

TO: City Plan Board

Item Number: 6

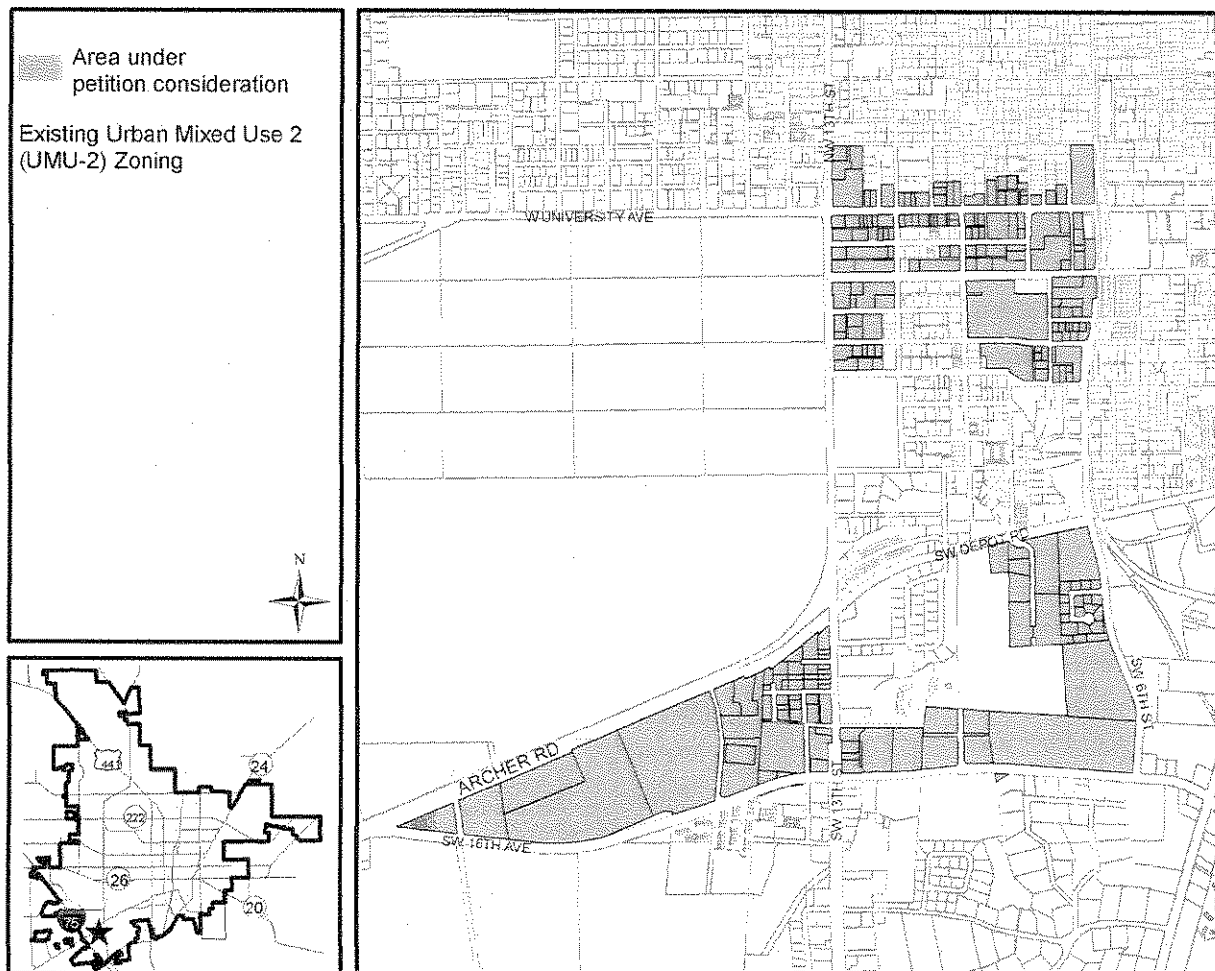
FROM: Planning & Development Services Department

DATE: January 27, 2011

SUBJECT: Petition PB-10-145 TCH. Community Redevelopment Agency, agent for the City of Gainesville. Amend the Land Development Code Section 30-65.2 to delete the existing UMU-2 district (Urban mixed-use district 2: up to 100 units/acre urban mixed use district) and replace it with a new UMU-2 district description and regulations; and revise Appendix A, Section 6 to adjust the boundaries for the University Heights Special Area Plan.

Recommendation

Staff recommends approval of Petition PB-10-145 TCH with the recommended changes from staff outlined in this report.



Background

This petition proposes deletions of the existing UMU-2 zoning district and replacement with a revised UMU-2 district. In addition, this petition proposes removal of those UMU-2 zoned areas from the University Heights Special Area Plan.

The intent of the proposed new zoning district is to promote and encourage economic development in commercial and mixed-use areas near the University of Florida, while directing this development to occur with a certain urban vision for the design of streets and buildings. The area affected by this text amendment includes much of the University Heights North and South neighborhoods, the area around the Shands Cancer Center and the Veterans Administration Hospital, and an area south of Depot Avenue and west of SW 6th Street. These UMU-2 zoned areas are depicted on the location map on the first page of this report. Effectively, this proposal will remove these areas from the extra level of zoning regulations in an overlay district, and will place them under new regulations for the base zoning district of UMU-2. The approach to making this transition work has been to transfer some of the effective urban design standards found within the University Heights Special Area Plan to the new zoning district regulations. The proposed UMU-2 zoning standards will replace the existing standards in Section 30-65.2 of the Land Development Code, and the University Heights Special Area Plan boundary description and map in the appendix of the Land Development Code will be amended. Appendix C attached to this report shows the revised map. Appendix D is the existing University Heights Special Area Plan, showing the proposed changes to the boundary description on the first page and the removal of the current map.

Innovation Square is the major impetus for redrafting the UMU-2 zoning district at this time. This redevelopment project is a coordinated effort of Shands, the University of Florida, and the City of Gainesville, and it is envisioned to become a super incubator for research and development companies in the physical, engineering, or life sciences. The planned area for this redevelopment includes the former site of Alachua General Hospital, the Ayers Building, and several other contiguous properties between SW 2nd Avenue and University Avenue. The Innovation Hub, which is currently under construction on the northeast corner of the AGH site, is the first component of this larger vision for redevelopment.

The City of Gainesville hired a consultant from Perkins & Will, a global leader in designing science and technology buildings, to ensure the design of new regulations that will facilitate the type of development that is planned for this area. The Community Redevelopment Agency has worked with Perkins & Will, the Planning and Development Services Department, and various stakeholders in order to draft the regulations that are proposed. The new regulations combine typical zoning standards with urban design standards for placement of buildings and parking, building articulation and design, and standards for the design of the public realm along the street. The regulations also contain illustrative graphics within a 'District Framework Plan'. One of these graphics designates a street type for each street within the UMU-2 zoning area. Many of the proposed standards – such as sidewalk width, build-to line, and the percentage of required glazing – are based upon the type of street where the development occurs. Another graphic shows height limitations that have been established to sensitively transition building heights away from the University Heights Historic District. The list of uses in the amendment is almost

the same as those allowed previously under the UMU-2 zoning district, with some minor changes to prohibit certain auto-oriented uses and to allow some new uses that are necessary for the development of science and technology buildings. The proposed amendment also introduces a new administrative process, called an 'administrative variation', that will allow staff to alter certain design standards to a limited degree. A draft of the proposed Land Development Code amendment is included as Appendix B of this report.

Basis for Recommendation

This proposal is consistent with Future Land Use Policy 4.1.1, which outlines the intent and basic guidelines for each of the future land use designations. For the Urban Mixed-Use 2 designation, this policy describes a mixture of residential, retail, and office/research uses, specifically established to support the University of Florida. It also states that "an essential component of the district is orientation of structures to the street and pedestrian character of the area," and both of these principles are emphasized within the proposed new standards for the UMU-2 zoning district. Finally, this policy states that "retail and office uses located within this district should be scaled to fit the character of the area." The proposed design standards and the transitional height limits are designed to meld the potential high-density mixed-use redevelopment of the UMU-2 areas with the existing character of the surrounding neighborhoods and historic districts.

Other substantial support for this amendment exists within the Comprehensive Plan, as outlined within Appendix E.

The Community Redevelopment Agency has worked collaboratively with an expert consultant and City Departments on this proposed amendment to the Land Development Code. However, the Planning and Development Services Department still has recommendations for several minor changes in the draft, as follows:

- Page 4 of Appendix B – In the list of uses, "manufacturing" has been added as an allowed use under the NAICS definition for 'Research and Development in the Physical, Engineering and Life Sciences'. 'Light assembly and packaging' is already listed as an allowed use, in order to account for the type of small-scale assembly that is often associated with technology businesses. Therefore, it is unclear exactly what types of uses are intended to be covered under "manufacturing". Since the UMU-2 zoning district is located near residential areas, downtown Gainesville, and the University of Florida, it is not a compatible location to encourage new manufacturing. If there is a specific reason to include manufacturing within UMU-2, that use should be further defined to reduce the potential for negative impacts on surrounding development (especially residential uses).
- Page 7 of Appendix B – The proposed amendment allows for a rear setback of 0' for non-residential and multi-family development. It is inappropriate to allow buildings (which may be several stories in height) to be built directly on the rear property line of an adjacent property. Although there may be some instances where a 0' setback would not create a compatibility concern, the code language should be written to provide for a

reasonable setback where it is needed. The previous requirement within the UMU-2 zoning district was for a 20' rear setback, and staff agrees that this setback requirement is too large for the type of mixed-use, urban development that is desired for this area. A minimal setback of 10' is recommended in order to provide some separation from adjacent properties and uses.

- Page 7 of Appendix B – The amendment states that “a maximum of eight stories is permitted”, but the Comprehensive Plan requires a special use permit for building heights over 6 stories and up to 8 stories within the underlying Urban Mixed Use 2 land use. The requirement for a special use permit should be stated within the amendment, in order to maintain consistency with the Comprehensive Plan.
- Page 9 of Appendix B – There is a potential conflict between required street trees and the Florida Department of Transportation clear zone areas along some public streets. The clear zone requirement means that trees would not be able to be planted within 4' from the face of curb on streets with speed limits of 30 mph or more. It would not be possible to plant trees within a 5' landscape zone on these streets. Planning staff recommends including a provision to account for these situations that would allow for the landscape zone to be expanded and encroach into the required sidewalk zone, in order to be certain that the clear zone areas are met and adequate space is still available for street trees. This could be handled as an administrative variation.
- Page 9 and Page 20 of Appendix B – A requirement for the sidewalk zone states that “where possible, sidewalks shall be placed to align with existing sidewalks.” The Public Works Department has stated that sidewalks should always align and that the phrase “where possible” should be removed. Similarly, Public Works has a concern that the scenario in Figure 2.8 - ‘Sidewalk Alignment’, which shows a new public street sidewalk that shifts to align with an existing sidewalk, will create an unsafe situation for the visually impaired. Other comments from Public Works were outlined in a January 13, 2011 memo which is attached as Appendix F.
- Page 10 of Appendix B – Depending on the type of development and the street type, the amendment defines a build-to line of exactly 0', 5', or 10' from the back of the sidewalk. It is the experience of staff that defining an exact build-to line is too prescriptive and will limit possibilities for the design of buildings along a street. This may also lead to many instances where a waiver from the build-to line will be necessary in order to place a building at 2', 4', 8', etc. There is also a concern that measuring the build-to line in a different manner (from the back of the sidewalk) could ultimately lead to some confusion. Under other existing zoning districts in the City, the build-to line is measured from the back of curb or the property line. Staff recommends providing a range for the build-to line in the UMU-2 district, and determining the most effective method for measuring the build-to line, so that this method can be applied uniformly throughout the City. Staff recommends measuring from the back of curb or edge of pavement for consistency with existing regulations.

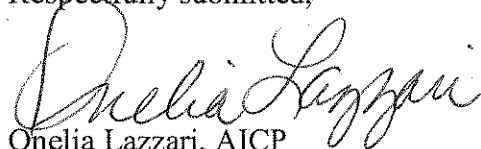
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- Page 12 of Appendix B – According to the proposed new language, mechanical equipment (such as an AC compressor) is not permitted in between buildings and Storefront or Principal streets. However, mechanical equipment is permitted on Local streets, which constitutes the majority of the streets within the UMU-2 area. Staff is concerned that the placement of mechanical equipment along a street would undermine the effort to create a quality urban streetscape. Therefore, staff is recommending that this equipment always be placed to the rear or side of buildings or on the roof, and where necessary screened from adjacent properties and the street.
- Page 12 of Appendix B – The amendment treats chiller plants and similar utility structures differently from other mechanical equipment, and allows for them to be located near any street. Where these uses are near the street, a 15' landscape strip is required, but the code only states that this strip shall be planted with “evergreen materials”. It will be difficult for staff to evaluate this standard during development review, without defining the type (shade trees, understory trees, shrubs) and amount of evergreen materials. The recommendation is to include some language to define the landscaping necessary to meet this requirement.

Summary

Staff recommends approval of this text amendment with the recommended changes outlined above. The proposed text amendment will promote and encourage economic development in the UMU-2 zoned areas near the University of Florida, particularly the proposed Innovation Square redevelopment. The proposed amendment to the Land Development Code will serve to implement the goals and policies of the Comprehensive Plan regarding land use and urban design.

Respectfully submitted,



Onelia Lazzari, AICP
Principal Planner

Prepared by:



Scott Wright
Senior Planner

List of Appendices

Appendix A Application

Appendix B Proposed New Urban Mixed-Use 2 Zoning District

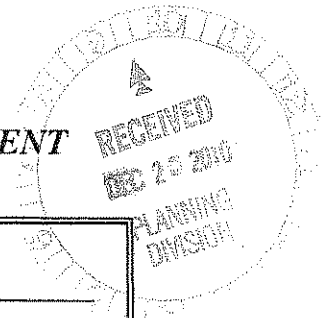
Appendix C Revised University Heights Map

Appendix D University Heights Special Area Plan

Appendix E Supporting Comprehensive Plan Policies

Appendix F Memo from Public Works (1/13/2011)

APPENDIX A



APPLICATION—CITY PLAN BOARD—TEXT AMENDMENT
Planning & Development Services

OFFICE USE ONLY	
Petition No. <u>PB-10-145 TCH</u>	Fee: \$ _____
1 st Step Mtg Date: _____	EZ Fee: \$ _____
Tax Map No. _____	Receipt No. _____
Account No. 001-670-6710-3401 []	
Account No. 001-670-6710-1124 (Enterprise Zone) []	
Account No. 001-670-6710-1125 (Enterprise Zone Credit) []	

Name of Applicant/Agent (Please print or type)	
Applicant/Agent Name: <u>Gainesville CRA - Agent for City of Gainesville</u>	
Applicant/Agent Address: <u>802 NW 5th Ave, Ste. 200</u>	
City: <u>Gainesville</u>	
State: <u>FL</u>	Zip: <u>32601</u>
Applicant/Agent Phone: <u>334.2205</u>	Applicant/Agent Fax: <u>334.2132</u>

Note: It is recommended that anyone intending to file a petition for a text amendment to Chapter 30 of the City of Gainesville Code of Ordinances (Land Development Code) or to the Comprehensive Plan, meet with the Department of Community Development prior to filing the petition, in order to discuss the proposed amendment and petition process. The request will be evaluated as applicable to the particular zoning district or land use category on a citywide basis.

TEXT AMENDMENT

Check applicable request below:

Land Development Code <input checked="" type="checkbox"/>	Comprehensive Plan Text <input type="checkbox"/>	Other <input type="checkbox"/>
Section/Appendix No.: <u>Sec. 30-65.2 (UMU-2 district)</u>	Element & Goal, Objective or Policy No.:	Specify:
<u>Appendix A, Sec. 6 (Univ. Heights SAP)</u>		

Proposed text language and/or explanation of reason for request (use additional sheets, if necessary):

Please see attached document.

Certified Cashiers Receipt:

No person submitting an application may rely upon any comment concerning a proposed amendment, or any expression of any nature about the proposal made by any participant at the pre-application conference as a representation or implication that the proposal will be ultimately approved or rejected in any form.

CERTIFICATION

The undersigned has read the above application and is familiar with the information submitted herewith.

Signature of applicant/agent: 

Date: 12-15-10

Redevelopment of Innovation Square and the surrounding area has the capacity to bring huge benefits to Gainesville. The most obvious impacts will be in the areas of urban form, economic development, job creation/retention, etc. However, if executed properly, redevelopment of the area will positively affect many other facets of the community as well. One key component in realizing the potential of Innovation Square is ensuring that the relevant land development regulations are capable of supporting the desired development and redevelopment. The regulatory framework must be structured to support the desired uses and to achieve high quality redevelopment and urban form, while simultaneously providing the clarity, brevity, and practicality needed to cultivate significant private (and public) sector reinvestment.

Unfortunately, the existing regulations cannot accommodate these needs, and unless revised, redevelopment is unlikely to reach its envisioned potential. For these reasons, modifications are proposed for the UMU-2 zoning district. The proposed text modifications were developed by the Gainesville Community Redevelopment Agency (CRA) in conjunction with the City of Gainesville, with input from the Community Development Committee, College Park/University Heights Advisory Board, GRU, Shands, UF, property owners, city staff, and other stakeholders. The CRA collaborated with David Green, of Perkins+Will to assist in this effort. Perkins+Will is a global leader in designing science/technology buildings, and Mr. Green is a leading urban design professional.

The intent of the proposed regulations is to promote and encourage economic development within the City of Gainesville, and to encourage redevelopment within the existing commercial areas and neighborhoods designated under the UMU-2 zoning classification. The district is intended to encourage multimodal mobility and to allow uses and development compatible with each other and with surrounding residential areas, and which are consistent with the land use policies of the comprehensive plan. Furthermore, this district will allow for establishments engaged in conducting research and experimental development in the physical, engineering or life sciences, in order to facilitate technology transfer from institutions of higher learning to the market place.

The proposed regulations will simplify and streamline the UMU-2 zoning code, and are designed to provide more clarity and flexibility for both applicants and regulators as they navigate the regulatory system. The streamlined framework will incorporate the goals and intent of the University Heights Special Area Plan into the base zoning regulations, thus negating the need for multiple levels of regulations in the UMU-2 zoning district. The regulations are structured as form-based code, identifying and prioritizing the elements which contribute to high quality urban design, and walkable, vibrant urban areas. The structure and framework of this zoning district is designed for maximum flexibility and may serve as a basis/example for the City should future form-based revisions be considered for the Land Development Code.

Sec. 30-65.2. Urban mixed-use district 2 (UMU-2)**I. Intent**

The UMU-2 Zoning District is created to promote and encourage redevelopment of the existing urban commercial areas and neighborhoods near the University of Florida. The district is intended to encourage multimodal mobility and to allow uses and development compatible with each other and with surrounding residential areas and which are consistent with the land use policies of the comprehensive plan. Furthermore, this district is intended to allow for establishments engaged in conducting research and experimental development in the physical, engineering or life sciences, in order to facilitate technology transfer from institutions of higher learning to the market place.

The objectives of this district are to:

1. Provide a mixture of residential, commercial and office/research uses that are complementary to the residential and mixed-use character of the district;
2. Encourage quality redevelopment and the renovation of existing structures;
3. Promote multimodal transportation and create high-quality urban streetscapes by using buildings to form a pleasant, convenient and safe environment designed for pedestrians, bicyclists, public transit, and automobiles;
4. Promote retail and office uses that serve the surrounding neighborhoods and enhance the viability of existing commercial areas by focusing new development in appropriate locations; and
5. Promote office/research uses that serve the needs of the University and the community and enhance the development of the local innovation economy.

II. Administration

- A. Required Compliance. All new development and redevelopment shall be required to comply with this Zoning District.
- B. Waiver from Compliance. A Waiver from Compliance may be considered for applications that do not follow all aspects of the UMU-2 Zoning District, but offer exceptional benefits to the community. Applicants may request a Waiver from the design standards, but no waiver is allowed for uses. In granting a Waiver, the appropriate reviewing board must find by substantial competent evidence that:
 1. The proposed development meets the intent of the UMU-2 Zoning District and contributes to, promotes and encourages the improvement of the area and catalyzes other development as envisioned in the regulations.
 2. The proposed development abides by all rules in this code other than those specially excepted.
 3. The proposed development meets any reasonable additional conditions, restrictions or limitations deemed necessary or desirable by the City Manager, designee, or appropriate

reviewing board, in order to preserve and promote the intent of the UMU-2 Zoning District.

C. Administrative variations.

1. The City manager or designee shall have the authority to grant limited minor administrative variations from certain provisions of this district, where the manager determines that:
 - a. The strict application of the requirements of this district would cause undue and unnecessary hardship to the property owner or authorized agent; and
 - b. The intent and continued integrity of the district can be achieved with equal performance and protection of public interests through grant of the administrative variation.
2. All applications for administrative variations shall be submitted to the planning department in writing. The authority to grant such administrative variations shall be limited to variations from the following requirements:
 - a. Build-to lines – Variation not to exceed 3 feet beyond the required build-to line.
 - b. Glazing – Reduction of no more than 10 percent of the required glazing.
 - c. Non-single-family building facades – Reduction of no more than 4 feet of the required minimum height.
 - d. Sidewalk zones – Reduction of no more than 2 feet from the required width, provided that a minimum 5' unobstructed width is maintained.
 - e. Landscape zones – Reduction of no more than 1 foot from the required width.
3. The City Manager or designee shall issue an "administrative variation decision" as part of the initial review of the application. For purposes of this article the term "administrative variation decision" means final action which results in an administrative variation approval or an administrative variation denial.
4. Appeals from a final decision on an administrative variation by an aggrieved party shall follow the appeals procedure of Sec. 30-354.

III. Definitions

Awning: An architectural projection roofed with material supported entirely from the exterior wall of a building.

Colonnade or Arcade: A covered, open-air walkway at standard sidewalk level attached to or integral with the building frontage; the structure overhead is supported architecturally by columns or arches along the sidewalk.

Glazing: The design and placement of windows and entrances with clear glass in a building facade.

Lot coverage: The maximum combined area occupied by all principal and accessory buildings or structures expressed as a percentage, measured from the exterior walls that are roofed or otherwise covered.

Stoop: A small platform, entrance stairway at a house door, or both, covered by a secondary roof or awning. The stoop projects from the primary building plane.

IV. Uses

A. Permitted Uses.

1. Uses by right are as follows:

<u>Sic</u>	<u>Uses</u>	<u>Conditions</u>
	<u>Compound uses</u>	
	<u>Single-family dwellings</u>	
	<u>Row houses</u>	
	<u>Multi-family dwellings (up to 100 units per acre).</u>	
	<u>Incidental residential accessory uses, including storage rooms, management offices, club or game rooms, and recreational and laundry facilities intended for use solely by the residents of the developments and their guests.</u>	
	<u>Dormitory</u>	<u>Must not abut property designated single-family on the future land use map</u>
	<u>Rooming houses and boarding houses</u>	<u>In accordance with article VI</u>
	<u>Consolidated apartment management offices</u>	<u>In accordance with article II</u>
	<u>Bed and breakfast establishment</u>	<u>In accordance with article VI</u>
	<u>Community residential homes with 14 or fewer residents</u>	<u>When part of a permitted single-family or multi-family residential component and in accordance with article VI</u>
	<u>Community residential homes with more than 14 residents</u>	<u>In accordance with article VI</u>
	<u>Adult day care homes</u>	<u>In accordance with article VI</u>
	<u>Family day care homes</u>	<u>In accordance with article VI</u>
	<u>Day care center</u>	<u>In accordance with article VI</u>
	<u>Places of religious assembly</u>	<u>In accordance with article VI</u>

	<u>Public service vehicles</u>	<u>In accordance with article VI</u>
	<u>Outdoor cafes</u>	<u>As defined in article II and in accordance with article VI</u>
	<u>Eating places</u>	
	<u>Repair services for household needs</u>	<u>As defined in article II</u>
	<u>Specialty T-shirt production</u>	<u>As defined in article II</u>
	<u>Rehabilitation centers</u>	<u>In accordance with article VI</u>
	<u>Research and Development in the Physical, Engineering and Life Sciences</u>	<u>Research and Development in the Physical, Engineering and Life Sciences, defined as establishments primarily engaged in conducting research and experimental development in the physical, engineering, or life sciences, such as agriculture, electronics, environmental, biology, botany, biotechnology, computers, chemistry, food, fisheries, forest, geology, health, mathematics, medicine, oceanography, pharmacy, physics, veterinary, manufacturing and other allied subjects (NAICS 1997-541710).</u>
	<u>Light assembly and packaging, in association with Research and Development in the Physical, Engineering and Life Sciences</u>	<u>Only within the Innovation Square area as depicted in the District Framework Plan</u>
	<u>Chilled water and steam plants, electric generation, and other energy storage, distribution, and conversion facilities</u>	<u>Only within the Innovation Square area as depicted in the District Framework Plan</u>
<u>GN-074</u>	<u>Veterinary services</u>	<u>Only within enclosed buildings and in accordance with article VI</u>
<u>GN-078</u>	<u>Landscape and horticultural services</u>	
<u>MG-43</u>	<u>U.S. Postal Service</u>	
<u>GN-471</u>	<u>Arrangement of passenger transportation</u>	<u>Offices only, with no operation of passenger tours on site.</u>
<u>GN-483</u>	<u>Radio and television broadcasting stations</u>	<u>Accessory transmission, retransmission, and microwave towers up to and including 100 feet in height in accordance with article VI, excluding cellular telephone services.</u>
<u>GN-523</u>	<u>Paint, glass, and wallpaper stores</u>	
<u>GN-525</u>	<u>Hardware stores</u>	

<u>GN-526</u>	<u>Retail nurseries, lawn and garden supply.</u>	
<u>MG-53</u>	<u>General merchandise stores</u>	
<u>MG-54</u>	<u>Food stores</u>	
<u>MG-56</u>	<u>Apparel and accessory stores</u>	
<u>MG-57</u>	<u>Home furniture, furnishing, and equipment stores</u>	
<u>MG-59</u>	<u>Miscellaneous retail</u>	<u>Excluding GN598 Fuel Dealers</u>
<u>Div. H</u>	<u>Finance, insurance and real estate</u>	<u>Excluding cemetery subdividers and developer (IN-6553)</u>
<u>MG-72</u>	<u>Personal services</u>	<u>Including funeral services and crematories in accordance with article VI and excluding industrial laundries (IN-7218)</u>
<u>MG-73</u>	<u>Business services</u>	<u>Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN7353), and equipment rental and leasing, not elsewhere classified (IN-7359)</u>
<u>GN-701</u>	<u>Hotels and motels</u>	
<u>GN-752</u>	<u>Automobile parking</u>	<u>Structured parking only, and not within 100 feet of property designated for single-family use on the future land use map</u>
<u>MG-78</u>	<u>Motion picture</u>	
<u>MG-79</u>	<u>Amusement and recreation service</u>	<u>Only within enclosed structures, and excluding go-cart rental and raceway operations and also excluding commercial sports</u>
<u>MG-80</u>	<u>Health services</u>	
<u>MG-81</u>	<u>Legal services</u>	
<u>MG-82</u>	<u>Educational services</u>	
<u>MG-83</u>	<u>Social services</u>	
<u>MG-84</u>	<u>Museums, art galleries, and botanical and zoological gardens</u>	

MG-86	<u>Membership organization</u>	
MG-87	<u>Engineering, accounting, research, management, and related services</u>	
USES BY SPECIAL USE PERMIT		
	<u>Alcoholic beverage establishments</u>	<u>In accordance with Article VI</u>

B. Prohibited uses.

1. Auto Dealers, Auto Service and Limited Auto Services (IN-5511, MG-753).
2. Carwashes (IN-7542).
3. Gas Service Stations (IN-5541).
4. Gasoline pumps when accessory to a Food Store (MG-54).
5. Off-street surface parking lots as a principal use.
6. Drive-throughs.

V. Site Development Requirements

- A. All principal and accessory structures shall be located and constructed in accordance with the Dimensional Requirements Table.

<u>DIMENSIONAL REQUIREMENTS TABLE</u>	<u>Nonresidential and vertically mixed use buildings</u>	<u>Single-family dwellings</u>	<u>Multi-family dwellings, Two-family dwellings and rowhouses</u>
<u>Lot depth (min)</u>	90 ft	90 ft	90 ft
<u>Front or Street Side (build-to line)</u>	<u>0-10 ft depending on Street Type (see Section VLD)</u>	<u>0-10 ft depending on Street Type (see Section VLD)</u>	<u>0-10 ft depending on Street Type (see Section VLD)</u>
<u>Interior Side (min)</u>	<u>0 ft, or 25 ft when abutting property designated single-family or residential low-density on the future land use map</u>	<u>5 ft except that, where adjoining lots are developed at the same time under single ownership, one side of each lot may have no yard setback if the setback for the adjoining yard is at</u>	<u>7.5 ft, or 25 ft when abutting property designated single-family or residential low-density on the future land use map</u>

		<u>least 10 ft</u>	
<u>Rear (min)</u>	<p>0 ft., or 25 ft. when <u>abutting property designated single-family or residential low-density on the future land use map.</u></p> <p><u>When abutting an alley, shall be measured from centerline of said alley</u></p>	<u>20 ft.</u>	<p><u>0ft., or 25 ft. when abutting property designated single-family or residential low-density on the future land use map.</u></p> <p><u>When abutting an alley, shall be measured from centerline of said alley</u></p>
<u>Lot coverage (max)</u>	<u>N/A</u>	<u>N/A</u>	<u>80%</u>
<u>Building frontage</u>	<u>70% minimum</u>	<u>N/A</u>	<u>70% minimum</u>
<u>Density (max)</u>	<u>100 du/acre¹</u>	<u>N/A</u>	<u>100 du/acre¹</u>

¹Up to 125 du/acre is allowed by special use permit.

- A. Accessory structures. Accessory structures shall meet all regulations pertaining to primary structures within this district.
- B. Additional dimensional standards.
 - 1. Non-single-family buildings facades shall have a minimum height of 24 feet.
 - 2. A maximum of eight stories is permitted
 - 3. Transitional heights:
 - a. Shall be a maximum of 3 or 4 stories for a distance of 50 ft as measured from the rear or side property line in certain locations adjacent to the historic district as delineated on the District Framework Plan - Height Diagram (Fig. 2.3).
 - b. The height of buildings located within 100 feet of property designated single-family or residential low-density on the future land use map shall not exceed six stories.
- C. Building relationship to the street.
 - 1. All non-residential buildings are required to have a main entrance facing the street, and individual multi-family units on the first story shall have an entrance on the street.
 - 2. The length of street-fronting facade without an intervening entrance shall not exceed 150 feet.
 - 3. Sidewalk connections to the public sidewalk must be provided from all main building entrances that face the street. These connections shall provide at least 5 feet of unobstructed width and be aligned to minimize walking distance.
 - 4. Front porches for multi-family uses.

- a. Residential units on the first floor along a street shall have individual front porches.
 - b. Front porches shall have a minimum surface area of 25 square feet with a minimum depth of 5 feet and a minimum width of 5 feet.
 - c. Front porches shall be open and not air conditioned.
 - d. Front porches may only be screened where they are located behind the build-to line.
5. Except for a driveway to reach the side yard or rear yard or on-site parking, neither driveways nor surface parking lots are permitted between the sidewalk and a building. Driveways shall be perpendicular to any adjacent street.

D. Building articulation and design.

1. Glazing (Fig. 2.7).

- a. Glazing percentages shall be calculated within the facade area between 3' and 8' above grade. Required glazing must be at least 80% transparent and shall not utilize painted glass, reflective glass or other similarly treated windows. Entrances with glazing may be counted towards meeting the minimum glazing requirements.
 - b. For all multi-family residential uses, glazing shall be provided for a minimum of 30% of the length of all street frontages for the first story and a minimum of 20% for upper stories.
 - c. For non-residential uses, glazing shall be provided for a minimum of:
 - a. 50% of the length of all first story street frontages on Local streets or streets that are private.
 - b. 65% of the length of all first story street frontages on streets designated as Storefront or Principal streets.
2. Articulation of stories. The area between the first and second building floors along all street frontages shall be architecturally delineated.
3. First floor height. All multi-story buildings on Storefront streets shall have a minimum first story floor-to-floor height of 15 feet.
4. First floor uses.
 - a. Principal streets: first-story uses with street frontage shall be only retail, restaurants, office, institutional, or residential. Said uses shall be provided for a minimum depth of 20 feet from any building facade along the adjacent public sidewalk.
 - b. Storefront streets: first-story uses with street frontage shall be only retail, office, institutional, or accessory residential uses such as lobbies, mail rooms, dining rooms or exercise facilities. Said uses shall be provided for a minimum depth of 30 feet from any building facade along the adjacent public sidewalk

VI. Public Realm Requirements

A. District Framework Plan.

1. The District Framework Plan is hereby made a part of the UMU-2 Zoning District regulations. The District Framework Plan identifies the street type of all existing streets, the location of required future streets within the district, and maximum building heights.
2. All development, subdivisions, lot consolidations, and lot replats shall conform to the District Framework Plan.
3. All streets shown on the District Framework Plan that lie within a specific development or phase of development, or that are contiguous to the boundaries of a development or phase of development, are required to be built as a part of such development or phase thereof.

B. Sidewalk zone.

1. The minimum sidewalk dimensions set forth in the Streetscape Dimensions Table shall apply to all streets in this district.
2. The sidewalk zone shall be immediately contiguous to the landscape zone and shall be continuous and entirely hardscaped.
3. Sidewalk cafes may encroach into the sidewalk zone provided that a minimum clear width of 5' is maintained.
4. Balconies, marquees, projecting signs, and awnings may encroach into the sidewalk zone up to a distance of half the required sidewalk dimension, provided that they are at least 9' above the grade of the sidewalk.
5. When possible, sidewalks shall be placed to align with existing sidewalks (Fig. 2.8).

C. Landscape zone.

1. There shall be a continuous street tree and street furniture zone adjacent to the curb which shall meet the dimensions set forth in the Streetscape Dimensions Table. In addition to the planting of street trees as required in this section, this zone is also intended for the placement of street furniture and light poles, fire hydrants, traffic signs, bus shelters, bicycle racks, litter receptacles, benches and similar items.
2. Trees shall be planted within the street tree and street furniture zone.
3. The area of the landscape zone between trees shall be hardscape on Storefront and Principal streets and landscaping or grass strip on Local streets. Landscaping utilized between street trees should not exceed 30" at mature height.
4. Elements within the landscape zone shall comply with vision triangle requirements.

D. Build-to line.

1. The build-to line shall be measured from the back of the required sidewalk zone.
2. The build-to line standards of this section shall not result in structures being built in the public right-of-way. If the build-to line dimensions result in a build-to line within the public right-of-way, the actual build-to line shall be established at the property line adjacent to the public right-of-way.

<u>STREETSCAPE DIMENSIONS TABLE</u>	<u>Storefront streets</u>	<u>Principal streets</u>	<u>Local streets or private streets</u>
<u>Landscape zone (min)</u>	<u>5 ft</u>	<u>5 ft</u>	<u>5 ft</u>
<u>Street tree spacing</u>	<u>35 ft on center (min)</u> <u>50 ft on center (max)</u>	<u>35 ft on center (min)</u> <u>50 ft on center (max)</u>	<u>35 ft on center (min)</u> <u>50 ft on center (max)</u>
<u>Sidewalk zone (min)</u>	<u>10 ft</u>	<u>10 ft</u>	<u>8 ft</u>
<u>Build-to-line (non-residential uses)</u>	<u>0 ft setback from the adjacent sidewalk</u>	<u>5 ft setback from the adjacent sidewalk</u>	<u>0 ft setback from the adjacent sidewalk</u>
<u>Build-to line (residential uses)</u>	<u>5 ft setback from the adjacent sidewalk</u>	<u>10 ft setback from the adjacent sidewalk</u>	<u>5 ft setback from the adjacent sidewalk</u>

VII. Additional requirements.

- A. General conditions. All structures and uses within this district shall also comply with the applicable requirements and conditions of section 30-67 and article IX.
- B. Parking.
 1. Vehicular surface parking.
 - a. Vehicular parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act and Florida Accessibility Code. Other than ADA and FAC, there shall be no minimum vehicular parking requirement. There shall be a maximum vehicular surface parking allowance of 1 parking space per 400 sq ft of gross floor area. However, there shall be no limit on the number of parking spaces provided in the form of structured parking.
 - b. Surface parking lots shall be located in the rear or interior side of the building.
 - c. Off-street surface parking shall not be located within 10 feet of the required build-to line on Principal or Local streets, and within 30 feet of the required build-to line on Storefront streets.
 - d. Surface parking lots shall adhere to landscaping requirements in Sec. 30-252.
 2. Structured parking facilities.

- a. Shall be delineated through the second story above the sidewalk-level with architectural detailing and shall conceal automobiles from street view with architectural elements.
 - b. Except at points of ingress and egress, shall provide an additional 10 ft landscape strip when the ground floor sidewalk-level use is parking. Said strip shall be planted with shade trees 20 feet on center and shrubs with a maximum mature height of 30 inches.
3. Bicycle parking.
- a. A minimum of 1 per 1,000 square feet of gross building square feet for non-residential uses and 1 space per two bedrooms for residential uses shall be required for bicycle parking.
 - b. A minimum of 20 percent of the provided bicycle parking shall be located within the landscape or sidewalk zone. The remainder shall be located a maximum distance of 100 feet from a building entrance and shall be covered from inclement weather or located within an accessory parking structure.
4. Vehicular access. Developments may have one curb cut located on each street frontage except that curb cuts shall not be permitted on Storefront or Principal streets when access may be provided from a Local street, private street or alley as identified in the District Framework Plan.
- C. Loading areas and dumpsters.
1. Loading docks shall be prohibited from being located along Storefront or Principal streets as identified on the District Framework Plan. If parcel does not front a Local Street, alley, or private street, applicant will work with Planning Staff to identify appropriate location.
 2. Loading docks entrances along the street shall be screened with automatic doors so that said docks and related activities are not visible from the adjacent required sidewalk.
 3. Dumpsters shall be placed at the side or the rear of the building so that they are not visible from the street.
 4. Dumpsters shall be surrounded by an enclosing wall that is attached to a building. he enclosing wall shall not exceed 8 ft in height, and shall be finished or painted with the same material or color as is used on the building.
 5. The enclosing wall shall be fitted with an opaque sliding or hinged door and working latch.
- D. Walls and Fences.
1. Fences made of chain-link (wholly or in part) are prohibited.
 2. The maximum height of fences or walls shall be 40 inches when located within a front or side yard.

3. The maximum height of fences or walls shall be 72 inches when located within a rear yard.

E. Mechanical Equipment

1. Mechanical equipment shall not be permitted between any building and Storefront or Principal streets.
2. Screening that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties.
3. Certain elements of the building shall not be considered as mechanical equipment, such as rain barrels or cisterns but shall be designed as part of the building and with the same materials and colors, and shall not require screening.
4. Chiller Plants and similar utility structures:
 - a. Shall not be permitted between any building and a storefront or principal street.
 - b. Shall provide a minimum 15 ft landscape strip between the chiller plant and the street or adjacent properties. Said strip shall be planted with evergreen materials.
 - c. Opaque walls a minimum of six feet in height shall be provided between the chiller and the public street.

F. Signs in the UMU-2 district shall be regulated in accordance with Article IX, Division 1: Sign Regulations in the Land Development Code. The following additional regulations shall apply:

1. Signs shall be externally lit. Individual letters and symbols may be internally lit or back-lit.
2. Finish materials shall consist of the following:
 - a. Wood: painted and natural
 - b. Metal: painted or unpainted
 - c. Painted or rubberized canvas
 - d. Strip lighting with the appearance of neon (including individual channel letter signs that are internally illuminated and may have plastic faces)
 - e. Engraving directly on the façade surface
 - f. Wood-like materials
 - g. Lettering on transparent windows or doors
 - h. Vinyl lettering with a painted appearance

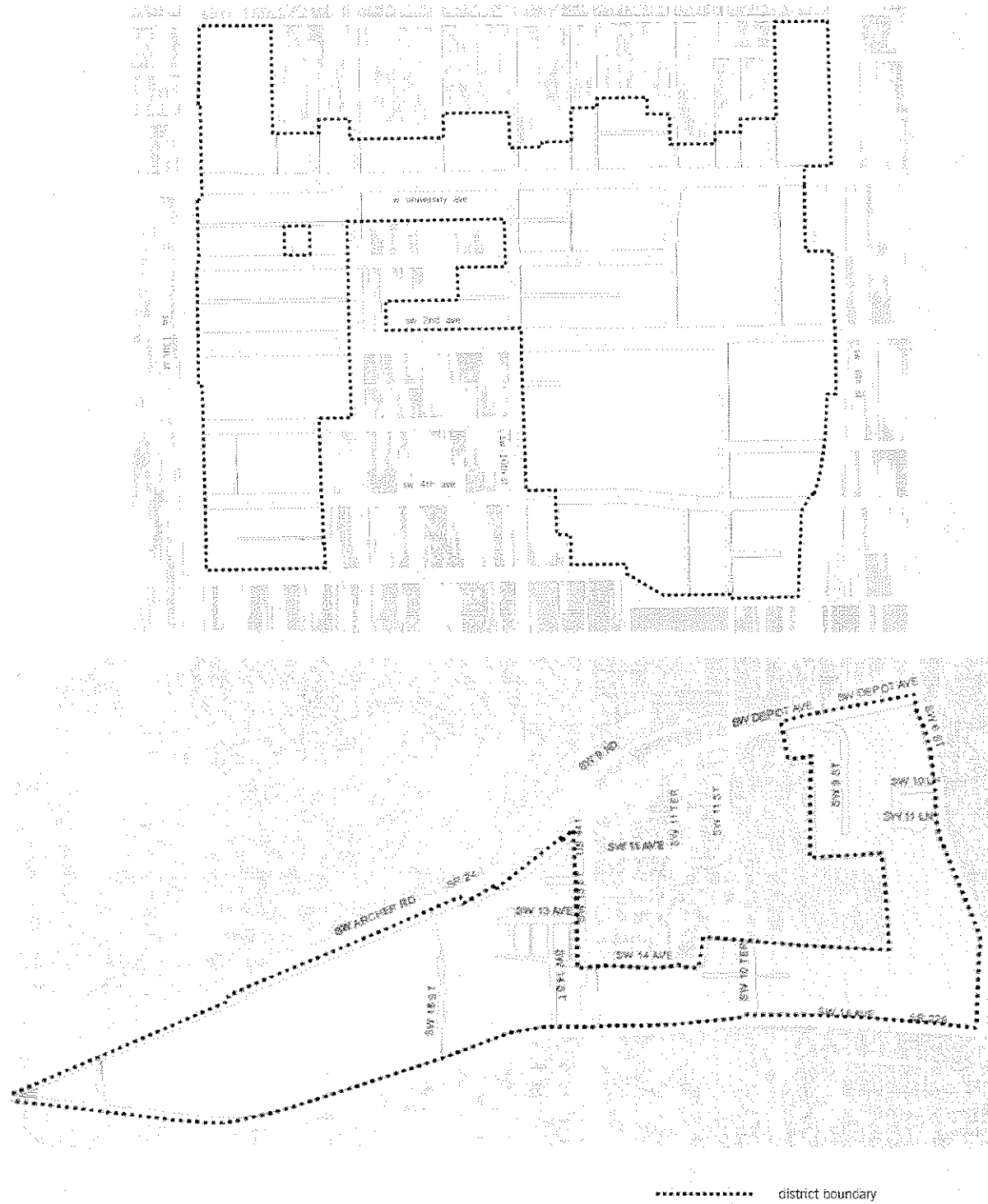


Fig. 1.0 District Boundary Map

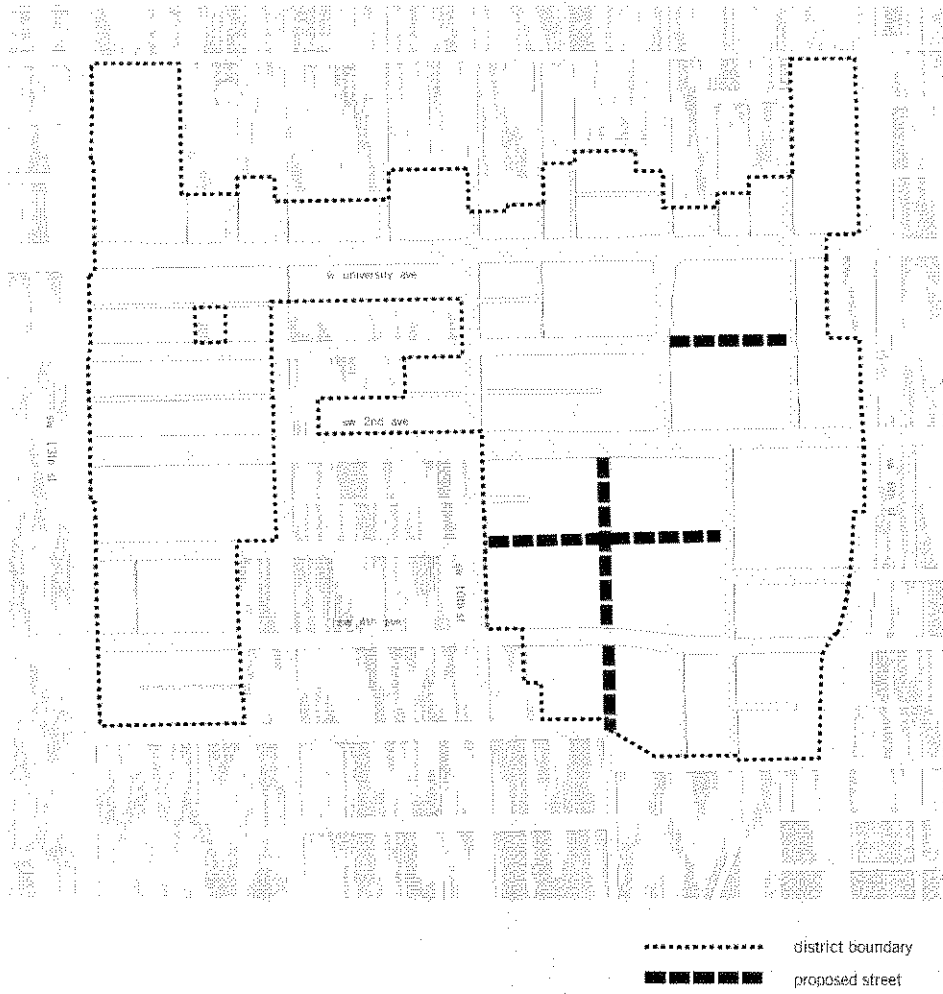


Fig. 2.1 - District Framework Plan - New Streets

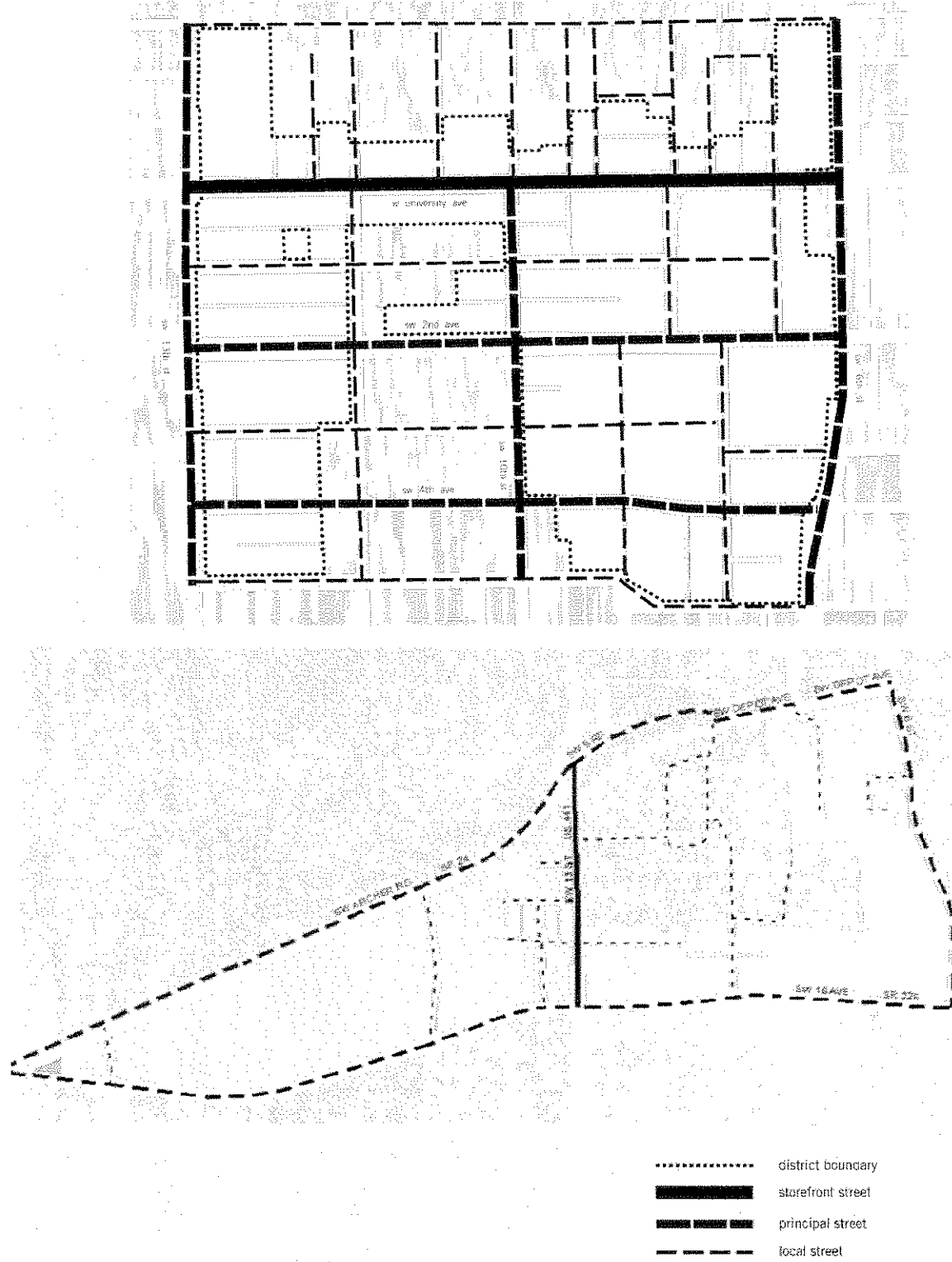


Fig. 2.2 - District Framework Plan - Street Types

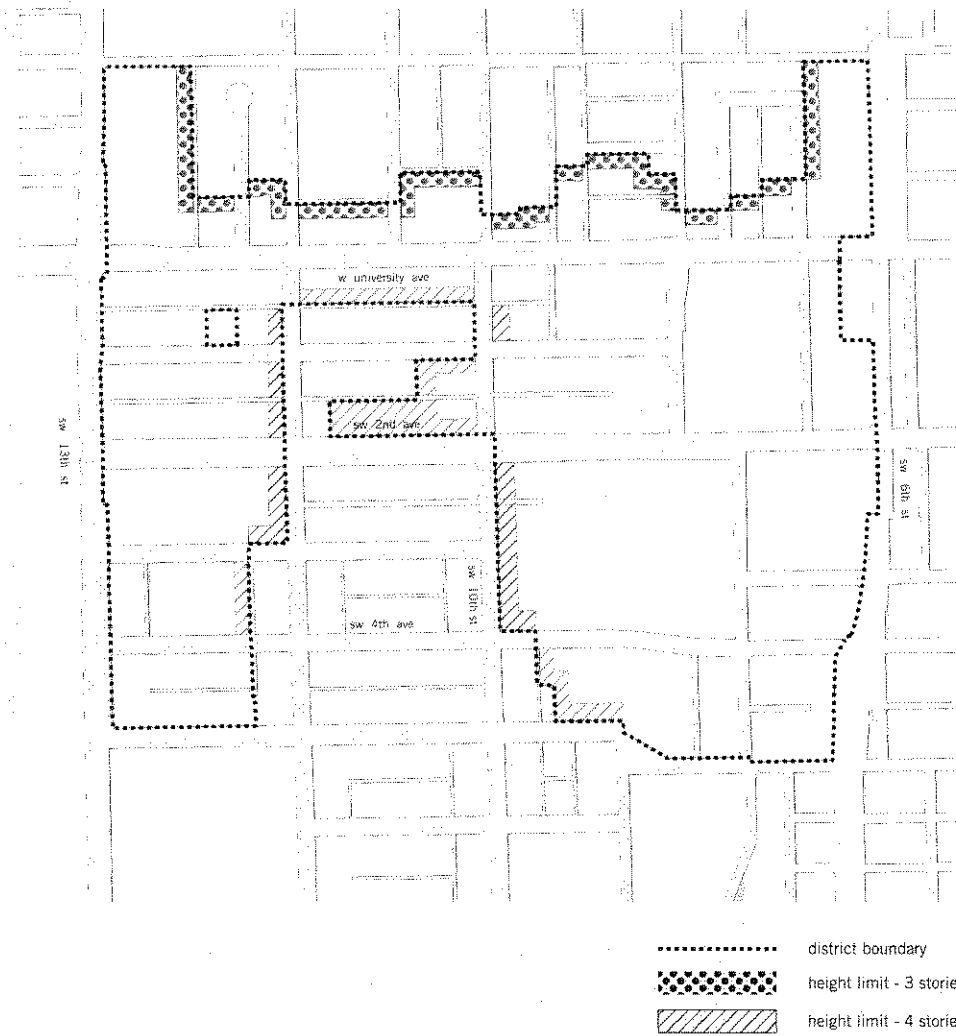
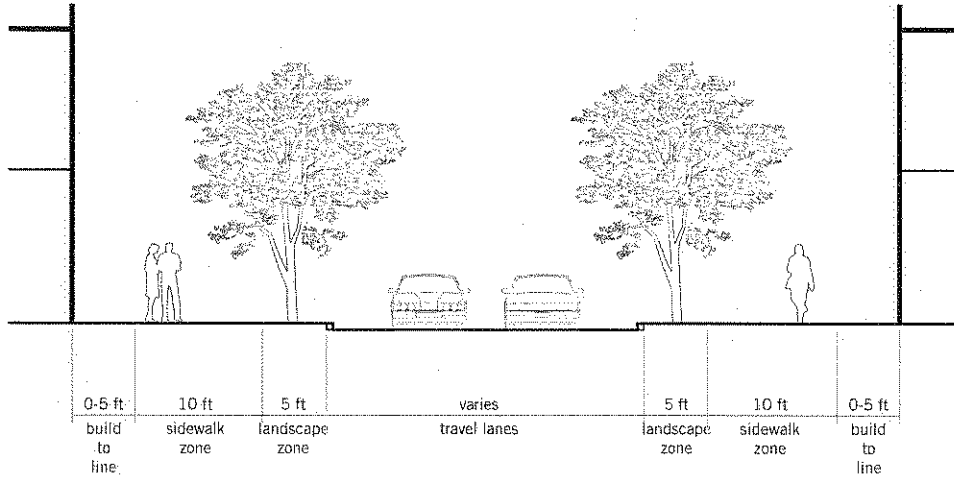
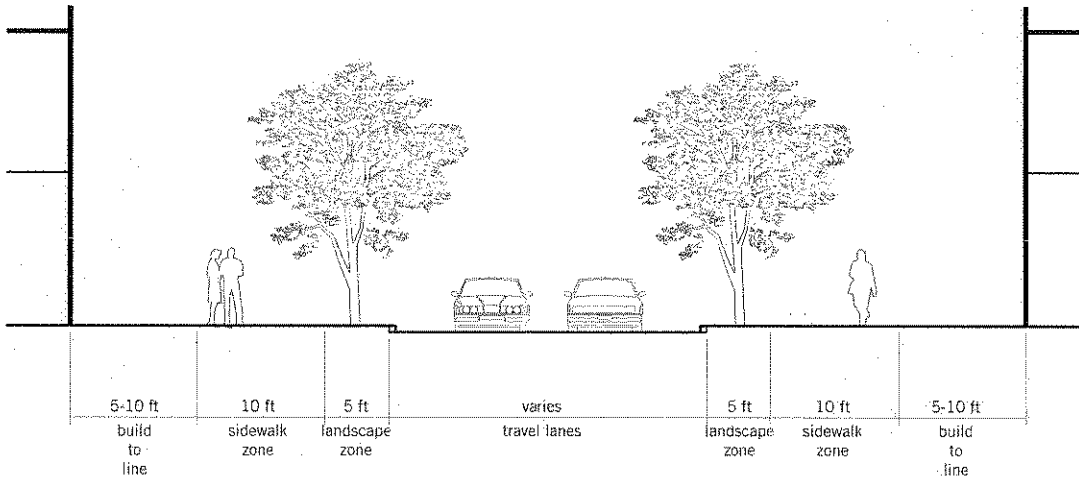


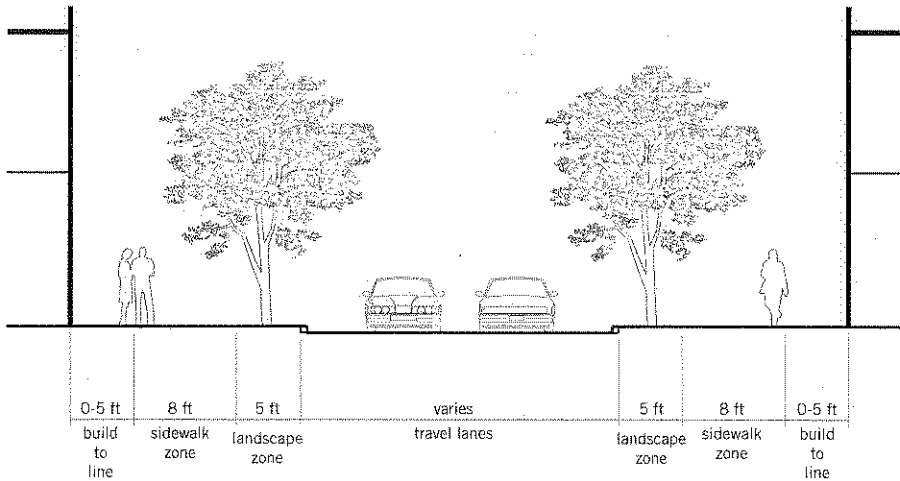
Fig. 2.3 - District Framework Plan - Height Limits



street type: storefront



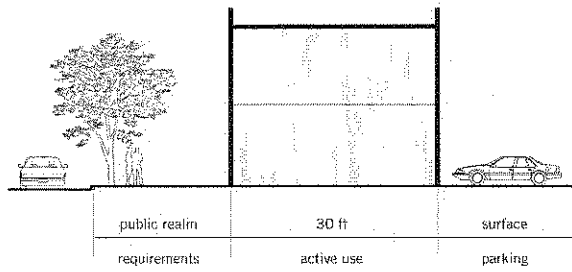
street type: principal



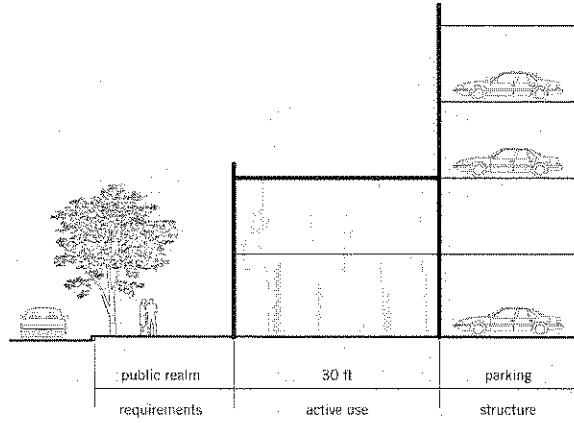
street type: local

- notes:
 1. refer to Streetscape Design and Technical Standards for the City of Gainesville CRA Districts for streetscape design elements, locations and specifications.
 2. refer to City of Gainesville Public Works Engineering Design Manual for Urban Roadway requirements

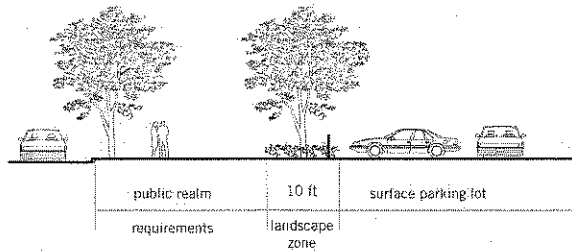
Fig. 2.4 - District Framework Plan - Public Realm Requirements



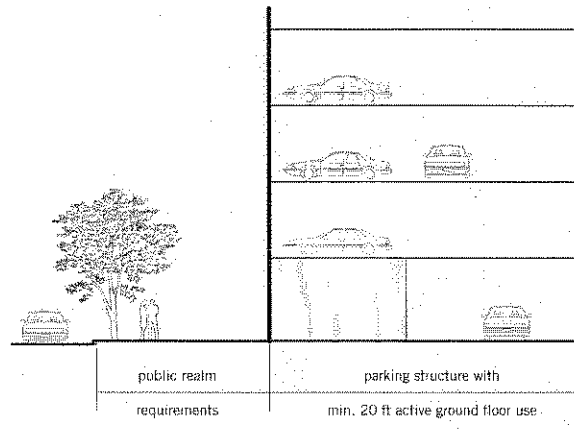
surface parking
street type: storefront



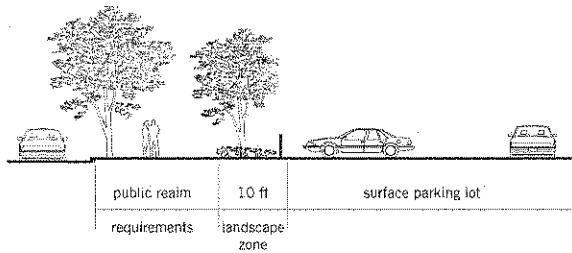
structured parking



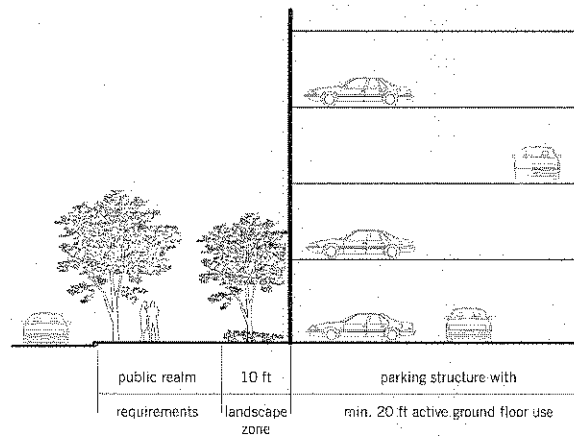
surface parking
street type: principal



structured parking

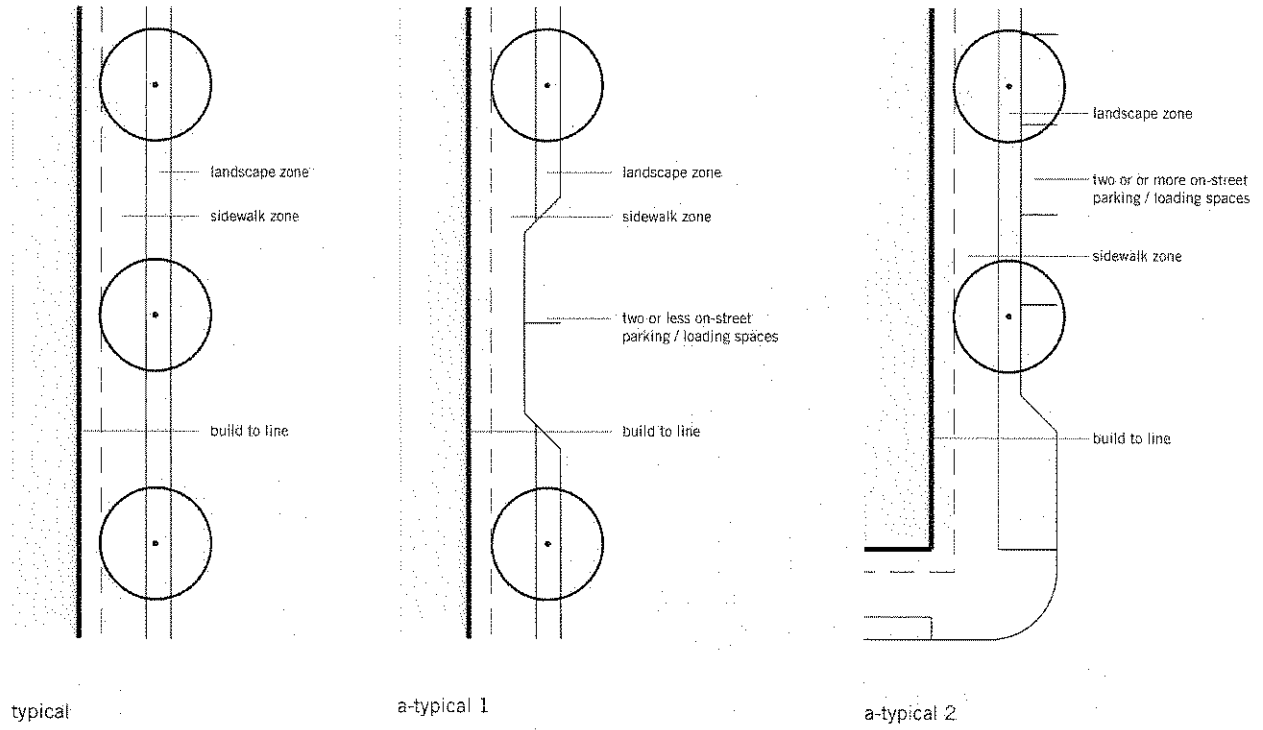


surface parking
street type: local



structured parking

Fig. 2.5 - District Framework Plan - Parking Exhibit



notes:
 1. refer to Streetscape Design and Technical Standards for the City of Gainesville CRA Districts for streetscape design elements, locations and specifications.
 2. refer to City of Gainesville Public Works Engineering Design Manual for Urban Roadway requirements

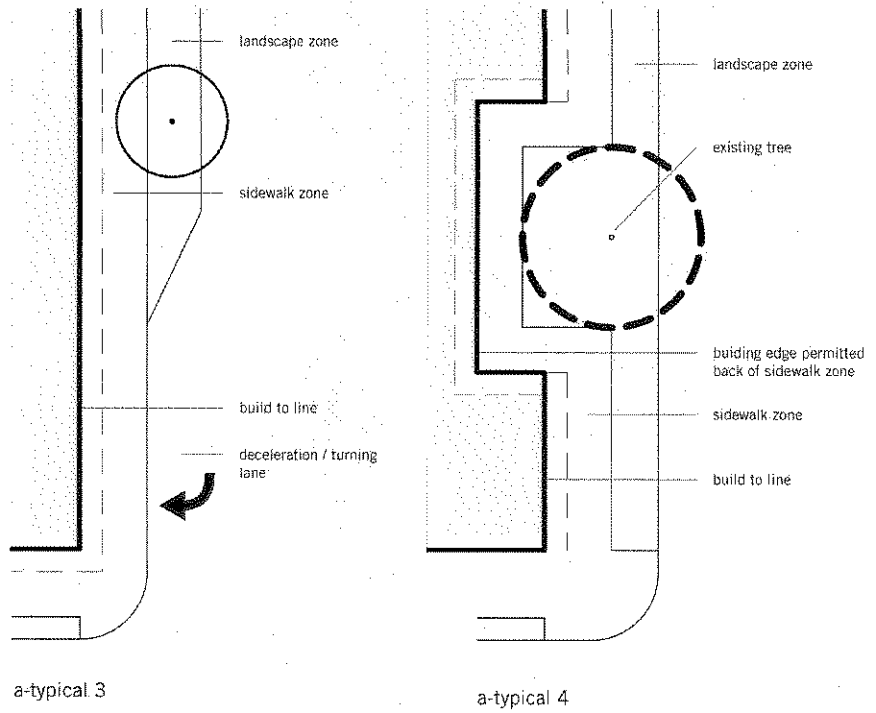
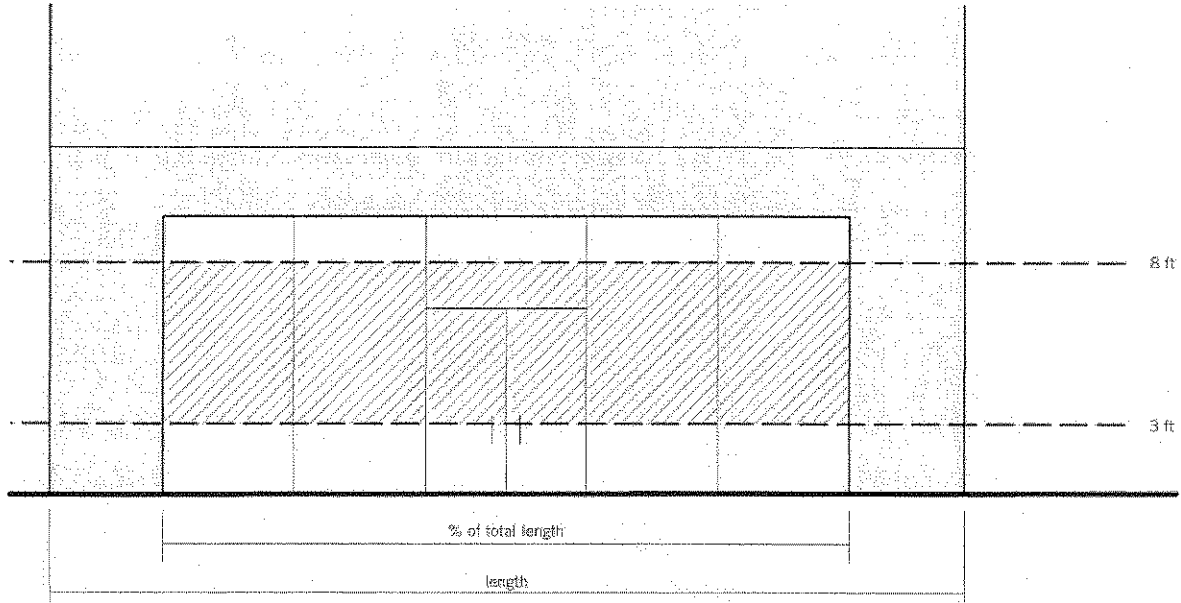


Fig. 2.6 - District Framework Plan - Streetscape Scenarios



guidelines:

- begin measurement no more than 3 ft above sidewalk elevation
- to a height no less than 8 ft above sidewalk
- fenestration measured as % of length of street frontage
- % of fenestration based on street type
- fenestration must be of windows or entrances with clear glass
- no more than 40 ft between intervening fenestration or entryways

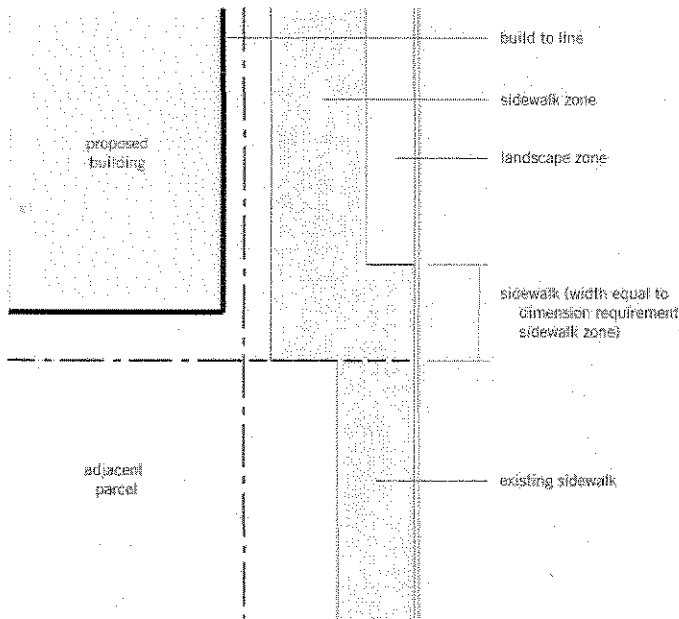


Fig 2.7 - District Framework Plan - Glazing, Fig 2.8 - Sidewalk Alignment

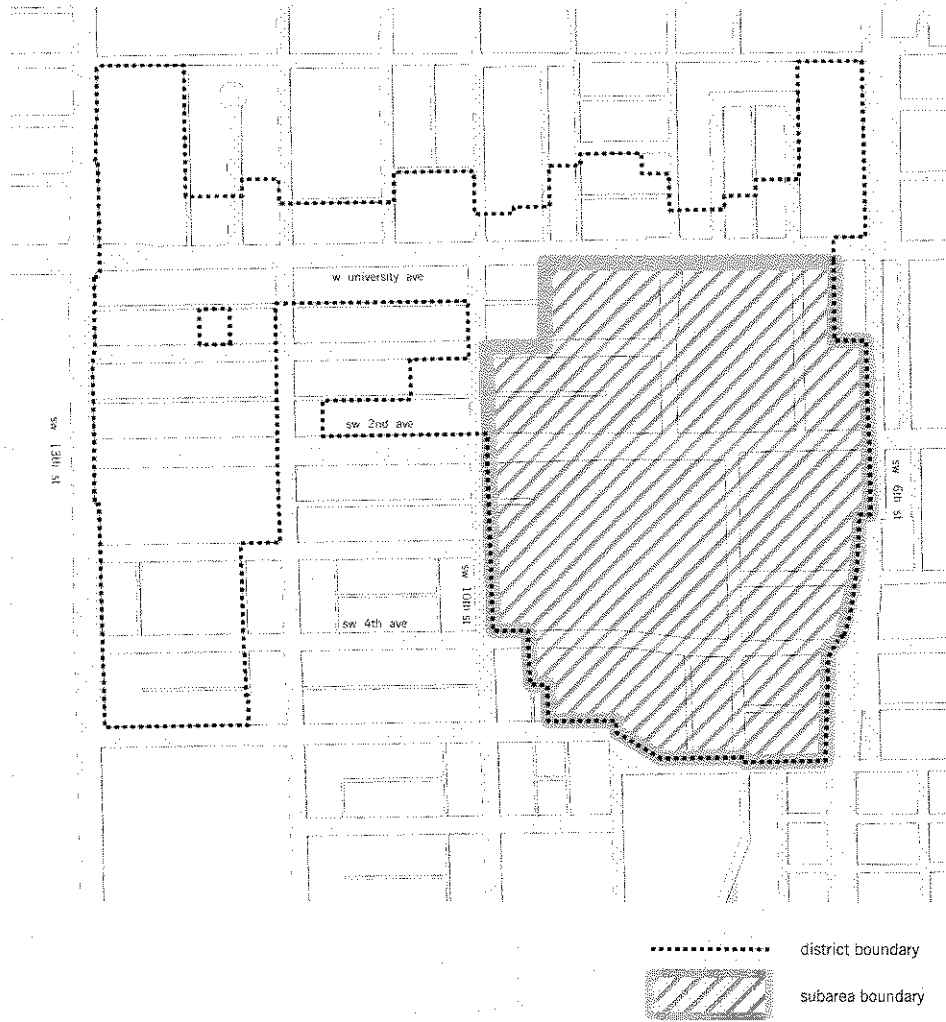
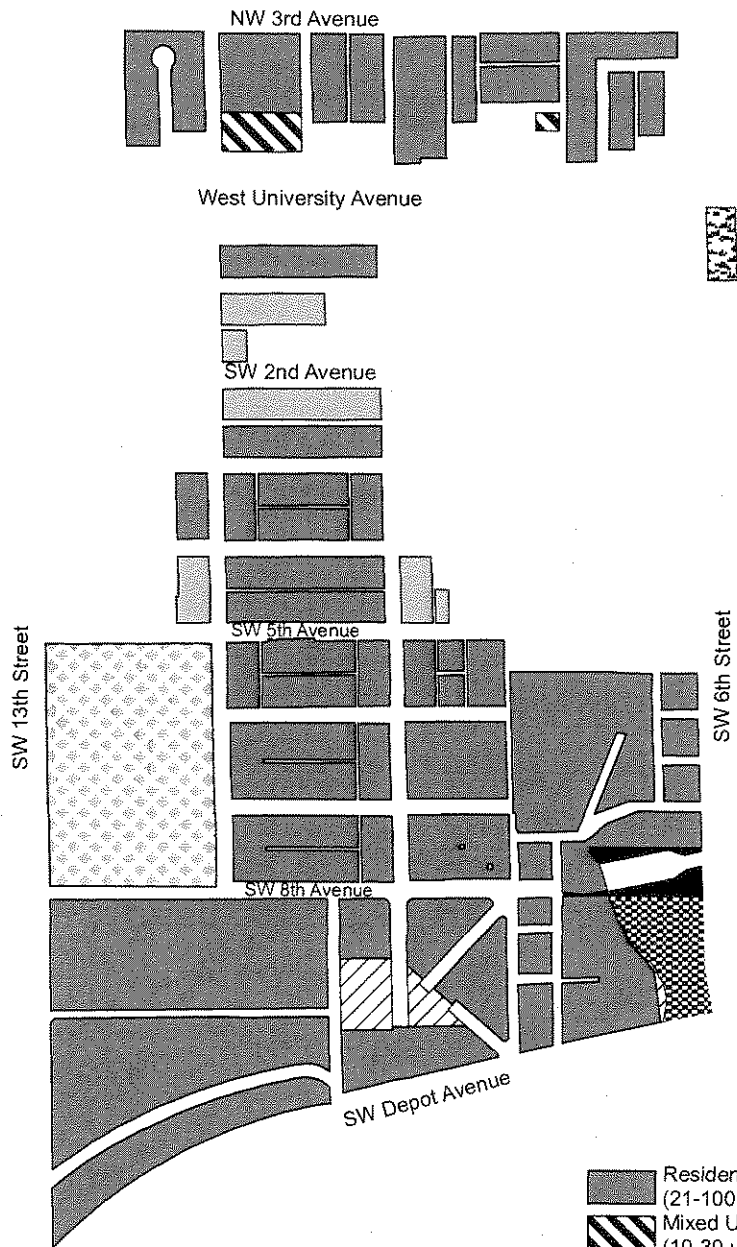


Fig. 9 - District Framework Plan - Innovation Area Map

APPENDIX C

Land Use and Building Type Matrix



- Residential High (21-100 units per acre)
- Mixed Use Low (10-30 units per acre)
- Office
- Commercial
- Education
- Public Facilities
- Planned Use
- Recreation
- Conservation

Building Type	Residential High (21-100 units per acre)	Mixed Use Low (10-30 units per acre)	Office	Commercial	Education	Public Facilities	Planned Use	Recreation	Conservation
Main Street Building									
Office Building									
Rowhouses	•	•	•	•	•	•	•	•	•
Garden Apartment	•	•	•	•	•	•	•	•	•
Large House									
House									
Outbuilding									
Civic Building									

UNIVERSITY HEIGHTS SPECIAL AREA PLAN MAP

APPENDIX D

SECTION 6. SPECIAL AREA PLAN FOR
UNIVERSITY HEIGHTS

ORDINANCE NO. 990733

0-00-88

AN ORDINANCE OF THE CITY OF GAINESVILLE, FLORIDA, IMPOSING THE SPECIAL AREA PLAN OVERLAY ZONING DISTRICT FOR "UNIVERSITY HEIGHTS" ON CERTAIN PROPERTY LOCATED SOUTH OF N.W. 3RD AVENUE, WEST OF N.W. AND S.W. 6TH STREET, NORTH OF S.W. DEPOT AVENUE, AND EAST OF N.W. AND S.W. 13TH STREET; ADOPTING A SPECIAL AREA PLAN FOR THIS PROPERTY; PROVIDING DIRECTIONS TO THE CODIFIER; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; AND PROVIDING AN IMMEDIATE EFFECTIVE DATE.

WHEREAS, the City Plan Board authorized the publication of notice of a Public Hearing that the text of the Land Development Code of the City of Gainesville, Florida, be amended; and

WHEREAS, notice was given and publication made as required by law and a Public Hearing was then held by the City Plan Board on December 16, 1999; and

WHEREAS, notice was given and publication made of a Public Hearing which was then held by the City Commission on February 14, 2000; and

WHEREAS, pursuant to law, an advertisement no less than 2 columns wide by 10 inches long was placed in a newspaper of general circulation notifying the public of this proposed ordinance and of a Public Hearing in the Auditorium of City Hall in the City of Gainesville, at least 7 days after the day the advertisement was published; and

WHEREAS, a second advertisement no less than 2 columns wide by 10 inches long was placed in the same newspaper notifying the public of the second Public Hearing to be held at the adoption stage at least 5 days after the day this advertisement was published; and

WHEREAS, the Public Hearings were held as advertised and the parties in interest and all others had an opportunity to be and were, in fact, heard;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF GAINESVILLE, FLORIDA:

Section 1. The Special Area Plan overlay district is imposed on certain property located south of ~~N.W. 3rd Avenue, west of N.W. and S.W. 6th Street, north of S.W. Depot Avenue and east of N.W. and S.W. 13th Street~~, as shown on the map on page 13 of Exhibit A, which is made a part hereof as if set forth in full.

Section 2. The University Heights Special Area Plan (Exhibit A) is hereby adopted. The specific regulations of the Special Area Plan for the aforementioned property and the administration and enforcement of these regulations as delineated in Exhibit A shall control and guide the development and use of the property.

Section 3. The city manager is authorized and directed to make these changes in the zoning map in order to comply with this ordinance and administer the provisions of the University Heights Special Area Plan.

Section 4. It is the intention of the City Commission that the provisions of the special area plan adopted by this ordinance shall become and be made a part of Land Development Code of the City of Gainesville, Florida, and that the Sections and Paragraphs of this ordinance may be renumbered or relettered in order to accomplish such intentions.

Section 5. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of this ordinance.

Section 6. All ordinances or parts of ordinances in conflict herewith are to the extent of such conflict hereby repealed, except as stated in this ordinance.

Section 7. This ordinance shall become effective immediately upon final adoption.

PASSED AND ADOPTED this 23rd day of
October, 2000.

Exhibit A. Special Area Plan
for University Heights

I. *Intent.* The City of Gainesville seeks to promote and control preservation and revitalization in this traditional neighborhood. History shows that a few traditional urban design conventions will generate building types and neighborhood forms which allow profitable, positive infill and change which strengthen property values and appearance, and which offer a high quality of life. These conventions are derived from many sources in planning literature including: *Civic Art* by Hegeman and Peets, *Great Streets* by Allan B. Jacobs, *The New Urbanism* by Peter Katz, and *AIA Graphic Standards, 9th Edition*.

This Code establishes standards for land development in order to:

1. Preserve and extend the historic neighborhood character through the design and placement of building types and public spaces.
2. Create high-quality street spaces by using buildings to form a pleasant, convenient and safe environment designed for pedestrians, bicyclists, public transit and motorists.
3. Enhance the viability of local businesses and reduce car travel demand by focusing growth in appropriate locations.
4. Provide a measure of predictability to property owners and occupants about what may be built on their land or their neighbors' property, yet allow for a market-driven mixture of land uses.
5. Encourage a wide range of building types and sizes that will offer a measure of self-sufficiency and sustainability, and adapt gracefully to change over time.
6. Make the neighborhood a pleasant place to live, that will attract a mix of long-term

residents reflecting the composition of the university community and adjacent neighborhoods.

II. Administration

A. *Required Compliance.* All new commercial, office, mixed-use and multi-family development (including single-family attached rowhouses) shall be required to comply with this Special Area Plan.

B. *Waiver from Compliance.* A Waiver from Compliance may be considered for applications that do not follow all aspects of the Special Area Plan, but offer exceptional benefits to the community. Applicants may request a Waiver from the design standards, but no waiver is allowed for uses. In granting a Waiver, the City Manager, designee, or appropriate reviewing board must find by substantial competent evidence that:

1. The proposed development contributes to, promotes and encourages the improvement of the University Heights Neighborhood and catalyzes other development as envisioned in the University Heights regulations.
2. The proposed development abides by all rules in this code other than those specially excepted. Special limitations apply to large footprint free-standing buildings (greater than 20,000 sq ft on the first story); see section IV.(I.) for these limitations.
3. The proposed development meets any reasonable additional conditions, restrictions or limitations considered deemed necessary or desirable by the City Manager, designee, or appropriate reviewing board, in order to preserve and promote the intent of the University Heights Special Area Plan.
4. The applicant proves an undue hardship, owing to conditions peculiar to the existing structure and not the

result of the action of the applicant, would result from the strict adherence to these standards because:

- a. The structure is officially designated as historically significant and these standards conflict with standards established for the preservation of historic structures, or;
- b. The application of these standards would result in inconsistency of proportion and scale with the existing structure, or;
- c. The application of these standards would result in the project being made financially impossible.

C. *Effect of Classification.* The University Heights Special Area Plan is applied as an Overlay Zoning District. If the provisions of the Special Area Plan conflict with the underlying zoning, the provisions of the Special Area Plan shall prevail. The effect of the classification is that the Special Area Plan is the applicable set of regulations. The regulations of the underlying zoning district and all other applicable regulations remain in effect and are further regulated by the Special Area Plan. Where the Special Area Plan addresses a requirement, the underlying zoning shall not apply. The underlying zoning and provisions of the Land Development Code shall apply when the Special Area Plan does not address a requirement. The University Heights Special Area Plan shall supercede any floor area ratio requirements in the Land Development Code.

III. Definitions

Appurtenances means architectural features not used for human occupancy consisting of: spires, belfries, cupolas or dormers; silos; parapet walls, and cornices without windows; chimneys, ventilators, skylights, antennas and screened mechanical equipment.

Arcade Building means a building with a ground level passageway through a part of the building. The passage is covered and lined with shops or booths. The passage may be more than one story in height with projecting balconies and walkways.

Awning means an architectural projection roofed with flexible material supported entirely from the exterior wall of a building.

Balcony means a porch connected to a building on upper stories supported by either a cantilever or brackets.

Breezeway means a freestanding colonnade connecting 2 or more buildings.

Catwalk means a balcony like walkway which is cantilevered or supported by columns along the side of a building. A catwalk provides access to interior spaces inside the building.

Colonnade or Arcade means a covered, open-air walkway at standard sidewalk level attached to or integral with the building frontage; the structure overhead is supported architecturally by columns or arches along the sidewalk.

Dwelling Area means the total internal useable space on all stories of a structure, not including porches, balconies, terraces, stoops, patios, or garages.

Expression Line means a molding or cornice extending or offset a minimum of 3 inches, from the surface plane of the building wall. Expression Lines delineate the transition between the story levels.

Frontage Street means the street in front of a property to which the front facade and main entrance is oriented.

Front Property Line means the line that delineates private ownership facing the street.

Garden Wall means a freestanding wall along the property line dividing private areas from streets, alleys, and or adjacent lots.

Liner Building means a building built in front of a parking garage, cinema, supermarket, etc., to conceal large expanses of blank wall area and to

face the street space with a facade that has doors and windows opening onto the sidewalk (see Item IV.(G.)(3)).

Lot Frontage means the property line adjacent to the frontage street.

Marquee means a permanently roofed architectural projection, the sides of which are vertical and are intended for the display of signs, which provides protection against the weather for the pedestrian, and which is supported entirely from an exterior wall of a building.

Outbuilding means a building or structure subordinate to the principal building, used for purposes customarily incidental to the main or principal building, and located on the same lot or set of attached lots there. Outbuildings can be used as residential dwellings.

Parapet means a low wall or barrier built above the cornice of a building, whether built with a sloped or flat roof. A parapet is typically of solid construction and may be broken with crenulations. When corbelled out from the surface of the wall it crowns, parapets may take the place of a cornice.

Primary Street or Space means the street that a lot fronts. At squares and street intersections the larger, more important is the primary street.

Principal Plane means vertical plane which corresponds to the largest front facade of the building.

Private Outdoor Space means the square footage of a lot that is not occupied by buildings, swimming pools, or parking lots. Impervious areas such as decks, patios, terraces, walkways and pavement surrounding a pool shall be considered as private outdoor space.

Property Line means the line which delineates private ownership.

Rowhouse is one of a group of 3 or more attached dwelling units divided from each other by a common wall and each having a separated front entrance from the outside of the at ground level.

Stoop means a small platform, entrance stairway at a house door, or both, covered by a second-

ary roof or awning. The stoop projects from the primary building plane. Catwalks or breezeways are not considered stoops.

Storefront means building frontage for the first story usually associated with retail uses.

Story means that portion of a building included between the upper surface of a floor and upper surface of the floor or roof next above.

Structured Parking means layers of parking stacked vertically.

IV. General Provisions

A. *Facade Requirements.* Building facades shall have windows, sills, lintels, expression lines and a cornice. The front facade of the building is also required to have its primary entrance face the street. Main Street Shopfront buildings do not require sills or lintels on first story Shopfront windows that display merchandise. On attached building types such as Shopfront buildings or Rowhouses, the sides located on interior property lines do not require windows, expression lines, or cornices.

Expression lines are required on stucco and brick buildings.

Front entrances shall be required on all buildings, and, for nonresidential buildings, a minimum of 50% glazing at the first story level shall be required on all street facades (for each story facing streets above the first story, 15% to 70% of its facade shall consist of glazing). For multi-family residential, a minimum of 30% glazing at the first story level shall be required on all street facades.

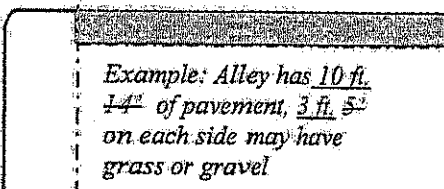
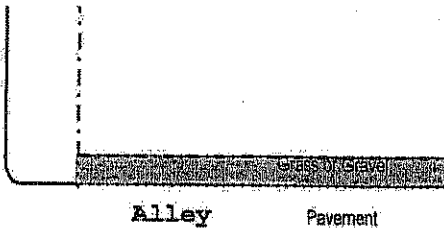
On detached building types, windows are required on the interior sides on all stories of all structures set back greater than 3 ft from the side property line. A minimum of 10% glazing is required on all stories.

Detailed facade requirements are specified in the Building Types section.

B. *Outbuildings:* Outbuildings are permitted as parking garages, apartments, storage space, and trash receptacles. Outbuild-

ings shall be located at the rear of the lot (or at minimum sit behind the front plane of the principal structure).

- C. *Alleys:* Existing alleys and alley rights-of-way are prohibited from being removed or vacated, except when the City Commission determines that the alley no longer serves a public purpose.



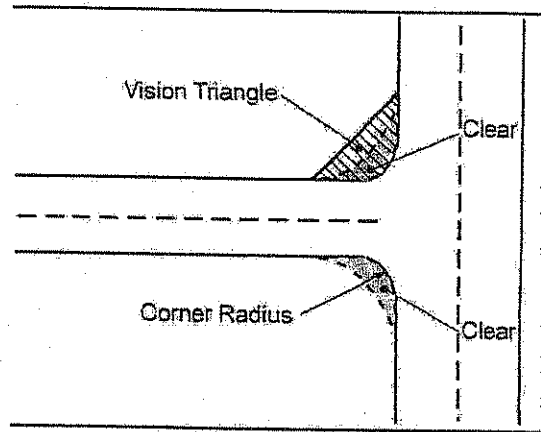
New alleys can be incorporated into the redeveloped areas of the neighborhood to minimize curb cuts and to provide access to parking and service areas behind buildings. New alleys may be a minimum of 10 ft and a maximum of a 16 ft of right-of-way.

Landscaping, trash receptacles, and other objects must remain outside the alley right of way.

Alleys may be incorporated into parking lots as drive aisles.

- D. *Corner Radii & Clear Zones:* Corner curb radii should be between 9 ft for residential streets, including alleys, and 15 ft for commercial streets such as University Avenue. Fairly tight turning radii such as these shorten pedestrian crossings and inhibit reckless drivers from turning corners at high speeds. Corner radii and

clear zones shall be created within the vision triangle established using AASHTO standards.



A Clear Zone at corners can allow emergency vehicles such as fire trucks to turn corners. A Clear Zone is an area free of all vertical obstructions including, but not limited to, telephone poles, sign poles, fire hydrants, electrical boxes, or newspaper boxes. A clear zone with a radius of 20 ft is sufficient for emergency vehicles.

- E. *Exceptions from Build-to Lines:* Exceptions from the build-to lines standard may be granted by the City Manager, designee, or appropriate reviewing board, for:

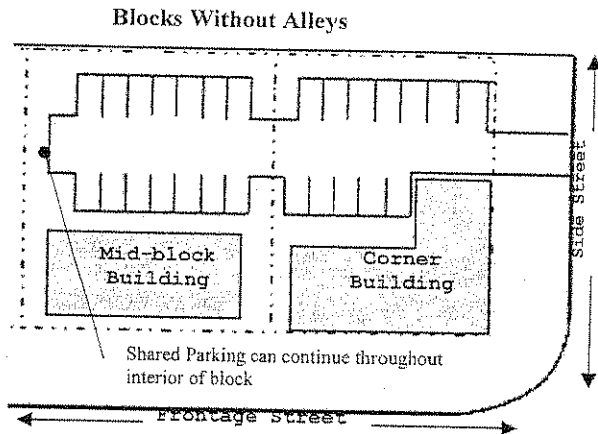
1. avoiding trees with calipers greater than 8 inches; or
2. creating space sufficient for sidewalks.

- F. *Parking:*

1. *Parking Requirements* Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act and Florida Accessibility Code.

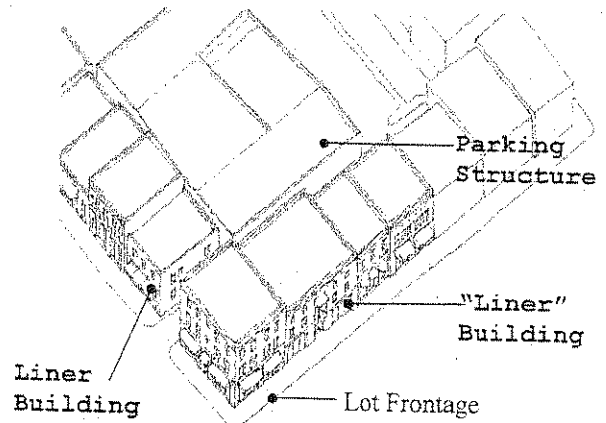
Other than ADA and FAC, there shall be no minimum auto parking requirement, except bicycle parking, which shall be provided as specified by Sec. 30-332. There shall be a

maximum auto parking allowance of 1 parking space per 400 sq ft of gross floor area.



2. *Off-Street Surface Parking Lots* Off-street surface parking lots as a principal use are prohibited.
3. *Structured Parking Lot Placement* Parking structures (or parking portions of mixed-use structures) shall be set back a minimum of 30 ft from the property lines of all adjacent streets. "Liner buildings" shall be placed between parking structures and the lot frontage. The liner building shall have a height greater than or equal to the parking structure or parking portions of mixed-use structures. Liner buildings shall be no less than 2 stories or 34 ft in height. Liner buildings may be detached form or incorporated into parking structures. A point of entry is allowed on side streets. When the size of the parcel would prohibit the development of a liner building between the parking structure and the lot frontage of all adjacent streets, the liner building must be placed along the more primary street frontage and along other frontages only where feasible. The

more primary street shall be decided by the planning and development services department staff and approved by the appropriate reviewing board. Building facade and landscaping enhancements will be required on all other frontages to ensure that there will be no blank walls along street frontages. In instances where full-height liner buildings or liner portions of mixed-use buildings are infeasible, the liner may be limited to first-story retail, office or residential use (as appropriate under applicable zoning).



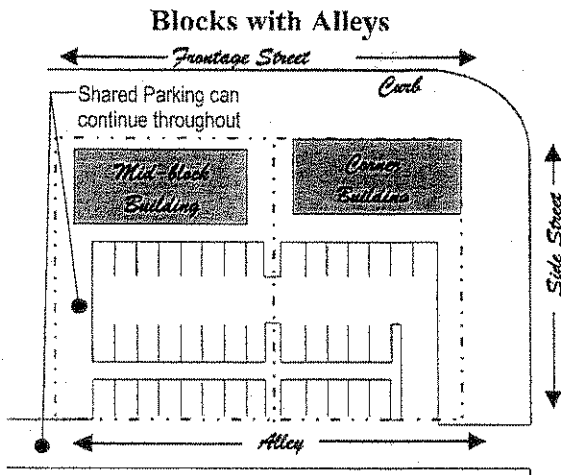
4. *Access to Off-Street Parking* All motor vehicle surface parking shall be located in the rear or interior side of the building, or both, with rear encouraged. No surface parking area shall extend for a width of more than 70 ft along any street frontage without a building, outdoor cafe, or a vertically prominent and articulated pedestrian-oriented feature interrupting the parking streetscape. Surface parking shall not occupy lots which terminate a street vista.

Alleys, when present, shall be the primary source of access to off-street parking, although the city manager

or designee may make an exception for access to structured parking, which may be better served by a side street.

Alleys may be incorporated into parking lots as a standard drive aisle. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is also encouraged.

In blocks without alleys, mid-block buildings may develop before corner buildings. Access to the side street may not be possible because of the corner building being set back. A driveway from the frontage street may be granted by the City Manager, designee, or appropriate reviewing board. Once corner sites redevelop and allow access to side streets, the City may require the driveway on the frontage street to be removed. Corner lots that have both rear and side access shall access parking through the rear (see diagram). Garages shall always be accessed from the alley and located in the rear of the lot, when possible.



5. *Garages where Alleys are Not Present*
If no alleys exist, then garage door(s) shall be positioned no closer to streets,

square or parks than 20 ft behind the principal plane of the building frontage. Garages facing streets, squares or parks are limited to one car width. However, 2-car garages are allowed, where alleys are not present, so long as the garage is located in the rear of the lot. Doors shall not exceed 10 ft in width.

- G. *Storm Water Management*: The requirements of the City's Land Development Code shall apply. In lieu of on-site stormwater management facilities, master facilities may be developed within the watershed to either take the stormwater runoff directly or through mitigation of runoff generated from other properties within the watershed, when approved by the City Manager or designee.
- H. *Large Footprint Buildings*: Commercial buildings with a free-standing, first-story footprint greater than 20,000 sq ft may be built within the University Heights Neighborhood, by Special Use Permit. These buildings must abide by all rules in this Code with the following special limitations:
- a. Buildings may be one story or more in height, but shall be at least 24 ft in height. This may be accomplished with liner buildings or higher ceiling heights or parapets, or a combination of features.
 - b. Buildings that are 2 stories in height, must be a minimum of 27 ft to a maximum of 36 ft.
 - c. Buildings are exempt from maximum lot size restrictions.
 - d. Requirements for opacity and facades shall be met.
- I. *Civic Sites*: Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities, and places of

assembly. Civic buildings are not subject to build-to line requirements or building frontage requirements. The design of Civic buildings shall be subject to review and approval by the City Manager, designee, or appropriate reviewing board.

- J. *First Story Height for Residential:* Residential uses on the first story shall have a finished floor height raised a minimum of 1.5 ft above grade. The appropriate reviewing board may reduce the finished floor height as long as the proposed elevation is consistent and compatible with existing structures in the area.
- K. *Sidewalks Required:* Developing or redeveloping properties shall construct or improve sidewalks as required by the City Manager or designee. Developing or redeveloping properties are required to repair sidewalks damaged during construction, following standards in subsection (Q) below.
- L. *Landscape Standards:*

Total Number of Trees Required

Developing or redeveloping properties are required to provide shade trees based on the lot's private outdoor space. The property owner is also required to improve the adjacent public right-of-way to the standard set by the Special Area Plan and City Manager or designee.

Three trees including at least 2 shade trees are required for every 1,200 sq ft of private outdoor space on the lot.

Parking lots other than single-family driveways shall meet the landscape requirements specified in the Land Development Code. Street buffer yards requirements specified in the Land Development Code shall also be met. Spacing of street trees shall be as set forth below. The front buffer requirements may be modified or reduced if the build-to line established by the City Manager or designee or the appropriate reviewing board precludes or reduces the front buffer area. Tree spac-

ing shall be in accordance with the right-of-way planting requirements rather than the underlying buffer requirements.

Existing trees on the lot and on the adjacent swales may count toward the total number of trees required. The City Manager or designee shall approve which existing trees may count towards the total required trees.

Street Trees

Street trees intended to provide pedestrian shade may be located in the right-of-way swale or near the sidewalk on the private property. The City prefers street trees between curb and sidewalk but recognizes that utilities or space constraints may dictate that street trees shall sometimes be required instead on private property behind the sidewalk.

Commercial and mixed-use streets (such as University Avenue) shall have shade trees planted with an average spacing of 35 ft on center. Trees are not required when arcades and colonnades are present.

Residential Streets shall have shade trees planted an average spacing of 30 ft on center.

Quality of Trees

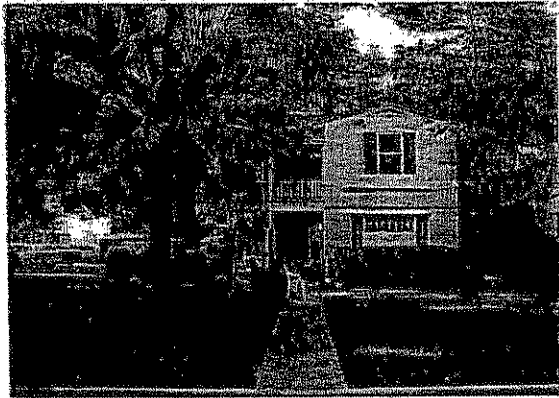
All trees planted shall be Florida Grade #1 or better, with a trunk caliper of at least 2 inches in a 25-gallon container. Species must be chosen from the list of trees in the Approved Tree List in the Land Development Code. Each shade tree shall have a minimum root area of 140 sq ft at or below grade. The minimum root space requirement can be met by using soil materials that are engineered to accommodate root growth under hardscape.

- M. *Building Additions:* Building additions—attached or detached—shall be in keeping with the Special Area Plan. The primary structure on the site shall be classified into one of the building type categories by the City Manager or designee. The build-

ing addition shall then follow the requirements as described for the appropriate building type.

Additions shall be in keeping with the architectural style of the existing structure or standards set by the City Manager or designee.

- Exterior walls should be of the same or compatible materials and finish as the existing structure.
- Windows should have a similar proportion and style of mullions as the windows of the existing structure.
- New roof additions should be a similar material to the existing roof.



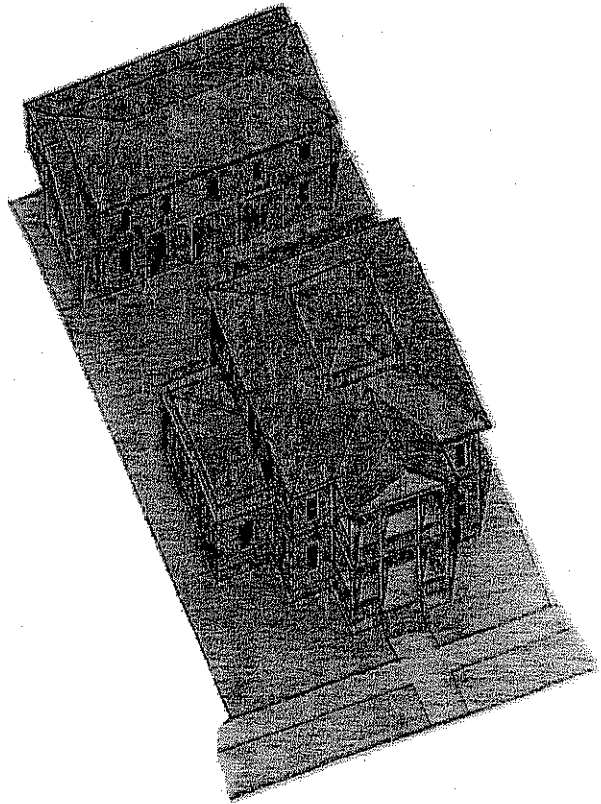
Existing Conditions



Computer simulation of a house with new addition.

- N. *Adaptive Reuse:* The University Heights neighborhood has many long-term residents as well as student rentals. Outbuildings as well as building additions can be used to accommodate the student population without compromising the neighborhood character.

On this page is an example of a large house with an outbuilding. It is shown on a typical size lot. These 2 buildings would fit neatly into the urban fabric. This form of adaptive reuse is not new to the neighborhood. Several existing homes with outbuildings presently provide housing for students in this way.



O. *Trash Dumpsters:*

Intent. Trash dumpsters shall be provided without compromising the quality of the street. Trash dumpsters shall not be visible or malodorous to pedestrians.

Standard. If stored outside of the building, and if the building is not residential only, all solid waste, recycling, yard trash containers (except litter containers), and grease containers, shall be placed at the side or the rear of the building and attached to that building with an enclosing wall, so that they are not visible from the street. The enclosing wall shall not exceed 7 ft in height, and shall be finished or painted with the same material as is used on the building. The enclosing wall shall be fitted with an opaque sliding or hinged door and working latch. Loading docks shall be placed at the side or rear of the building, and shall be screened from the street. If the building is residential only, these containers, in addition to the above, shall be located in parking areas or in a location remote from the streetside sidewalk. When in a parking area, solid waste, recycling, and yard trash containers (except litter containers), and grease containers shall be located in that part of the parking area furthest from the streetside sidewalk, or at least 20 ft from a streetside sidewalk. These containers shall be screened with an enclosing wall to minimize sound to and visibility from abutting streets or residences.

"Trash Shacks," a sealed and cooled self-compacting container, may be used.

P. *Prohibited Uses:*

Intent. Certain uses decrease streetfront vitality, and are so exclusively oriented toward or designed to attract motor vehicles, that they contribute to visual blight, and lack of human scale for a traditional area. As a result, these uses are not compatible with the University Heights Neighborhood.

Standard. The following uses are prohibited:

- Auto Dealers, Auto Service and Limited Auto Services (IN-5511, MG-753)
- Carwashes (IN-7542)
- Gas Service Stations (IN-5541)
- Gasoline pumps when accessory to a Food Store (MG-54)
- Off-street surface parking lots as a principal use.
- Drive-throughs (new or expanded).

Q. *Sidewalks:*

Intent. Sidewalks, when properly designed and maintained, provide the pedestrian with a pleasant, safe, and convenient place to walk. Sidewalks which are too narrow are inconvenient, especially in areas with large volumes of pedestrians, for pedestrians walking side-by-side (which requires a minimum sidewalk width of 5 ft unobstructed), and for people using wheelchairs. In addition, sidewalks that are too curvilinear or that wrap around large block faces are an impediment to pedestrian convenience.

Standard. All buildings or developments must provide sidewalks along the street edge(s) of their property. Sidewalks shall be placed to align with existing sidewalks. Sidewalk connections from the principal building to the public sidewalk, with at least 5 ft of clear width, must be provided, and be aligned to minimize walking distance. Curvilinear sidewalks are not allowed unless they are necessary to avoid significant trees, stormwater basins, or topography, as determined by the appropriate reviewing board, city manager or designee.

The maximum length of a block face shall be 480 ft, unless shortened with cross-access sidewalks, arcades or alleys, so that the face is no more than 480 ft.

Minimum sidewalk widths:

<i>Street Classification</i>	<i>Multi-family Residential/ Industrial (feet)</i>	<i>Commercial/ Institutional/ Office/ Mixed-Use (feet)</i>
Local	6	7
Collector	7	8
Arterial	7	10

- Outbuilding
- Civic Building

The minimum unobstructed width shall be 2 ft less than the required sidewalk width, as long as at least 5 ft of unobstructed width is retained. At transit stops, the minimum width is 8 ft of unobstructed width. Minimum width for a tree strip shall be 4 ft, or such other width as may be adequate for tree placement, unless the tree strip requirement is waived by the appropriate reviewing board, city manager or designee.

R. Permitted by special use permit.

- Rehabilitation centers.

V. *Building Types:* New buildings under this Special Area Plan are regulated by building type. They are mandatory for the University Heights Neighborhood as delineated in the map at the end of subsection V.

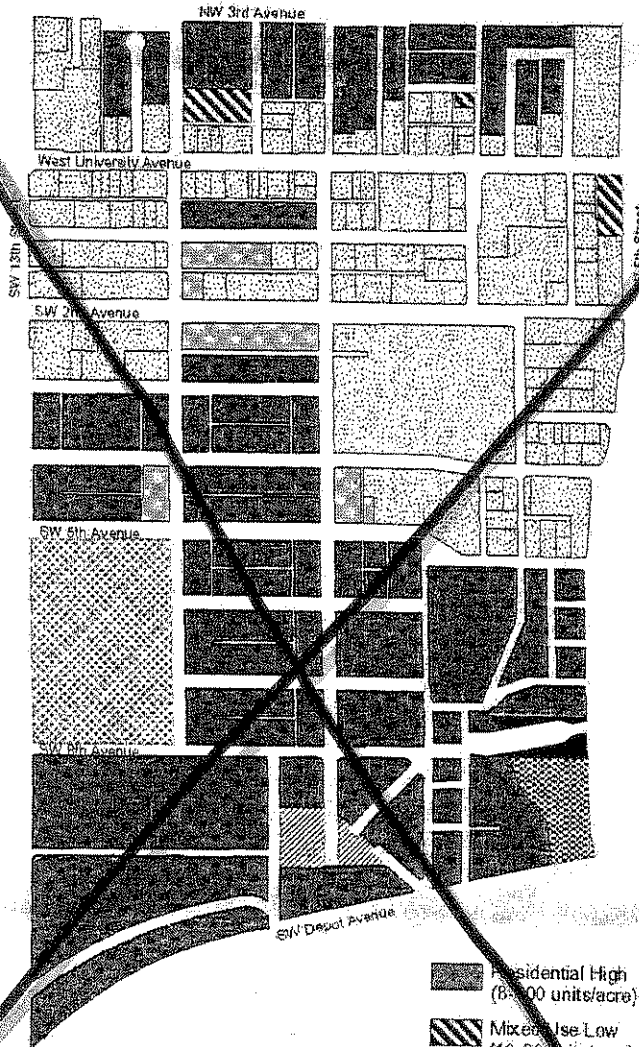
On the following pages, diagrammatic examples are used to illustrate intended, advisory building locations, configurations and dimensions. The accompanying numbers and text are rules. Architectural style is not regulated; the graphics are illustrative only.

Building types can be built within the appropriate Land Use Category.

The following building types are described in this code:

- Main Street Shopfront Building
- Office Building
- Rowhouse
- Garden Apartment
- Large House or Apartment Building
- House

Land Use and Building Type Matrix

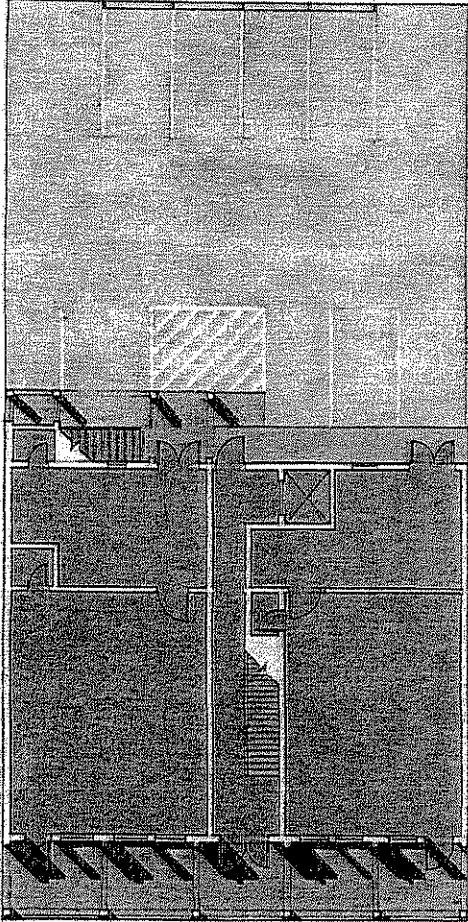


- Residential High (8-100 units/acre)
- Mixed Use Low (10-30 units/acre)
- Office
- Commercial
- Education
- Public Facilities
- Planned Use
- Recreation
- Conservation
- Urban Mixed Use 2

	Main Street Building	Office Building	Rowhouses	Garden Apartment	Large House	House	Outbuilding	Cruciform Building
Residential High (8-100 units/acre)			*	*	*	*	*	*
Mixed Use Low (10-30 units/acre)	*	*	*	*	*	*	*	*
Office	*	*	*	*	*	*	*	*
Commercial	*	*	*	*	*	*	*	*
Education	*	*	*	*	*	*	*	*
Public Facilities	*	*	*	*	*	*	*	*
Planned Use	*	*	*	*	*	*	*	*
Recreation	*	*	*	*	*	*	*	*
Conservation	*	*	*	*	*	*	*	*
Urban Mixed Use 2	*	*	*	*	*	*	*	*

Main Street Shopfront Building

A shopfront building is a basic unit of a traditional mixed-use street. It is sited at the front property line and features a ground floor that is roughly level with the sidewalk. The ground floor facade of the street has a large amount of transparent window and door openings.



Building Placement:

Building Width 200 ft maximum
 Building Frontage 70% minimum to 100% maximum lot frontage

Build-to line locations

Corner Lots:

0—15 ft. from the front property line
 (see note 6 below)

0—15 ft. from the side street property line (see note 6 below)

Interior Lots:

0—15 ft. from the front property line
 (see note 6 below)

Side Setback

None when next to other shopfront buildings, office buildings, rowhouses, nonresidential vacant lots and out-buildings; 8 ft. when next to all other types or next to a residential vacant lot

Building Coverage Height: 80% maximum

Maximum Height 58 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply.

Minimum Height 2 stories at least 27 ft. above grade. Dormers are not considered stories.

First Story Elevation

10 feet floor to ceiling minimum.

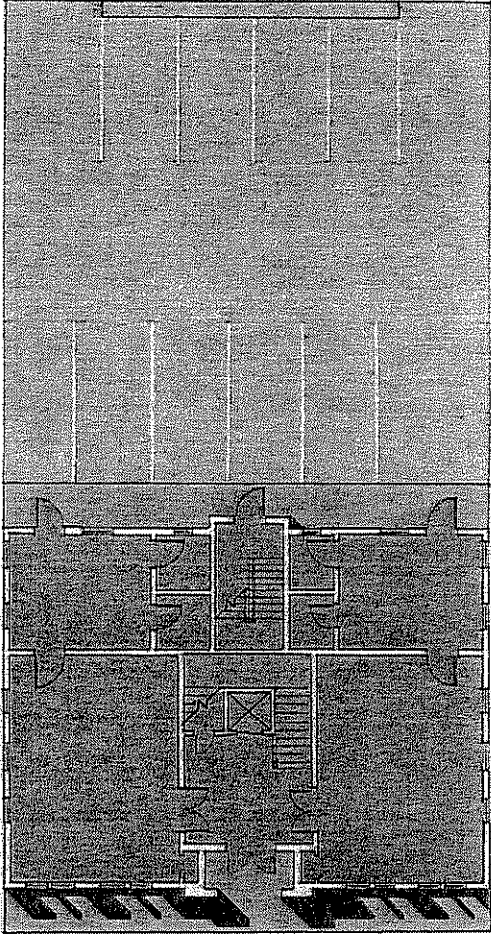
Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: porch, arcade, colonnade, 2nd story balcony, marquee or awning, extending at least 80% of the building facade.
3. A cornice line is required at the top of the front and side facades facing streets. The cornice shall be at least 18 inches in height.
4. A parapet with cornice is required on flat or shed roofs, at the top of the front and side facades facing streets. Parapets shall be a minimum of 2 ft in height.
5. An expression line is required between the first and second stories on the front facade and along the sides visible from the street except for buildings of wood or cementitious siding.

6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.
7. Courtyard buildings are permitted.

Office Building

An office building is appropriate to line wider thoroughfares. It is placed towards the front of its lot and features a first story roughly level with the sidewalk.



Building Placement:

Building Width 80 ft. maximum
 Building Frontage 70% minimum to 100% maximum lot frontage

Build-to line locations

Corner Lots:

0—15 ft. from the front property line (see note 6 below)

0—15 ft. from the side street property line (see note 6 below)

Interior Lots:

0—15 ft. from the property line (see note 6 below)

Side Setback

None when next to other office buildings, shopfront buildings, rowhouses, non-residential vacant lot and outbuildings;

8 ft. when next to all other types or next to a residential vacant lot

Building Coverage

80% maximum

Height:

Maximum Height

58 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply.

Minimum Height

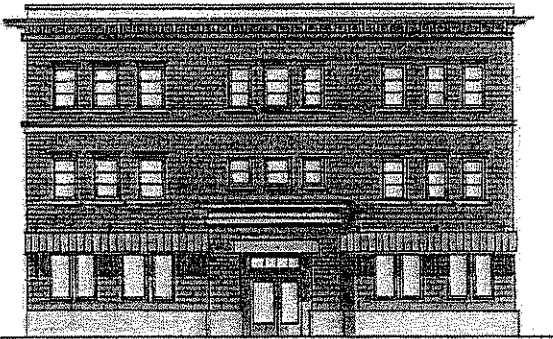
2 stories at least 27 ft. above grade. Dormers are not considered stories.

First Story Elevation

10 feet floor to ceiling minimum.

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: porch, arcade, colonnade, 2nd story balcony, marquee or awning, extending at least 80% of the building facade.
3. A cornice line is required at the top of the front and side facades facing streets. The cornice shall be at least 18 inches in height.
4. A parapet with cornice is required on flat or shed roofs, at the top of the front and side facades facing streets. Parapets shall be a minimum of 3 ft in height.
5. An expression line is required between the first and second stories on the front facade and along the sides visible from the street.



6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.
7. Courtyard buildings are permitted.

Rowhouse

A rowhouse is placed towards the front of the lot and shares one or more common walls with its neighboring units. Entry is usually through a covered stoop. A rowhouse can be a residence for one or 2 families, or apartments, or a combination.

Building Placement:

Building Width 40 ft. maximum per individual unit
 Building Frontage 60% minimum to 100% maximum lot frontage
 Build-to line locations

Corner Lots:

0—15 ft. from the front property line (see note 6 below)
 0—15 ft. from the side street property line (see note 6 below)

Interior Lots:

5—20 ft. from the property line

Side Setback

None when adjacent to another rowhouse, shopfront building, office building, outbuilding; and nonresidential vacant lot.

8 ft. when next to all other building types or next to residential vacant lots.

Rear Setback

Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.

Building Coverage
 Minimum Lot Size

70% maximum
 An individual row house may be placed on a lot at least 15 ft. wide and 75 ft. deep.

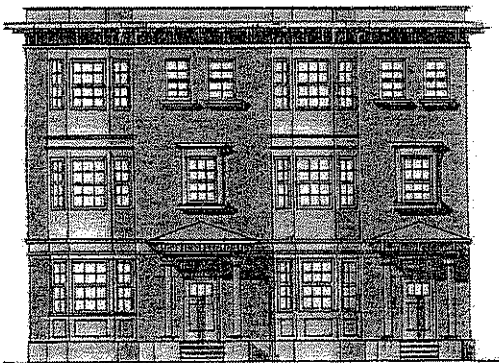
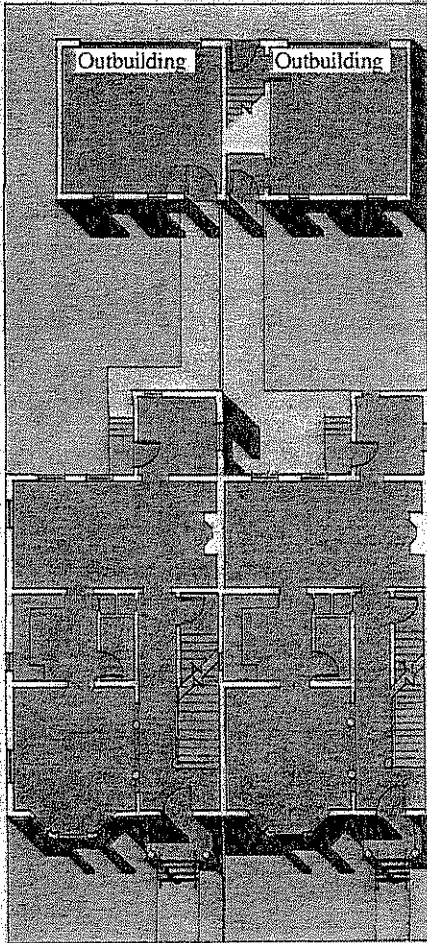
Height:

Maximum Height

48 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply.

Minimum Height

2 stories at least 24 ft. above grade. Dormers are not considered stories.



Building Placement:

First Story Elevation 1.5 ft. above grade, minimum (4 ft. recommended).
When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

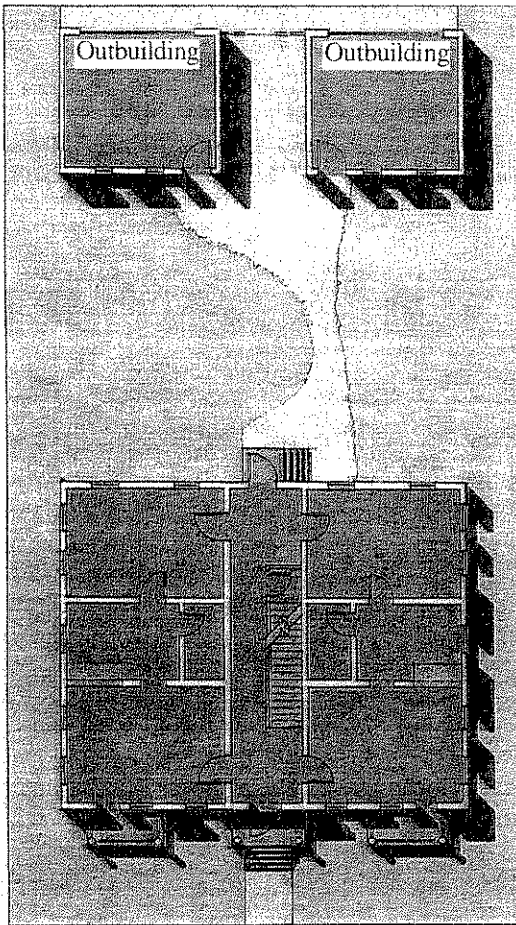
1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have either a stoop or front porch.
3. Flat roofs with a parapet or gabled roofs are permitted.
4. Expression lines are required between the first and second stories along the front facade and the sides if visible from the street, on brick or stucco buildings.
5. Cornice lines are required for rowhouses.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.

Advisory Guideline:

1. Each rowhouse unit shall have a separate entrance to the street.

Garden Apartment Building

A garden apartment building shares a central stair core for 2 bays. The building is placed towards the front of the lot and does not share common walls with its neighboring units. Entry is typically through a covered stoop. A backyard or "garden" is shared behind the building.



Building Placement:

Building Frontage 65% minimum to 85% maximum lot frontage

Build-to line locations *Corner Lots:*
 5—15 ft. from the property line (see note 5 below)
 0—15 ft. from the side street property line (see note 5 below)

Interior Lots:
 10—20 ft. from the property line

Side Setback 8 ft. from the side property line

Rear Setback Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.

Building Coverage 60% maximum

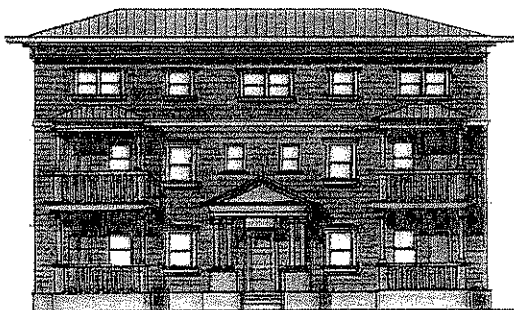
Height: Maximum Height 48 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply.

Minimum Height 2 stories at least 27 ft. above grade. Dormers are not considered stories.

First Story Elevation 1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have either a stoop or front porch.
3. An expression line is encouraged between the first and second story.
4. A cornice line is required on Garden Apartment Buildings.
5. The City Manager, designee or appropriate reviewing board will set build-to line location to accommo-



date sidewalks and street trees.

Apartment Building

An Apartment Building is detached and has separate apartment units.

Building Placement:

Building Frontage 40% minimum to 70% maximum lot frontage

Build-to line locations
Corner Lots:
 10—20 ft. from the front property line
 10—20 ft. from the side property line

Interior Lots:
 15—25 ft. from the front property line

Side Setback 8 ft. from side property line
 Rear Setback Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.

Building Coverage 50% maximum

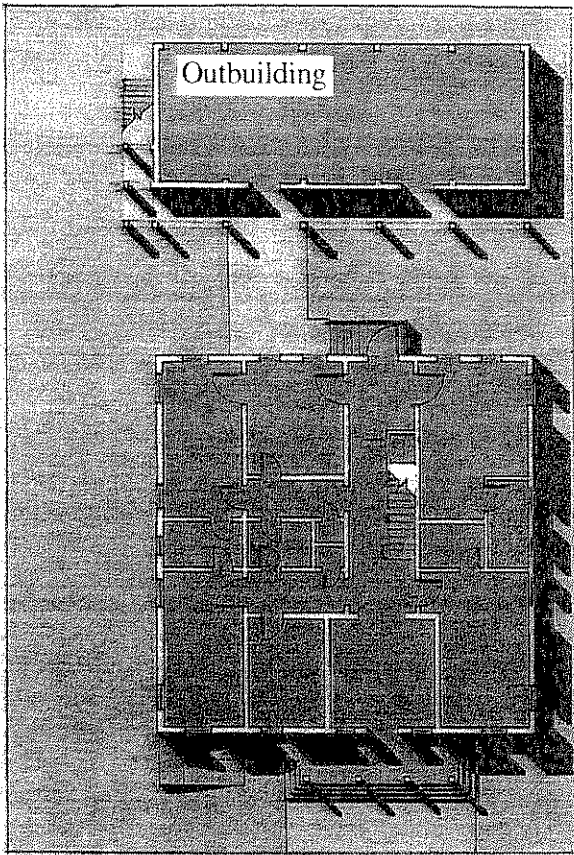
Height:
 Maximum Height 48 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply.

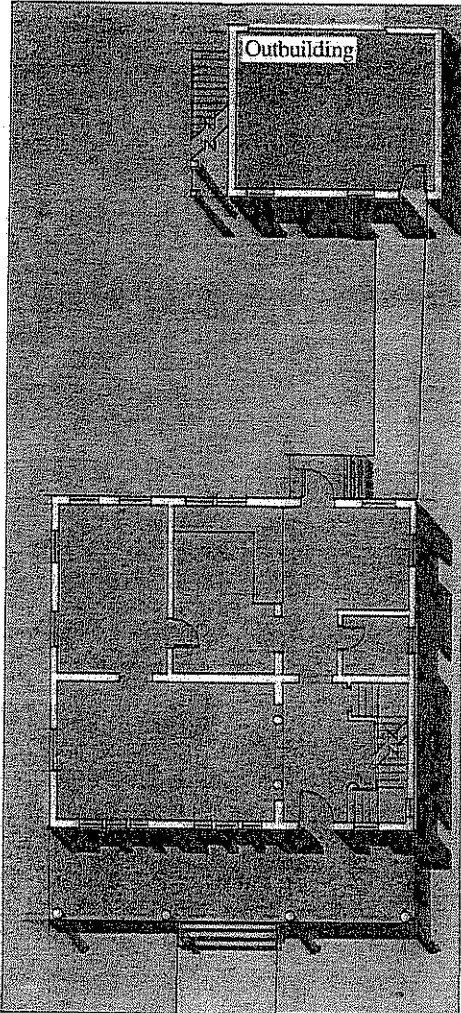
Minimum Height 2 stories at least 27 ft. above grade. Dormers are not considered stories.

First Story Elevation 1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Buildings are required to have either a front or side porch (may be waived or replaced by a stoop with approval by the City Manager, designee or appropriate reviewing board).
3. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.





House

A House is suited for smaller lots. A house is detached and has yard on all 4 sides.

Building Placement:

Building Frontage	40% minimum to 70% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i> 10—20 ft. from the property line 10—20 ft. from the side street property line <i>Interior Lots:</i> 15—25 ft. from the property line
Side Setback	5 ft. from the side property line
Rear Setback	Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.
Building Coverage	40% maximum
Height:	
Maximum Height	48 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply.
Minimum Height	12 ft. above grade
First Story Elevation	1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Buildings are required to have either a front or side porch (may be waived or replaced by a stoop with approval by the City Manager, designee or appropriate reviewing board).
3. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



Outbuilding

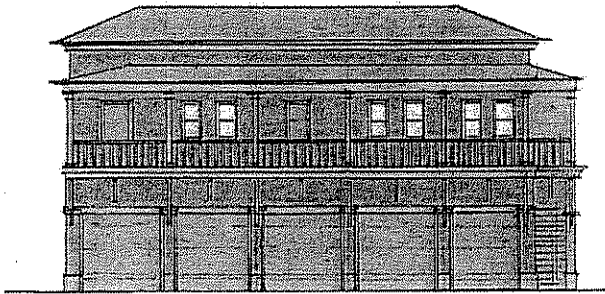
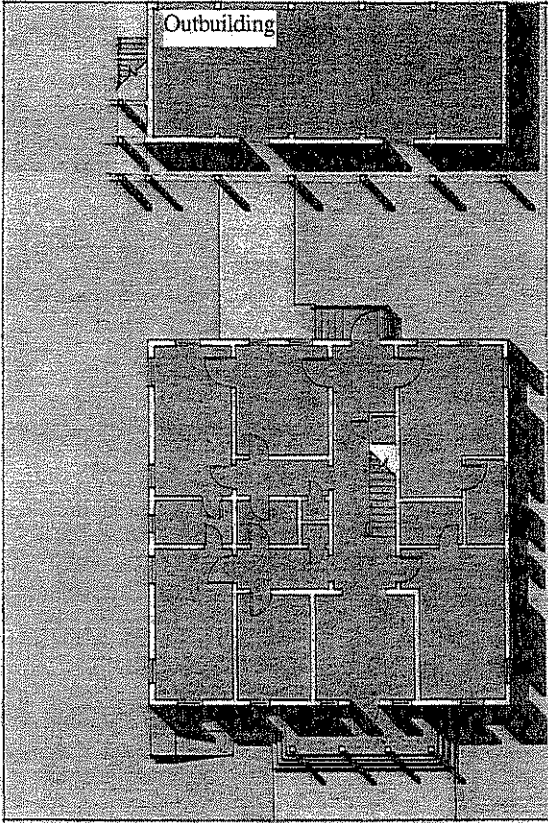
Outbuildings are located in the rear of the lot. These buildings are behind the principal structure, at the rear of the lot. They may have parking, apartments, storage and trash receptacles.

Building Placement:

Building Frontage	0% to 85% of rear lot frontage
Build-to line locations	5—20 ft. from the rear property line
Side Setback	3 ft. from side property line. 0 ft for rowhouse adjacent to another rowhouse.
Building Coverage	1,300 sq. ft. maximum and no larger than principal structure
Height:	
Maximum Height	2 stories or 27 ft. above grade, except in the UMU-2 zoning district, where Sec. 30-65.2 shall apply. Dormers are not considered stories.
Minimum Height	1 story or 13 ft. above grade

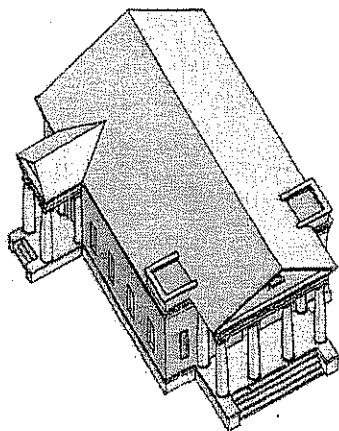
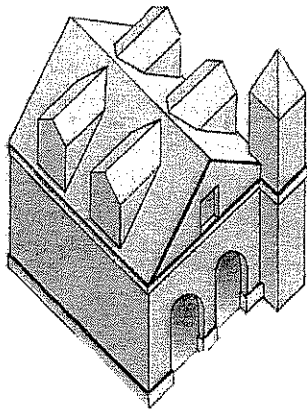
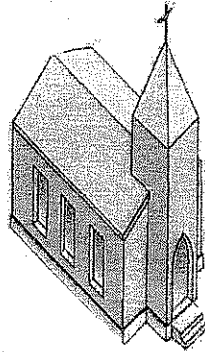
Note:

1. Exterior walls should be of a similar material to the primary structure.
2. Windows should be of similar proportion and style of mullions as the windows of the primary structure.
3. Roofs should be of similar material to the primary structure.
4. For shallow lots, less than or equal to 75 ft deep, outbuildings may occur in the sideyard provided they are not forward of the principal structure. The outbuilding must be behind the build-to line and side setback of the principal structure. Outbuildings that are garages located on shallow lots, shall follow the requirements under the Special Area plan, General Provisions, (G)(5), Garages where Alleys are Not Present.



Civic Building

Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities and places of assembly. Accessory residential uses customarily and clearly incidental to the principal use.

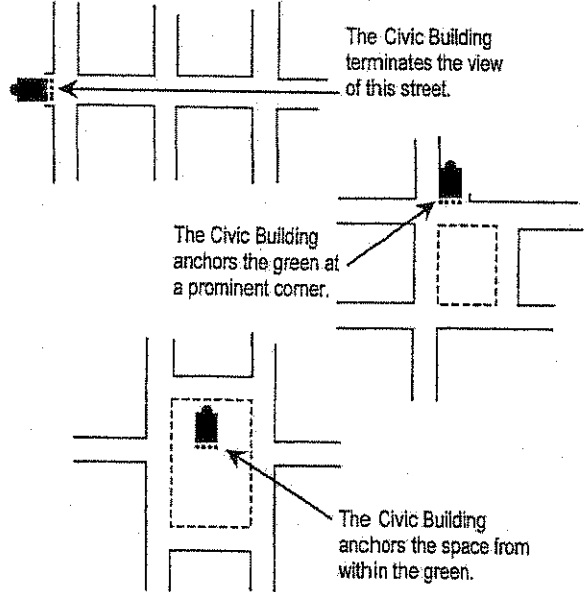


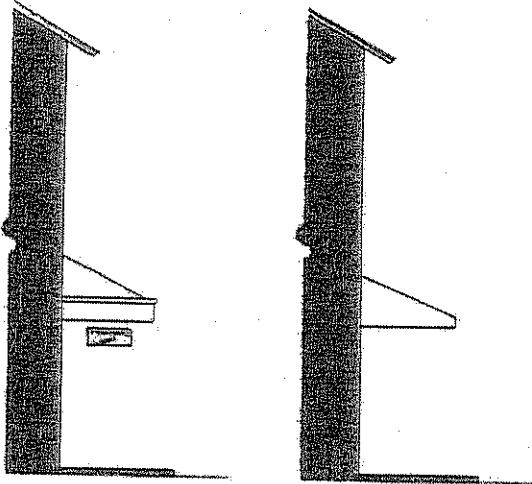
Building Placement:

Building Frontage	negotiated
Build-to line locations	negotiated
Side Setback	negotiated
Building Frontage	negotiated
Building Coverage	75% maximum
Height:	
Maximum Height	negotiable

Note:

1. Building placement requirements for Civic Buildings shall be established by the City Manager, designee or appropriate reviewing board at the time of application. Civic buildings should be sited when possible in locations of particular geometric importance, such as anchoring a major public space or green, or terminating a street vista.



VI. *Building Elements:*A. *Awnings & Marquees:*

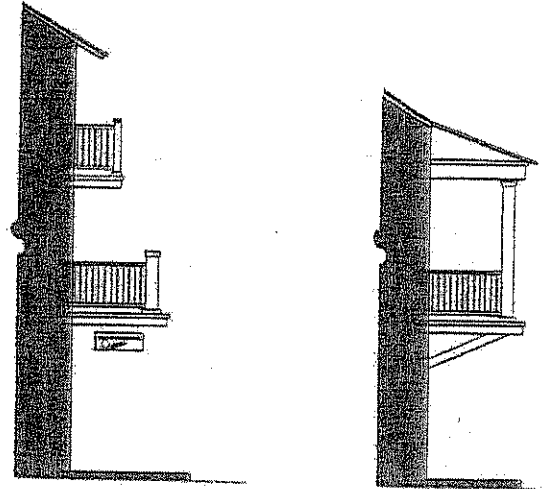
Depth = 5 ft. minimum
 Height = 10 ft. minimum clear
 Length = 25% to 100% of building front

The above requirements apply to first story awnings above the first story.

Marquees and awnings may occur forward of the build-to line and may encroach over the right-of-way. Encroachment into right-of-way shall require compliance with Sec. 30-338(3)(c)(8).

Awnings shall be made of fabric. High gloss or plasticized fabrics are prohibited.

B.

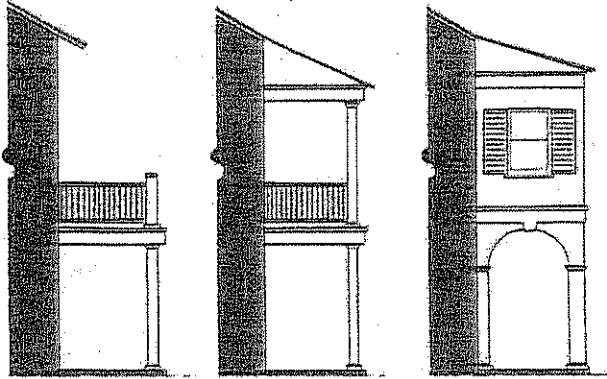


Depth = 6 ft. minimum for 2nd story balconies
 Height = 10 ft. minimum clear
 Length = up to 100% of building front

Balconies may occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line. Encroachment into right-of-way shall require compliance with Sec. 30-338(3)(c)(8).

Balconies may have roofs, but are required to be open, un-air conditioned parts of the buildings.

On corners, balconies may wrap around the side of the building facing the side street.

C. *Colonnades/Arcades:*

Depth = 10 ft. minimum from the build-to line to the inside face of the column
 Height = 10 ft. minimum clear
 Length = 75% to 100% of building front

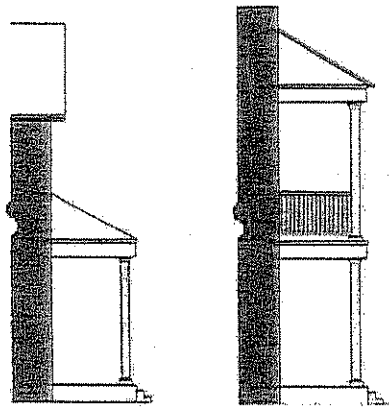
Open, multi-story verandas, awnings, balconies, and enclosed useable space shall be permitted above the colonnade.

Colonnades shall only be constructed where the minimum depth can be obtained. Colonnades may occur forward of the build-to line and may encroach beyond the right-of-way line, but shall not extend past the curb line, as approved by the public entity responsible for the right-of-way.

On corners, the colonnade may wrap around the side of the building facing the side street.

On sidewalks with on-street parking or bicycle lanes next to the curb, colonnades shall be 18 inches from the face of curb.

On sidewalks with travel lanes next to the curb, colonnades must be at least 4 ft from curb.

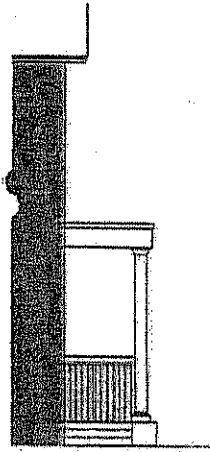
D. *Front Porches:*

Depth = 8 ft. minimum
 Length = 25% to 100% of building front

Front Porches may have multi-story verandas and/or balconies above.

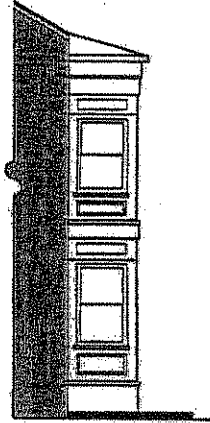
Front porches may occur forward of the Build-to line. Porches shall not extend into the right-of-way.

Front porches are required to be open, un-air conditioned parts of the buildings. More than 25% of the floor area of a porch shall not be screened if the porch extends forward of the build-to line.

E. *Stoops:*

Depth = 8 ft. minimum
 Length = 5 ft. minimum

Stoops are permitted and may occur forward of the build-to line. Stoops may be covered or uncovered.

F. *Bay Windows:*

Depth = 3 ft. minimum
 Length = 6 ft. minimum

Bay windows are permitted and may occur forward of the build-to line. Bay windows may not encroach beyond the right-of-way line. Bay windows shall have required facade details such as lintels, sills, cornices and expression lines.

Bay windows shall cover a maximum of 40% of any building facade.

VI. Architectural Guidelines:

The lists of permitted materials and configurations come from study of traditional buildings found in north Florida and have been selected for their appropriateness to the visual environment and climate.

A primary goal of the Architectural Guidelines is authenticity. The Guidelines encourage construction which is functional, and which draws its ornament and variety from the traditional assembly of genuine materials.

General Requirements:

The following shall be located in rear yards or sideyards not facing the streets:

- Window and wall air conditioners;
- Air conditioning compressors;
- Heating and ventilation;
- Irrigation and pool pumps;
- Electrical utility meters.

The following shall be located in the rear yards only:

- Clotheslines;
- Clothes drying yards;
- Antennas;
- Permanent barbecues.

The following are prohibited:

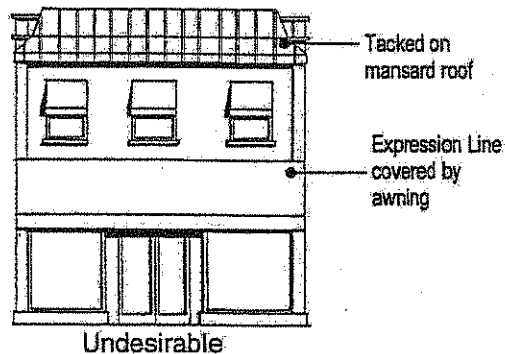
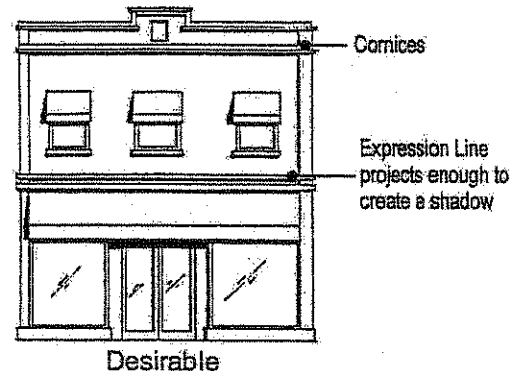
- Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening.);
- Plastic or PVC shutters;
- Reflective and/or bronze-tint glass, highly opaque glass;
- Plastic or PVC roof tiles;
- Backlit awnings;
- Glossy-finish awnings; and
- Front yard fences made of chain link, barbed wire, or plain wire mesh.

- Fences extending in front of the front plane of the building made of chain link, barbed wire, or plain wire mesh.

A. Building Walls:

1. *General Requirements.* For Main Street Shopfront and Office buildings, if finished with masonry or stucco:

An expression line shall delineate the division between the first story and the second story. An expression line shall either be a cornice or molding extending a minimum of 2 inches, or a jog in the surface plane of the building wall greater than 2 inches.



2. *Permitted Finish Materials.*
 - Concrete masonry units with stucco (C.B.S.)

- Stucco on frame and synthetic stucco
- Reinforced concrete with stucco
- Fiber-cement exterior siding
- Wood siding, painted or natural (cypress and cedar preferred)
- Brick
- Chert stone

B. Garden Walls, Fences & Hedges:

1. *General Requirements.* Fences, garden walls, or hedges are strongly encouraged and shall be constructed along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges shall be minimum 25% opaque. Fences made of chain-link (wholly or in part) are prohibited along all rights-of-way.

Maximum height of fences shall be 40 inches for front yards and along side streets and 72 inches in the rear yards. Pillars and posts may extend up to 6 inches more, to a height of 78 inches.

Decorative wrought iron type fences (black iron or metal) may be allowed up to 8 ft when designed with a base not to exceed 3 ft in height, made out of cement, brick, decorative block or stone. The fence design shall be pickets with a minimum of 3" between each picket. Decorative pillar ornaments may extend up to 24" above the main fence line.

2. *Permitted Finish Materials.*
 - Wood: left natural, painted or stained
 - Concrete masonry units with stucco (C.B.S.)
 - Reinforced concrete with stucco
 - Wrought iron and simulated wrought iron
 - Brick
3. *Permitted Configurations.*
 - Wood: Picket Fences: minimum 30% opaque, with corner posts Other wooden fences: to match building walls

- Stucco: with texture and color to match building walls
- Painted or wrought iron: Vertical, $\frac{5}{8}$ inch minimum

C. Columns, Arches, Piers, Railings & Balustrades:

1. *General Requirements.*

- Columns and piers shall be spaced no farther apart than they are tall.

2. *Permitted Finish Materials.*

• Columns:

Wood, painted or natural

Cast iron

Concrete with smooth finish

Aluminum, fiberglass, stone, cementitious

• Arches:

Concrete masonry units with stucco (C.B.S.)

Reinforced concrete with stucco

• Piers:

Concrete masonry units with stucco (C.B.S.)

Reinforced concrete with stucco

Brick

• Railings & balustrades:

Wood, painted or natural

Wrought iron

3. *Permitted Configurations.*

• Columns:

Square, 6 inches minimum, with or without capitals and bases

Round, 6 inches minimum outer diameter, with or without capitals and bases Classical orders

• Arches:

Semi-circular & segmental

• Piers:

8 inches minimum dimension

- Porches:

Railings $2\frac{3}{4}$ inches minimum diameter

Balustrades 4 inches minimum spacing, 6 inches maximum spacing

D. Opacity & Facades:

Shopfront areas only: Storefronts shall remain unshuttered at night and shall use transparent glazing material, and shall provide view of interior spaces lit from within. Where building frontages exceed 50 ft, doors or entrances with public access shall be provided at intervals averaging no less than 50 ft.

E. Roofs & Gutters:

1. General Requirements.

- Permitted Roof Types: gabled, hipped, shed, barrel vaulted, domed & flat. Applied mansard roofs are not permitted.
- Any building systems placed on a roof shall be concealed from view.
- Flat roofs are permitted. Flat roofs shall be concealed by parapets along any street frontage or any side of the building that is visible from the street. Parapets shall be no less than 36 inches high.
- Exposed rafter ends (or tabs) at overhangs are strongly recommended.
- Downspouts are to match gutters in material and finish.

2. Permitted Finish Materials (Does not apply to flat roofs).

- Metal:
 - Galvanized
 - Copper
 - Aluminum
 - Zinc-Alum
- Shingles:
 - Asphalt or metal, "dimensional" type
 - Fiberglass, "dimensional" or "architectural"
 - Tile

- Gutters:

Copper

Aluminum

Galvanized steel

3. Permitted Configurations.

- Metal:

Standing seam or "five-vee," 24 inches maximum spacing, panel ends exposed at overhang

- Shingles:

Square, rectangular, fishscale, shield

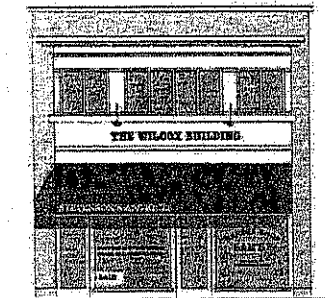
- Gutters:

Rectangular section

Square section

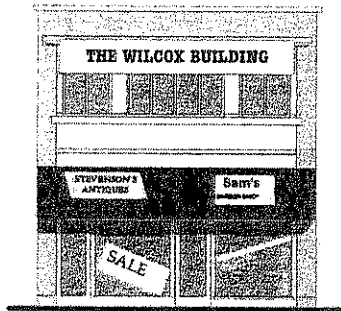
Half-round section

F. Signs. Signs shall be regulated by both these regulations and Article IX, Division 1: Signs Regulations, in the Land Development Code. Where there is conflict between Article IX and these regulations, these regulations shall prevail.



Desirable

• Signs are coordinated in size and placement with the building and storefront.



Undesirable

- Building sign conceals the cornice
- Over-varied sign shapes create visual confusion
- Redundant signage
- Awning sign covers the masonry piers
- Sale sign too large for storefront and poorly placed in display window

1. *General Requirements.*

- Wall-mounted signs shall be flat against the facade, mounted projecting from the facade, or mounted above the top of the facade.
- Signs shall be externally lit. Individual letter and symbols may be internally lit or back-lit.
- Roof-mounted signs are prohibited.
- Only one ground-mounted sign is allowed per development.
- The maximum height of ground-mounted signs shall be 8 ft.
- Signs shall maintain a minimum clear height above sidewalks of 9 ft.
- Signs shall not extend beyond the curb line.

2. *Finish Materials.*

- Wood: painted or natural
- Metal: painted or unpainted.
- Painted or rubberized canvas
- Neon (including individual channel letter neon signs that are internally illuminated and may have plastic faces)
- Engraving directly on facade surface
- Wood-like materials
- Lettering on transparent windows or doors

- Vinyl lettering with a painted appearance

3. *Maximum Sign Size.*

- Sign area shall be determined in accordance with Sec. 30-318(g)(2).
- Size of sign structure shall be determined in accordance with Sec. 30-318(g)(3).
- Maximum size of any sign mounted perpendicular to given facade shall not exceed 10 sq ft.
- Maximum sign size shall be measured by using the largest surface area of the sign viewable at one time from any one direction (i.e., on a two-sided sign, only one side is measured).
- The following are the maximum sign sizes for primary signs:
 - a. The Maximum size of wall-mounted signs on the primary street frontage on a given facade shall not exceed 10% of the facade area or 100 sq ft, whichever is smaller. Only one building side will be considered as being the building's primary street frontage.
 - b. For ground-mounted signs for non-residential development, the maximum size is 16 sq. ft. This does not include the base or columns.
 - c. Each tenant in a building with multiple tenant units, as well as the tenant of a single-occupant building, is allowed one under-canopy sign with a maximum vertical height of one foot and a maximum width of 3 ft. An under-canopy sign shall be defined as a sign suspended beneath a canopy, ceiling, roof, or marquee. The under-canopy sign must maintain a vertical clearance of 9 ft. over any pedestrian walkway or public right-of-way.
 - d. For ground-mounted signs for multi-family residential development, the maximum sign size is 12 sq. ft.

- e. Civic buildings shall be allowed signs based on their zoning designation and consistent with the standards established above.

G. *Windows, Skylights, & Doors:*

1. *General Requirements.*

Windows shall be rectangular, square, circular, semi-circular, or octagonal. Rectangular window openings facing streets shall be oriented vertically.

The following accessories are permitted:

- Shutters
- Wooden window boxes
- Muntins and mullions
- Fabric awnings (no backlighting; no glossy-finish fabrics)

2. *Finish Materials.*

Note: Many of these finish materials listed below are further regulated by the University Heights Historic District Regulations North and South, and in some cases are not allowed in renovations.

- *Windows, Skylights, & Storefronts:*
 - Wood
 - Aluminum (not mill)
 - Copper
 - Steel
 - Vinyl-clad wood
- *Doors:*
 - Wood or metal

3. *Permitted Configurations.*

- *Windows:*
 - Rectangular (vertical orientation)
 - Round (18-inch maximum outer diameter)
 - Semi-circular
- *Window Operations:*
 - Casement
 - Single- and double-hung
 - Industrial
 - Fixed frame (36 sq ft maximum)

- *Skylights:*
 - Flat to the pitch of the roof
- *Door Operations:*
 - Casement
 - French
 - Sliding (rear only)

H. *Mechanical Equipment:*

1. *General Requirements.* All mechanical equipment must be placed on the roof, in the rear or side of the building, or otherwise visually screened from the street. In no case shall mechanical equipment be allowed along street frontage(s). Mechanical equipment on the roof shall be screened from abutting streets with parapets or other types of visual screening.
2. *Permitted Finish Materials.*
- Screening shall be compatible with the primary building.
- (Ord. No. 990733, § 2, 10-23-00; Ord. No. 030761, § 1 (Exh. A), 6-14-04; Ord. No. 050768, §§ 1—4, 4-24-06; Ord. No. 080545, § 8, 5-21-09)

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APPENDIX E

Supporting Comprehensive Plan Policies:

Future Land Use Element Goal 1 – Improve the quality of life and achieve a superior, sustainable development pattern in the City by creating and maintaining choices in housing, offices, retail, and workplaces, and ensuring that a percentage of land uses are mixed, and within walking distance of important destinations.

Future Land Use Element Policy 1.2.2 – The City should use design standards in the land development code to ensure that higher densities are livable.

Future Land Use Element Policy 1.2.3 – The City should encourage mixed use development, where appropriate.

Future Land Use Element Policy 1.2.4 – The City should reduce or eliminate minimum parking requirements, where appropriate.

Future Land Use Element Policy 1.2.5 – The City should encourage or require buildings to put “eyes on the street” with front façade windows and doors.

Future Land Use Element Policy 1.2.7 – The City should strive incrementally, and when the opportunity arises street by street, to form an interconnected network of neighborhood streets and sidewalks supportive of car, bicycle, pedestrian, and transit routes within a neighborhood and between neighborhoods

Future Land Use Element Policy 1.4.3 – Mixed-use development should emphasize transit design and compatible scale – compatible scale especially when facing each other on a street.

Future Land Use Element Policy 1.4.4 – In mixed-use zoning districts, the City should prohibit or restrict land uses that discourage pedestrian activity and residential use

Urban Design Element Policy 1.1.1 – Indicators of traditional, pedestrian-oriented, urban areas appropriate for urban design standards should include some or all of the following characteristics:

- *Building facades pulled up close to the street, facing the street, and generally aligned.*
- *Relatively high-density mixed use, compactly laid out to accommodate walking.*
- *A mixture of housing types or prices.*
- *Multi-story buildings.*
- *Connected, narrow streets, or streets with modest turning radii.*
- *A connected network of sidewalks.*
- *Mature street trees lined up along the street.*
- *On-street parking.*
- *Off-street parking at sides or rear of buildings.*
- *Narrow, smaller lots.*
- *Front porches.*
- *Garages subservient to primary building.*
- *Short block faces.*

- *Terminated vistas.*

Urban Design Element Policy 1.1.2 – The City shall establish urban design standards which protect and promote quality of life, in order to encourage redevelopment and new development within city limits rather than in outlying areas by amending the City Land Development Code to adopt additional urban design standards for any particular parts of the City.

Urban Design Element Policy 1.2.3 – The Land Development Code should require street trees that will provide appropriate canopy and shading benefits, and that will be aligned in a disciplined manner along streets in order to properly frame the streets.

Urban Design Element 1.2.5 – Sidewalks shall have a minimum clear width of five feet wide – wider in areas with large pedestrian volumes.

Urban Design Element Policy 1.2.10 – When allowed by the underlying zoning district, some or all of at least the first floor of multi-level parking garages shall be a wrap of residential, retail, or office space.

APPENDIX F

Memo



Date: 01/13/2011

To: Erik Bredfeldt, Planning and Development Director
Anthony Lyons, CRA Director

From: Debbie Leistner, Transportation Planning Manager

Via: Teresa Scott, Director of Public Works

Subject: New University Heights Standards – UMU-2 Zoning

Public Works staff was asked to review the proposed language for the new UMU-2 Zoning District on two separate occasions. The first round of comments was submitted during October 2010 - very few aspects commented on were considered or included in the revised language. Additional comments were submitted on January 6, 2011 but are again not being considered in the proposed language. New revised language was made available today that continues to overlook several Public Works concerns, primarily associated with provision of adequate parking facilities, adequate transit facilities, and adequate sidewalk infrastructure that is compliant with the American with Disabilities Act. For your reference and further consideration below is the last set of comments provided (differences in the numbering system are noted).

- Item IV.B.4. *[new VI.B.5 – not addressed]* states that “when possible, sidewalks shall be placed to align with existing sidewalks”. The change in language from “when applicable” does not clarify the intent. Sidewalks should provide a continuous path for pedestrian travel, always. Figure 7 shows a pattern that may cause an issue for the visually impaired.
- There should be a requirement added under item IV.B. *[new VI.B – not addressed]* that tie this to the American with Disabilities Act regulations to ensure safety of all users.
- There are minimum sidewalk width requirements but item IV.C.1. allows for encroachments on the sidewalk decreasing it to 5 ft. If the intent is to provide a clear wide path for pedestrian circulation this would create a conflict, as depending on the use a number of these could project into the sidewalk creating pockets of dead space. This should not be allowed or the minimum width requirement raised to 8 ft. Or perhaps this should be limited to the local roads only, with the minimum width requirement at 6 ft. *[new VI.B.3. – this item was addressed, allowing for encroachment of sidewalk cafes only]*
- Item IV.A. should add a requirement (#6) that all landscaping and street furniture items shall comply with the adopted City vision triangle requirements. *[new VI.C.4 – this item was addressed]*

- Item V.A. *[new VII.B. – not addressed]* specifies that “there shall be no minimum vehicular parking requirement”. This was a concern outlined in the previous comments submitted as it significantly impacts the conditions in the area; there is currently a problem with lack of parking that would be further aggravated if no parking provisions are included in this plan. As indicated in the previous comment there should be a requirement for the provision of parking in a standalone structure or associated with each development. This issue was not addressed in the revised language. It is also important to note that on-street parking conflicts with accessibility of transit stops.
- Under item V. *[new VII. – not addressed]* should add a provision for transit improvements. The intent outlined in item I. clearly states that one of the objectives of the district is to promote multi-modal transportation, but nowhere in the language it refers to transit or improvements to existing stops or the future plans for the addition of streetcar in the area. Provisions should be added to encourage the creation of appropriate bus stop amenities/improvements, such as bus bays, bus shelters, benches, accessible boarding and waiting areas to encourage use of the transit system; this should be tied to the RTS Bus Stop Improvement Plan.
- Item VI.B. *[new VII.C. – not addressed]* should have added language that prevents obstruction of sidewalks and placement of dumpsters in a similar configuration as existing along NW 1st Ave (1600-1700 block).

Cc: Paul Folkers