

### DRAWING LIST:

- LC-0 OVERALL SITE PLAN
- LC-1 HARDSCAPE LAYOUT PLAN
- LC-2 HARDSCAPE ENLARGEMENTS
- LC-3 HARDSCAPE SECTIONS AND DETAILS
- LC-4 LIGHTING PLAN
- LC-5 CONCRETE AND GENERAL NOTES
- LP-1 PLANTING PLAN
- LP-2 PLANT LIST, NOTES AND DETAILS

## HISTORIC DEPOT BUILDING REHABILITATION

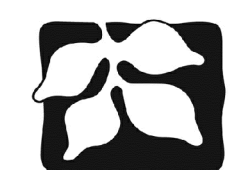
201 S.E. DEPOT AVENUE  
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GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

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*Bender & Associates*  
**ARCHITECTS**  
p.a.

Project N: 0910  
OVERALL SITE PLAN  
Date: 4/01/10

**LC-0**  
OF



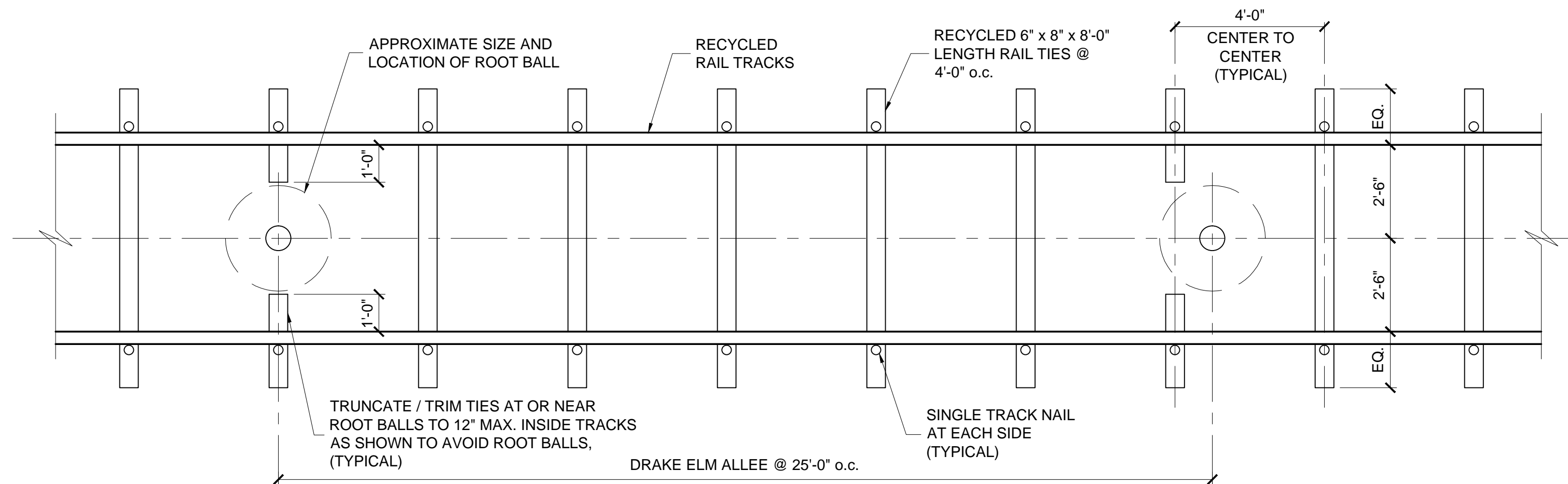
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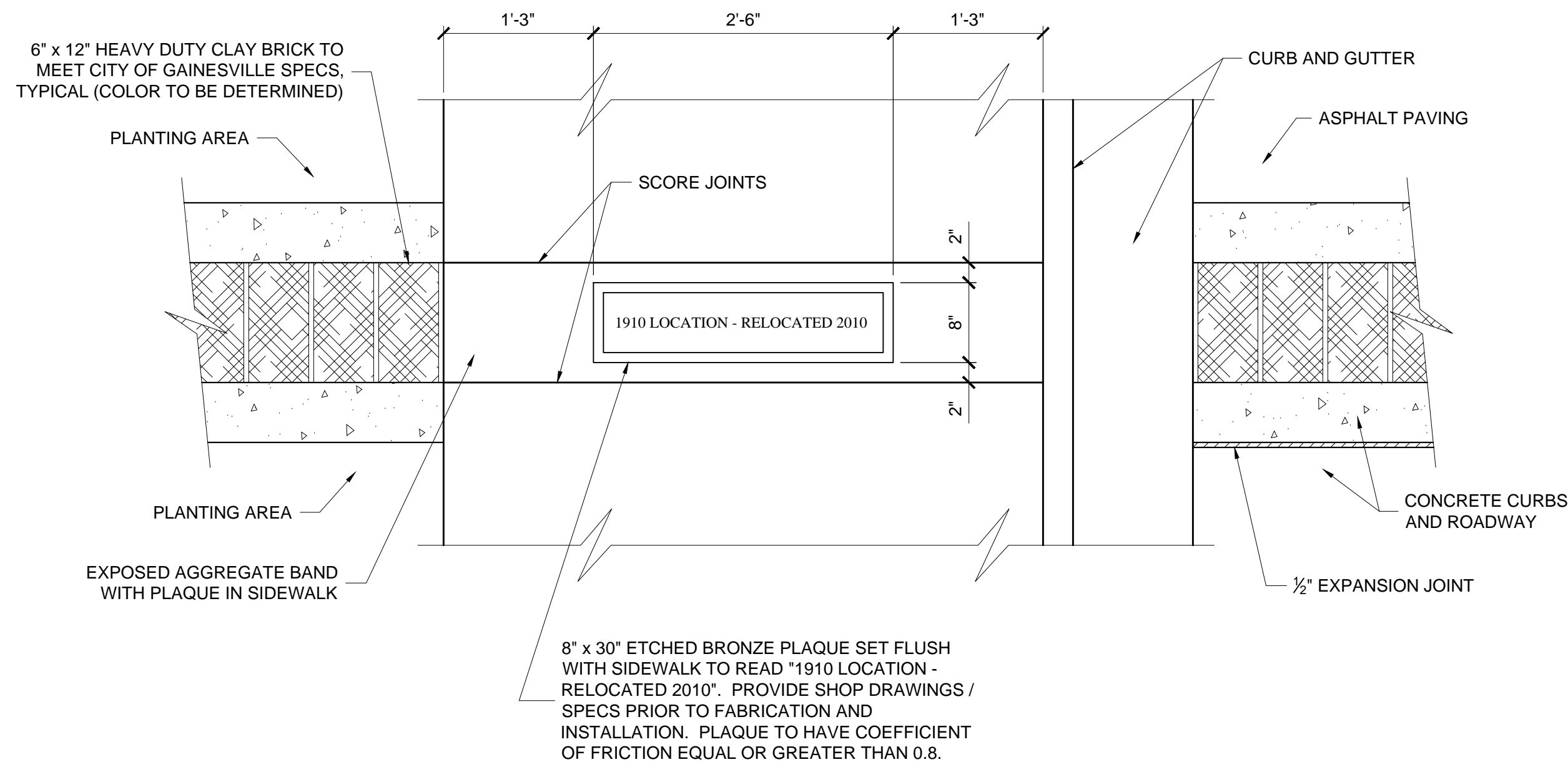




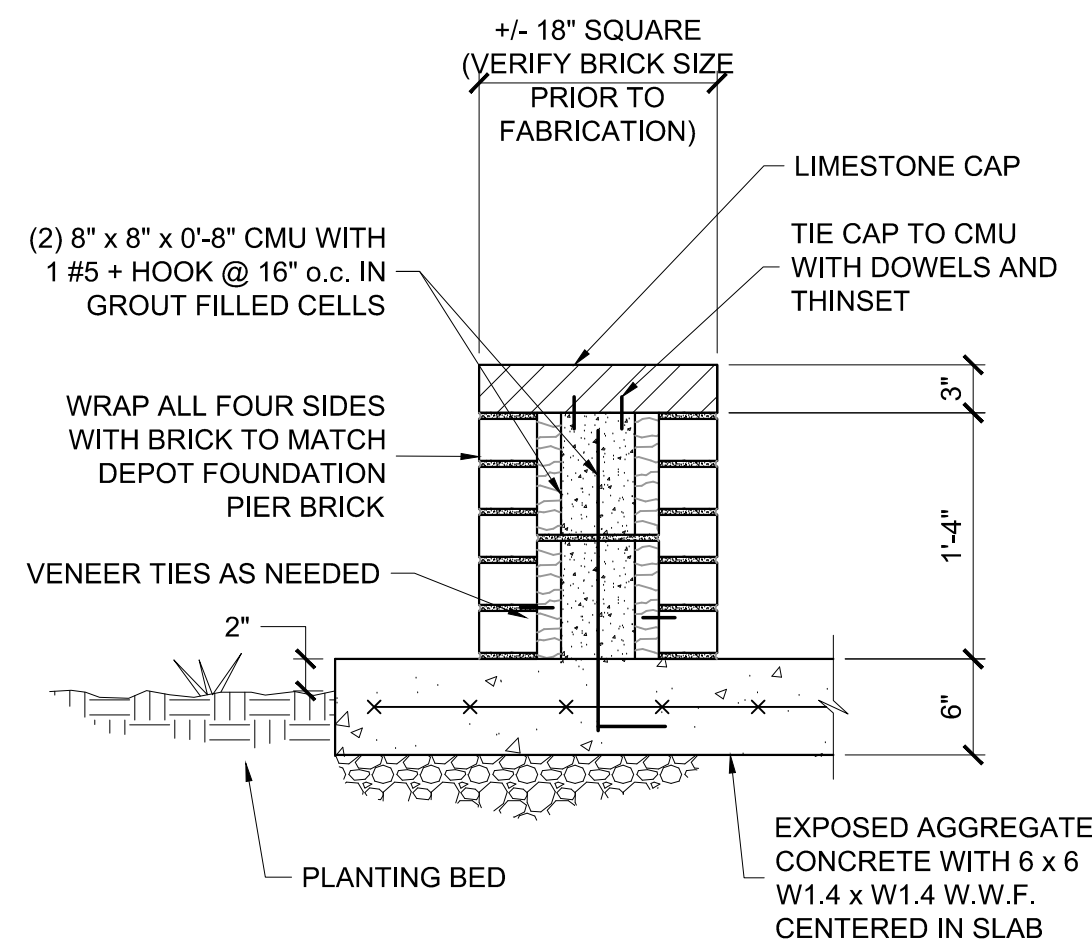




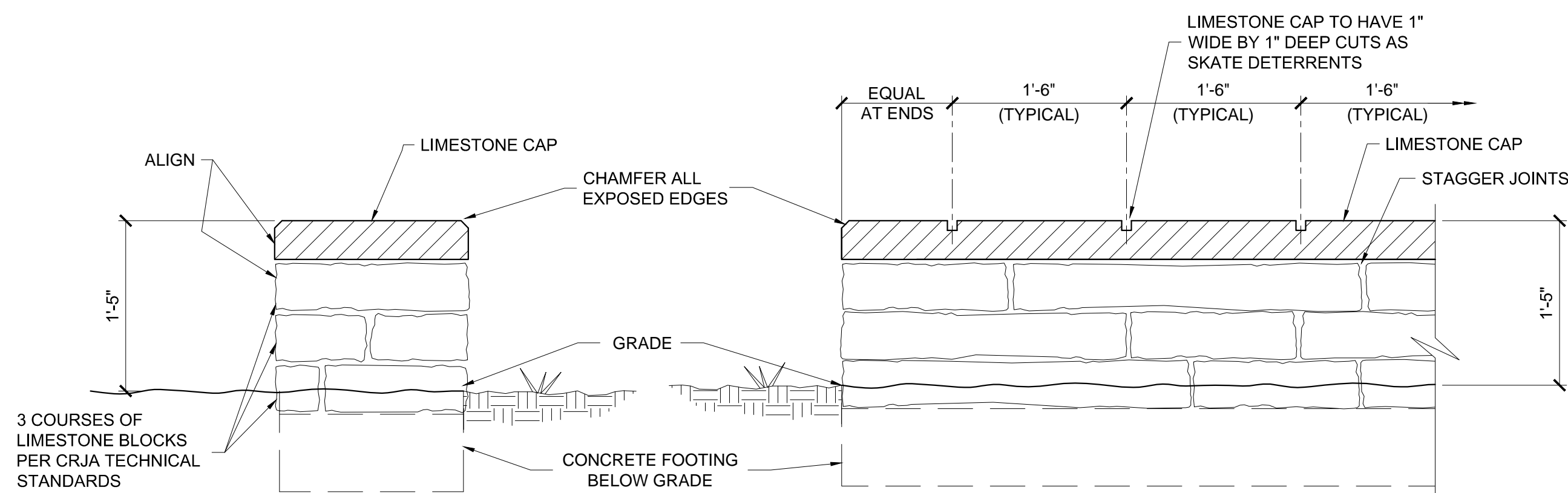
**PLAN DETAIL** OF RECYCLED RAIL TRACKS AND TREE ALLEE  
SCALE:  $\frac{3}{8}$ " = 1'-0"  
1 LC-2



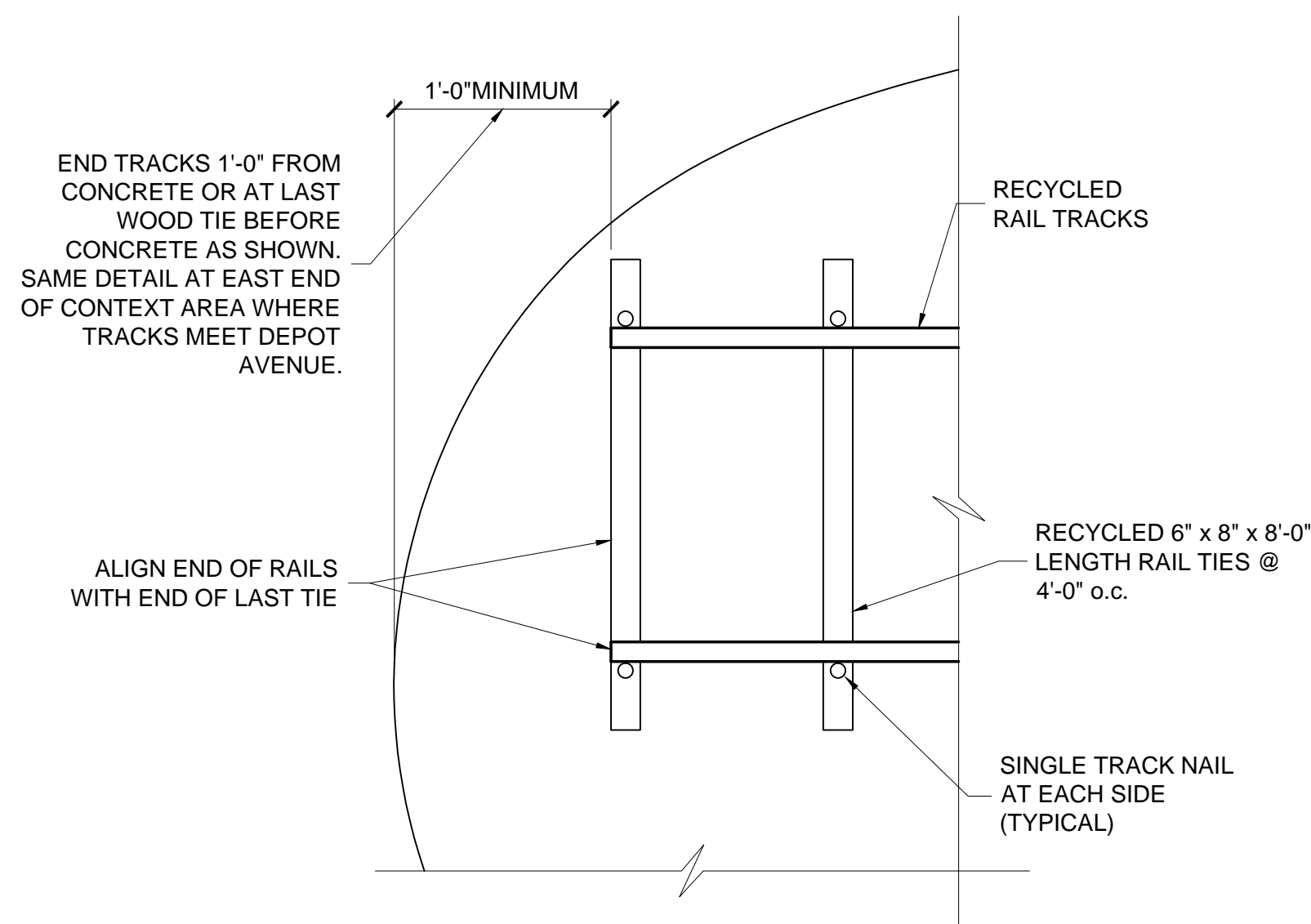
**PLAN DETAIL** OF ETCHED BRONZE PLAQUE  
SCALE: 1" = 1'-0"  
2 LC-2



**SECTION** THRU BENCH FOUNDATION  
SCALE: 1" = 1'-0"  
3 LC-2



**ELEVATION** OF BENCH END AND SIDE  
SCALE: 1" = 1'-0"  
4 LC-2



**PLAN DETAIL** OF RECYCLED RAIL TRACK ENDS  
SCALE:  $\frac{3}{8}$ " = 1'-0"  
5 LC-2

**HISTORIC DEPOT BUILDING REHABILITATION**  
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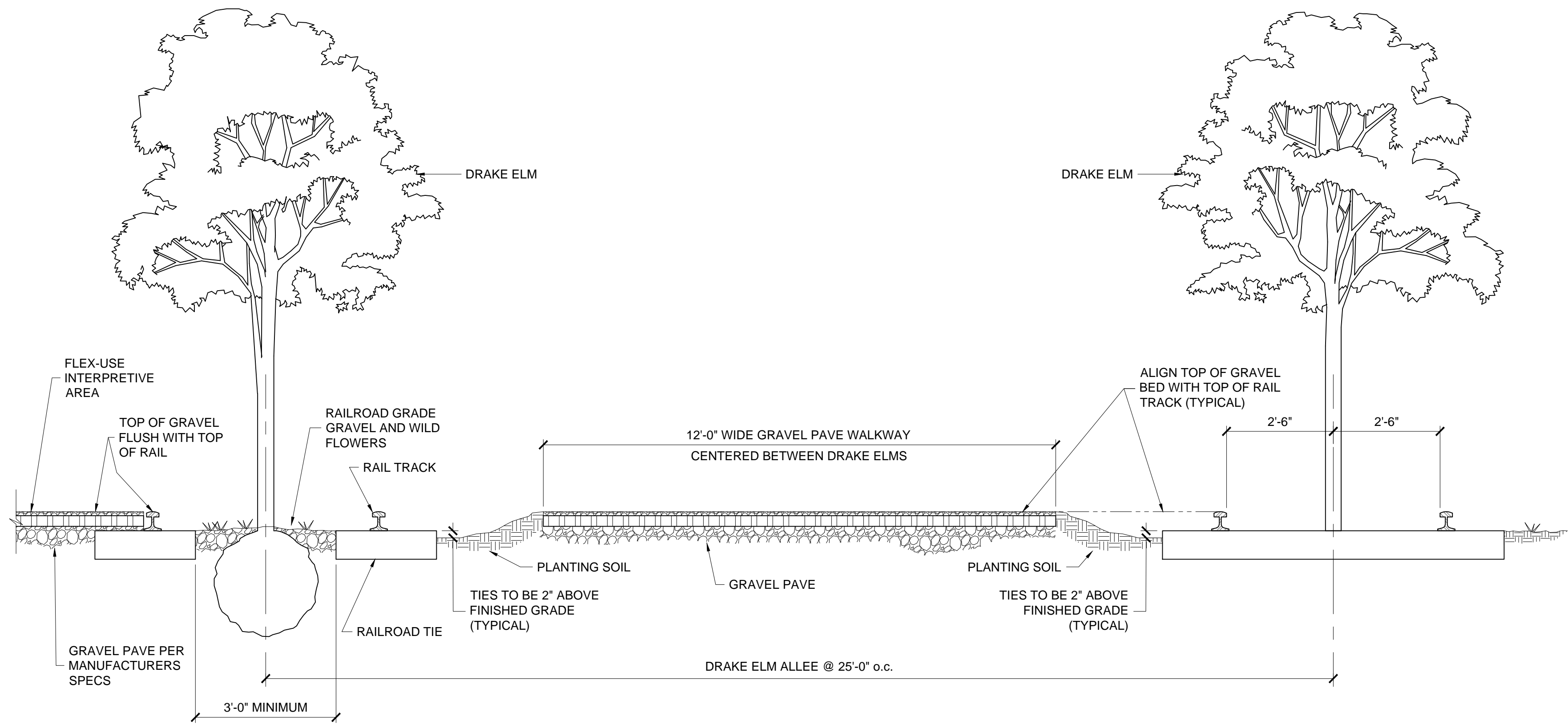
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Project N: 0910  
HARDSCAPE  
ENLARGEMENTS  
Date: 4/01/10

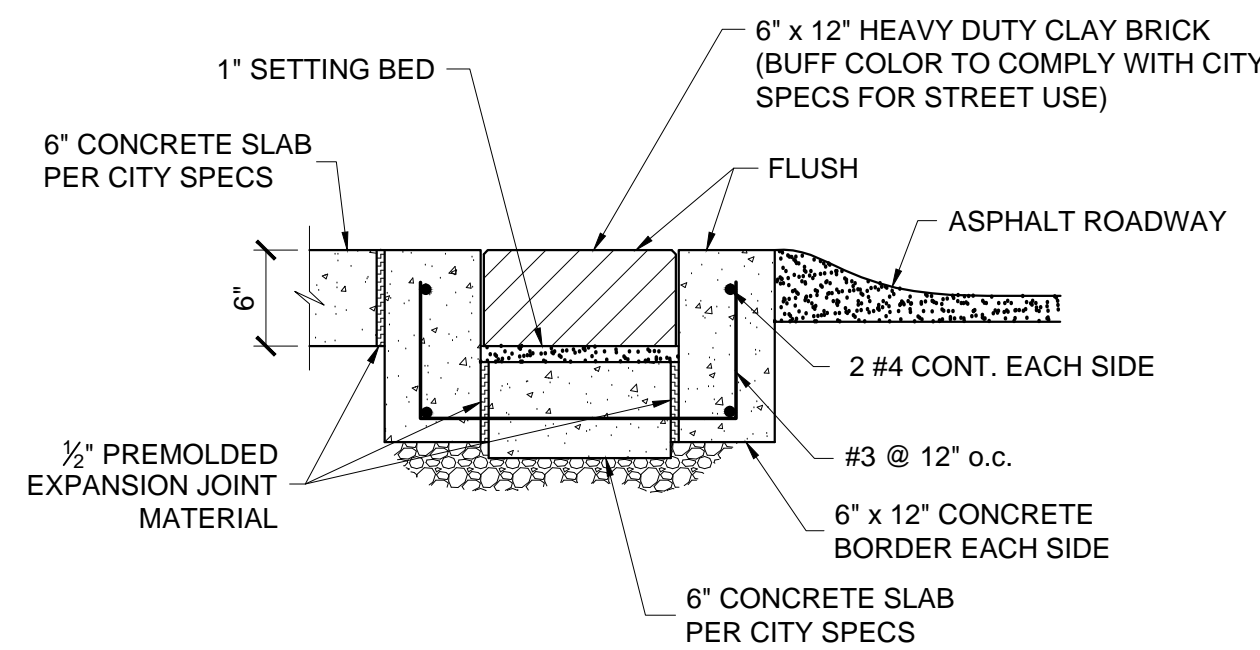
**LC-2**  
OF

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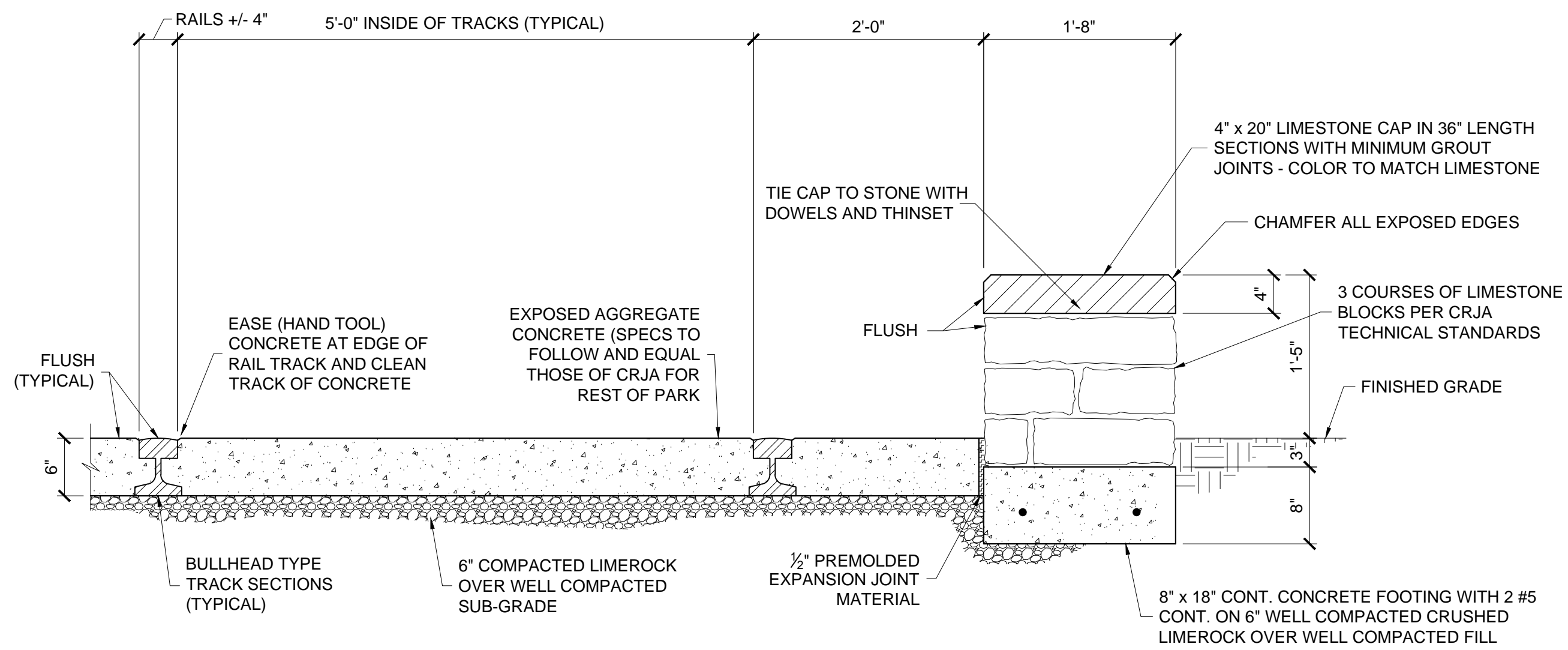




**SECTION** THRU FLEX-USE / WALKWAY / RAIL TRACKS 1  
SCALE: 1/2" = 1'-0" LC-3



**SECTION** THRU BUILDING FOOTPRINT MEMORIALIZATION PAVING ON DEPOT AVENUE 2  
SCALE: 1" = 1'-0" LC-3



**SECTION** THRU RAIL TRACK AND RAIL TIE BENCH 3  
SCALE: 1" = 1'-0" LC-3

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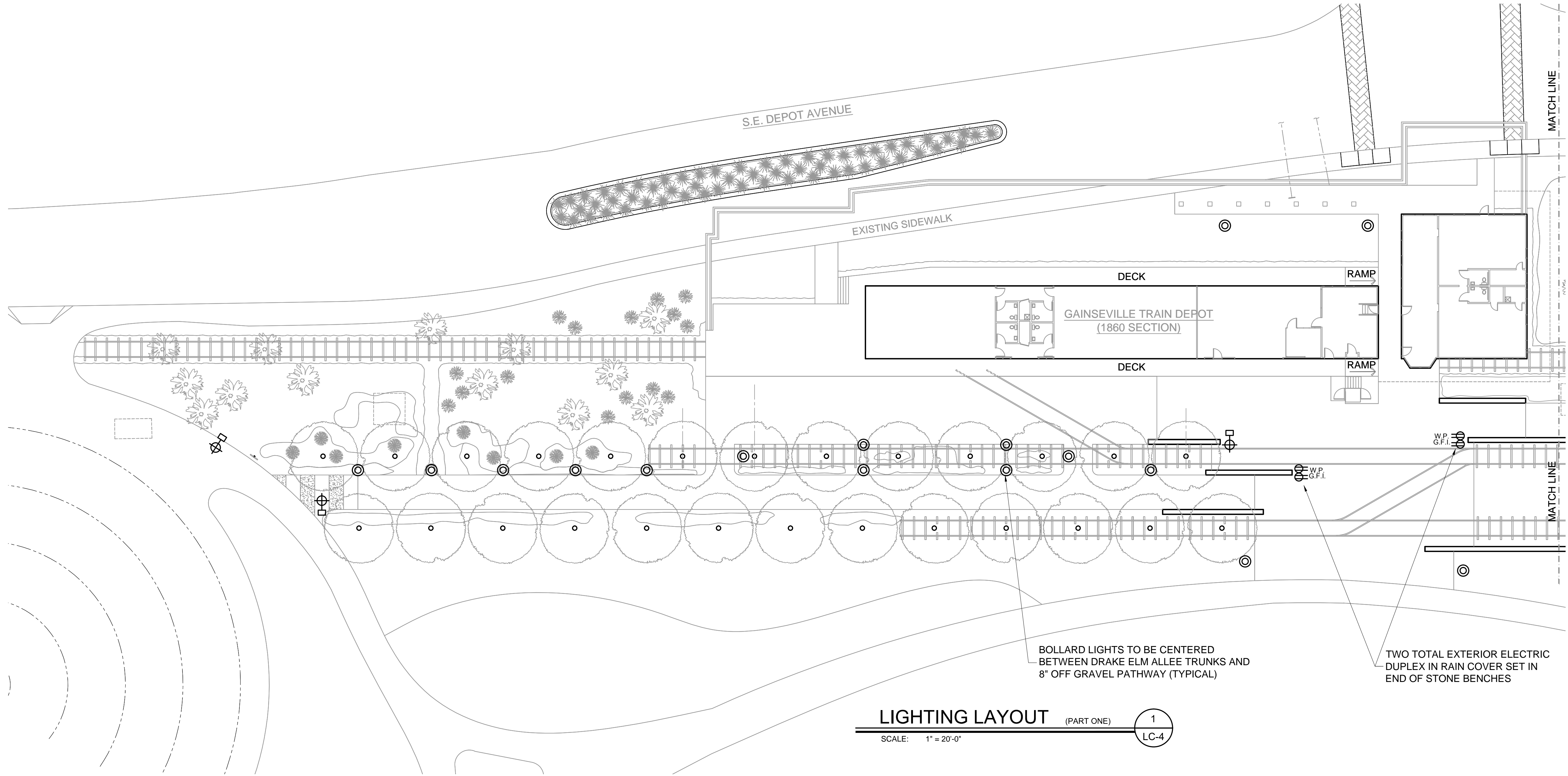
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Project N: 0910  
HARDSCAPE SECTIONS AND DETAILS  
Date: 4/01/10

**LC-3**  
OF





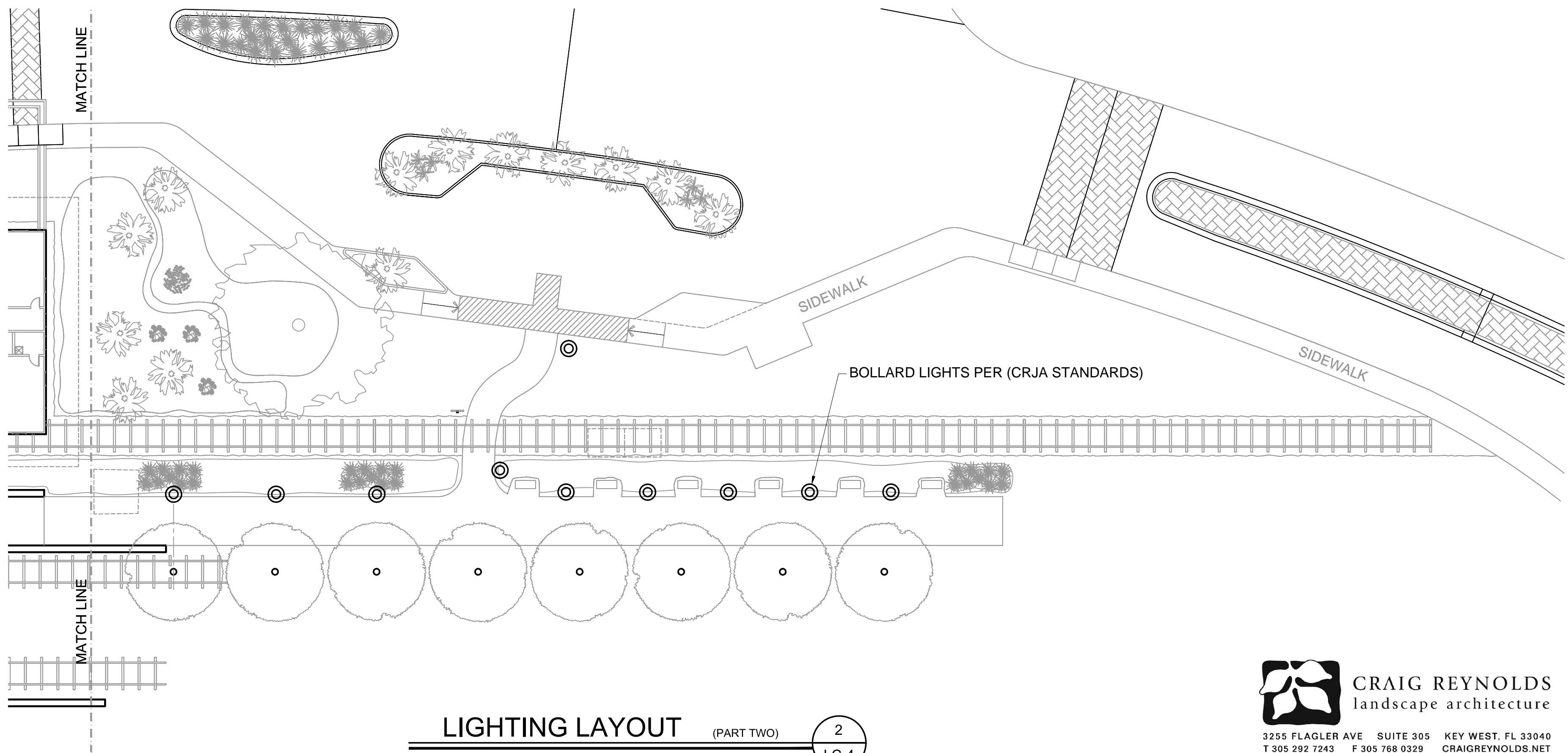
# Lighting Layout

(PART ONE)

1

LC-4

SCALE: 1" = 20'-0"



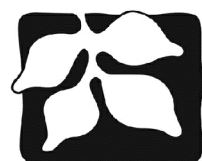
# Lighting Layout

(PART TWO)

2

LC-4

SCALE: 1" = 20'-0"



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## HISTORIC DEPOT BUILDING REHABILITATION

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Project N: 0910

LIGHTING PLAN

Date: 4/01/10

LC-4

OF

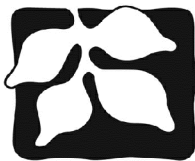


GENERAL NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE CURRENT LATEST EDITION OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING AND LIFE SAFETY CODES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THESE CODES AND SHALL BUILD ACCORDINGLY.
2. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE PLANS, CODES, AND ORDINANCES, MANUFACTURER'S RECOMMENDATIONS, THE ENGINEERING REQUIREMENTS, AND ACCEPTABLE TRADE PRACTICES. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
3. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOBSITE.
4. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND CITY OF KEY WEST CODE SUPPLEMENT.
5. ALL WORK SHALL BE PERFORMED TO THE BEST TRADE STANDARDS. ALL CONSTRUCTION IS TO BE PLUMB, SQUARE, LEVEL, AND FREE OF DEFECTS OR OBTUSIONS UNLESS OTHERWISE NOTED ON THE PLANS. ALL MATERIAL IS TO BE NEW; ALL WOOD IS TO BE PRESSURE TREATED UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO DIGGING.
7. ALL DEBRIS FROM CONSTRUCTION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A SAFE MANNER IN ADHERENCE TO ALL APPLICABLE LAWS.
8. AFTER COMPLETION OF CONSTRUCTION REMOVE ALL DEBRIS AND CONSTRUCTION EQUIPMENT. RESTORE SITE TO ORIGINAL CONDITION.
9. FURNISH A RECEPTACLE ON SITE TO CONTAIN CONSTRUCTION DEBRIS AND MAINTAIN THE SITE IN AN ORDERLY MANNER TO ENSURE PUBLIC SAFETY AND PREVENT BLOWING DEBRIS.
10. COMPLY WITH ALL REQUIREMENTS FOR SELECTIVE DEMOLITION AS SPECIFIED, CALLED FOR, OR REVIEWED ON SITE WITH LANDSCAPE ARCHITECT.
11. WHERE A CONFLICT OR AMBIGUITY EXISTS ON THE DRAWINGS DURING BIDDING, LAYOUT, AND/OR IMPLEMENTATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CEASE WORK ON THE ITEM IN QUESTION AND NOTIFY THE LANDSCAPE ARCHITECT IN A MANNER THAT WILL ALLOW A TIMELY RESOLUTION. NO EXCEPTIONS.
12. DRAWINGS AND SPECIFICATIONS ARE TO BE USED TOGETHER. CONTRACTORS AND WORKERS SHALL CONSULT EACH WHEN QUESTIONS CONCERNING THE LETTER AND/OR INTENT OF THE DESIGN ARISE.
13. WHERE A CONFLICT OR AMBIGUITY EXISTS BETWEEN A CONTRACTOR'S UNDERSTANDING OF A CODE AND THE DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CEASE WORK ON THE ITEM IN QUESTION AND NOTIFY THE LANDSCAPE ARCHITECT IN A MANNER THAT WILL ALLOW A TIMELY RESOLUTION.
14. DRAWING SHALL NOT BE SCALED WITHOUT PERMISSION OF THE LANDSCAPE ARCHITECT. WHERE ERRORS OR INCONSISTENCIES EXIST REGARDING DIMENSIONS ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR A RESOLUTION BEFORE PROCEEDING. CONTRACTORS SHALL NOT DEVIATE FROM THESE PLANS WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT. ANY INFORMATION THAT CANNOT BE OBTAINED FROM DIMENSIONS, DETAILS, OR SCHEDULES SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
15. CONTRACTOR RESPONSIBLE FOR INSTALLING/CREATING SWALES AS SHOWN ON PLANS AND INCLUDE IN REVIEW WITH BUILDING INSPECTORS AS PART OF FINAL INSPECTION AND/OR INSPECTION FOR CERTIFICATE OF OCCUPANCY.
16. THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE LANDSCAPE ARCHITECT ARE INSTRUMENTS OF THE LANDSCAPE ARCHITECT'S SERVICE AND ARE COPYRIGHT © 2008, CRAIG REYNOLDS, INC., DBA, CRAIG REYNOLDS LANDSCAPE ARCHITECTURE.

CONCRETE NOTES:

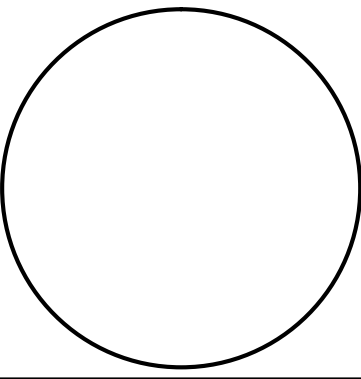
1. CONCRETE CONTRACTOR TO INCLUDE PERMITTING, PERMIT FEES, NOTICE OF COMMENCEMENT, INSPECTIONS, ETC. AS PART OF BID.
2. ALL CONCRETE WORK TO COMPLY WITH THE 2007 FLORIDA BUILDING CODE AND ASCE 7-05.
3. ALL CONCRETE WORK TO WITHSTAND 150 MPH WIND LOAD.
4. ALL CONCRETE SLABS ON GRADE SHALL BE 3000 PSI IN 28 DAYS.
5. ALL SLABS ARE TO HAVE 6" THICKENED EDGES ON ALL SIDES WITH ONE #5 REBAR CONTINUOUS.
6. ALL SLABS, REGARDLESS OF THICKNESS, ARE TO HAVE COMPLETE MAT OF 666 WWM.
7. ALL REBAR AND WIRE MESH TO HAVE MINIMUM OF 2" CONCRETE COVER.
8. ALL CONCRETE SLABS SHALL BE POURED IN PLACE OVER 4-6" OF WELL COMPACTED CRUSHED LIME ROCK OVER WELL COMPACTED SUB GRADE.
9. CONCRETE CONTRACTOR RESPONSIBLE FOR ALL SUB BASE PREPARATION. ANY EXCAVATION IS THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR AND ALL FILL IS TO BE REMOVED FROM SITE AT EXPENSE OF CONTRACTOR.
10. LAYOUT OF ALL CONCRETE SLABS SHALL BE APPROVED PRIOR TO IMPLEMENTATION BY PROJECT LANDSCAPE ARCHITECT.
11. ALL EXPOSED EDGES INCLUDING EDGES ADJACENT TO EXISTING COPING, OTHER CONCRETE SLABS, WALKWAYS OF ANY OTHER MATERIAL, ETC. SHALL HAVE HAND TOOLED EDGES, NO EXCEPTIONS. SAW CUT JOINTS WILL NOT BE ACCEPTED.
12. WHERE DESIGN CALLS FOR A PATTERN OF HAND TOOLED JOINTS, THESE JOINTS TO BE 1/4" MINIMUM DEPTH WITH STRAIGHT SIDES. WIDTH OF JOINT TO MATCH HAND TOOL. FLARED OR OBVIOUSLY OVERWORKED JOINTS THAT ARE VISUALLY INCONSISTENT ARE NOT ACCEPTABLE. AFTER CONCRETE CURES, ALL HAND TOOLED JOINTS ARE TO BE SAW CUT TO A TOTAL DEPTH OF 3/4". SAW CUT JOINTS WITHOUT PRIOR HAND TOOLING WILL NOT BE ACCEPTED.
13. NO CONCRETE PANEL OR AREA OF CONCRETE SHALL EXCEED 5'X7' WITHOUT A HAND TOOLED SCORE JOINT OR CONSTRUCTION JOINT.
14. WHEN PLANS CALL FOR ROCK SALT FINISH, USE VARYING SIZES OF ROCK SALT NO SMALLER THAN 1/4" AND NO LARGER THAN 3/4". UNIFORM SALT SIZE WILL NOT BE ACCEPTED.
15. CONTRACTOR TO PROVIDE A 4 SQUARE FOOT SAMPLE OF ROCK SALT FINISH WITH AT LEAST ONE HAND TOOLED JOINT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
16. ALL CONCRETE SLABS TO SLOPE AT A MINIMUM OF 1/8" PER FOOT FOR PROPER DRAINAGE.
17. ANY INTEGRAL COLORING, STAINS, ETC. CALLED FOR ON THE PLANS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. SAMPLES TO BE PROVIDED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
18. CONCRETE WORK NOT CONFORMING TO THE ABOVE NOTES AND THE PROPER LAYOUT ON THE PLANS WILL BE REMOVED AND REDONE AT THE EXPENSE OF THE CONTRACTOR.



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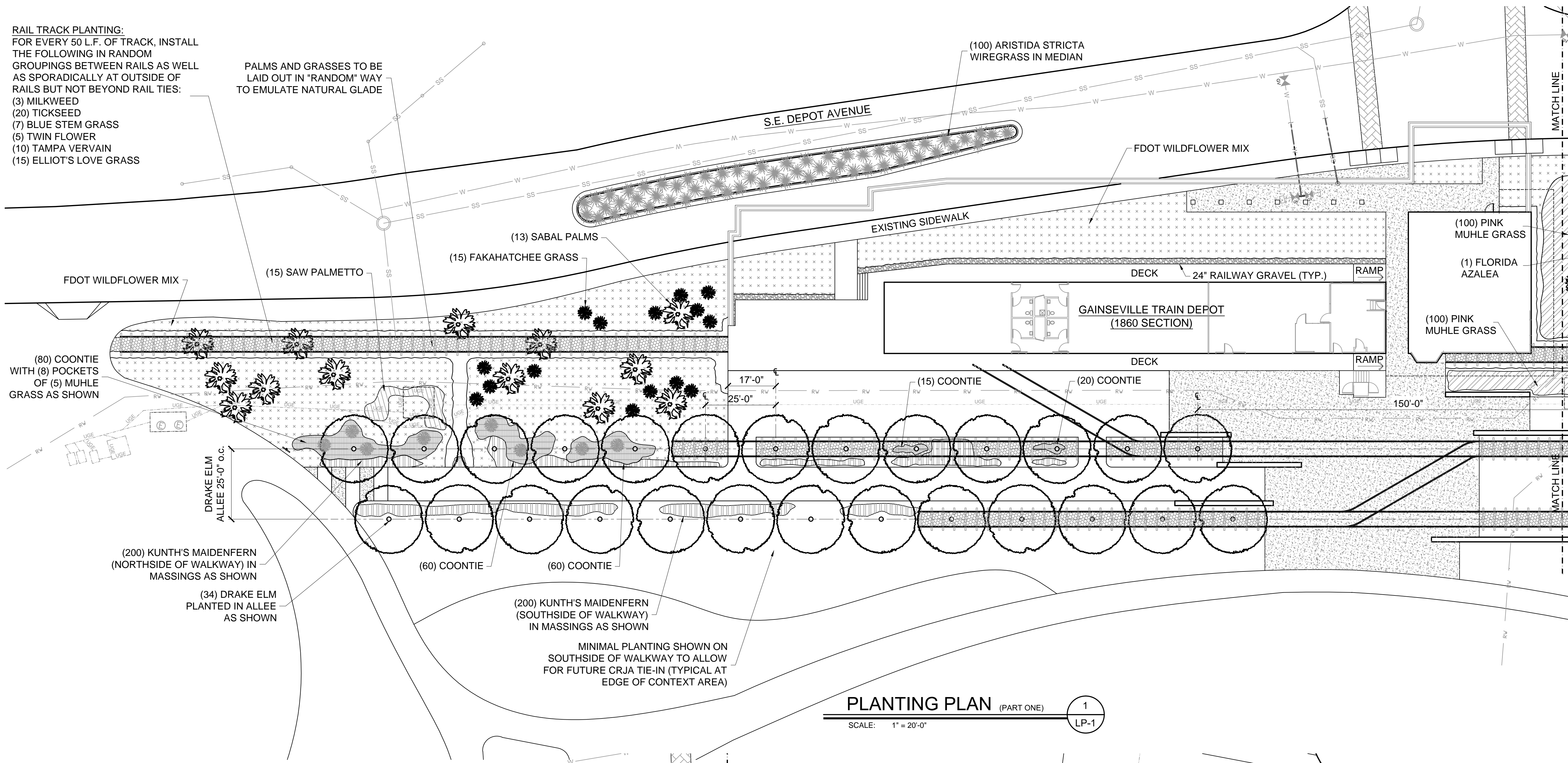
Project N : 0910  
CONCRETE AND GENERAL  
NOTES  
Date: 4/01/10

LC-5

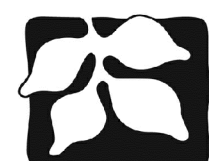
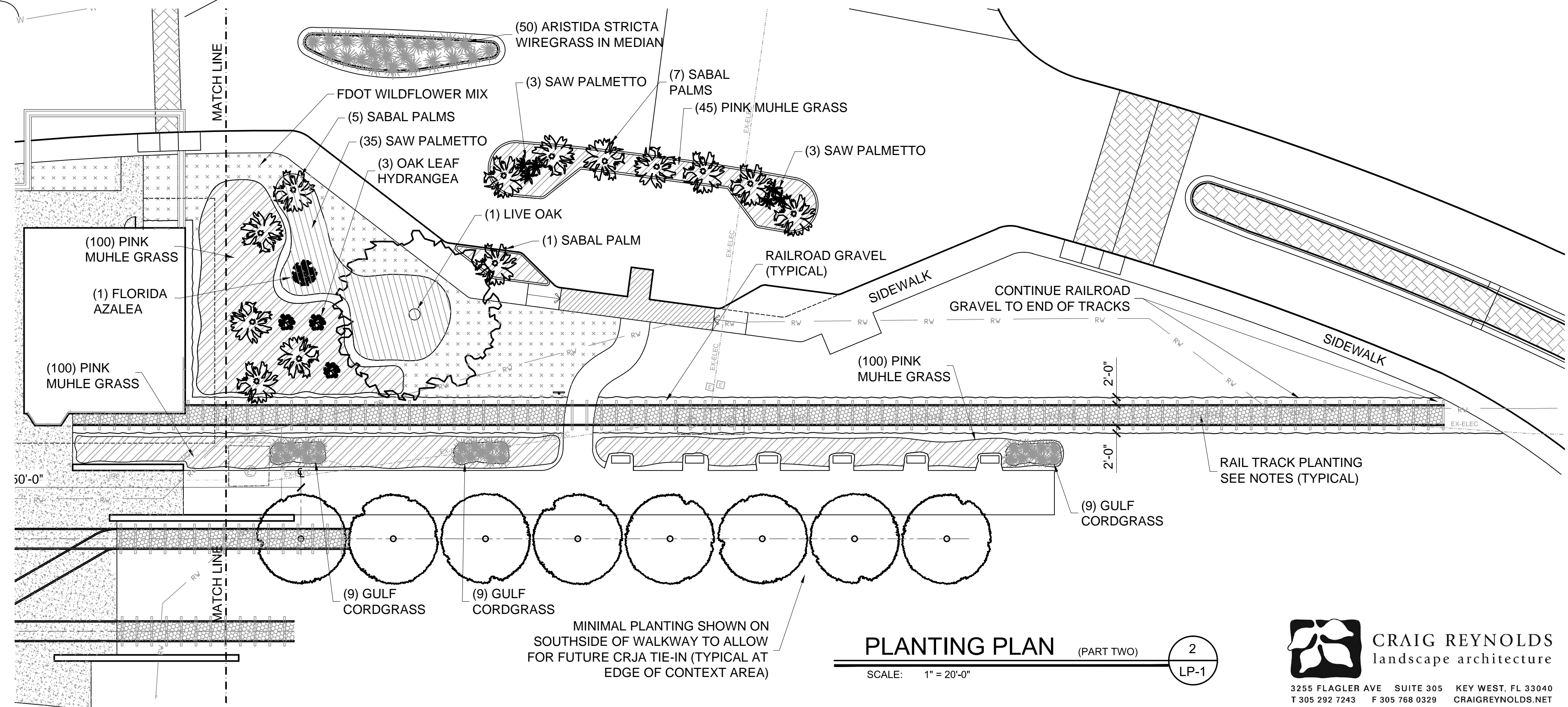


RAIL TRACK PLANTING:  
FOR EVERY 50 L.F. OF TRACK, INSTALL  
THE FOLLOWING IN RANDOM  
GROUPINGS BETWEEN RAILS AS WELL  
AS SPORADICALLY AT OUTSIDE OF  
RAILS BUT NOT BEYOND RAIL TIES:  
(3) MILKWEED  
(20) TICKSEED  
(7) BLUE STEM GRASS  
(5) TWIN FLOWER  
(10) TAMPA VERVAIN  
(15) ELLIOT'S LOVE GRASS

PALMS AND GRASSES TO BE  
LAID OUT IN "RANDOM" WAY  
TO EMULATE NATURAL GLADE



**NOTE:** THE MAJORITY OF THE  
PLANTING AREA SHOWN ON PLANS  
TO BE REMEDIATED PRIOR.  
LANDSCAPE CONTRACTOR TO TEST  
SOIL THROUGHOUT PLANTING AREA  
AND AMEND / ADD SOIL AS NEEDED  
FOR LONG TERM HEALTH OF  
INSTALLED PLANTING.



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# HISTORIC DEPOT BUILDING REHABILITATION

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Project N : 0910  
PLANTING PLAN  
Date: 4/01/10

LP-1  
OF



### 2" AND LARGER CALIPER TREES BRACED BY GUYING:

- SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:**

- GENERAL LANDSCAPE NOTES:**

- | PLANT LIST      |                           |   |
|-----------------|---------------------------|---|
| Qty.            | Item                      | Specifications  |
| TREES AND PALMS |                           |   |
| 1               | <i>Quercus virginiana</i> | Live Oak  |
| 21              | <i>Sabal palmetto</i>     | 6" Caliper, FF#1<br>9'-16" wood, slicks, vary sizes @ 2' intervals min.<br>install in staggered ht. groupings to look natural |
| 47              | <i>Serenoa repens</i>     | Saw Palmetto  |
| 34              | <i>Ulmus parvifolia</i>   | 15 gallon<br>Drake Elm<br>14" PH x 6" spread min., FF#1, matched as much as possible  |

## SHRUBS AND GROUNDCOVERS

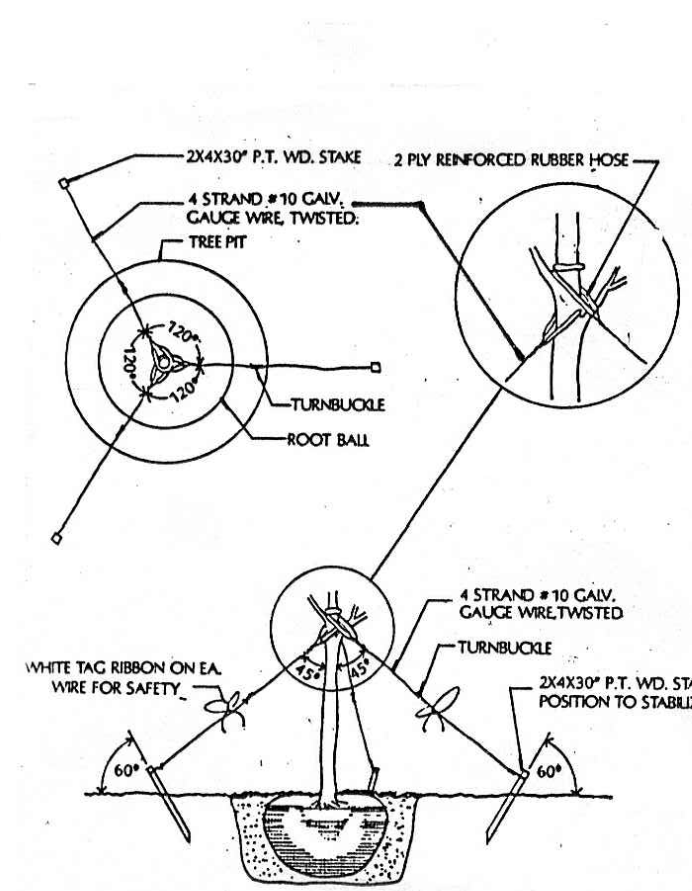
140	<i>Andropogon</i> spp.	Bluestem Grass	1 gallon
400	<i>Asclepias</i> spp.	Milkweed	1 gallon
600	<i>Coreopsis</i> spp.	Tickseed	1 gallon
100	<i>Dyschoriste oblongifolia</i>	Thin Flower	1 gallon
300	<i>Eragrostis elliottii</i>	Elliott's Lovegrass	1 gallon
TBD	FDOT Wildflower Mix		
3	<i>Glандularia tamensis</i>	Tampa Vervain	1 gallon
3	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	5' PH
340	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	1 gallon
1	<i>Rhododendron austrinum</i>	Florida Azalea	4' PH
400	<i>Thelypteris kunthii</i>	Kunth's Maidenfern	1 gallon
15	<i>Tripsacum dactyloides</i>	Kahatchatee Grass	3 gallon
235	<i>Zamia floridana</i>	Coontie	1 gallon
150	<i>Aristida Stricta</i>	Wire Grass	1 gallon
24	<i>Spargina Sparginae</i>	Gulf Cord Grass	3 gallon

### ADDITIONAL ITEMS

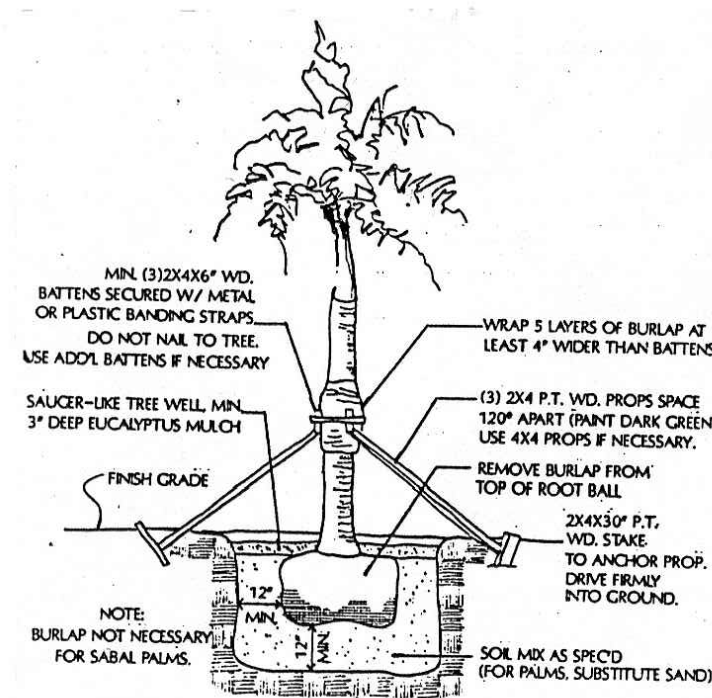
- |     |                              |   |
|-----|------------------------------|---|
| TBD | <i>Black Mulch</i>           | 2" min. thickness at all large shrubs and trees |
| TBD | <i>Planting Soils needed</i> |   |

**PLAN TAKES PRECEDENCE OVER PLANT LIST: BID AND INSTALL ACCORDINGLY**

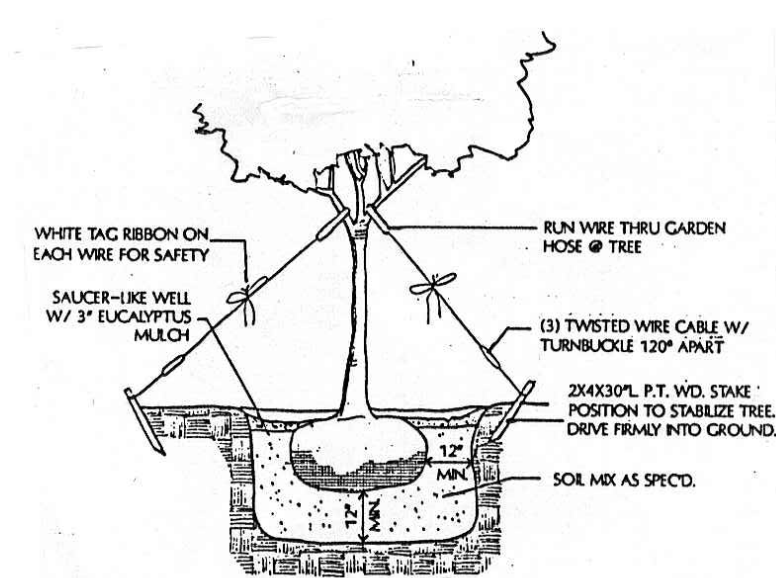
### CHECK SOIL CONDITIONS OF NEW BACKFILL



### TYPICAL TREE GUYING DETAIL

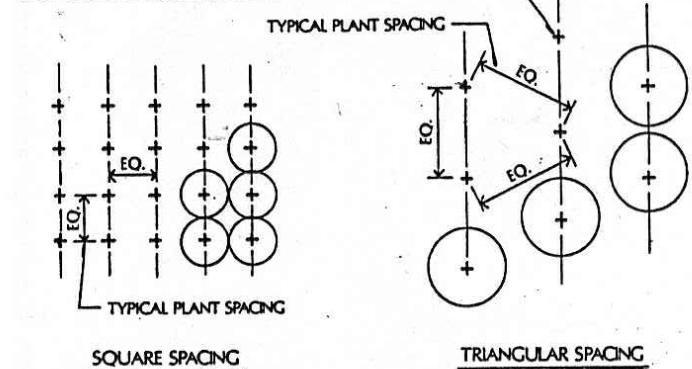


SPECIMEN TREE & TALL  
PALMS SUPPORT DETAIL

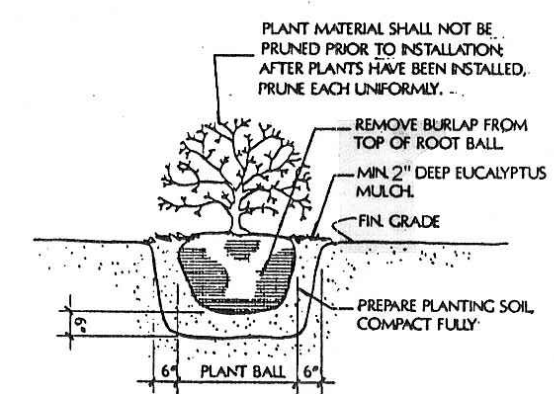
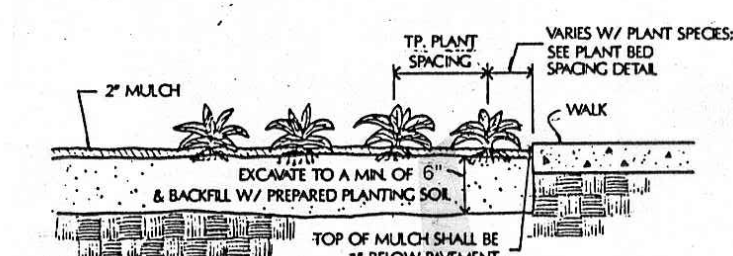


### SMALL TREE SUPPORT DETAIL

- NOTE:**  
IN MOST CASES TRIANGULAR SPACING  
IS PREFERRED, USE SQUARE SPACING  
ONLY IN SMALL RECTILINEAR AREAS.



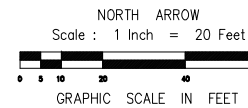
### PLANTING DETAIL



### TYPICAL SHRUB PLANTING DETAIL



” RESTORATION PHASE 2 ”









PRESERVATION NOTES:

1. MATCH ORIGINAL HISTORIC MATERIAL, TEXTURES AND FINISHES. THE ARCHITECT WILL BE THE SOLE JUDGE AS TO WHAT CONSTITUTES AN APPROPRIATE MATCH.
2. REMOVE ALL AREAS IDENTIFIED BY THE ARCHITECT AS INAPPROPRIATE OR NOT MATCHING THE ADJACENT HISTORIC FABRIC.
3. TAKE ALL APPROPRIATE MEASURES NECESSARY TO CORRECT INFERIOR WORK AS IDENTIFIED BY THE ARCHITECT.
4. PROTECT HISTORIC FABRIC DURING ALL OPERATIONS. NO HISTORIC MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL OF ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO HAVE INDIVIDUAL WORKMEN REMOVED FROM INDIVIDUAL ACTIVITIES OR THE PROJECT ENTIRELY, IF IN THE ARCHITECT'S JUDGEMENT, THE QUALITY OF WORK BEING PERFORMED IS INAPPROPRIATE, INFERIOR, OR DETRIMENTAL TO HISTORIC MATERIALS.
5. REFER TO PHOTOGRAPHIC DETAILS IN THE SPECIFICATIONS FOR ADDITIONAL HISTORIC PRESERVATION INFORMATION AND PROJECT REQUIREMENTS.
6. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION, AS ADMINISTERED BY THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORIC RESOURCES.
7. DUE TO THE SENSITIVE HISTORIC NATURE OF THIS PROJECT, GENERAL CONTRACTORS AND CERTAIN TRADES MUST MEET PREQUALIFICATION REQUIREMENTS. REFER TO SUPPLEMENTARY GENERAL CONDITIONS, SECTION 02200. HISTORIC FINISHES AND FURRING MAY BE INTACT UNDER CONTEMPORARY FINISHES. CONSULT ARCHITECT BEFORE REMOVAL OF QUESTIONABLE HISTORIC OR NON-HISTORIC MATERIAL.
8. WHERE THE TERM 'RESTORE' IS USED THROUGHOUT THESE DOCUMENTS, THE INTENT IS TO RETURN AN ITEM, FINISH, OR MATERIAL TO ITS HISTORIC CONFIGURATION AND/OR CONDITION. THE LEAST INTRUSIVE METHOD REQUIRED SHOULD BE USED FIRST: CLEAN, PATCH, OR REPLACE USING AN IN-KIND MATERIAL, I.E. BRONZE FOR BRONZE, CONCRETE FOR CONCRETE, CORAL STONE FOR CORAL STONE, ETC. COORDINATE ALL REQUIREMENTS FOR 'RESTORATION' WITH ARCHITECT.

THE SECRETERY OF INTERIOR STANDARDS FOR REHABILITATION:

(a) The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located.

(b) The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. (The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.)

(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(c) The quality of materials and craftsmanship used in a rehabilitation project must be commensurate with the quality of materials and craftsmanship of the historic building in question. Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repointing techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification. For further information on appropriate and inappropriate rehabilitation treatments, owners are to consult the Guidelines for Rehabilitating Historic Buildings published by the NPS. "Preservation Briefs" and additional technical information to help property owners formulate plans for the rehabilitation, preservation, and continued use of historic properties consistent with the intent of the Secretary's Standards for Rehabilitation are available from the SHPOs and NPS regional offices. Owners are responsible for procuring this material as part of property planning for a certified rehabilitation.

1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Gainesville, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:

FLORIDA BUILDING CODE - Building 2007 EDITION WITH 2009 AMENDMENTS  
FLORIDA BUILDING CODE - Existing 2007 EDITION WITH 2009 AMENDMENTS  
FLORIDA BUILDING CODE - Residential 2007 EDITION WITH 2009 AMENDMENTS  
FLORIDA BUILDING CODE - Plumbing 2007 EDITION WITH 2009 AMENDMENTS  
FLORIDA BUILDING CODE - Fuel Gas 2007 EDITION WITH 2009 AMENDMENTS  
FLORIDA BUILDING CODE - Mechanical 2007 EDITION WITH 2009 AMENDMENTS  
NATIONAL ELECTRICAL CODE 2008 EDITION  
NFPA 101 LIFE SAFETY CODE w/ Florida Modifications  
2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION  
NFPA 1 2006 EDITION

This project is designed in accordance with A.S.C.E. 7-05 to resist wind loads of 100 mph (gusts).

2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
3. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
4. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
5. Dimensions shall take precedence over scale.
6. All new utilities shall be underground.
7. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
8. After completion of construction remove all debris and construction equipment. Restore site to original condition.
9. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
10. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
11. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

FLORIDA ADMINISTRATIVE CODE

61G1-16.003 WHEN SEAL MAY BE AFFIXED. The personal seal, signature and date of the architect shall appear on all architectural documents to be filed for public record and shall be construed to obligate his partners of his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect. Final Official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the index sheet or sheets (if it identifies all parts) of drawings and specifications shall be considered adequate. Without such index all sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.

The Project Specifications include general requirements and procedures for compliance with certain U.S. Green Building Council (USGBC) LEED prerequisites and credits needed for the Project to obtain LEED Silver certification.

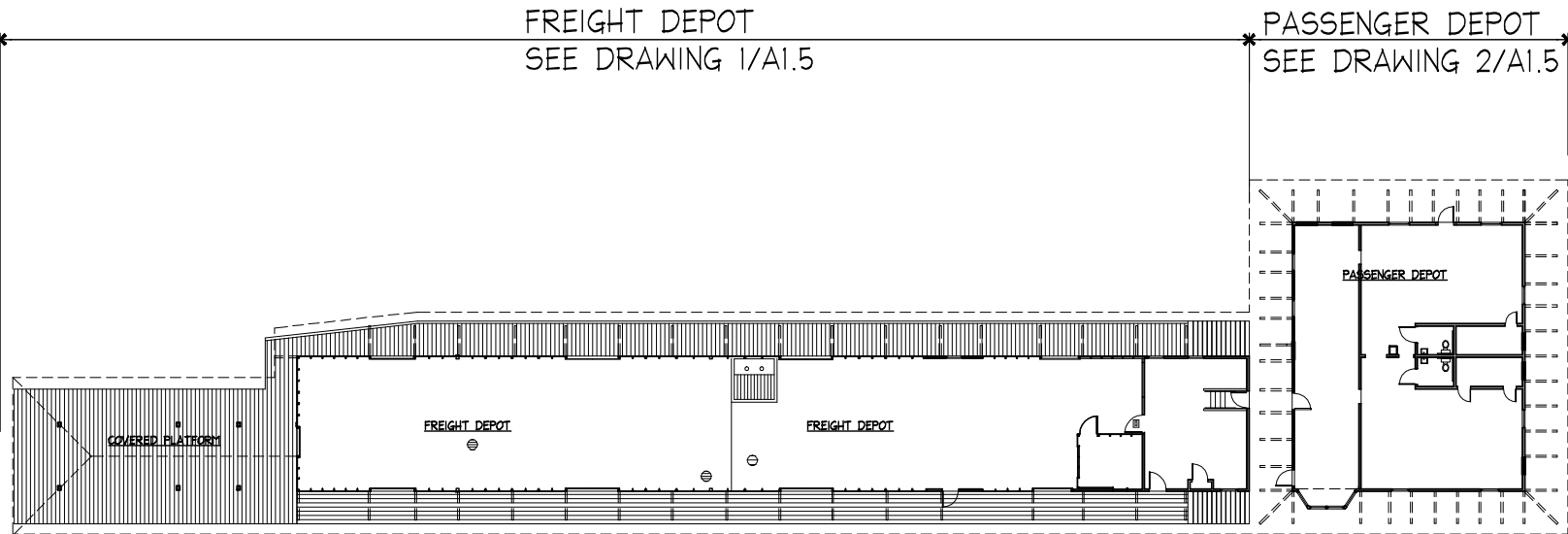
1. Other LEED prerequisites and credits needed to obtain LEED Certification are dependent on material selections and may not be specifically identified as LEED requirements. Compliance with requirements needed to obtain LEED prerequisites and credits may be used as one criterion to evaluate substitution requests.
2. Additional LEED prerequisites and credits needed to obtain the indicated LEED certification are dependent on the Architect's design and other aspects of the Project that are not part of the Work of this contract.

RELATED SPECIFICATION SECTIONS

Related sections include the following:

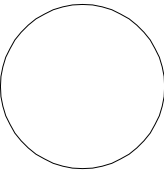
1. Section 01505 - Construction Waste Management
2. Section 01440 - Construction IAQ Management
3. Divisions 1 through 16 Section for LEED Requirements specific to the Work of each of these Sections. These requirements may or may not include reference to LEED.
4. Section 01952 - LEED Requirements

requirements may or



1  
A1.3 OVERALL FLOOR PLAN (KEY PLAN)  
SCALE: 1/16"=1'-0"

HISTORIC DEPOT BUILDING REHABILITATION  
201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY



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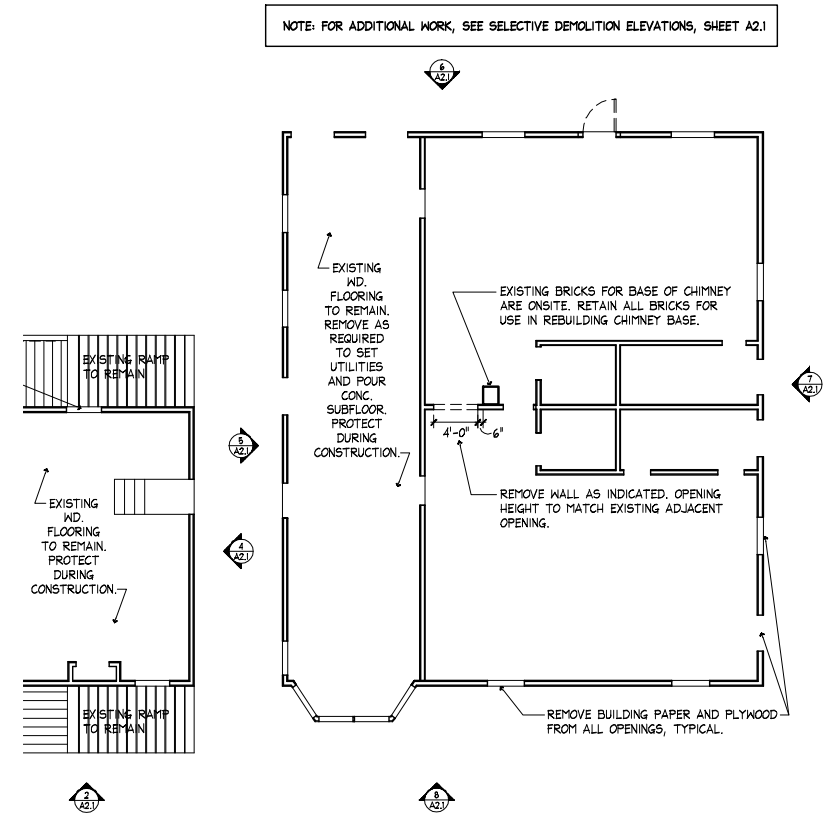
Bender & Associates  
ARCHITECTS  
p.a.

Project No: 0910  
SITE NOTES  
Date: 4/15/10

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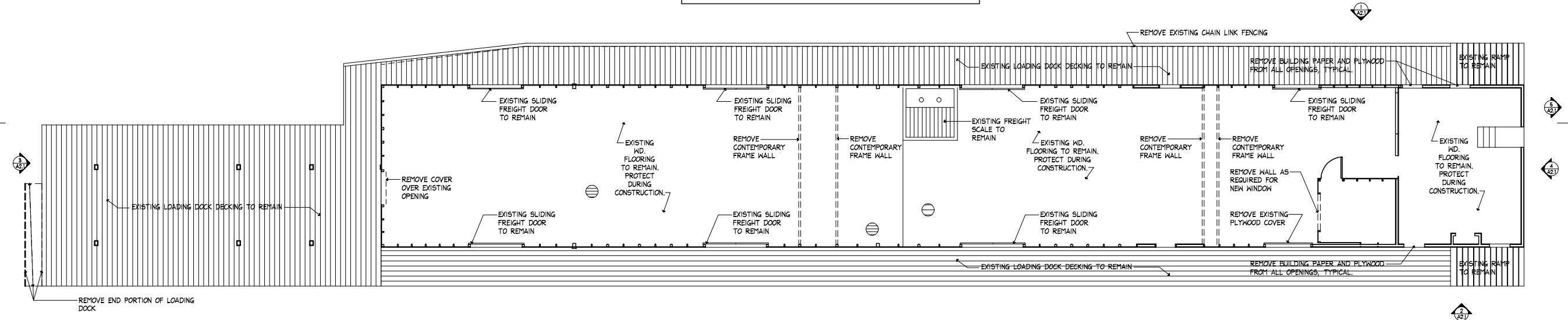


- SELECTIVE DEMOLITION NOTES**
1. The work of this project involves a significant historic site. All work activities must be undertaken with sufficient care to protect this historic resource and must be supervised by personnel who are familiar with the Secretary of Interior's Standards for Rehabilitation. Remove all miscellaneous fasteners such as nails, screws and clips, as required, to allow patching of existing finishes. Some fasteners will not be able to be removed without extensive damage to historic finishes. Subject to concurrence by the Architect, such fasteners may remain, but must be treated to inhibit rust after cutting back below the wood surface.
  2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
  3. All demolished material, except for artifacts, shall become the property of the contractor, unless specifically noted otherwise, and shall be properly removed from the site. Comply with all applicable laws, codes and regulations of governmental agencies having jurisdiction over the project.
  4. All costs of demolition including permit fees, disposal fees, etc. are the responsibility of the Contractor.
  5. It is the Contractor's responsibility to be aware of and to conform with all applicable demolition and disposal codes, safety requirements, and environmental protection regulations of any governmental body having jurisdiction over the work.
  6. Provide safety barricades as required to protect the safety of the general public and workers connected with the project.
  7. Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
  8. Demolished material classified as clean fill may be distributed on site when specifically approved by the Architect in advance.



**2 SELECTIVE DEMOLITION PLAN - PASSENGER DEPOT**  
A1.4 SCALE: 1/8"=1'-0"

NOTE: FOR ADDITIONAL WORK, SEE SELECTIVE DEMOLITION ELEVATIONS, SHEET A2.1



**1 SELECTIVE DEMOLITION PLAN - FREIGHT DEPOT**  
A1.4 SCALE: 1/8"=1'-0"

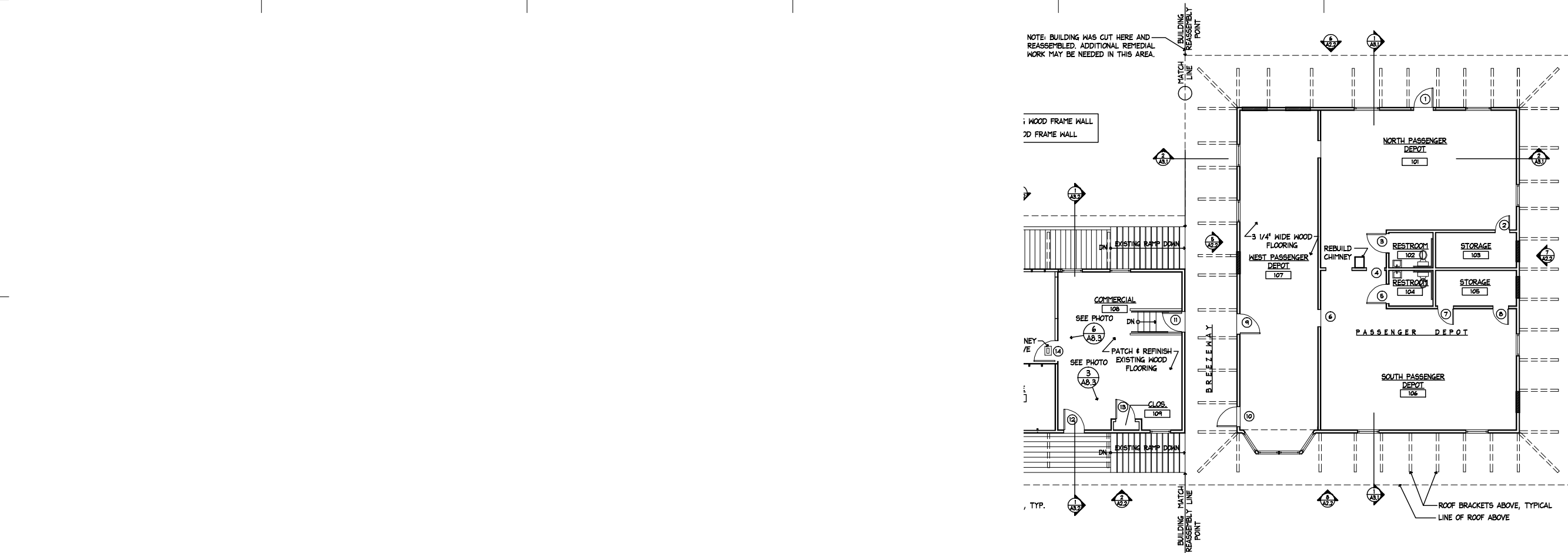
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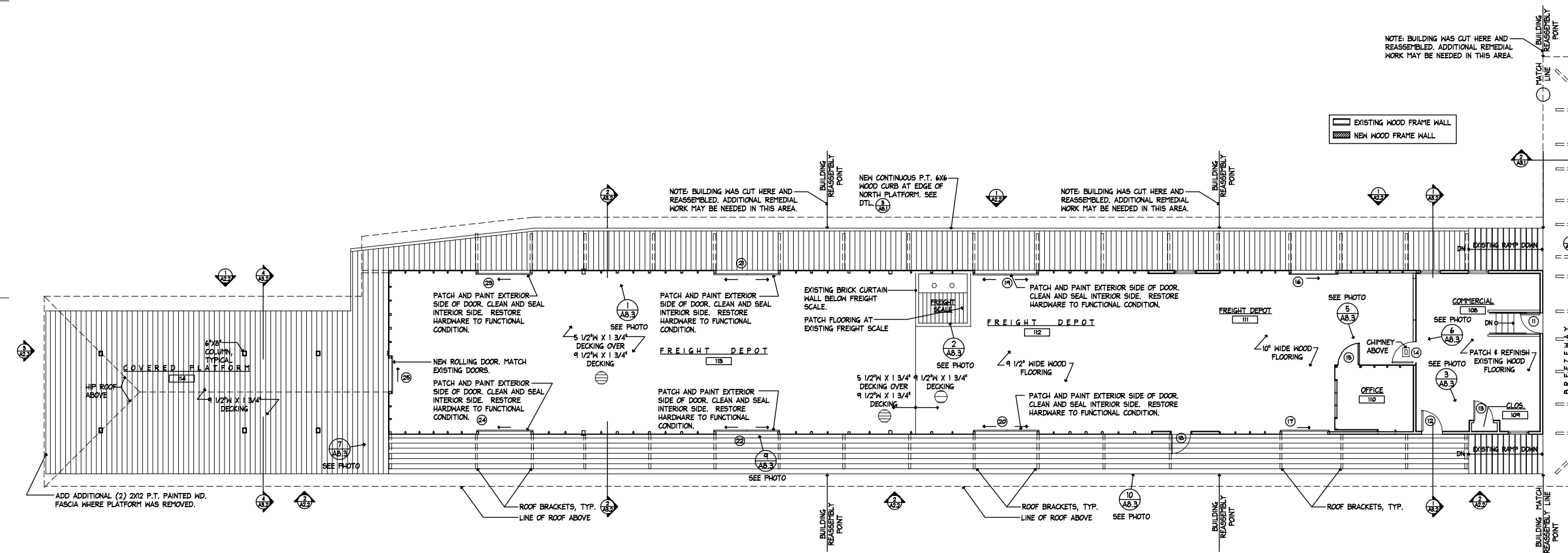
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**ARCHITECTS**  
p.a.

Project No: 0910  
**DEMOLITION PLANS**  
Date: 4/15/10





2 RESTORATION FLOOR PLAN - PASSENGER DEPOT  
SCALE: 1/8"=1'-0"



1 RESTORATION FLOOR PLAN - FREIGHT DEPOT  
SCALE: 1/8"=1'-0"

**HISTORIC DEPOT BUILDING REHABILITATION**  
201 S.E. DEPOT AVENUE  
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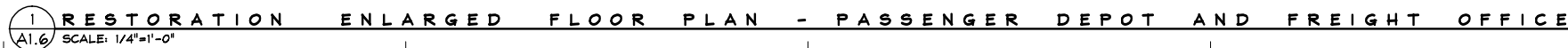
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**ARCHITECTS**  
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FLOOR PLANS  
Date: 4/15/10

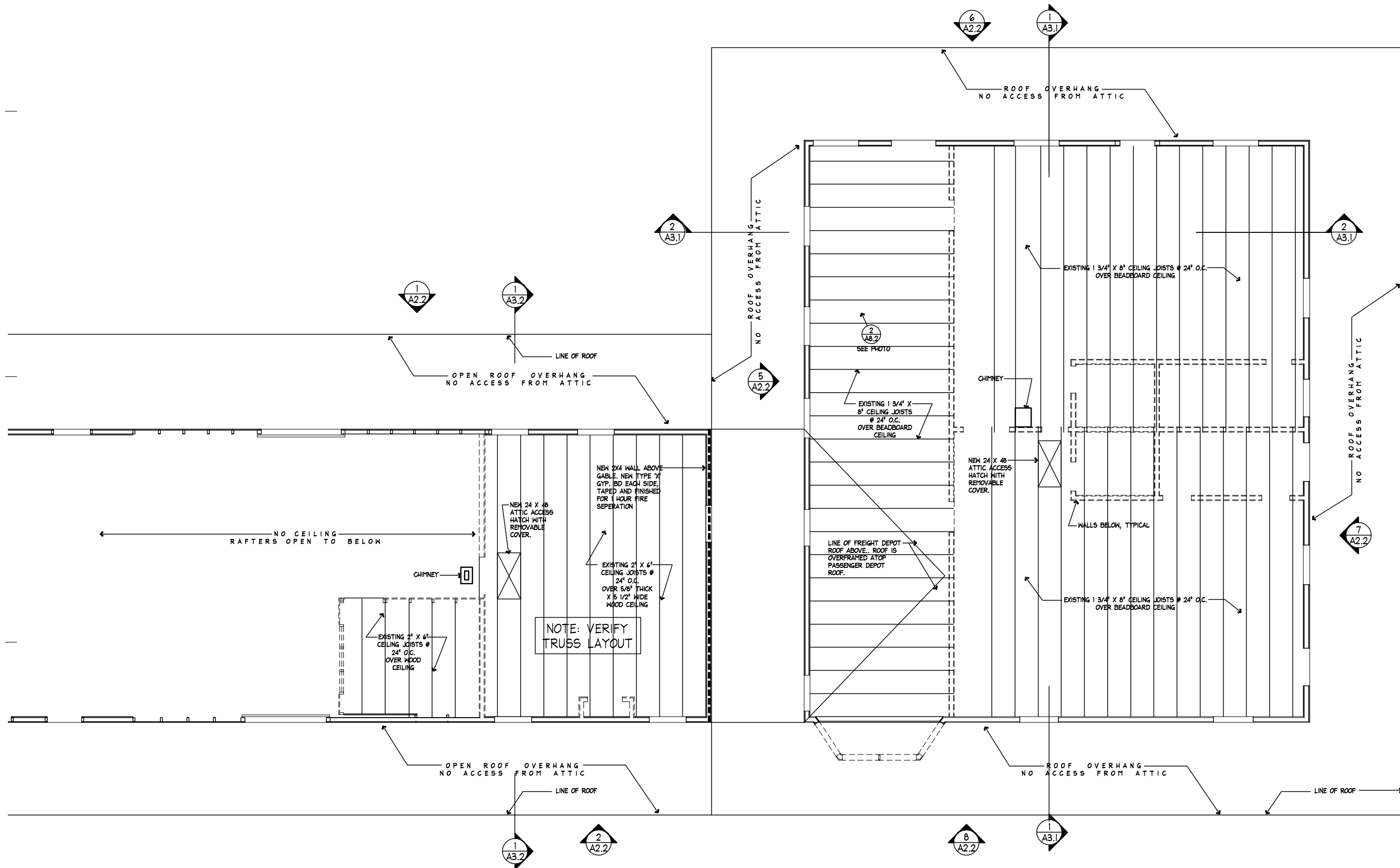
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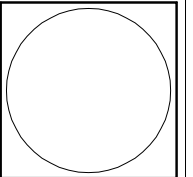
## 22 OF 75





**1**  
**A1.7** ENLARGED ATTIC PLAN - PASSENGER DEPOT AND FREIGHT OFFICE  
SCALE: 1/4"=1'-0"

**HISTORIC DEPOT BUILDING REHABILITATION**  
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**ARCHITECTS**  
p.a.

Project No: 0910  
ENLARGED ATTIC PLANS  
Date: 4/15/10

**A1.7**  
23 OF 75

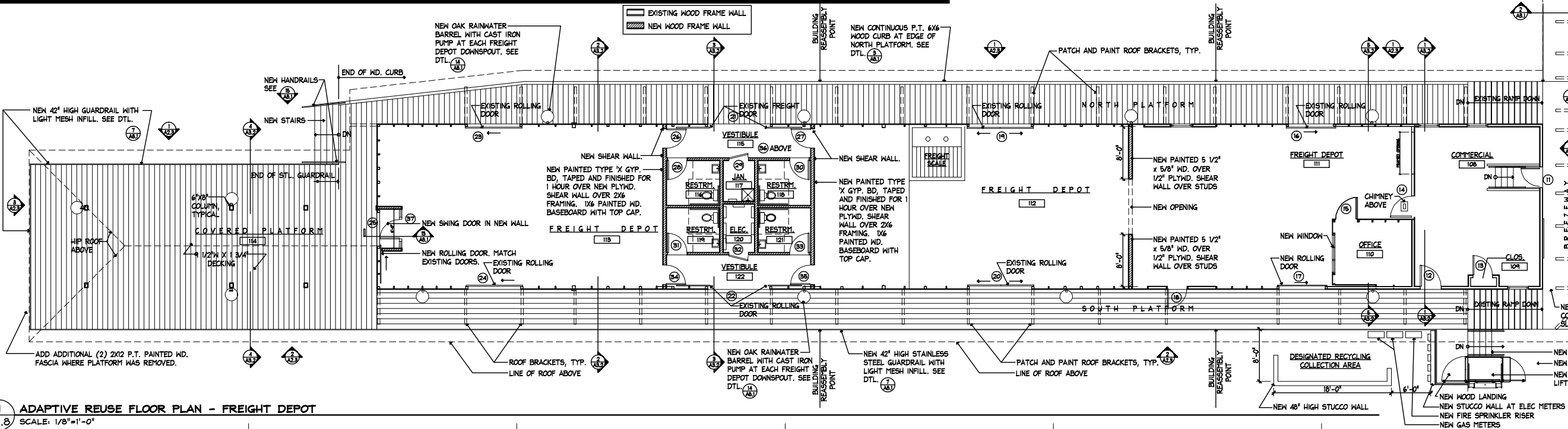


# ROOM FINISH SCHEDULE

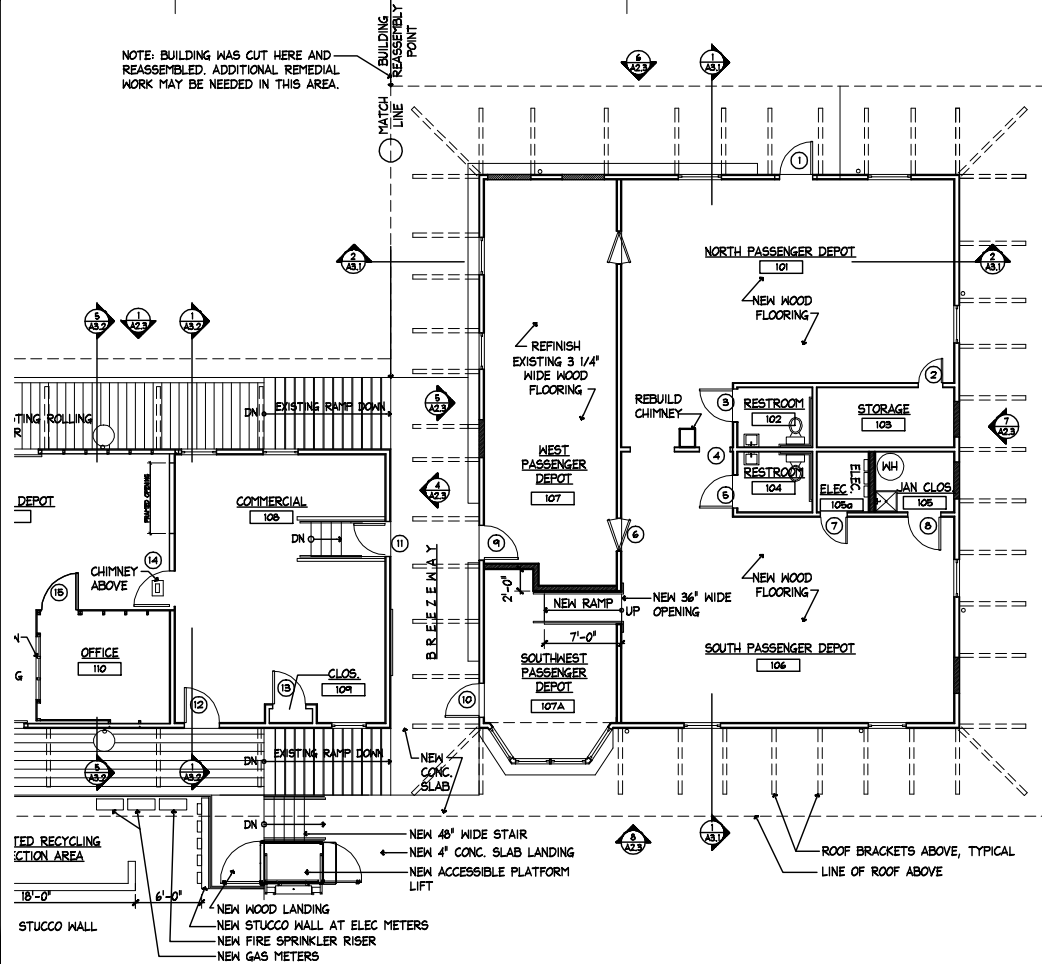
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG. HT.	REMARKS	CONDITIONED SPACE
101	NORTH PASSENGER DEPOT	NEW CONC. SUBFLOOR ELEV. +140.86	PATCH & PAINT EXISTING	REMOVE PAINT FROM ENTIRE HEART PINE SOUTH WALL, PATCH WITH HEART PINE AND VARNISH. PATCH & PAINT OTHER EXISTING BEADBOARD AT OTHER WALLS. MATCH BEADBOARD PROFILE.	REMOVE PAINT FROM HEART PINE CEILING. PATCH WITH HEART PINE AND VARNISH.	13'-6"	NEW STAINED HEART PINE AT ALL WINDOW AND DOOR TRIM IN THIS ROOM. SEE FINISH NOTES.	YES
102	RESTROOM	NEW THIN SET CERAMIC TILE ELEV. +141.05'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING BEADBOARD. MATCH BEADBOARD PROFILE.	PATCH AND PAINT EXIST. BEADBOARD	13'-6"	SEE FINISH NOTES.	YES
103	STORAGE	NEW VCT OVER 3/4" PLYWOOD OVER 2X4 SLEEPERS. EL. +141.05'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING BEADBOARD. MATCH BEADBOARD PROFILE.	PATCH AND PAINT EXIST. BEADBOARD	13'-6"	SEE FINISH NOTES.	YES
104	RESTROOM	NEW THIN SET CERAMIC TILE ELEV. +141.05'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING BEADBOARD. MATCH BEADBOARD PROFILE.	PATCH AND PAINT EXIST. BEADBOARD	13'-6"	SEE FINISH NOTES.	YES
105	JANITOR	NEW THIN SET CERAMIC TILE ELEV. +141.05'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING OR NEW BEADBOARD. MATCH BEADBOARD PROFILE.	PATCH AND PAINT EXIST. BEADBOARD	13'-6"	SEE FINISH NOTES.	YES
105A	ELEC.	NEW VCT OVER 3/4" PLYWOOD OVER 2X4 SLEEPERS. EL. +141.05'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING OR NEW BEADBOARD. MATCH BEADBOARD PROFILE.	PATCH AND PAINT EXIST. BEADBOARD	13'-6"	SEE FINISH NOTES.	YES
106	SOUTH PASSENGER DEPOT	NEW CONC. SUBFLOOR ELEV. +140.86	PATCH & PAINT EXISTING	REMOVE PAINT FROM ENTIRE NORTH WALL, PATCH WITH HEART PINE AND VARNISH. PATCH & PAINT OTHER EXISTING BEADBOARD AT OTHER WALLS. MATCH BEADBOARD PROFILE.	REMOVE PAINT FROM HEART PINE CEILING. PATCH WITH HEART PINE AND VARNISH.	13'-6"	NEW STAINED HEART PINE AT ALL WINDOW AND DOOR TRIM IN THIS ROOM. SEE FINISH NOTES.	YES
107	WEST PASSENGER DEPOT	REFINISH EXISTING IND. FLOORING EL. +141.60'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING BEADBOARD. MATCH BEADBOARD PROFILE.	PATCH AND PAINT EXIST. BEADBOARD	13'-1"	SEE FINISH NOTES.	YES
107A	SOUTHWEST PASSENGER DEPOT	REFINISH EXISTING IND. FLOORING EL. +141.60'	PATCH & PAINT EXISTING	PATCH & PAINT EXISTING BEADBOARD. MATCH BEADBOARD PROFILE.	REMOVE PAINT FROM HEART PINE CEILING. PATCH WITH HEART PINE AND VARNISH.	13'-1"	NEW STAINED HEART PINE AT ALL WINDOW AND DOOR TRIM IN THIS ROOM. SEE FINISH NOTES.	YES
108	COMMERCIAL SPACE	PATCH AND REFINISH EXISTING T&G FLOORING STAINED IND. FINISH	1X6 PTD. WD. W/ TOP CAP-EAST WALL.	PATCH & PAINT EXISTING HORIZONTAL WOOD. MATCH EXISTING.	PATCH AND PAINT EXIST. WOOD	11'-5"	SEE FINISH NOTES.	YES
109	CLOSET	PATCH AND REFINISH EXISTING T&G FLOORING	NONE.	PATCH & PAINT EXISTING HORIZONTAL WOOD. MATCH EXISTING.	PATCH AND PAINT EXIST. WOOD	+/- 8'-0"		YES
110	OFFICE	REFINISH EXISTING WOOD FLOORING	NONE.	SEAL EXISTING UNFINISHED WOOD.	SEAL EXISTING UNFINISHED WOOD.	8'-7"		YES
111	FREIGHT DEPOT EAST	REFINISH EXISTING WOOD FLOORING	NONE.	CLEAN EXISTING UNFINISHED WOOD.	CLEAN EXISTING UNFINISHED WOOD.	OPEN TO TRUSSES VARIES.		
112	FREIGHT DEPOT CENTRAL	REFINISH EXISTING WOOD FLOORING	NONE.	CLEAN EXISTING UNFINISHED WOOD.	CLEAN EXISTING UNFINISHED WOOD.	OPEN TO TRUSSES VARIES.	WEST WALL TYPE 'X' PAINTED GYP. BD. TAPE AND FINISH FOR 1 HOUR RATING.	
113	FREIGHT DEPOT WEST	REFINISH EXISTING WOOD FLOORING	NONE.	CLEAN EXISTING UNFINISHED WOOD.	CLEAN EXISTING UNFINISHED WOOD.	OPEN TO TRUSSES VARIES.	EAST WALL TYPE 'X' PAINTED GYP. BD. TAPE AND FINISH FOR 1 HOUR RATING.	
114	COVERED PLATFORM	REFINISH EXISTING WOOD FLOORING	N/A	N/A	PAINT EXISTING TRUSSES/RAFTERS	OPEN TO TRUSSES VARIES.		
115	VESTIBULE	REFINISH EXISTING WOOD FLOORING	1X6 WITH TOP CAP	TYPE 'X' PAINTED GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	OPEN TO TRUSSES VARIES.		
116	RESTROOM	CER. TILE	CER. TILE TO 48" O.C.	CERAMIC TILE TO 48" O.C., 1X6 PAINTED HORIZONTAL T&G WOOD ABOVE.	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	8'-0"		
117	JANITOR	CER. TILE	CER. TILE TO 48" O.C.	CER. TILE TO 48" A.F.F., PAINTED MOISTURE RESISTANT GYP. BD. ABOVE	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	8'-0"		
118	RESTROOM	CER. TILE	CER. TILE TO 48" O.C.	CERAMIC TILE TO 48" O.C., 1X6 PAINTED HORIZONTAL T&G WOOD ABOVE.	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	8'-0"		
119	RESTROOM	CER. TILE	CER. TILE TO 48" O.C.	CERAMIC TILE TO 48" O.C., 1X6 PAINTED HORIZONTAL T&G WOOD ABOVE.	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	8'-0"		
120	ELEC.	REFINISH EXISTING WOOD FLOORING	PTD. WD.	TYPE X PTD. GYP. BD, TAPE & FINISH FOR 1 HR.	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	8'-0"		
121	RESTROOM	CER. TILE	CER. TILE TO 48" O.C.	CERAMIC TILE TO 48" O.C., 1X6 PAINTED HORIZONTAL T&G WOOD ABOVE.	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	8'-0"		
122	VESTIBULE	REFINISH EXISTING WOOD FLOORING	1X6 WITH TOP CAP	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	TYPE 'X' PAINT. GYP.BD. TAPE & FINISH FOR 1 HOUR RATING	OPEN TO TRUSSES VARIES.		

## ROOM FINISH NOTES

- BEADBOARD WALL FINISH NOTE: THE BEADBOARD IN THE PASSENGER DEPOT WAS RECENTLY PATCHED. THE JOINTS IN MANY THESE PATCHES WERE NOT STAGGERED, MAKING THE PATCHES VERY EVIDENT. CONTRACTOR SHALL REMOVE ALL PATCHES WITH ALIGNED JOINTS. CONTRACTOR SHALL REPATCH THESE AREAS, AND STAGGER ALL BEADBOARD JOINTS. THIS NOTE SHALL APPLY TO ALL AREAS OF THE PASSENGER DEPOT BUILDING.
- THE WOOD PATCH AT THE WEST WALL OF OFFICE RM. 108 IS HISTORIC, AND COVERED AN HISTORIC OPENING. PATCH TO REMAIN. PAINT.
- BASE BID FLOOR FINISH AT RIMS 101, 106 IS NEW CONC. SUBFLOOR ELEV. +140.86. SEE ADD ALTERNATES FOR ADDITIONAL FLOOR FINISHES IN RIMS 101 AND 106: HEART PINE OVER 2X SLEEPERS, OR PLYWOOD OVER 2X SLEEPERS.
- CERAMIC TILE FINISHES SHALL REQUIRE CERAMIC BACKER BOARD OVER PLYWOOD SUBFLOOR OVER 2X P.T. SLEEPERS OVER NEW CONC. SUBFLOOR.
- REMOVE AND REPLACE ALL TERMITE DAMAGED WOOD. MATCH FINISH, DIMENSIONS AND SPECIES OF EXISTING WOOD.
- BEFORE REPAINTING EXISTING WALLS, PAINTERS TO MAKE EVERY EFFORT TO REMOVE OLD DRIP MARKS FROM EXISTING PAINT.



1 ADAPTIVE REUSE FLOOR PLAN - FREIGHT DEPOT  
A1.8 SCALE: 1/8"=1'-0"



2 ADAPTIVE REUSE FLOOR PLAN - PASSENGER DEPOT  
A1.8 SCALE: 1/8"=1'-0"

## HISTORIC DEPOT BUILDING REHABILITATION

201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

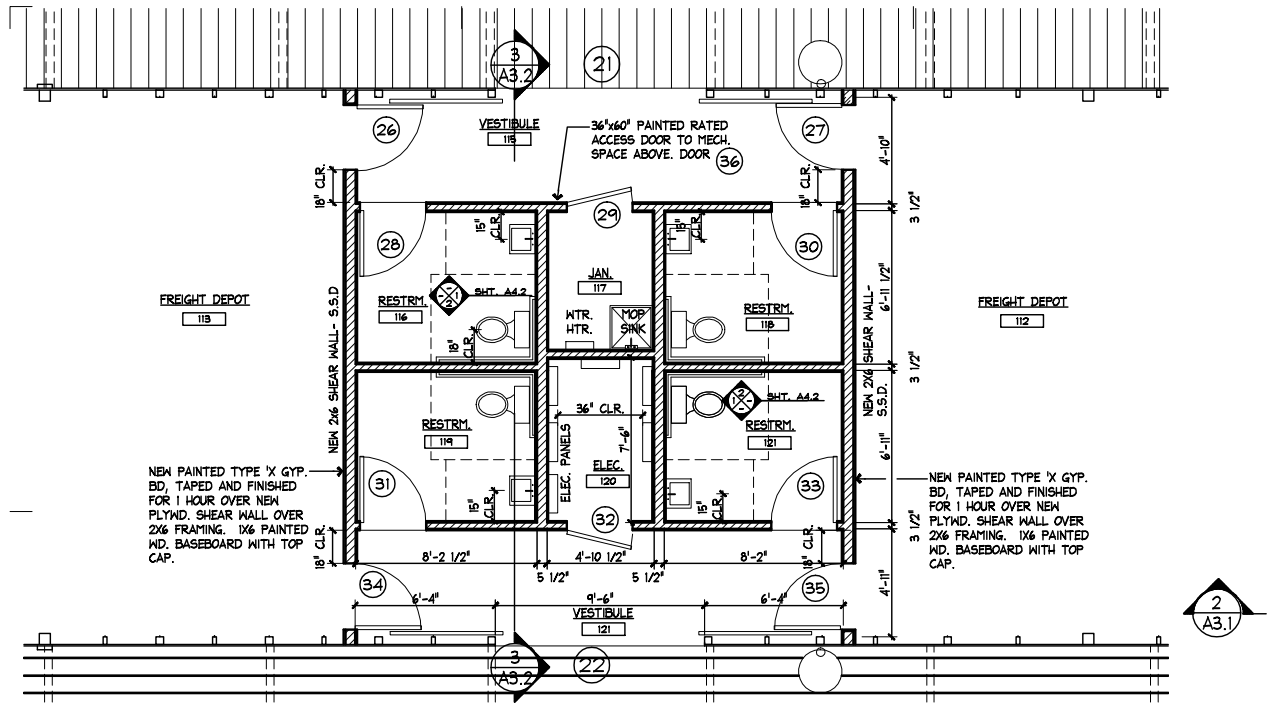
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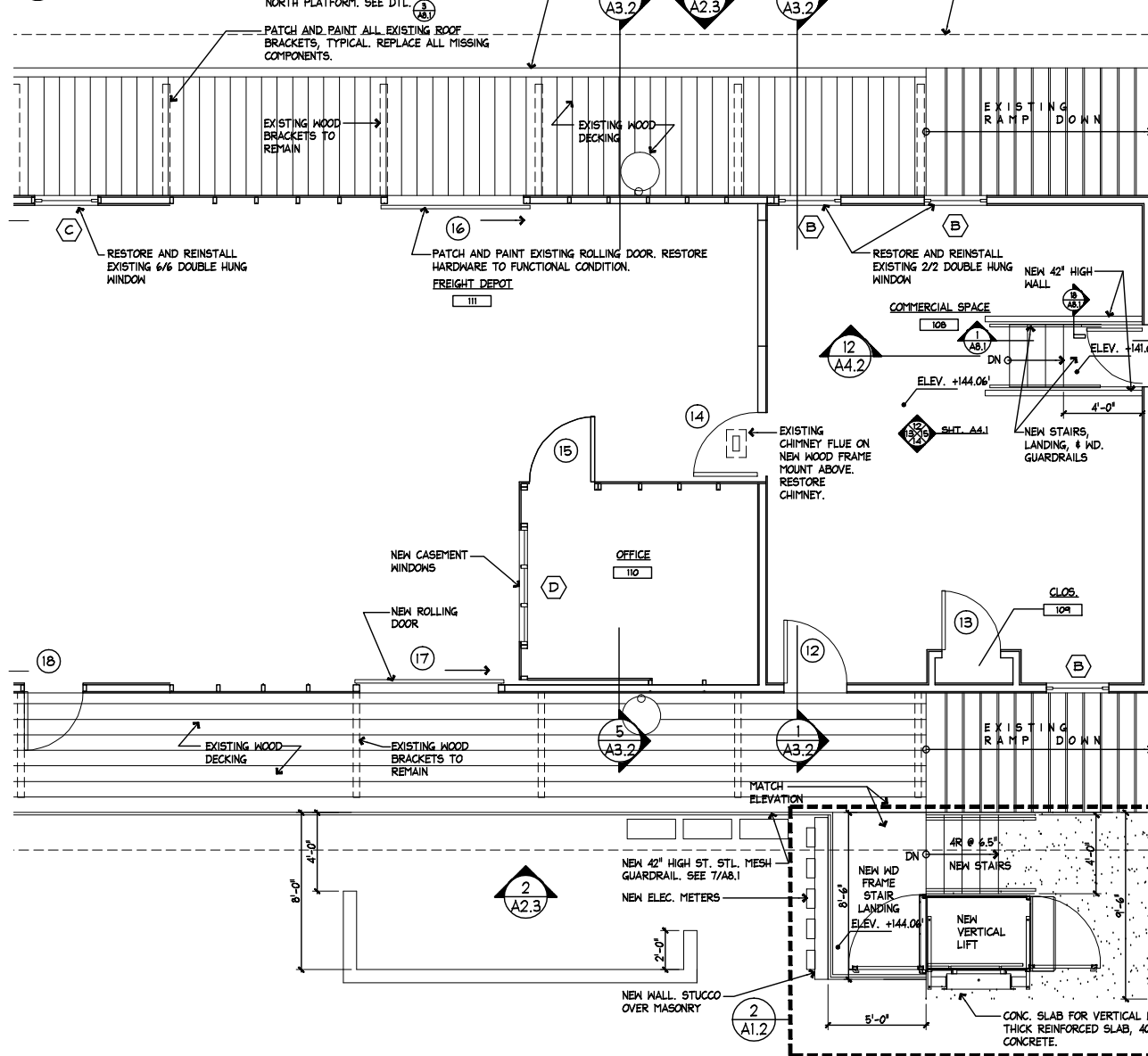
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Date: 4/15/10

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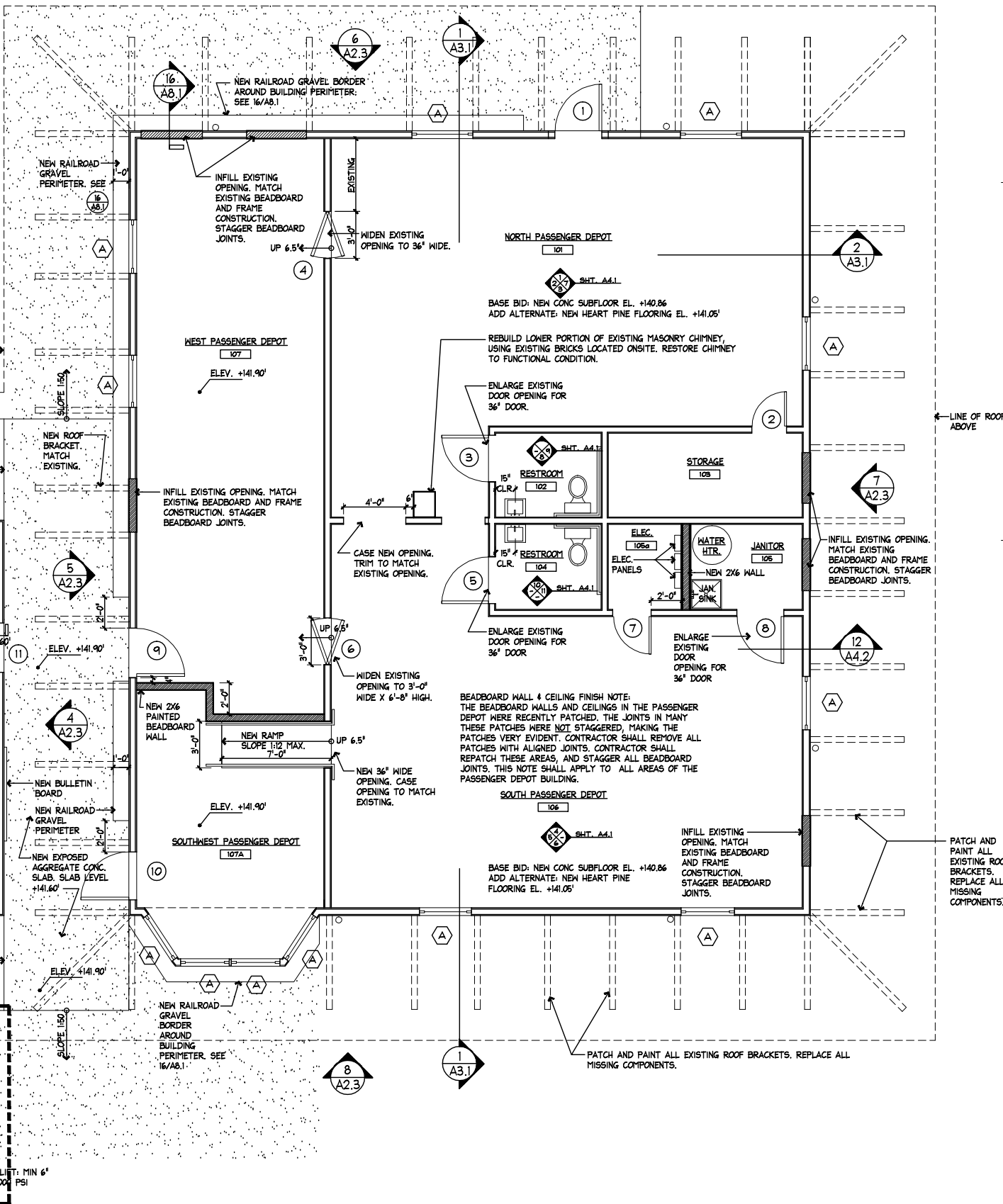




**2 ADAPTIVE REUSE - FREIGHT DEPOT RESTROOMS**  
 A1.9 SCALE: 1/4"=1'-0"



**1 ADAPTIVE REUSE ENLARGED FLOOR PLAN - PASSENGER DEPOT AND FREIGHT OFFICE**  
 A1.9 SCALE: 1/4"=1'-0"



**1 ADAPTIVE REUSE ENLARGED FLOOR PLAN - PASSENGER DEPOT AND FREIGHT OFFICE**  
 A1.9 SCALE: 1/4"=1'-0"

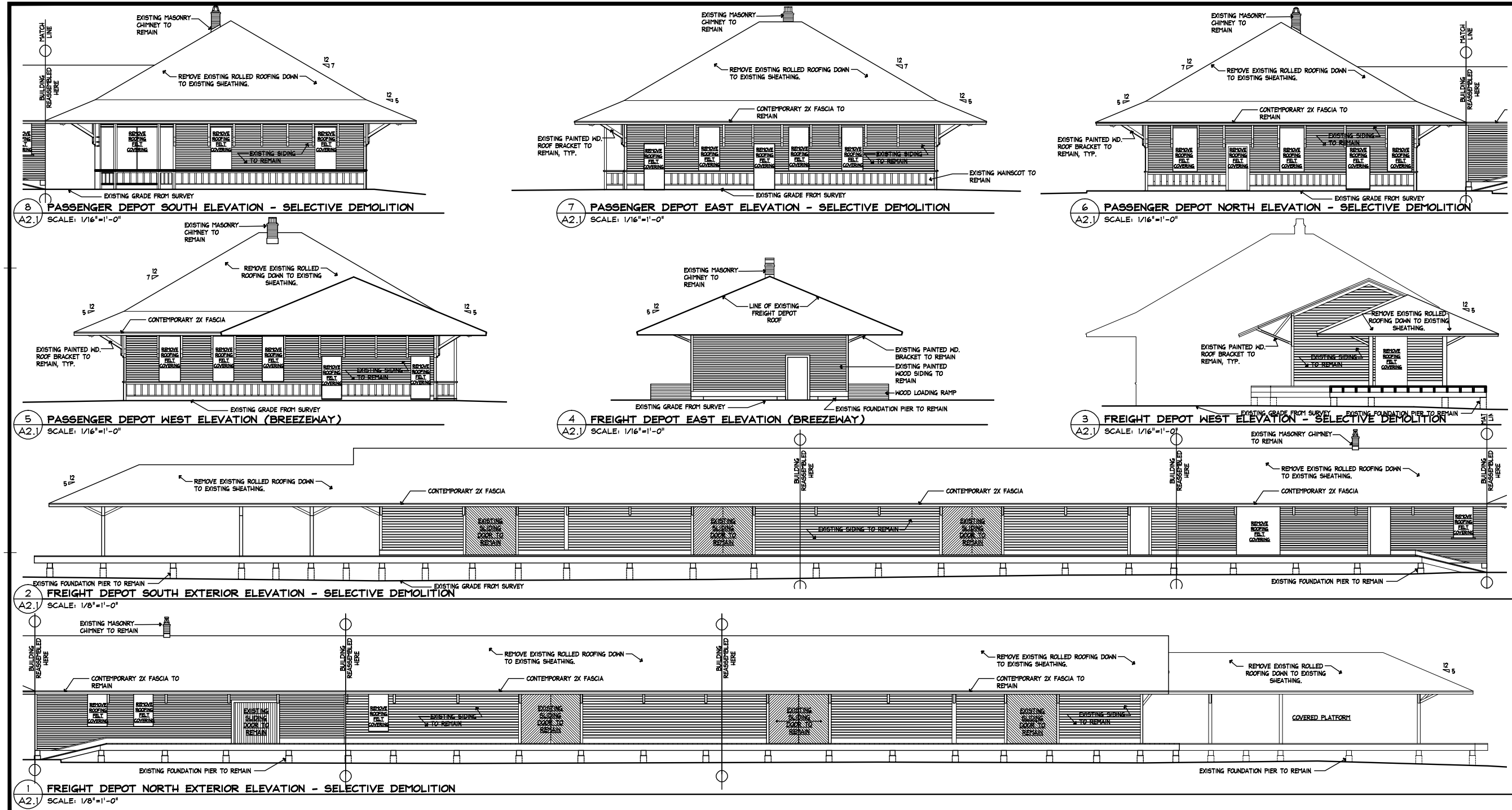
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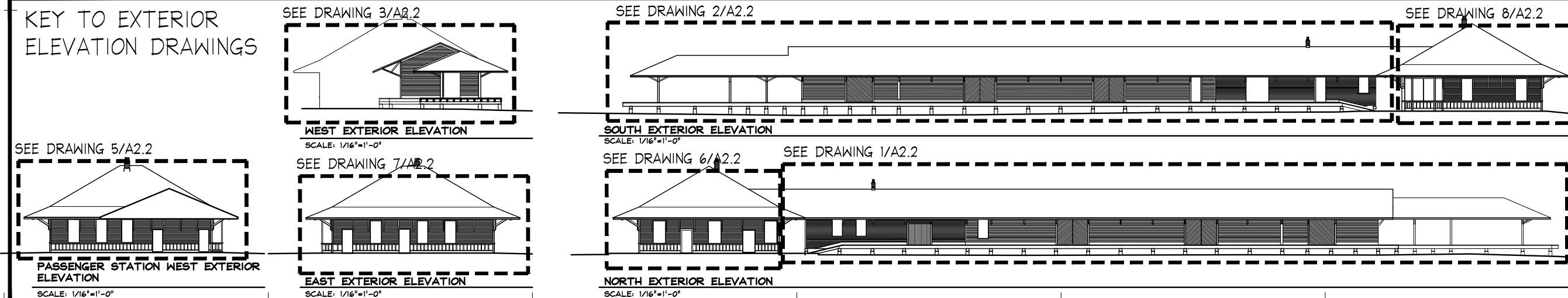
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Project No: 0910  
 ENLARGED FLOOR PLANS  
 Date: 4/15/10





KEY TO EXTERIOR ELEVATION DRAWINGS



HISTORIC DEPOT BUILDING REHABILITATION

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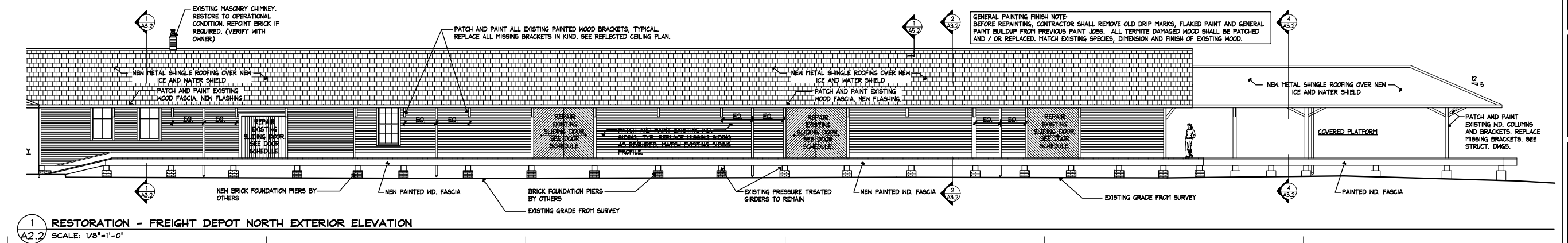
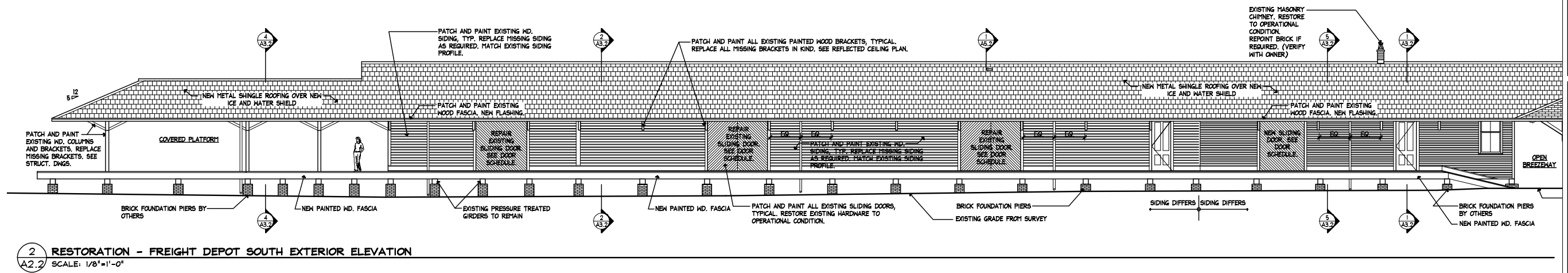
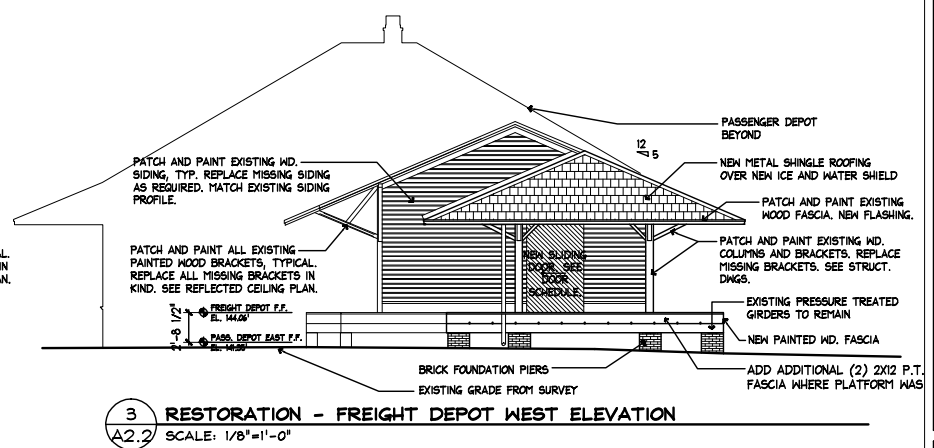
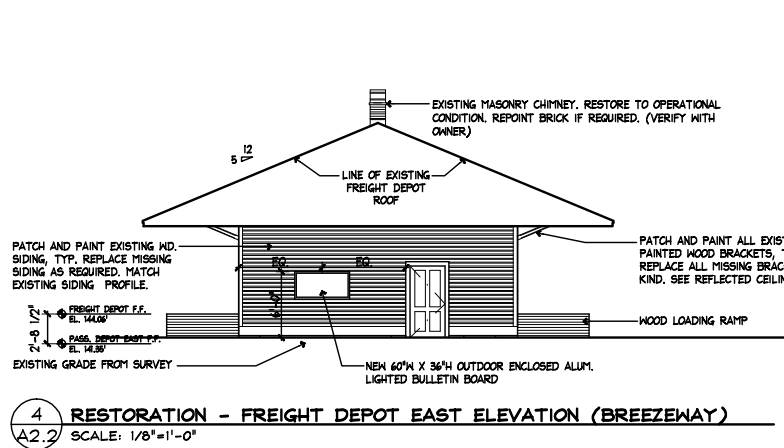
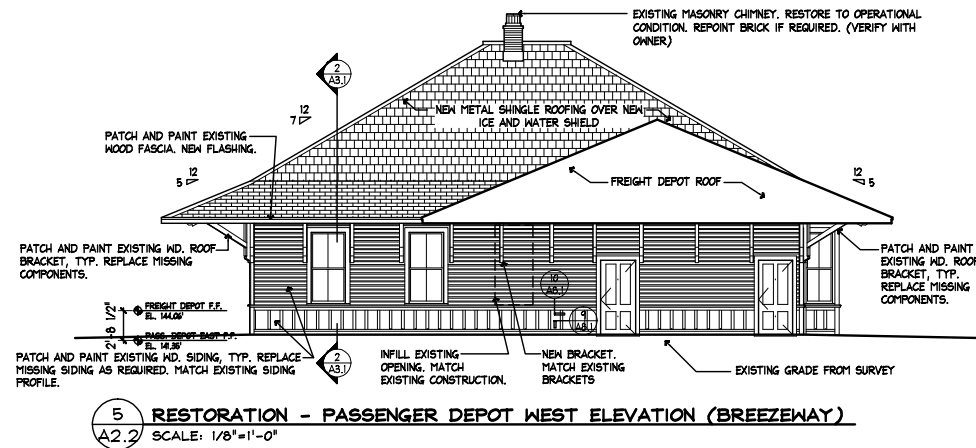
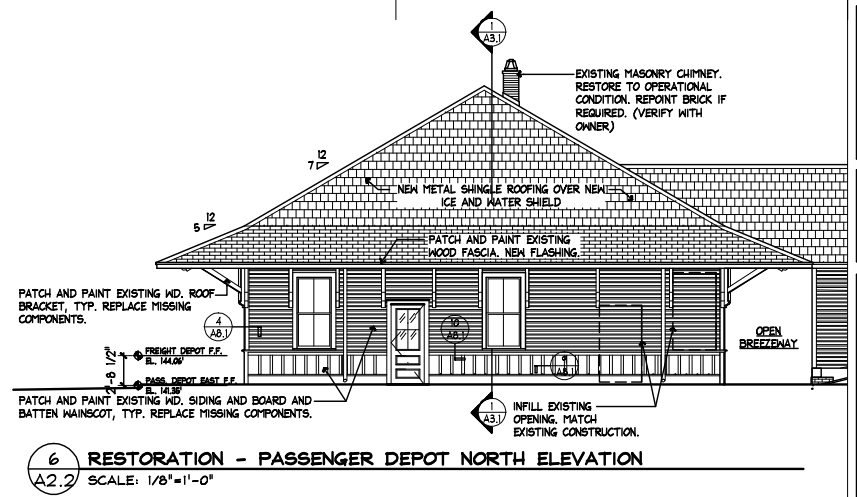
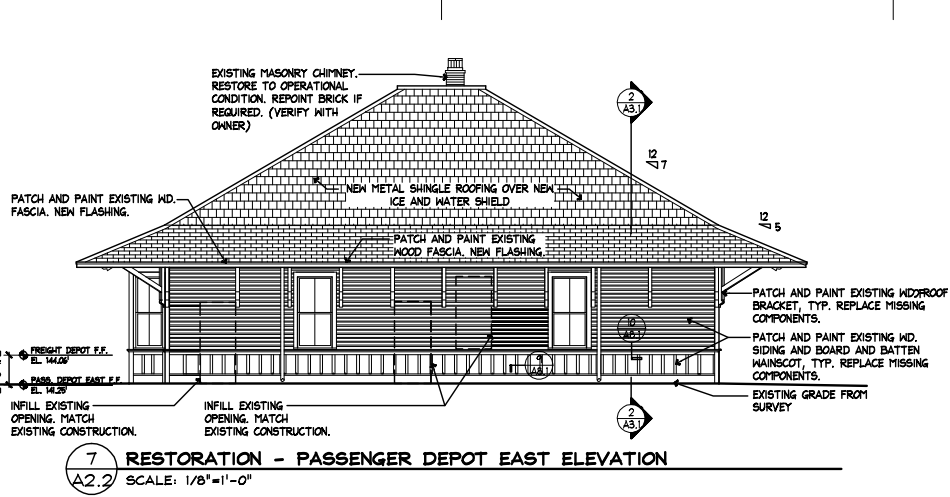
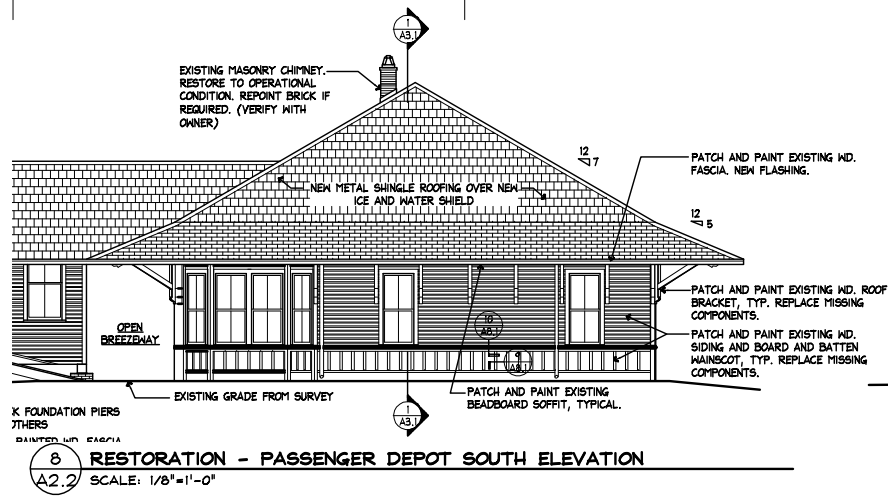
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Key West, Florida 33040  
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Florida License AAC02022

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Project No: 0910  
SELECTIVE DEMOLITION EXTERIOR ELEVATIONS  
Date: 4/15/10

A2.1





**HISTORIC DEPOT BUILDING REHABILITATION**  
201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

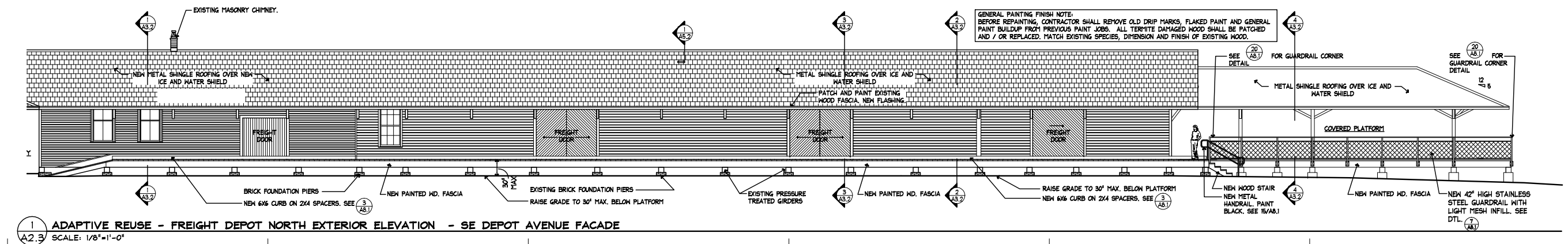
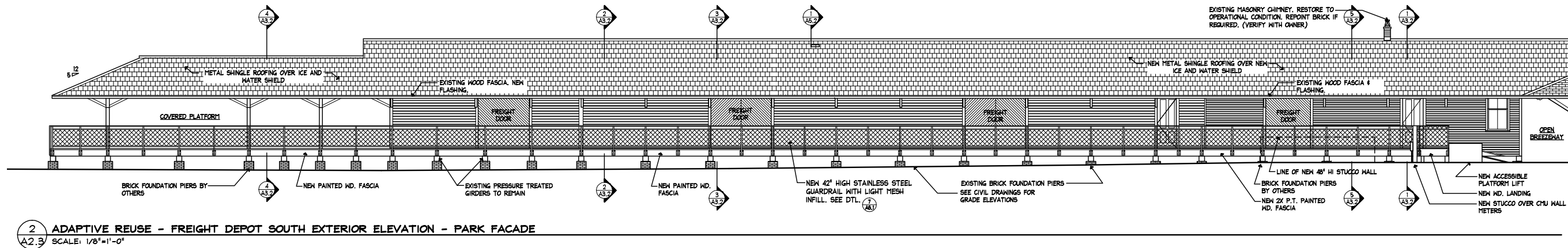
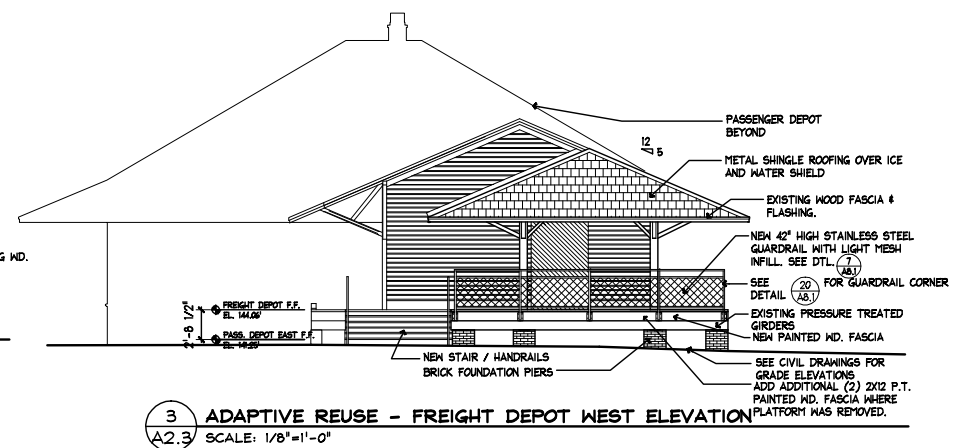
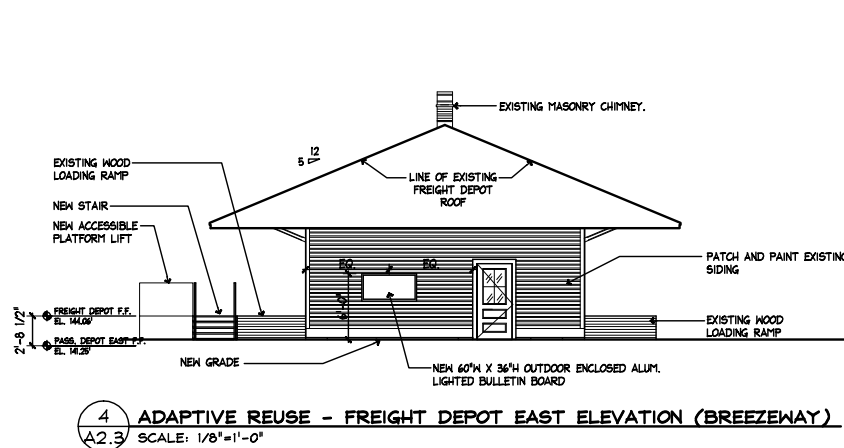
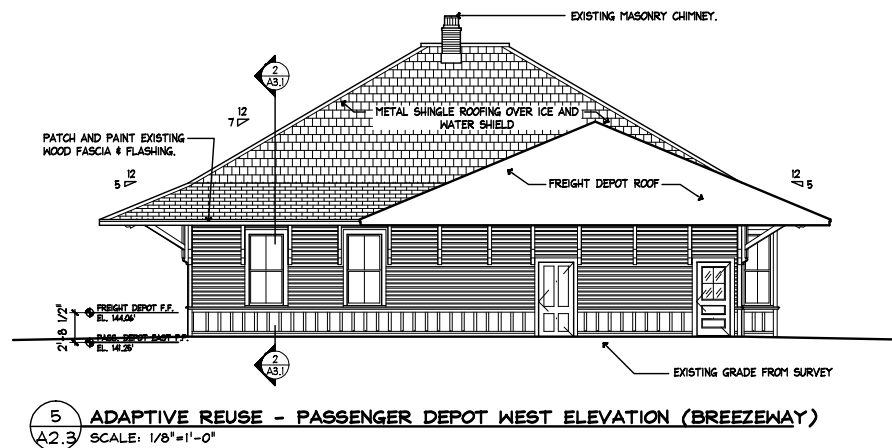
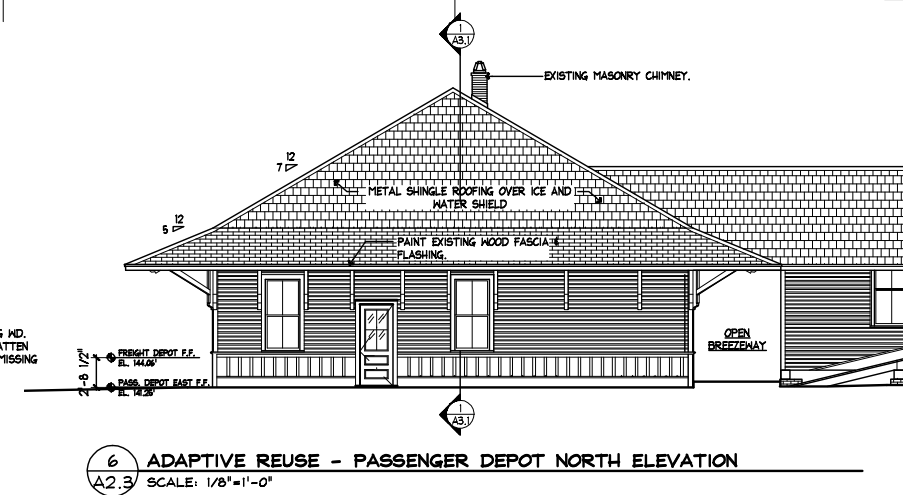
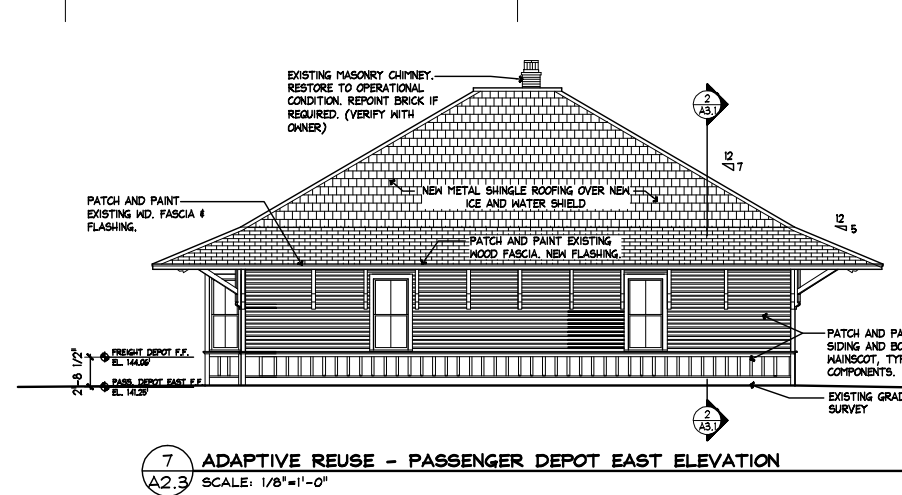
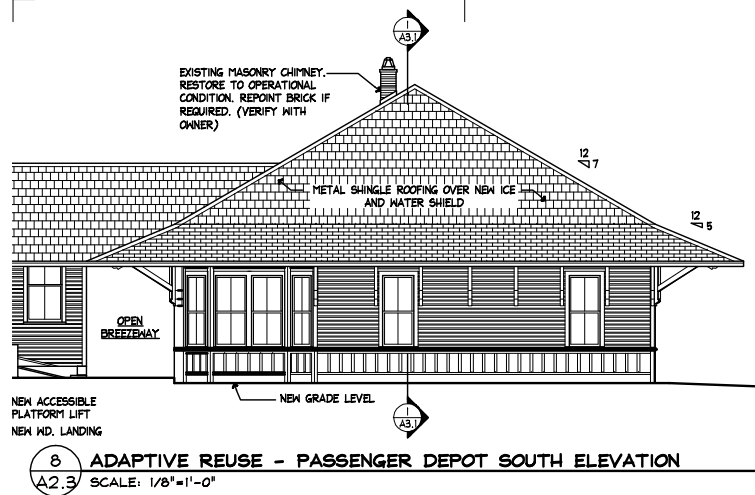
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Facsimile (305) 296-2727  
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Project No: 0910  
PROPOSED EXTERIOR ELEVATIONS  
Date: 4/15/10

**A2.2**  
27 OF 75





**HISTORIC DEPOT BUILDING REHABILITATION**  
201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

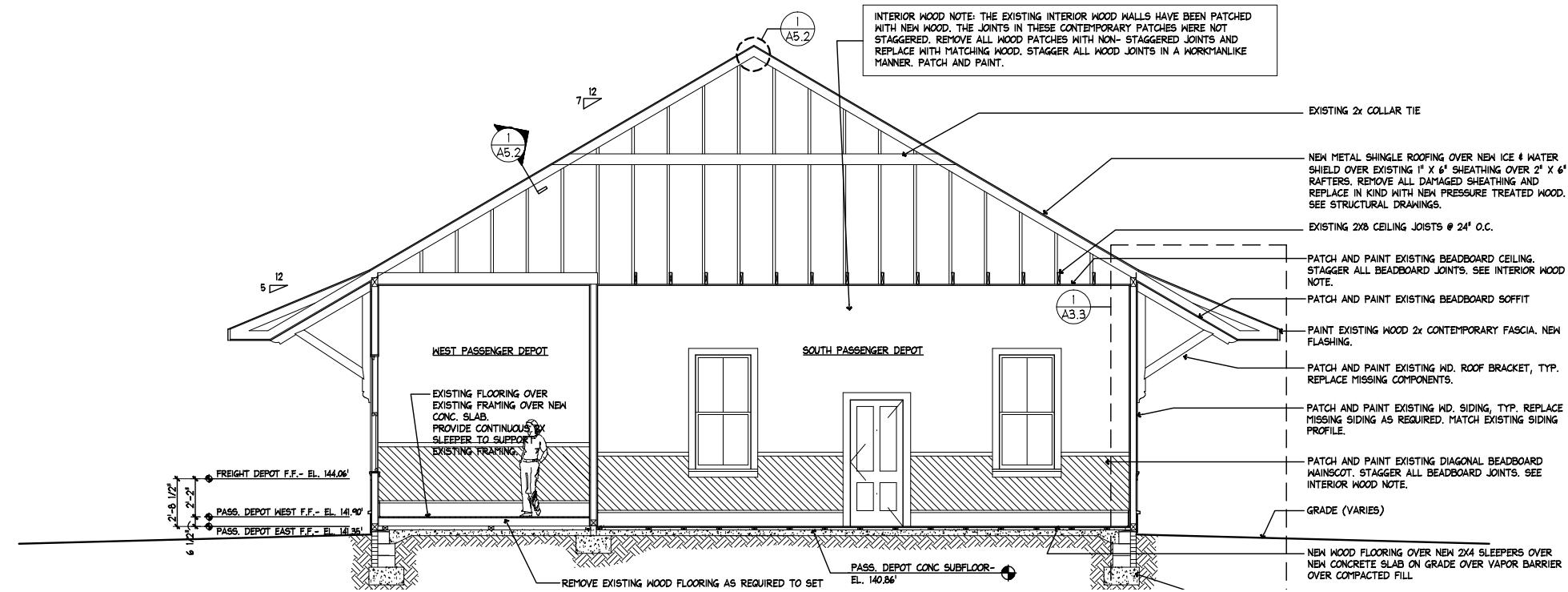
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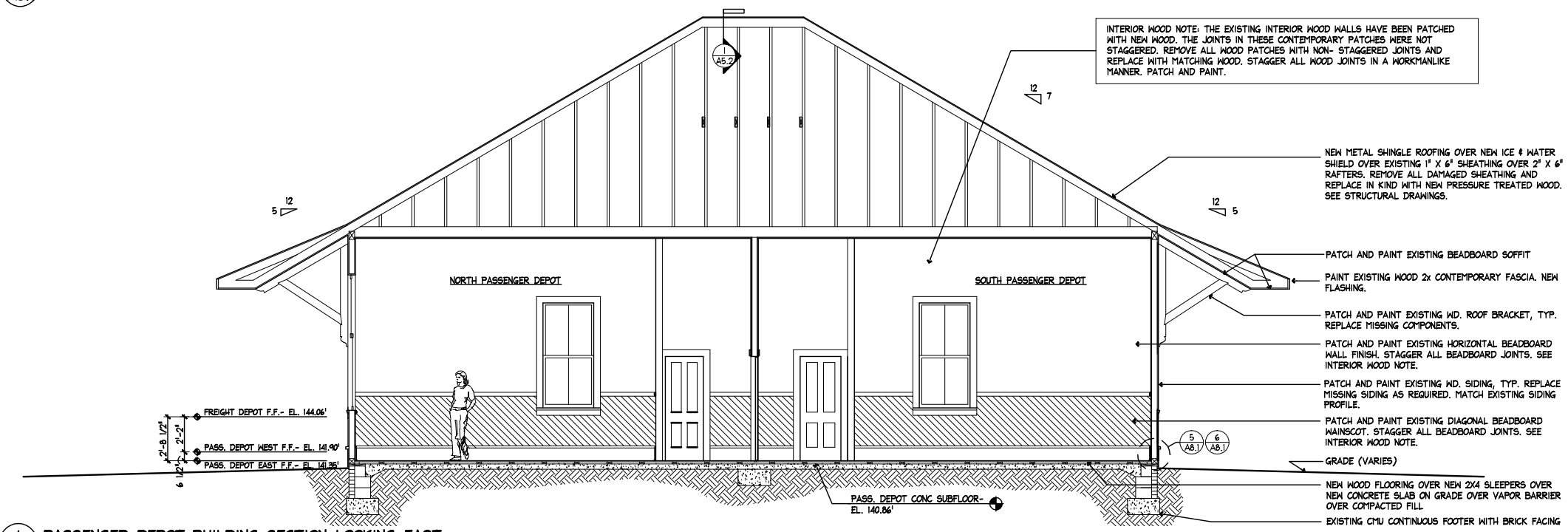
Project No: 0910  
PROPOSED EXTERIOR ELEVATIONS  
Date: 4/15/10

**A2.3**  
28 OF 75





2 PASSENGER DEPOT BUILDING SECTION LOOKING NORTH  
A3.1 SCALE: 1/4"=1'-0"



1 PASSENGER DEPOT BUILDING SECTION LOOKING EAST  
A3.1 SCALE: 1/4"=1'-0"

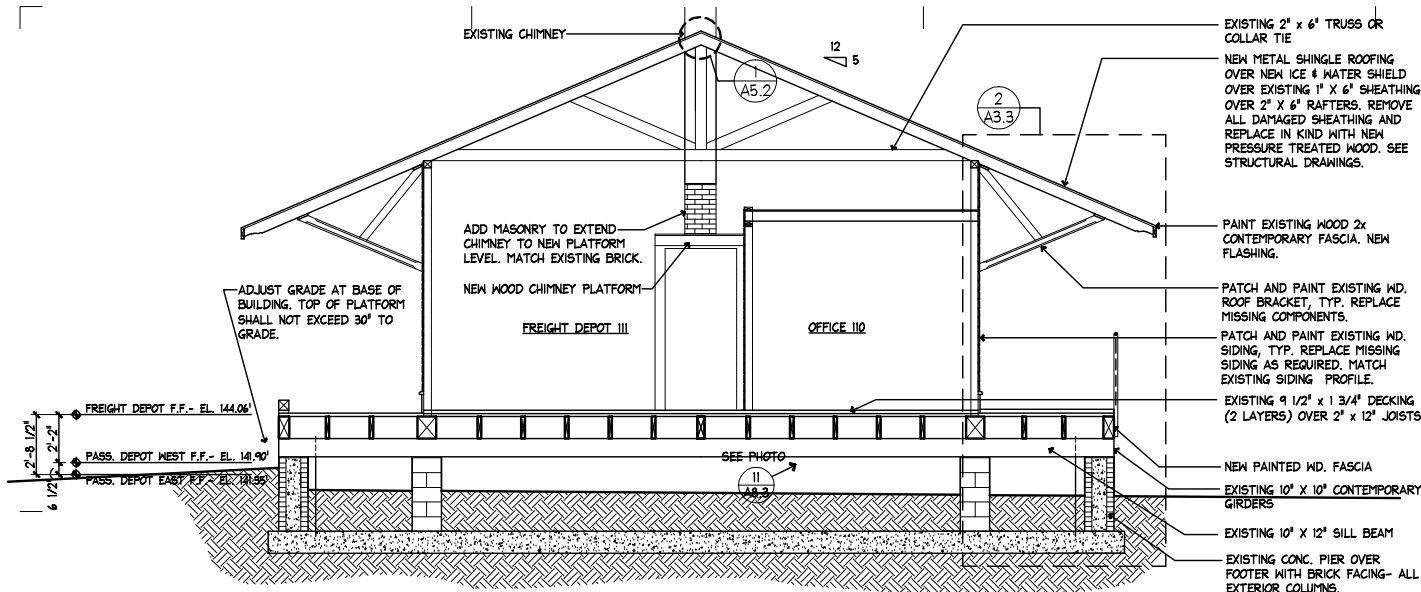
HISTORIC DEPOT BUILDING REHABILITATION  
201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

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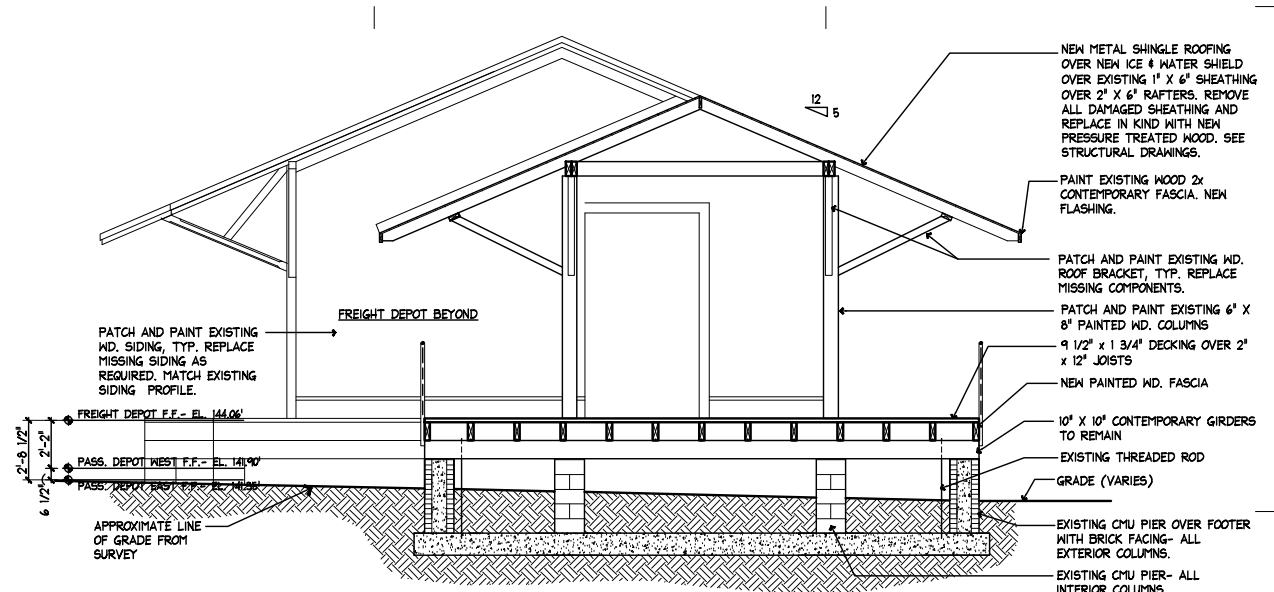
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Project No: 0910  
PROPOSED BUILDING SECTIONS  
Date: 4/15/10

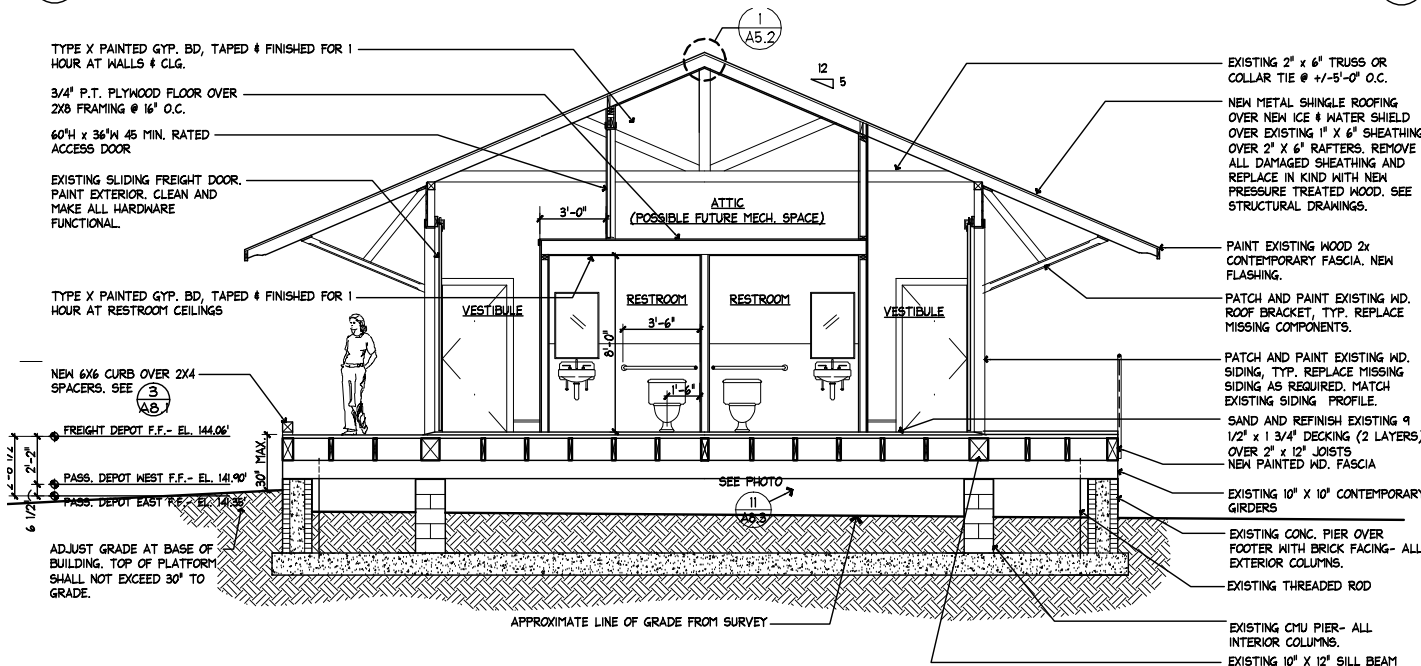




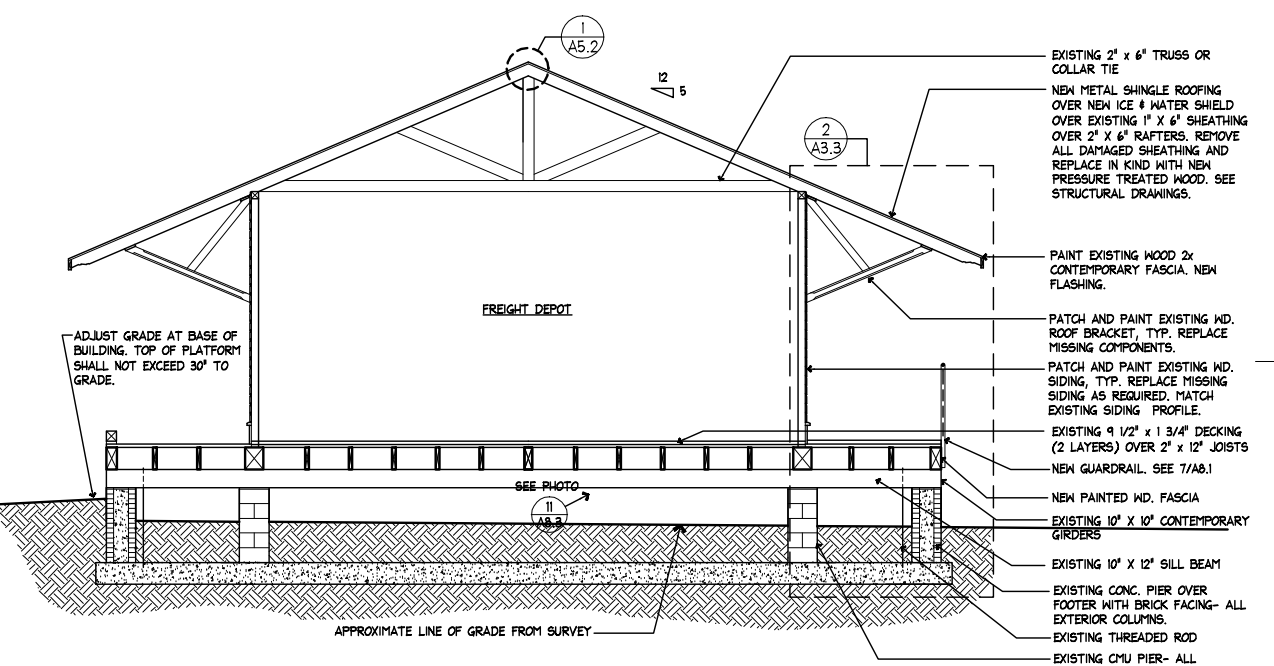
5 SECTION AT 1860 FREIGHT DEPOT LOOKING EAST  
A3.2 SCALE: 1/4"=1'-0"



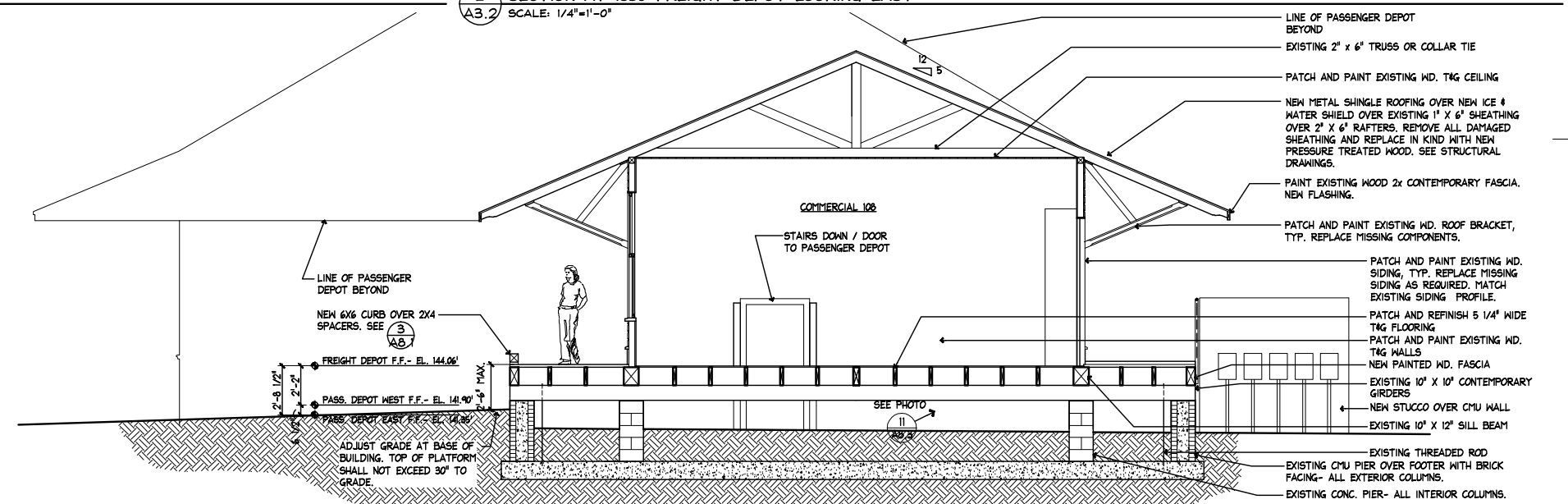
4 SECTION AT 1922 FREIGHT DEPOT PLATFORM LOOKING EAST  
A3.2 SCALE: 1/4"=1'-0"



3 SECTION AT NEW 1860 FREIGHT DEPOT RESTROOMS LOOKING EAST  
A3.2 SCALE: 1/4"=1'-0"



2 SECTION AT 1860 FREIGHT DEPOT LOOKING EAST  
A3.2 SCALE: 1/4"=1'-0"



1 SECTION AT 1910 FREIGHT OFFICE LOOKING EAST  
A3.2 SCALE: 1/4"=1'-0"

# HISTORIC DEPOT BUILDING REHABILITATION

201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

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Project No: 0910  
PROPOSED BUILDING SECTIONS  
Date: 4/15/10

A3.2

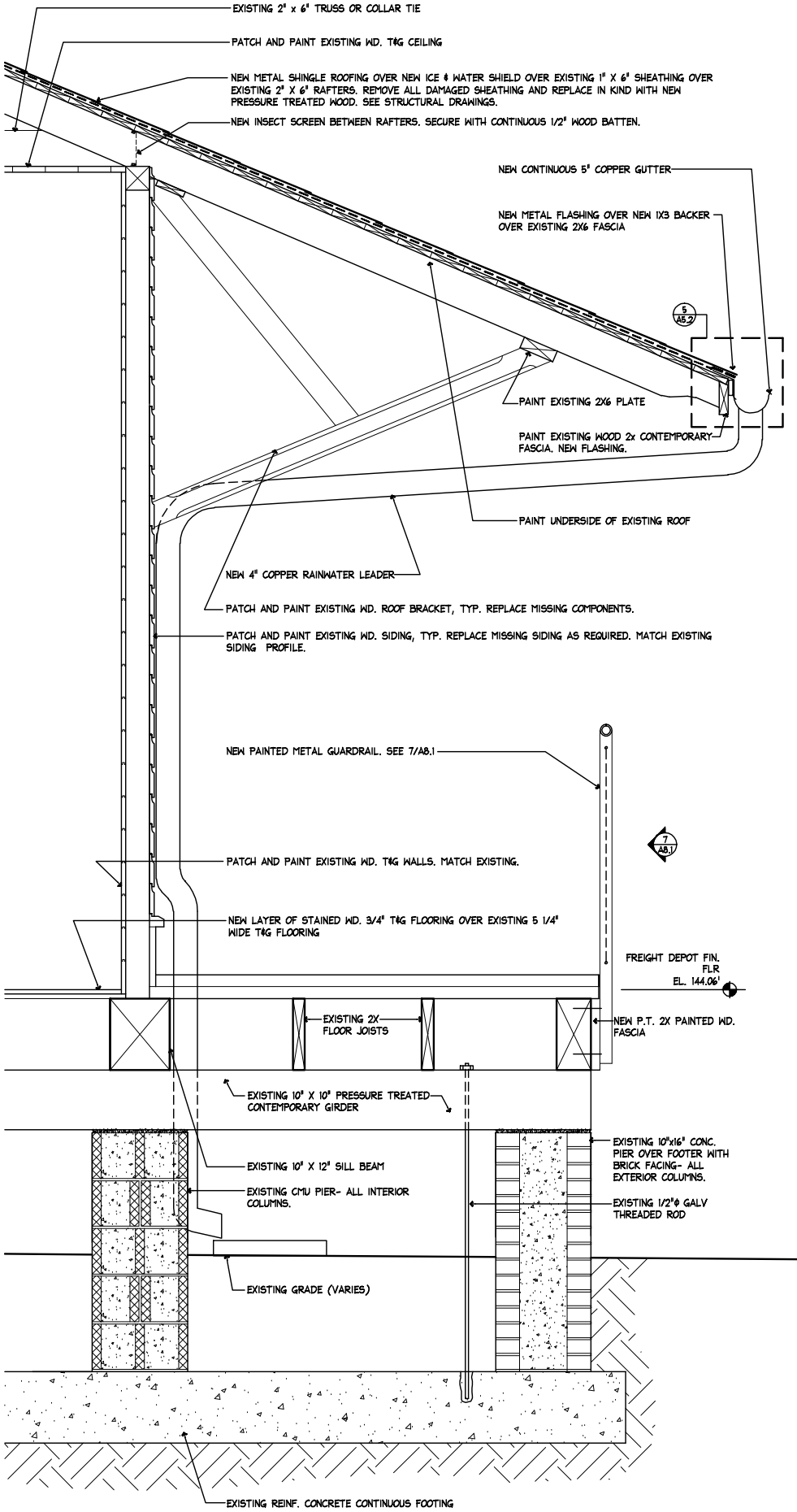


GENERAL FRAMING NOTES

1. Comply with "General Structural Notes" included elsewhere in these documents.
2. Where wood joists/beams etc. frame into other members, and ledgers are not provided, install Simpson "LJ" series joist hangers.  
When installing into ACQ pressure treated lumber, Contractor has the option of providing EITHER stainless steel joist hangers and stainless steel fasteners, OR Simpson ZMAX (G185) galvanized joist hangers with hot-dip galvanized fasteners. Contractor shall not mix stainless steel with hot dip galvanized.
3. Provide hot dip (ZMAX) galvanized hurricane clips at all rafters at bearing locations. Provide 2 x 4 minimum collar ties between rafters at ridges in attic spaces.
4. Provide solid blocking at midspan of all joists and rafters for spans of 8' and over.
5. Firestopping shall be provided in all walls and partitions to cut off all concealed draft openings both horizontal and vertical and to form a fire barrier between floors and between the upper floor and the roof space.
6. Firestopping shall be installed in wood frame construction in the following locations:
  - a) In concealed space of stud walls and partitions including furred spaces at ceiling and floor levels.
  - b) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, cove ceilings, etc.
  - c) In concealed spaces between stair stringers at the top and bottom of the run.
  - d) In concealed spaces created by an assembly of floor joists, firestopping shall be provided for the full depth of the joists at the ends and over the supports.
7. Firestopping shall consist of two (2) inch nominal lumber, or two (2) thicknesses of one (1) inch nominal lumber with broken lap joints, or one (1) thickness of three-fourths (3/4) inch plywood, with joints backed by three-fourths (3/4) inch plywood, or other approved materials.
8. Install all plywood wall sheathing to lap joints at floors. Use 3/4" minimum thickness P.T. plywood nailed with 8d galvanized nails, 6" o.c. along plates, 6" o.c. along sill beams top and bottom, and 12" o.c. in the field. At shear walls, use 10d nails @ 4" o.c. along panel edges and 12" o.c. at intermediate supports.
9. All framing lumber and plywood shall be pressure treated.
10. All pressure treated wood used on residential projects must be free of arsenic and chromium after June 2003. Use ACQ or other EPA approved treated lumber on residential projects. On commercial projects, CCI treated lumber is acceptable.
11. ACQ arsenic free lumber has been found to corrode standard electroplated galvanized nails and screws. Any metal fasteners (framing or finish) used on ACQ pressure treated lumber shall be stainless steel, grade 304 or greater, or hot dip galvanized, conforming to ASTM A-153 / ASTM Standard A653 (Class G-185). Stainless steel and hot dip galvanized metals SHALL NOT come in contact with each other.
12. All structural lumber, i.e. joists, girders, beams, rafters, etc., shall be southern yellow pine no. 1 dense, with a minimum fb of 1300 psi, before pressure treatment. (Pressure treatment reduces fiber stress by 15% to 1100 P.S.I.)

FOUNDATION & CONCRETE NOTES

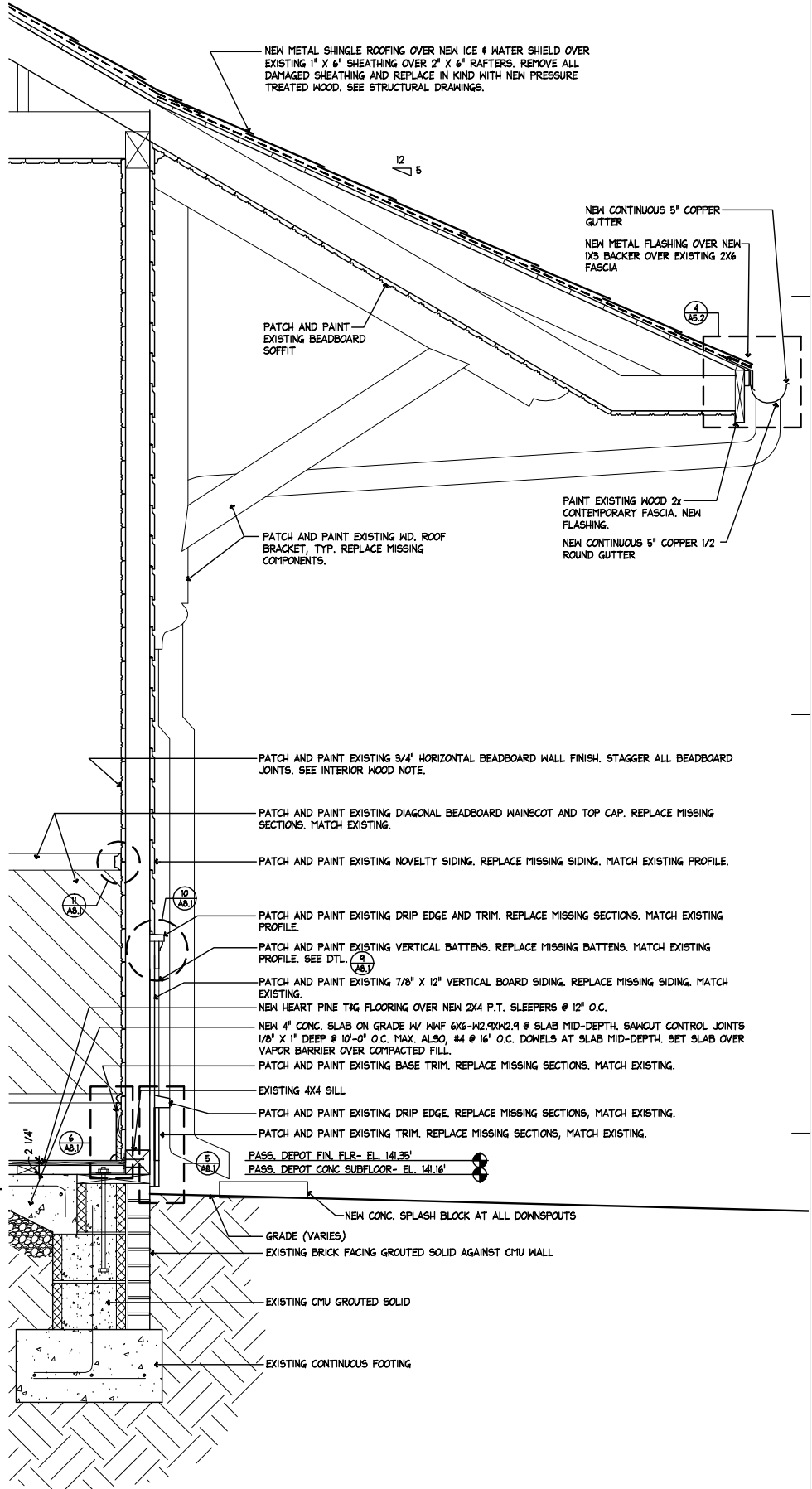
1. NOT USED.
2. Minimum concrete strength shall be 4000 p.s.i. unless otherwise specified in these documents.
3. Concrete protection for reinforcement:
  - a. The reinforcement of footings and other principal structural members in which the concrete is deposited against the ground shall have not less than 3 in. of concrete between it and the ground contact surface. If concrete surfaces after removal of the forms are to be exposed to the weather or be in contact with the ground, the reinforcement shall be protected with not less than 2" of concrete for bars larger than # 5 and 1 1/2" for # 5 bars or smaller.
  - b. The concrete protective covering for any reinforcement at surfaces not exposed directly to the ground or weather shall be not less than 3/4" for slabs and walls and not less than 1 1/2" for beams and girders. In concrete joist floors in which the clear distance between joists is not more than 30 in., the protection of reinforcement shall be at least 3/4".
  - c. Column spirals or ties shall be protected everywhere by a covering of concrete cast monolithically with the core, for which the thickness shall be not less than 1 1/2", nor less than 1 1/2 times the maximum size of the coarse aggregate.
  - d. Concrete protection for reinforcement shall in all cases be at least equal to the diameter of bars, except for concrete slabs and joists in (b.).
  - e. In extremely corrosive atmospheres or other severe exposures, the amount of protection shall be suitably increased.



1 DETAIL  
A3.3 SCALE: 1/4"=1'-0"

2 WALL SECTION AT FREIGHT OFFICE  
A3.3 SCALE: 1"=1'-0"

1 WALL SECTION AT PASSENGER STATION  
A3.3 SCALE: 1"=1'-0"



HISTORIC DEPOT BUILDING REHABILITATION  
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GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

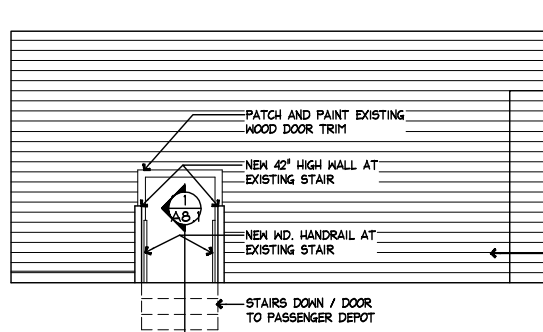
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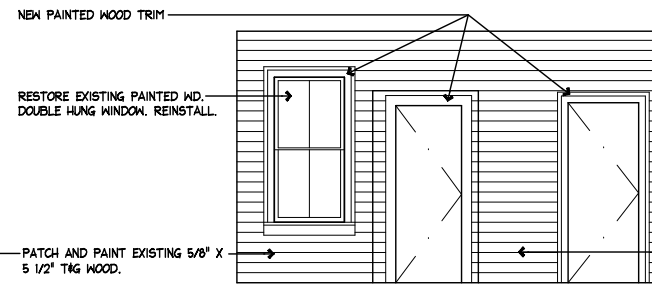
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WALL SECTIONS  
NOTES  
Date: 4/15/10

A3.3  
31 OF 75

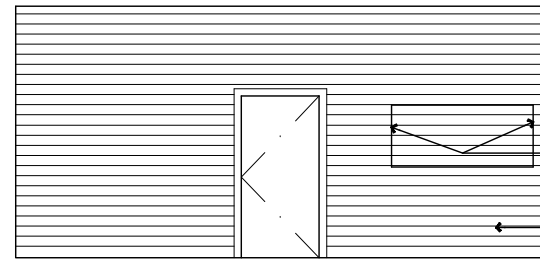




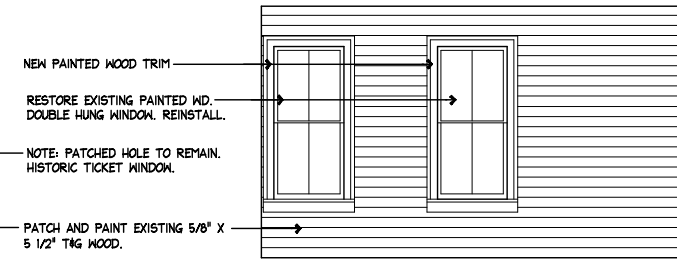
15 OFFICE 108 EAST  
A4.1 SCALE: 1/4"=1'-0"



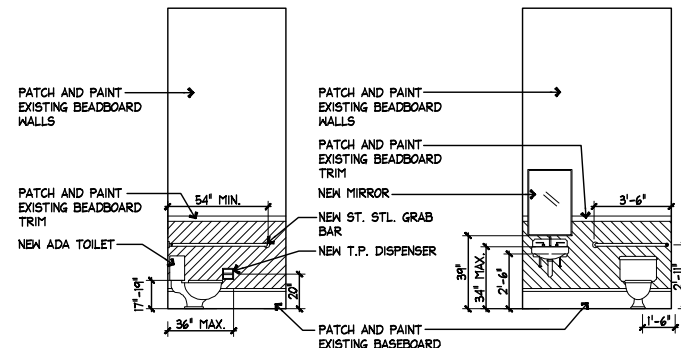
14 OFFICE 108 SOUTH  
A4.1 SCALE: 1/4"=1'-0"



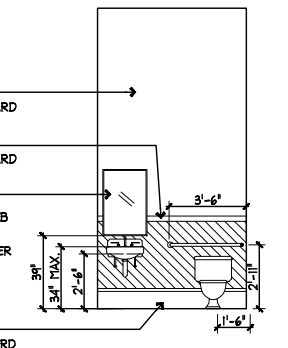
13 OFFICE 108 WEST  
A4.1 SCALE: 1/4"=1'-0"



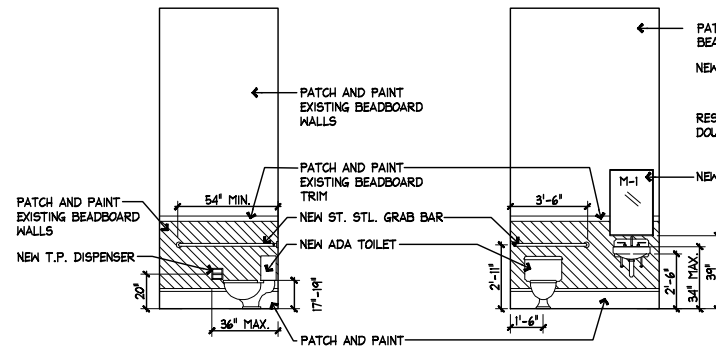
12 OFFICE 108 NORTH  
A4.1 SCALE: 1/4"=1'-0"



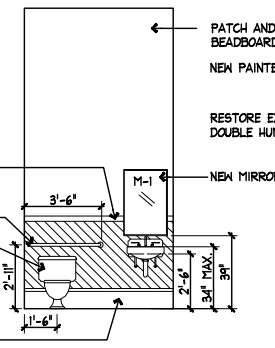
11 RESTROOM 104 EAST  
A4.1 SCALE: 1/4"=1'-0"



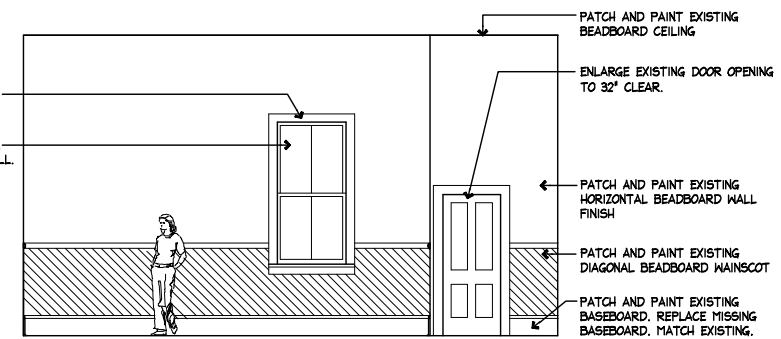
10 RESTROOM 104 NORTH  
A4.1 SCALE: 1/4"=1'-0"



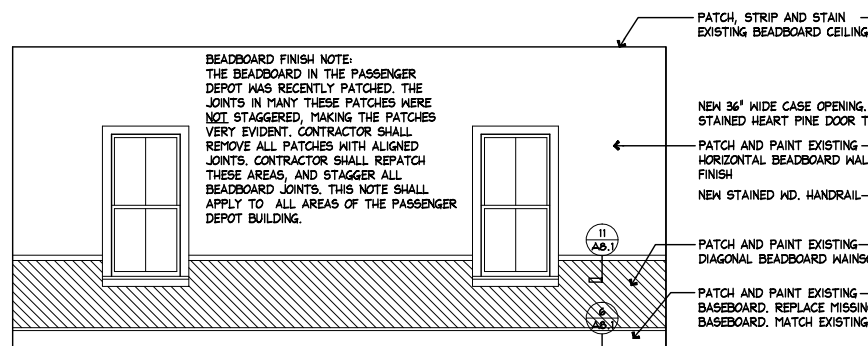
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A4.1 SCALE: 1/4"=1'-0"



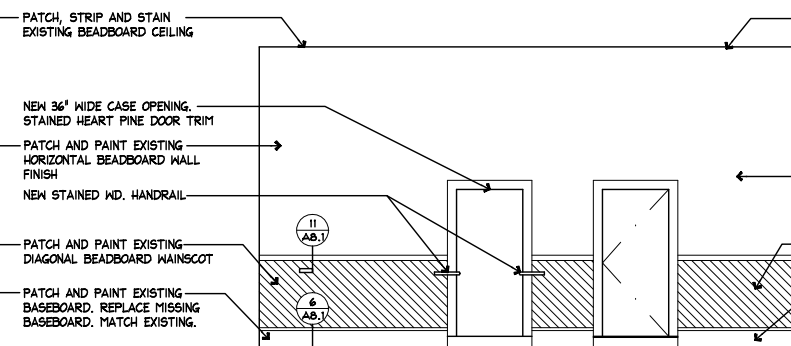
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A4.1 SCALE: 1/4"=1'-0"



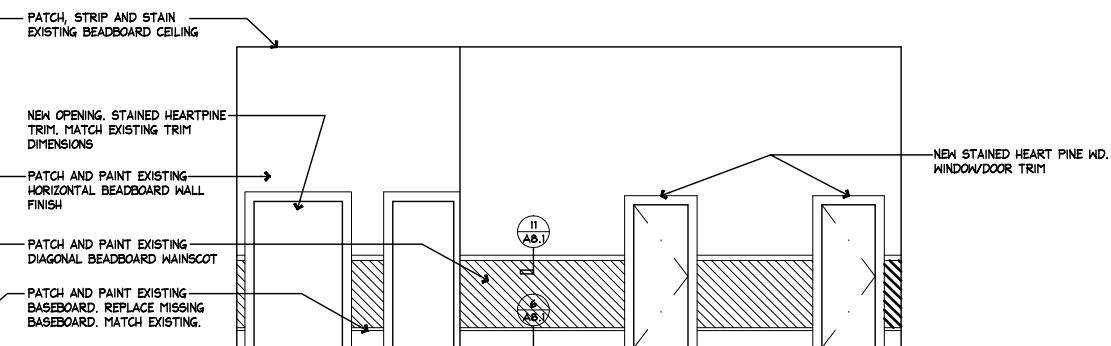
7 NORTH PASSENGER DEPOT 101 EAST  
A4.1 SCALE: 1/4"=1'-0"



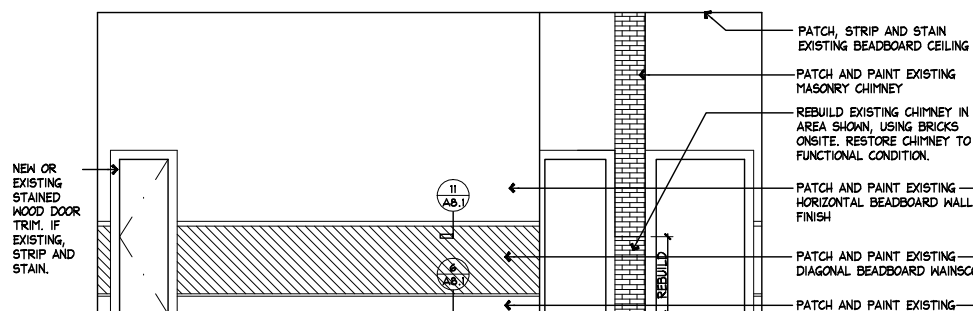
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A4.1 SCALE: 1/4"=1'-0"



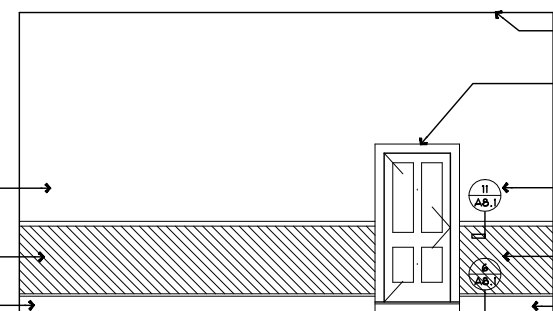
5 SOUTH PASSENGER DEPOT 106 WEST  
A4.1 SCALE: 1/4"=1'-0"



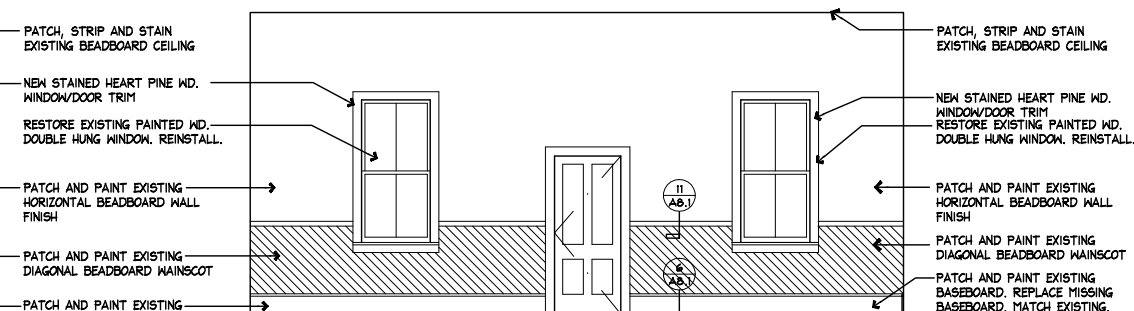
4 SOUTH PASSENGER DEPOT 106 NORTH  
A4.1 SCALE: 1/4"=1'-0"



3 NORTH PASSENGER DEPOT 101 SOUTH  
A4.1 SCALE: 1/4"=1'-0"



2 NORTH PASSENGER DEPOT 101 WEST  
A4.1 SCALE: 1/4"=1'-0"



1 NORTH PASSENGER DEPOT 101 NORTH  
A4.1 SCALE: 1/4"=1'-0"

**HISTORIC DEPOT BUILDING REHABILITATION**  
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Project No: 0910  
INTERIOR ELEVATIONS  
Date: 4/15/10

**A4.1**  
32 OF 75



1 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

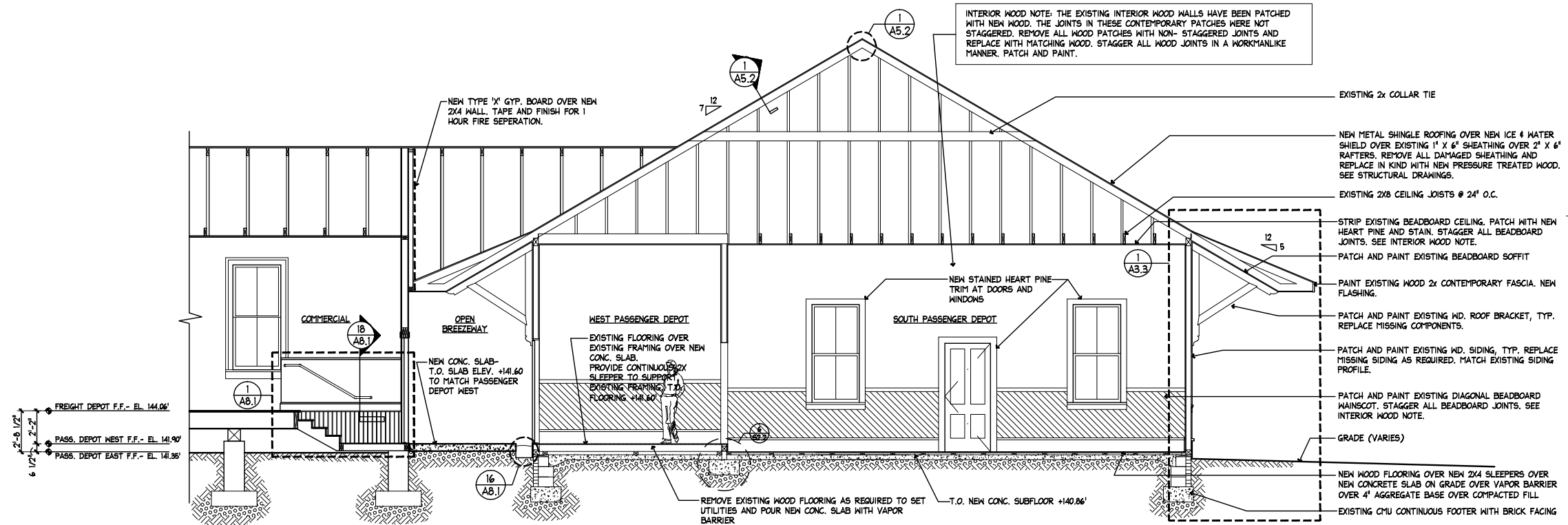
1 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

1 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

1 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

1 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

1 DETAIL  
A4.2 SCALE: 1/4"=1'-0"



12 SECTION THROUGH BREEZEWAY / PASSENGER DEPOT LOOKING NORTH  
A4.2 SCALE: 1/4"=1'-0"

6 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

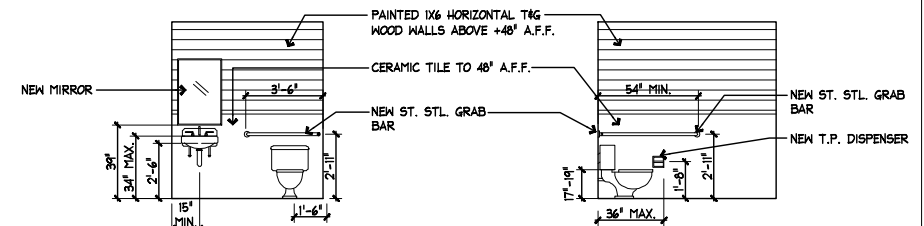
5 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

4 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

3 DETAIL  
A4.2 SCALE: 1/4"=1'-0"

2 RESTROOM 116 EAST ELEVATION  
A4.2 SCALE: 1/4"=1'-0"

1 RESTROOM 116 WEST ELEVATION  
A4.2 SCALE: 1/4"=1'-0"



HISTORIC DEPOT BUILDING REHABILITATION  
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Project No: 0910  
INTERIOR ELEVATIONS  
DETAILS  
Date: 4/15/10

A4.2





EXISTING PHOTO OF SOUTH SIDE OF PASSENGER DEPOT. REMOVE EXISTING ROLL ROOFING DOWN TO EXISTING SHEATHING. PATCH EXISTING ROOF SHEATHING AS REQUIRED. MATCH EXISTING SHEATHING IN WOOD SPACING AND DIMENSION.

24 PHOTOGRAPHIC DETAIL  
A5.1 SCALE: N.T.S.



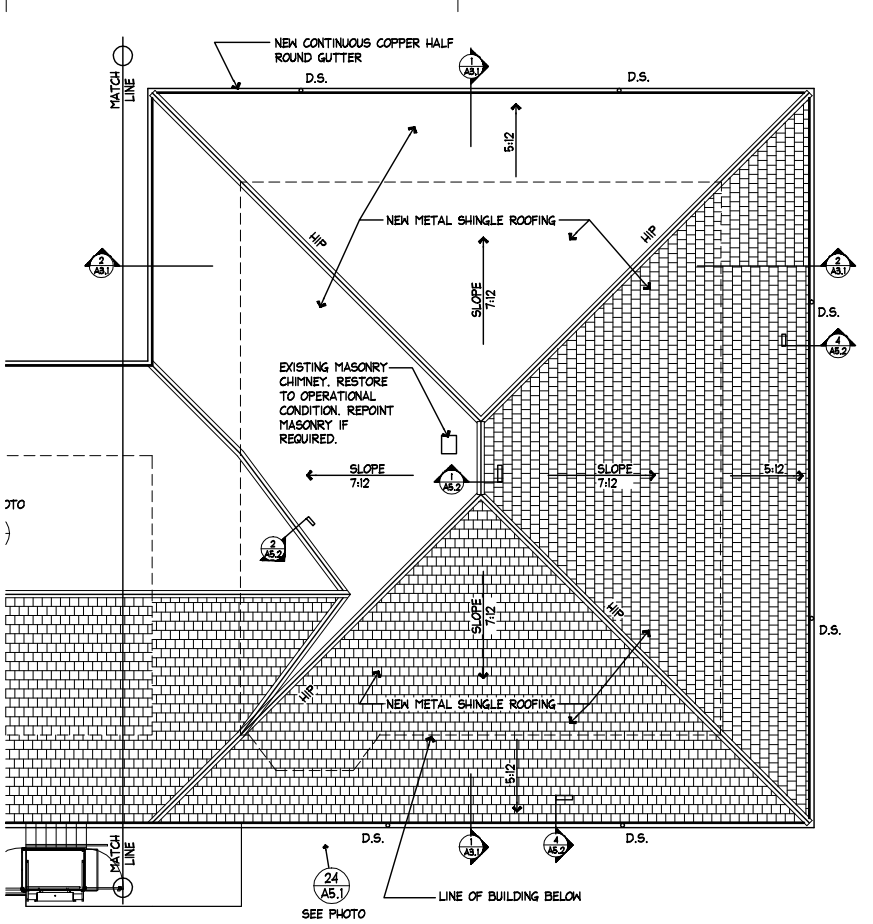
EXISTING PHOTO OF SOUTH SIDE OF FREIGHT DEPOT. BUILDING. REMOVE EXISTING ROLL ROOFING DOWN TO EXISTING SHEATHING. PATCH EXISTING ROOF SHEATHING AS REQUIRED. MATCH EXISTING SHEATHING IN WOOD SPACING AND DIMENSION. REROOF.

18 PHOTOGRAPHIC DETAIL  
A5.1 SCALE: N.T.S.

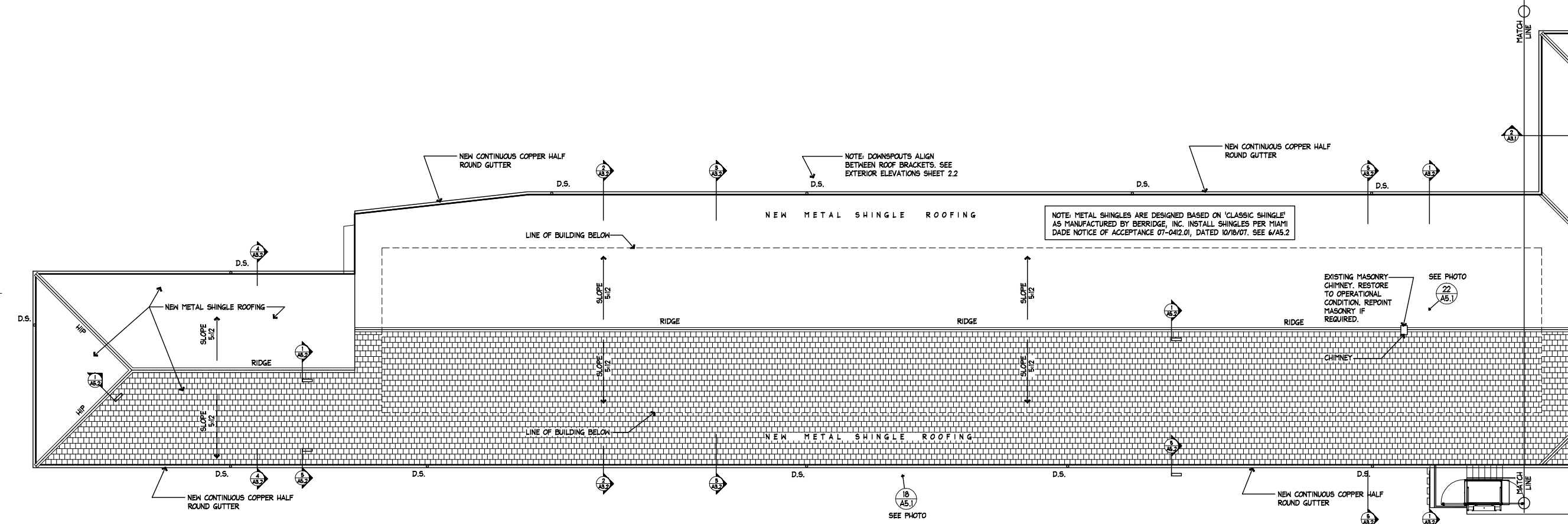


EXISTING PHOTO OF CHIMNEY AT FREIGHT DEPOT BUILDING. RESTORE TO OPERATIONAL CONDITION. REPOINT MASONRY IF REQUIRED.

22 PHOTOGRAPHIC DETAIL  
A5.1 SCALE: N.T.S.



2 ROOF PLAN - PASSENGER DEPOT  
A5.1 SCALE: 1/8"=1'-0"



1 ROOF PLAN - FREIGHT DEPOT  
A5.1 SCALE: 1/8"=1'-0"

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Project No: 0910  
ROOF PLANS  
Date: 4/15/10

A5.1



1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

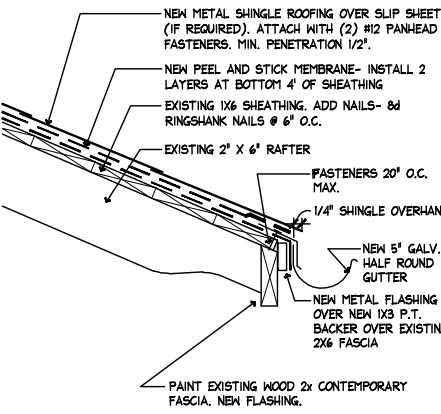
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A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

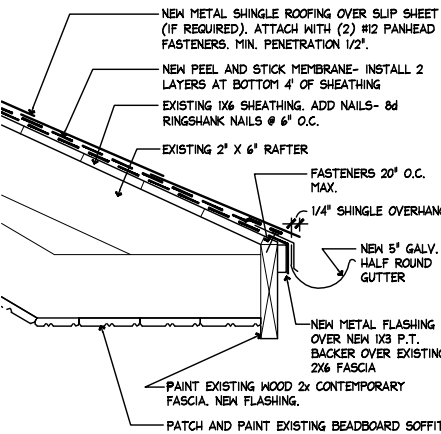
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A5.2 SCALE: 1 1/2"=1'-0"

1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

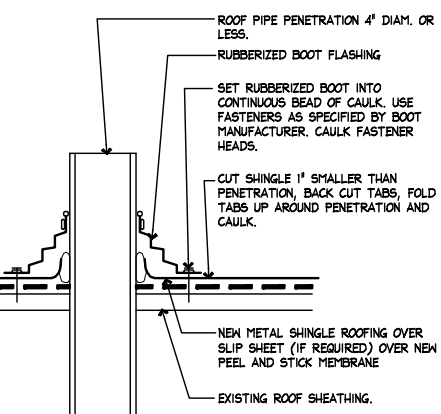
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A5.2 SCALE: 1 1/2"=1'-0"



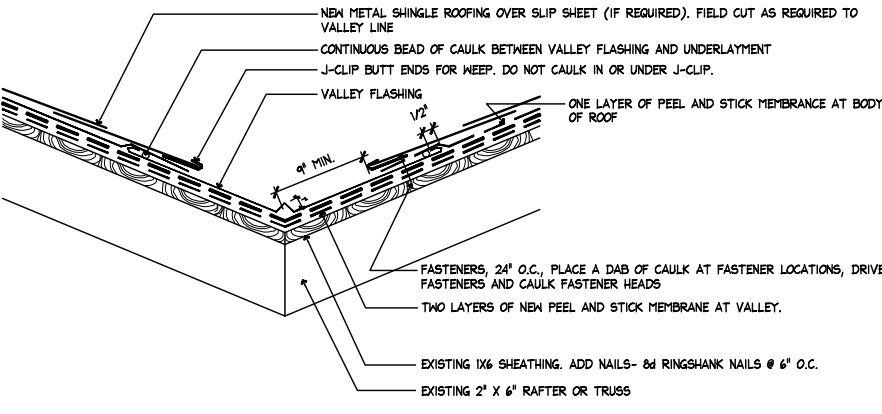
1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"



1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

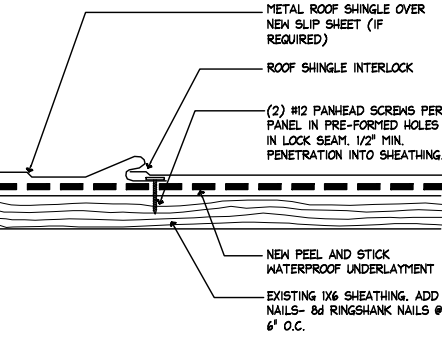
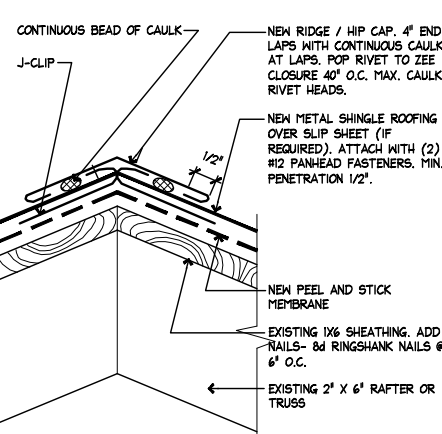


1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"



1 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"

6 ROOF DETAIL  
A5.2 SCALE: 1 1/2"=1'-0"



NOTE: THIS ROOFING DETAIL IS BASED ON THE 'CLASSIC' METAL ROOFING SHINGLE, AS MANUFACTURED BY BERRIDGE, INC. INSTALL SHINGLES AND UNDERLAYMENT PER MIAMI-DADE NOTICE OF ACCEPTANCE 07-0412.01, DATED 10/16/07. SEE STRUCTURAL DRAWINGS. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

5 ROOF EAVE AT FREIGHT DEPOT  
A5.2 SCALE: 1 1/2"=1'-0"



4 ROOF EAVE AT PASSENGER DEPOT  
A5.2 SCALE: 1 1/2"=1'-0"



3 ROOF DETAIL  
A5.2 SCALE: 3"=1'-0"



2 ROOF VALLEY  
A5.2 SCALE: 1 1/2"=1'-0"



1 ROOF RIDGE AT FREIGHT DEPOT  
A5.2 SCALE: 3"=1'-0"



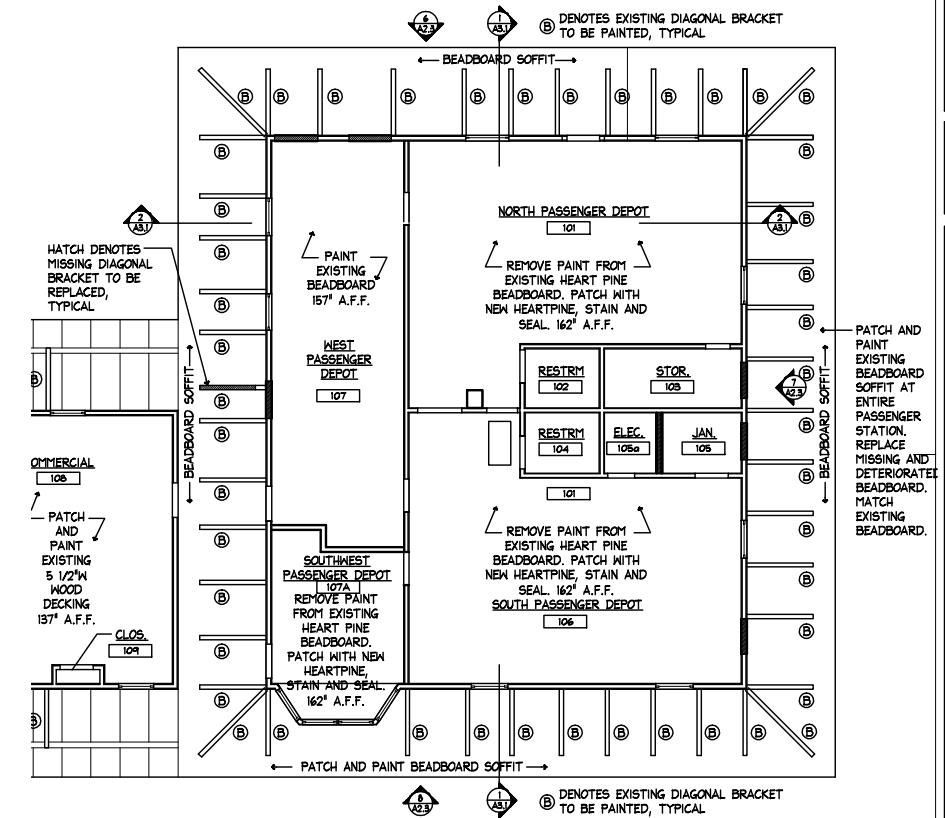
HISTORIC DEPOT BUILDING REHABILITATION  
201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

410 Angela Street  
Key West, Florida 33040  
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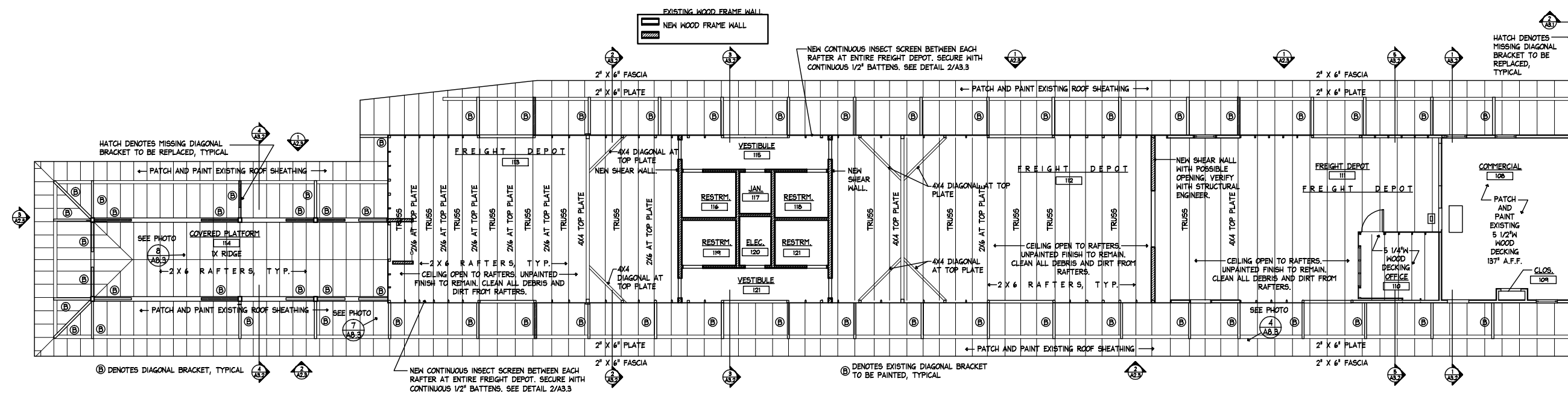
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Project No: 0910  
ROOF DETAILS  
Date: 4/15/10





2 REFLECTED CEILING PLAN - PASSENGER DEPOT  
A6.1 SCALE: 1/8"=1'-0"



1 REFLECTED CEILING PLAN - FREIGHT DEPOT  
A6.1 SCALE: 1/8"=1'-0"

**HISTORIC DEPOT BUILDING REHABILITATION**  
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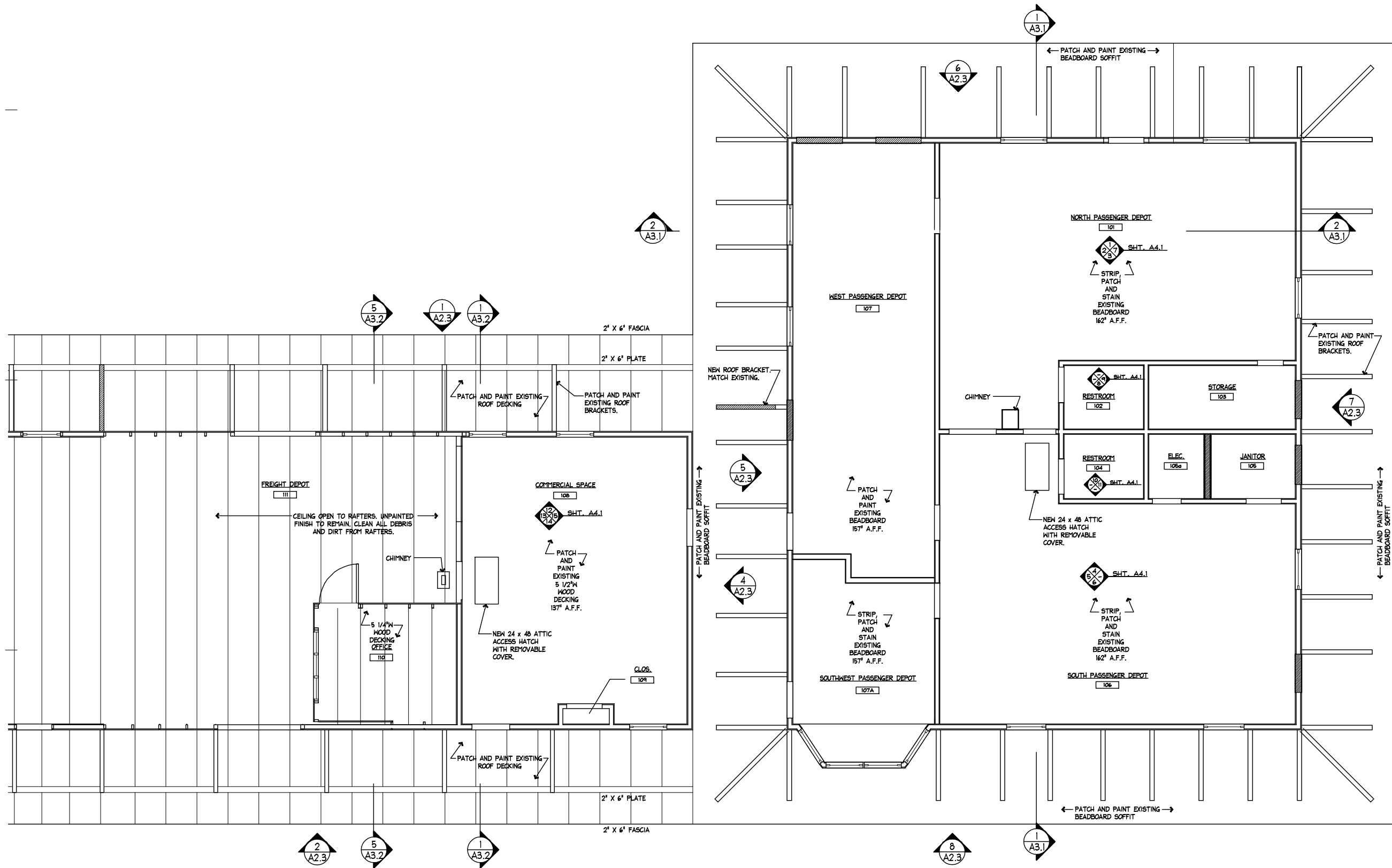
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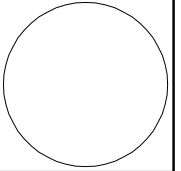
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PLANS  
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**A6.1**  
36 OF 75





**HISTORIC DEPOT BUILDING REHABILITATION**  
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 GAINESVILLE, FLORIDA  
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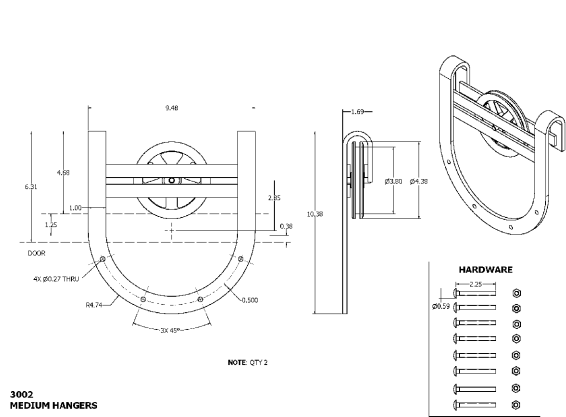
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**A6.2**  
 37 OF 75



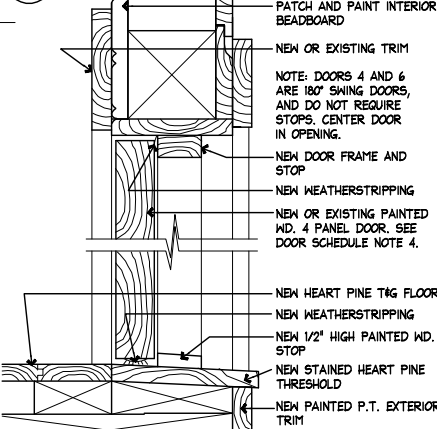


MODEL 3002 MEDIUM BARN DOOR  
ROLLER, AS MANUFACTURED BY  
BETTERBARN.COM

USE WITH MODEL 301B TRACK  
AND STANDOFF.

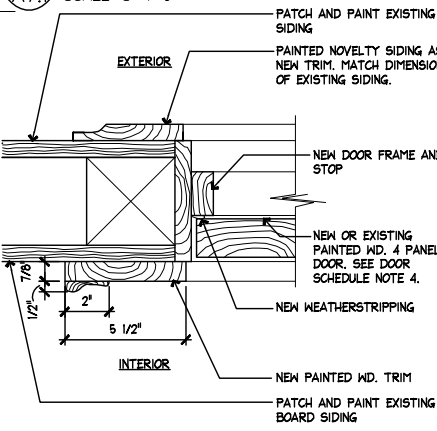
## 23 ROLLING DOOR HARDWARE CUTSHEET

A7.1 SCALE: 1/2"=1'-0"



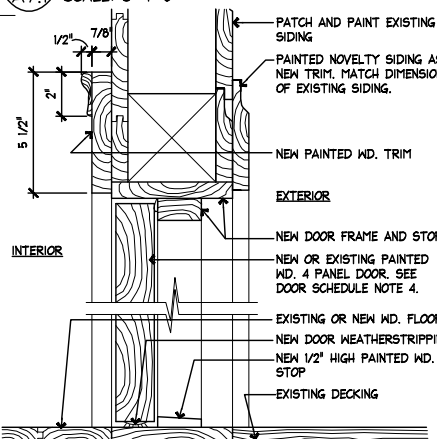
## 18 HEAD, SILL AT PASSENGER DEPOT EXTERIOR DOOR

A7.1 SCALE: 3/8"=1'-0"



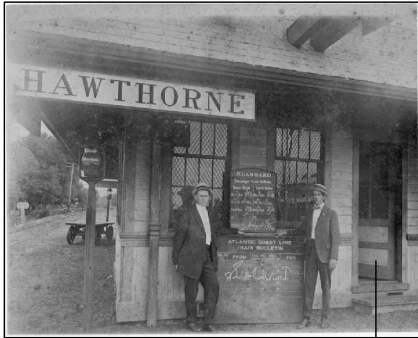
## 12 JAMB AT FREIGHT DEPOT EXTERIOR DOOR

A7.1 SCALE: 3/8"=1'-0"



## 6 HEAD, SILL AT FREIGHT DEPOT EXTERIOR DOOR

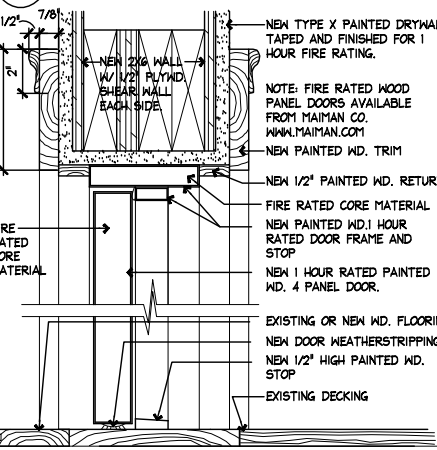
A7.1 SCALE: 3/8"=1'-0"



HISTORIC PHOTO OF HAWTHORNE DEPOT.  
DOOR TYPE A SHALL MATCH DOOR IN PHOTO AT RIGHT.

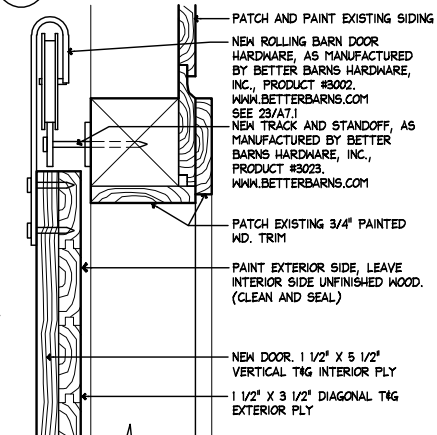
## 17 HISTORIC DOOR PHOTO

A7.1 SCALE: N.T.S.



## 11 HEAD, SILL @ RATED WOOD DOOR

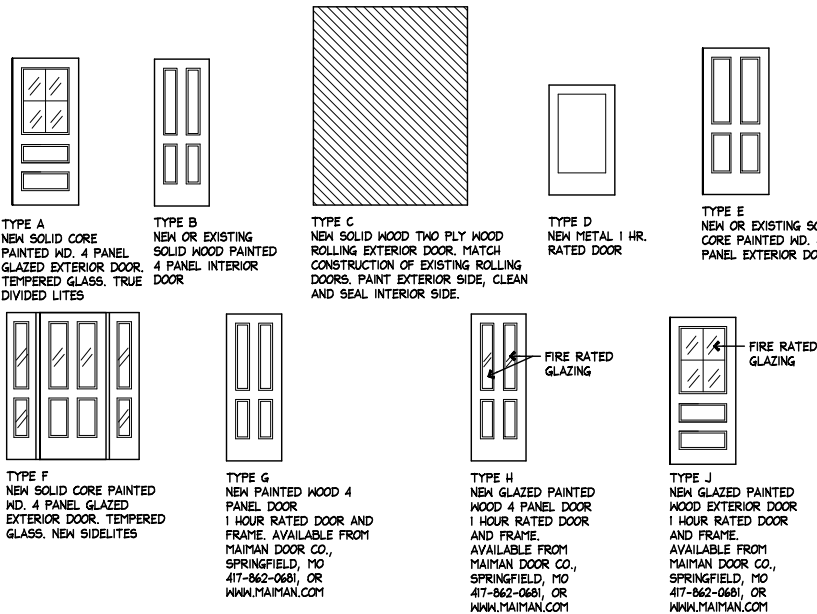
A7.1 SCALE: 1/2"=1'-0"



## 5 HEAD @ NEW ROLLING DOOR

A7.1 SCALE: 3/8"=1'-0"

## DOOR TYPES



### DOOR SCHEDULE NOTES:

- MANY NEW DOORS ARE BEING INSTALLED IN EXISTING OPENINGS. VERIFY SIZE OF ALL EXISTING DOOR OPENINGS BEFORE PURCHASING DOORS.
- MUCH OF THE EXISTING DOOR TRIM IS DETERIORATED, BUT STILL SERVICABLE. THE INTENTION OF THE DRAWINGS IS TO PRESERVE AS MUCH HISTORIC FABRIC AS POSSIBLE. ALL MEANS SHALL TAKEN TO PRESERVE EXISTING TRIM, INCLUDING PATCHING, SANDING, AND REFINISHING TRIM WHERE POSSIBLE. MATCH MISSING SECTIONS WITH NEW MATERIAL. MATCH EXISTING TRIM WOOD SPECIES, PROFILES AND DIMENSIONS.
- WHERE INDICATED, CLEAN AND REFINISH EXISTING DOOR HARDWARE AS POSSIBLE. WHERE HARDWARE IS UNUSABLE, PROVIDE AND INSTALL NEW HARDWARE, MATCHING THE EXISTING.
- MANY OF THE HISTORIC DOORS AND HARDWARE SETS FOR THE BUILDING WERE REMOVED AND ARE IN STORAGE IN THE BUILDING. IT IS NOT KNOWN WHERE EACH DOOR WAS TAKEN FROM. CONTRACTOR IS DIRECTED TO REFURBISH AND REUSE AS MANY OF THE HISTORIC DOORS AND HARDWARE AS POSSIBLE. CONTRACTOR SHALL INSPECT DOORS BEFORE BIDDING TO ASCERTAIN NUMBER OF REUSABLE DOORS. SEE PHOTOS 8/A8.2, 9/A8.2, 11/A8.2, 12/A8.2
- NEW DOORS AND FRAMES TO BE CUSTOM CRAFTED SUCH THAT DETAILS & PROFILE MATCH HISTORIC DOORS & FRAMES. MATCH EXISTING HARDWARE EXCEPT FOR LOCKSET. NEW WOOD MATERIAL TO MATCH THE ORIGINAL AS TO SPECIES, GRADE, TEXTURE AND FINISH. CUT EXISTING DOOR STOPS TO HEIGHT OF 54" A.F.F. TO ACHIEVE 32" CLEAR THROUGH DOOR.
- PREP & PAINT DOORS AND FRAME - RESTORE EXISTING HARDWARE TO ORIGINAL FINISH AND REPAIR AS NECESSARY SUCH THAT ALL COMPONENTS ARE COMPLETELY OPERATIONAL & FUNCTIONAL. RESTORE GLAZING OR REGLAZE AS REQUIRED. REPLACE LOCKSET WITH LEVER TYPE ADA COMPLIANT HARDWARE. CUT EXISTING DOOR STOPS TO HEIGHT OF 54" A.F.F. TO ACHIEVE 32" CLEAR THROUGH DOOR.
- ALL REMOVED DOOR HARDWARE IS TO BE SALVAGED AND RETURNED TO OWNER.
- PROVIDE SIGNAGE PER CODE STATING "THIS EXIT TO REMAIN UNLOCKED WHEN THIS BUILDING IS OCCUPIED". THIS SIGN IS TO BE A READILY VISIBLE, DURABLE SIGN LOCATED ON OR ADJACENT TO THE DOOR. THE SIGN SHALL BE IN LETTERS NO LESS THAN 1 INCH HIGH ON A CONTRASTING BACKGROUND. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
- EXISTING SLIDING BARN DOORS ARE HISTORIC AND SHALL BE PAINTED ON THE EXTERIOR AND CLEANED AND LEFT UNPAINTED AT THE INSIDE.
- PROVIDE SIGNAGE PER CODE STATING "THIS EXIT TO REMAIN OPEN WHEN THIS BUILDING IS OCCUPIED". THIS SIGN IS TO BE A READILY VISIBLE, DURABLE SIGN LOCATED ON OR ADJACENT TO THE DOOR. THE SIGN SHALL BE IN LETTERS NO LESS THAN 1 INCH HIGH ON A CONTRASTING BACKGROUND. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW.

GENERAL NOTE: IT IS THE DESIGN INTENT OF THIS PROJECT TO MAINTAIN MAXIMUM COMPLIANCE WITH THE ADA AND THE FLORIDA ACCESSIBILITY CODE THE CODE REQUIRES 32" CLEAR AT DOOR OPENINGS BUT ALLOWS A 5/8" ENCROACHMENT ON THE LATCH SIDE. REMOVE THE STOP ON THE HINGE SIDE TO 54" ABOVE FINISH FLOOR. CONFIRM THAT WITH THE DOOR IN A FULLY OPEN POSITION, 32" CLEARANCE EXISTS, MINUS THE 5/8" ALLOWED ENCROACHMENT ON THE LATCH SIDE. IF THIS CLEARANCE CANNOT BE OBTAINED WITH THE DOOR FULLY OPEN, REMOVE THE DOOR FOR STORAGE ON SITE. LEAVE THE HINGE LEAF ON THE DOOR AND FRAME, WITH THE HINGE PIN IN THE FRAME HINGE LEAF. CONFIRM ALL OPENINGS ON SITE WITH THE ARCHITECT, SUBJECT TO CONCURRENCE WITH THE BUILDING OFFICIAL.

## DOOR HARDWARE

NOTE: ALL HARDWARE TO BE ADA COMPLIANT.

GROUP #1: EXTERIOR EXIT DOOR:  
1 1/2 PAIR SOLID BRASS 4" BUTT HINGES WITH BALL FINIALS, FINISH OIL RUBBED BRONZE.  
OMNIA MORTISE LOCKSET MODEL 12042, FINISH US10B OIL RUBBED BRONZE, FUNCTION: PANIC PROOF ENTRY -F (ANSI F12). COMMERCIAL USE LOCKSET FULL WEATHERSTRIPPING.  
AUTOMATIC CLOSER

GROUP #2: INTERIOR STORAGE ROOM / RESTROOM / OFFICE:  
1 1/2 PAIR SOLID BRASS 4" BUTT HINGES WITH BALL FINIALS, FINISH OIL RUBBED BRONZE.  
OMNIA NARROW BACKSET LOCKSET MODEL 65752, FINISH SB SHADED BRONZE, FUNCTION: ENTRY- B  
1 1/4" FLOOR MOUNTED DOORSTOP, REJUVENATION HARDWARE ITEM1 DA3547, FINISH OIL RUBBED BRONZE.  
AUTOMATIC CLOSER.

GROUP #3: KITCHEN DOOR  
1 1/2 PAIR SPRING HINGES, FINISH OIL RUBBED BRONZE  
OMNIA AUXILIARY DEADBOLT MODEL D0606T, FINISH SB SHADED BRONZE  
PUSH PLATE EACH SIDE: REJUVENATION HARDWARE PUTMAN CLASSIC PUSH PLATE, ITEM1 \* DC6066, FINISH BURNISHED ANTIQUE

GROUP #4: SINGLE OR DOUBLE ROLLING BARN DOOR  
NOTE: ALL EXISTING ROLLING DOOR HARDWARE SHALL BE RESTORED AND MADE FUNCTIONAL. IN THE ABSENCE OF THE PARTS LISTED BELOW, PROVIDE AND INSTALL THE FOLLOWING PARTS:  
(2) DOOR PULL HANDLE EACH DOOR. BETTERBARN.COM, MODEL 3004 DOOR PULL HANDLE. MOUNT AT INTERIOR AND EXTERIOR.  
(1) WALL MOUNTED STAY ROLLER EACH DOOR. BETTERBARN.COM, MODEL 3004  
(2) MEDIUM BARN DOOR ROLLER EACH DOOR, BETTERBARN.COM, MODEL 3002.  
(1) DOOR TRACK AND STANDOFF EACH DOOR, BETTERBARN.COM, MODEL 3008.  
(1) BARN DOOR LATCH, BETTERBARN.COM, MODEL 3066  
AT DOORS 21 AND 22, POST SIGN IN 1" LETTERS STATING "THIS DOOR SHALL REMAIN OPEN AT ALL TIMES WHEN THE BUILDING IS OCCUPIED"

## DOOR SCHEDULE

NO.	TYPE	SIZE			MATERIAL	FINISH	GLAZING	FRAMES		DETAILS	REMARKS	HARDWARE SETS
		W.	H.	T.				MATERIAL	FINISH			
1	A	3'-0"	7'-0"	1 3/4"	WOOD	PAINTED	TEMPERED	WOOD	PAINTED	17, 18/A7.1	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE. SEE NOTE 8.	GROUP 1
2	B	2'-2"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 8, 9/ A8.2	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 2
3	B	3'-0"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 8, 9/ A8.2	ENLARGE EXISTING OPENING TO 36" WIDE.	GROUP 2
4	B	3'-0"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 SPM, 8, 9/ A8.2	ENLARGE EXISTING OPENING TO 36" WIDE. SWING DOOR. SPRING HINGES.	GROUP 3
5	B	3'-0"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 8, 9/ A8.2	ENLARGE EXISTING OPENING TO 36" WIDE.	GROUP 2
6	B	3'-0"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 SPM, 8, 9/ A8.2	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE. SWING DOOR. SPRING HINGES.	GROUP 3
7	B	2'-5"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 8, 9/ A8.2	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 2
8	B	3'-0"	6'-8"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 8, 9/ A8.2	NEW DOOR IN ENLARGED OPENING.	GROUP 2
9	B	3'-0"	7'-2"	1 3/4"	WOOD	PAINTED	NONE.	WOOD	PAINTED	18/A7.1 8, 9/ A8.2	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 1
10	A	3'-0"	6'-10"	1 3/4"	WOOD	PAINTED	TEMPERED	WOOD	PAINTED	17, 18/A7.1	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 1
11	A	3'-0"	6'-11"	1 3/4"	WOOD	PAINTED	TEMPERED	WOOD	PAINTED	11/A7.1	NEW GLAZED DOOR IN EXISTING OPENING. VERIFY OPENING SIZE. 1 HR. DOOR.	GROUP 1
12	E	3'-0"	8'-1"	1 3/4"	WOOD	PAINTED	NONE.	WOOD	PAINTED	6/A7.1, 12/A7.1	NEW OR EXISTING DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 1
13	B	3'-0"	8'-0"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	6/A7.1, 12/A7.1 8, 9/ A8.2	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 2
14	B	3'-0"	7'-4"	1 3/8"	WOOD	PAINTED	NONE.	WOOD	PAINTED	6/A7.1, 12/A7.1 8, 9/ A8.2	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 1
15	EXIST.	3'-4"	7'-0"	1 3/8"	WOOD	EXIST.	NONE.	EXISTING	PAINTED	6/A7.1, 12/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE.	GROUP 2
16	EXIST.	6'-10 1/2"	6'-7"	1 3/8"	WOOD	EXIST.	NONE.	EXISTING	PAINTED	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE.	GROUP 4
17	C	7'-0 1/2"	9'-2"	2"	WOOD	PAINTED	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	NEW ROLLING DOOR IN EXISTING OPENING. MATCH EXISTING ROLLING DOORS	GROUP 4
18	E	3'-0"	8'-0"	1 3/4"	WOOD	PAINTED	NONE.	WOOD	PAINTED	6/A7.1, 12/A7.1	NEW DOOR IN EXISTING OPENING. VERIFY OPENING SIZE.	GROUP 1
19	EXIST.	9'-4"	9'-4"	2"	WOOD	EXIST.	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE.	GROUP 4
20	EXIST.	9'-4 1/2"	9'-3"	2"	WOOD	EXIST.	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE.	GROUP 4
21	EXIST.	9'-7"	9'-3"	2"	WOOD	EXIST.	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE. SEE NOTE 10.	GROUP 4
22	EXIST.	9'-6"	9'-3"	2"	WOOD	EXIST.	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE. SEE NOTE 10.	GROUP 4
23	EXIST.	8'-0 1/2"	9'-3"	2"	WOOD	EXIST.	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE.	GROUP 4
24	EXIST.	8'-0 1/2"	9'-3"	2"	WOOD	EXIST.	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	EXISTING DOOR IN EXISTING OPENING. CLEAN HARDWARE & MAKE OPERABLE.	GROUP 4
25	C	5'-2"	9'-4"	2"	WOOD	PAINTED	NONE.	EXISTING	PAINTED EXTERIOR, UNPAINTED INTERIOR	23/A7.1, 5/A7.1	NEW ROLLING DOOR IN EXISTING OPENING. MATCH EXISTING ROLLING DOORS	GROUP 4
26	H	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	FIRE RATED	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 1
27	H	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	FIRE RATED	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 1
28	G	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	NONE.	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 2
29	G	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	NONE.	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 2
30	G	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	NONE.	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 2
31	G	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	NONE.	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 2
32	G	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	NONE.	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 2
33	G	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	NONE.	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 2
34	H	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	FIRE RATED	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 1
35	H	3'-0"	7'-0"	1 3/4"	WOOD VENEER OVER FIRE RATED CORE	PAINTED	FIRE RATED	WOOD VENEER OVER FIRE RATED CORE	PAINTED	11/A7.1	NEW DOOR IN NEW OPENING. 1 HOUR RATING	GROUP 1
36	D	3'-0"	5'-0"	1 3/4"	MTL.	PAINTED	NONE.	METAL	PAINTED	11/A7.1	NEW 1 HR. RATED DOOR IN NEW OPENING. METAL FRAME.	GROUP 2
37	F	3'-0"	7'-0"	1 3/4"	WOOD	PAINTED	TEMPERED	WOOD	PAINTED	6/A7.1, 12/A7.1	NEW DOOR IN NEW OPENING.	GROUP 1

## HISTORIC DEPOT BUILDING REHABILITATION

201 S.E. DEPOT AVENUE  
GAINESVILLE, FLORIDA  
GAINESVILLE COMMUNITY REDEVELOPMENT AGENCY

Bender & Associates

ARCHITECTS

p.a.

Project No: 0910

SCHEDULES  
DETAILS

Date: 4/15/10

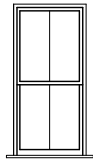
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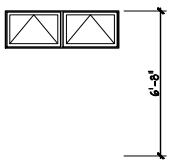


WINDOW SCHEDULE							
MARK	WINDOW SIZE / TYPE	DETAILS	MAT.	FIN.	FRAMES	REMARKS	
A	HISTORIC TYPE 'A'	1,3,4,9,10,13,15,16,19,20,21A7.2	WD.	PTD.	PTD.	RESTORE, PROVIDE NEW SCREEN.	
B	HISTORIC TYPE 'B'	1,3,4,9,10,13,15,16,19,20,21A7.2	WD.	PTD.	PTD.	RESTORE, PROVIDE NEW SCREEN.	
C	HISTORIC TYPE 'C'	1,3,4,9,10,13,15,16,19,20,21A7.2	WD.	PTD.	PTD.	RESTORE, PROVIDE NEW SCREEN.	
D	NEW WINDOW TYPE 'D'	2,8A7.2	WD.	PTD.	PTD.	NEW AWNING- ANDERSEN MODEL AN2281	

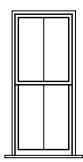
## WINDOW TYPES



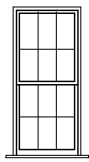
MARK A  
PAINTED WD. DOUBLE HUNG 2  
OVER 2 WINDOW WITH INTERNAL  
SASH WEIGHTS.  
3/8" AUTHENTIC DIVIDED LITE.  
SEE DETAIL. PROVIDE  
DETACHABLE SCREENS.  
RESTORE EXISTING WINDOW TO  
MAKE COMPLETELY FUNCTIONAL  
OR, NEW WINDOW MATCHING  
EXISTING.



MARK D  
PAINTED WD. AWNING  
3/8" AUTHENTIC DIVIDED LITE.  
SEE DETAIL.  
MOUNT HEAD 6'-8" A.F.F.  
NEW WINDOW IN NEW OPENING



MARK B  
PAINTED WD. DOUBLE HUNG 2  
OVER 2 WINDOW WITH INTERNAL  
SASH WEIGHTS.  
3/8" AUTHENTIC DIVIDED LITE.  
SEE DETAIL. PROVIDE  
DETACHABLE SCREENS.  
RESTORE EXISTING WINDOW TO  
MAKE COMPLETELY FUNCTIONAL  
OR, NEW WINDOW MATCHING  
EXISTING.



MARK C  
PAINTED WD. DOUBLE HUNG 6  
OVER 6 WINDOW WITH INTERNAL  
SASH WEIGHTS.  
3/8" AUTHENTIC DIVIDED LITE.  
SEE DETAIL. PROVIDE  
DETACHABLE SCREENS.  
RESTORE EXISTING WINDOW TO  
MAKE COMPLETELY FUNCTIONAL  
OR, NEW WINDOW MATCHING  
EXISTING.

## WINDOW NOTES

### GENERAL WINDOW NOTES:

PROVIDE A SCHEDULE OF REPAIRS FOR ALL HISTORIC WOOD WINDOW COMPONENTS. RESTORATION OF WOOD WINDOW COMPONENTS WILL INCLUDE SEVERAL METHODS, INCLUDING BUT NOT LIMITED TO:

- SANDING, CLEANING AND PREPARING FOR PAINT
- REPLACING COMPONENTS IN PART WITH DUTCHMAN REPAIRS, OR TOTALLY WITH NEW WOOD MATCHING THE ORIGINAL AS TO SPECIES, GRADE, TEXTURE AND FINISH
- REPAIR OF DETERIORATED OR ROTTED COMPONENTS BY STABILIZING WITH 'LIQUID WOOD' AND FILLING WITH 'WOOD EPOX', BOTH OF WHICH ARE PRODUCTS OF ABATRON, INC. KENOSHA, WISCONSIN. (800)446-1754/(414)653-2000 OR FAX (414)653-2019.
- CONSTRUCTION OF NEW REPLACEMENT ELEMENTS. USE NEW WOOD TO MATCH THE ORIGINAL AS TO SPECIES, GRADE, TEXTURE AND FINISH.

SAMPLES AND MOCK-UPS ARE REQUIRED AND THE CONTRACTORS WRITTEN RESTORATION PLAN MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OR RESTORATION ACTIVITIES.

### REMARKS:

1. ALL WINDOWS REQUIRE RESTORATION, REPAIR AND/OR REPLACEMENT OF COMPONENTS. ALL WINDOWS TO BE PREPPED AND PAINTED IN ADDITION TO REPAIRS. EXISTING CONDITIONS ARE IDENTIFIED BELOW. PROVIDE DESCRIPTION OF INTENDED REPAIRS FOR EACH WINDOW AS PART OF THE REQUIRED SCHEDULE OF REPAIRS FOR ARCHITECTS REVIEW, CONCURRENCE AND/OR MODIFICATION. PROVIDE A SCHEDULE OF REPAIRS WITHIN FOUR WEEKS OF EXECUTING A CONTRACT.

2. SEE DETAILS, EXISTING WINDOW ELEVATIONS AND DETAILS.

WHERE INDICATED, CLEAN AND REFINISH EXISTING WINDOW HARDWARE AND MAKE OPERABLE. REPAIR ANY BROKEN HARDWARE. IT IS THE INTENTION OF THE DRAWINGS TO REUSE AS MUCH HISTORIC WINDOWS AND WINDOW HARDWARE AS POSSIBLE. WHERE HARDWARE IS UNUSABLE, PROVIDE AND INSTALL NEW HARDWARE, MATCHING THE EXISTING.

MANY OF THE HISTORIC WINDOWS AND HARDWARE SETS FOR THE BUILDING WERE REMOVED AND ARE IN STORAGE IN THE BUILDING. IT IS NOT KNOWN WHERE EACH WINDOW WAS TAKEN FROM. CONTRACTOR IS DIRECTED TO REFURBISH AND REUSE AS MANY OF THE HISTORIC WINDOWS AND HARDWARE AS POSSIBLE. CONTRACTOR SHALL INSPECT WINDOWS BEFORE BIDDING TO ASCERTAIN NUMBER OF REUSABLE UNITS.



DETAIL PHOTO OF HANGER ASSEMBLY AT HISTORIC REMOVABLE SCREEN INSERT.

16 WINDOW DETAIL  
A7.2 SCALE: 1 1/2"=1'-0"



TYPICAL  
HISTORIC  
REMOVABLE  
INSECT SCREEN  
FOUND AT  
DEPOT.  
RESTORE  
SCREENS. ALL  
NEW AND  
EXISTING  
WINDOWS SHALL  
HAVE SCREENS.  
SEE DETAILS  
THIS SHEET.

10 WINDOW DETAIL  
A7.2 SCALE: 1 1/2"=1'-0"



TYPICAL  
REMOVED  
WINDOW UNIT  
FOUND IN  
DEPOT  
BUILDING. TOP  
OF WINDOW  
SHOWN. NOTE  
PULLEYS FOR  
SASH CORDS.  
SASH WEIGHTS  
ARE IN  
STORAGE AND  
SHALL ALSO BE  
CLEANED,  
PRIMED, AND  
REUSED.

4 WINDOW DETAIL  
A7.2 SCALE: 1 1/2"=1'-0"



INTERIOR  
PHOTO OF  
WINDOW MARK  
C BEFORE  
DEMOLITION.

15 INTERIOR PHOTO- WINDOW C  
A7.2 SCALE: 1 1/2"=1'-0"



TYPICAL  
REMOVED  
WINDOW UNIT  
FOUND IN  
DEPOT  
BUILDING.  
CONTRACTOR  
TO RESTORE  
AND REINSTALL  
ALL WINDOW  
UNITS WHERE  
POSSIBLE.

9 WINDOW DETAIL  
A7.2 SCALE: 1 1/2"=1'-0"



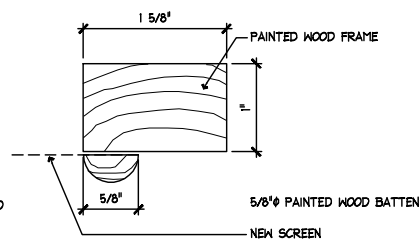
BOTTOM PORTION OF WINDOW IN ABOVE PHOTO. WINDOW IS IN STORAGE AT THE DEPOT BUILDING.

3 WINDOW DETAIL  
A7.2 SCALE: 1 1/2"=1'-0"

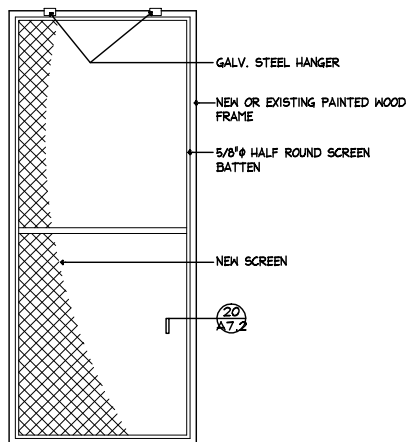


PARTIAL PHOTO  
OF EXISTING  
EXTERIOR  
WINDOW FRAME  
BEFORE  
DEMOLITION.  
NOTE USE OF  
SIDING FOR  
WINDOW TRIM.

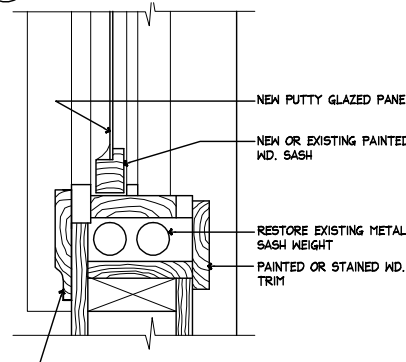
21 EXTERIOR PHOTO- WINDOW B  
A7.2 SCALE: N.T.S.



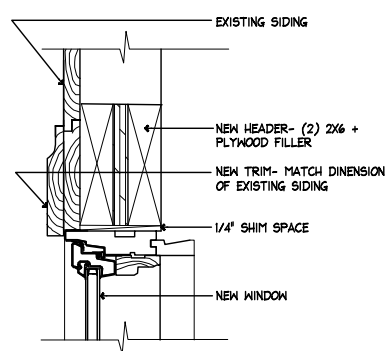
20 SCREEN INSERT FRAME DETAIL  
A7.2 SCALE: FULL SCALE



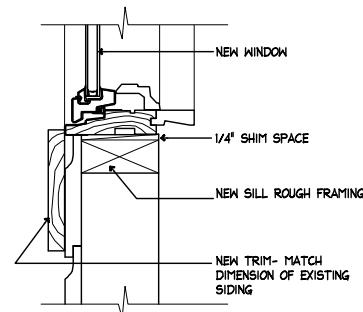
19 SCREEN INSERT DETAIL  
A7.2 SCALE: 3/4"=1'-0"



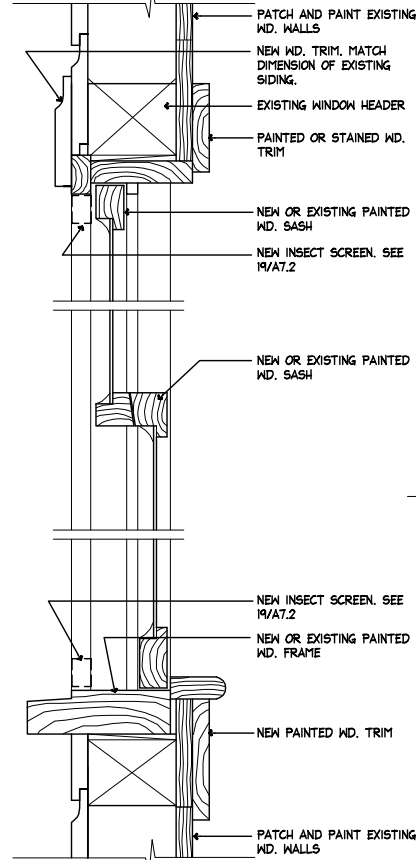
13 JAMB AT HISTORIC WINDOW A,B,C  
A7.2 SCALE: 3"=1'-0"



8 HEAD AT NEW WINDOW D  
A7.2 SCALE: 1 1/2"=1'-0"



2 SILL AT NEW WINDOW D  
A7.2 SCALE: 1 1/2"=1'-0"



1 HEAD, SILL @ HISTORIC WINDOW A,B,C  
A7.2 SCALE: 3"=1'-0"

HISTORIC DEPOT BUILDING REHABILITATION  
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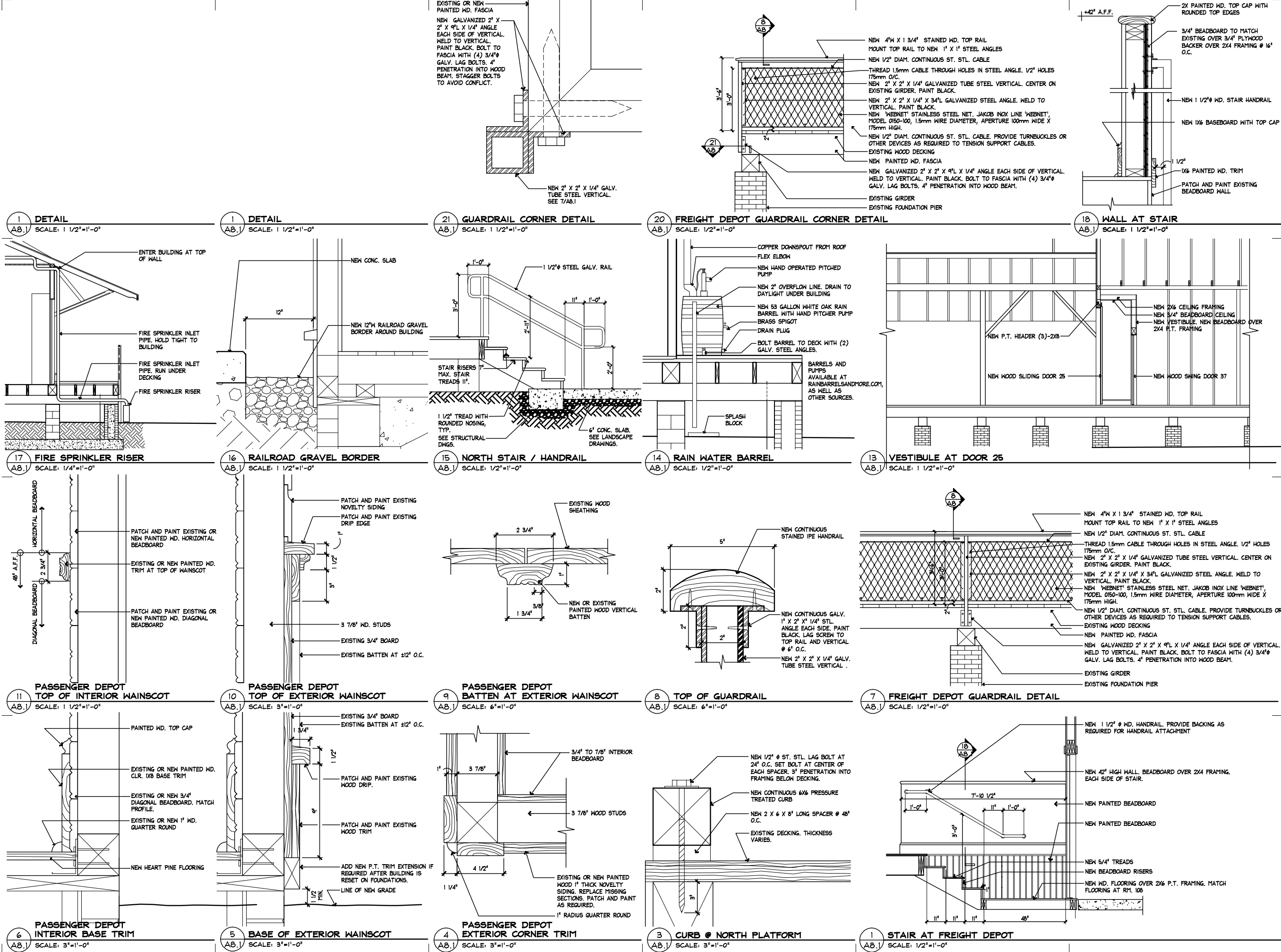
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WINDOW / DOOR  
RESTORATION  
DETAILS  
Date: 4/15/10

A7.2

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HISTORIC DEPOT BUILDING REHABILITATION

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HISTORIC ROLLING DOOR HARDWARE AT DOOR 16. HARDWARE SHALL BE CLEANED AND MADE OPERATIONAL. NEW HARDWARE AT DOOR 17 SHALL MATCH THIS.



HISTORIC ROLLING DOOR HARDWARE AT DOOR 16. HARDWARE SHALL BE CLEANED AND MADE OPERATIONAL. NEW HARDWARE AT DOOR 17 SHALL MATCH THIS.



HISTORIC EXTERIOR MAINCOT AT NORTH WALL OF THE PASSENGER DEPOT. THE MAINCOT IS COMPOSED OF BOARD AND BATTEN SIDING AT THE BOTTOM PORTION WITH A 3-PART TRIM AT THE TOP. MANY PORTIONS OF THIS MAINCOT IS MISSING. REPLACE ALL MISSING PORTIONS, MATCHING THE ORIGINAL IN DIMENSION, SPECIES, AND FINISH.

12 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

11 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

10 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.



HISTORIC EXISTING DOOR IN STORAGE AT DEPOT BUILDING.  
  
WHERE INDICATED, CLEAN AND REFINISH EXISTING DOOR HARDWARE AND MAKE OPERABLE. REPAIR ANY BROKEN HARDWARE. IT IS THE INTENTION OF THE DRAWINGS TO REUSE AS MUCH HISTORIC DOORS AND DOOR HARDWARE AS POSSIBLE. WHERE HARDWARE IS UNUSABLE, PROVIDE AND INSTALL NEW HARDWARE, MATCHING THE EXISTING.  
  
MANY OF THE HISTORIC DOORS AND HARDWARE SETS FOR THE BUILDING WERE REMOVED AND ARE IN STORAGE IN THE BUILDING. IT IS NOT KNOWN WHERE EACH DOOR WAS TAKEN FROM. CONTRACTOR IS DIRECTED TO REFURBISH AND REUSE AS MANY OF THE HISTORIC DOORS AND HARDWARE AS POSSIBLE. CONTRACTOR SHALL INSPECT DOORS BEFORE BIDDING TO ASCERTAIN NUMBER OF REUSABLE DOORS.



HISTORIC EXISTING DOOR FRAME IN STORAGE AT DEPOT BUILDING.  
  
WHERE INDICATED, CLEAN AND REFINISH EXISTING DOORS, FRAMES, HARDWARE AND MAKE OPERABLE. REPAIR ANY BROKEN HARDWARE. IT IS THE INTENTION OF THE DRAWINGS TO REUSE AS MUCH HISTORIC DOORS, FRAMES AND DOOR HARDWARE AS POSSIBLE. WHERE HARDWARE IS UNUSABLE, PROVIDE AND INSTALL NEW HARDWARE, MATCHING THE EXISTING.  
  
MANY OF THE HISTORIC DOORS, FRAMES AND HARDWARE SETS FOR THE BUILDING WERE REMOVED AND ARE IN STORAGE IN THE BUILDING. IT IS NOT KNOWN WHERE EACH DOOR WAS TAKEN FROM. CONTRACTOR IS DIRECTED TO REFURBISH AND REUSE AS MANY OF THE HISTORIC DOORS, FRAMES AND HARDWARE AS POSSIBLE. CONTRACTOR SHALL INSPECT DOORS BEFORE BIDDING TO ASCERTAIN NUMBER OF REUSABLE DOORS.



HISTORIC EXTERIOR MAINCOT AT NORTH WALL OF THE PASSENGER DEPOT. PHOTO SHOWS THE EXTENT OF DAMAGE TO THE MAINCOT IN SOME AREAS, DUE TO DETERIORATION AND MOVING OF BUILDING. REPLACE ALL MISSING PORTIONS, MATCHING THE ORIGINAL IN DIMENSION, SPECIES, AND FINISH.

9 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

8 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

7 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.



PARTIAL EXTERIOR VIEW OF SOUTH SIDE OF PASSENGER DEPOT.  
  
GREY AREAS ARE EXISTING WINDOW OPENINGS COVERED WITH TAR PAPER. REMOVE ALL TAR PAPER AND REINSTALL WINDOWS AFTER RESTORATION. WINDOWS ARE CURRENTLY STORED INSIDE THE DEPOT BUILDING.  
  
NOTE DAMAGE TO ROOF EAVE AT LEFT. BEADBOARD EAVE SHALL BE PATCHED AND REPAINTED. MATCH EXISTING BEADBOARD.  
  
EXISTING ROOFING IS ROLLED ROOFING. REMOVE ROOFING DOWN TO EXISTING SHEATHING AND INSTALL NEW ICE AND WATER SHIELD AND NEW METAL SHINGLE ROOFING. SEE SHT. A5.1



EXTERIOR VIEW OF NORTH SIDE OF PASSENGER DEPOT, LOOKING EAST. PAINTED WOOD ROOF BRACKETS ARE VISIBLE AT ROOF. BRACKETS SHALL BE PATCHED AND PAINTED. BEADBOARD EAVE ABOVE BRACKETS SHALL BE PATCHED AND PAINTED.  
  
GREY AREAS ARE EXISTING WINDOW OPENINGS COVERED WITH TAR PAPER. WINDOW OPENING AT LOWER RIGHT IS NOT HISTORIC, AND SHALL BE INFILLED WITH NEW SIDING TO MATCH EXISTING AT TOP, AND NEW MAINCOT TO MATCH EXISTING AT BOTTOM. STAGGER SIDING JOINTS TO CONCEAL PATCH.



EXTERIOR VIEW OF LOWER CORNER TRIM OF PASSENGER DEPOT BUILDING, SHOWING DAMAGE AT MAINCOT. EXISTING FRAMING AND MAINCOT SHALL BE REPAIRED. SEE DETAIL 4/A8.1. PATCH AND PAINT AFTER REPAIR.

6 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

5 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

4 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.



TYPICAL VIEW OF INTERIOR OF PASSENGER DEPOT. NOTE: DURING MEASUREMENT, BUILDING WAS RAISED ON CRIBBING. BUILDING SHALL ALREADY BE RESET BY OTHERS WHEN RESTORATION WORK COMMENCES.  
  
NOTE AREAS OF PATCHED BEADBOARD AT INTERIOR. PATCHES WERE NOT STAGGERED, CREATING AN UNWORKMANLIKE JOINT IN THE WALL. PATCHES SHALL BE REMOVED AND BEADBOARD PIECES SHALL BE STAGGERED TO CONCEAL PATCHES.



TYPICAL VIEW OF ATTIC OF PASSENGER DEPOT. PIPING IS PART OF OUTDATED FIRE SPRINKLER SYSTEM, AND SHALL BE REMOVED.  
  
REPLACE KING POST. SEE STRUCTURAL DRAWINGS, SHEET S1.4.



EXISTING CHIMNEY AT PASSENGER DEPOT. REBUILD LOWER PORTION OF EXISTING CHIMNEY, USING EXISTING BRICKS.

3 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

2 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

1 PHOTOGRAPHIC DETAIL  
A8.2 SCALE: N.T.S.

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A8.2



12 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



VIEW OF EXTERIOR OF TYPICAL ROLLING DOOR AT FREIGHT DEPOT.

PATCH AND PAINT EXTERIOR SIDE OF EXISTING DOORS. CLEAN AND SEAL INTERIOR SIDE. RECONDITION EXISTING DOOR HARDWARE TO MAKE DOOR FULLY FUNCTIONAL.

NOTE OPENINGS BETWEEN EXISTING RAFTERS. CONTRACTOR TO INSTALL INSECT SCREENS AT EACH OPENING. ATTACH SCREEN WITH 1/2" WOOD BATTENS.

9 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



VIEW OF WEST WALL OF OFFICE ROOM 108. WOOD WALLS, CEILING, AND FLOOR SHALL BE PATCHED AND REPAINTED / OR RESEALED. THE PATCHED WALL OPENING AT RIGHT IS HISTORIC AND SHALL REMAIN. RESTORE EXISTING DOOR 14 AND REINSTALL IN OPENING. THE PATCH OVER THE DOOR IS THE HISTORIC FLUE VENT, AND SHALL BE RETAINED.

6 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



VIEW OF SOUTH WALL OF OFFICE ROOM 108. WOOD WALLS, CEILING AND FLOORING SHALL BE PATCHED AND PAINTED. MATCH EXISTING WOOD SIDING IN DIMENSION AND SPECIES. RESTORE EXISTING WINDOW 9 AND REINSTALL. RESTORE EXISTING DOOR 12 AND 13 AND REINSTALL.

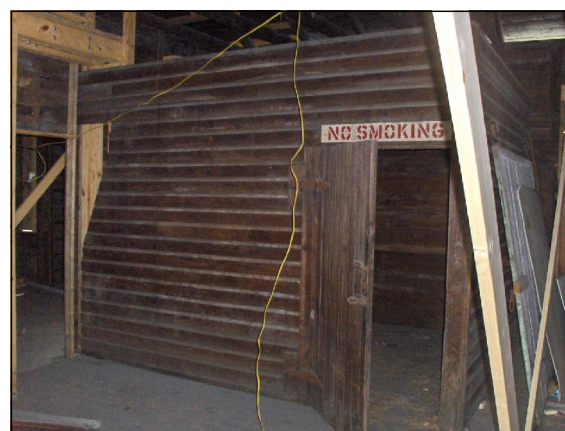
3 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.

11 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



TYPICAL VIEW OF FLOOR FRAMING AT FREIGHT DEPOT. FRAMING TO BE REPAIRED PER STRUCTURAL DRAWINGS, SHEET S1.2. STEEL BEAMS AT BOTTOM OF PHOTO ARE EXISTING CRIBBING, AND WILL HAVE BEEN REMOVED WHEN CONSTRUCTION COMMENCES. SEE STRUCTURAL DRAWINGS FOR FLOOR FRAMING REPAIRS.

8 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



VIEW OF OPEN ROOF FRAMING AT EXTERIOR COVERED PLATFORM 114, LOOKING EAST. SEE STRUCTURAL DRAWINGS SHEET S1.3 FOR REPLACEMENT AND PATCHING OF ROOF BRACKETS AND ROOF SHEATHING. PAINT ALL NEW AND EXISTING ROOF BRACKETS AND SHEATHING.

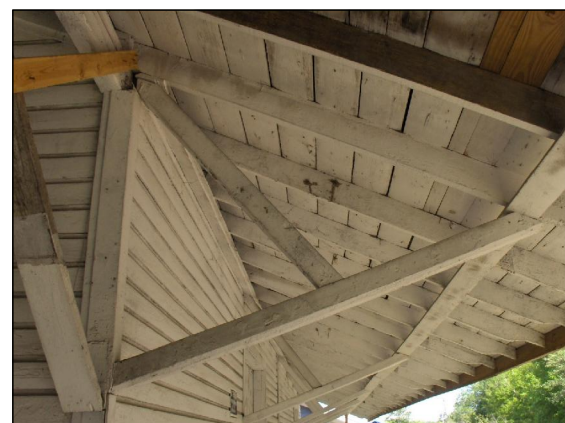
5 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



HISTORIC EXISTING FREIGHT SCALE AT FREIGHT DEPOT BUILDING. INSTALL FOUNDATION UNDER SCALE PER 6/S2.1. CLEAN ALL METAL COMPONENTS. PROTECT DURING CONSTRUCTION.

2 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.

10 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



VIEW OF TYPICAL FASCIA AT PLATFORM AT EXTERIOR OF FREIGHT DEPOT. ADD NEW CONTINUOUS 2X12 TO FACE OF FASCIA. REFINISH FLOORING AT PLATFORM.

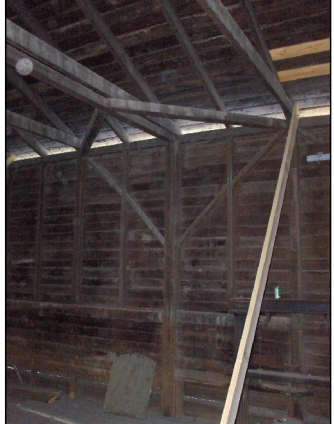
7 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



VIEW OF EXTERIOR ROOF OVERHANG AT FREIGHT DEPOT BUILDING. REPLACE ALL DETERIORATED ROOF DECKING. ROOF EAVE IS NEW. PRIME EAVE AND PAINT TO MATCH EXISTING. SEE STRUCTURAL DRAWINGS FOR REPLACEMENT OF MISSING ROOF BRACKETS. PATCH AND PAINT EXISTING EXTERIOR SIDING. MATCH DIMENSIONS OF EXISTING SIDING.

VIEW OF EXTERIOR ROOF OVERHANG AT FREIGHT DEPOT BUILDING. REPLACE ALL DETERIORATED ROOF DECKING. ROOF EAVE IS NEW. PRIME EAVE AND PAINT TO MATCH EXISTING. ALL RAFTER TAILS WHICH REQUIRE REPLACEMENT SHALL BE MEASURED FROM EXISTING RAFTER TAIL DIMENSIONS.

4 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.



TYPICAL INTERIOR VIEW OF FREIGHT DEPOT BUILDING. MOST OF THE WALLS ARE COMPOSED OF UNFINISHED WOOD FRAMING AND SIDING. THE FRAMING AND SIDING SHALL BE CLEANED OF DIRT AND DUST USING THE GENTLEST MEANS NECESSARY.

1 PHOTOGRAPHIC DETAIL  
A8.3 SCALE: N.T.S.

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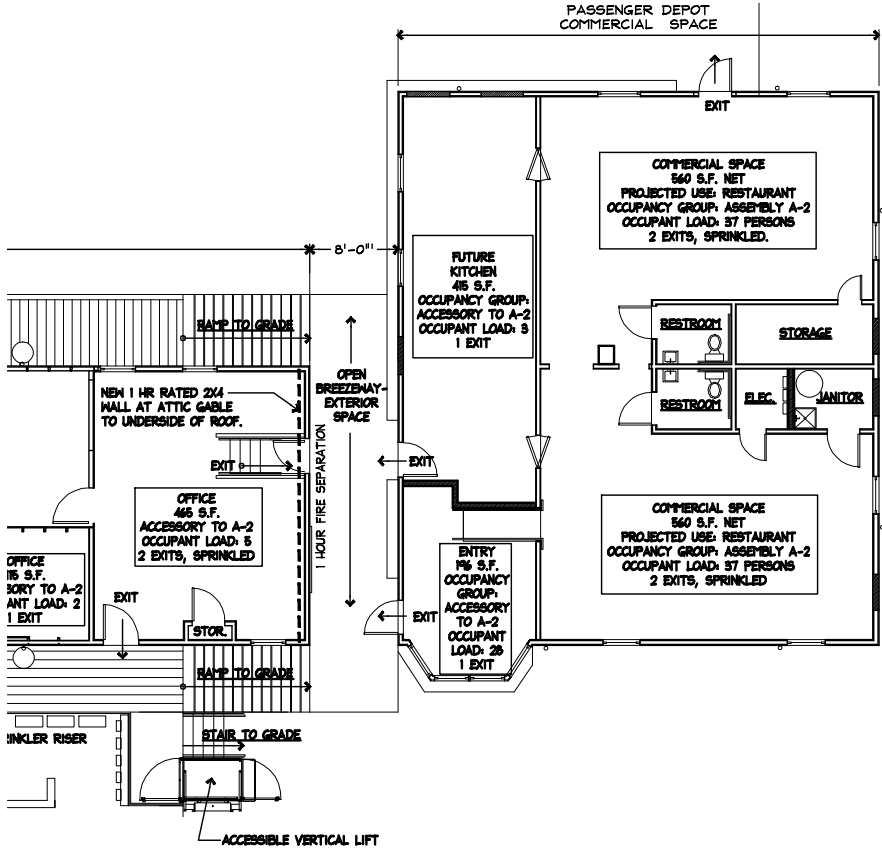
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A8.3



GAINESVILLE DEPOT CODE CHECK

FBC SECTION OR FBC-EXISTING BUILDING SECTION	CODE DESCRIPTION
FBC 503.1.1	OCCUPANCY CLASSIFICATIONS: FREIGHT DEPOT WEST: PROPOSED RESTAURANT, OCCUPANCY GROUP: ASSEMBLY A-2 FREIGHT DEPOT EAST: PROPOSED MUSEUM, OCCUPANCY GROUP: ASSEMBLY A-3 PASSENGER DEPOT: PROPOSED RESTAURANT, OCCUPANCY GROUP: ASSEMBLY A-2
FBC 1004.1.1	OCCUPANCY LOADS: FREIGHT DEPOT WEST: 1000 S.F. X 15 NET = 67 PERSONS. (BECAUSE EXITS ARE NOT SEPERATED BY 1/2 DIAGONAL, SIGN SHALL BE POSTED IN SPACE LIMITING OCCUPANCY TO 41 PERSONS OR LESS) FREIGHT DEPOT EAST: 2140 S.F. X 15 NET = 143 PERSONS + 5 PERSONS IN ACCESSORY OFFICE = 148 PERSONS. TOTAL OCCUPANT LOAD IN FREIGHT DEPOT BUILDING: 208 PERSONS.  PASSENGER DEPOT: 1100 S.F. X 15 NET = 74 PERSONS + 3 PERSONS IN KITCHEN AND 26 PERSONS IN ENTRY. TOTAL OCCUPANT LOAD IN PASSENGER DEPOT: 103 PERSONS.  NOTE: BOTH BUILDINGS WILL BE FULLY SPRINKLERED.
FBC 426 3.1.1	GREASE INTERCEPTORS FOR RESTAURANTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE TO FBC.
FBC 426 3.2	PUBLIC BATHROOMS FOR ALL SPACES ARE PROVIDED. ALL BATHROOMS ARE ACCESSIBLE.
FBC TABLE 508.3.3	THERE IS NO FIRE SEPERATION REQUIREMENT BETWEEN OCCUPANCY TYPES A-2 AND A-3. (A ONE HOUR FIRE SEPERATION IS BEING PROVIDED.)
FBC 602.5	CONSTRUCTION TYPE: BOTH THE FREIGHT DEPOT AND THE PASSENGER DEPOT BUILDINGS ARE TYPE V-S CONSTRUCTION.
FBC-EB 405.1	THE WORK IS CLASSIFIED AS ALTERATION - LEVEL 3.
FBC-EB 406.1	THERE IS A CHANGE OF OCCUPANCY FROM MERCANTILE, TO A-2 AND A-3. THE PROVISIONS OF FBC-EB CHAPTER 9 APPLY.
FBC-EB 408.1	THE BUILDING IS CLASSIFIED AS A HISTORIC BUILDING. THE PROVISIONS OF FBC-EB CHAPTER 11 HISTORIC BUILDINGS APPLY.
FBC-EB 409	THE BUILDING IS A RELOCATED BUILDING (IT HAS BEEN RELOCATED APPROX. 21 FEET) THE PROVISIONS OF FBC-EB CHAPTER 12 APPLY.
FBC-EB 1002.2.1	THE BUILDING FOUNDATIONS SHALL COMPLY WITH THE FBC. OTHERWISE RELOCATED HISTORIC BUILDINGS SHALL BE CONSIDERED HISTORIC.
FBC-EB 605.1	ACCESSIBILITY SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE FBC.
FBC-EB 611	REEROOFING MATERIALS SHALL COMPLY WITH THE PROVISIONS OF FBC CHAPTER 15. ALL EXISTING ROOF COVERING SHALL BE REMOVED AND REPLACED.
FBC-EB 801.2	ALL WORK SHALL COMPLY WITH CHAPTERS 6,7, AND 8 OF THE FBC-EB.
FBC-EB 703.5.1	EVERY PORTION OF FLOOR ABOVE 30" SHALL BE PROVIDED WITH GUARDS.
FBC-EB 705.4.1.1	ALL ROOMS AND SPACES HAVING AN OCCUPANT LOAD GREATER THAN 50 OR A TRAVEL DISTANCE OVER 75' SHALL HAVE 2 EGRESS DOORWAYS.
FBC-EB 705.4.2	ALL EGRESS DOORS WITH AN OCCUPANT LOAD OVER 50 SHALL SWING IN THE DIRECTION OF EXIT TRAVEL.
FBC-EB 705.4.4	ALL ASSEMBLY OCCUPANCIES WITH OCCUPANT LOAD GREATER THAN 100 SHALL BE EQUIPPED WITH APPROVED PANIC HARDWARE.
FBC-EB 705.6	MEANS OF EGRESS SHALL BE PROVIDED WITH EXIT SIGNS PER FBC.
FBC-EB 705.9	ALL STAIRS SHALL BE PROVIDED WITH HANDRAILS PER FBC.
FBC-EB 903.3	THE BUILDING SHALL UNDERGO A CHANGE OF OCCUPANCY FROM M-MERCANTILE TO A-ASSEMBLY. THE PROVISIONS OF FBC-EB 902-912 SHALL APPLY.
FBC-EB 912.4.1	THE MEANS OF EGRESS OF THE BUILDING SHALL COMPLY WITH CHAPTER 10 OF THE FLORIDA BUILDING CODE, BUILDING.
FBC-EB 912.3.1	HEIGHTS AND AREAS OF THE BUILDING COMPLY WITH CHAPTER 5 OF THE FLORIDA BUILDING CODE.
FBC-EB 912.4.2	EXTERIOR WALL RATING FOR CHANGE OF OCCUPANCY CLASSIFICATION TO AN EQUAL OR LESSER HAZARD. EXISTING EXTERIOR WALLS, INCLUDING OPENINGS SHALL BE ACCEPTED.
FBC 1005.1	ALL EGRESS DOORS MEET THE WORST CASE SCENARIO FOR REQUIRED EGRESS WIDTH. (WORST CASE = 143 OCCUPANTS X 2 = 28.6 INCHES) ALL DOORS ARE 36" WIDE.



2 LIFE SAFETY PLAN - PASSENGER DEPOT  
A9.1 SCALE: 1/8"=1'-0"

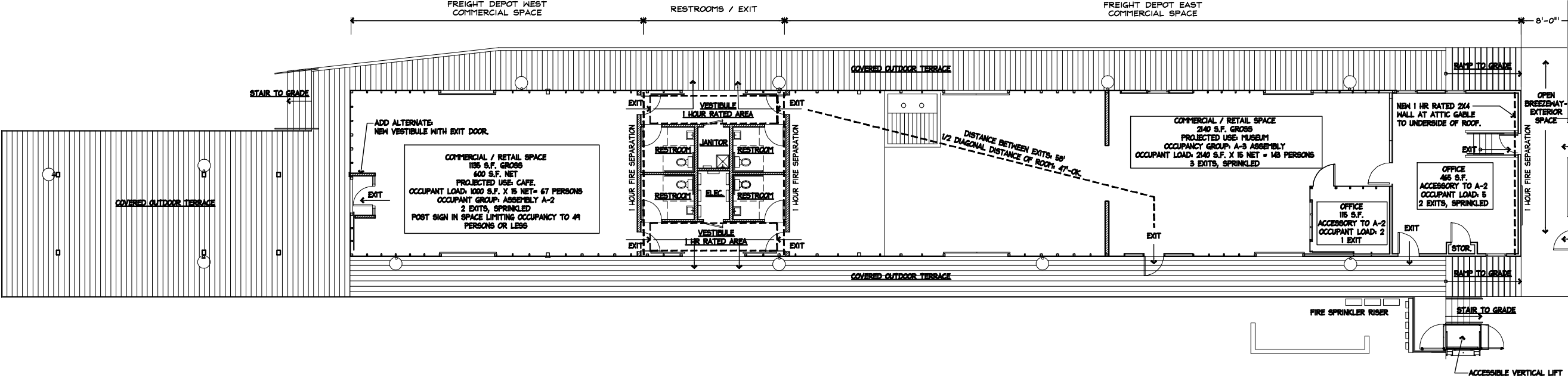
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A9.1  
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1 LIFE SAFETY PLAN - FREIGHT DEPOT  
A9.1 SCALE: 1/8"=1'-0"