



MEMORANDUM
Office of the City Attorney

Phone: 334-5011/Fax 334-2229
Box 46

TO: Mayor and City Commission

DATE: September 11, 2000
FIRST READING

FROM: City Attorney

SUBJECT: Ordinance No. 0-00-87; Petition No. 153TCH-99PB
An ordinance of the City of Gainesville, Florida, replacing Section 3 of Appendix A of the Land Development Code (the Special Area Plan for College Park); providing directions to the codifier; providing a severability clause; providing a repealing clause; and providing an immediate effective date.

Recommendation: The City Commission adopt the proposed ordinance.

At its meeting of February 16, 2000, the City Commission authorized the City Attorney to draft and the Clerk of the Commission to advertise an ordinance amending the College Park Special Area Plan as to various definitions and requirements, including revisions as presented by Community Development Director Tom Saunders, and certain revisions as requested by the First Lutheran Church relating to signage.

Prepared by:



Patricia M. Carter,
Sr. Assistant City Attorney

Approved and
Submitted by:



Marion J. Radson,
City Attorney

MJR:PMC:sw

ORDINANCE NO. _____
0-00-87

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An ordinance of the City of Gainesville, Florida, replacing Section 3 of Appendix A of the Land Development Code (the Special Area Plan for College Park); providing directions to the codifier; providing a severability clause; providing a repealing clause; and providing an immediate effective date.

WHEREAS, the City Plan Board authorized the publication of notice of a Public Hearing that the text of the Land Development Code of the City of Gainesville, Florida, be amended; and

WHEREAS, notice was given and publication made as required by law and a Public Hearing was then held by the City Plan Board on December 16, 1999; and

WHEREAS, notice was given and publication made of a Public Hearing which was then held by the City Commission on February 14, 2000; and

WHEREAS, pursuant to law, an advertisement no less than 2 columns wide by 10 inches long was placed in a newspaper of general circulation notifying the public of this proposed ordinance and of a Public Hearing in the Auditorium of City Hall in the City of Gainesville, at least 7 days after the day the advertisement was published; and

WHEREAS, a second advertisement no less than 2 columns wide by 10 inches long was placed in the same newspaper notifying the public of the second Public Hearing to be held at the adoption stage at least 5 days after the day the advertisement was published; and

WHEREAS, the Public Hearings were held as advertised and the parties in interest and all others had an opportunity to be and were, in fact, heard;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF GAINESVILLE, FLORIDA:

D R A F T

8-24-00

1 **Section 1.** The Special Area Plan for College Park (Exhibit "A") is hereby adopted to
2 replace the Special Area Plan for College Park adopted by ordinance 3779, as modified
3 (codified as Section 3 of Appendix A of the Land Development Code). The specific
4 regulations of the Special Area Plan for College Park and the administration and
5 enforcement of these regulations as delineated in Exhibit "A" shall be made a part hereof
6 as if set forth in full. The area covered by the College Park Special Area Plan shall
7 remain unchanged and is shown in Exhibit "B", which shall be made a part hereof.

8 **Section 2.** It is the intention of the City Commission that the provisions of the special
9 area plan adopted by this ordinance shall become and be made a part of Land
10 Development Code of the City of Gainesville, Florida, and that the Sections and
11 Paragraphs of this ordinance may be renumbered or relettered in order to accomplish
12 such intentions.

13 **Section 3.** If any section, sentence, clause or phrase of this ordinance is held to be
14 invalid or unconstitutional by any court of competent jurisdiction, then said holding shall
15 in no way affect the validity of the remaining portions of this ordinance.

16 **Section 4.** All ordinances or parts of ordinances in conflict herewith are to the extent of
17 such conflict hereby repealed, except as stated in this ordinance.

18 **Section 5** This ordinance shall become effective immediately upon final adoption.

19
20 **PASSED AND ADOPTED** this _____ day of _____, 2000.
21
22

23 _____
24 PAULA M. DeLANEY
25 MAYOR
26

27
28 **ATTEST:** Approved as to form and legality

D R A F T

8-24-00

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KURT M. LANNON
CLERK OF THE COMMISSION

MARION J. RADSON
CITY ATTORNEY

This Ordinance passed on first reading this _____ day of _____, 2000.

This Ordinance passed on second reading this _____ day of _____,
2000.

College Park

Special Area Plan



July 2000

EXHIBIT

A

Definitions

- 1
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- 3 **Adjacent:** Property that physically abuts the
4 subject property on the same side of the street.
5
- 6 **Arcade Building:** a building with a ground level
7 passageway through a portion of the building.
8 The passage is covered and lined with shops or
9 booths. The passage may be more than one
10 story in height with projecting balconies and
11 walkways.
12
- 13 **Build-to line:** a line parallel to the property line,
14 along which the principal plane of the building
15 shall be built. The Build-to line is determined in
16 relation to the property line.
17
- 18 **Civic:** Administrative or legislative government
19 offices, schools.
20
- 21 **Expansion:** For expansions to existing
22 structures resulting in an increase of floor area in
23 excess of 10%, all new construction shall meet
24 standards for new construction contained herein.
25
- 26 **Facade:** The principle face, front elevation, or
27 vertical surface of a building which is set along a
28 frontage.
29
- 30 **Frontage:** That side of a lot abutting a street
31 right-of-way. When a lot abuts more than one
32 street, it is that side that abuts the more primary
33 street or street designed for the highest
34 pedestrian scheme. For a corner lot, all sides
35 abutting a street shall be considered frontage.
36
- 37 **Intent:** To provide standards for consistent,
38 quality construction which will protect and
39 enhance the stability, scale and pedestrian
40 character of the neighborhood, and promote
41 lasting redevelopment.
42
- 43 **Main Entrance:** The entrance of the building
44 which is most architecturally prominent and
45 contains operable doors.
46
- 47 **Maintenance:** These standards shall not be
48 applied to regular maintenance activities
49 including repairs necessitated by fires or natural
50 disaster which restore the structure to its original
51 conditions.
52
- 53 **Mechanical Equipment:** A heating,
54 ventilation, or air conditioning unit placed
55 outside of a building.
56
- 57 **Parapet:** A low, solid, protective screening or
58 decorative wall often used around a balcony or
59 balcony, or along the edge of a roof.
60
- 61 **Renovations:** When renovations are valued at
62 under 50% of the tax assessed value of the
63 structure, only the new construction shall be
64 made to meet these standards. When
65 renovations are valued at 50% or more of the tax
66 assessed value of the structure, the entire
67 structure shall be made to meet the standards
68 except roof expansions which are regulated
69 specifically as contained herein.
70
- 71 **Roof Renovation:** Roof renovations shall meet
72 either these standards or match the existing roof
73 structure, type and style.
74
- 75 **Roof Expansion:** Roof expansions may meet
76 standards or match existing roof type and
77 material up to 100% of the existing roof area at
78 which point entire roof will be brought into
79 compliance with these standards.
80
- 81 **Screening Wall:** A wall made of fieldstone,
82 brick, stucco, wrought iron (or equivalent to
83 wrought iron), or a combination of these
84 materials, excluding round industrial railing and
85 chain link. The wall shall create a visual buffer
86 and shall be at least 25% solid.
87
- 88 **Street Edge:** The vertical face formed by
89 building facades, street trees, and screening
90 walls which is aligned along a street, forming a
91 comfortable people-scaled space.

Exception Criteria

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- 4 Exceptions to the architectural standards 20 a. The structure is officially designated as
5 contained in this special area plan can be granted 21 historically significant and these
6 upon the finding of the appropriate reviewing 22 standards conflict with standards
7 board, City Manager, or designee that the 23 established for the preservation of
8 proposed development activity meets both of the 24 historic structures, or;
9 following criteria: 25
10 26 b. The application of these standards
11 1. The proposed construction is consistent with 27 would result in inconsistency of
12 the overall intent of the Special Area Plan 28 proportion and scale with the existing
13 and; 29 structure, or;
14 30
15 2. The applicant proves an undue hardship, 31 c. The application of these standards
16 owing to conditions peculiar to the existing 32 would result in the project being made
17 structure and not the result of the action of 33 financially infeasible.
18 the applicant, would result from the strict 34
19 adherence to these standards because:

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Effect of Classification

- 40 51
41 1. The College Park Special Area Plan is 52 are further regulated by the Special Area
42 applied as an Overlay Zoning District. If the 53 Plan. Where the Special Area Plan
43 provisions of the Special Area Plan conflict 54 addresses a requirement, the underlying
44 with the underlying zoning, the provisions 55 zoning shall not apply.
45 of the Special Area Plan shall prevail. The 56
46 effect of the classification is that the Special 57 2. The appropriate reviewing board or staff
47 Area Plan is the implementing set of 58 shall review development and additions for
48 regulations. The regulations of the 59 compliance with the provisions of this
49 underlying zoning district and all other 60 overlay in order to assure high quality
50 applicable regulations remain in effect and 61 pedestrian-oriented development in this area

Regulations For The College Park Neighborhood Plan

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Sidewalks

Intent. Sidewalks, when properly designed and maintained, provide the pedestrian with a pleasant, safe, and convenient place to walk, and mitigate traffic impacts by making the area more walkable. They are therefore an important public space in the Traditional City. Sidewalks which are too narrow are inconvenient, especially in areas with large volumes of pedestrians, for pedestrians walking side-by-side (which requires a minimum sidewalk width of 5 feet unobstructed), and for people using wheelchairs. In addition, sidewalks that are too curvilinear or that wrap around large block faces are an impediment to pedestrian convenience.

Standard. All buildings or developments must provide sidewalks along the street edge(s) of their property. Sidewalks shall be placed to align with existing sidewalks. Sidewalk connections from the principal building to the public sidewalk must be provided, and be aligned to minimize walking distance. Curvilinear sidewalks are not allowed unless they are necessary to avoid significant trees, stormwater basins, or topography, as determined by the appropriate reviewing board, City Manager or designee. The maximum length of a block face shall be 480 feet, unless shortened

35
36
37 with cross-access sidewalks, arcades buildings
38 or alleys, so that the face is no more than 480
39 feet.
40 The minimum unobstructed width shall be 2 feet
41 less than the required sidewalk width, as long as
42 at least 5 feet of unobstructed width is retained.
43 At transit stops, the minimum width is 8 feet
44 of unobstructed width. Minimum width for a
45 tree strip shall be 4 feet, or such other width as
46 may be adequate for tree placement, unless the
47 tree strip requirement is waived by the
48 appropriate reviewing board, City Manager or
49 designee.
50
51 In order to maintain a consistent street edge of
52 adjacent buildings, the appropriate reviewing
53 board, City Manager or designee may modify
54 the required sidewalk width and the tree strip
55 width in order to achieve the above-stated intent.
56 In areas where a sidewalk pattern as to materials
57 and width has been adopted, the appropriate
58 reviewing board, City Manager or designee can
59 allow the pattern to be continued by each new
60 development. If the sidewalks installed are less
61 than the minimums provided above, sufficient
62 space shall be provided in order for these
63 minimum sidewalk widths to be added in the
64 future.
65

Minimum Sidewalk widths

Multi-Family Residential/Industrial	
Street Classification	Sidewalk Width
Local	6 feet
Collector	7 feet
Arterial	7 feet

Commercial/Institutional Office/Mixed Use	
Street Classification	Sidewalk Width
Local	7 feet
Collector	8 feet
Arterial	12 feet

1 **Build-to Line**

2
3 **Intent.** The intent of a build-to line is to pull
4 the building façade close to the street and
5 streetside sidewalk. By doing so, building
6 facades along a block face will be aligned to
7 form a street edge that frames the public realm,
8 while retaining sufficient width for people to
9 walk, and sufficient space to provide formal
10 landscape created by street trees. The street
11 edge shapes the public realm to provide a sense
12 of comfort and security for the public space. The
13 build-to prevents overly large setbacks. Overly
14 large setbacks are inconvenient and unpleasant.
15 They increase walking distances from the public
16 sidewalk. They prevent the pedestrian on the
17 public sidewalk from enjoying building details
18 and activity within the building. Similarly,
19 overly large setbacks contribute to sign
20 proliferation and visual blight because a
21 building set back a large distance often needs to
22 “shout,” with signs, at passing motorists and
23 transit users, bicyclists, and pedestrians in order
24 to be noticed. Buildings pulled up to the street
25 sidewalk have more of a human scale, and allow
26 for the construction of canopies which create

27 shade and shield the pedestrian from wet
28 weather.

29
30 In general, the goal of a commercial build-to
31 line should be that the width of the street
32 corridor (as measured by opposing building
33 facades) and the height of the buildings shall be
34 at least a ratio of 1:1 to 3:1. (The width should
35 be no more than three times the height. When
36 the building across the street is not properly
37 pulled up to the street, the desired ratio is 1.5:1
38 as measured from the street centerline.

39
40 **Standard.** A build-to line range is specified by
41 building lot type.

42
43 Stoops, stairs, chimneys, and bay windows are
44 allowed to extend beyond the build-to line as
45 long as they do not exceed more than 25 percent
46 of the front façade. Open porches, projecting
47 signs, balconies, arcades, awnings and outdoor
48 cafes may also extend beyond the build-to line.
49 However, at least 5 feet of unobstructed
50 sidewalk width and room for any required tree
51 strip must be retained.

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56 **Building Additions**

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58 **Intent.** Building additions shall be in keeping
59 with the Special Area Plan. The primary
60 structure on the site shall be classified into one
61 of the Building Type categories by City staff.
62 The building addition shall then follow the
63 requirements as described for the appropriate
64 Building Type or standards set by City staff.

65
66 **Standard.** Additions should be in keeping with
67 the architectural style of the existing structure.
68

- 69 • Exterior walls should be of the same or
70 compatible material and finish as the
71 existing structure.
72 • Windows should have a similar proportion
73 and style of mullions as the windows of the
74 existing structure.
75
76 New roof additions should be a similar material
77 to the existing roof.

1 **Façade Requirements**

2

3 **Intent.** Well designed building facades can
 4 encourage pedestrian activity, and improve
 5 safety and visual appearance.
 6

7 **Standard.** Building façades shall have
 8 windows, sills, lintels, expression lines and a
 9 cornice. The front façade of the building is also
 10 required to have its primary entrance face the
 11 street.
 12

13 Expression lines are required on stucco and
 14 brick buildings.
 15

16 “Main Street” Shopfront buildings do not
 17 require sills or lintels on first floor windows that
 18 display merchandise.

19 On attached building types such as Shopfront
 20 buildings or Rowhouses, the sides located on
 21 interior property lines do not require windows,
 22 expression lines, or cornices.
 23

24 On detached building types, windows are
 25 required on sides of all structures set back
 26 greater than 3 or more feet from the side
 27 property line. A minimum of 10 % glazing is
 28 required.
 29

30 Detailed façade requirements are specified in the
 31 building types. City staff may further define
 32 building façade requirements.
 33
 34

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37 **Structured Parking Lot Placement**

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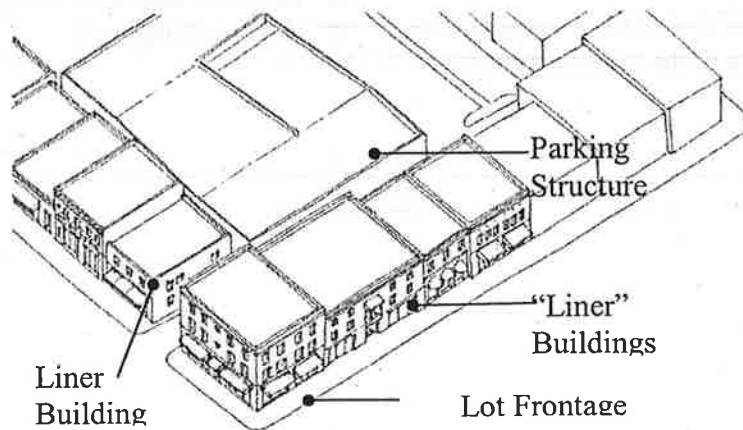
39 **Intent.** Parking structures shall not be visible
 40 from a frontage street.
 41

42 **Standard.** Parking structures shall be set back a
 43 minimum of 40 feet from the property lines of
 44 all adjacent streets. “Liner buildings” shall be
 45 placed between parking structures and the lot
 46 frontage. The liner building shall have a height
 47 greater than or equal to the parking structure.
 48 Liner buildings shall be no less than two stories
 49 or 34 feet in height. Liner buildings may be
 50 detached from or incorporated into parking
 51 structures. A point of entry is allowed on side
 52 streets.
 53 When it is determined that the size of the parcel
 54 would prohibit the development of a liner

55

56

57 building between the parking structure and the
 58 lot frontage of all adjacent streets, the liner
 59 building must be placed along the more primary
 60 street frontage and along other frontages only
 61 where feasible. The more primary street shall be
 62 determined by the Community development
 63 staff and approved by the appropriate reviewing
 64 board. Building facade landscaping
 65 enhancements will be required on all other
 66 frontages to ensure that there will be no blank
 67 walls along street frontages. In instances where
 68 full-height liner building are infeasible, the liner
 69 may be limited to first-floor retail, office or
 70 residential use (as appropriate under applicable
 71 zoning).



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1 **Off-Street Parking Requirements** 27
 2 28
 3 **Parking Mitigation.** The minimum off-street 29
 4 parking requirement may be mitigated by the 30
 5 amount of on-street parking directly abutting 31
 6 each parcel proposed for development. This 32
 7 provision shall encourage a reduction of off- 33
 8 street paving and result in better use of the 34
 9 property, thus encouraging redevelopment. 35
 10 36
 11 **Parking Requirements.** Except as provided for 37
 12 herein, design requirements for vehicle and 38
 13 bicycle parking shall be in accordance with 39
 14 Article IX of the City of Gainesville Land 40
 15 Development Regulations. Parking may be 41
 16 provided within 600 feet of the building. 42
 17 43
 18 A. **Multiple-family dwelling.** The number 44
 19 of off-street vehicle and bicycle parking 45
 20 spaces required for multiple-family 46
 21 dwellings located in the Special Area 47
 22 Plan shall be as stipulated in this 48
 23 section. For the purposes of this section, 49
 24 multiple-family is as defined in the City 50
 25 of Gainesville Land Development 51
 26 Regulations.
 52
 53

Automobiles

- Minimum—one parking space per two bedrooms
- Maximum—one parking space per bedroom
- Excess—none allowed

Bicycles

- Minimum—one bicycle parking facility per two bedrooms
- B. Non-residential uses. No minimum number of parking spaces required except as provided herein.

Note: Back-out parking repealed by Ordinance 960426 on 2/17/97.

Landscape Standards

Total Number of Trees Required

Developing or redeveloping properties are required to provide shade trees based on the lot's private outdoor space. The property owner is also required to improve the adjacent public right-of-way to the standard set by the Special Area Plan and City Manager or designee.

Three trees including at least 2 shade trees are required for every 1,200 square feet of private outdoor space on the lot.

Parking lots other than single-family driveways shall meet the landscape requirements specified in the Land Development Code. Street buffer yards requirements specified in the Land Development Code shall also be met. Spacing of street trees shall be as set forth below. The front buffer requirements may be modified or

reduced if the build-to line established by the City Manager or designee or the appropriate reviewing board precludes or reduces the front buffer area. Tree spacing shall be in accordance with the right-of-way planting requirements rather than the underlying buffer requirements.

Existing trees on the lot and on the adjacent swales may count toward the total number of trees required. The City Manager or designee shall approve which existing trees may count towards the total required trees.

Street Trees

Street trees intended to provide pedestrian shade shall be located in the right-of-way swale or near the sidewalk on the private property. The City prefers street trees between curb and sidewalk but recognizes that utilities or space constraints

1 may dictate that street trees shall, in some cases,
2 be required instead on private property behind
3 the sidewalk.
4
5 Commercial and mixed-use streets (such as
6 University Avenue) shall have shade trees
7 planted with an average spacing of 45 35 feet on
8 center. Trees are not required when arcades and
9 colonnades are present.
10
11 Residential Streets shall have shade trees planted
12 an average spacing of 30 feet on center.

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29 **Mechanical equipment**

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31 **Intent.** Mechanical equipment, when
32 improperly located on a site or improperly
33 screened, can contribute to noise problems and
34 create visual blight.

35
36 **Standard.** All mechanical equipment must be
37 placed on the roof, in the rear or side of the

38
39

13 **Quality of Trees**

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15 All trees planted shall be Florida Grade #1 or
16 better, at least 10 feet tall with a trunk caliper of
17 at least 2 inches in a 25-gallon container.
18 Species must be chosen from the list of trees in
19 the Approved Tree List in the Land
20 Development Code. Each shade tree shall have
21 a minimum root area of 140 square feet at or
22 below grade. The minimum root space
23 requirement can be met by using soil materials
24 that are engineered to accommodate root growth
25 under hardscape.

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building, or otherwise visually screened from the
street. In no case shall mechanical equipment be
allowed along street frontage(s). (see Figure 19)
Mechanical equipment on the roof shall be
screened from abutting streets with parapets or
other types of visual screening

Trash Dumpsters receptacles

Intent. Trash dumpsters receptacles shall be provided without compromising the quality of the street. Trash dumpsters shall not be visible or malodorous to pedestrians.

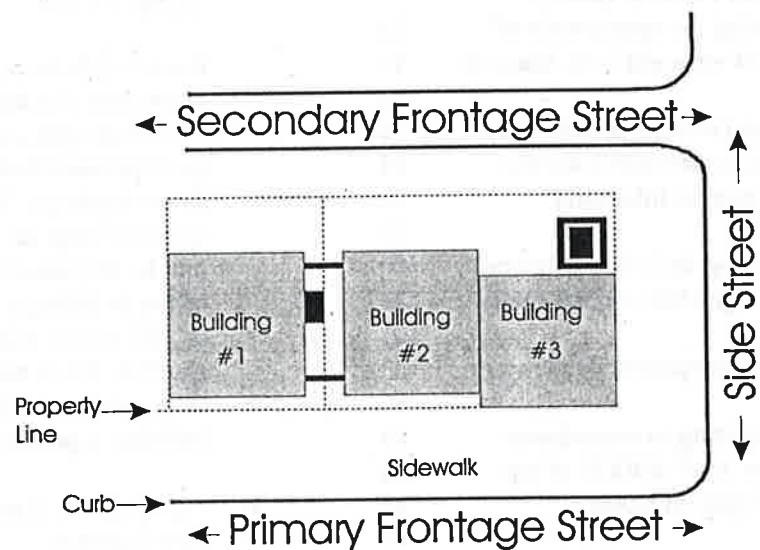
Standard. All trash dumpsters receptacles must be placed in the side or the rear of the building. Trash dumpsters shall not be visible from the street. Trash dumpsters receptacles shall be visually screened from the street. Screening such as decorative walls or fencing shall be tall enough to buffer dumpsters receptacles from view. Screening shall be a maximum height of 7 feet.

Note: Type I and Civic lots are located on blocks that are only one lot deep. This creates a

fronts and backs problem where buildings have two street frontages. Trash dumpsters receptacles shall be accessed from the rear of the building, or the secondary frontage. Type I and Civic buildings that face the street on two sides are encouraged to locate trash dumpsters receptacles in the side yard.

The sharing of a common location for the storage of trash for several buildings or businesses is acceptable.

“Trash Shacks,” a sealed and cooled self-compacting container, may be used.



Buildings #1 and 2 are sharing a side yard for the storage of trash receptacles. They have placed a decorative gate and fence between the two buildings.

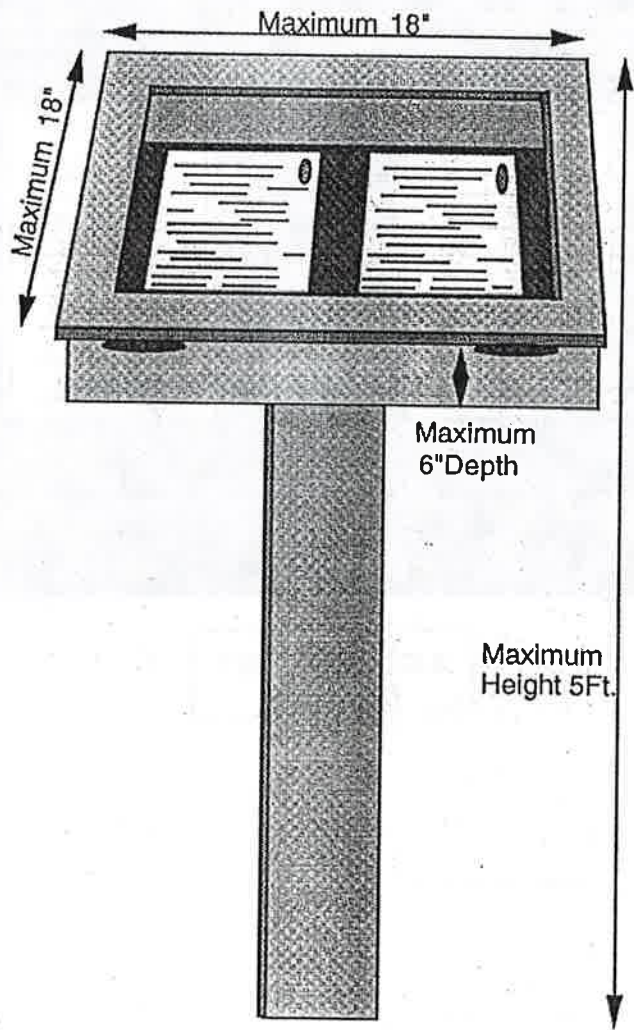
Building #3 has no side yard, the trash dumpster is away from the property line and is hidden from the street by a decorative fence.

1	Signs	51	
2		52	
3	Signs shall be regulated by both these	53	
4	regulations and Article IX, Division 1: Signs	54	
5	Regulations, in the Land Development Code.	55	
6	Where there is conflict between Article IX and	56	
7	these regulations, these regulations shall prevail.	57	
8		58	
9	1. Signs may be externally illuminated.	59	
10	Signs must be constructed of the	60	
11	following materials and may not be	61	
12	painted directly on walls.	62	
13		63	
14	a. fabric	64	
15	b. wood	65	
16	c. material other than plastic with a	66	
17	wood-like appearance	67	
18	d. unpainted stone	68	
19	e. unpainted brick	69	
20	f. stucco-finished material	70	
21	g. cast- or hand-wrought iron, bronze,	71	
22	brass or other material (except	72	
23	plastic) having the appearance of	73	
24	cast- or hand-wrought iron, brass or	74	
25	bronze.	75	
26	h. stained glass (with an uncolored	76	
27	clear plastic or protective acrylic	77	
28	covering - may be internally	78	
29	illuminated)	79	
30	i. neon (including individual channel	80	
31	letter neon signs that are internally	81	
32	illuminated.)	82	
33	j. lettering on transparent windows or	83	
34	doors	84	
35	k. neon strip lighting in accordance	85	
36	with Section 30-316(d)(2) of the	86	
37	Land Development Code.	87	
38		88	
39	2. Roof mounted signs are prohibited.	89	
40		90	
41	3. Ground mounted signs must be placed a	91	
42	minimum of 10 feet from the side	92	
43	property line and must be placed outside	93	
44	of the vision triangle. Only one ground-	94	
45	mounted sign is allowed per	95	
46	development.	96	
47		97	
48		98	
49		99	
50		100	
			4. The maximum height of ground mounted signs shall be 8 feet for Type I and Type IV development and five feet for Type II and Type III development.
			5. Maximum Sign Area shall be measured by using the largest surface area viewable at one time from any one direction parallel to the ground. Lots with frontage on two or more streets may have an additional 50 percent of secondary sign area, contained in a single sign located on the secondary building frontage. The following maximum standards shall apply:
			a. Type I (MU-1) single-occupancy development:
			Ground-mounted: 16 square feet
			Each single-occupancy develop- ment may display up to two wall- mounted signs on the side of the development facing its primary street frontage. The total wall- mounted sign area shall be equiva- lent to 10 percent of the surface area of the building at the street frontage or 100 square feet, whichever is smaller. Only one building side will be considered as being the building's primary street frontage.
			b. Type I (MU-1) multiple occupancy development:
			Ground-mounted: 16 square feet for the development as a whole
			Each occupant of a multiple- occupancy development may display up to two wall-mounted signs on the portion of the building which is included as part of the occupant's individually leased or owned premises. The sign must be

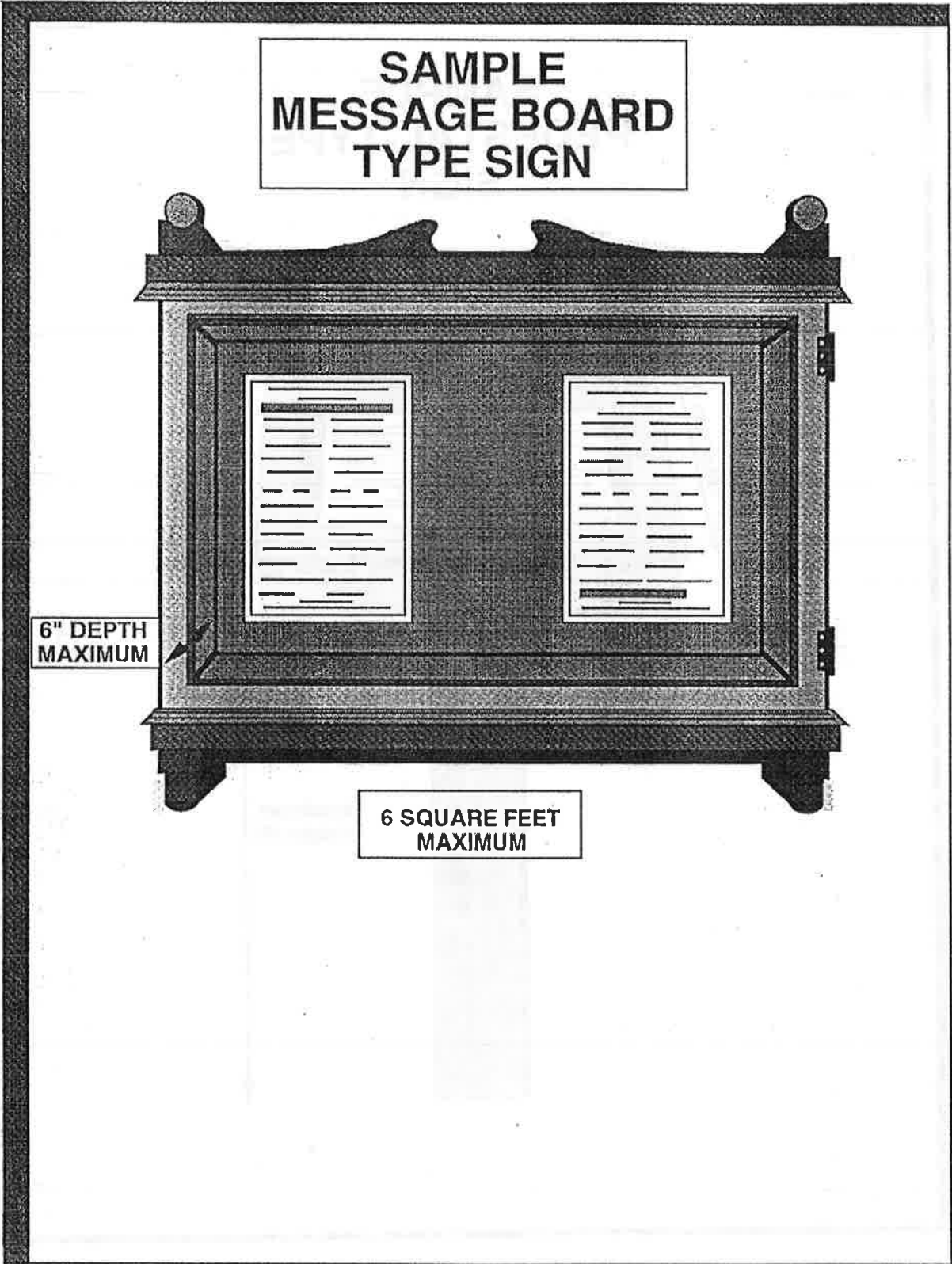
1	placed on the side which is the	52	sign, up to a maximum of 6 square feet
2	primary entrance/exit. The total	53	in sign area, in lieu of one of the
3	sign area for wall-mounted signs	54	allowable wall-mounted signs.
4	shall be equivalent to 10 percent of	55	Projecting signs must be constructed
5	the surface area of the exterior wall	56	entirely of a non-combustible material.
6	which is the primary entrance/exit to	57	The projection may extend over public
7	the occupancy or 100 square feet,	58	right-of-way. At least a 9-foot vertical
8	whichever is less. In addition, each	59	clearance must be maintained above
9	unit shall be allowed one under-	60	public right-of-way or any pedestrian
10	canopy sign with a maximum	61	walkway; otherwise the vertical
11	vertical height of one foot and a	62	clearance must be 8 feet above grade.
12	maximum width of three feet. An	63	The projection may not extend more
13	under-canopy sign shall be defined	64	than 4 feet horizontally from a wall. Its
14	as a sign suspended beneath a	65	outside edge must be at least 2 feet from
15	canopy, ceiling, roof, or marquee.	66	an imaginary line drawn perpendicular
16	The under-canopy sign must	67	to the curb when the sign projects over
17	maintain a vertical clearance of 9	68	public right-of-way. The sign may not
18	feet over any pedestrian walkway or	69	intrude on the vision triangle.
19	public right-of-way.	70	
20		71	8. Pedestrian-oriented signs shall be
21	c. Multifamily Type II (RMU)	72	allowed for businesses to attract
22	development: 12 sq. ft.	73	pedestrian traffic. A pedestrian-oriented
23		74	sign may be used to advertise changing
24	d. Civic buildings shall be allowed	75	specials such as food items, menus or
25	signage in keeping with their zoning	76	other promotions; and shall only be used
26	designation and consistent with the	77	to advertise products or services
27	standards established above.	78	available or for sale at the site where the
28		79	sign is located. The allowable sign area
29	6. Each single-occupancy development	80	for pedestrian-oriented signs shall not be
30	may have one projecting sign, up to a	81	counted against the total allowable sign
31	maximum of 6 square feet in sign area,	82	area for a development or business. A
32	in lieu of one of the allowable wall-	83	permit must be obtained for pedestrian-
33	mounted signs. Projecting signs must be	84	oriented signs.
34	constructed entirely of a non-	85	
35	combustible material. The projection	86	a. <i>Permitted number of signs.</i> Each
36	may extend over public right-of-way.	87	single-occupancy development and each
37	At least a 9 foot vertical clearance must	88	occupant of a multiple-occupancy
38	be maintained above public right-of-way	89	development may display either one
39	or any pedestrian walkway; otherwise	90	message-board sign or one pedestal-type
40	the vertical clearance must be 8 feet	91	sign.
41	above grade. The projection may not	92	
42	extend more than 4 feet horizontally	93	b. <i>Pedestal-type signs.</i>
43	from a wall. Its outside edge must be at	94	Figure 1 illustrates the sample
44	least 2 feet from an imaginary line	95	pedestal-type sign.
45	drawn perpendicular to the curb when	96	
46	the sign projects over public right-of-	97	1. The maximum height of a
47	way. The sign may not intrude on the	98	pedestal-type sign is 5 feet.
48	vision triangle.	99	2. Pedestal-type signs shall be
49		100	permanently mounted in the
50	7. Each occupant of a multiple-occupancy	101	ground, and shall not be
51	development may have one projecting	102	placed in the public right-

1		of-way or any pedestrian	21		
2		walkway.	22		
3	3.	Pedestal-type signs shall	23	3.	Message-board signs may
4		have a maximum sign	24		be mounted in a protective
5		length and width of 18	25		frame with a covering of up
6		inches, for a maximum sign	26		to 6 inches deep; and may
7		area of 2.25 square feet.	27		project into the public right-
8	4.	Pedestal-type signs may be	28	4.	of-way by 6 inches.
9		internally illuminated.	29		
10			30	9.	Non-conforming signs must be made to
11	c.	<i>Message-board signs, including</i>	31		conform with these regulations when a
12		<i>chalk boards and bulletin</i>	32		change of use (according to the Standard
13		<i>boards.</i> Figure 2 illustrates the	33		Building Code) occurs.
14		sample message-board sign.	34		
15	1.	The maximum area of a	35	10.	Fabric signs may be internally lit only.
16		message-board sign is 6	36		
17		square feet.	37		
18	2.	Message-board signs must	38		
19		be mounted on a wall, door,	39		
20		or window of a business.	40		

SAMPLE PEDESTAL-TYPE SIGN



1.



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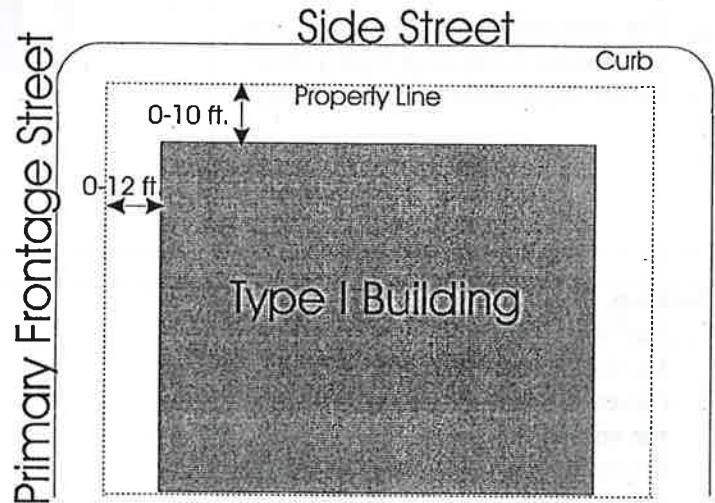
Urban Regulations For New Construction - Type I

Instructions

This building type includes shopfronts, offices, apartments or townhouses.

Building Placement

1. Shopfront and Office buildings 0 ft. to 12 ft. from the front property line, 0 ft. to 10 ft. from the side street property line. The City Manager, designee or appropriate board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. In cases where the block is only one lot deep, new buildings should be oriented towards the street of greater hierarchy, known as the Primary Frontage Street.

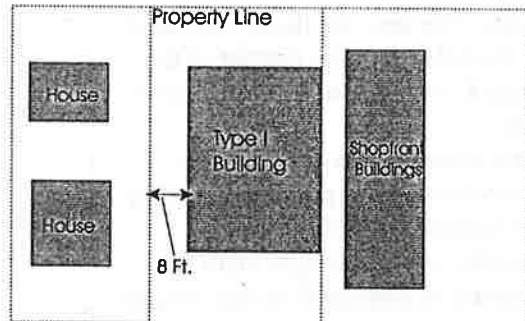


Min. build-out 80% for primary frontage street;
Minimum 70% build-out for rear street

7

Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Offices, Townhouses or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Offices, Apartments or Houses.



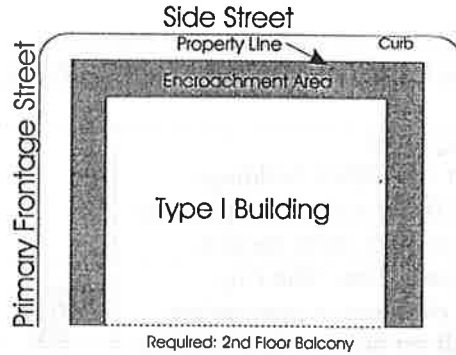
8

1

Urban Regulations For New Construction - Type I (Continued)

Encroachments

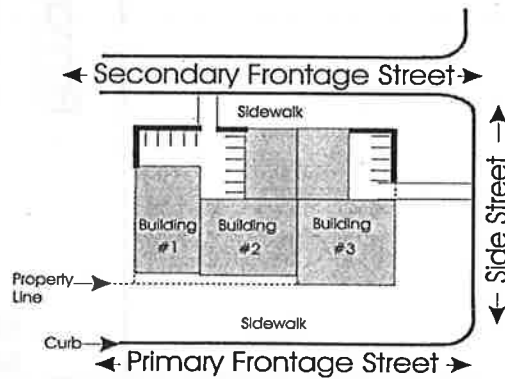
1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. For encroachment into right-of-way, permission is required from public entity responsible for right-of-way.



2

Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner. On mid-block lots, driveways may occur on either frontage streets or rear streets.



3

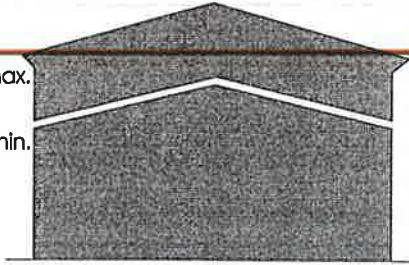
Building Use

1. Allowable uses are those permitted in the MU-1 zoning district of the Land Development Code (Chapter 30).
2. New construction or expansion of drive-throughs is prohibited within the Special Area Plan Area. Existing drive-throughs shall be allowed as non-conforming uses, as regulated by Sec. 30-346 of the Land Development Code.



4

Urban Regulations For New Construction - Type I (Continued)

<p>Building Height</p> <p>1. Specific heights shall be measured relative to the fronting street elevation and a specified point as shown here.</p>	
<p>2. Minimum and maximum building height shall be measured in number of floors. Ground floors may be up to 16 ft. floor to ceiling height. All other floors may be up to 12 ft. floor to ceiling height.</p>	

1

<p>Building Frontage</p> <p>1. Maximum building frontage for Shopfront and Office Buildings is 80 ft.</p>	<p>Garden Walls & Fences</p> <p>1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when walls built closer than 12 ft. from the property line.</p> <p>2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary, the maximum height for fences, garden walls, and hedges shall be 30 in.</p> <p>3. Heights for other locations shall be:</p> <ul style="list-style-type: none"> • 30 in. min. height for all fences, garden walls & hedges • 42 in. max. along public rights-of-way, including alleys • 72 in. max. along all other property lines.
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2

3

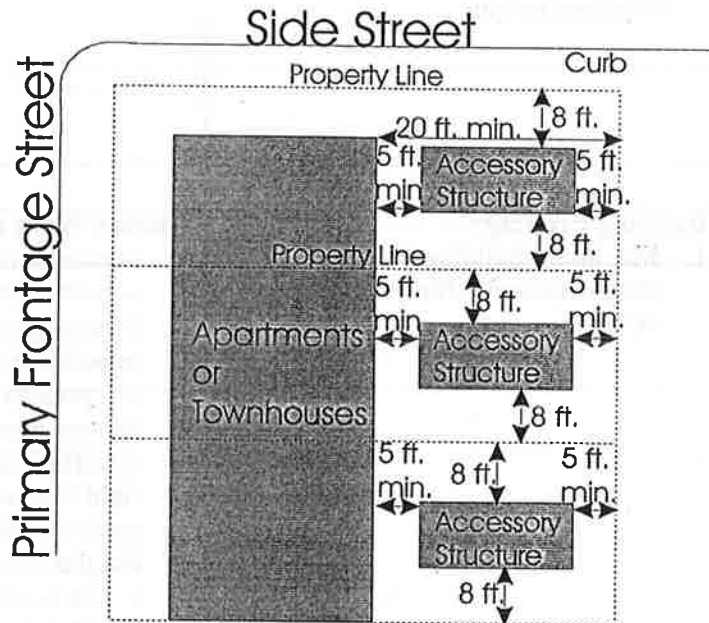
Urban Regulations For New Construction - Type II

Instructions

This building type includes houses, apartments or townhouses.

Building Placement

1. Townhouses and Apartments - - 10 ft. to 20 ft. from the front property line, 5 ft. to 10 ft. from the side property line. The City Manager, designee or appropriate reviewing board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. Houses - - 5 ft. to 25 ft. from property line, 5 ft. to 10 ft. from the side property line. City staff shall set Build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
3. Accessory structures shall be a minimum of 5 ft. from rear property line and 8 ft. from side property line.



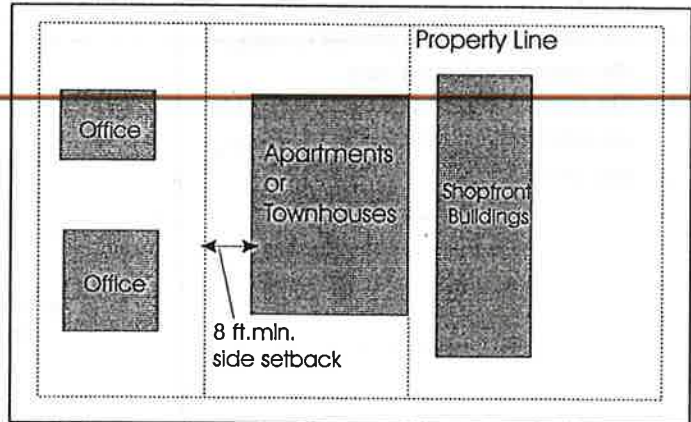
Minimum frontage build-out 90%
 Corner Lot 70%

1
2

Urban Regulations For New Construction - Type II (Continued)

Side Setback

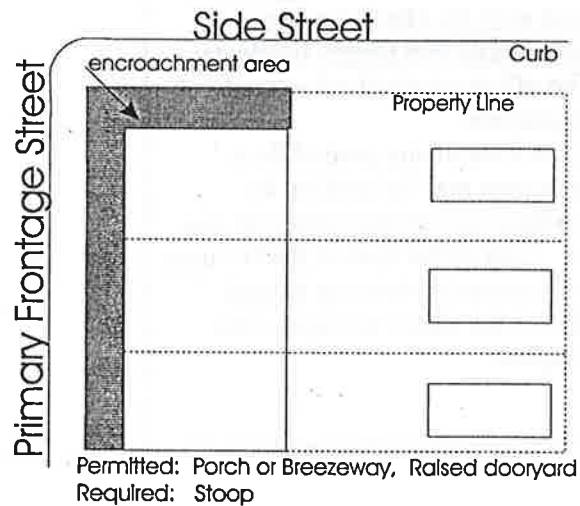
1. No side setback is required when next to existing or designated Shopfront buildings, Offices, Townhouses, or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.



3

Encroachments

1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. For encroachment into right-of-way, permission is required from public entity responsible for right-of-way.

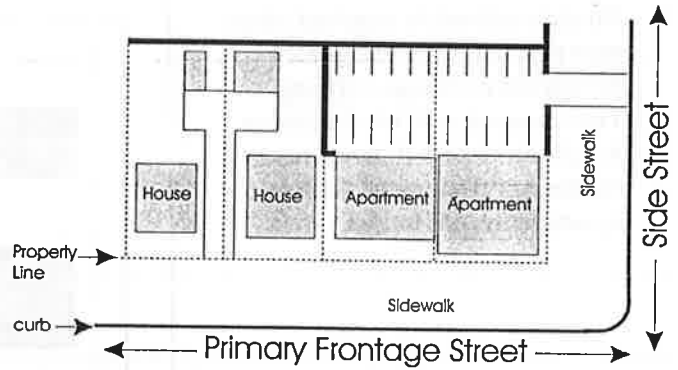


4

1 Urban Regulations For New Construction - Type II (Continued)

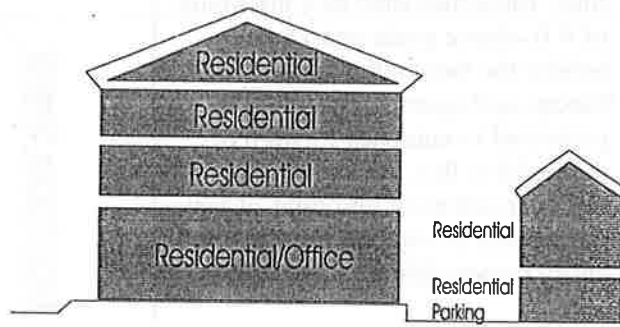
Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner.



Building Use

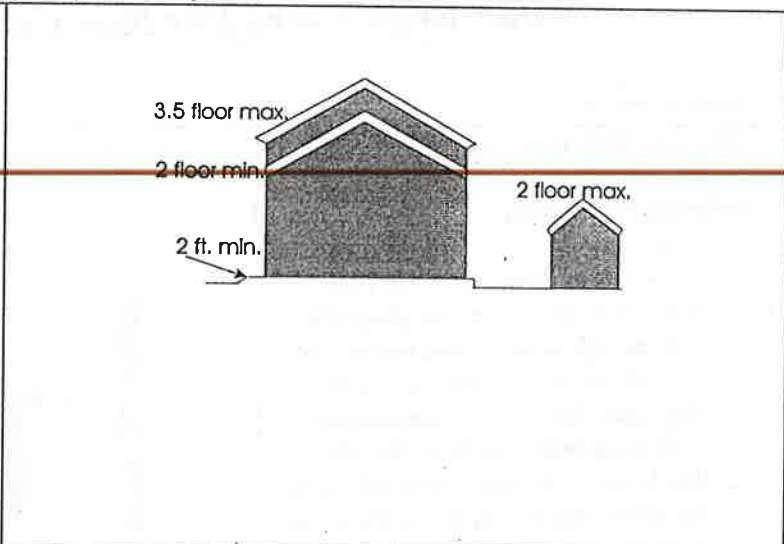
1. Uses permitted within the buildings shall be as shown here. Accessory civic uses are allowed when customarily and clearly incidental.
2. The office use shall not exceed 3 employees.
3. Up to 25% of any ground floor apartment may be used by its residents for any permitted OR use as long as the total of the OR uses in the complex does not exceed 10% of the square footage of the complex.



2

1 Urban Regulations For New Construction - Type II (Continued)

Building Height
 1. Heights shall be measured relative to the fronting street elevation. The 2 ft. minimum shown in the diagram shall be the minimum distance above the street elevation for setting the principal structure. Minimum and maximum building height shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.



2

Building Frontage
 1. Maximum building frontage for Houses is 45 ft.
 2. Maximum building frontage for Apartments is 55 ft. for any individual building.
 3. Maximum building frontage for Townhouses is 35 ft. for any individual building.

Garden Walls & Fences
 1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
 2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary the maximum height for fences, garden walls, and hedges shall be 30 in.
 3. Heights for other locations shall be:
 • 30 in. min. height for all fences, garden walls & hedges
 • 42 in. max. along public rights-of-way, including alleys
 • 72 in. max. along all other property lines.

3

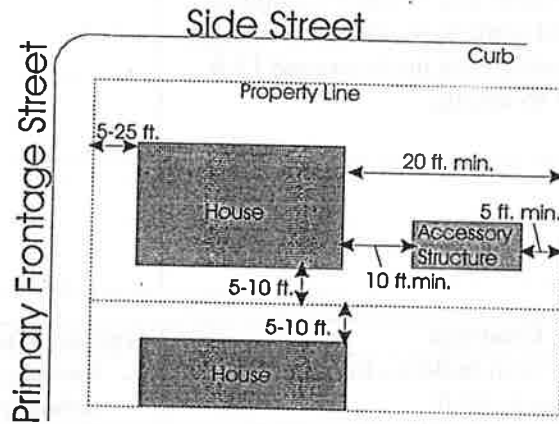
Urban Regulations For New Construction -Type III

Instructions

This building type includes houses.

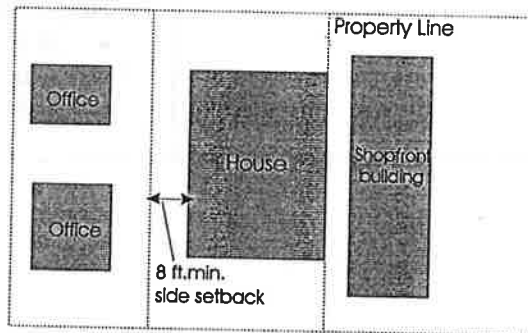
Building Placement

1. Houses - -
5 ft. to 25 ft. from property line, 5 ft. to 10 ft. from the side property line, except as specified under side setback section below. The City Manager, designee or appropriate reviewing board shall set build-to line location to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. Accessory structures shall be a minimum of 5 ft. from rear property line and 5 ft. from side property line.



Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Townhouses, Offices or Civic buildings.
2. Minimum of 8 ft. when next to existing or designated Offices, Apartments, or Houses.

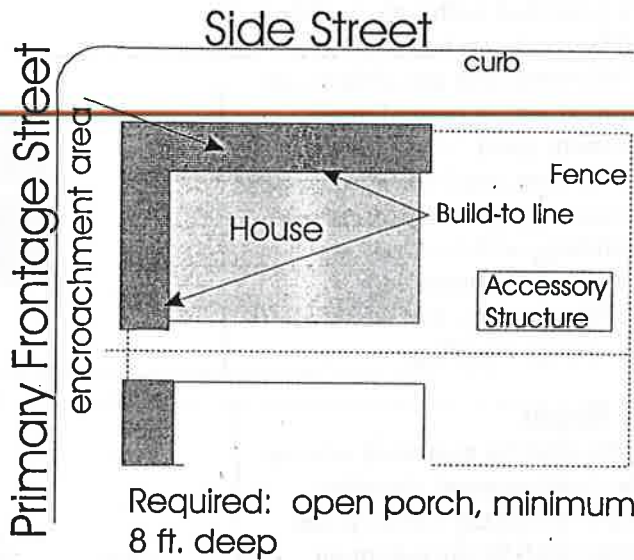


1

Urban Regulations For New Construction -Type III (Continued)

Encroachments

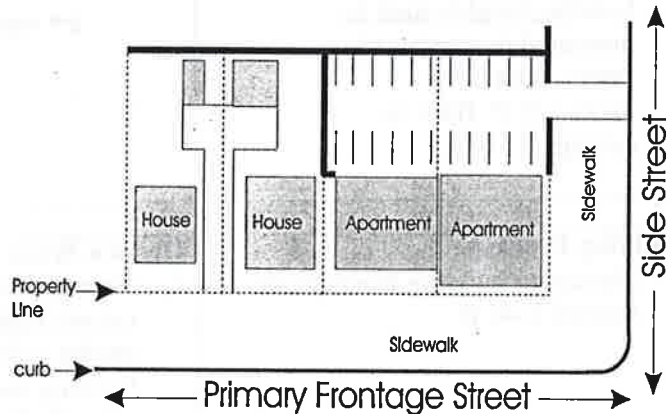
1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line. Permission is required from public entity responsible for right-of-way.



2

Parking

1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner.



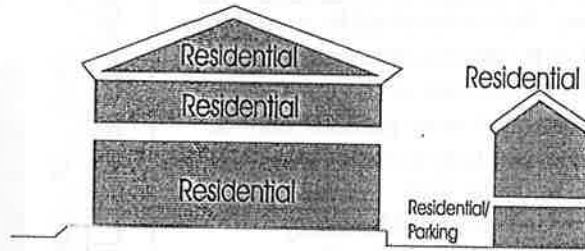
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1

Urban Regulations For New Construction -Type III (Continued)

Building Use

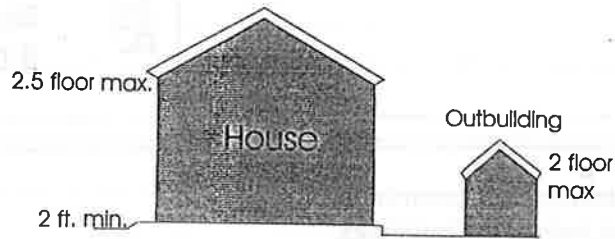
1. Uses permitted within the buildings shall be as shown here.
2. The following uses are additionally permitted within outbuildings: workshop; guest cottage; artist studio; sauna; pool house equipment enclosure; gazebo; conservatory.
3. Outbuildings with kitchens are allowed only in areas with underlying zoning that would allow multi-family dwellings.



2

Building Height

1. Heights shall be measured relative to the fronting street elevation. The 2 ft. minimum shown in the diagram shall be the minimum distance above the street elevation for setting the principal structure.
2. Minimum and maximum building heights shall be measured in number of floors, each not to exceed 13 ft. floor to ceiling.



3

Building Frontage

1. Maximum building frontage for Houses is 45 ft.

Garden Walls & Fences

1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line.
2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary the maximum height for fences, garden walls, and hedges shall be 30 in.
3. Heights for other locations shall be:
 - 30 in. min. height for all fences, garden walls & hedges
 - 42 in. max. along public rights-of-way, including alleys
 - 72 in. max. along all other property lines.

4

Urban Regulations For New Construction - Civic

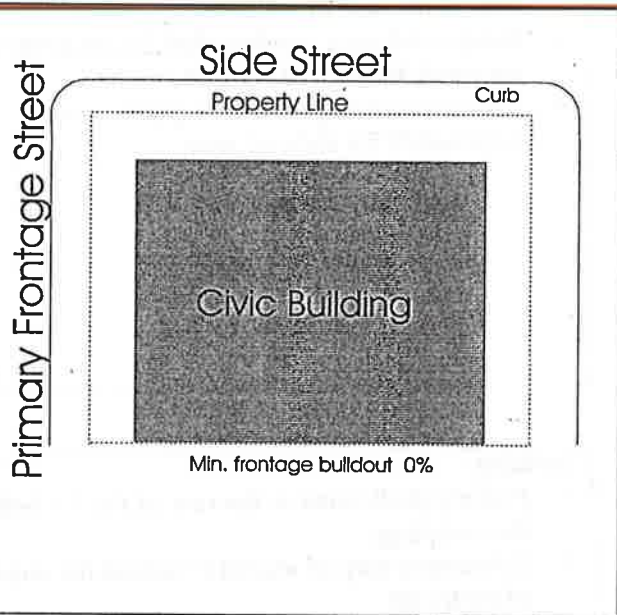
1
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Instructions

This building type includes civic uses.

Building Placement

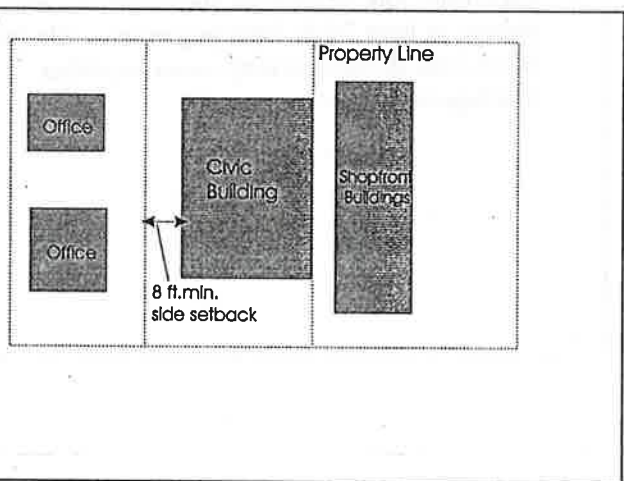
1. The City Manager, designee or appropriate board shall set build-to line range to insure enough room for sidewalks and appropriate street trees on narrow rights-of-way.
2. Buildings and street facades shall extend along the frontage to the percentage of lot width as shown here.
3. In cases where the block is only one lot deep, new buildings should be oriented towards the street of greater hierarchy, known as the primary frontage street.



6

Side Setback

1. No side setback is required when next to existing or designated Shopfront buildings, Offices, Townhouses or Civic buildings.
2. A minimum of 8 ft. when next to existing or designated Apartments or Houses.



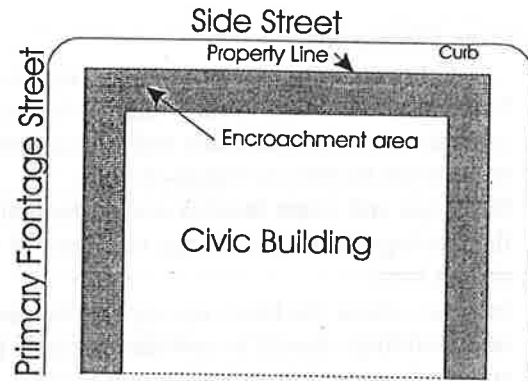
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1

Urban Regulations For New Construction -Civic (Continued)

Encroachments

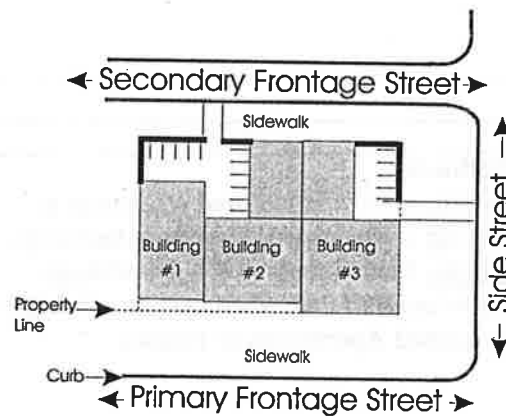
1. Balconies shall be permitted to encroach forward of the build-to line. Balconies shall be a minimum of 9 ft. above grade and 18 in. behind the face of the curb.
2. Stoops and open porches shall be permitted to encroach forward of the build-to line.
3. Permission is required from public entity responsible for right-of-way.



2

Parking

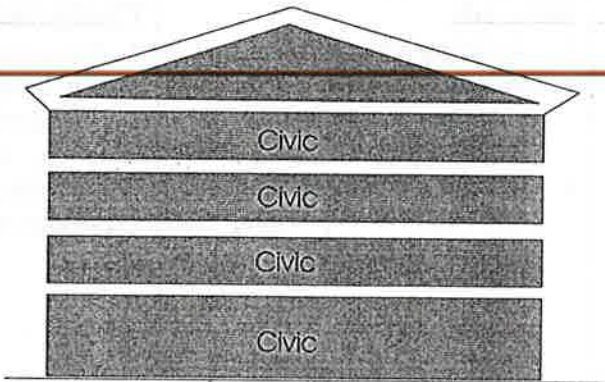
1. Parking shall occur in the rear of the lot, behind the buildings.
2. Driveways may be shared to reduce the number of curb cuts.
3. On corner lots, driveways should be on side streets, at least 25 ft. from any corner. On mid-block lots, driveways may occur on either frontage streets or rear streets.




3

1

Urban Regulations For New Construction - Civic (Continued)

<p>Building Use</p> <ol style="list-style-type: none"> 1. Uses permitted within the buildings shall be as shown here. 2. Definition: <i>Civic</i>—public or privately owned buildings of communal use such as places of religious assembly, libraries, post offices, schools, day care centers, clubhouses, recreational facilities, and accessory residential uses customarily and clearly incidental. 	
--	--

2

<p>Building Height</p> <ol style="list-style-type: none"> 1. Specific heights shall be measured relative to the fronting street elevation and a specified point as shown here. 2. The height limits shall not apply to cupolas, church spires, radio masts, belfries, clock towers, scenery lofts or similar structures. 	
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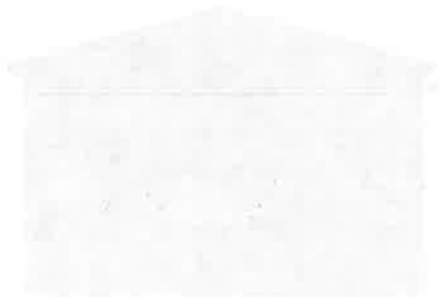
<p>Garden Walls & Fences</p> <ol style="list-style-type: none"> 1. Fences, garden walls and hedges are required along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges are not required in front of building walls when built closer than 12 ft. from the property line. 2. Fences, garden walls and hedges are subject to the AASHTO standard for vision triangles. On corners where sight lines are necessary, the maximum height for fences, garden walls, and hedges shall be 30 in. 3. Heights for other locations shall be: <ul style="list-style-type: none"> • 30 in. min. height for all fences, garden walls & hedges • 42 in. max. along public rights-of-way, including alleys • 72 in. max. along all other property lines. 	
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Architectural Regulations For New Construction

1
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Building Walls		
Materials <ol style="list-style-type: none">1. Building walls shall be clad in lapped boards, wood shingles, boards, battens or <u>Hardie Plank</u>.2. Building walls may be finished in brick, stucco, stone or cast stone.	Configurations <ol style="list-style-type: none">1. Two or more wall materials may be combined on one façade only horizontally (not side by side) or when used for balconies, porches and bay projections.	Techniques <ol style="list-style-type: none">1. Lapped board siding shall be individual pieces which provide not less than 5 in. nor more than 10 in. exposed face to the weather. Shingles shall not exceed 6 in. to the weather. Board and batten shall not exceed 10.5 in. and 1.5 in. running alternately.2. Trim at corners and around openings shall be not less than 3.5 in..3. Brick walls shall not be laid in stack bond pattern.

3



1 Architectural Regulations For New Construction (Continued)

Building Elements		
Materials	Configurations	Techniques
<ol style="list-style-type: none"> 1. Balconies and porches shall be made of wood. 2. Columns, piers and arches may be clad with brick, stucco, wood, acrylic, concrete or metal. 3. Cantilevered balconies shall be a minimum of 7 ft. in depth and 9 ft. above grade. Balconies shall be 18 inches behind the face of the curb. 4. Railings and fences may be made of wood, brick or decorative metal excluding round industrial railing and chain link. 5. Garden walls may be siding matching the principal building or fieldstone, brick, or stucco or decorative metal excluding round industrial railing and chain link. 	<ol style="list-style-type: none"> 1. Round columns or pilasters, if provided, shall have proportions and moldings according to the latest edition of The American Vignolia by W.R. Ware. Square or rectangular columns or pilasters shall have a minimum dimension of 7.5 in. on each face and shall have trim or moldings at the base and capital. Pilasters may project less than 7.5 in. 2. Spindles and balusters on balconies, porches and decks shall not exceed 5 in. on center. 3. Cantilevered balconies shall be a minimum of 7 feet in depth and 9 feet above grade. Balconies shall be 18 inches behind the face of the curb. 4. Exterior chimneys shall be finished in brick, stone, or stucco only. 5. Cantilevers, except as open balconies and porches, are not permitted unless supported by visible brackets. 6. The undercroft of decks and ventilated crawl space of buildings shall be enclosed by open patterned wood or brick. 7. Fences shall be in the form of pickets, lattice or boards and shall be made with no more than 3 in. gaps. 8. Garden walls shall be at least 50% solid and capped by a flat, round or pitched top overlapping no less than ¼ in. of the wall below. 9. Fences and Garden walls at street fronts shall be between 36 in. and 54 in. in height. 	<ol style="list-style-type: none"> 1. Arches shall be brick or stucco and shall be no less than 12 in. in depth. 2. Piers shall be no less than 12 in. by 12 in. 3. Wood deck and railing posts shall be no less than 5 in. x 5 in. and shall be chamfered at the corners. 4. Pressure treated wood shall be painted/stained.

2
3

1 Architectural Regulations For New Construction (Continued)

Roofs		
Materials	Configurations	Techniques
<ol style="list-style-type: none"> 1. Pitched roofs may be clad with wood, metal or asphalt shingles, clay or cement tile, or V-crimp or standing seam metal. 2. Gutters shall be made of painted galvanized steel, wood, copper, or painted aluminum. 	<ol style="list-style-type: none"> 1. Principal roofs of buildings shall be either hips, pitched between 8:12 and 12:12 or gables, pitched between 6:12 and 12:12, or flat as provided below. 2. Minor building elements may have gable roofs pitched between 4:12 and 12:12. 3. Minor building elements may have shed (monopitch) roofs only if the roof is attached to a higher building wall of a principal building. The pitch of the shed roof shall be between 4:12 and 12:12. Flat roofs are allowed as provided below. 4. Flat roofs are permitted. Flat roofs shall be concealed by parapets along any street frontage or any side of the building that is visible from the street. Parapets shall be no less than 36 in. high and shall conceal any building systems placed on the roof. 5. Skylights shall be flat (non-bubble). 	<ol style="list-style-type: none"> 1. Overhanging eaves may have exposed rafters or be boxed.

2
3

Architectural Regulations For New Construction (Continued)

Windows and Doors



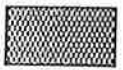


Materials	Configurations	Techniques
<p>1. Exterior doors shall have a paneled appearance. Exterior doors with lights or panes of glass, such as French doors, are permitted.</p> <p>2. Windows and doors shall not be mil or clear finished aluminum.</p> <p>3. Windows and doors shall be glazed in clear glass with no more than 10% daylight reduction. Decorative stained glass shall be permitted.</p> <p>1. Shutters shall be wood or metal.</p> <p>2. Awnings shall be fabric.</p>	<p>1. The total glazing area on the street façade of residential or office occupancies shall not exceed 30% of the façade surface.</p> <p>2. Civic Buildings are not subject to specific glazing requirements.</p> <p>3. Retail and office occupancies shall have a minimum of 50% glazing and a maximum of 90% glazing for the first floor. Percentages are based on the area of the façade surface covering the first floor only, including the front door. All other floors shall have a minimum of 10% glazing and a maximum of 50% glazing of the façade surface covering the upper floors.</p> <p>4. Windows and window subdivisions (lites) shall be rectangular with vertical proportion. Additionally, windows may be circular, rounded top or hexagonal.</p> <p>5. Garage doors shall be a maximum width of 9 ft.</p> <p>6. Shutters shall be sized to correspond with window width and height.</p> <p>7. Standard. The <i>main entrance</i> of buildings shall be on the first floor on the more primary street, even if the more primary street is outside of the overlay affected area. The building orientation standard applies if a portion of the wall along the more primary street outside of the overlay affected area is within 250 ft. of the overlay affected area. The <i>main entrance</i> shall not be oriented toward a parking lot. Direct access to the building shall be provided from the street (see figure below). Buildings on a corner lot or a lot fronting on two streets shall place the <i>main entrance</i> on the more primary street, even if the more primary street is outside of the overlay affected area (either street if they are similar) or at the corner of the intersection. This standard does not preclude additional rear or side entrances facing parking area. (Ord. 970452, 6/22/98)</p> <div data-bbox="500 1499 1175 1709" style="text-align: center;"> </div> <p style="text-align: center;">Main Entrance Orientation</p>	<p>1. Rectangular windows shall be fixed, casement, single hung, or double hung.</p> <p>2. Circular and hexagonal windows may be fixed or pivot.</p> <p>3. Windows within the same opening but either above or below a principal window may be awning or hopper.</p> <p>4. Muntins, if provided, shall form true divided lites.</p> <p>5. All doors on street facades shall be hinged except garage doors. Sliding doors are permitted at other than street façade locations only.</p>

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Plant List Landscape Regulations For New Construction & Renovation Planting On Public <u>and Private Property</u>	
<p>Large Trees Ulmus alata (Winged Elm) Yellow fall color Quercus shumardii (Shumard Oak) Scarlet fall color Magnolia grandiflora (Southern Magnolia) Evergreen Quercus virginiana (Live Oak) Evergreen Medium Trees Acer rubrum (Red Maple) Red fall color, red spring Flowers Ostraya virginiana (Ironwood) (Hop Hornbeam)* Yellow fall color Small Trees Prunus angustifolia or P. umbellata (Wild Plum) White flowers in early spring, sunny or part shade Osmanthus americanus (Wild Olive)* Evergreen, shady sites Lagerstroemia indica cv. Natchez (White Crape Myrtle) White flowers, yellow fall color</p>	<p>Hedge (Sun) Ilex vomitoria 'nana' (Dwarf Yaupon Holly) Especially cultivar 'Schillings Dwarf' Hedge (Shade) Rhododenron indicum Cultivars (vary in height) * Indicates availability may be limited.</p> <p>In the tree planting programs in College Park, the City of Gainesville Parks Division will use the trees suggested. As site plans for this area are reviewed, developers are encouraged to use the plants suggested <u>by the City</u>.</p> <p>Rev. by Ord. 960494, 8/25/97)</p>

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COLLEGE PARK - MASTER PLAN REGULATING PLAN FOR NEW CONSTRUCTION

-  TYPE I - SHOPFRONT/OFFICE/APARTMENT
-  TYPE II - APARTMENT/HOUSE
-  TYPE III - HOUSE
-  TYPE IV - CIVIC
-  COLLEGE PARK BOUNDARY

