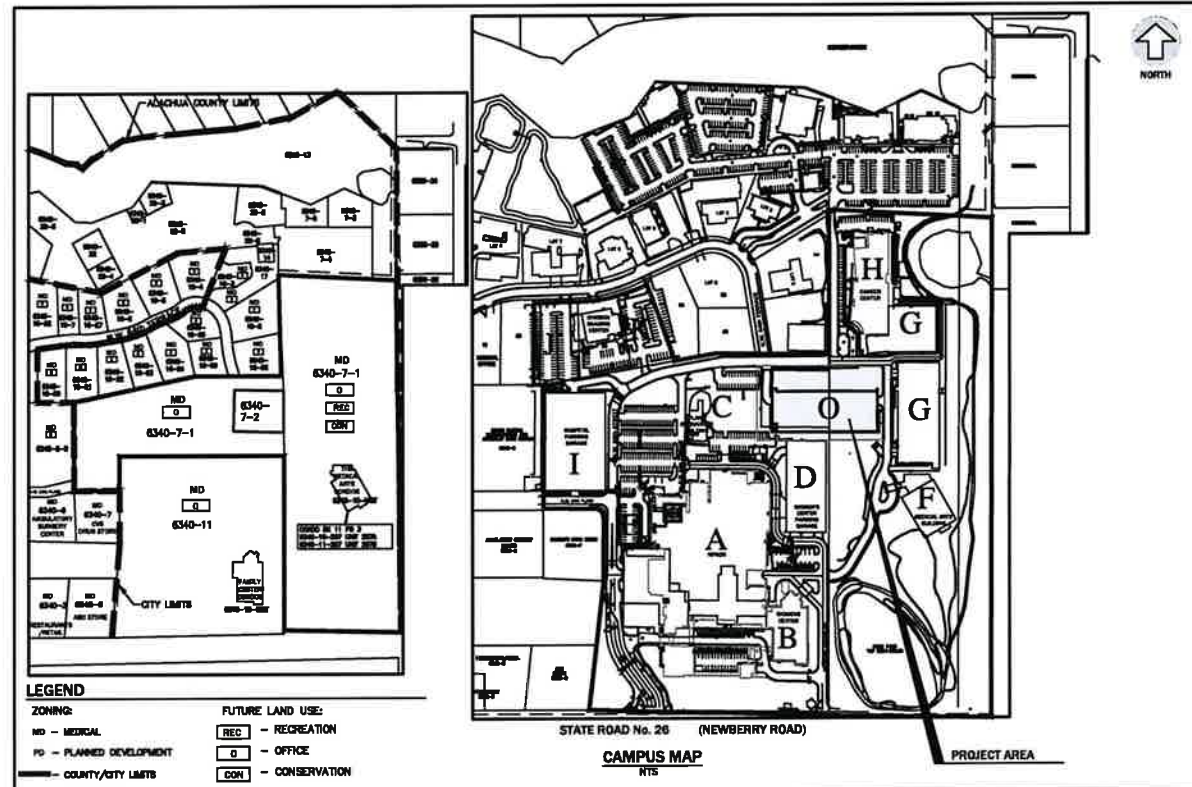
#	DESCRIPTION	SQUARE FOOTAGE	PERCENTAGE
1.	TOTAL CAMPUS AREA:	1,081,538 S.F.	100%
2.	TOTAL PROJECT AREA:	65,981 S.F.	6.10%
3.	PROPOSED PARKING GARAGE:	41,357 S.F.	
4.	PROPOSED PAVEMENT AND SIDEWALK AREA:	6,881 S.F.	
5.	TOTAL PROPOSED IMPERVIOUS AREA: (INCLUDING BUILDING COVERAGE)	48,008 S.F.	4.57%
6.	TOTAL EXISTING IMPERVIOUS AREA:	284,014 S.F.	26.11%
7.	TOTAL EXISTING BUILDING COVERAGE:	414,845 S.F.	38.40%
8.	EXISTING IMPERVIOUS TO BE REMOVED:	45,417 S.F.	
9.	EXISTING IMPERVIOUS TO REMAIN:	218,567 S.F.	20.19%
10.	TOTAL BUILDING COVERAGE AREA:	456,202 S.F.	43.38%
11.	TOTAL IMPERVIOUS AREA:	691,450 S.F.	64.81%
12.	TOTAL OPEN AREA:	370,088 S.F.	35.16%

### BUILDING INFORMATION

	PARKING GARAGE (7 LEVELS)
BUILDING HEIGHT:	197'-5"
CONSTRUCTION TYPE:	TYPE I-B
OCCUPANCY CLASS:	GROUP S-2
SPRINKLERED:	YES
BUILDING AREA:	41,357 S.F.
GROSS FLOOR AREA:	289,489 S.F.

### TRIP GENERATION

- NO NEW TRIPS WILL BE GENERATED BY THIS PROJECT



**LEGEND**

ZONING:  
MD - MEDICAL  
PD - PLANNED DEVELOPMENT  
REC - RECREATION  
CON - CONSERVATION  
OFF - OFFICE  
FUTURE LAND USE:  
REC - RECREATION  
OFF - OFFICE  
CON - CONSERVATION

### CITY OF GAINESVILLE STORMWATER MANAGEMENT SUMMARY SHEET

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION 8 BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL RICK MELZER, P.E. DEVELOPMENT REVIEW ENGINEER, AT 334-2001. YOUR HELP IS APPRECIATED.

### SITE INFORMATION

A. TOTAL IMPERVIOUS AREA IN PROJECT AREA: 48,008 s.f.

B. STORMWATER MANAGEMENT BASIN DATA

Basin No.	Retention Volume (cu ft)	Retention Volume Surface Water Area (sq ft)	Elevation At Which Surface Water Discharge Begins from Basin (ft-msl)
1	29,719	5,780	132.25

### NOTES:

- PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.
- RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.
- "RETENTION VOLUME SURFACE WATER AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.

PREPARED BY: MEAGAN DICKEY, P.E.  
PETITIONER'S ENGINEER

DATE: 06/19/18

No.	Date	Comment

This item has been digitally signed and sealed using a digital signature. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Professional Engineer of Record:

Megan M. Dickey, P.E. 85258  
Engineer Certificate No.

Project No: 18-026

Project phase: CITY/GRU SUBMITTAL

Project title:

NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE

Sheet title:

COVER SHEET

Designed: MD

Drawn: JAB

Checked: SJR

Date: 06/17/18

Sheet No.:

C001

### FOR REVIEW ONLY

#### GRU NOTES

- CERTIFICATION BY ENGINEER-OF-RECORD THAT WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS ARE IN ACCORDANCE WITH GRU DESIGN STANDARDS.
- ELECTRIC DESIGN PROVIDED BY GRU ENERGY DELIVERY.
- NOTIFY GRU ELECTRIC INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION @ 352-339-0340. IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR SUBJECT TO BE SHUT DOWN.
- NOTIFY GRU WASTEWATER ENGINEERING 48 HOURS PRIOR TO CONSTRUCTION @ 352-393-1633. IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR SUBJECT TO BE SHUT DOWN.

### DRAWING INDEX

SHEET NUMBER	DRAWING TITLE
C001	COVER SHEET
C005	LEGENDS AND GENERAL NOTES
C1.00	APPROVED P.D. LAYOUT
C010	SHEET KEY PLAN
C015	DEMOLITION PLAN
C101	DIMENSION PLAN
C201	PAVING, GRADING, AND UTILITY PLAN
C301	STORMWATER POLLUTION PREVENTION PLAN
A10.01-A40.02	ARCHITECTURAL PLAN (FROM OTHERS)
L001-L002	LANDSCAPE PLANS (FROM OTHERS)
1-4	PHOTOMETRIC PLAN (FROM OTHERS)
V001-V003	TOPOGRAPHIC SURVEY (FROM OTHERS)

### PARKING CALCULATIONS

#### 1. PARKING:

THIS INFORMATION IS FOR THE WHOLE NFRMC CAMPUS.

##### A. PARKING CRITERIA:

HOSPITAL: 1.5 SPACES PER BED  
MEDICAL AND DENTAL OFFICE: 1 SPACE FOR EACH 150 S.F. OF FLOOR AREA.

##### B. PARKING REQUIRED:

HOSPITAL MAIN BLDG (A): 341 BEDS x 1.5 SPACES/BED = 512 SPACES  
WOMEN'S CENTER (B): 108,075 S.F. x 1.0 SPACE/200\* S.F. = 530 SPACES  
MRI BUILDING (C): 4,700 S.F. x 1.0 SPACE/200\* S.F. = 24 SPACES  
INVISION BUILDING (J & K): 11,258 S.F. x 1.0 SPACE/150 S.F. = 75 SPACES  
MEDICAL ARTS BUILDING (F): 56,995 S.F. x 1.0 SPACE/200 S.F. = 285 SPACES  
+ 1 SPACE/2 EMPLOYEES x 30 EMPLOYEES\*\* = 315 SPACES  
CANCER CENTER (H): 31,000 S.F. x 1.0 SPACE/150 S.F. = 207 SPACES  
MEDICAL OFFICE BUILDING (G): 41,935 S.F. x 1.0 SPACE/150 S.F. = 280 SPACES  
TOTAL: 1,943 SPACES  
INCLUDING 43 HANDICAP SPACES

\* THE CRITERIA FOR REQUIRED SPACES FOR MEDICAL OFFICES WHEN THE ABOVE PROJECTS WERE APPROVED WAS ONE SPACE FOR EACH 200 S.F. OF FLOOR AREA.

\*\* THE CRITERIA FOR MEDICAL OFFICES WHEN THE ABOVE PROJECT WAS APPROVED WAS 3 SPACES/PRACTICER PLUS 1 SPACE/2 EMPLOYEES OR 1 SPACE/200 SF FLOOR AREA PLUS 1 SPACE/PRACTICER PLUS 1 SPACE/2 EMPLOYEES OR 1 SPACE/200 SF FLOOR AREA PLUS 1 SPACE/2 EMPLOYEES WHICHEVER IS GREATER.

#### C. PARKING PROVIDED:

EXISTING PARKING GARAGE (D) 394 SPACES  
EXISTING PARKING AREA (E) 227 SPACES  
EXISTING PARKING AREA (Y) 19 SPACES  
EXISTING MRI PARKING AREA (C) 17 SPACES  
EXISTING PARKING AREA (I) (SURFACE PARKING) 166 SPACES  
EXISTING PARKING GARAGE (J) 483 SPACES  
EXISTING PARKING AREA (K) 85 SPACES  
EXISTING PARKING AREA (L) 74 SPACES  
EXISTING PARKING AREA (H) 47 SPACES  
EXISTING PARKING GARAGE (G) 585 SPACES  
TOTAL EXISTING SPACES: 2,068 SPACES  
EXISTING PARKING AREA (O) 27 SPACES  
EXISTING PARKING AREA (Q) (SURFACE PARKING) 56 SPACES  
EXISTING PARKING AREA (Q & Q) (REMOVED) - (82) SPACES  
(INCLUDING 2 HANDICAP SPACES)  
TOTAL PARKING AREA (O & Q) TO REMAIN (SURFACE PARKING) 0 SPACES  
PROPOSED PARKING GARAGE (O) 847 SPACES  
(INCLUDING 17 HANDICAP SPACES)

TOTAL SPACES PROVIDED: 2,913 SPACES  
INCLUDING 62 HANDICAP SPACES

#### D. BICYCLE PARKING:

1. CRITERIA: HOSPITAL: 5% OF REQUIRED SPACES  
1,843 SPACES x 0.05 = 92 SPACES  
PROVIDED: 114 EXISTING SPACES





2424 N.W. 47th St. Gainesville, Florida 32608-6628  
TEL: (352) 372-2540 FAX: (352) 372-7249  
www.edafl.com mail@edafl.com

EXISTING SYMBOLS & ABBREVIATIONS

Table listing existing symbols and abbreviations such as C/L for centerline, CON for corrugated metal pipe, and various utility symbols like water main, sewer, and gas lines.

PROPOSED UTILITY SYMBOLS

Table listing proposed utility symbols for water main, wastewater, sanitary sewer, and gas lines, including valves, fittings, and manholes.

GENERAL NOTES

1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

1. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS-INDEXES 600 THROUGH 685 (LATEST EDITIONS).

PAVING, GRADING, AND DRAINAGE NOTES

1. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

Table listing tree species and their sizes, such as 10" BAY, 11" CHINA BERRY, 12" CHERRY, etc.

LEGEND

Table listing various site features and their symbols, including tree barricades, silt fences, existing features to be removed, asphalt and concrete limits, and spot elevations.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRSED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS REFERENCED BY THE PLAN AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

Table with columns: No., Date, Comment.

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Professional Engineer of Record:

Megan M. Dickey, P.E. 85258  
Engineer Certificate No.

Project No: 18-026

Project Phase: CITY/GRU SUBMITTAL

Project Title:

NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE

Sheet Title: LEGENDS AND GENERAL NOTES

Design: MD Sheet No.:  
Drawn: JAB  
Checked: SJR  
Date: 08/17/18  
C005

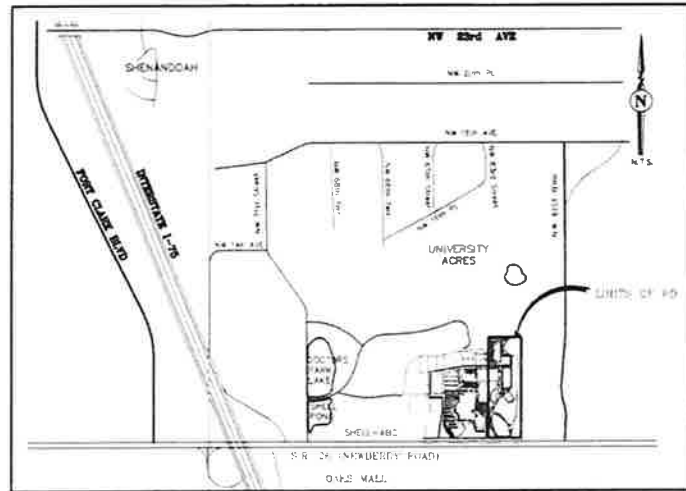


Know what's below. Call before you dig.

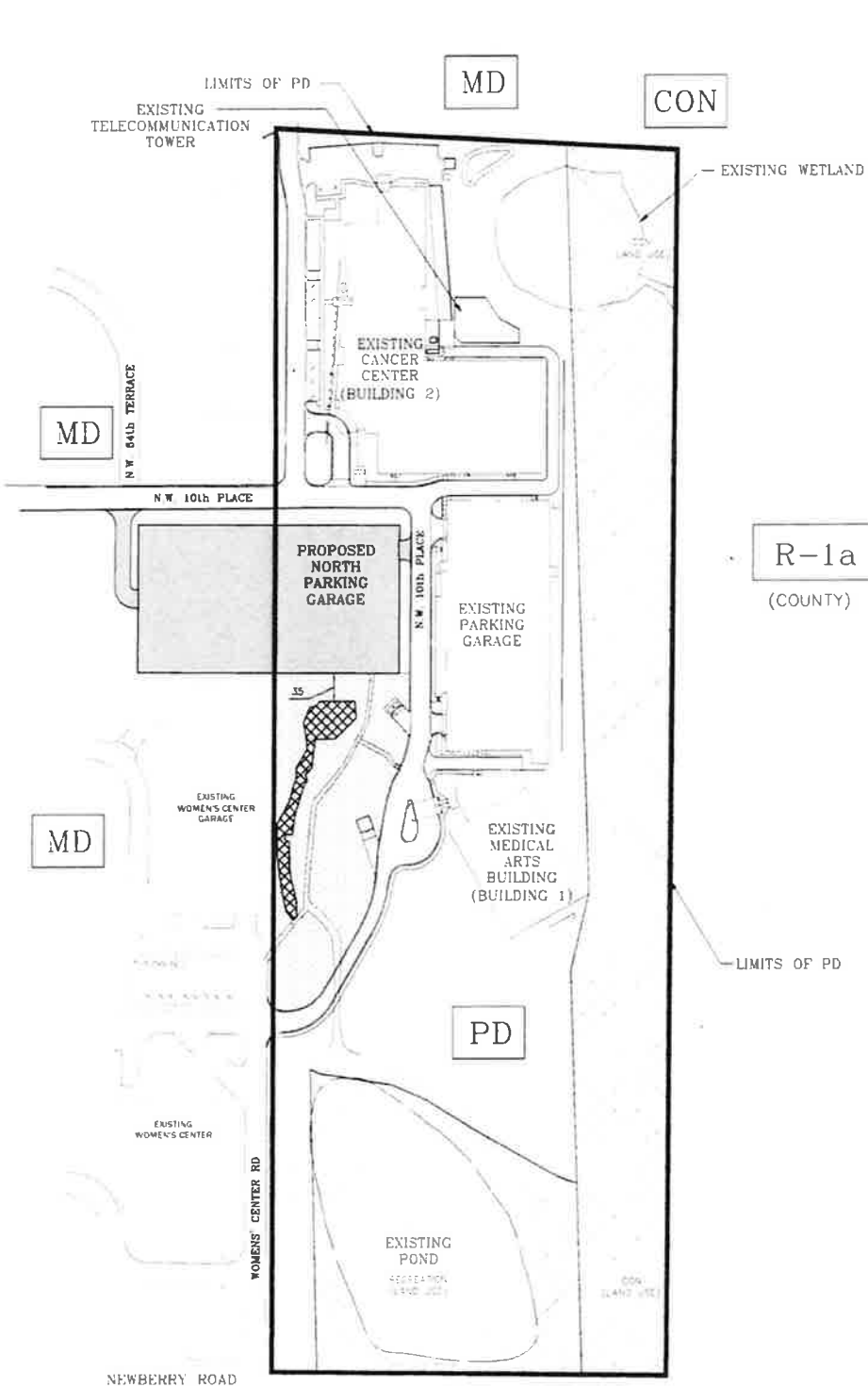
# NORTH FLORIDA REGIONAL MEDICAL CENTER

## P.D. LAYOUT PLAN

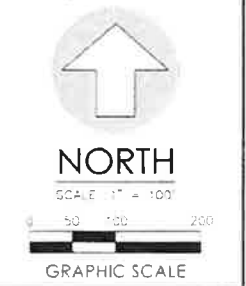
### CITY OF GAINESVILLE, FLORIDA



LOCATION MAP  
N.T.S.



PD DEVELOPMENT DATA		
MAXIMUM GROSS FLOOR AREA = 170,000 SF		
BUILDING	EXISTING SQUARE FOOTAGE	NOTE
1	59,995 SF	MEDICAL ARTS BUILDING (M.A.B.)
2	96,500 SF	CANCER CENTER
<b>TOTAL:</b>	<b>156,495 SF</b>	



No.	Date	Comment

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 Professional Engineer of Florida

Sergio J. Reyes, P.E.  
 Engineer 42311  
 License No.

Project No: 18-002  
 Project phase: CITY SUBMITTAL

Project title: NORTH FLORIDA REGIONAL MEDICAL CENTER

Sheet title: P.D. LAYOUT PLAN

Designed: CS  
 Drawn: J3  
 Checked: SS  
 Date: 07/26/2018  
**C1.00**

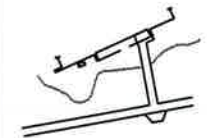
- NOTES**
- SQUARE FOOTAGES ASSOCIATED WITH STRUCTURED PARKING OR ACCESSORY STRUCTURES FOR THE TELECOMMUNICATIONS TOWER SHALL NOT COUNT AGAINST THE MAXIMUM ALLOWABLE BUILDING SQUARE FOOTAGE.
  - THIS P.D. IS LOCATED IN ZONE B OF THE CITY'S TMPA.
  - THE PROPOSED LOCATION OF THE NORTH PARKING GARAGE AND SURFACE WATER BUFFER AREA, AS SHOWN ON THE P.D. LAYOUT PLAN, IS APPROXIMATE. THE EXACT LOCATION SHALL BE DETERMINED AT THE DEVELOPMENT PLAN STAGE.

**LEGEND**

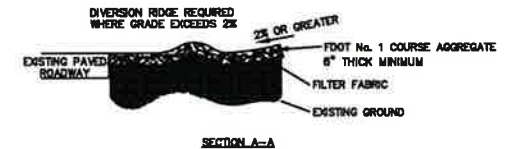
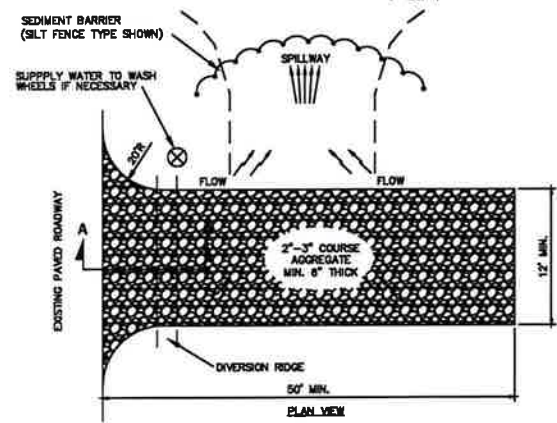
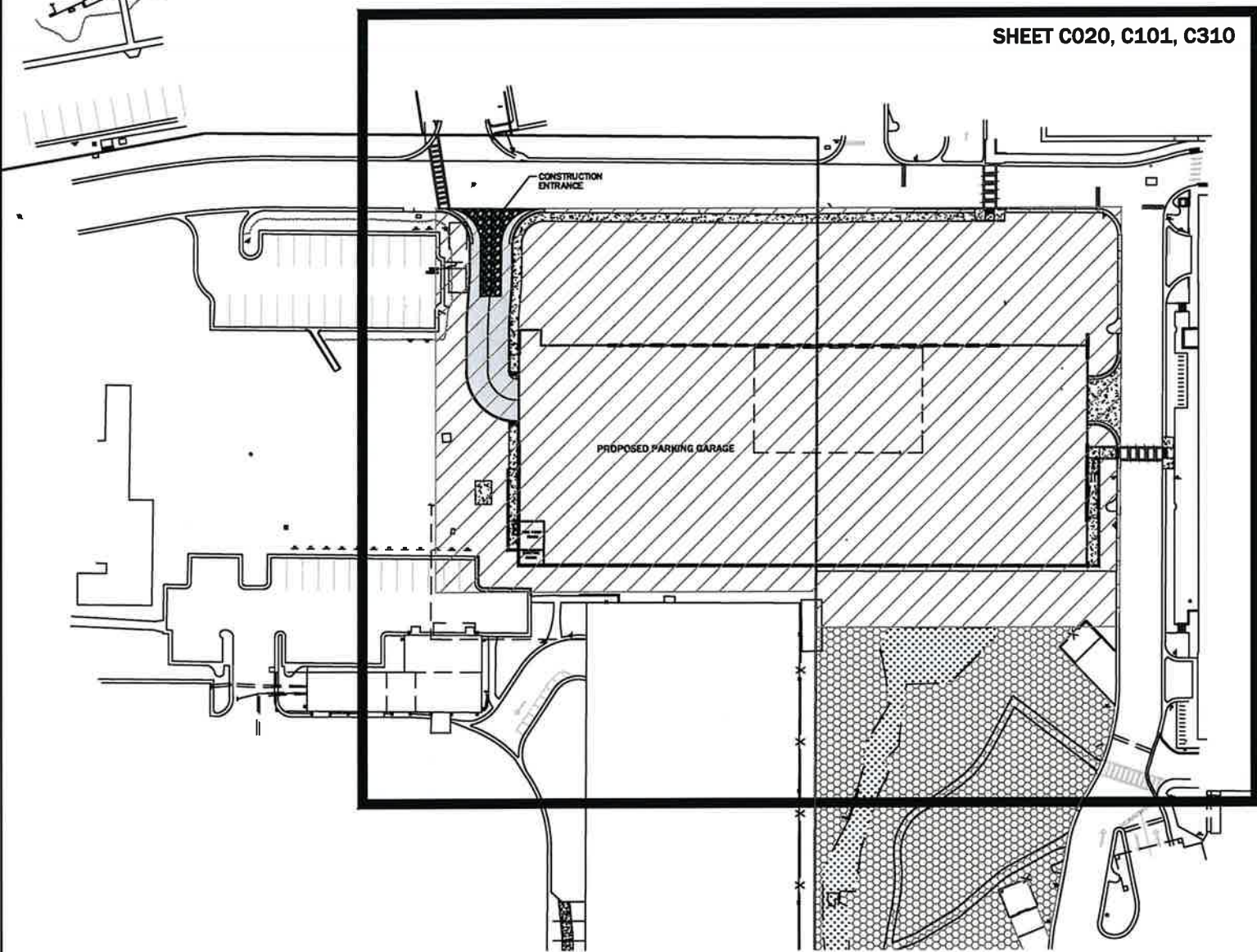
[Symbol]	CITY LAND USE MAP DESIGNATION "PROFESSION"
[Symbol]	CITY LAND USE MAP DESIGNATION "CON"
[Symbol]	SURFACE WATER BUFFER AREA
[Symbol]	SURFACE WATER BUFFER AREA (20' BY 10')
[Symbol]	LIMITS OF PD
[Symbol]	EXISTING ZONING (COUNTY)
[Symbol]	EXISTING ZONING (CITY)

DATE PLOTTED: 07/26/2018 10:00 AM

EXHIBIT "B" TO ORDINANCE NO. 180016

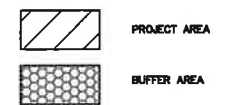


**SHEET C020, C101, C310**



- NOTE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

**LEGEND**

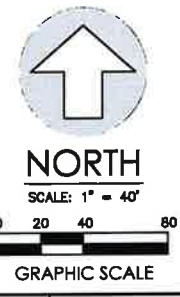


**DEMOLITION NOTES**

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SORE, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION / PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTOR'S EXPENSE.
6. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.
7. LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
8. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITY SERVICES UNLESS DIRECTED TO OTHERWISE.
9. EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
10. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 8" STANDARD CONCRETE CURBING.
11. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FOOT SECTION 2003, BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS).
12. ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS SHALL BE REMOVED AND 3/4" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
13. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
14. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
15. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.
16. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR REMOVAL OF BUILDING. CONTACT CITY OF GAINESVILLE BUILDING DEPARTMENT AT 354-5050.
17. CALL NATURE OPERATIONS AT (352) 363-8171 FOR A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS.
18. PRIOR TO BEGINNING ANY UTILITY DEMOLITION WORK THE CONTRACTOR SHALL SUBMIT A DEMOLITION REQUEST WITH A COPY OF THE DEMOLITION PLAN TO GRU NEW SERVICES (352)-363-1513 (NEWSERVICES@GRU.COM) TO COORDINATE ANY DEMOLITION ACTIVITIES AND TEMPORARY SERVICE INTERRUPTIONS. COORDINATE WITH THE APPROPRIATE UTILITY INSPECTOR THROUGH GRU NEW SERVICES 48 HOURS IN ADVANCE OF PERFORMING ANY UTILITY DEMOLITION WORK.

**GRU UTILITY NOTES**

1. THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR GRANT A BLANKET EASEMENT OVER THE ENTIRE PROPERTY, PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/W/R/W DESIGN STANDARDS.
2. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
3. POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES. NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
5. POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKES ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKE, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/W/R/W CONSTRUCTION DETAIL W-2.0), WITH A ONE-YEAR WARRANTY.
6. 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
7. WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS) TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
8. 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3' INSIDE CITY OF GAINESVILLE LIMITS).
9. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
10. ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS. A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.6 & 2.9, RW-2.6 & 2.9, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
11. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 35) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
12. WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS ADJACENT TO PAVED AREAS SHALL BE RATED FOR TRAFFIC LOAD BEARING. WASTEWATER CLEANOUT COVERS IN OTHER SIDEWALKS/WALKWAYS SHALL BE BRASS WITH A SQUARE RECESS.
13. MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A FIN ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 1:1 SLOPE TO FINISHED GRADE.
14. UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 8" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF CLEANOUT.
15. WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3" SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.
16. A/C CONDENSATE SHALL NOT FLOW INTO WASTEWATER SYSTEM.



No.	Date	Comment

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Professional Engineer of Record:

Meagan M. Dickey, P.E. 85258  
Engineer Certificate No.

Project No: 18-026

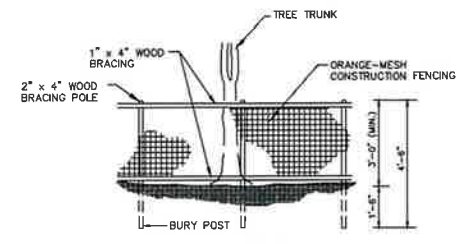
Project phase: CITY/GRU SUBMITTAL

Project title:

**NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE**

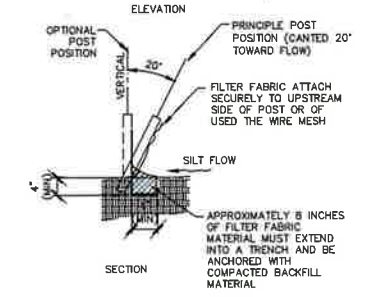
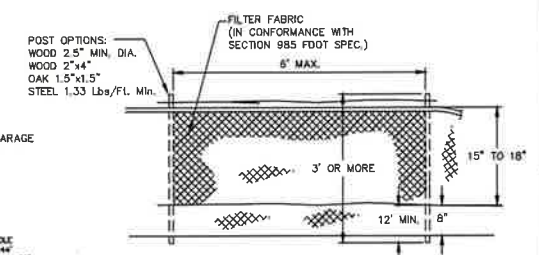
Sheet title: SHEET KEY PLAN

Designed: MD Sheet No.:  
Drawn: JAB  
Checked: SJR **C010**  
Date: 08/17/18



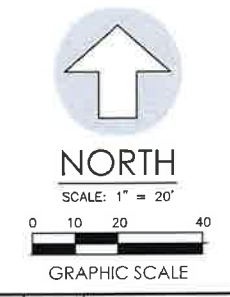
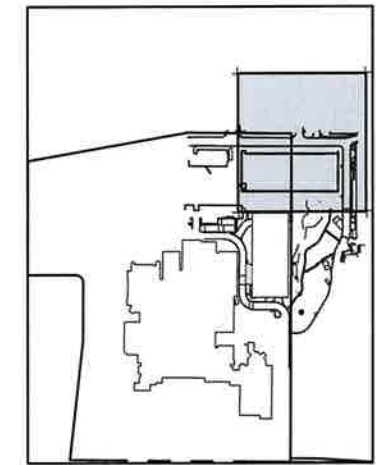
- NOTES:
- TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
  - EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
  - NO GRADING WITHIN FENCING. ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
  - NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
  - THE AREA ENCLOSED MUST BE AT OR OUTSIDE THE DRUPLINE FOR ALL HERITAGE AND CHAMPION TREES AND ALL REGULATED PINE AND PALM TREES, OR EQUAL TO 2/3 OF THE DRUPLINE OF THE TREE CANOPY FOR ALL OTHER REGULATED SPECIES, OR AT THE TREE ROOT PLATE WHERE ALLOWED BY CONSTRUCTION LIMITS.

**TREE BARRICADE FENCING DETAIL**  
N.T.S.



**TYPE III SILT FENCE DETAIL**  
N.T.S.

- LEGEND
- SILT FENCE
  - TREE BARRICADE
  - EXISTING FEATURES TO BE REMOVED (TBR)
  - LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
  - EXISTING TREE TO BE REMOVED



No.	Date	Comment

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Professional Engineer of Record:

Morgan M. Dickey, P.E. 85258  
Engineer Certificate No.

Project No: 18-026

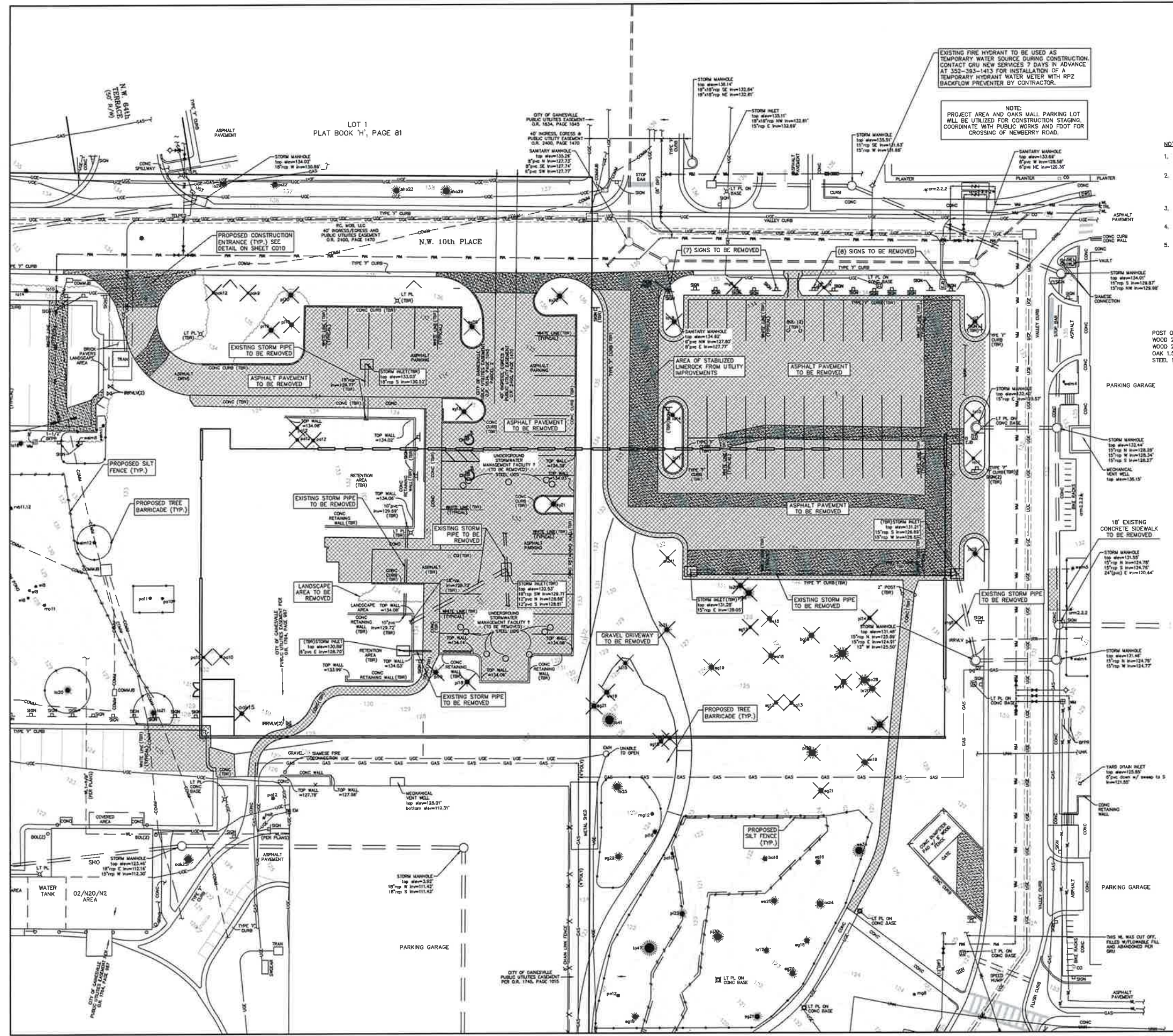
Project phase: CITY/GRU SUBMITTAL

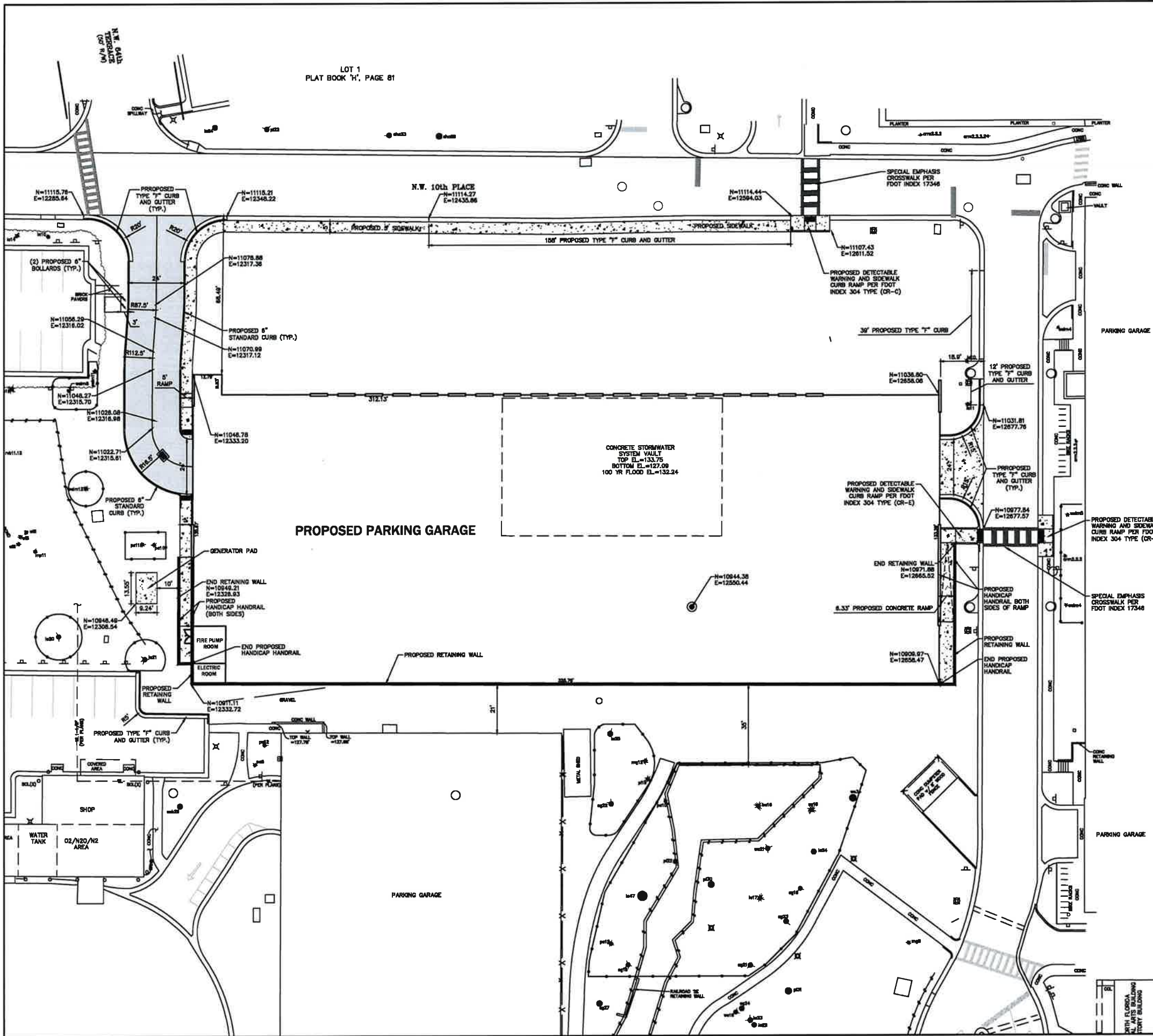
Project title:

**NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE**

Sheet title: **DEMOLITION PLAN**

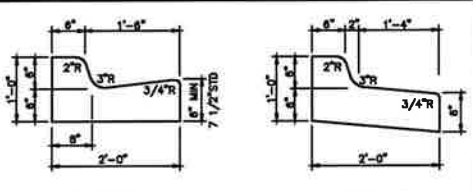
Designed: MD Sheet No.:  
Drawn: JAB  
Checked: SJR  
Date: 08/17/18 **C015**





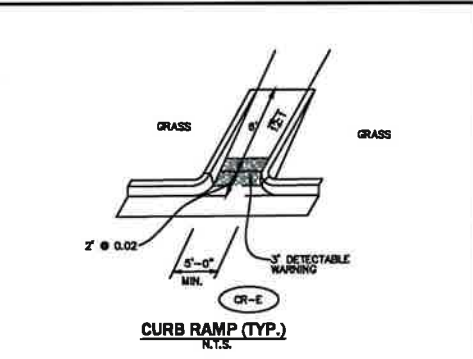
**GENERAL NOTES**

1. ALL PARKING LOT DIMENSIONS AND RADI SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NO CURB PROPOSED. ALL RADIAL PARKING IS 8' MIN. WIDTH AT NARROWEST POINT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
3. ELECTRIC SERVICE TO BE COORDINATED WITH G.R.U. ELECTRIC ENGINEERING DEPARTMENT.
4. SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.

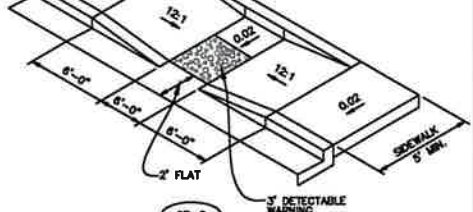


NOTE: WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS-SLOPE OF THE GUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS.

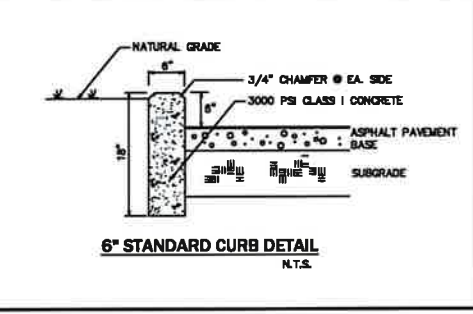
**TYPE 'F' CONCRETE CURB AND GUTTER**  
N.T.S.



**SIDEWALK RAMP DETAIL-FDOT INDEX 304**  
N.T.S.



**6\"/> N.T.S.**



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 www.edafl.com mail@edafl.com

**NORTH**  
 SCALE: 1" = 20'  
 GRAPHIC SCALE

No.	Date	Comment

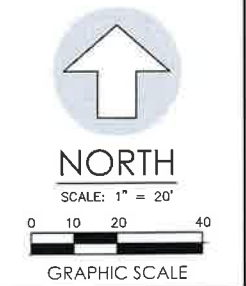
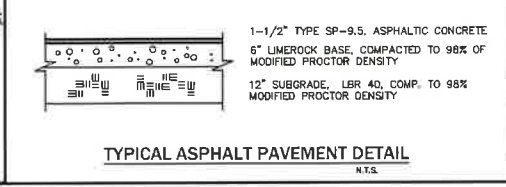
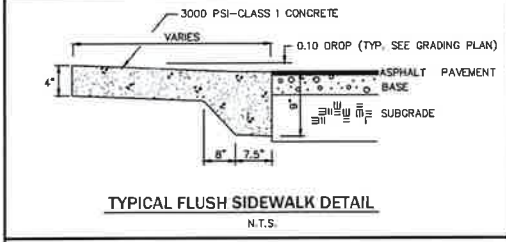
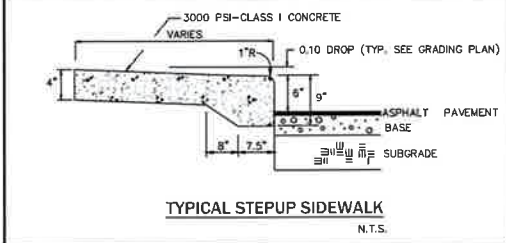
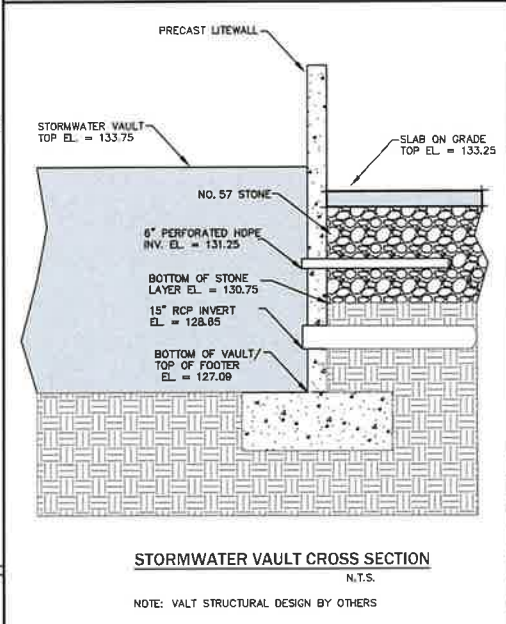
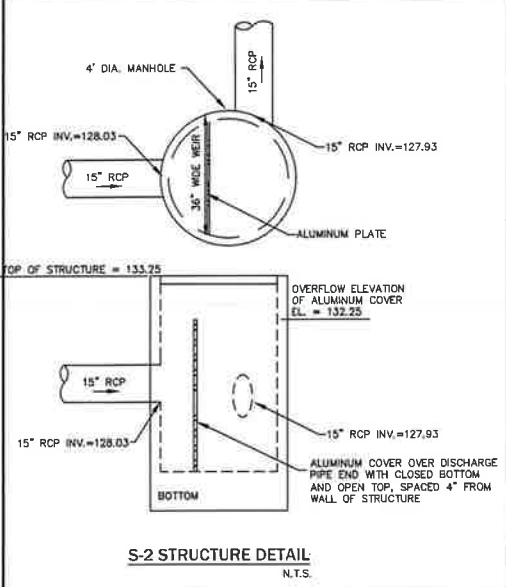
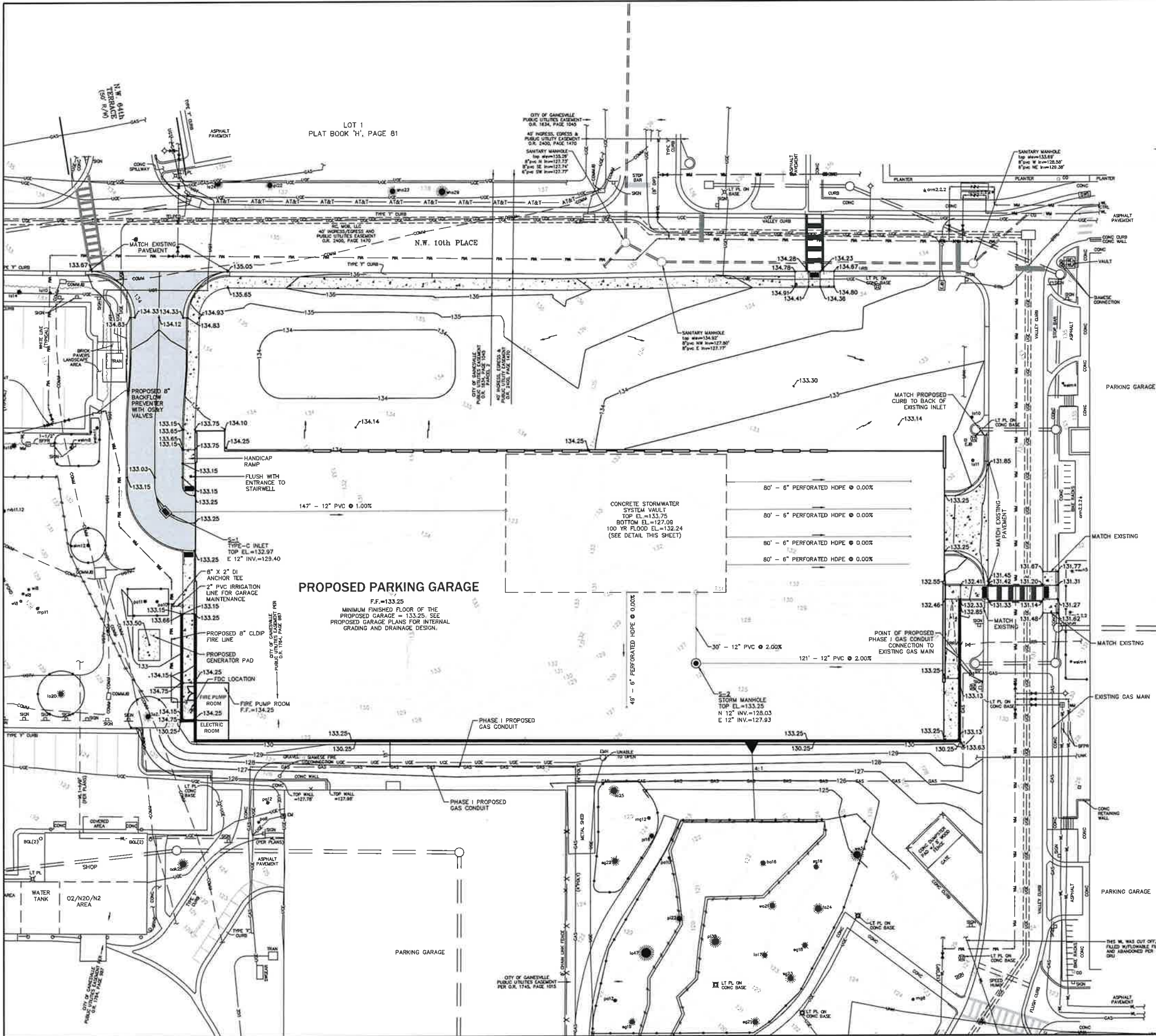
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 Professional Engineer of Record:

Megan M. Dickey, P.E. 85258  
 Engineer Certificate No.  
 Project No: 18-026  
 Project phase: CITY/GRU SUBMITTAL  
 Project title: NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE

Sheet title:  
 DIMENSION PLAN

Designed: MD Sheet No.:  
 Drawn: JAB  
 Checked: SJR  
 Date: 06/17/18  
**C101**

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No.	Date	Comment

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Professional Engineer of Record:

Meagan M. Dickey, P.E. #5278  
Engineer Certificate No.

Project No: 18-026  
Project phase: CITY/GRU SUBMITTAL

Project title: NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE

Sheet title: PAVING, GRADING AND UTILITY PLAN

Designed: MD Sheet No:  
Drawn: JAB  
Checked: SJR  
Date: 08/17/18  
**C201**

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THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-821.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES...

I. PROJECT INFORMATION:

PROJECT: NFMCC - NORTH PARKING GARAGE
COUNTY: ALACHUA COUNTY, FLORIDA
SECTION/TOWNSHIP/RANGE: S 33, T 9 SOUTH, R 19 EAST

II. SITE DESCRIPTION:

- 1. THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A 7 LEVEL PARKING GARAGE WITH ASSOCIATED PAVING, DRAINAGE AND UTILITY IMPROVEMENTS.
2. THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY GSE.

III. CONTROLS:

- THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.
1. THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES:

- 1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE.
2. TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THIS DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.

SEDIMENTATION PRACTICES:

- 1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS.
2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN.

V. STORMWATER MANAGEMENT:

- 1. THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS.
2. TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING BMP'S: 1 CONCRETE STORMWATER VAULT AND 6 UNDERDRAIN PIPES THAT DISCHARGE TO A 18" GRAVEL LAYER BELOW THE PROPOSED GARAGE.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- 1. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
2. THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.

VII. APPROVED STATE OR LOCAL PLANS:

- 1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM II AND IV).
2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNPREDICTABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE.

- 1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS.
2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION.

- 3. SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
4. TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.

- 6. DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION.
8. MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.

- 11. INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
12. OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SOOIR HAS OCCURRED.

- 13. DRY RETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTFALLS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

- 14. WET DETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTFALLS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

IX. INSPECTIONS:

- 1. THE OWNER AND/OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN.

- 3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY.

- 4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

- 6. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE.

X. NON-STORMWATER DISCHARGES:

- 1. THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FINE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE.

- 2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

- 1. ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT.

CERTIFICATION STATEMENT

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

CONTRACTING FIRM: ADDRESS: CITY, STATE, ZIP CODE: TELEPHONE: FAX:

PROJECT NAME: NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE
PROJECT ADDRESS: PROJECT ADDRESS: CITY, STATE, ZIP CODE: FLORIDA

NAME: SIGNATURE: DATE:



SCALE: AS SHOWN

STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE
OWNER:
CONTRACTOR:
FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

Table with 8 columns: Date of Inspection, Location, Rain data, Type of control (see below), Date installed / modified, Current Condition (see below), Observations or Corrective Action / Other Remarks, Inspected By.

CONDITION CODE: G = Good, M = Marginal, needs maintenance or replacement soon, O = Other, C = Needs to be cleaned, P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES table listing 28 items: 1. Silt Fence, 2. Earth dikes, 3. Structural diversion, 4. Swale, 5. Sediment Trap, 6. Check dam, 7. Subsurface drain, 8. Pipe slope drain, 9. Level spreaders, 10. Storm drain inlet protection, 11. Vegetative buffer strip, 12. Vegetative preservation area, 13. Retention Pond, 14. Construction entrance stabilization, 15. Perimeter ditch, 16. Curb and gutter, 17. Paved road surface, 18. Rock outlet protection, 19. Reinforced soil retaining system, 20. Gabion, 21. Sediment Basin, 22. Temporary seed / sod, 23. Permanent seed / sod, 24. Mulch, 25. Hay Bales, 26. Geotextile, 27. Rip-rap, 28. Tree protection, 29. Detention pond, 30. Retention pond, 31. Waste disposal / housekeeping, 32. Dam, 33. Sand Bag, 34. Other

INSPECTOR INFORMATION: Name, Qualification, Date

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.






I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Project information table with columns: No., Date, Comment. Includes fields for Project No. (18-026), Project Name (CITY/GRU SUBMITTAL), Project Title (NORTH FLORIDA REGIONAL MEDICAL CENTER NORTH PARKING GARAGE), Sheet No. (C301), Date (08/17/18).

**NOTES:**

1. DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY WALLS WHERE NO STUD WALLS EXIST, U.N.O.
2. SEE A30 SERIES FOR ENLARGED SCALE PLANS.
3. SEE A60 SERIES FOR ARCHITECTURAL DETAILS.
4. SEE A70 SERIES FOR WALL PARTITION DETAILS.
5. SEE A80 SERIES FOR DOOR SCHEDULE AND DETAILS.
6. SEE PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS.
7. PROVIDE 2% MAXIMUM CROSS SLOPE AND 1/20 MAXIMUM RUNNING SLOPE IN ALL DIRECTIONS THROUGHOUT FOOTPRINT OF ADA PARKING STALLS AND ADJACENT LOADING AISLES.
8. PROVIDE 2% MAXIMUM CROSS SLOPE AND 1/20 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
9. PARKING SPACES FOR VANS, ACCESSIBLE AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 8'-2" MINIMUM. THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7'-0". VEHICLE AND PEDESTRIAN AREAS ACCOMMODATING VAN-ACCESSIBLE PARKING SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

**LEGEND:**

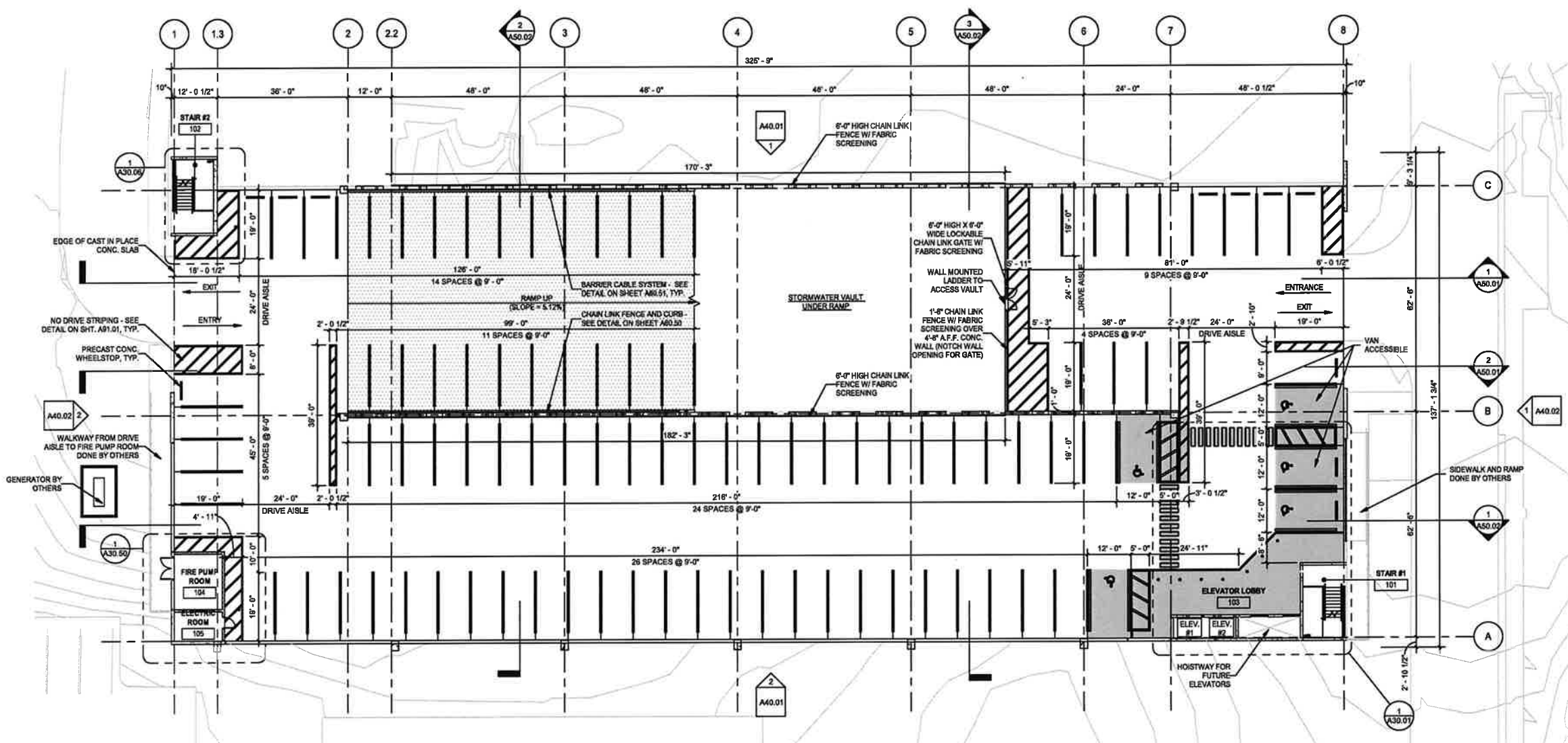
- CMU PARTITION 
- PRECAST CONCRETE 
- RAMP DESIGNATION 
- WATERPROOFING DESIGNATION 
- ACCESSIBLE PATH DESIGNATION 

**FINFROCK**  
 FINFROCK DESIGN, L.L.C.  
 2400 Apopka Boulevard  
 Apopka, Florida 32703  
 407.283.4000 ■ 800.738.7224 ■ www.finfrock.com

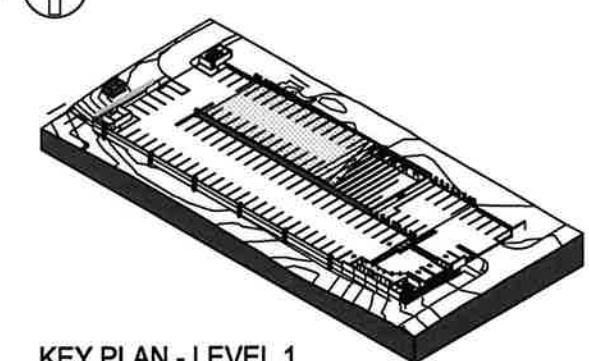
FLORIDA  
 NFRMC PARKING GARAGE  
 GAINESVILLE  
 LEVEL 1 FLOOR PLAN

REV.	DATE	DESCRIPTION

PROJECT NUMBER: 18010  
 DRAWN BY: Hester  
 CHECKED BY: Hester  
**A10.01**



**LEVEL 1 FLOOR PLAN** 1  
 1/8" = 1'-0" A10.01



**KEY PLAN - LEVEL 1**

11/20/2018 10:28 AM C:\Users\hester\Documents\18010\NFRMC\A10.01.dwg

ALL DESIGN, DIMENSIONS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF FINFROCK DESIGN, L.L.C. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE DESIGN, DIMENSIONS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE, WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FINFROCK DESIGN, L.L.C. REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SECTION 1060 UNLESS AUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET VIOLATION IN VIOLATION OF 18 U.S.C. 1831 ET. SEC. AND OTHER LAWS. THE DESIGN, DIMENSIONS, AND ARRANGEMENTS DISCLOSED HEREIN MAY BE PATENTED OR BE THE SUBJECT OF PENDING PATENT APPLICATIONS.

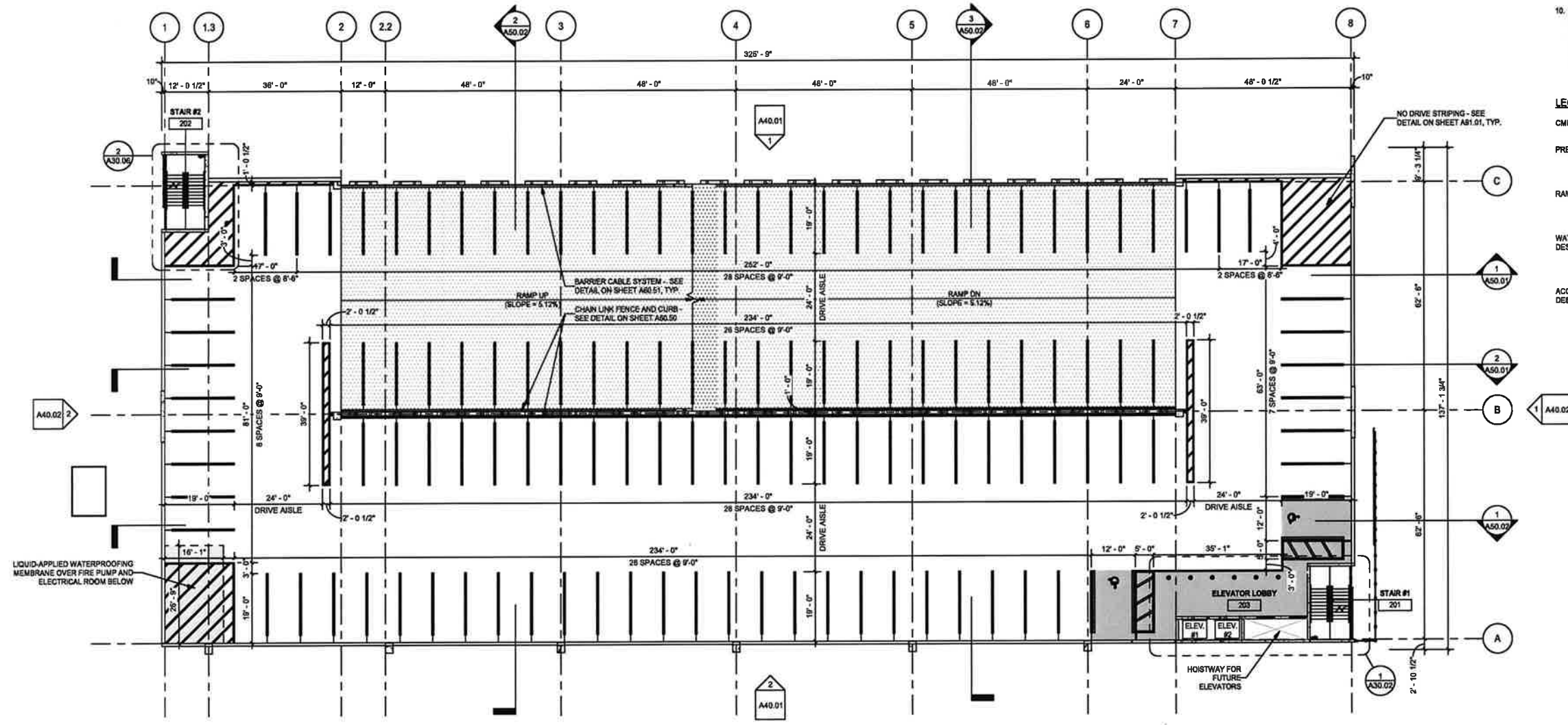


**NOTES:**

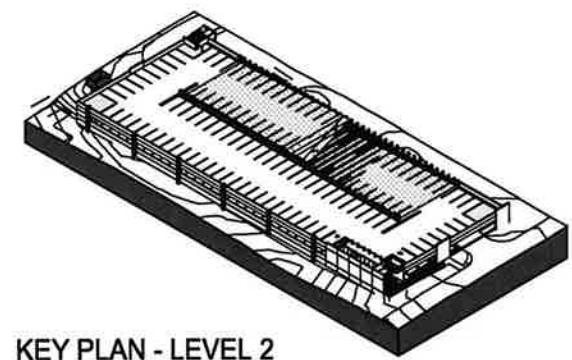
1. DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY WALLS WHEN NO STUD WALLS EXIST, U.N.O.
2. SEE A30 SERIES FOR ENLARGED SCALE PLANS.
3. SEE A60 SERIES FOR ARCHITECTURAL DETAILS.
4. SEE A70 SERIES FOR WALL PARTITION DETAILS.
5. SEE A80 SERIES FOR DOOR SCHEDULE AND DETAILS.
6. SEE PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS.
7. PROVIDE 2% MAXIMUM SLOPE IN ALL DIRECTIONS THROUGHOUT FOOTPRINT OF ADA PARKING STALLS AND ADJACENT LOADING AISLES.
8. PROVIDE 2% MAXIMUM CROSS SLOPE AND 1.20 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
9. PARKING SPACES FOR VANS, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 8'-2" MINIMUM.
10. THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7'-0". VEHICLE AND PEDESTRIAN AREAS ACCOMMODATING VAN-ACCESSIBLE PARKING SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

**LEGEND:**

- CMU PARTITION
- PRECAST CONCRETE
- RAMP DESIGNATION
- WATERPROOFING DESIGNATION
- ACCESSIBLE PATH DESIGNATION



**LEVEL 2 FLOOR PLAN** 1  
1/16" = 1'-0" A10.02



**KEY PLAN - LEVEL 2**

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FLORIDA  
NFRMC PARKING GARAGE  
LEVEL 2 FLOOR PLAN  
GAINESVILLE

REV.	DATE	DESCRIPTION

CAD FILE

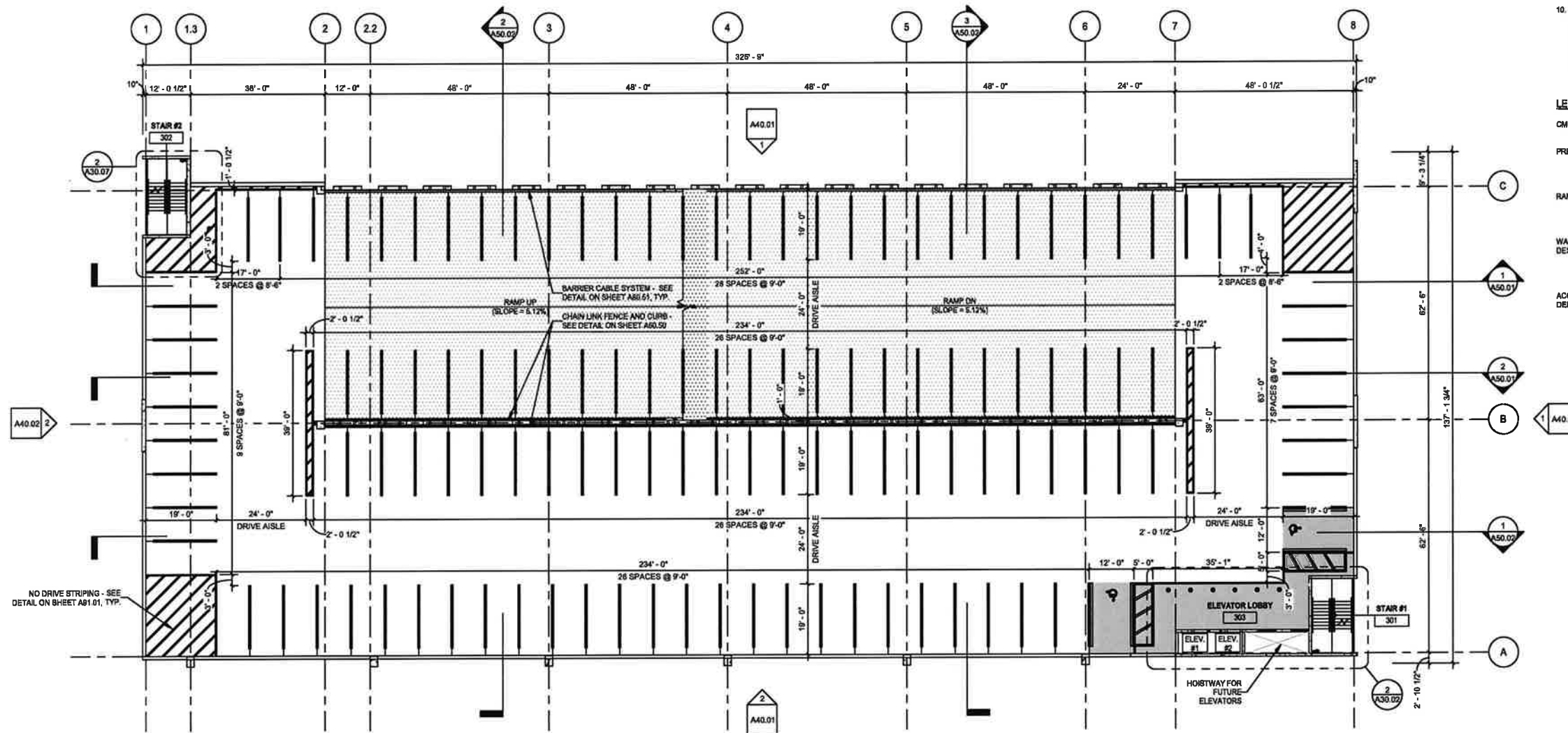
PROJECT NUMBER: 18010  
DRAWN BY: K.Garner  
CHECKED BY: K.Garner

**A10.02**

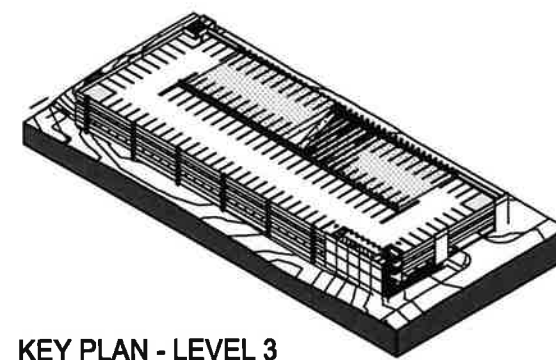
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**LEVEL 3 FLOOR PLAN**  
 1/16" = 1'-0"  
 1 A10.03



**KEY PLAN - LEVEL 3**

**NOTES:**

- DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY WALLS WHERE NO STUD WALLS EXIST, U.N.O.
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- SEE A60 SERIES FOR ARCHITECTURAL DETAILS.
- SEE A70 SERIES FOR WALL PARTITION DETAILS.
- SEE A80 SERIES FOR DOOR SCHEDULE AND DETAILS.
- SEE PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- PROVIDE 2% MAXIMUM SLOPE IN ALL DIRECTIONS THROUGHOUT FOOTPRINT OF ADA PARKING STALLS AND ADJACENT LOADING AISLES.
- PROVIDE 2% MAXIMUM CROSS SLOPE AND 1:20 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
- PARKING SPACES FOR VANS, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 8'-0" MINIMUM.
- THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7'-0" VEHICLE AND PEDESTRIAN AREAS ACCOMMODATING VAN-ACCESSIBLE PARKING SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

**LEGEND:**

- CMU PARTITION [Patterned Box]
- PRECAST CONCRETE [Patterned Box]
- RAMP DESIGNATION [Patterned Box]
- WATERPROOFING DESIGNATION [Patterned Box]
- ACCESSIBLE PATH DESIGNATION [Patterned Box]

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NFRMC PARKING GARAGE

GAINESVILLE FLORIDA

LEVEL 3 FLOOR PLAN

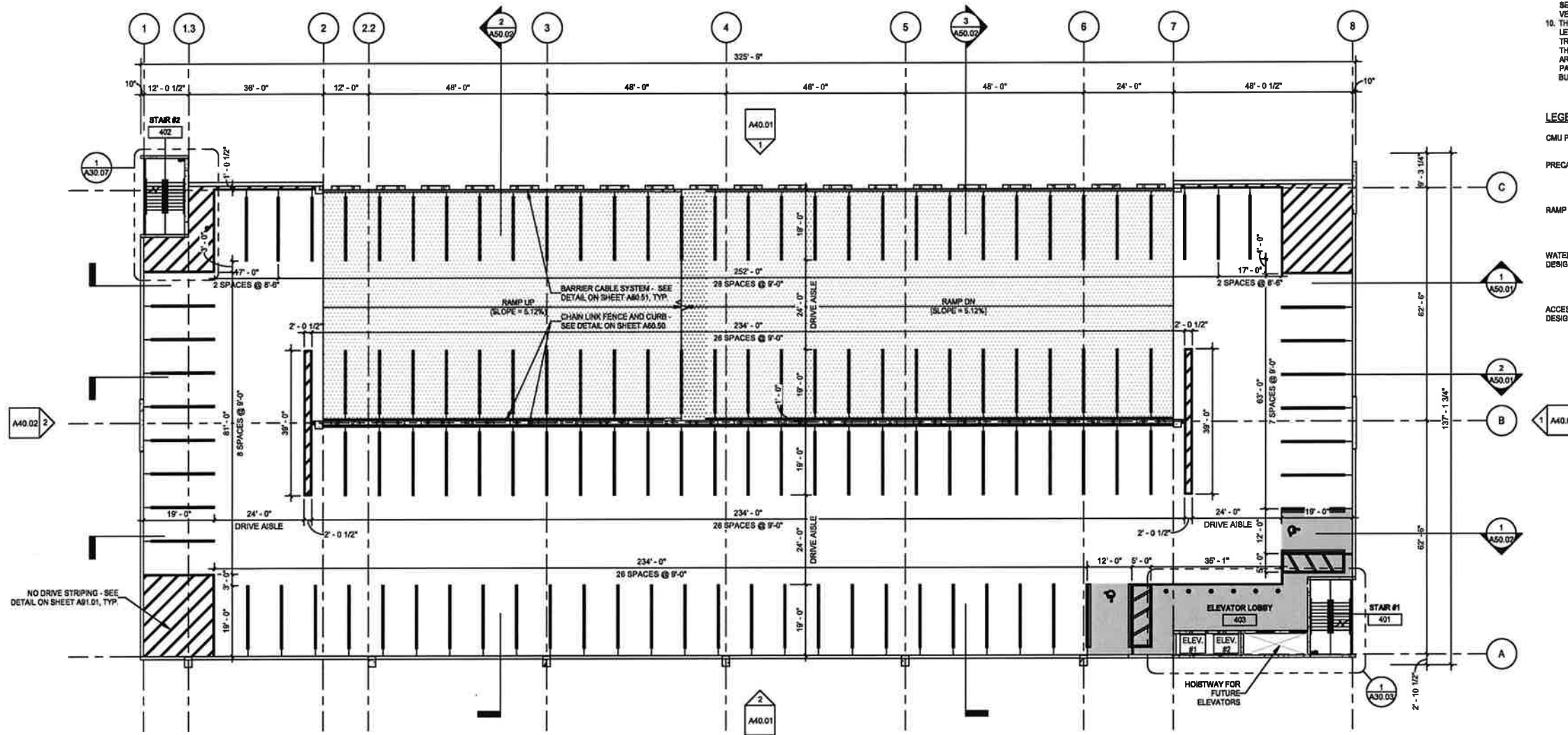
REV.	DATE	DESCRIPTION

PROJECT NUMBER: 16010  
 DRAWN BY: Kibara  
 CHECKED BY: Kibara

**A10.03**

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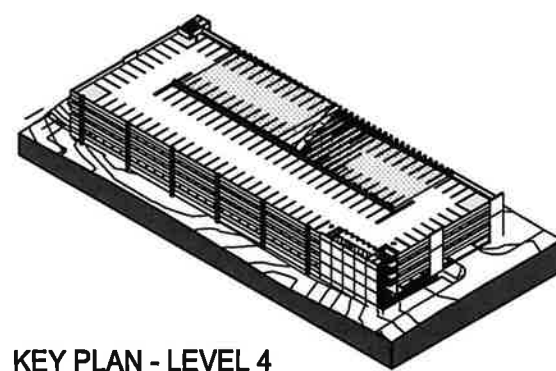
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- NOTES:**
1. DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY WALLS WHERE NO STUD WALLS EXIST, U.N.C.
  2. SEE A30 SERIES FOR ENLARGED SCALE PLANS.
  3. SEE A60 SERIES FOR ARCHITECTURAL DETAILS.
  4. SEE A70 SERIES FOR WALL PARTITION DETAILS.
  5. SEE A80 SERIES FOR DOOR SCHEDULE AND DETAILS.
  6. SEE PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS.
  7. PROVIDE 2% MAXIMUM SLOPE IN ALL DIRECTIONS THROUGHOUT FOOTPRINT OF ADA PARKING STALLS AND ADJACENT LOADING AISLES.
  8. PROVIDE 2% MAXIMUM CROSS SLOPE AND 1:20 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
  9. PARKING SPACES FOR VANS, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 8'-2" MINIMUM.
  10. THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7'-0". VEHICLE AND PEDESTRIAN AREAS ACCOMMODATING VAN-ACCESSIBLE PARKING SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

- LEGEND:**
- CMU PARTITION
  - PRECAST CONCRETE
  - RAMP DESIGNATION
  - WATERPROOFING DESIGNATION
  - ACCESSIBLE PATH DESIGNATION

**LEVEL 4 FLOOR PLAN** 1  
1/16" = 1'-0" A10.04



**KEY PLAN - LEVEL 4**

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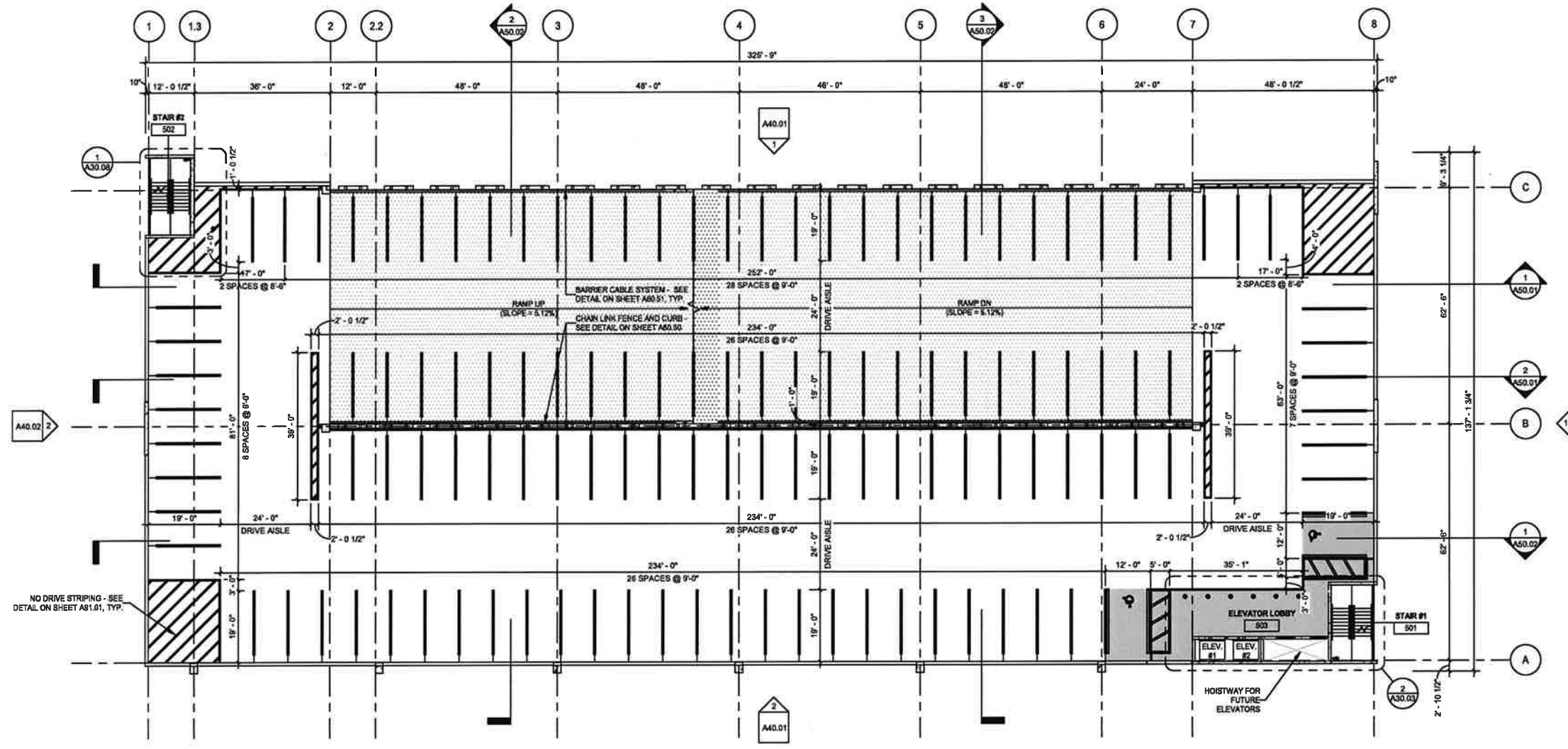
NFRMC PARKING GARAGE  
FLORIDA  
LEVEL 4 FLOOR PLAN

NO.	DATE	DESCRIPTION

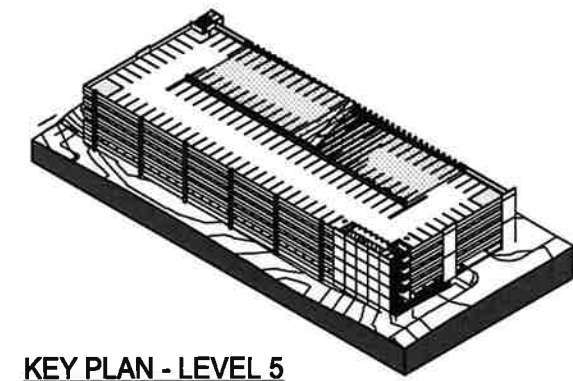
CMR 6117

PROJECT NUMBER: 18010  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

**A10.04**



**LEVEL 5 FLOOR PLAN**  
 1/16" = 1'-0"  
 1 A10.05



**KEY PLAN - LEVEL 5**

**NOTES:**

1. DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY WALLS WHERE NO STUD WALLS EXIST, U.N.O.
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3. SEE A60 SERIES FOR ARCHITECTURAL DETAILS.
4. SEE A70 SERIES FOR WALL PARTITION DETAILS.
5. SEE A80 SERIES FOR DOOR SCHEDULE AND DETAILS.
6. SEE PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS.
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8. PROVIDE 2% MAXIMUM CROSS SLOPE AND 1:20 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
9. PARKING SPACES FOR VANS, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 8'-2" MINIMUM. THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7'-0". VEHICLE AND PEDESTRIAN AREAS ACCOMMODATING VAN-ACCESSIBLE PARKING SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

**LEGEND:**

- CMU PARTITION
- PRECAST CONCRETE
- RAMP DESIGNATION
- WATERPROOFING DESIGNATION
- ACCESSIBLE PATH DESIGNATION

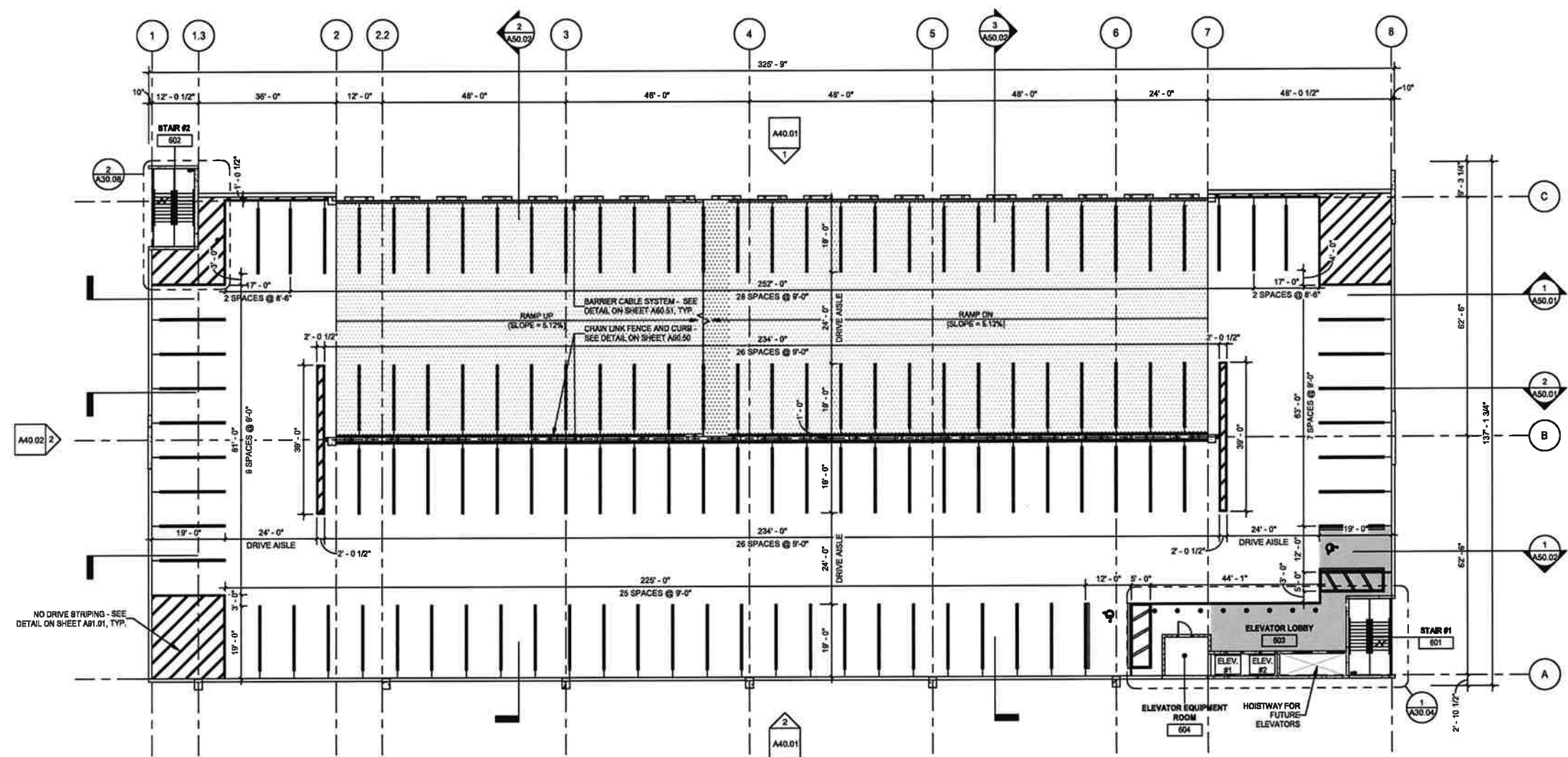
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**NFRMC PARKING GARAGE**  
 FLORIDA  
**LEVEL 5 FLOOR PLAN**

REV	DATE	DESCRIPTION

CAD BY:	
PROJECT NUMBER:	18010
DRAWN BY:	Kietona
CHECKED BY:	Kietona
<b>A10.05</b>	

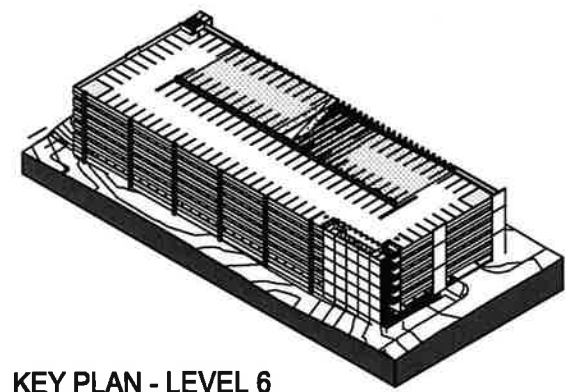
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- NOTES:**
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  7. PROVIDE 2% MAXIMUM SLOPE IN ALL DIRECTIONS THROUGHOUT FOOTPRINT OF ADA PARKING STALLS AND ADJACENT LOADING AISLES.
  8. PROVIDE 2% MAXIMUM CROSS SLOPE AND 120 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
  9. PARKING SPACES FOR VANS, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 8'-2" MINIMUM. THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7'-0". VEHICLE AND PEDESTRIAN AREAS ACCOMMODATING VAN-ACCESSIBLE PARKING SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

- LEGEND:**
- CMU PARTITION
  - PRECAST CONCRETE
  - RAMP DESIGNATION
  - WATERPROOFING DESIGNATION
  - ACCESSIBLE PATH DESIGNATION

**LEVEL 6 FLOOR PLAN** 1  
1/16" = 1'-0" A10.06



**KEY PLAN - LEVEL 6**

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FLORIDA  
GAINESVILLE  
NFRMC PARKING GARAGE  
LEVEL 6 FLOOR PLAN

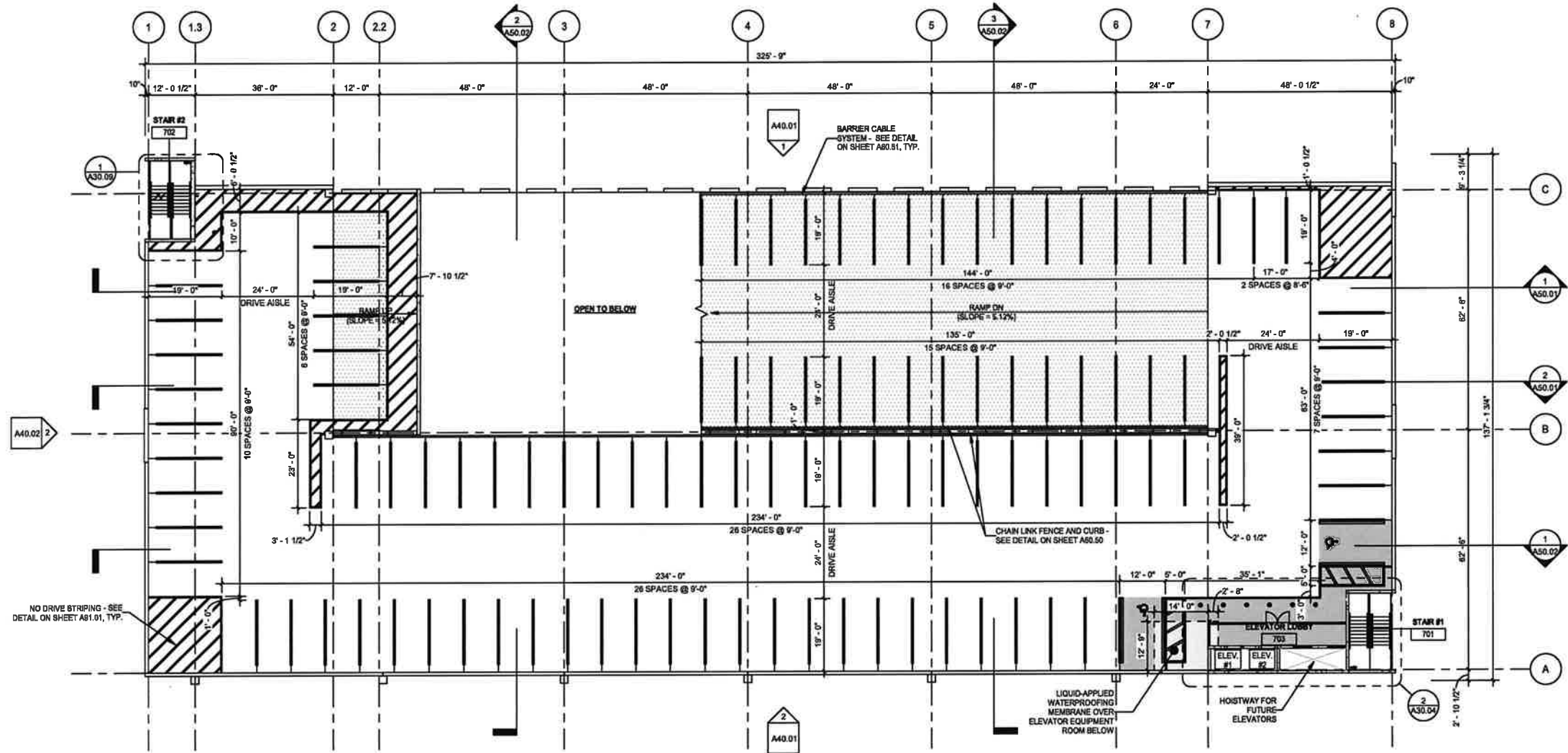
REV.	DATE	DESCRIPTION

CMU #111

PROJECT NUMBER: 18010  
DESIGNED BY: KBaron  
CHECKED BY: KBaron

**A10.06**

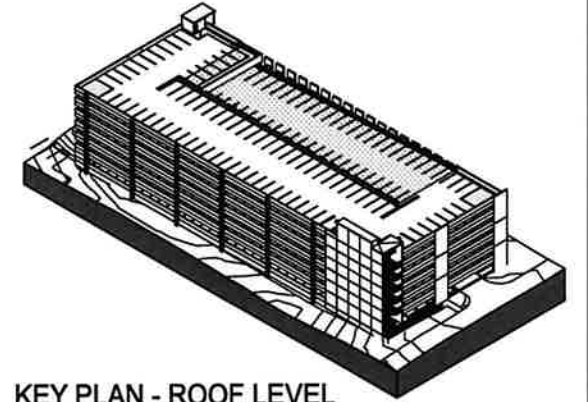
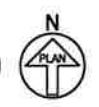
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  - SEE A70 SERIES FOR WALL PARTITION DETAILS.
  - SEE A80 SERIES FOR DOOR SCHEDULE AND DETAILS.
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  - PROVIDE 2% MAXIMUM SLOPE IN ALL DIRECTIONS THROUGHOUT FOOTPRINT OF ADA PARKING STALLS AND ADJACENT LOADING AISLES.
  - PROVIDE 2% MAXIMUM CROSS SLOPE AND 120 MAXIMUM RUNNING SLOPE AT ALL ACCESSIBLE ROUTES.
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- LEGEND:**
- CMU PARTITION
  - PRECAST CONCRETE
  - RAMP DESIGNATION
  - WATERPROOFING DESIGNATION
  - ACCESSIBLE PATH DESIGNATION

**ROOF LEVEL FLOOR PLAN** 1  
1/16" = 1'-0" A10.07



**KEY PLAN - ROOF LEVEL**

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NFRMC PARKING GARAGE  
 GAMEVILLE, FLORIDA  
 ROOF LEVEL FLOOR PLAN

REV.	DATE	DESCRIPTION

PROJECT NUMBER: 19010  
 DRAWN BY: Hester  
 CHECKED BY: Hester

**A10.07**

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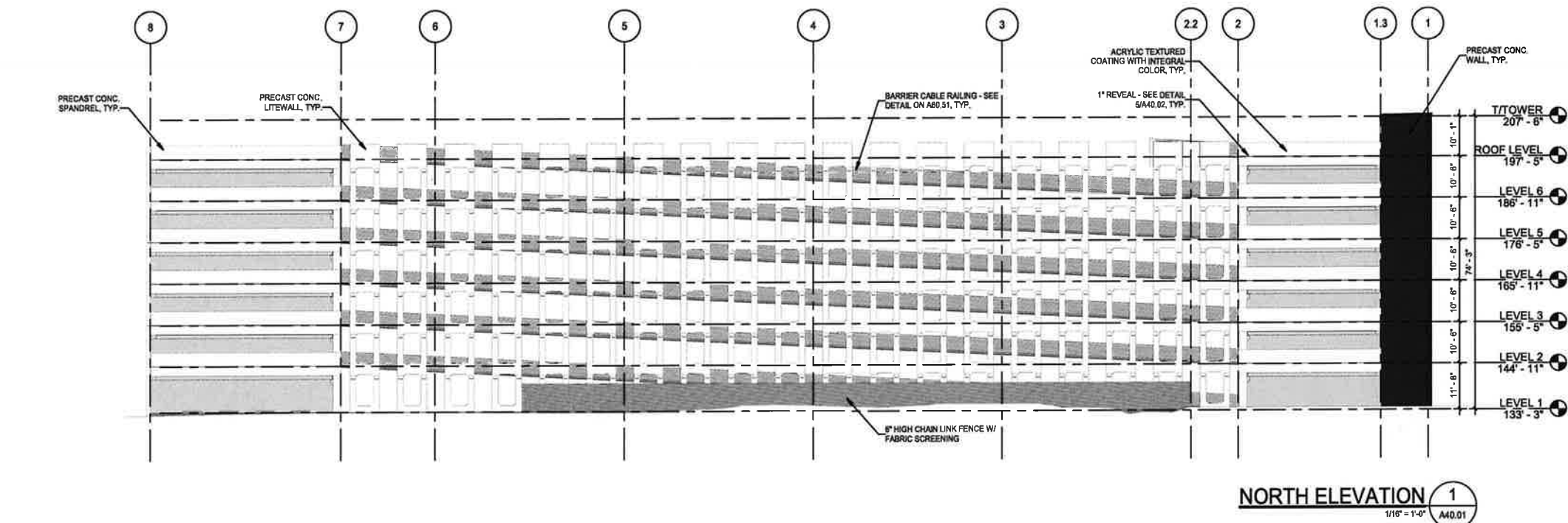
OPENINGS IN ELEVATION



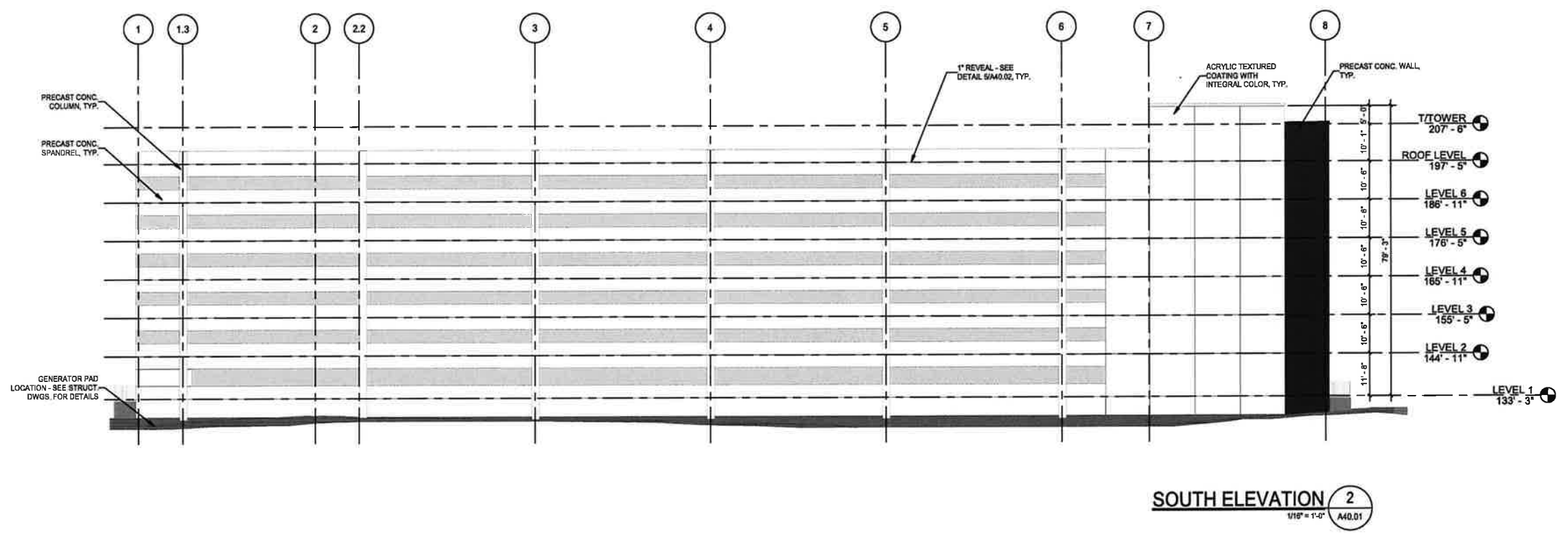
ACRYLIC TEXTURED COATING;  
COLOR = WHITE



ACRYLIC TEXTURED COATING;  
COLOR = RED



**NORTH ELEVATION 1**  
1/16" = 1'-0" A40.01



**SOUTH ELEVATION 2**  
1/16" = 1'-0" A40.01

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FLORIDA  
 GAINESVILLE  
 NFRMC PARKING GARAGE  
 EXTERIOR BUILDING ELEVATIONS

REV.	DATE	DESCRIPTION

CAD #17



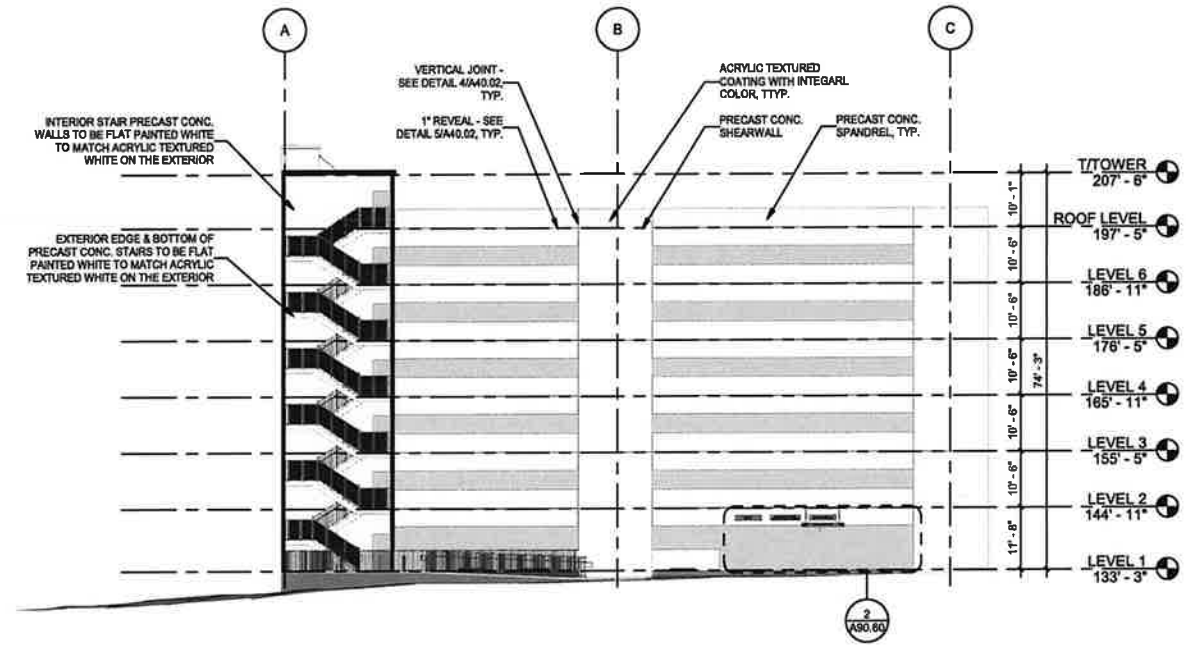
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DRAWN BY: KGenere  
CHECKED BY: KGenere

**A40.01**

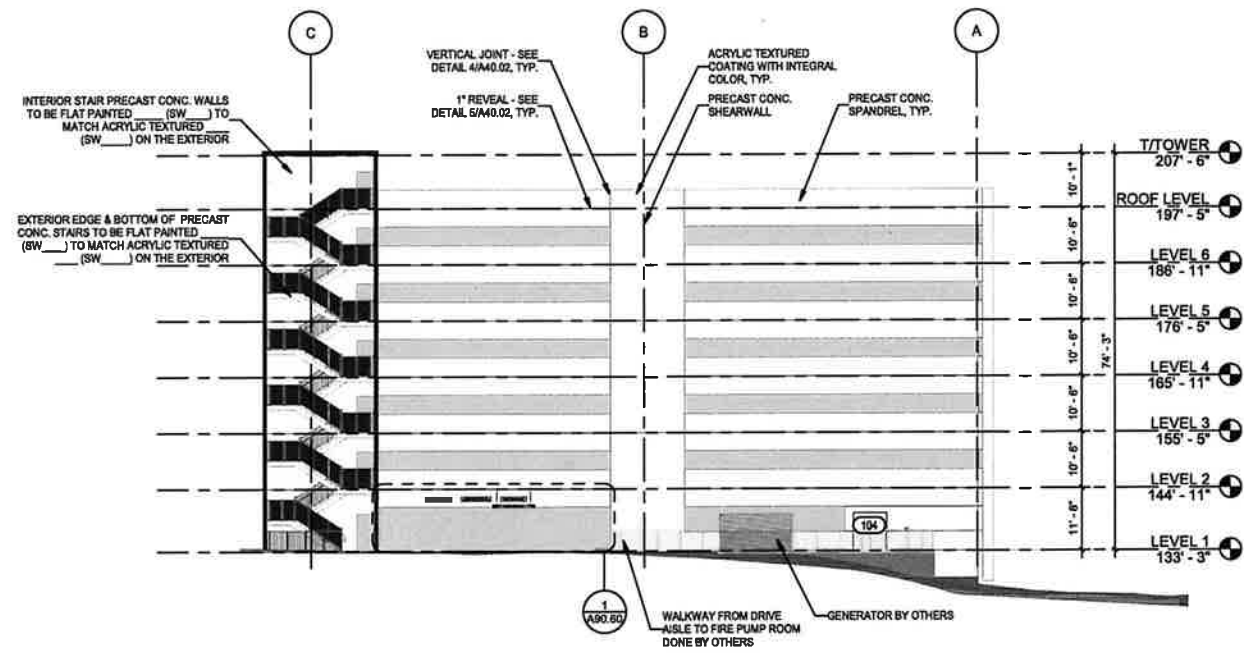
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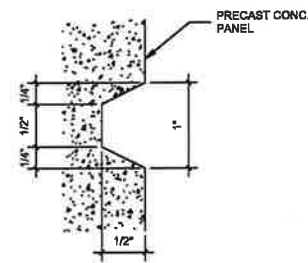
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- ACRYLIC TEXTURED COATING; COLOR = WHITE [White Box]
- ACRYLIC TEXTURED COATING; COLOR = RED [Red Box]



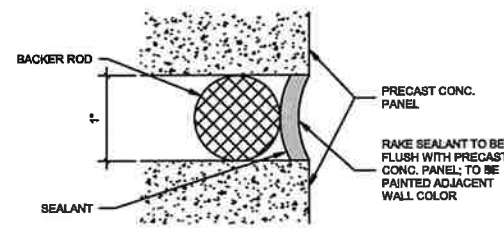
**EAST ELEVATION 1**  
1/16" = 1'-0" A40.02



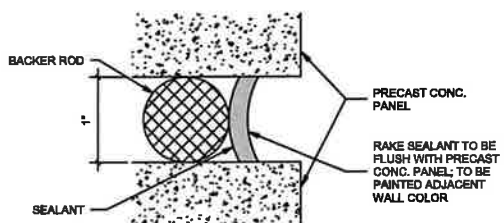
**WEST ELEVATION 2**  
1/16" = 1'-0" A40.02



**TYP. REVEAL 5**  
1/2" = 1'-0" A40.02



**HORIZ. & VERT. FLUSH JOINTS 3**  
1/2" = 1'-0" A40.02



**HORIZ. & VERT. JOINTS 4**  
1/2" = 1'-0" A40.02

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FLORIDA  
NFRMC PARKING GARAGE  
GAINESVILLE  
EXTERIOR BUILDING ELEVATIONS

NO.	DATE	DESCRIPTION



PROJECT NUMBER: 18010  
DRAWN BY: [Name]  
CHECKED BY: [Name]

A40.02

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PROJECT NAME:  
**NFRMC  
NORTH  
PARKING  
GARAGE PH 2**  
Gainesville, FL

for  
**North Florida Regional  
Medical Center**

SUBCONSULTANT:

SCALE:

PROJECT NO: 17-094  
CLIENTS NO:  
ISSUED FOR: SITE PLAN REVIEW  
ISSUED DATE: 15 AUG 2018  
REVISIONS:

SCALE:

AS SHOWN

SHEET TITLE:

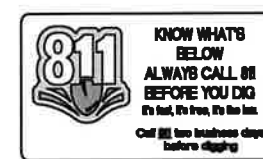
**LANDSCAPE NOTES,  
DETAILS, AND PLANT  
SCHEDULE**

SHEET NUMBER:

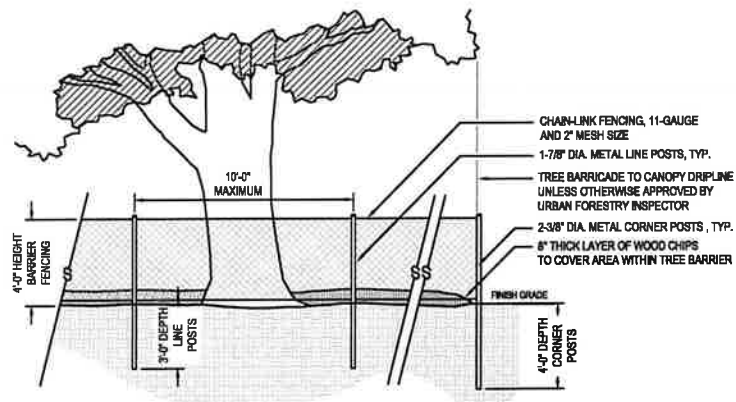
**L.001**

**LANDSCAPE NOTES**

- PRE-CONSTRUCTION MEETING:** CONTACT THE CITY OF GAINESVILLE URBAN FORESTRY INSPECTOR AT 352-334-5023 TO SCHEDULE A TREE BARRICADE INSPECTION AND TO REVIEW PROPOSED LANDSCAPE MATERIALS BEFORE BEGINNING ANY CLEARING, SITE WORK, OR INSTALLATION ACTIVITIES. CONTACT A MINIMUM OF THREE DAYS PRIOR TO REQUESTED MEETING DATE.
- EXISTING TREE PROTECTION:** PROTECTIVE BARRIERS SHALL BE CONSTRUCTED AS INDICATED IN DEMOLITION PLANS TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS. PROTECTED TREES SHALL INCLUDE THOSE TREES THAT HAVE NOT BEEN PERMITTED NOR DESIGNATED FOR REMOVAL, AS SHOWN IN DEMOLITION PLANS BY EITHER THE TERMS OF THE PERMIT OR APPROVED DEVELOPMENT ORDER. PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND CREATE A CLEAR BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES, OR STORED MATERIALS. BARRIERS SHALL BE INSPECTED BY THE URBAN FORESTRY INSPECTOR PRIOR TO PROCEEDING WITH SITE WORK. SEE TREE PROTECTION DETAILS FOR SPECIFIC REQUIREMENTS FOR BOTH REGULATED TREES AND HIGH-QUALITY, HERITAGE TREES.
- EXISTING UTILITIES:** LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL - SEE LOGO BELOW.
- INVASIVE SPECIES:** REMOVE INVASIVE, NONNATIVE PLANT SPECIES AS LISTED ON THE FLORIDA PROHIBITED AQUATIC PLANTS LIST OR THE FLORIDA NOXIOUS WEED LIST FROM THE SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. ALL HERBICIDE APPLICATIONS TO CONTROL INVASIVE, NONNATIVE PLANTS IN WETLAND OR UPLAND SET-ASIDE AREAS, INCLUDING BUFFERS, SHALL BE APPLIED BY A CONTRACTOR LICENSED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF AGRICULTURAL ENVIRONMENTAL SERVICES, WITH A CURRENT CERTIFICATION IN NATURAL AREAS WEED MANAGEMENT.
- PLANTING PREPARATION:** REMOVE ALL CONSTRUCTION DEBRIS, LIMEROCK, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH PH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTINGS.
- PRUNING:** IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS (TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE) (ANSI A300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES AND CUTTING BRUSH - SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.
- MINIMUM PLANTING AREA:** A MINIMUM ROOTZONE VOLUME OF 700 CUBIC FEET SHALL BE PROVIDED FOR STREET TREES. IF STREET TREES SHARE A ROOTZONE, VOLUME SHALL BE A MINIMUM OF 800 CUBIC FEET. ALL OTHER REQUIRED SHADE TREES SHALL HAVE A MINIMUM OF 420 CUBIC FEET OF ROOTZONE VOLUME. PROVIDE A MINIMUM THREE FOOT DEEP PLANTING DEPTH FOR ALL PROPOSED PLANTING AND TURF AREAS.
- PLANT MATERIAL - GENERAL:** ALL PLANT MATERIALS SHALL MEET FLORIDA NUMBER 1 REQUIREMENTS AS PER THE MOST CURRENT EDITION OF FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- PROPOSED TREES:** ALL TREES TO BE A MINIMUM OF SEVEN FEET TALL AND HAVE A MINIMUM TRUNK CALIPER OF TWO INCHES. TREES SHALL BE IN 30-GALLON MINIMUM CONTAINERS OR, IF FIELD GROWN, HAVE A MINIMUM ROOTBALL DIAMETER OF 28 INCHES. NEW TREES LOCATED OUTSIDE OF LARGER PLANTING AREAS TO HAVE 10" OF PLASTIC DRAIN TUBING INSTALLED AROUND THE BASE OF THEIR TRUNK TO PROTECT FROM MOWER AND STRING TRIMMER IMPACTS.
- NEW TREE STAKING:** IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS. PROPOSED STAKING METHOD TO BE APPROVED BY URBAN FORESTRY INSPECTOR PRIOR TO INSTALLATION.
- SOIL:** ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUNDCOVER PLANTINGS SHALL BE SODED. SEE CIVIL PLANS FOR SODDING INFORMATION FOR STORMWATER FACILITIES. SOIL SHALL BE SAND-GROWN, STRONGLY ROOTED, WITHOUT SYNTHETIC STABILIZING MATERIALS, FREE OF PESTS, AND CERTIFIED FREE OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
- MULCHING:** FOUR INCHES OF MULCH SHALL COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUNDCOVER PLANTING AREAS. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE BARK MINI NUGGETS MULCH IN ALL AREAS EXCEPT STORMWATER FACILITIES, IN WHICH PINE STRAW SHALL BE USED. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES.
- IRRIGATION:** AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR DEVELOPMENT. IRRIGATION DESIGN SHALL PROMOTE WATER CONSERVATION METHODS AND SHALL INCLUDE TWO BUBBLERS OR MICRO-SPRAYS AT EACH NEW TREE.
- RESPONSIBILITY:** OWNER IS RESPONSIBLE FOR THE SURVIVAL OF PLANTINGS AND REMOVAL OF ALL TREE STAKING, IF INSTALLED, FOR ONE YEAR FOLLOWING RECEIPT OF CERTIFICATE OF OCCUPANCY. IF A TREE THAT IS REQUIRED FOR MITIGATION OR TO FULFILL THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE DIES OR IS SEVERELY DAMAGED, AS DETERMINED BY THE CITY MANAGER OR DESIGNEE, THEN THE TREE MUST BE REPLACED WITHIN SIX MONTHS OF THE DETERMINATION.
- TRANSPORTATION MOBILITY PROGRAM AREA:** THIS PROJECT IS LOCATED WITHIN ZONE B OF THE T.M.P.A. HOWEVER, THE PROJECT DOES NOT HAVE A FRONTAGE ON A ROADWAY LISTED IN THE NORTH CENTRAL FLORIDA REGIONAL PLANNING COUNCIL'S LEVEL OF SERVICE REPORT. AS SUCH, STREET TREES FOR ARE NOT REQUIRED FOR THESE REQUIREMENTS. HOWEVER, OTHER LAND DEVELOPMENT REGULATIONS MAY REQUIRE STREET TREES - SEE LANDSCAPE CALCULATIONS.

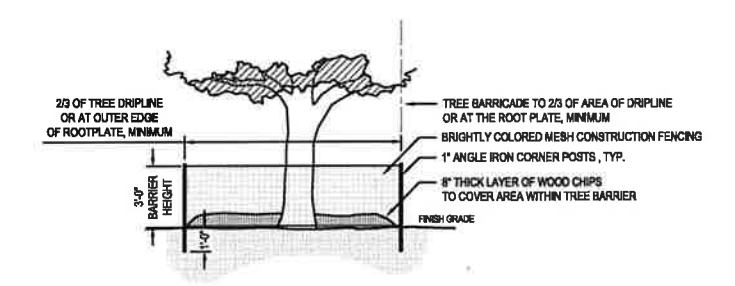


- NOTE:
- DO NOT STORE MATERIALS OR ALLOW ENCROACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA. NO BUILDING MATERIALS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS, EXCEPT SHORT-DURATION PLACEMENTS OF CLEAN FILL SOIL THAT WILL NOT HARM THE TREE.
  - NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL.
  - LANDSCAPE PREPARATION IN THE PROTECTED AREA SHALL BE LIMITED TO SHALLOW DISCING OF THE AREA. DISCING SHALL BE LIMITED TO A DEPTH OF FOUR INCHES UNLESS SPECIFICALLY APPROVED OTHERWISE.
  - TREE BARRIERS TO REMAIN IN PLACE UNTIL LANDSCAPING OPERATIONS BEGIN. ONCE REMOVED, VEHICLE AND EQUIPMENT TRAFFIC AND STORAGE OF MATERIALS WITHIN AREA SHALL BE MINIMIZED AS MUCH AS POSSIBLE.



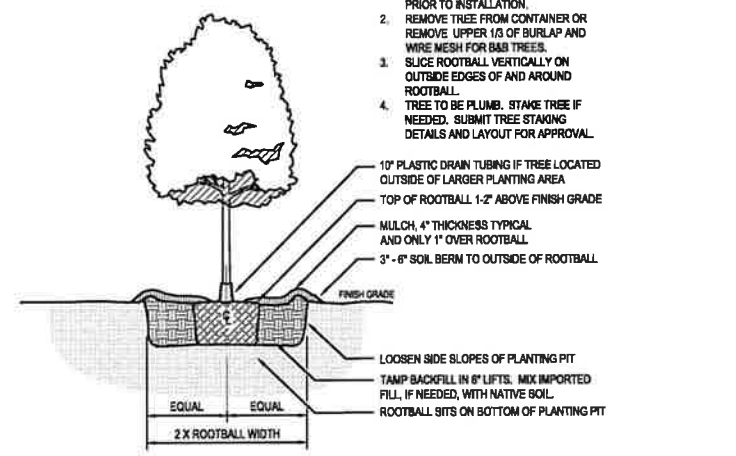
**1 TREE PROTECTION: HIGH-QUALITY, HERITAGE TREE**  
SCALE: N.T.S.

- NOTE:
- DO NOT STORE MATERIALS OR ALLOW ENCROACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA. NO BUILDING MATERIALS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS, EXCEPT SHORT-DURATION PLACEMENTS OF CLEAN FILL SOIL THAT WILL NOT HARM THE TREE.
  - NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL.
  - LANDSCAPE PREPARATION IN THE PROTECTED AREA SHALL BE LIMITED TO SHALLOW DISCING OF THE AREA. DISCING SHALL BE LIMITED TO A DEPTH OF FOUR INCHES UNLESS SPECIFICALLY APPROVED OTHERWISE.
  - TREE BARRIERS TO REMAIN IN PLACE UNTIL LANDSCAPING OPERATIONS BEGIN. ONCE REMOVED, VEHICLE AND EQUIPMENT TRAFFIC AND STORAGE OF MATERIALS WITHIN AREA SHALL BE MINIMIZED AS MUCH AS POSSIBLE.

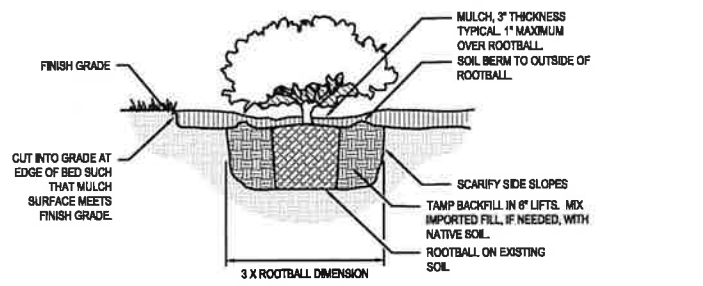


**2 TREE PROTECTION: TYPICAL REGULATED TREE**  
SCALE: N.T.S.

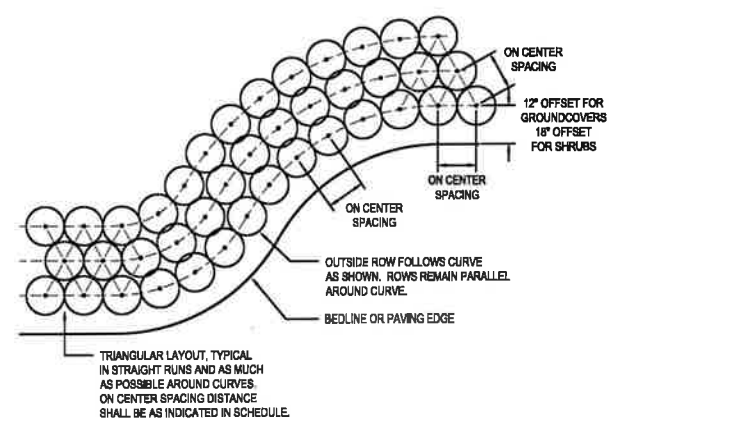
- NOTE:
- ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.
  - REMOVE TREE FROM CONTAINER OR REMOVE UPPER 1/3 OF BURLAP AND WIRE MESH FOR B&B TREES.
  - SLICE ROOTBALL VERTICALLY ON OUTSIDE EDGES OF AND AROUND ROOTBALL.
  - TREE TO BE PLUMB. STAKE TREE IF NEEDED. SUBMIT TREE STAKING DETAILS AND LAYOUT FOR APPROVAL.



**3 TREE PLANTING DETAIL**  
SCALE: N.T.S.



**4 SHRUB AND GROUNDCOVER PLANTING DETAIL**  
SCALE: N.T.S.



**5 SHRUB AND GROUNDCOVER LAYOUT DETAIL**  
SCALE: N.T.S.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
MGB	8	Magnolia grandiflora 'Bracteana Brown Beauty'	Bractean's Southern Magnolia	30 gal., 11' ht. x 48" spd., 2" cal.	As shown	Full to ground
QA	8	Quercus muhlenbergii	Bluff Oak	30 gal., 11' ht. x 48" spd., 2" cal.	As shown	
QV	1	Quercus virginiana	Southern Live Oak	30 gal., 11' ht. x 48" spd., 2" cal.	As shown	
UA	3	Ulmus alata	Winged Elm	30 gal., 11' ht. x 48" spd., 2" cal.	As shown	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
ID	41	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	3 gal., 24" ht. x 18" spd.	30" o.c.	
LP	83	Loropetalum chinense rubrum 'Plum Delight'	Plum Delight Loropetalum	3 gal., 24" ht. x 18" spd.	30" o.c.	
VM	90	Viburnum coccineum 'Mrs Shillers Delight'	Mrs Shillers Delight Viburnum	3 gal., 24" ht. x 18" spd.	24" o.c.	
VS	25	Viburnum suspensum	Sanderling Viburnum	3 gal., 24" ht. x 18" spd.	30" o.c.	
SOIL/SEED	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
SOD		Paspalum notatum 'Argentine'	Argentine Bahia Grass	3 gal. sod		Sand grown and weed free

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 FILENAME: C:\USERS\ELIZABETH MANLEY\DESIGN\PROJECTS\2017\17-094 NFRMC PARKING GARAGE - DATA\PRODUCTION\02\_SPA\2018-07-28\_SPA\1717094\_L001.DWG

PROJECT NAME:

**NFRMC  
NORTH  
PARKING  
GARAGE PH 2**  
Gainesville, FL

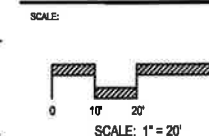
for  
**North Florida Regional  
Medical Center**

SUBCONSULTANT:

SCALE:

PROJECT NO: 17-084  
CLIENTS NO:  
ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 15 AUG 2018  
REVISIONS:

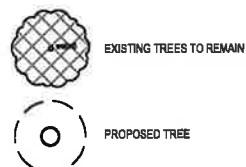


SHEET TITLE:  
**LANDSCAPE PLAN,  
CALCULATIONS, AND  
PLANT SCHEDULE**

SHEET NUMBER:

**L.002**

**LEGEND**



**SPECIFIC LANDSCAPE REQUIREMENTS**

**1. TREE SPECIES DIVERSITY**

- LDC SEC. 30-8.3.A.8. DEVELOPMENTS WHICH REQUIRE 16 OR MORE SHADE TREES SHALL HAVE AT LEAST FOUR DIFFERENT HIGH QUALITY SHADE TREE SPECIES.
- REQUIRED: 16 TREES ARE REQUIRED SO 4 OR MORE SPECIES ARE REQUIRED.
- PROVIDED: 4 SHADE TREE SPECIES TOTAL.

**2. COMPATIBILITY BUFFERS - ADJACENCIES**

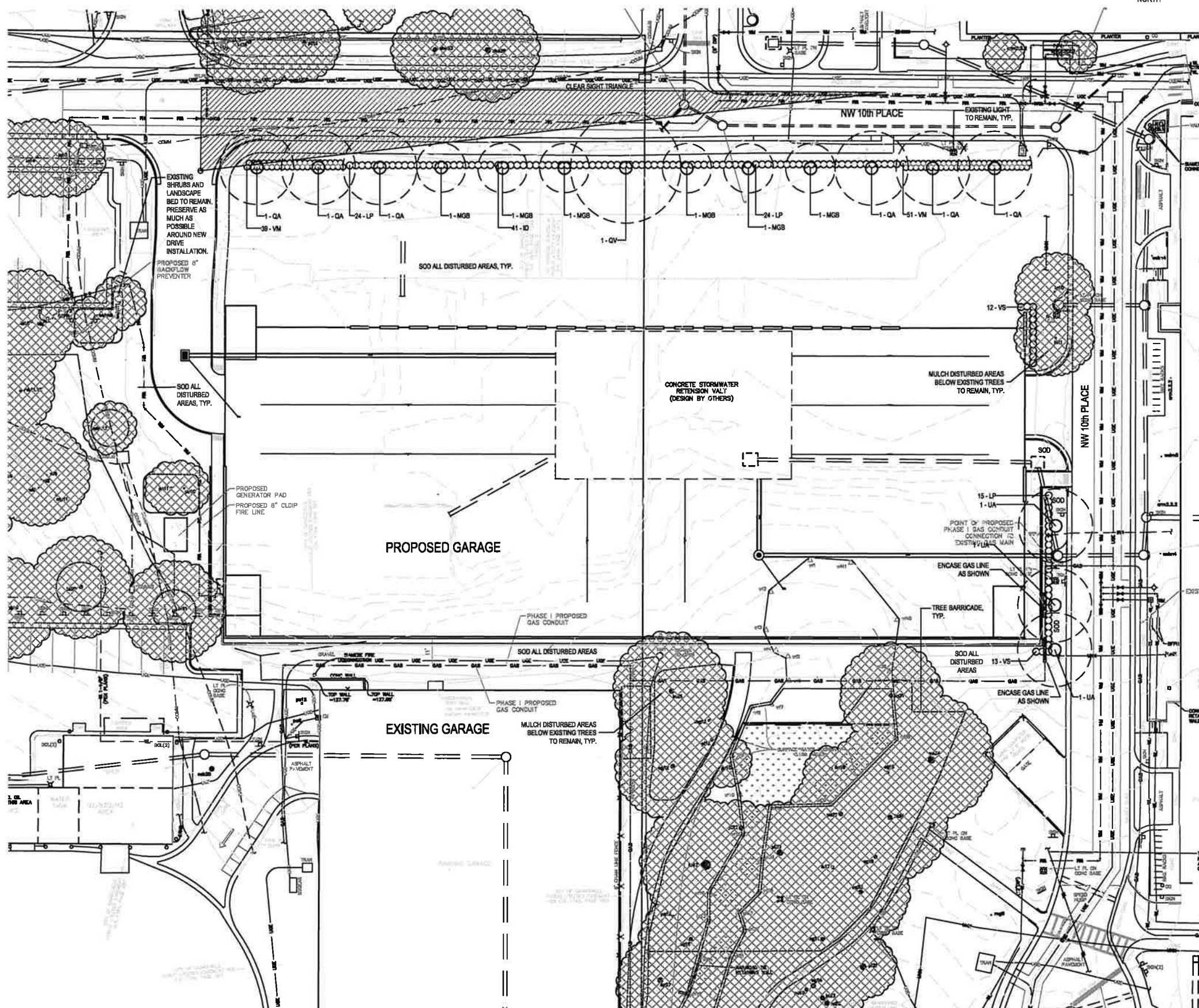
- LDC SEC. 30-8.5.A. REQUIRED BUFFER STRIP AREA: PER CHART A. LAND USE BUFFER TYPES. SITE IS ZONED 'MD' AND 'PD', SURROUNDING PARCELS ARE ALSO ZONED 'MD' AND 'PD'.
- REQUIRED: NO COMPATIBILITY BUFFERS ARE REQUIRED.
- PROVIDED: NONE.

**3. COMPATIBILITY BUFFERS - STRUCTURED PARKING**

- LDC SEC. 30-8.5.H. PARKING STRUCTURES ALONG A STREET: 10' WIDE LANDSCAPE STRIP BETWEEN THE PUBLIC SIDEWALK AND THE STRUCTURE TO SCREEN AUTOMOBILES FROM PEDESTRIAN VIEWS ON THE STREET. STRIP SHALL INCLUDE 4 EVERGREEN SHADE TREES PER 100LF OF STREET FRONTAGE OF THE STRUCTURE, EXCLUDING DRIVEWAYS. A CONTINUOUS HEDGE SHALL ALSO BE PROVIDED.
- REQUIRED:
  - NORTHERN GARAGE FRONTAGE ALONG NW 10th PLACE = 328 LF / 25 = 13 TREES + SHRUBLINE
  - EASTERN GARAGE FRONTAGE ALONG NW 10th PLACE = 98 LF / 25 = 4 TREES + SHRUBLINE
- PROVIDED:
  - NORTHERN GARAGE FRONTAGE ALONG NW 10th PLACE = 13 TREES + SHRUBLINE
  - EASTERN GARAGE FRONTAGE ALONG NW 10th PLACE = 1 EXISTING TREE TO REMAIN + 3 PROPOSED TREES + SHRUBLINE

**4. PROJECT ROADWAY FRONTAGE**

- LDC SEC. 30-8.6.G. STREET LANDSCAPING: 1 HIGH QUALITY SHADE TREE/30-50 LINEAR FEET OF STREET FRONTAGE MINUS DRIVEWAY WIDTHS. MIN. TREE SPACING OF 25 FT. AND MAX. OF 60 FT. STREET TREES SHALL BE HIGH QUALITY SHADE TREES AND SHALL BE PLANTED IN TREE LAWNS WITH A MINIMUM WIDTH OF EIGHT FEET, OR WITHIN TREE WELLS WITH MINIMUM FOUR-FOOT BY FOUR-FOOT SURFACE OPENINGS. WHERE POSSIBLE, STREET TREES SHALL BE PLANTED BETWEEN THE STREET AND THE PUBLIC SIDEWALK. PRESERVED TREES MAY BE UTILIZED TO MEET REQUIREMENT.
- PROPOSED TREE PLANTINGS ALONG CITY OF GAINESVILLE ROADWAYS SHALL ADHERE TO THE LATEST EDITION OF THE CITY OF GAINESVILLE'S "ENGINEERING, DESIGN, AND CONSTRUCTION MANUAL" PER SEC 30-8.3.A.7. THIS MANUAL FURTHER SPECIFIES THAT ROADWAY DESIGN WITHIN THE CITY OF GAINESVILLE SHALL ADHERE TO THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" (FLORIDA GREENBOOK). CURRENT CRITERIA APPLICABLE TO STREET TREE PLANTINGS INCLUDE:
  - LATERAL OFFSETS: PROVIDE OFFSET DISTANCE BETWEEN PROPOSED TREES AND ROADWAY PER C.7.1.1. "ROADSIDE CLEAR ZONE WIDTH AND TABLE 3-15 'MINIMUM WIDTH OF CLEAR ZONE', FL GREENBOOK. A LATERAL OFFSET OF 1 1/2' IS REQUIRED FROM THE FACE OF CURB GIVEN THE CURBED ROADWAY CONDITION AND A DESIGN SPEED OF 35 MPH OR LESS.
  - AREA OF CLEAR SIGHT / DEPARTURE SIGHT TRIANGLE SHOULD BE PROVIDED AT DRIVEWAYS AND INTERSECTIONS PER REQUIREMENTS OF "SIGHT DISTANCE FOR INTERSECTION MANEUVERS", SECTION C.2.2.4. AND "DEPARTURE SIGHT TRIANGLE" FIGURE 3-11, FL GREENBOOK. THE DESIGN SPEED OF THE ROADWAY IS WITHIN 25-30 MPH. AS SUCH, TREES WITH A CALIPER 1 1/2" - 1 3/4" AT MATURITY SHALL BE PLACED NO CLOSER THAN 8' ON CENTER IF LOCATED WITHIN THE CLEAR SIGHT TRIANGLE. ADDITIONALLY, TREE CANOPY SHALL BE KEPT AT 5' ABOVE THE SIGHT LINE DATUM AND GROUND COVER 1.5' BELOW THE SIGHT LINE DATUM, WITH THE SIGHT LINE DATUM AS 3.5' ABOVE THE HIGHEST ADJACENT PAVEMENT.
- REQUIRED:
  - NORTHERN FRONTAGE ALONG NW 10th PLACE = 345 LF / 50 = 7 TREES
  - EASTERN FRONTAGE ALONG NW 10th PLACE = 214 LF / 50 = 5 TREES
- PROVIDED:
  - NORTHERN FRONTAGE ALONG NW 10th PLACE = 13 TREES
  - EASTERN FRONTAGE ALONG NW 10th PLACE = 2 EXISTING TREES TO REMAIN + 3 PROPOSED TREES



PLOTDATE: 08/15/2018 8:09 AM USER: ELIZABETH MANLEY  
 FILENAME: C:\USERS\ELIZABETH MANLEY\DESIGN\PROJECTS\17-084 NFRMC PARKING GARAGE - (MANLEY\_ARCHITECTURE)\L\_002-18-08-28\_SPP\_1\7094\_L002.DWG

# TOPOGRAPHIC SURVEY

IN  
SECTION 33, TOWNSHIP 9 SOUTH, RANGE 19 EAST,  
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA  
FOR  
CHARLES PERRY PARTNERS, INC.

**NOTES:**

- ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 119.258 FEET (NGVD 1929 DATUM) ON F.D.O.T. BENCHMARK 775 Q 21" AT INTERSTATE 75 OVERPASS ON STATE ROAD NO. 26.
- BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF S 00°14'00" W ON THE EAST BOUNDARY LINE OF NORTH FLORIDA REGIONAL DOCTORS OFFICE PARK AS PER PLAT THEREOF RECORDED IN PLAT BOOK 'Y', PAGE 81.
- THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
- ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
- THIS SURVEY CONSISTS OF 3 SHEETS AND IS NOT VALID WITHOUT ALL SHEETS.
- TAX PARCEL NUMBERS, OWNERSHIPS AND RECORDING INFORMATION ARE AS PER CURRENT ALACHUA COUNTY TAX ROLLS.
- A PORTION OF THE PROPERTY SHOWN HEREON IS SUBJECT TO RESTRICTIVE COVENANTS AND RECIPROCAL EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 1776, PAGE 2356, FIRST AMENDED JULY 13, 1990 AS PER OFFICIAL RECORDS BOOK 1779, PAGE 44.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO RESTRICTIVE COVENANTS AND RECIPROCAL EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 2375, PAGE 738.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 2353, PAGE 2412.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO A BLANKET GRANT OF EASEMENT FOR PUBLIC UTILITIES RECORDED IN OFFICIAL RECORDS BOOK 2364, PAGE 2015.
- THE TREES SHOWN HEREON ARE INTENDED TO MEET THE REQUIREMENTS OF A TREE SURVEY AS DEFINED BY THE CITY OF GAINESVILLE CODE OF ORDINANCES (SECTION 30-23 : DEFINITIONS). THE SCIENTIFIC NAMES SHOWN HEREON ARE TO THE BEST ABILITY OF THIS SURVEYOR, BUT THIS SURVEYOR DOES NOT PURPORT TO BE A CERTIFIED ARBORIST. THE LOCATION OF THE TREES SHOWN HEREON IS THE APPROXIMATE CENTER OF THE TREE AT GROUND LEVEL AND THE DIAMETER WAS MEASURED AT BREAST HEIGHT - THE EXTENT OF THE TREE CANOPY OR ROOT SYSTEM WAS NOT DETERMINED BY THIS SURVEYOR. IF THE LOCATION OF TREES IN RELATION TO NEARBY PROPERTY LINES IS CRITICAL A MORE DETAILED SURVEY MAY BE REQUIRED.
- THE LOCATION OF THE PROPERTY LINES SHOWN HEREON ARE CALCULATED USING AVAILABLE PROPERTY DESCRIPTIONS, OLD SURVEYS IN THE VICINITY, AND FROM LIMITED SURVEY MONUMENTATION OBTAINED IN THE FIELD. THIS IS NOT A BOUNDARY SURVEY.
- THE PUBLIC UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 2079, PAGE 531 PREVIOUSLY EXISTED OVER A PORTION OF THE PROPERTY SHOWN HEREON. THE PARTIAL RELEASE OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 4410, PAGE 2244 RELEASES THE PORTION OF SAID EASEMENT WHICH WOULD BE SHOWN WITHIN THE LIMITS OF THIS TOPOGRAPHIC SURVEY.
- THE WETLAND FLAGS SHOWN HEREON WERE PLACED BY PETE WALLACE OF ECOSYSTEM RESEARCH CORPORATION (366-482-5005) ON OR AROUND MARCH 2, 2018. THE WETLAND LINES, LABELS AND DESIGNATIONS ARE PER REPORTS AND CONVERSATIONS WITH PETE WALLACE. THIS SURVEYOR IS NOT A WETLANDS DELINEATOR.

**UTILITY LOCATION NOTE:**

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN WERE BASED ON ABOVE GROUND FIXTURES, UTILITY COMPANY MAPS AVAILABLE TO THE SURVEYOR, AND ELECTRONIC DETECTION METHODS. UNLESS NOTED OTHERWISE ON THE GRAPHIC PORTION OF THIS SURVEY, NO UTILITIES WERE UNCOVERED TO VERIFY THEIR LOCATION.

NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED BY THE SURVEYOR THAT THE LOCATIONS SHOWN REPRESENT THE ACTUAL LOCATIONS OF THOSE UTILITIES, THE UTILITY TYPE, OR THAT NO OTHER UTILITIES EXIST ON THE SITE.

PRIOR TO THE DESIGN OF UTILITY CONNECTIONS, THE PROPOSED CONNECTION POINTS SHOULD BE EXCAVATED AS NECESSARY TO CONFIRM THEIR EXACT LOCATION, DEPTH AND CHARACTERISTICS.

IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 558, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770.

**LEGEND OF SYMBOLS & ABBREVIATIONS:**

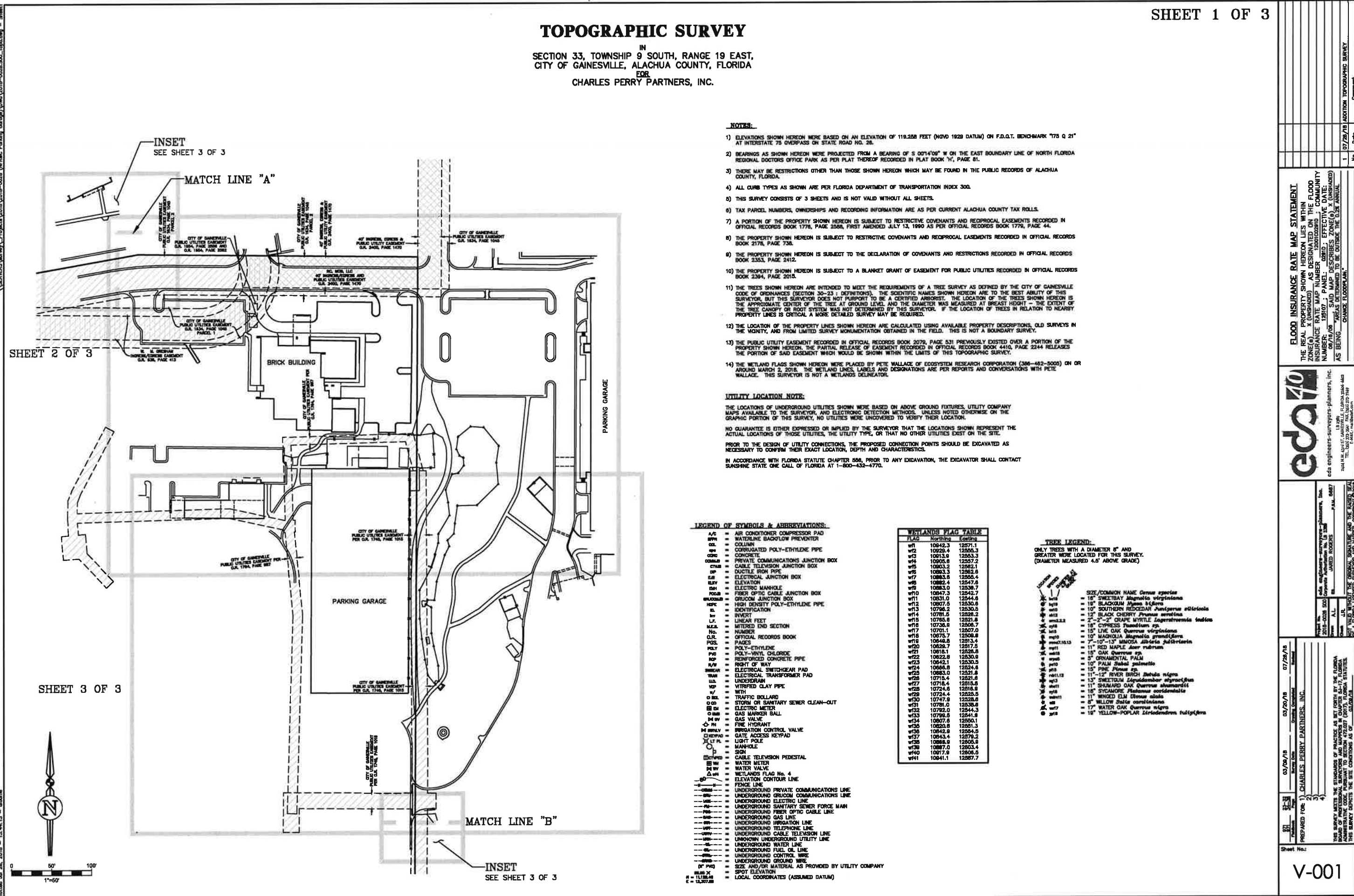
- A/C = AIR CONDITIONER COMPRESSOR PAD
- APPV = WATERLINE BACKFLOW PREVENTER
- COL = COLLAR
- CP = CORRUGATED POLY-ETHYLENE PIPE
- CONC = CONCRETE
- COMB = PRIVATE COMMUNICATIONS JUNCTION BOX
- CT = CABLE TELEVISION JUNCTION BOX
- DF = DUCTILE IRON PIPE
- EJ = ELECTRICAL JUNCTION BOX
- ELEV = ELEVATION
- EMH = ELECTRIC MANHOLE
- FOCJ = FIBER OPTIC CABLE JUNCTION BOX
- GRJ = GRUCCOM JUNCTION BOX
- HDP = HIGH DENSITY POLY-ETHYLENE PIPE
- ID = IDENTIFICATION
- IN = INVERT
- L.F. = LINEAR FEET
- M.E.S. = MITERED END SECTION
- No. = NUMBER
- O.R. = OFFICIAL RECORDS BOOK
- PAGES = PAGES
- POLY = POLY-ETHYLENE
- PVC = POLY-VINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- R.O.W. = RIGHT OF WAY
- SWGR = ELECTRICAL SWITCHGEAR PAD
- TRAF = ELECTRICAL TRANSFORMER PAD
- UND = UNDERDRAIN
- VCP = VITRIFIED CLAY PIPE
- WTH = WITH
- CB = CABLE TELEVISION BOLLARD
- OD = STORM OR SANITARY SEWER CLEAN-OUT
- EM = ELECTRIC METER
- GB = GAS MARCHER BALL
- GV = GAS VALVE
- HY = FINE HYDRANT
- ICV = IRRIGATION CONTROL VALVE
- KEYPAD = GATE ACCESS KEYPAD
- LP = LIGHT POLE
- MANH = MANHOLE
- SI = SIGN
- CTV = CABLE TELEVISION PEDESTAL
- WM = WATER METER
- WV = WATER VALVE
- WFL = WETLANDS FLAG No. 4
- EL = ELEVATION CONTOUR LINE
- FL = FENCE LINE
- PC = UNDERGROUND PRIVATE COMMUNICATIONS LINE
- GR = UNDERGROUND GRUCCOM COMMUNICATIONS LINE
- EL = UNDERGROUND ELECTRIC LINE
- SS = UNDERGROUND SANITARY SEWER FORCE MAIN
- FO = UNDERGROUND FIBER OPTIC CABLE LINE
- GA = UNDERGROUND GAS LINE
- IR = UNDERGROUND IRRIGATION LINE
- TEL = UNDERGROUND TELEPHONE LINE
- CTV = UNDERGROUND CABLE TELEVISION LINE
- UL = UNKNOWN UNDERGROUND UTILITY LINE
- W = UNDERGROUND WATER LINE
- FO = UNDERGROUND FUEL OIL LINE
- ICV = UNDERGROUND IRRIGATION CONTROL WIRE
- GW = UNDERGROUND GROUND WIRE
- SM = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
- SP = SPOT ELEVATION
- LL = LOCAL COORDINATES (ASSUMED DATUM)

FLAG	Northings	Eastings
w1	10842.3	12571.1
w2	10828.4	12553.3
w3	10813.9	12535.3
w4	10805.8	12517.2
w5	10803.2	12502.1
w6	10803.3	12482.8
w7	10803.6	12505.4
w8	10802.4	12547.8
w9	10803.0	12538.7
w10	10847.3	12542.7
w11	10831.0	12544.8
w12	10817.5	12530.8
w13	10796.2	12530.5
w14	10781.5	12528.2
w15	10785.8	12521.8
w16	10736.8	12508.7
w17	10701.1	12507.0
w18	10675.7	12508.8
w19	10648.8	12513.4
w20	10628.7	12517.5
w21	10618.1	12528.5
w22	10622.8	12530.8
w23	10642.1	12530.5
w24	10668.8	12524.8
w25	10683.0	12521.8
w26	10718.4	12521.8
w27	10718.4	12515.8
w28	10724.8	12518.8
w29	10724.4	12525.5
w30	10747.9	12528.8
w31	10781.0	12530.8
w32	10782.0	12544.3
w33	10786.5	12541.8
w34	10817.8	12550.1
w35	10820.8	12551.3
w36	10842.8	12554.5
w37	10843.4	12576.2
w38	10888.9	12605.8
w39	10887.0	12603.4
w40	10817.9	12608.5
w41	10841.1	12687.7

**TREE LEGEND:**

ONLY TREES WITH A DIAMETER 8" AND GREATER WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.0' ABOVE GRADE)

- 16" SWEETBAY *Magnolia virginiana*
- 18" BLACKGUM *Nyssa sylvatica*
- 10" SOUTHERN REDCEDAR *Juniperus stricta*
- 12" BLACK CHERRY *Prunus serotina*
- 2"-2" GRAPE MYRTLE *Lagerstroemia indica*
- 18" CYPRESS *Taxodium sp.*
- 15" LIVE OAK *Quercus virginiana*
- 10" MAGNOLIA *Magnolia grandiflora*
- 7"-10"-13" MANICIA *Albizia adianthifera*
- 11" RED MAPLE *Acer rubrum*
- 15" OAK *Quercus sp.*
- 5" ORNAMENTAL PALM
- 10" PALM *Sabal palmetto*
- 15" PINE *Pinus sp.*
- 11"-12" RIVER BIRCH *Betula nigra*
- 13" SWEETGUM *Liquidambar styraciflua*
- 11" SHUMARD OAK *Quercus shumardii*
- 18" SYCAMORE *Platanus occidentalis*
- 11" WINGED ELM *Ulmus alatus*
- 8" WELLOW *Betula occidentalis*
- 17" WATER OAK *Quercus nigra*
- 18" YELLOW-POPLAR *Liquidambar styraciflua*



**FLOOD INSURANCE RATE MAP STATEMENT**  
THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 12001002010 COMMUNITY NUMBER: 120107 PANEL: 0281D EFFECTIVE DATE: 08/19/08. SAID MAP DESCRIBES ZONE (X) UNSHADDED AS BEING AREAS DETERMINED TO BE OUTSIDE THE US2 ANNUAL CHANCE FLOODPLAIN.

07/28/18 ADDITION TOPOGRAPHIC SURVEY

eda engineers-surveyors-planners, inc.  
448 N.W. 42nd ST., GAINESVILLE, FLORIDA 32604-4603  
TEL: 352-377-3941 FAX: 352-377-7949  
EDA is an Equal Opportunity Employer. M/F/V/D

03/20/18  
07/28/18  
03/20/18  
07/28/18

PREPARED FOR: 1) CHARLES PERRY PARTNERS, INC.  
2) 3) 4)

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 461-17, FLORIDA STATUTES. THIS SURVEY SUBmits THE SITE CONDITIONS AS SEEN.

Sheet No.: **V-001**

# TOPOGRAPHIC SURVEY

IN  
SECTION 33, TOWNSHIP 9 SOUTH, RANGE 19 EAST,  
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA  
FOR  
CHARLES PERRY PARTNERS, INC.

**NOTES:**

- ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 116.256 FEET (NOVO 1929 DATUM) ON F.D.O.T. BENCHMARK "76 Q 21" AT INTERSTATE 75 OVERPASS ON STATE ROAD NO. 26.
- BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF S 00°14'00" W ON THE EAST BOUNDARY LINE OF NORTH FLORIDA REGIONAL DOCTORS OFFICE PARK AS PER PLAT THEREOF RECORDED IN PLAT BOOK "H", PAGE 81.
- THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
- ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
- THIS SURVEY CONSISTS OF 3 SHEETS AND IS NOT VALID WITHOUT ALL SHEETS.
- TAX PARCEL NUMBERS, OWNERSHIPS AND RECORDING INFORMATION ARE AS PER CURRENT ALACHUA COUNTY TAX ROLLS.
- A PORTION OF THE PROPERTY SHOWN HEREON IS SUBJECT TO RESTRICTIVE COVENANTS AND RECIPROCAL EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 1776, PAGE 2508, FIRST AMENDED JULY 13, 1990 AS PER OFFICIAL RECORDS BOOK 1776, PAGE 44.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO RESTRICTIVE COVENANTS AND RECIPROCAL EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 2178, PAGE 738.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 2303, PAGE 2412.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO A BLANKET GRANT OF EASEMENT FOR PUBLIC UTILITIES RECORDED IN OFFICIAL RECORDS BOOK 2394, PAGE 2016.
- THE TREES SHOWN HEREON ARE INTENDED TO MEET THE REQUIREMENTS OF A TREE SURVEY AS DEFINED BY THE CITY OF GAINESVILLE CODE OF ORDINANCES (SECTION 20-23 : DEFINITIONS). THE SCIENTIFIC NAMES SHOWN HEREON ARE TO THE BEST ABILITY OF THIS SURVEYOR, BUT THIS SURVEYOR DOES NOT PURPORT TO BE A CERTIFIED ARBORIST. THE LOCATION OF THE TREES SHOWN HEREON IS THE APPROXIMATE CENTER OF THE TREE AT GROUND LEVEL AND THE DIAMETER WAS MEASURED AT BREAST HEIGHT - THE EXTENT OF THE TREE CANOPY OR ROOT SYSTEM WAS NOT DETERMINED BY THIS SURVEYOR. IF THE LOCATION OF TREES IN RELATION TO NEARBY PROPERTY LINES IS CRITICAL, A MORE DETAILED SURVEY MAY BE REQUIRED.
- THE LOCATION OF THE PROPERTY LINES SHOWN HEREON ARE CALCULATED USING AVAILABLE PROPERTY DESCRIPTIONS, OLD SURVEYS IN THE VICINITY, AND FROM LIMITED SURVEY MONUMENTATION OBTAINED IN THE FIELD. THIS IS NOT A BOUNDARY SURVEY.
- THE PUBLIC UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 2079, PAGE 831 PREVIOUSLY EXISTED OVER A PORTION OF THE PROPERTY SHOWN HEREON. THE PARTIAL RELEASE OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 4410, PAGE 2344 RELEASES THE PORTION OF SAID EASEMENT WHICH WOULD BE SHOWN WITHIN THE LIMITS OF THIS TOPOGRAPHIC SURVEY.
- THE WETLAND FLAGS SHOWN HEREON WERE PLACED BY PETE WALLACE OF ECOSYSTEM RESEARCH CORPORATION (386-442-5000) ON OR AROUND MARCH 3, 2016. THE WETLAND LINES, LABELS AND DESIGNATIONS ARE PER REPORTS AND CONVERSATIONS WITH PETE WALLACE. THIS SURVEYOR IS NOT A WETLANDS DELINEATOR.

**UTILITY LOCATION NOTE:**

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN WERE BASED ON ABOVE GROUND FIXTURES, UTILITY COMPANY MAPS AVAILABLE TO THE SURVEYOR, AND ELECTRONIC DETECTION METHODS. UNLESS NOTED OTHERWISE ON THE GRAPHIC PORTION OF THIS SURVEY, NO UTILITIES WERE UNCOVERED TO VERIFY THEIR LOCATION.  
NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED BY THE SURVEYOR THAT THE LOCATIONS SHOWN REPRESENT THE ACTUAL LOCATIONS OF THESE UTILITIES, THE UTILITY TYPE, OR THAT NO OTHER UTILITIES EXIST ON THE SITE.  
PRIOR TO THE DESIGN OF UTILITY CONNECTIONS, THE PROPOSED CONNECTION POINTS SHOULD BE EXCAVATED AS NECESSARY TO CONFIRM THEIR EXACT LOCATION, DEPTH AND CHARACTERISTICS.  
IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 506, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770.

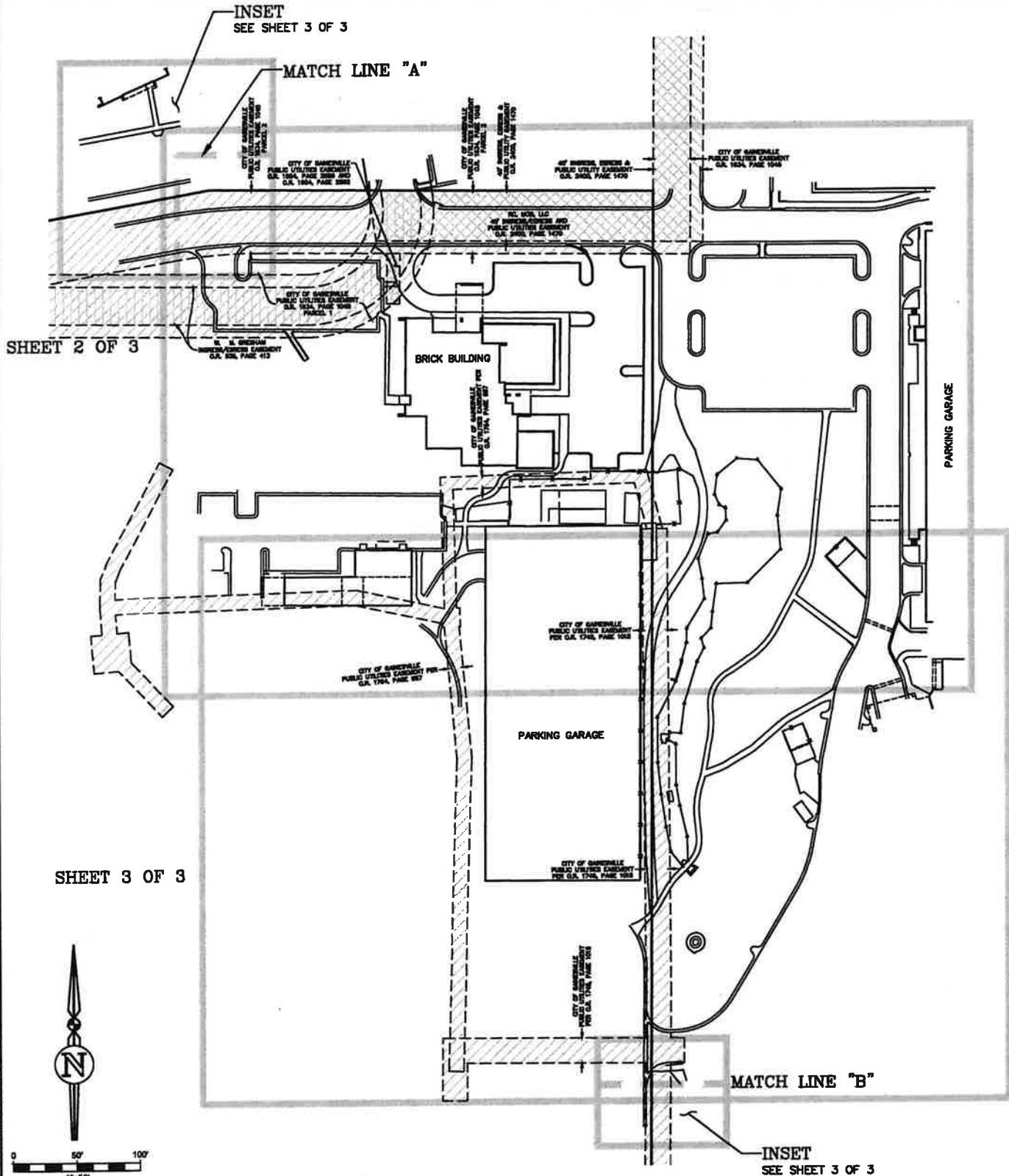
**LEGEND OF SYMBOLS & ABBREVIATIONS:**

- A/C = AIR CONDITIONER COMPRESSOR PAD
- BWP = WATERLINE BACKFLOW PREVENTER
- CL = COLUMBIAN
- CP = CORRUGATED POLY-ETHYLENE PIPE
- CONC = CONCRETE
- CSJB = PRIVATE COMMUNICATIONS JUNCTION BOX
- CTE = CABLE TELEVISION JUNCTION BOX
- DI = DUCTILE IRON PIPE
- EL = ELECTRICAL JUNCTION BOX
- ELEV = ELEVATION
- EMH = ELECTRIC MANHOLE
- FOP = FIBER OPTIC CABLE JUNCTION BOX
- GRJCB = GRUCCOM JUNCTION BOX
- HDP = HIGH DENSITY POLY-ETHYLENE PIPE
- ID = IDENTIFICATION
- IN = INVERT
- LF = LINEAR FEET
- M&S = METERED END SECTION
- NO. = NUMBER
- O.R. = OFFICIAL RECORDS BOOK
- PAGES = PAGES
- PEL = POLY-ETHYLENE
- POLY = POLY-VINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT OF WAY
- SEP = ELECTRICAL SWITCHGEAR PAD
- TRM = ELECTRICAL TRANSFORMER PAD
- US = UNDERDRAIN
- VP = VITRIFIED CLAY PIPE
- W = WITH
- W/B = TRAFFIC BOLLARD
- OS = STORM OR SANITARY SEWER CLEAN-OUT
- EM = ELECTRIC METER
- GB = GAS METER BALL
- GV = GAS VALVE
- HI = FIRE HYDRANT
- ICV = IRRIGATION CONTROL VALVE
- KA = GATE ACCESS KEYPAD
- LP = LIGHT POLE
- M = MANHOLE
- S = SIGN
- CTE = CABLE TELEVISION PEDISTAL
- W = WATER METER
- WV = WATER VALVE
- WEL = WETLANDS FLAG No. 4
- EL = ELEVATION CONTOUR LINE
- F = FENCE LINE
- = UNDERGROUND PRIVATE COMMUNICATIONS LINE
- = UNDERGROUND GRUCCOM COMMUNICATIONS LINE
- = UNDERGROUND ELECTRIC LINE
- = UNDERGROUND SANITARY SEWER FORCE MAIN
- = UNDERGROUND GAS LINE
- = UNDERGROUND FIBER OPTIC CABLE LINE
- = UNDERGROUND IRRIGATION LINE
- = UNDERGROUND TELEPHONE LINE
- = UNDERGROUND CABLE TELEVISION LINE
- = UNKNOWN UNDERGROUND UTILITY LINE
- = UNDERGROUND WATER LINE
- = UNDERGROUND FUEL OIL LINE
- = UNDERGROUND CONTROL WIRE
- = UNDERGROUND GROUND WIRE
- SP = SPOT ELEVATION
- LOCAL = LOCAL COORDINATES (ASSUMED DATUM)

FLAG	Northings	Eastings
w1	10843.3	12871.1
w2	10828.4	12855.3
w3	10813.9	12839.3
w4	10808.8	12827.2
w5	10803.2	12821.1
w6	10803.3	12822.6
w7	10803.8	12825.4
w8	10803.4	12847.8
w9	10803.0	12836.7
w10	10847.3	12846.7
w11	10831.0	12844.6
w12	10807.5	12830.8
w13	10798.2	12830.5
w14	10791.5	12828.2
w15	10785.8	12821.8
w16	10738.9	12808.7
w17	10701.1	12807.0
w18	10675.7	12806.8
w19	10648.8	12813.4
w20	10628.7	12817.8
w21	10618.1	12828.8
w22	10622.9	12830.9
w23	10641.1	12830.3
w24	10668.8	12824.8
w25	10683.0	12821.8
w26	10718.4	12821.8
w27	10718.4	12815.8
w28	10724.8	12818.9
w29	10726.4	12825.7
w30	10727.8	12828.8
w31	10791.0	12838.8
w32	10782.0	12844.2
w33	10798.5	12841.8
w34	10807.8	12850.1
w35	10808.8	12851.3
w36	10843.0	12854.8
w37	10843.4	12878.2
w38	10888.9	12806.9
w39	10879.0	12803.3
w40	10817.9	12808.8
w41	10841.1	12807.7

**TREE LEGEND:**

- ONLY TREES WITH A DIAMETER 8" AND GREATER WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GROUND)
- 1" = 10' SWEETBAY *Magnolia virginiana*
  - 2" = 10' BLACKOLM *Myrica bicolor*
  - 3" = 10' SOUTHERN REDCEDAR *Juniperus sibirica*
  - 4" = 10' BLACK CHERRY *Prunus serotina*
  - 5" = 2'-2'-2' CRAPE MYRTLE *Lagerströmia indica*
  - 6" = 10' CYPRESS *Platanus sp.*
  - 7" = 10' LINE OAK *Quercus virginiana*
  - 8" = 10' MAGNOLIA *Magnolia grandiflora*
  - 9" = 7'-10'-12' LIRIODENDRON *Liriodendron tulipifera*
  - 10" = 11' RED MAPLE *Acer rubrum*
  - 11" = 10' OAK *Quercus sp.*
  - 12" = 0' ORNAMENTAL PALM
  - 13" = 10' PALM *Borassus palmata*
  - 14" = 10' PINE *Pinus sp.*
  - 15" = 11'-12' RIVER BIRCH *Betula nigra*
  - 16" = 10' SWEETGUM *Liquidambar styraciflua*
  - 17" = 10' SYCAMORE *Quercus shumardii*
  - 18" = 10' SYCAMORE *Platanus occidentalis*
  - 19" = 11' SHEDD ELM *Ulmus alatus*
  - 20" = 10' YELLOW BIRCH *Betula pennsylvanica*
  - 21" = 10' WATER OAK *Quercus nigra*
  - 22" = 10' YELLOW-POPLAR *Liriodendron tulipifera*



SHEET 2 OF 3

SHEET 3 OF 3

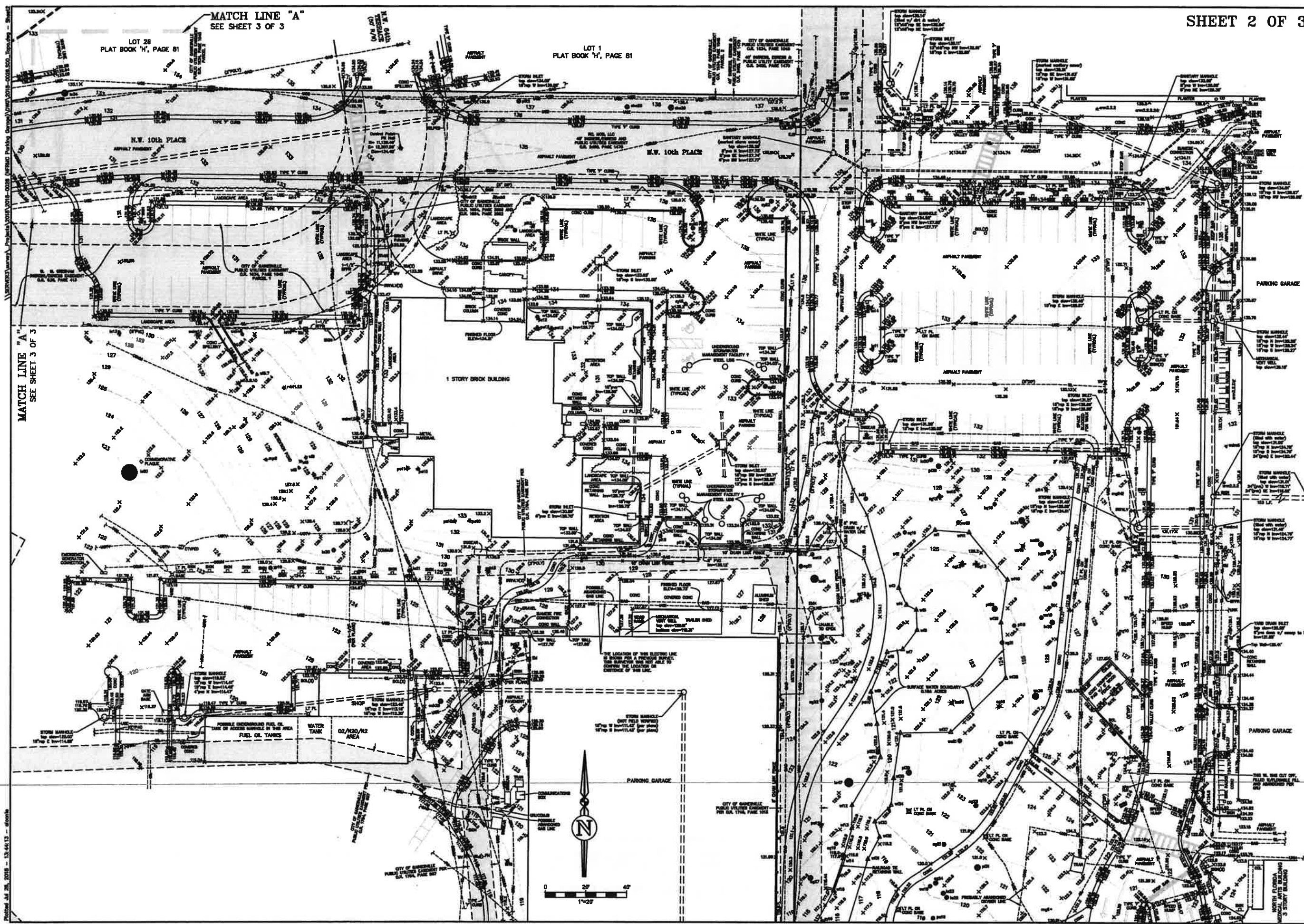


**FLOOD INSURANCE RATE MAP STATEMENT**  
THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) X (UNSHADDED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 1302002B010, COMMUNITY NUMBER: 121017, PANEL: 0878, EFFECTIVE DATE: 08/19/05. SAID MAP DESCRIBES ZONE(S) X (UNSHADDED) AS BEING AREAS DETERMINED TO BE OUTSIDE THE COE ANNUAL CHANCE FLOODPLAIN.

**cds 40**  
civil engineers-surveyors-planners, inc.  
1301 W. UNIVERSITY BLVD., SUITE 200  
GAINESVILLE, FLORIDA 32609  
TEL: 352.339.2747 FAX: 352.339.2748  
WWW.CDS40.COM

DATE: 07/26/18  
PROJECT: CHARLES PERRY PARTNERS, INC.  
SHEET NO.: V-001

Sheet No.: V-001



MATCH LINE "A"  
SEE SHEET 3 OF 3

MATCH LINE "A"  
SEE SHEET 3 OF 3

LOT 28  
PLAT BOOK 'H', PAGE 81

LOT 1  
PLAT BOOK 'H', PAGE 81

N.W. 10th PLACE

N.E. 10th PLACE

1 STORY BRICK BUILDING

PARKING GARAGE

PARKING GARAGE



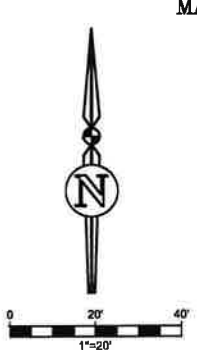
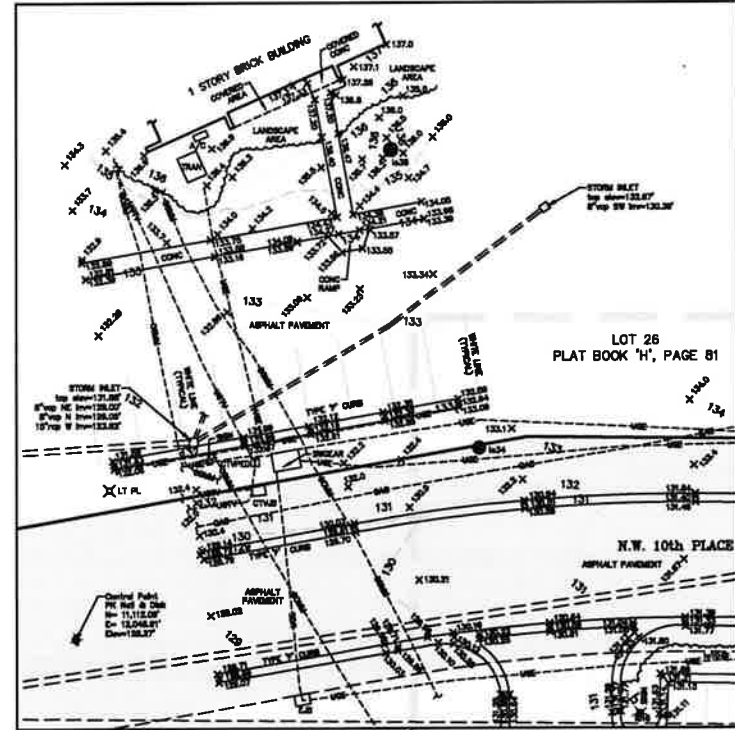
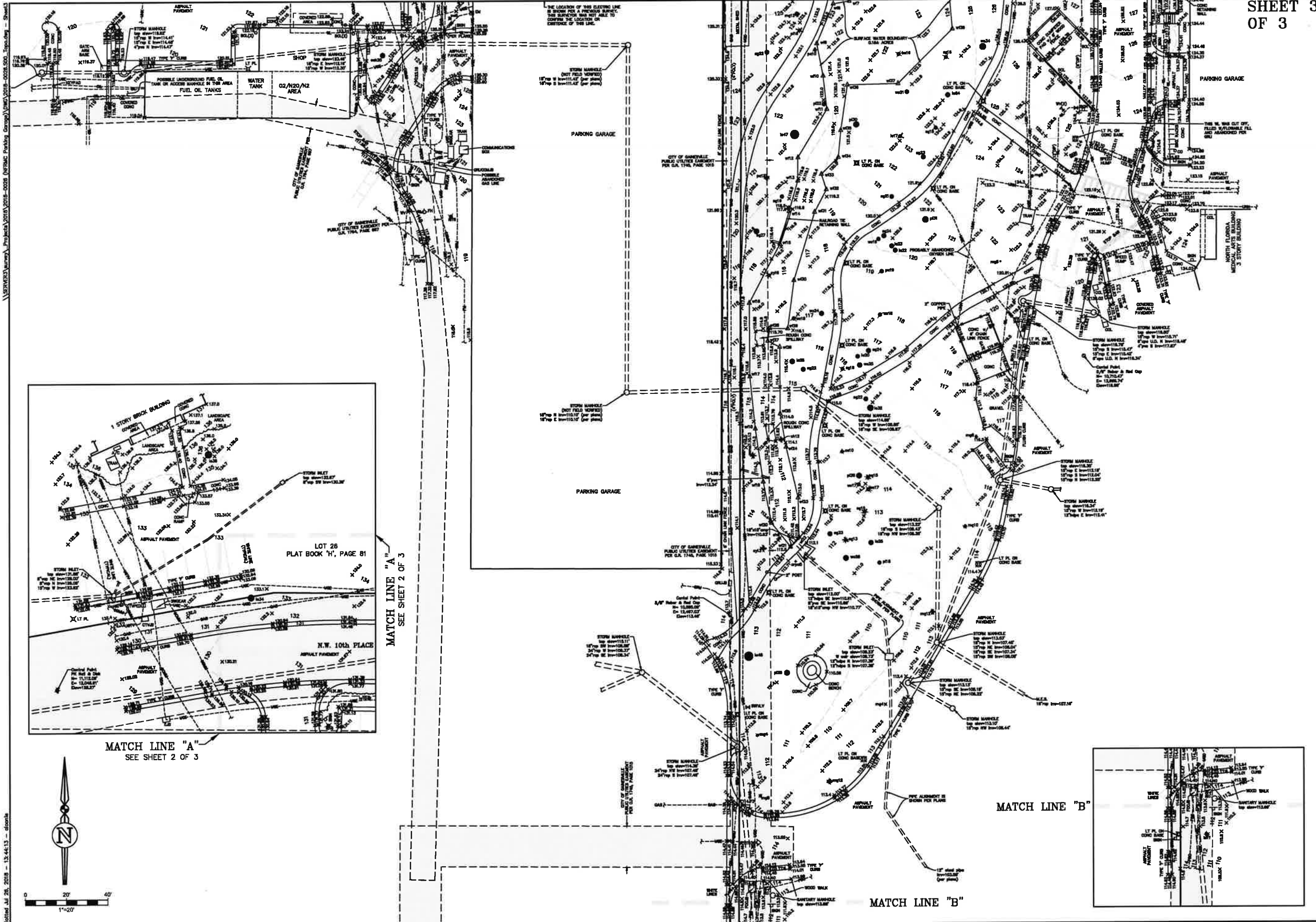
**FLOOD INSURANCE RATE MAP STATEMENT**  
 THE REAL PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE(S) X (UNSHADED) AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP NUMBER 130107-0001, COMMUNITY NUMBER 130107, PANEL 081B, EFFECTIVE DATE: 08/19/78. SAID MAP DESCRIBES ZONE(S) X (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN."



2010-008 000  
 08/19/78  
 104 N.W. 1st St., Suite 200  
 Ft. Lauderdale, FL 33301  
 (305) 555-1111  
 (305) 555-1112

08/19/78  
 08/19/78  
 07/28/78  
 PREPARED FOR: 1. CHARLES PERRY PARTNERS, INC.  
 2. [unclear]  
 3. [unclear]  
 4. [unclear]

V-002



**FLOOD INSURANCE RATE MAP STATEMENT**  
 THE REAL PROPERTY SHOWN HEREON LIES WITHIN FLOOD INSURANCE RATE MAP NUMBER 12001000000 COMMUNITY NUMBER: 120107 PANEL: 0201D. EFFECTIVE DATE: 09/19/08. SAID MAP DESCRIBES ZONE(S) AS BEING AS BEING DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**eds 40**  
 eds engineers-surveyors-planners, inc.  
 344 NW 45th St, Suite 200, Ft. Lauderdale, FL 33309  
 TEL: (954) 577-3641 FAX: (954) 577-2749  
 E-MAIL: info@eds40.com

DATE: 03/20/18  
 DRAWN: [Name]  
 CHECKED: [Name]  
 PREPARED FOR: CHARLES PERRY PARTNERS, INC.  
 SHEET NO.: V-003

THIS SURVEY AND THE PREPARATION OF THIS STATEMENT IS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 47, F.L.A., ADMINISTRATIVE CODE, PURSUANT TO SECTION 4722.07 (2017), FLORIDA STATUTES. THIS SURVEY MEETS THE SITE CONDITIONS AS OF: [Date]

Plotted Jul 26, 2018 - 1:34:13 - drcmb  
 \\SERVER\survey\Projects\2018\2018-0028 (NTRAC Parking Garage)\Draw\2018-0028-000\_Top.dwg - Sheet3