

City of
Gainesville

Inter-Office Communication

Planning Division
X5022, FAX x2282, Station 11

Item No. 1

TO: City Plan Board **DATE:** March 21, 2002

FROM: Planning Division Staff

SUBJECT: Petition 10WSU-02CC, Eng, Denman, & Associates, Inc., agent for ExacTech, Inc. A special use permit for wellfield protection with associated development plan review for an addition to the existing building. Zoned: I-2 (general industrial district). Located at 2320 Northwest 66th Court.

Recommendation: Staff recommends approval of Petition 10WSU-02 PB, for a Wellfield Special Use Permit and the preliminary development plan with the attached conditions.

Explanation

The petition is a request for approval of a wellfield special use permit and development plan approval for an addition to the existing ExacTech building. The site is 7.73 acres, and is designated Industrial on the City of Gainesville Future Land Use Map and zoned I-2. The proposed development is located in the tertiary zone of the Wellfield Protection Overlay District. The property lies in the 100-year flood plain.

The proposed project includes a 26,067 square feet building addition, including office, laboratory, storage and assembly area. The parking and delivery areas will be reconfigured to add 107 parking spaces. The existing stormwater basin was originally sized for future expansion. It will be cleaned of cattails and debris, and landscaped.

Please see the attached Technical Review Committee staff recommendations and comments for detailed review of the development plan. This development is located outside the City's TCEA. The development meets all requirements for a certificate of preliminary and final concurrency.

The proposed plan is in the Wellfield Overlay District. This district requires that certain findings be made in accordance with Section 20-203:

- (1) That the proposed use or development will not endanger the city's potable water supply.**

See staff reports from Alachua County Environmental Protection Department and from Gainesville Regional Utilities.

(2) That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.

Utilities are available and have capacity to serve the site.

(3) That the use or development conforms to the city's comprehensive plan.

The manufacture of orthopedic and prosthetic appliances is a permitted use in the Industrial Land Use Category and is further implemented by the I-2 (general industrial district) zoning.

(4) The proposed use complies with all federal, state and local laws, rules, regulations and ordinances now and hereafter in force which may be applicable to the use of the site.

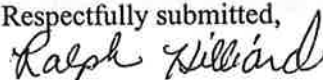
The proposed development will be required to obtain a St. John's River Water Management District permit. ExacTech holds an Alachua County Hazardous Material Permit

(5) That the proposed use is not exempt under section 30-202 of this Code.

The proposed use is a regulated facility under the Alachua County Hazardous Materials Code, and is therefore not exempt under Section 30-202 of the City of Gainesville Land Development Code.

Conditions:

1. ExacTech shall comply with the Alachua County Hazardous materials code.
2. ExacTech shall comply with the Technical Review Committee recommendations.
3. Final Development Plan approval is required.

Respectfully submitted,


Ralph Hilliard
Planning Manager


RH:CRM
Attachments

SITE PLAN EVALUATION SHEET

DEVELOPMENT PLAN & SUBDIVISION REVIEW EVALUATION

CURRENT PLANNING, ROOM 158, THOMAS CENTER "B"

306 Northeast 6th Avenue 334-5023

Petition No. 10WSU-02CC	Date Plan Rec'd: 3/5/02	Review Type: Preliminary and Final Development Plan Amendment and Wellfield Special Use Permit
Review For: Technical Review Committee Review Date: 3/21/02		 Project Planner: Carolyn Morgan

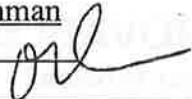
- APPROVABLE**
(as submitted)
 APPROVABLE
(subject to below)
 DISAPPROVED

Description/Location/Agent: Exactech office, auditorium, laboratory and shipping addition/
 2320 Northwest 66th Court/ Eng, Denman and Associates.

<u>RECOMMENDATIONS/REQUIREMENTS/COMMENTS</u>
<p>Approvable with conditions for Preliminary Development Plan. The petition must be resubmitted for final approval.</p> <ol style="list-style-type: none"> 1. A sealed boundary survey is required for submission. 2. Show detail and elevation of cantilevered terrace and balcony. 3. Elevations have not been reviewed for final development plan approval. 4. Correct L-1 to show motorcycle parking. 5. Please provide a detail drawing of any proposed lighting fixtures and show location on plan. If All new fixtures shall be full cut-off luminaires. Parking lot lighting shall be not less than .5 foot candles and not greater than 2.5 foot candles. There shall be no light trespass to adjacent properties. Lighting at building entrances, stairways and other critical areas shall not exceed 25 foot candles. A photometric plan is required for any new lighting. Lighting should be placed between landscape islands. If placed in landscape island, the island shall be increased in size.

CONCURRENCY REVIEW
PLANNING DIVISION - (352) 334-5022

Sheet 1 of 1

Petition	<u>10WSU-02CC</u>	Date Received <u>3/5/02</u>	<input checked="" type="checkbox"/> Preliminary
DRB	<input checked="" type="checkbox"/> PB <input type="checkbox"/> Other	Review Date <u>3/6/02</u>	<input checked="" type="checkbox"/> Final
Project Name	<u>ExacTech expansion</u>		<input type="checkbox"/> Amendment
Location	<u>2320 NW 66th Court</u>		<input checked="" type="checkbox"/> Special Use
Agent/Applicant Name	<u>Eng. Denman</u>		<input type="checkbox"/> Planned Dev.
Reviewed by	<u>Onelia Lazzari</u> 		<input type="checkbox"/> Design Plat Concept

Approvable (as submitted) Approvable (subject to below) Insufficient Information
 PD Concept (Comments only) Concept (Comments only)

RECOMMENDATIONS/REQUIREMENTS/COMMENTS

SITE PLAN EVALUATION SHEET


PUBLIC WORKS DEPARTMENT 334-5072 M.S. 58

Petition No. <u>10WSU-02 CC</u>	Review Date: <u>3/11/02</u>	Review Type:
Review For : <u>Technical Review Committee</u>	Plan Reviewed: <u>03/11/02</u>	<u>Special Use Permit</u>
Description, Agent & Location: <u>Exactech</u>		Project Planner:
Eng. <u>Denman</u>	<u>2320 NW 66th Court</u>	<u>Carolyn Morgan</u>

APPROVED
(as submitted)

APPROVED
(subject to below)

DISAPPROVED

<input type="checkbox"/> Alachua County Environmental Review Required	Comments By:  Rick Melzer P.E. Development Review Engineer
<input checked="" type="checkbox"/> Alachua County Environmental Review Not Required	
<input type="checkbox"/> 100 Yr. critical duration storm event must be analyzed.	
<input type="checkbox"/> SJRWMD stormwater permit is required.	
<input type="checkbox"/> Treatment volume must be recovered within 72 Hrs. (F.S. of 2)	
<input checked="" type="checkbox"/> Approved for Concurrency	

REVISIONS / RECOMMENDATIONS:

1. Please provide a note stating whether or not the site is affected by the 100 year floodplain.
2. A Suwannee River Water Management District Stormwater permit will be required.



**DEVELOPMENT REVIEW EVALUATION
GAINESVILLE REGIONAL UTILITIES**

Ellen Underwood, New Development Coordinator
PO Box 147117, Gainesville, FL 32614
Voice (352) 334-3400 x 1644 - Fax (352) 334-3480

Feb 21, 2002

6 Petition 10WSU-02 CC

Eng, Denman & Associates, Inc., agent for **Exactech, Inc.** A special use permit for wellfield protection with associated development plan review for an addition to the existing building. Zoned: I-2 (general industrial). Located at 2320 Northwest 66th Court. (CAROLYN)

Conceptual Comments

Approved w/conditions

Approved as submitted

Insufficient information to approve

New Services Letter with information concerning the well field permit was complete except for one request: "Explain if there are any wells planned to be installed."

Water

Sanitary Sewer

Electric Coordinate the utility relocations and the service upgrade (if necessary) with Steve Phelps at GRU, 334-3400, est. 1543. Mr. Phelps will need for you to provide him with the additional electric load information.

Gas

Real Estate



Board of County Commissioners

ALACHUA COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT

201 SE 2nd Avenue, Suite 201 • Gainesville, Florida 32601

Tel: (352) 264-6800 • Fax (352) 264-6852

Suncom: 651-6800

Home Page: www.co.alachua.fl.us

Chris Bird
Environmental Protection
Director
cbird@co.alachua.fl.us

Ramesh P. Buch
Land Conservation
Manager
rbuch@co.alachua.fl.us

John J. Mousa
Pollution Prevention
Manager
jmousa@co.alachua.fl.us

Robert L. Norton
Natural Resources
Supervisor
rnorton@co.alachua.fl.us

February 26, 2002

Carolyn Morgan, Senior Planner
Department of Community Development
P.O. Box 490
Gainesville FL 32602

RE: **Development Review Comments**

Dear Ms. Morgan:

The following comments are based on a limited review of the environmental impacts of the proposed projects. These reviews are confined to an evaluation of the proposed project's ability to comply with the requirements of the Alachua County Hazardous Materials Management Code (HMMC), Alachua County Unified Land Development Code, Chapter 353.

Please forward these comments to the appropriate staff.

Petition 10WSU-02 CC - Exactech

1. Provide an inventory of the hazardous materials currently stored onsite and an inventory of any additional hazardous materials to be stored onsite as a result of the proposed project. Clearly label existing and proposed hazardous materials storage areas.

Petition 12WSU-02 CC - Prestige Hyundai

1. Provide an inventory of the hazardous materials currently stored onsite and an inventory of any additional hazardous materials to be stored onsite as a result of the proposed project. Clearly label existing and proposed hazardous materials storage areas.

2. Provide detailed information on any proposed aboveground storage tank systems and/or hydraulic lift systems to be added as part of the proposed project.

Petition 14WSU-02 CC - North Central Florida YMCA

1. Provide an inventory of the hazardous materials currently stored onsite and an inventory of any additional hazardous materials to be stored onsite as a result of the proposed project. Clearly label existing and proposed hazardous materials storage areas.



Petition 17SPL-02 DB - White Electric and Battery Service

1. Provide an inventory of the hazardous materials to be stored onsite as a result of the proposed project. Clearly label existing and proposed hazardous materials storage areas.
2. Contact the Alachua County Environmental Protection Department to register the proposed facility and to obtain approval for secondary containment and installation of the proposed liquid chlorine aboveground storage tank system.

Please do not hesitate to contact me if there are concerns or questions about these comments.

Sincerely,



Agustin Olmos
Hazardous Materials Engineer

SITE PLAN EVALUATION SHEET

FIRE PROTECTION/LIFE SAFETY REVIEW

Petition No.: 10WSU-02 CC Due Date: 3/12/2002

Review for: Technical Review Committee Review Date: 3/12/2002

Description: Eng, Denman for Exactech. Addiaiton to existing building at 2320 NW 66th CT.

Review Type: Planned Development

Project Planner: Carolyn Morgan

Approvable

Approvable
Subject to Comments

Disapproved

Concept

- Plan meets fire protection requirements of Gainesville's Land Development Code Section 30-160 as submitted.
- Revisions are necessary for plan to meet the requirements of Gainesville's Land Development Code Section 30-160.
- Revisions are necessary for compliance with related codes and ordinances and are submitted for applicant information prior to further development review.

Comments By:



MV Smith, #232
Fire Safety Inspector

Revisions/Recommendations:


Provide location of the fire department connection to the sprinkler system.

SITE PLAN EVALUATION SHEET

BUILDING INSPECTION DEPARTMENT REVIEW

Petition No. 10WSU-02CC Review For : <u>Plan Board</u>	Review Date: <u>02/21/02</u> Plan Reviewed: <u>3/12/200</u>	Review Type: <u>Preliminary Final</u>
Description, Agent & Location: <u>Eng. Denman & Associates, Inc.,</u> <u>Exactech, 2320 NW 66 Ct.</u>		Project Planner: <u>Carolyn Morgan</u>

APPROVABLE
 APPROVABLE
 DISAPPROVED
 CONCEPT
 SUBJECT TO COMMENTS

This site plan has been reviewed for compliance with Chapter 5 of the Standard Building Code & for accessible routes of the Florida Accessibility Code for Building Construction. Complete code compliance plan review will be performed at Building Permitting.	Comments By:  Brenda G. Strickland Plans Examiner
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REVISIONS / RECOMMENDATIONS:

The Building Department has no problem with the proposed special use permit.

1. In the Building Information provide the total building area, per floor. It appears that the building area may exceed that allowed by Table 500 Florida Building Code for type of construction and intended occupancy. If are modification is applied, provide increase calculations on the site plan. The area modification is not correct. F=Building perimeter which fronts on streets, public spaces or horizontal separation not less than 30 ft wide. The percent increase in multiplied by the unsprinklered area permitted in Table 500 for the type of construction of the building, and the resulting area increase is added to either the sprinklered or unsprinklered areas in Table 500.
3. Provide distance from building to property lines, on the site plan. The distance should be from the include balcony, also.
5. The doors in the east elevation do not match the floor plan and the balcony is not shown on the east elevation.
6. Provide detail on the 2nd floor terrace.
7. Provide level platform in front of all egress doors. The floor surface on both sides of a door shall be at the same elevation. The floor surface or landing on each side of the door shall extend from the door in the closed position a distance equal to the door width and shall comply with Section 11-4.13.6 Maneuvering Clearances at Doors of the Florida Building Code.
8. Provide dimensions and slope, if any, on all sidewalks, parking spaces, platforms and ramps including terrace and balcony.
9. As part of the site plan review process the floor plan has not been reviewed for Building Code complianc

EXACTECH MANUFACTURING COMPANY, INC. PHASE I GAINESVILLE, FLORIDA

DEVELOPMENT DATA TABLE

- THE PROJECT OWNER IS EXACTECH MANUFACTURING COMPANY, INC.
2320 NW 88th COURT
GAINESVILLE, FLORIDA 32653
TELEPHONE NUMBER: (352) 377-1140
- PROJECT DESCRIPTION:**
THE PROPOSED PROJECT CONSISTS OF AN ADDITION TO THE EXISTING FACILITIES WITH ASSOCIATED PARKING, PAVING, DRAINAGE AND UTILITY IMPROVEMENTS.
- EXACTECH DEVELOPMENT DATA:**
 - TOTAL SITE AREA:** 7.73 AC. = 336,716 S.F. = 100.0%
 - BUILDING AREA:**

EXISTING BUILDING AREA:	0.97 AC. = 42,280 S.F.
PROPOSED BUILDING AREA:	0.60 AC. = <u>26,057 S.F.</u>
TOTAL BUILDING AREA:	1.57 AC. = 68,347 S.F. = 20.31%
 - PAVEMENT AND SIDEWALK AREA:**

EXISTING PAVEMENT/SIDEWALK AREA:	1.50 AC. = 65,485 S.F.
PROPOSED PAVEMENT/SIDEWALK AREA:	1.15 AC. = <u>50,161 S.F.</u>
TOTAL PAVEMENT AND SIDEWALK AREA:	2.65 AC. = 115,646 S.F. = 34.35%
 - IMPERVIOUS AREA:**

EXISTING AREA PHASE I:	2.48 AC. = 108,125 S.F.
EXISTING AREA TO BE DEMOLISHED:	-0.53 AC. = -(23,043) S.F.
PROPOSED AREA:	1.83 AC. = <u>79,379 S.F.</u>
TOTAL IMPERVIOUS AREA:	3.78 AC. = 164,097 S.F. = 48.90%
 - TOTAL OPEN AREA:** 3.95 AC. = 175,768 S.F. = 51.09%

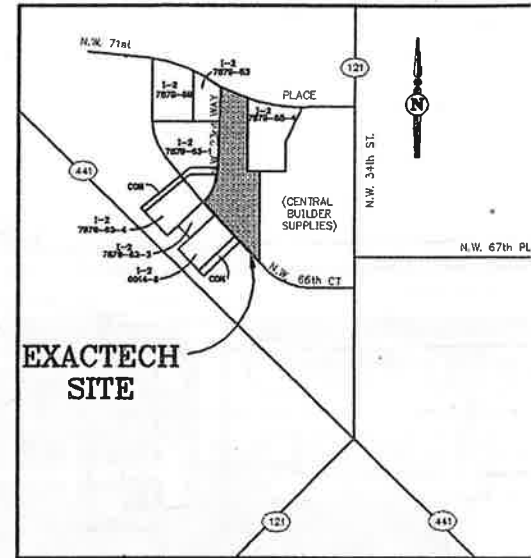
- PARKING:**
 - CRITERIA:**
 - MANUFACTURING AND INDUSTRIAL WITH NO RETAIL TRADE:
ONE SPACE (1) PER 500 S.F. OF FLOOR AREA
 - LABORATORIES:
FOUR (4), PLUS ONE (1) FOR EACH 300 S.F. FLOOR AREA IN EXCESS OF 1,000 S.F.
 - BUSINESS, PROFESSIONAL AND OTHER OFFICES:
ONE (1) PARKING SPACE FOR EACH 300 S.F. OF GROSS FLOOR AREA
 - AUDITORIUMS:
ONE (1) PARKING SPACE FOR EACH FOUR (4) SEATS.
 - PARKING REQUIRED:**
 - EXISTING TOTAL GROSS FLOOR AREA: 38,200 S.F.
PARKING REQUIRED: 38,200 S.F. x 1 SPACE/500 S.F. = 76.4 SPACES
 - PROPOSED GROSS FLOOR AREA FOR LABORATORIES:
PARKING REQUIRED: 4 PARKING SPACES + (2657 SF - 1000 SF) x 1 SPACE/300 S.F.
4 + (1657 SF/300 SF) = 9.52 SPACES
 - PROPOSED GROSS FLOOR AREA FOR PROFESSIONAL AND OTHER OFFICES:
PARKING REQUIRED: 12,341 S.F. x 1 SPACE/300 S.F. = 41.13 SPACES
 - PROPOSED SEATS FOR AUDITORIUMS:
PARKING REQUIRED: 254 SEATS x 1 SPACE/4 SEATS = 63.50 SPACES

TOTAL PARKING REQUIRED: 190.55 SPACES INCLUDING 8 HANDICAP SPACES.
 - PARKING PROVIDED:**

TOTAL PROVIDED:	EXISTING PARKING=84 PARKING SPACES
	PROPOSED PARKING=107 PARKING SPACES
	TOTAL PROVIDED=191 PARKING SPACES INCLUDING
	8 HANDICAP SPACES
 - BICYCLE PARKING:**
 - CRITERIA**
 - REQUIREMENT FOR MANUFACTURING AND INDUSTRIAL CONCERNS, WITH NO RETAIL TRADE:
5% OF THE REQUIRED PARKING SPACES.
 - REQUIREMENT FOR LABORATORIES, PROFESSIONAL AND OTHER OFFICES, AUDITORIUMS:
10% OF REQUIRED PARKING SPACES.
 - BICYCLE PARKING REQUIRED:

A. PARKING PROVIDED FOR MANUFACTURING AND INDUSTRIAL:	76.4 SPACES
PARKING REQUIRED: 0.05 x 76.4 SPACES =	4 SPACES.
 - B. PARKING PROVIDED FOR LABORATORIES, PROFESSIONAL AND OTHER OFFICES, AUDITORIUMS: 114.15 SPACES
PARKING REQUIRED = 0.10 x 114.15 SPACES = 11 SPACES.
TOTAL PARKING REQUIRED = 15 SPACES.
 - BICYCLE PARKING PROVIDED:

EXISTING BICYCLE PARKING:	4 SPACES
PROPOSED BICYCLE PARKING:	11 SPACES
TOTAL PROVIDED:	16 SPACES
- MOTORCYCLE PARKING:**
 - CRITERIA** ONE (1) SPACE FOR EACH FORTY (40) PARKING SPACE
 - REQUIREMENT 191 SPACES x 1/40 PARKING SPACE = 5
 - PROVIDED: 6 SPACES



LOCATION MAP
GAINESVILLE, FLORIDA
REV. 10/02

ADDITIONAL BUILDING INFORMATION:

- PROPOSED BUILDING AREA** = 26,067 S.F.
AREA INCREASE
I = 4/3 [(100(1571.33'/1571.33'-025))]
I = 1.33 [75]
I = 99.75% AREA INCREASE
42,000 S.F. x 1.9975 = 83,895 S.F.
- CONSTRUCTION TYPE:** IV
- OCCUPANCY CLASS:** FACTORY-INDUSTRIAL
- HEIGHT:** 28 FT.
- NUMBER OF STORIES:** 2
- SPRINKLER:** YES

- THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
- THE SITE IS NOT IN THE SURFACE WATER OVERLAY DISTRICT.
- THIS SITE IS NOT LOCATED IN THE GATEWAY STREET, NATURE PARK, GREENWAY, AND/OR UPLANDS.
- THIS SITE AND BUILDING COMPLIES WITH THE STATE OF FLORIDA ACCESSIBILITY CODES AND STANDARDS.
- THIS SITE SHALL COMPLY WITH THE CITY OF GAINESVILLE'S REQUIREMENTS FOR SAFETY. THE PARKING LOT LIGHTING SHALL COMPLY WITH CITY ORDINANCE REQUIREMENTS.
- SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) IS THE STATE PERMITTING AGENCY FOR THE STORMWATER SYSTEM.
- EXACTECH MANUFACTURING COMPANY, INC. WILL BE THE ENTITY RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM WITHIN THE SITE.
- ALL SIGNS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF GAINESVILLE LAND DEVELOPMENT REGULATIONS. SEPARATE PERMITS ARE REQUIRED FROM THE BUILDING DEPARTMENT FOR ANY ADDITIONAL PROJECT SIGNS.
- NO TREES WILL BE REMOVED UNTIL PERMITS ARE ISSUED FOR WORK REQUIRING TREE REMOVAL.
- PROPERTY TAX PARCELS NO. 7879-65; 7879-65-1; 7879-62-2; AND 8014-17-1.
- PROPERTY IS ZONED: I-1
- PROPERTY LAND USE IS: INDUSTRIAL
- BUILDING IS FOR SUPPORT OF INDUSTRIAL FACILITY.
- ALL EXISTING DOORWAYS SHALL OPEN ONTO A LANDING OF AT LEAST THE WIDTH OF THE DOOR AND SHALL BE THE SAME ELEVATION AS BUILDING'S FINISHED FLOOR.
- AN UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED.
- NO SPECIAL FIRE PROTECTION CONCERNS ARE PROPOSED ON THIS PROJECT. KITCHEN AREA IS FOR COLD FOOD AND IS NOT A FULL SERVICE KITCHEN.
- WET PIPE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN FULL COMPLIANCE WITH NFPA 13, STANDARD FOR THE INSTALLATION OF THE SPRINKLER SYSTEMS, 1999 EDITION. FIRE ALARM SYSTEM SHALL BE INSTALLED IN FULL COMPLIANCE WITH NFPA 72, NATIONAL FIRE ALARM SYSTEM CODE, 1999 EDITION.
- THE EXISTING IRRIGATION WILL BE EXTENDED TO COVER THIS PHASE.

ADDITIONAL
LAND USE: 71
ADDITIONAL
1. AVERAGE DAILY
ADDITIONAL
2. A.M. PEAK
ADDITIONAL
3. P.M. PEAK
ADDITIONAL

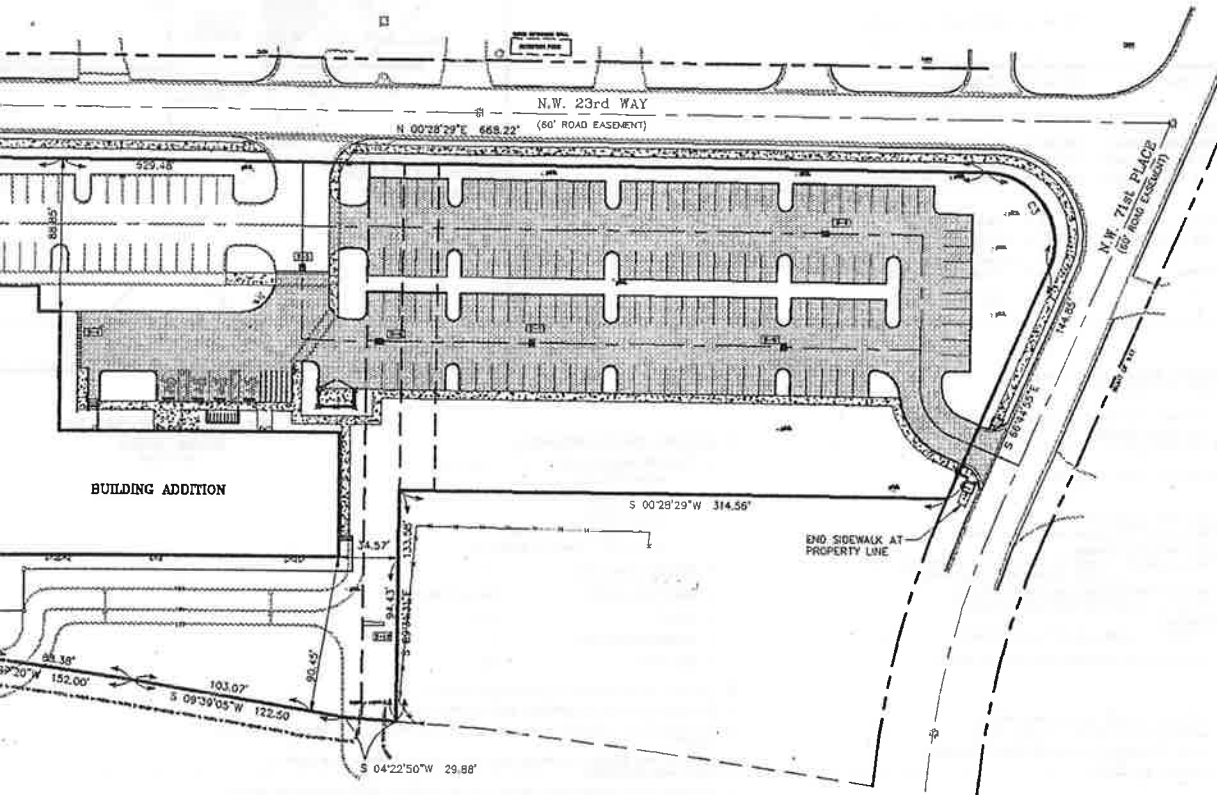


SCALE: 1" = 50'

ED **ENMAN**
& **SSOCIAT**

ENGINEERS SURVEYORS PLANNERS
2404 N.W. 43rd ST.
GAINESVILLE, FLORIDA 32606-6602
TEL. (352) 373-3541
FAX. (352) 373-7249
E-MAIL: eda@edandc.com

CORPORATE AUTHORIZATION NO.
EB 2389



EXACTECH
MANUFACTURING COMPANY
PHASE II
GAINESVILLE FLORIDA

OVERALL
SITE PLAN

Project
Phase:

CONNECTED PLANS

Professional Engineer of Record:

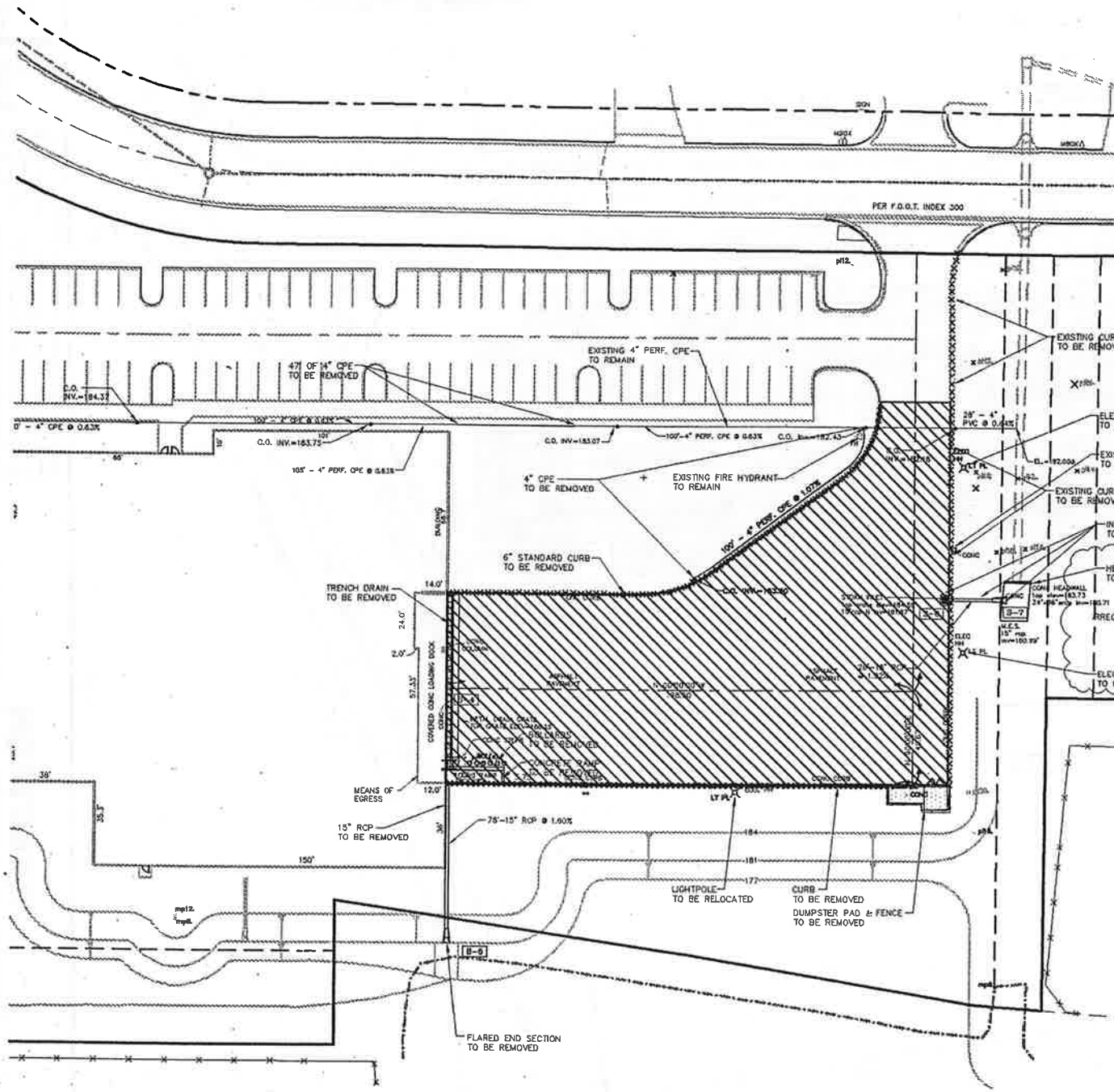
Sergio J. Reyes, P.E. 47311
Engineer Florida P.E. no.

Scale: 1" = 50' Date: MARCH 2002

Designed: SJR Drawn: ASP

Project No: 01-367 Sheet No. 2 of 8

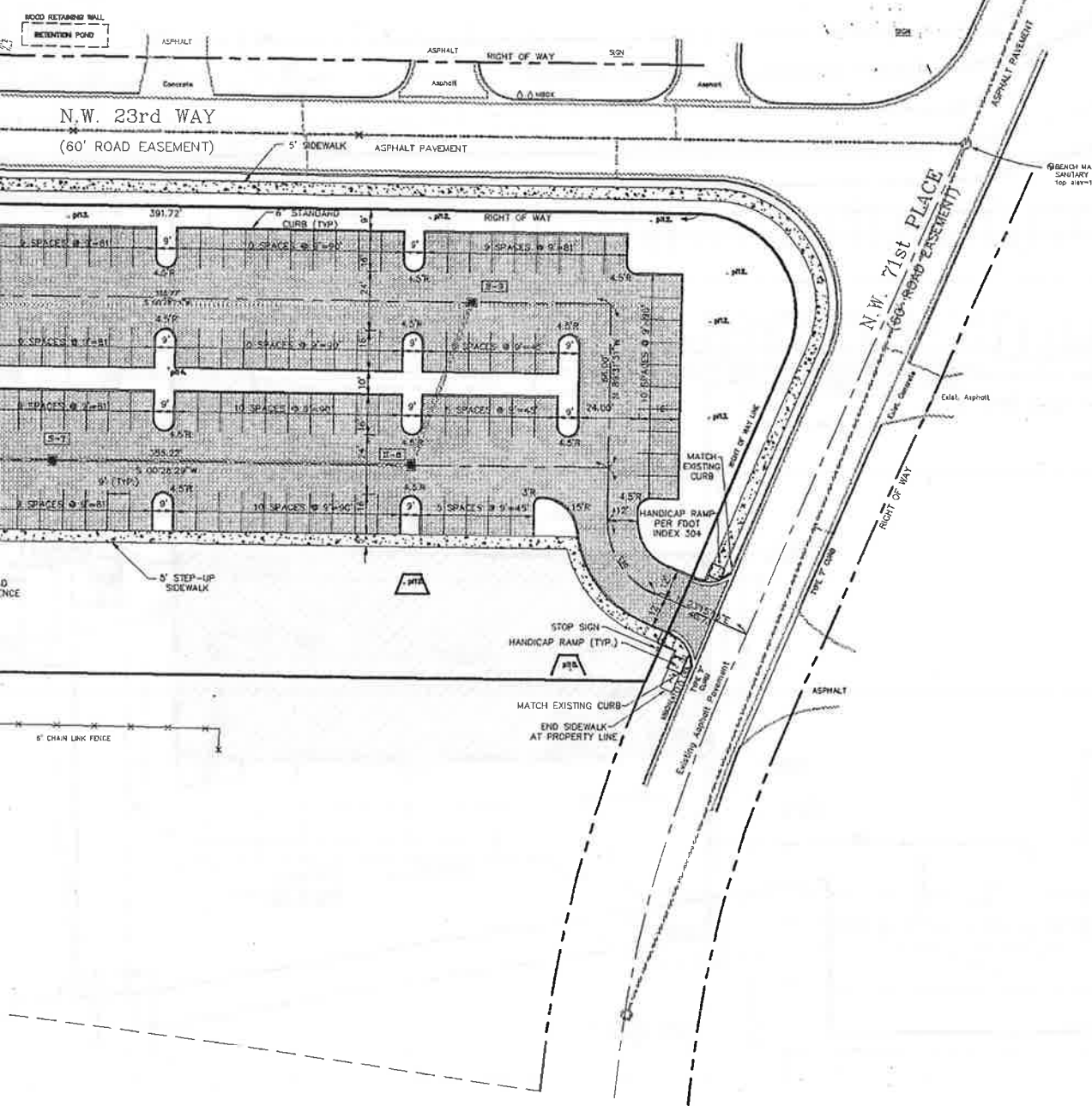
ENCLOSURE



Mar 05, 2002 - 08:56:58 - ASP



SCALE: 1"=30'



CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BEARING
C10	87°13'24"	32.00'	37.54'	35.43'	21.27'	N 56°51'47"E

LEGEND

- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- TREE BARRICADE
- SILT FENCE
- LIMITS OF ASPHALT PAVEMENT
- LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS

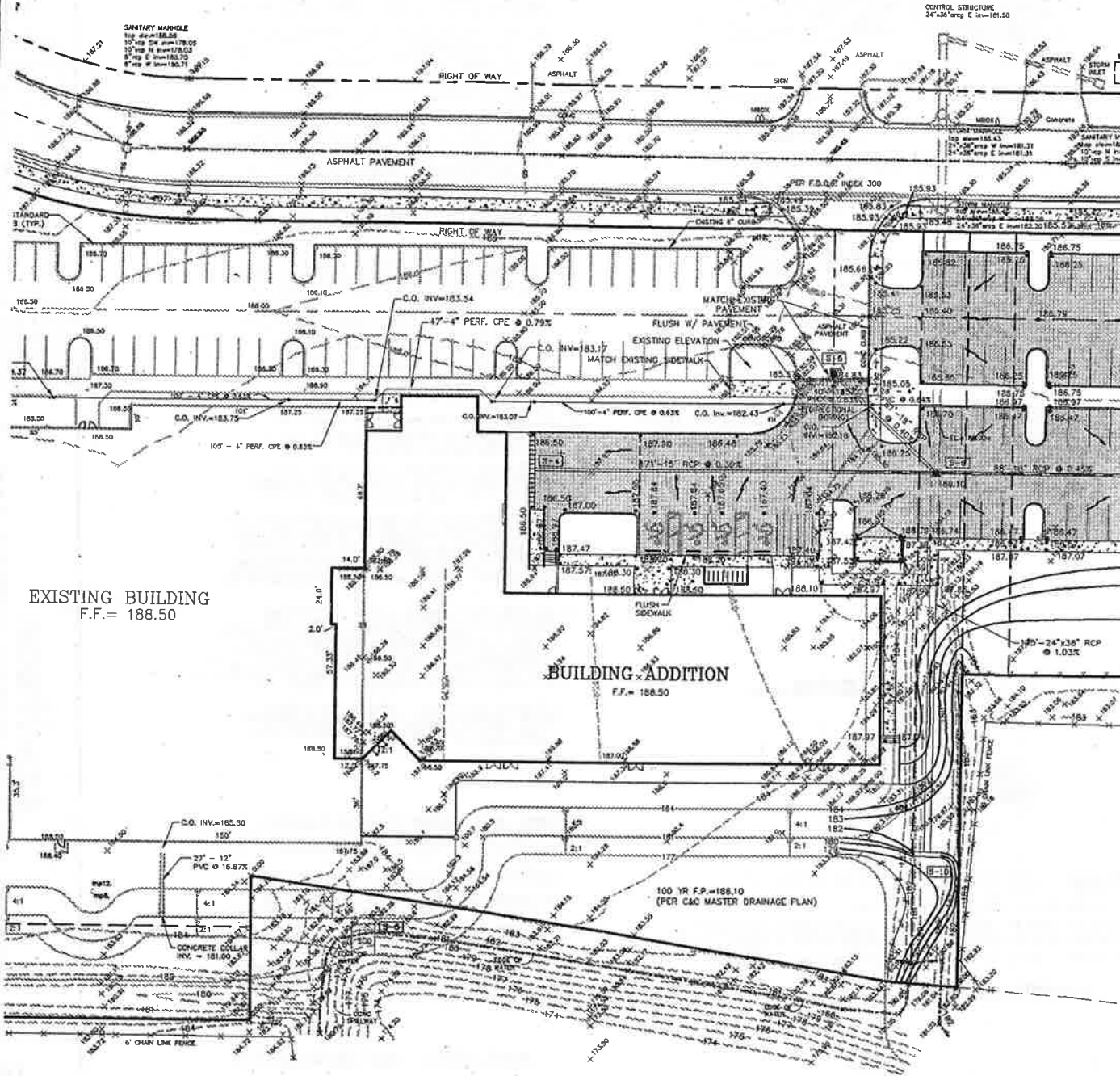
RADI SHOWN ARE MEASURED
 VERIFICATION OF LOCATION OF
 SECTION OF SAME DURING CONSTRUCTION.
 ED WITH GAINESVILLE REGIONAL
 BE INTERNAL CONNECTED TO EXISTING
 INSPECTION AT (352) 334-2171
 AND GRUBBING BEGINS.

**EXACTECH
 MANUFACTURING COMPANY
 PHASE II
 GAINESVILLE FLORIDA**

**DIMENSION
 AND
 UTILITY PLAN**

Project Phase:		3D RECORDED PLANNING	
Professional Engineer of Record:		Sergio J. Reyes, P.E.	
Sergio J. Reyes, P.E. Engineer		47311 Florida P.E. no.	
Scale: 1" = 30'	Date: MARCH, 2002	Designed: AMH	Drawn: ASP
Project No: 01-367	Sheet No. 4 of 8		

2013071.dwg



EXISTING STORMWATER STRUCTURE SCHEDULE

B-1
 TYPE C INLET
 F.D.O.T. INDEX 232
 TOP EL. = 186.00
 E. INV. = 183.00
 12" N. INV. = 183.00

B-2
 TYPE C INLET
 F.D.O.T. INDEX 232
 TOP EL. = 186.00
 W. INV. = 181.67
 N.E. INV. = 181.97

B-3
 FLARED END SECTION
 FOR 15" RCP
 F.D.O.T. INDEX 270
 INV. = 181.00

B-4
 2' WIDE TRENCH DRAIN
 FOR H-20 LOAD
 TOP EL. = 186.50
 E. INV. = 182.23

B-5
 FLARED END SECTION
 FOR 15" RCP
 F.D.O.T. INDEX 270
 INV. = 181.00

B-6
 TYPE C INLET
 F.D.O.T. INDEX 232
 TOP EL. = 184.50
 N. INV. = 181.50

B-7
 FLARED END SECTION
 FOR 15" RCP
 F.D.O.T. INDEX 270
 INV. = 181.00

STORMWATER STRUCTURE SCHEDULE

B-1
 2' WIDE TRENCH DRAIN
 TOP ELEV. = 186.50
 N INV. = 184.06

B-2
 TYPE C INLET W/
 PEDESTRIAN OR STEEL GRATE
 F.D.O.T. INDEX 232
 TOP EL. = 184.83
 NE INV. = 181.33

B-3
 TYPE C INLET W/
 DOG HOUSE MANHOLE
 FOOT INDEX 232
 TOP 186.10
 N INV. = 182.10
 S INV. = 183.55
 SW INV. = 181.09
 E INV. = 181.09

B-4
 TYPE C INLET
 TOP ELEV. = 186.15
 N INV. = 182.50
 S INV. = 182.50

B-5
 TYPE C INLET
 TOP ELEV. = 186.00
 NW INV. = 183.35
 S INV. = 183.08

B-6
 TYPE C INLET
 FOOT INDEX 232
 TOP EL. = 188.00
 SE INV. = 183.56

Mar. 04. 2002 - 08:56:58 - ASP

CITY OF GAINESVILLE
STORMWATER MANAGEMENT
SUMMARY SHEET

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE THAT ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION II BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL RICK MELTZER, P.E. DEVELOPMENT REVIEW ENGINEER, AT 334-2041. YOUR HELP IS APPRECIATED.

I. GENERAL

A. SITE PLAN No. 6014-17-1 E. PROJECT NAME: EXACTECH MANUFACTURING CO.
 B. TAX PARCEL No. 7879-88-65-1 F. ADDRESS: 2320 NW 66th COURT
65-2,65-3 Gainesville, FL 32653
 C. TAX MAP No. _____
 D. FINAL SITE PLAN SIGN OFF _____ INITIALS: _____

II. SITE INFORMATION

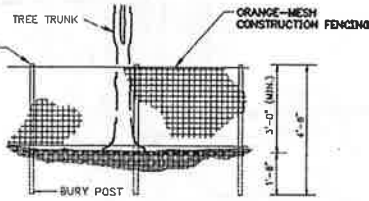
A. TOTAL IMPERVIOUS AREA ON SITE: 164,097 of _____
 B. STORMWATER MANAGEMENT BASIN DATA

Basin No.	Retention Volume (c)	Retention Volume Surface Water Area (sq ft)	Elevation At which Surface Water Discharge Basin from Basin (ft-msl)
1	80,250	26,750	N/A
TOTAL	80,250 of _____	26,750 of _____	WET DETENTION BASIN

NOTES:

- PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.
- RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.
- "RETENTION VOLUME SURFACE WATER AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.
- IMPERVIOUS AREA COLLECTED BY FOOT = 214,987 S.F.

Prepared by: SERGIO J. REYES, P.E. Date: 28/2/02
 Petitioner's Engineer



ELEVATION

WHEN FENCING, ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR CUT SHOULD BE CLEARLY CUT AND COVERED OVER WITH SOIL.

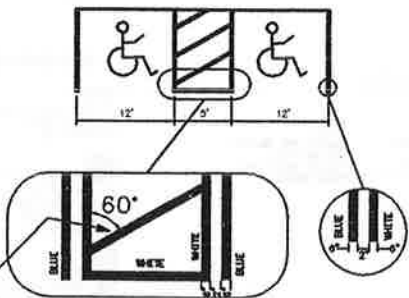
CONSTRUCTION FENCING WILL BE CONSTRUCTED BEFORE ANY WORK BEGINS.

CONSTRUCTION FENCING WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND NO STORING OF DIRT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS. CONSTRUCTION FENCING WILL ENCLOSE AN AREA EQUAL TO AT LEAST 2/3 THE DRIPLINE AREA OF THE TREE.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TREE BARRICADES.

CONSTRUCTION FENCING DETAIL

N.T.S.



HANDICAP STRIPING DETAIL

N.T.S.

PAVING, GRADING AND DRAINAGE
SPECIFICATIONS

- GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS; IF SUITABLE, THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
- ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 6" - 12" LOOSE LIFTS AND COMPACTED TO 95% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
 - STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
 - BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" OR 8" DOUBLE LIFT COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE 1-1/4" THICK F.D.O.T. TYPE S-III AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 331. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330.
- ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBING SHALL BE CLASS I CONFORMING TO SECTION 346.
- SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 941.
- ALL PAVEMENT MARKINGS REQUIRED IN THE CITY R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
- ALL PARKING AND STRIPING SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKINGS SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.D.O.T. AND M.U.L.T.C.D. STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 3 TEST LOCATIONS SHALL BE PROVIDED ONSITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
- LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.

EROSION AND SEDIMENTATION CONTROL PLAN

- SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
- ALL STORMDRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH F.D.O.T. INDEX NO. 102.
- THE STORMDRAIN SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
- THE DRAINAGE BASIN BOTTOM SHALL BE SCRAPED CLEAN OF ALL ACCUMULATED SEDIMENT UPON COMPLETION OF CONSTRUCTION AFTER THE STORMDRAIN SYSTEM IS COMPLETELY FLUSHED OUT.
- ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED BY COMPLETION OF CONSTRUCTION. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE. SEASONAL GRASSES (I.E. WINTER RYE, SUMMER MILLET) SHALL BE USED IF NECESSARY.

WORK WITHIN CITY RIGHT-OF-WAY

- THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT.
- NO WORK SHALL BE DONE NOR MATERIALS USED IN THE RIGHT OF WAY, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-2051), AND THE CONTRACTOR SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
- THE PUBLIC WORKS DEPARTMENT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THE RIGHT OF WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS.

EDENMAN & ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS
 2404 N.W. 43rd ST.
 GAINESVILLE, FLORIDA 32606-6602
 TEL (352) 373-3541
 FAX (352) 373-7249
 EMAIL: eda@edenman.com

CORPORATE AUTHORIZATION NO.
EB 2389

EXACTECH MANUFACTURING COMPANY
PHASE II
GAINESVILLE, FLORIDA

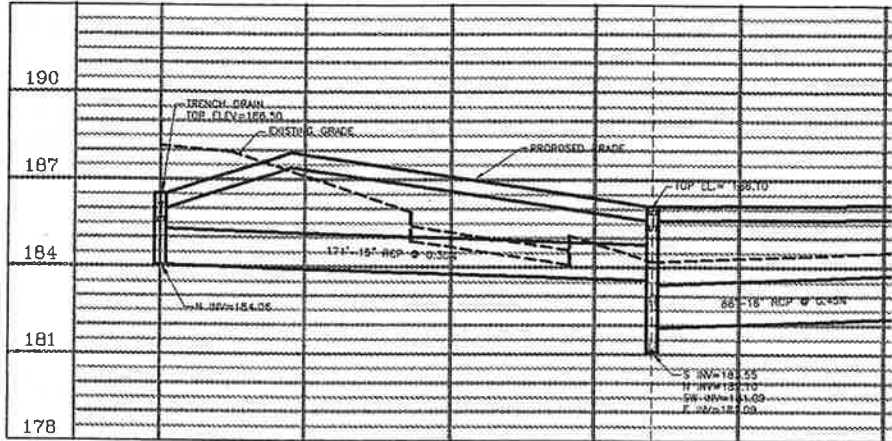
DETAILS
AND
NOTES

Project Phase:

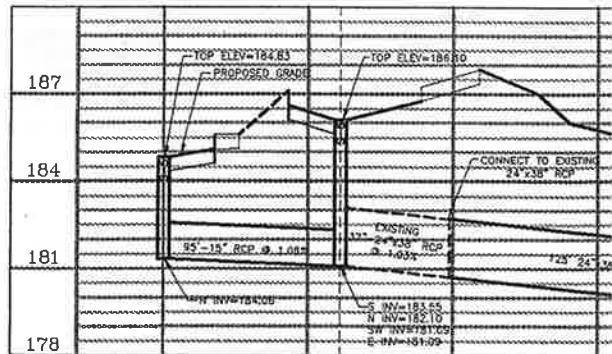
CONNECTED PLAN

Professional Engineer of Record:

Sergio J. Reyes, P.E. 47311
 Engineer Florida P.E. No.
 Scale: NTS Date: MARCH, 2002
 Designed: AMH Drawn: ASP
 Project No. 01-367 Sheet No. 8 of 8



STORM SEWER PROFILE
SCALE: 1" = 3'

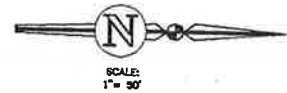


STORM SEWER PROFILE
SCALE: 1" = 3' HOR
1" = 3' VERT

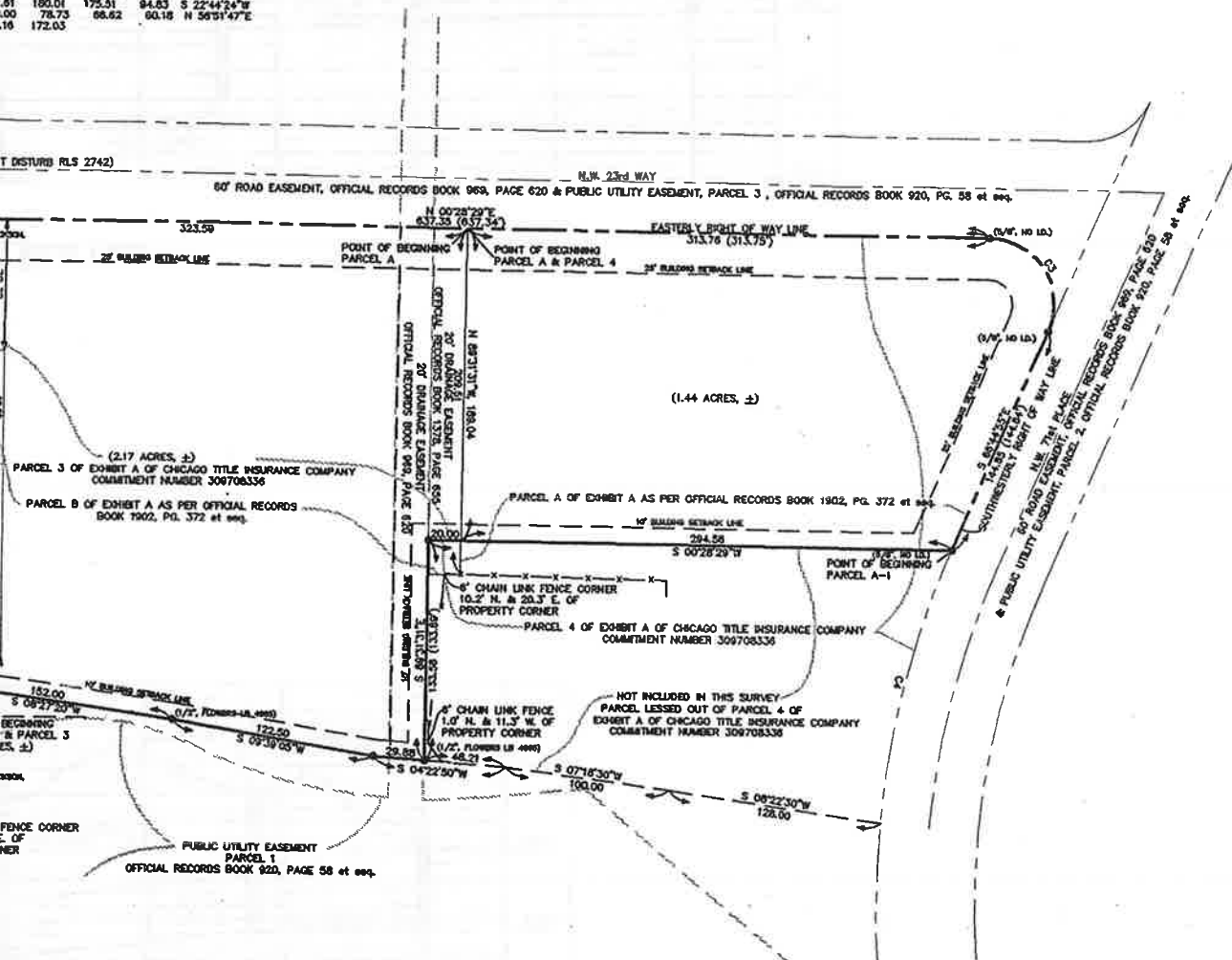
BOUNDARY SURVEY AND FOUNDATION LOCATION

IN A PORTION OF SECTIONS 12 & 13
TOWNSHIP 9 SOUTH, RANGE 19 EAST,
AND A PORTION OF SECTIONS 7 & 18
TOWNSHIP 9 SOUTH, RANGE 20 EAST,
ALACHUA COUNTY, FLORIDA.

SEE EXHIBIT A OF CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NUMBER 309708336 ATTACHED HERETO AND
MADE A PART HEREOF FOR LEGAL DESCRIPTIONS
AGGREGATE ACREAGE = 7.735 ACRES, ±



ARCS	ARC	CHORD	TANGENT	CHORD BEARING
0.00	62.17	66.10	30.54	S 00°20'40"W
0.01	180.01	175.31	94.83	S 22°44'24"W
0.00	78.73	86.62	60.18	N 56°51'47"E
0.10	172.03			



SHEET 8 OF 8

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
COPYRIGHT © 1997

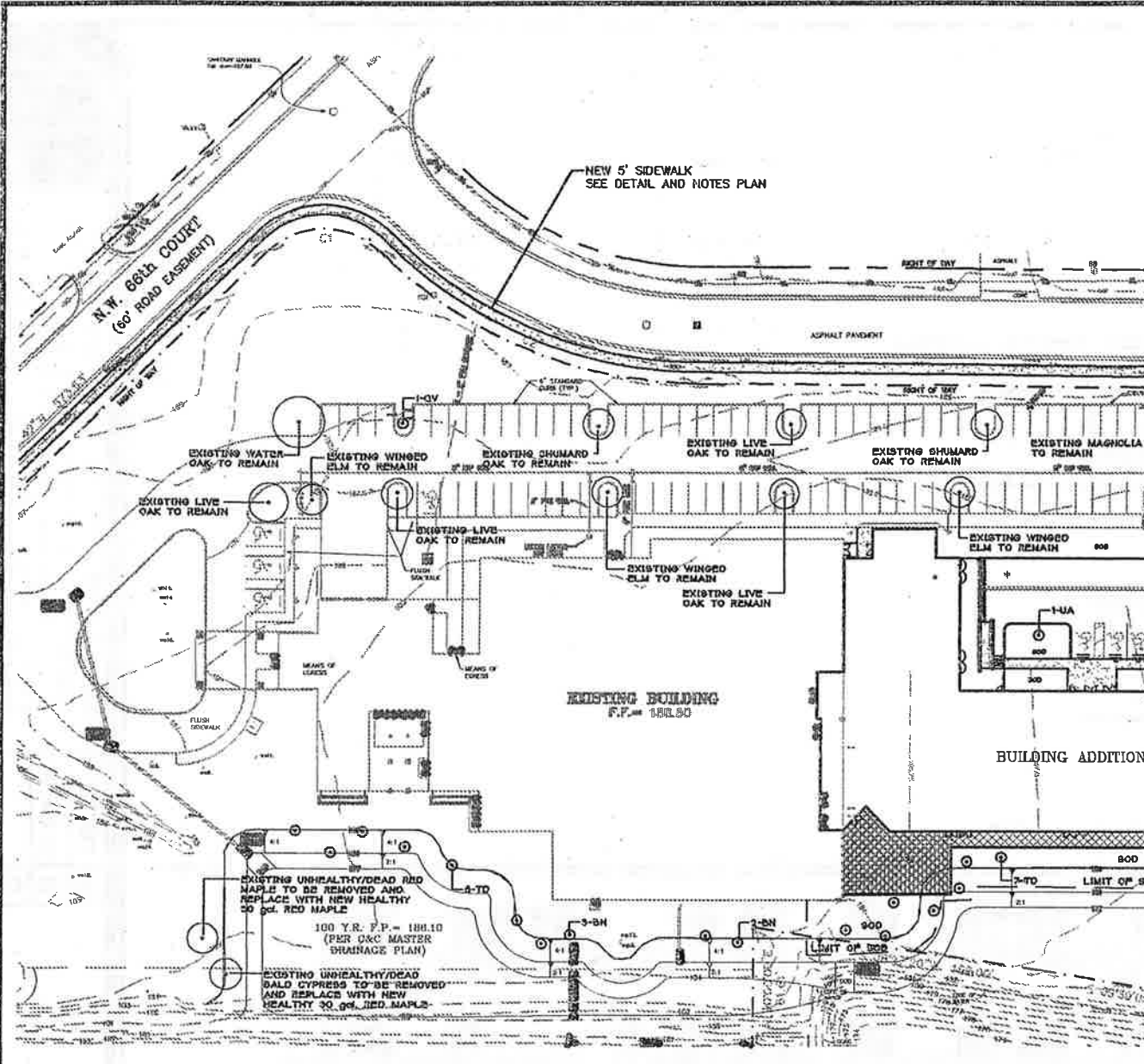
CONCRETE MONUMENT (SIZE, ID.)
4" CONCRETE MONUMENT (PRM LB 2389)
REBAR & CAP (SIZE, ID.)
1/2" REBAR & CAP (LB 2389)
SPIKE
DRILL HOLE
FILL HOLE
IRON PIPE (SIZE, ID.)
NAIL & DISC (ID.)
NAIL & DISC (PRM LB 2389)

FLOOD CERTIFICATION EFFECTIVE DATE: 9/18/84
COMMUNITY PANEL NO.: 120001 0280 A
THE PROPERTY SHOWN HEREON LIES WITHIN ZONE "A" AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP PANEL 280 OF 800 FOR ALACHUA COUNTY, FLORIDA. SAID MAP DESCRIBES ZONE "A" AS BEING "AREAS OF 100-YEAR FLOOD BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED."

PREPARED FOR: ERACHTON INC. 3) SOUTHWEST BANK, NORTH GAITHERSBURG, MARYLAND
2) CHICAGO TITLE INSURANCE CO. 4) PROGRESSIVE TRAILERS, INTERNATIONAL, INC., SOUTH & GAITHERSBURG, MARYLAND
THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 81017-4, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.022 (1997), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 11/10/97.

EDA ENG. DENMAN & ASSOC. INC.
SURVEYORS & MAPPERS
1000 N.W. 10th St.
GAINESVILLE, FLORIDA 32604
TEL: (352) 379-2844
FAX: (352) 379-7848

Project No. 97-382
Drawn by: R.W.G.
Checked by: R.W.G.
REGISTERED PROFESSIONAL SURVEYOR AND MAPPER
ROBERT W. GRAVER
Registered Fla. Land Surveyor No. 4239
COMM. CERTIFICATE OF AUTHORIZATION NO. LB 2389



GENERAL NOTES

NO ASPHALT, LIMEROCK ALLOWED IN PLANTING DURING CONSTRUCTION. ALL EXCAVATED AREAS WILL BE EXCAVATED WITH HIGH-QUALITY CLEAN MULCH.

TREES WILL BE A MINIMUM CALIPER DIAMETER, AS SPECIFIED BY THE LANDSCAPE ARCHITECT.

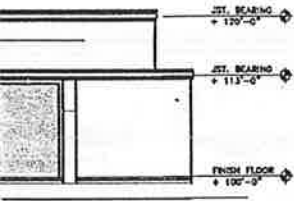
NEW TREES OUTSIDE THE PROTECTED ZONE WILL BE PROTECTED FROM TRIMMER DAMAGE WITH TUBING.

LEADER SHOOTS AND BRANCHES WILL NOT BE REMOVED UNLESS NECESSARY. NON-SYNTHETIC BIODEGRADABLE MULCH SHALL BE USED.

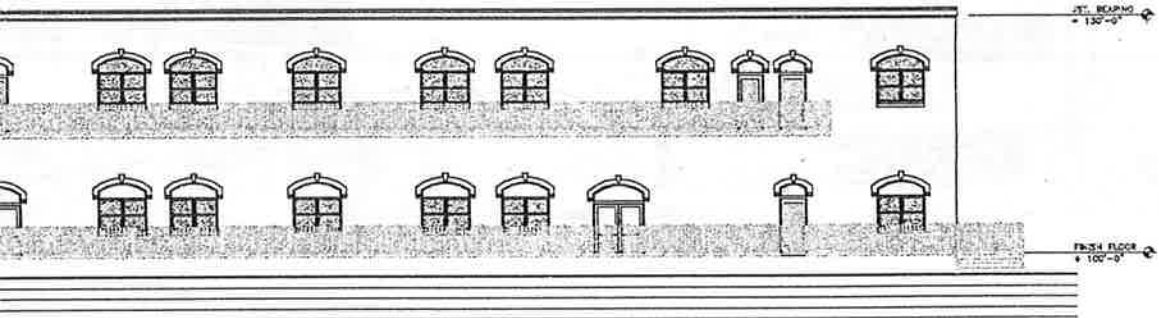
ALL EXISTING TALLOW SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF CONSTRUCTION. DIVISION (352) 334-217

OWNER SHALL BE RESPONSIBLE FOR THE SURVIVAL OF THE LANDSCAPE FOR ONE YEAR, AND (2) REMOVAL OF DEAD TREES WITHIN ONE YEAR.

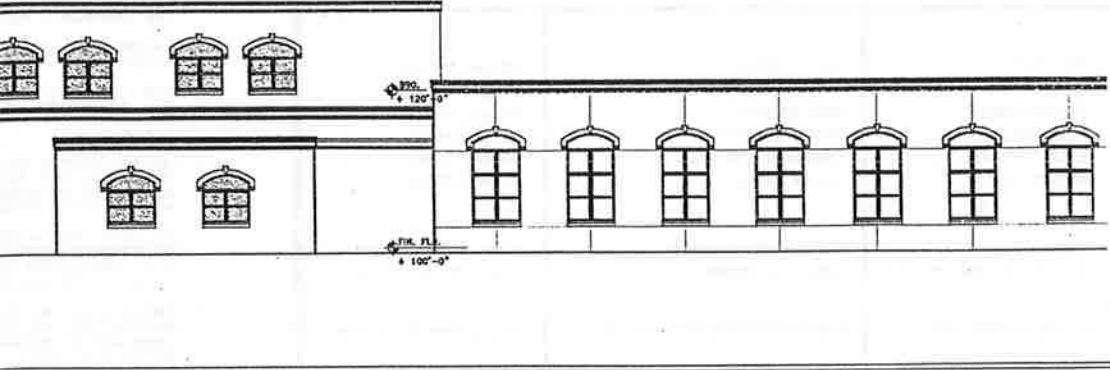
NO.	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE
TREES				
2	AR	RED MAPLE	ACER RUBRUM	30 gal, 2 nd cal.
17	BN	RIVER BIRCH	BETULA NIGRA	30 gal, 2 nd cal.
12	IC	DAHOON HOLLY	ILEX CASSINE	30 gal, 2 nd cal.
13	QV	LIVE OAK	QUERCUS VIRGINIANA	30 gal, 2 nd cal.
16	TD	BALD CYPRESS	TAXODIUM DISTICHUM	30 gal, 2 nd cal.
13	UA	WINGED ELM	ULMAS ALATA	30 gal, 2 nd cal.
SHRUBS				
117	IF	ANISE	ILICIIUM FLORIDANUM	3 gal, 24" x 15" min.
84	VO	MISS SCHILLERS DELIGHT	VIBURNUM OBOVATUM	3 gal, 12" ht, 18" spr.
GROUND COVER				
		ST. AUGUSTINE 500	STENOTAPHRUM SECUMDATUM	seed grown, weed free



to match exist.



ADDITION to match exist. EXISTING BUILDING



ROBERT S. TAYLOR, SR., ARCHITECT
FLORIDA REGISTRATION AR-0007526

associated florida architects inc.
architects ■ developers ■ planners ■
florida registration AA-C001907
802 n. w. 23rd avenue
gainesville, florida phone (352) 375-3005

N	EXACTECH
D	05 MAR 02
R	

EXACTECH
MANUFACTURING, INC.

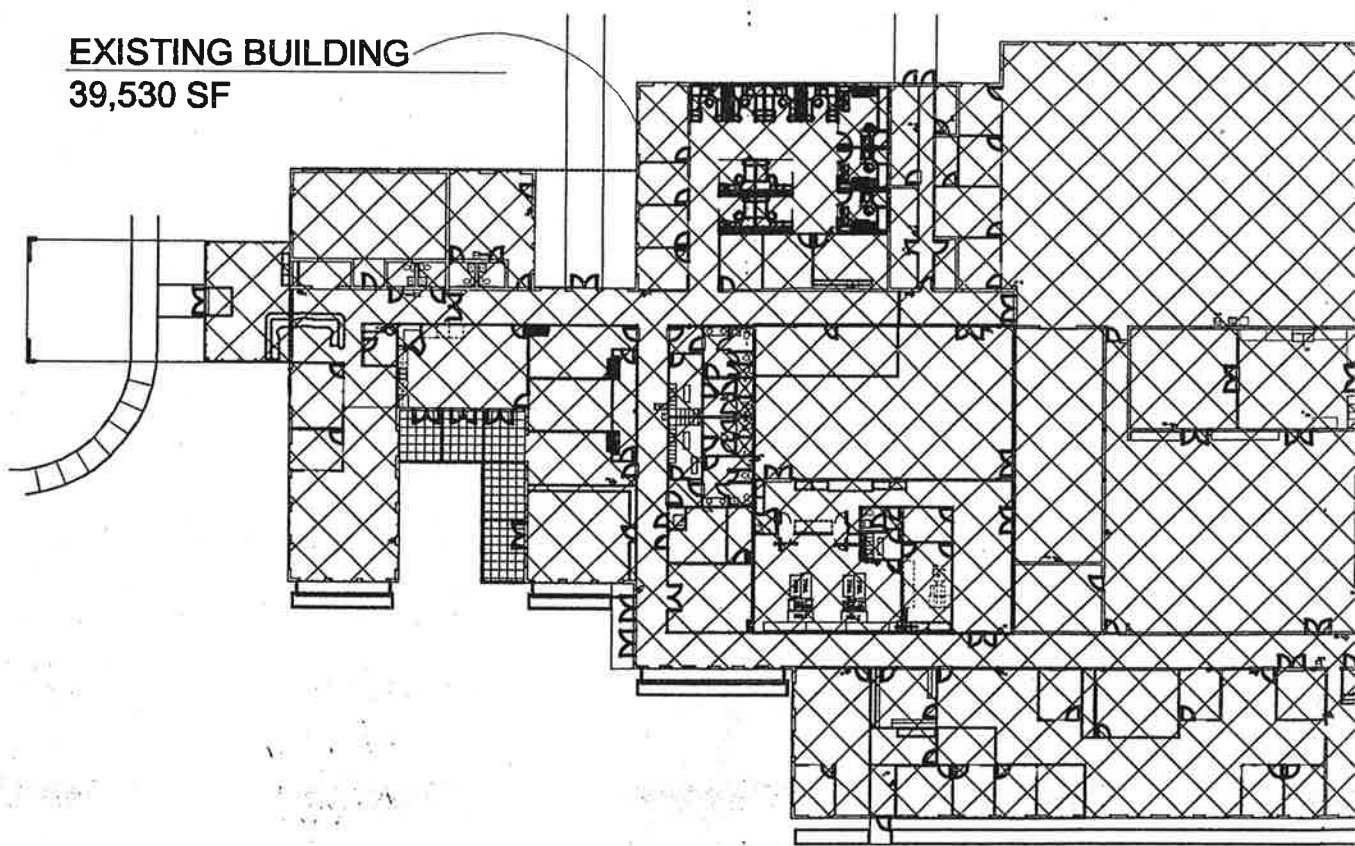
RECEIVED

MAR 12 2002

CITY OF GAINESVILLE
PLANNING DIVISION

LOWISD/CACC

EXISTING BUILDING
39,530 SF



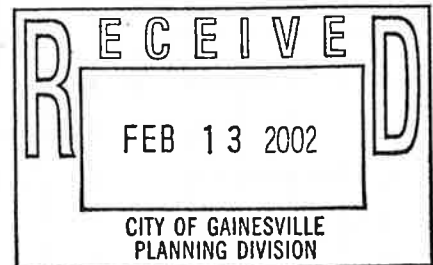
THE GAINESVILLE SUN LOCAL & STATE WEDNESDAY, JANUARY 2, 2002

PUBLIC NOTICE

A neighborhood workshop will be held to discuss construction of a 32,000+/-s.f. addition to the existing Exactech facility and associated parking spaces. This is not a public hearing. The purpose of the meeting is to inform neighboring property owners of the nature of the proposal and to seek their comments.

The meeting will be held January 16, 2002 at 6:00 PM at the Exactech site located at 2320 NW 66th Court, Gainesville, FL.

Contact person: Robert Taylor, AIA
Phone: (352) 375-3005



ENG, DENMAN & ASSOCIATES, INC.

2404 NW 43rd Street
GAINESVILLE, FLORIDA 32606-6602

E-mail: eda@atlantic.net

(352) 373-3541
FAX (352) 373-7249

JOB _____

SHEET NO. _____ OF _____

CALCULATED BY _____ DATE _____

CHECKED BY _____ DATE _____

SCALE _____

EXACTECH
1/16/02 Neighborhood Meeting

NAME	REPRESENTING.
PAUL BURG	BUR DENMAN & ASSOCI.
PHIL CRIFE	EXACTECH
JOHN PELC	EXACTECH
Ed Taylor	associated florida architects inc.
Betty Petty	Exactech
DOUG WILCOX	SHEEPER CONSTRUCTION 2501 NW 66 COURT
Bob Paxson	Exactech

1. **Petition 10WSU-02 CC** Eng, Denman & Associates, Inc., agent for Exactech, Inc. A special use permit for wellfield protection with associated development plan review for an addition to the existing building. Zoned: I-2 (general industrial). Located at 2320 Northwest 66th Court.

Ms. Carolyn Morgan was recognized. Ms. Morgan presented slides showing the site and noted that it was within the wellfield district and for that reason required a Wellfield Special Use Permit. She described the proposed development in detail, including parking, stormwater facilities, and landscaping. Ms. Morgan noted that for a Wellfield Special Use Permit, the board was required to make certain findings. She reviewed those findings and noted that the petitioner had a hazardous materials permit from the Alachua County Department of Environmental Protection (ACDEP). Ms. Morgan indicated that staff recommended approval of the petition and the preliminary development plan with the conditions provided in the board's packets. She presented elevations of the proposed building. She offered to answer questions from the board.

Mr. Guy asked if there would be any increase in hazardous materials to be stored on the site.

Ms. Morgan indicated that there would not be an increase and no hazardous materials would be stored in the proposed addition.

Mr. Rwebyogo requested clarification on the board's role in the review and if there was certain criteria to be examined.

Chair Polshek noted that the board had been provided with information on hazardous materials for ACDEP. He explained that staff reviewed the criteria. He asked what materials ACDEP considered hazardous and if they had been provided with the requested inventory.

Ms. Morgan indicated that ACDEP had issued a Hazardous Materials Permit to the petitioner. She reviewed the inventory of hazardous materials. She explained that GRU and ACDEP made the determination on the wellfield.

Mr. Gold noted that the Building Inspection Department disapproved the plan. He asked if the matter had been resolved.

Ms. Morgan explained that the Building Inspection Department disapproved the plan because they did not have a final elevation. She explained that the Plan Board did not give final review on the development plan, and the elevations would be presented later.

Chair Polshek noted that the Public Works Evaluation Sheet requested a note as to whether the site is affected by the 100-year flood plain.

Ms. Morgan stated that the site was in the FEMA flood plain.

Mr. Sergio Reyes, agent for the petitioner, was recognized. Mr. Reyes noted the petitioner was expanding the facility. He offered to answer any questions from the board.

Mr. Gold asked about the floodplain area.

These minutes are not a verbatim account of this meeting. Tape recordings from which the minutes were prepared are available from the Community Development Department of the City of Gainesville.

Mr. Reyes explained that the master stormwater basin was designed for the 100-year flood elevation and since that basin was on the petitioner's property, placed the site within the 100-year flood elevation. He noted that the existing and proposed facilities were not within the floodplain.

There was no public comment on the petition.

Mr. Rwebyogo asked if there was a containment plan for accidents.

Mr. Reyes indicated that a containment plan had to be provided to ACDEP for any accidents, and there were two inspections a year.

<u>Motion By:</u> Mr. Pearce	<u>Seconded By:</u> Mr. Gold
<u>Moved to:</u> Approve Petition 10WSU-02 CC, with staff conditions.	<u>Upon Vote:</u> Motion Carried 7 - 0 Ayes: Andrews, Gold, Guy, Pearce, Myers, Rwebyogo, Polshek