

**TO:** City Plan Board

**Item Number:** 3

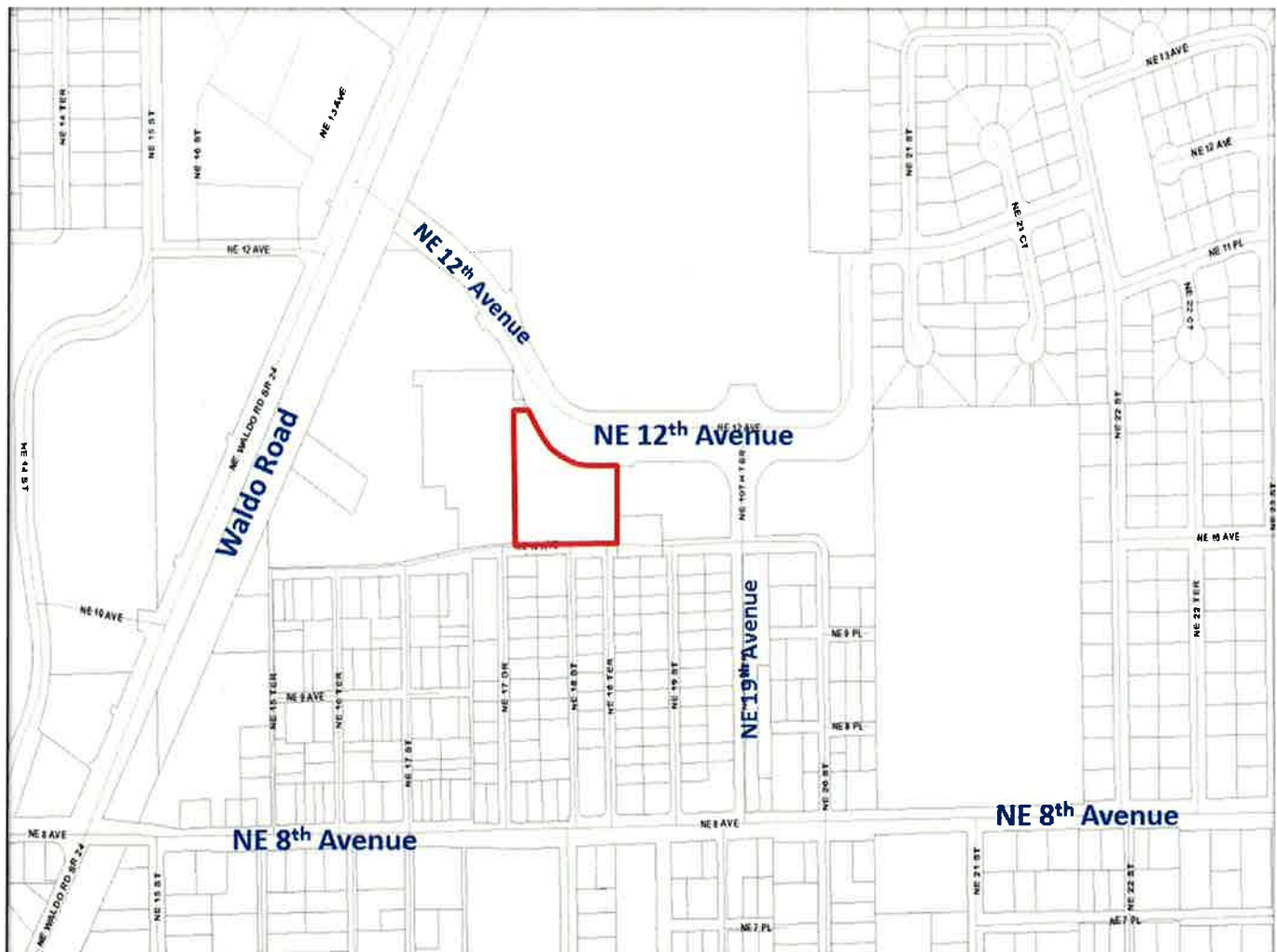
**FROM:** Planning & Development Services Department

**DATE:** May 26, 2016

**SUBJECT:** Petition PB-16-34 SUP: Greenberg Farrow, agent for Walmart Stores East, owner. A Special use permit with an intermediate development plan to allow for the construction of a gas station with convenience store. Zoned: MU-2 (12—30 units/acre mixed use medium intensity). Located at 1800 NE 12th Avenue.

### Recommendation

Staff recommends approval of Petition PB-16-34 SUP with conditions and the development plan.



## **Description**

This petition addresses a request to grant a special use permit at the above referenced site to allow construction of a gasoline station with 12 fueling positions and a retail/convenience store. Per the Comprehensive Plan and Policy 10.4.9 of the Transportation Mobility Element gasoline service stations with more than six fueling positions must meet a specific set of conditions with final approval by the City Commission.

The project site is located at 1800 NE 12<sup>th</sup> Avenue on 2.02 acres; this parcel was created as part of a Minor Subdivision of Tax Parcel 10859-010-003. The site has a land use designation of Mixed use Medium (MUM) and a zoning of MU-2 (Mixed use medium intensity 12-30 units per acre). The property is located in the northeast part of Gainesville, north of NE 8<sup>th</sup> Avenue and west of Waldo Road. The property sits on the south side of NE 12<sup>th</sup> Avenue opposite the Walmart Super Center. It is surrounded by residential development to the east and south. The parcel immediately to the west is improved with a transmitter tower, with most of the site being vacant along Waldo Road.

The development proposal includes a site plan showing the layout of the development with a free-standing building of approximately 1,200 square feet fronting NE 12<sup>th</sup> Avenue. Immediately south of the building is a 3,744 square foot gas canopy with 12 fueling positions. A small parking area consisting of 13 parking spaces sits between the retail building and the gas canopy. Other features of the site include sidewalks surrounding the property, landscaping with screening from the adjacent church and residential development to the south. The vehicular use area for the site allows internal circulation with two access points onto NE 12<sup>th</sup> Avenue connecting to the general road network. Stormwater management is accommodated within a pre-designed basin for the overall Walmart development.

The project is seeking a general Special Use Permit and a Transportation Mobility Program Area (TMPA) Special Use Permit with preliminary and final development plan approval.

## **Key Issues**

The issues pertaining to this development and its request for a Special Use permit and TMPA Special Use Permit are as follows:

1. The parcel is not located within the Wellfield Protection Zone but it is within 300 feet of the Tertiary Zone; the underground storage tanks are 390 feet from the Tertiary Zone.
2. The development includes the use of underground storage of gasoline which is a hazardous material.
3. The parcel is located between an established residential neighborhood and a frequently used Wal-Mart department store.
4. The vacant parcel is currently traversed by pedestrian routes that link the residential area to the Walmart retail establishment and a bus stop along NE 12<sup>th</sup> Avenue.
5. The current proposal is to operate the station 24 hours per day.
6. There is a large wet detention area located immediately west of the property.

## **Basis for Recommendation**

Staff's recommendation is based on the criteria for issuing a Special Use Permit as stated in the land development code Section 30-233 and the requirements of the Transportation Mobility Program Area, Policy 10.4.9 of the Comprehensive Plan.

**Special Use Permit Criteria**

In accordance Section 30-233 no special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

- 1. That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.***

The proposed development is in conformance with the land use designation of Mixed-Use Medium and the proposed uses are consistent with the MU-2 zoning district. The development has been subject to development plan review which ensures compliance with required development standards. The attached comments and conditions of the Technical Review Committee are included to ensure that areas of potential deficiencies are addressed. The project is also subject to the appropriate Federal, State and local agency regulations. Alachua County Environmental Protection Department has provided documentation confirming its intent to approve the development.

- 2. That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.***

The proposed development is in the MU-2 zoning district which is generally characterized as a mixed-use medium intensity district established for the purpose of providing a mix of employment, retail, professional, service and residential uses in medium level activity centers. It is also consistent with several of the listed objectives of the MU-2 district (See Attachment "D").

While the placement of the development within the MU-2 zoning district is consistent and compatible with the zoning, its relationship to the major road network and surrounding developments is atypical of the relationship generally associated with the location of gasoline stations. The development is well removed from the major arterials and major intersections where such uses are typically established. The development is on a local street leading to a relatively small and low density residential neighborhood; it is approximately 925 feet from Waldo Road (SR-24), a major north/south transportation corridor through the City. The development has a common boundary with an established residential neighborhood to the south.

Placement of the development is strongly influenced by the existence and location of the Walmart Super Center retail business and is intended to capture the patrons of that center.

The local community may benefit from both components of the development, the convenience store and gasoline service station. Nonetheless, care must be exercised in the placement, design and operation of the facility to ensure compatibility with surrounding developments, particularly the residential areas. The Technical Review Committee has therefore paid close attention to some of the key design features that would facilitate a compatible and harmonious coexistence of the proposed development with the surrounding neighborhoods. One notable features of the existing vacant site is the natural north/south imprint of pedestrian activity across the site. That feature has been retained in the proposed development by creating north/south pedestrian sidewalks on both the east and west sides of the development; one leads to the Walmart retail center and the other leads to the local bus stop on NE 12<sup>th</sup> Avenue. Those sidewalks will be a minimum five-foot wide with pedestrian lighting and will be connected to the east west sidewalks along NE 10<sup>th</sup> and 12<sup>th</sup> Avenues.

A buffer of landscaping materials is provided along the south and east sides of the property to screen the development from the adjacent church and residential areas. No direct vehicular access is provided from the proposed development to NE 10<sup>th</sup> Avenue; this will prevent the occurrence of non-relevant traffic into the residential neighborhoods. Through the review of a photometric plan for the development, care has been taken to ensure that adequate lighting is provided to the site in a manner that prevents light intrusion and glare into the residential areas. To the west of the site, there is an unprotected deep water body that creates a potential danger to pedestrians or patrons using the site. A minimum, six-foot high fence shall be erected along the west property boundary to avoid unintended access to that body of water. The development is proposing a 24 hour operation of the facility. Due to the proximity of the site to the residential development to the south, staff recommends operating hours of 5:00 AM to 11:00 PM in order to be less intrusive to the neighborhood.

***Condition 1. A minimum five-foot wide sidewalk shall be provided on both the east and west sides of the development and along the south boundary parallel to NE 10<sup>th</sup> Avenue. The sidewalks shall be lit in accordance with the lighting regulations for security lighting along pedestrian routes.***

***Condition 2. A nine-foot wide buffer with screening vegetation shall be provided along the east common boundary with the church and along the south boundary of the property parallel to NE 10<sup>th</sup> Avenue.***

***Condition 3. No motor vehicular access shall be allowed from the development to NE 10<sup>th</sup> Avenue.***

***Condition 4. The photometric plan shall ensure that lighting complies with the requirements of the Land Development Code. Consideration of any waivers shall not allow lighting intrusion and spillover lighting into the adjacent neighborhoods. All light fixtures shall be designed and placed so that there is no direct lighting into the adjacent neighborhoods.***

***Condition 5. The western perimeter of the site shall be protected with a minimum six-foot fence to ensure a safe relationship between the development and the pond on the west side of the development; the preferred fence is an aluminum wrought-iron type fencing with vegetation.***

***Condition 6. The operating hours of the facility shall be from 5:00 am to 11:00pm.***

- 3. That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.***

The project has been reviewed by the Technical Review Committee and a determination has been made that the necessary public utilities are available to service the demands of the site. Potable water, sewer and wastewater systems are in place to provide adequate services. Although the demands for the new development may vary, the existing site is currently served by electric, gas, water, and sanitary sewer at a capacity which is adequate to serve the needs of the facility. GRU has recommended approval and indicates that there is adequate capacity to serve future needs as demand changes.

***4. That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.***

The proposed development is located on the south side of NE 12<sup>th</sup> Avenue, approximately 500 feet west of NE 19<sup>th</sup> Street, which is a two-lane local road that connects NE 12<sup>th</sup> and NE 8<sup>th</sup> Avenues. Both roadways provide access to nearby local street networks as well as links to surrounding neighborhoods and communities. Both routes have adequate capacity to accommodate traffic associated with the development. The development is located in Zone A of the TMPA and must meet all requirements as stated in the Transportation Mobility Program Area Element of the Comprehensive Plan.

***5. That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.***

The proposed development satisfies the general landscaping and screening requirement per the Land Development Code; this is reflected in the proposed landscaping plan depicted in Attachment “B”. Additional landscaping is proposed along the south and south east boundaries of the property adjacent to the church and the residential developments.

***6. That the use or development conforms to the general plans of the city as embodied in the city comprehensive plan.***

The property is zoned MU-2 which is consistent with the land use designation of Mixed Use Medium Intensity. The uses proposed for the property are uses allowed by right in the MU-2 zoning district, except that twelve fueling stations are allowed by special use permit per the Comprehensive Plan. The proposed uses and development are therefore consistent with the intent of the Future Land Use Element of the Comprehensive Plan.

The project can be considered as an infill development which is supported by Policy 2.1.1 of the Future Land Use Element of the Comprehensive Plan. The development can be described as a compact development which is supported by Objectives 1.5 and 2.1 of the comprehensive plan. It is also developed within close proximity to the urban core thus discouraging urban sprawl and promoting transportation choices. The development is consistent with Policy 1.2.5 in the manner in which it addresses the needs of local pedestrians through the implementation of several sidewalk routes connecting residential neighborhoods to frequently used surrounding neighborhood activity centers. The development has the potential of stimulating additional development and enhancing economic opportunities within the neighborhood; this is consistent with Policy 2.1.1 which seeks to encourage neighborhood enhancement and stabilization. Although the development is not in the Wellfield Protection Zone, care has been taken to ensure that the development is in compliance with the Alachua County Hazardous Material Code thus supporting the quality of life criteria of the Comprehensive Plan

***7. That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.***

The development shall meet all level of service requirements. Based on the above analysis, staff has determined that the information provided is sufficient to justify compliance with the criteria for issuing the special use permit. The development has been issued a Certificate of Preliminary and Final Concurrency subject to meeting the TMPA requirements as listed in the TRC comments.

***Condition 7. The applicant shall be required to comply with all requirements of the Technical Review Committee as included in Attachment "A".***

***Condition 8. The layout and design of fueling positions shall ensure that pumps are positioned to serve only two vehicles at a time at each pump station.***

#### **Comprehensive Plan, Transportation Mobility Plan Areas (TMPA), Policy 10.4.9**

The Comprehensive Plan allows a maximum of six fueling positions within all zoning districts except industrial zoning (no limitation), and a maximum of 12 fueling positions by Special Use Permit with final approval of the City Commission.

***Due to the location of the property within the TMPA, petroleum sales with or without sale of convenience goods and/or food are required to demonstrate compliance with Concurrency Management Element Policy 10.4.9 and associated criteria as referenced in Exhibit "D".***

The development addresses the requirements for pedestrian/bicycle access and circulation. Sidewalks are provided along NE 12<sup>th</sup> and NE 10<sup>th</sup> Avenues with connections to the interior site facilities. One pedestrian crosswalk is shown on the development but a condition is included to address the full requirements of the intersection. The number and width of driveways will be modified to satisfy requirements of the Land Development Code.

***Condition 9. The applicant shall submit a design for a pedestrian crosswalk at the intersection of NE 12<sup>th</sup> Avenue and the main entrance to the Walmart development near the proposed development. A refuge area within the median of NE 12<sup>th</sup> Avenue shall be provided if approved by Public Works. The crosswalk shall be constructed by the developer per the specifications approved by Public Works.***

#### **Policy 10.4.9 Criteria**

The development is located within the MU-2 zoning district and is allowed six fueling positions but is allowed consideration of up to twelve positions through the special use permitting process. The development is proposing twelve fueling positions in accordance with the following criteria:

- a. The size of the site can safely accommodate the additional fueling positions while meeting all required landscaping, buffering, and other Land Development Code requirements;***

The property is approximately 2.02 acres and is designed to safely accommodate required access, turning movements for large suppliers and the necessary separation of facilities on the site. The development complies with all landscaping and buffering requirements and all code requirements have been addressed.

May 26, 2016

***b. Site access and traffic safety conditions on adjacent roadways and intersections are not compromised by the additional trips generated by the additional fueling positions;***

Access to the site has been modified to address safety and efficient traffic circulation. Staff has determined that the proposed improvements with twelve fueling positions will not compromise the efficiency and safety of adjacent roadways.

***c. Pedestrian/bicycle safety and comfort in the area are not compromised by the additional trips generated by the additional fueling positions;***

Due to the site design, implementation of additional sidewalks, limited access points and pedestrian crosswalks, the additional fueling positions will not compromise pedestrian/bicycle safety in the area.

***d. The architectural and site design are of such high quality that they enhance the site area and promote the City's multi-modal and design goals.***

The site design is in compliance with the Land Development Code. The building placement and elevations are consistent with the build-to line and glazing requirements. The building is oriented with its primary entrance facing the more primary street, NE 12<sup>th</sup> Avenue. The southern building façade is well removed from the secondary street and presents a façade that contains an entrance with glazing. The architectural design and building materials present an attractive façade along NE 12<sup>th</sup> Avenue.

***e. Cross-access or joint driveway usage is provided to other adjacent developments.***

There are no adjacent developments requiring a common access with the proposed development. The parcels to the east and west are used as stormwater basins and the development to the south is a residential area to which pedestrian access is provided. The potential for future connection is available if necessary.

***f. Retail convenience goods sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site is encouraged:***

The development includes a 1,200 square foot retail convenience store which meets the following requirements.

1. The building is within 30 feet of the back of the sidewalk with no intervening driveways.
2. The front building façade along NE 12<sup>th</sup> Avenue shall be required to meet the 30% glazing requirement.
3. A pedestrian entry to the building is provided via a sidewalk which runs from the public sidewalk into the main building. Sidewalks are also provided to facilitate pedestrian circulation to and through the property.
4. All off-street parking is located to the rear of the building.
5. The building height and elevations are appropriate for the site. The building is a one-story building. The elevations and building materials are attractive and the building colors are neutral and meet the City's Advisory Color Guidelines.

## **Summary**

The development is in compliance with the development standards of the MU-2 zoning district as well as parking, access, landscaping and buffers requirements. The development must meet State and Regional requirements related to air emissions, surface and groundwater emission, noise, truck traffic, odor and glare. Based on the above analysis, staff has determined that the information provided is sufficient to justify compliance with the criteria for issuing the TMPA Special Use Permit and the general Special Use permit.

## **Special Use Permit Conditions**

***Condition 1. A minimum five-foot wide sidewalk shall be provided on both the east and west sides of the development and along the south boundary parallel to NE 10<sup>th</sup> Avenue. The sidewalks shall be lit in accordance with the lighting regulations for security lighting along pedestrian routes.***

***Condition 2. A nine-foot wide buffer with screening vegetation shall be provided along the west common boundary with the church and along the south boundary of the property parallel to NE 10<sup>th</sup> Avenue.***

***Condition 3. No motor vehicular access shall be allowed from the development to NE 10<sup>th</sup> Avenue.***

***Condition 4. The photometric plan shall ensure that lighting complies with the requirements of the Land Development Code. Consideration of any waivers shall not allow lighting intrusion and spillover lighting into the adjacent neighborhoods. All light fixtures shall be designed and placed so that there is no direct lighting into the adjacent neighborhoods.***

***Condition 5. The western perimeter of the site shall be protected with a minimum six-foot fence to ensure a safe relationship between the development and the pond on the west side of the development; the preferred fence is an aluminum wrought-iron type fencing with vegetation.***

***Condition 6. The operating hours of the facility shall be from 5:00 am to 11:00pm.***

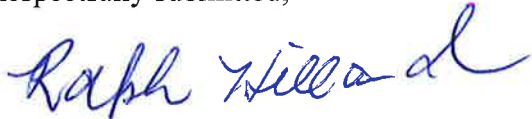
***Condition 7. The applicant shall be required to comply with all requirements of the Technical Review Committee as included in Attachment "A".***

***Condition 8. The layout and design of fueling positions shall ensure that pumps are positioned to serve only two vehicles at a time at each pump station.***



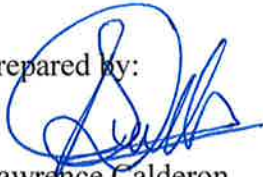
***Condition 9. The applicant shall submit a design for a pedestrian crosswalk at the intersection of NE 12<sup>th</sup> Avenue and the main entrance to the Wal-Mart development near the proposed development. A refuge area within the Median of NE 12<sup>th</sup> Avenue shall be provided if approved by Public Works. The crosswalk shall be constructed by the developer per the specifications approved by Public Works.***

Respectfully submitted,



Ralph Hilliard  
Planning Manager

Prepared by:



Lawrence Calderon  
Lead Planner

**List of Exhibits**

**Attachment A: Technical Review Committee Comments**

**Attachment B: Development Plans & Maps**

**Attachment C: Application and Neighborhood Workshop Information**

**Attachment D: Comprehensive Plan and Land Development Code References.**

# Attachment "A"

## TECHNICAL REVIEW COMMITTEE COMMENTS

PLANNING & DEVELOPMENT SERVICES DIVISION  
THOMAS CENTER BUILDING "B"  
306 NE 6<sup>TH</sup> AVENUE (352)334-5023

|   |  |  |
|---|--|--|
| <b>PETITION NO.</b> <b><u>PB-16-34 SUP</u></b>  | <b>DATE PLAN RECEIVED:</b> 04/19/2016                          | <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input checked="" type="checkbox"/> Prelim Dev<br/> <input checked="" type="checkbox"/> Final Dev<br/> <input type="checkbox"/> Amendment<br/> <input type="checkbox"/> Special Use<br/> <input type="checkbox"/> Planned Dev<br/> <input type="checkbox"/> Design Plat         </div> <div style="width: 45%;"> <input type="checkbox"/> Concept<br/> <input type="checkbox"/> Minor Dev.<br/> <input type="checkbox"/> Minor Sub.<br/> <input type="checkbox"/> Street Vacation<br/> <input type="checkbox"/> Other: Land Use         </div> </div> |
| <b>REVIEWING BODY:</b> Technical Review Cmt.  | <b>REVIEW DATE:</b> 05/02/2016                                 |  |
|   | <b>REVIEW LEVEL:</b> N/A                                       |  |
| <b>PROJECT DESCRIPTION:</b> <u>Petition PB-16-34 SUP</u> Greenberg Farrow (John Vecchio, P.E.) agent for Walmart Stores East, owner. A special use permit with an intermediate development plan to allow for the construction of a gas station with convenience store. Zoned: MU-2 (12—30 units/acre mixed use medium intensity). Located at 1800 NE 12th Avenue. <b>(Lawrence)</b> |  | <b>PROJECT PLANNER:</b> Lawrence Calderon  |
| <b>PROJECT LOCATION:</b> Located at 1800 NE 12th Avenue.  | <b>PROPERTY AGENT:</b> Greenberg Farrow (John Vecchio, P.E.) . |  |

### RECOMMENDATIONS/REQUIREMENTS/COMMENT

**Planning Comments: Approvable subject to comments.**  
**Lawrence Calderon, Lead Planner,**  
**352-334-5023 May 26, 2016**

1. Some concerns about the development center around its close proximity to a residential area to the south. Concerns are about pedestrian and automobile access, pedestrian facilities, buffering, noise, odor and safety.
2. The hours of operation shall be 5:00am to 11:00 pm.
3. Please show lots existing on the south side of the property along NE 10<sup>th</sup> Avenue.

## ***TRC COMMENTS***

(CONTINUED)

4. The sidewalk on the east side of the property serves as an excellent pedestrian access to the Wal-Mart stores; a similar pedestrian access is required on the west side of the property to connect to the bus stop on NE 12<sup>th</sup> Avenue.
5. The code requires the following:
  - a. Lighting shall be automatically extinguished no later than one hour after the close of business or facility operation and/or use by the public
6. I see the elevations contain glazing with some "Faux Windows"; could not see how the elevation meets the required glazing. Glazing provided must meet the description per the code.
7. It appears that the landscaping provided along the exterior of the vehicular use area may create a safety concern because of its height. Staff recommends a species that would be shorter and provide less screening.
8. There is a water body on the west side of the property that appears to be very deep and unprotected; a secured fence, preferably aluminum wrought-iron type fencing with vegetation, shall be provided.

### **Fire and Life Safety Services (Approvable) Steve Hesson, Fire Inspector, 334-5065**

GRU Comments (Waiting for comments as of 5-19-2016.)  
Neal Beery, GRU New Services, 352-393-1413, [newservices@gru.com](mailto:newservices@gru.com)

GRU comments are being provided to the applicant in the form of redline markups of the plans.

Real Estate: (Not Approved)

No Comments

Water/WasterWater: (Not Approved)

No Comments

Electric: (Approved)

No Comments

GRUCom: (Approved)

No Comments

GRU GAS: (Approved)

No Comments

**Environmental Comments: No Comments**  
**John Hendrix, Environmental Coordinator**  
**E-mail: [hendrixjw@cityofgainesville.org](mailto:hendrixjw@cityofgainesville.org); Phone: 352-393-8**

**Concurrency Comments (Approvable subject to below)**  
**Jason Simmons, Concurrency Planning, 334-5022**

## ***TRC COMMENTS***

(CONTINUED)

1. Please add the trip generation numbers for the gas station onto sheet C-1 and site the traffic study for the Walmart as the source.

**Building Department Comment: No comments**  
**Linda Patrick, Plans Examiner (PX934), 334-5050**  
**patricklr@cityofgainesville.org**

**Urban Forestry Comments (Approvable with Conditions)**  
**Earline Luhrman, Urban Forestry Inspector, 393-8188**

4/29/16

1. Please replace the Red Maple trees with Florida Maple trees.

**Public Works Department Comments (APPROVABLE - Subject to Comments)**  
**Erika Morin, GIS Intern, 393-8483, morinek@cityofgainesville.org**

Public Works Review (Approvable subject to comments)

Roadway and Site Design:

1. The proposed crosswalk on NE 12th Ave. is considered an unsignalized pedestrian crosswalk per the MUTCD and must be signed per the criteria stated in the MUTCD.

Stormwater Management:

1 - The stormwater management facility is a wet detention system. The retention volume would be the volume retained between the permanent pool volume elevation and the lowest discharge elevation. Please correct the appropriate values on the cover sheet.

**Hazardous Materials - ACEPD (See attached comments)**  
**Agustin Olmos, Water Resources Supervisor, PE, 264-6800**

**GPD Crime Prevention Unit Comments:**  
**Dr. Richard Schneider, Title: 334-2385;**  
**GPD Crime Prevention Unit Comments**

Light levels very high under and adjacent to the canopy -- could create a light island and eye adjustment issues. GPD is reviewing the options of pedestrian or vehicular access to the station and convenience store from NE 10th Avenue.

## **Attachment “B”**

### **Development Plan and Associated Maps**

# SITE DEVELOPMENT PLANS FOR MURPHY OIL USA, INC. GAINESVILLE, FLORIDA

## 1800 NE 12TH AVE (WALMART SUPERCENTER# 3877)

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



### GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. **WARRANTY/DISCLAIMER:**  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- E. **SAFETY NOTICE TO CONTRACTOR:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- F. ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- G. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- H. CONSTRUCTION AND INSTALLATION OF 1200 S.F. C-STORE, ALL UTILITY ENTRANCES, (1)25,000 GAL-REGULAR, (1)8,000 GAL-PREMIUM, (1)10,000 GAL-DIESEL, AND (1)8,000 GAL-E-85 UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- I. CONTRACTOR IS NOT TO START WORK UNTIL MURPHY OIL USA HAS RECEIVED WRITTEN AUTHORIZATION FROM WAL-MART AND WAL-MART STORE #3877. MANAGER HAS BEEN CONSULTED FOR SCHEDULING AND COORDINATION.
- J. THE GENERAL CONTRACTOR TO FIELD COORDINATE THE CANOPY SIGN LOCATION WITH MURPHY'S CONSTRUCTION SUPERVISOR.

### NOTES TO CONTRACTOR

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD INFORMED OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- E. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FROM THE ISSUING AUTHORITY.
- F. IF AN AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE OBTAINING THE AS-BUILT SURVEY, PREPARED BY A LICENSED SURVEYOR, AND SUBMITTING THE AS-BUILT SURVEY TO ISSUING AUTHORITY AND THE ENGINEER OF RECORD.

### WETLANDS NOTE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

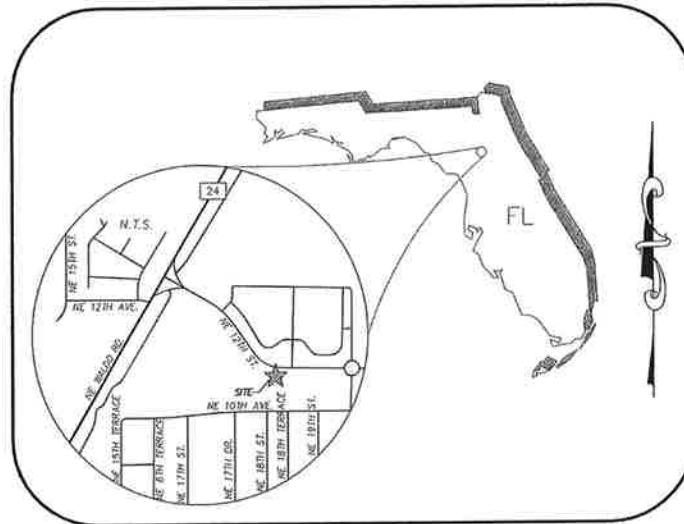
### FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 12001C03160, COMMUNITY PANEL NUMBER 0316 DATED 06/16/2006.

### NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (870) 881-6786. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

- 1) The development shall comply with the Florida Fire Prevention code and protection code, [Gainesville Fire Prevention Code Section 10-5(a) & (b)]
- 2) Fire hydrants and stabilized surfaces shall be in service prior to the accumulation of combustibles on site. [Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-16.4.3)]
- 3) In the Building Public Safety Radio Enhancement Systems shall be provided in all buildings where minimum radio signal strength for fire department communications is not achieved at a level determined by the AHJ. It is highly recommended that developers evaluate and address the potential need for IBPRES at the early stages of project planning. For additional specific requirements pertaining to signal strength, [Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-11.1.0)]
- 4) The owner or the owner's authorized agent shall develop a fire safety program to address all essential fire and life safety requirements for the duration of demolition, alteration and construction. As specified in the Florida Fire Prevention Code, including NFPA 241, the fire safety program shall include an emergency response plan, as well as identifying fire prevention precautions, site and building emergency access routes, temporary and permanent water supplies, building egress routes, good housekeeping practices, and fire protection system installation and maintenance. Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-16)]



Vicinity Map

NOT TO SCALE

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EPA PERMIT NO. 40-001-23475-2  
STORM WATER MANAGEMENT ID-POND A  
TOP ELEVATION: 160.00'  
NORMAL WATER ELEVATION: 156.0'  
BOTTOM ELEVATION: 151.00'  
LOWEST DISCHARGE ELEVATION: 156.00'  
RETENTION AREA AT LOWEST DISCHARGE ELEVATION 2.15 AC  
RETENTION VOLUME 9.62 AC-FT

ELECTRICAL DESIGN PROVIDED BY  
GRU ENERGY DELIVERY

THIS SITE IS NOT IN AN HISTORICAL  
PRESERVATION DISTRICT.

THIS SITE AND BUILDING COMPLIES  
WITH THE STATE OF FLORIDA CODES  
AND ACCESSIBILITY STANDARDS.

#### GREENBERGFARROW (BUILDING)

|     |   |
|-----|---|
| CS1 | COVER SHEET                             |
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#### GREENBERGFARROW (CANOPY)

|     |                          |
|-----|--------------------------|
| CS1 | COVER SHEET              |
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| E1  | FRAMING PLAN             |
| E2  | ELEVATIONS               |
| E3  | LIGHTING AND SOFFIT PLAN |
| E4  | SECTION                  |
| E5  | SECTION                  |
| E6  | SECTION                  |
| F1  | FOUNDATION PLAN          |

### RESOURCE LIST:

#### PLANNING AND ZONING

CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### BUILDING

CONTACT: NANCY TESTA  
CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### ENGINEER

CONTACT: MALONE VINCENT  
GRU,  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3434

#### STORMWATER

CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### FIRE PREVENTION

CONTACT: JOHN LAKE  
CITY OF GAINESVILLE  
CITY HALL  
200 EAST UNIVERSITY AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-5000

#### WATER AND SEWER

GRU WATER & SEWER  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3434

#### ELECTRIC

GRU ELECTRIC CO.  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3434

#### GEOTECH

UNITED CONSULTING, INC.  
625 HOLCOMB BRIDGE ROAD  
NORCROSS, GEORGIA 30071  
PHONE: (770) 209-0029

#### TELEPHONE

AT&T  
CONTACT: STUART NOLEN  
PHONE: (352) 371-5278

#### MURPHY

CONTACT: BASSAM ZIADA  
422 N. WASHINGTON  
EL DORADO, AR 71780  
PHONE: (870) 875-7636

### AGENCY

PLANNING & ZONING  
STORMWATER  
BUILDING  
NPDES  
WAL-MART

### DATE

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

BASED ON A DRAWING BY:  
BASED ON A DRAWING BY:  
CPH  
SANFORD, FLORIDA  
PHONE: (407) 322-6841  
FAX: (407) 330-0639  
DRAWING DATE 08-24-2006

BASED ON A SURVEY BY:  
BECHTLER GREENFIELD  
SOUTHEAST, LLP  
1430 WEST PEACHTREE ST NW,  
SUITE 225  
ATLANTA, GEORGIA 30309  
PHONE: (770) 422-8181  
FAX: (770) 422-8101  
SEPTEMBER 10, 2015



APR 18 2016

## GreenbergFarrow

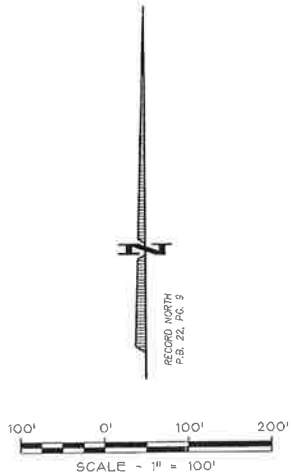
CONTACT: JOHN VECCHIO, P.E.  
1430 WEST PEACHTREE ST. NW, STE. 200  
ATLANTA, GEORGIA 30309  
(404) 601-4000

| REVISION | DATE     | DESCRIPTION             |
|----------|----------|-------------------------|
| REV-0    | 12-09-15 | PRELIMINARY REVIEW SET  |
| REV-1    | 02-26-16 | SUP & GRU SUBMITTAL     |
| REV-2    | 04-18-16 | 2ND SUP & GRU SUBMITTAL |
|          |          |                         |
|          |          |                         |
|          |          |                         |

JOB NO.: 20150870.0

DATE: 04-18-16  
SHEET NO.: REV-2 C-0

EXISTING BUILDING  
LAND LOT LINE (ALL)  
PROPERTY LINE  
UTILITY POLE (W/P) OVERHEAD LINES & CUY  
TREE LINE  
SANITARY SEWER MANHOLE (SSWH)  
FIBER OPTIC CABLE  
SANITARY CLEAN-OUT (SCO)  
SANITARY SEWER STUB OUT  
TELEPHONE MANHOLE/PEDESTAL  
STORM DRAIN PIPE WITH HEADWALL  
DOUBLE-WING CATCH BASIN  
SINGLE-WING CATCH BASIN  
JUNCTION BOX (JB)  
DROP OR CURB INLET (DI OR CI)  
FENCE  
DRAINAGE DITCH OR SWALE  
EXISTING 3 FOOT CONTOUR  
EXISTING 1 FOOT CONTOUR  
EXISTING GRADE SPOT ELEVATION  
DIRECTION OF SURFACE FLOW  
RECORDED DATA  
PARKING SPACE COUNT  
LIGHT POLE (LP)  
ELECTRIC TRANSFORMER BOX  
FIRE HYDRANT  
WATER VALVE  
GAS VALVE  
WATER STUB OUT  
WATER METER  
GAS METER  
ELECTRIC METER  
WELL  
MONITORING WELL  
POST INDICATOR VALVE  
MALODOR  
STREET SIGN  
UNDERGROUND STUB OUT  
UNDERGROUND UTILITY STUB OUT  
TRAFFIC SIGNAL POLE  
TRAFFIC SIGNAL BOX  
FIRE DEPT. CONNECTION  
FIBER OPTIC BOX  
BACULOPUS FANVENTER  
IRIGATION CONTROL VALVE  
DRAINAGE MANHOLE  
CROSS-OF-WAY  
REBAR PIN FOUND  
RIF  
OPEN TOP PIPE FOUND  
CIP  
CRIMP ROP PIPE FOUND  
CMF  
CONCRETE MONUMENT FOUND  
BRASS DISK FOUND  
AOB  
AXLE FOUND  
RBS  
REBAR PIN SET  
CWP  
CORRODED METAL PIPE  
RCP  
REINFORCED CONC. PIPE  
HDPE  
HIGH-DENSITY POLYETHYLENE PIPE



| LINE TABLE |               |          |
|------------|---------------|----------|
| LINE       | READING       | DISTANCE |
| LINE       | READING       | DISTANCE |
| 51         | W 20 30.05' E | 104.47   |
| 52         | S 62 07.55' E | 41.81    |
| 53         | S 62 07.55' E | 41.81    |
| 54         | S 62 07.55' E | 41.81    |
| 55         | S 54 40.05' W | 16.26    |
| 56         | S 37 19.55' E | 62.95    |
| 57         | S 50 05.05' E | 18.05    |
| 58         | S 30 19' E    | 14.05    |
| 59         | S 09 23.74' E | 55.05    |
| 60         | S 37 19.55' E | 79.37    |
| 61         | S 51 35.85' E | 24.46    |
| 62         | S 37 19.55' E | 79.37    |
| 63         | S 37 19.55' E | 79.37    |
| 64         | S 38 40.13' E | 43.51    |
| 65         | S 01 17.19' E | 6.09     |
| 66         | N 89 06.29' E | 76.12    |
| 67         | S 89 06.29' E | 33.31    |
| 68         | N 89 06.29' E | 4.41     |
| 69         | N 00 57.19' W | 37.86    |
| 70         | N 89 06.29' E | 73.22    |
| 71         | N 00 57.19' E | 21.62    |
| 72         | N 03 01.74' E | 18.13    |
| 73         | N 03 01.74' E | 18.13    |
| 74         | N 03 01.74' E | 18.13    |
| 75         | N 03 01.74' E | 18.13    |
| 76         | N 03 01.74' E | 18.13    |
| 77         | N 03 01.74' E | 18.13    |
| 78         | N 03 01.74' E | 18.13    |
| 79         | N 03 01.74' E | 18.13    |
| 80         | N 03 01.74' E | 18.13    |
| 81         | N 03 01.74' E | 18.13    |
| 82         | N 03 01.74' E | 18.13    |
| 83         | N 03 01.74' E | 18.13    |
| 84         | N 03 01.74' E | 18.13    |
| 85         | N 03 01.74' E | 18.13    |
| 86         | N 03 01.74' E | 18.13    |
| 87         | N 03 01.74' E | 18.13    |
| 88         | N 03 01.74' E | 18.13    |
| 89         | N 03 01.74' E | 18.13    |
| 90         | N 03 01.74' E | 18.13    |
| 91         | N 03 01.74' E | 18.13    |
| 92         | N 03 01.74' E | 18.13    |
| 93         | N 03 01.74' E | 18.13    |
| 94         | N 03 01.74' E | 18.13    |
| 95         | N 03 01.74' E | 18.13    |
| 96         | N 03 01.74' E | 18.13    |
| 97         | N 03 01.74' E | 18.13    |
| 98         | N 03 01.74' E | 18.13    |
| 99         | N 03 01.74' E | 18.13    |
| 100        | N 03 01.74' E | 18.13    |

| CURVE | RADIUS  | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
|-------|---------|------------|---------------|--------------|
| C1    | 85.00'  | 47.60'     | S 44°32'38" W | 42.76'       |
| C2    | 30.00'  | 171.10'    | N 41°52'36" E | 104.84'      |
| C3    | 85.00'  | 133.10'    | S 44°32'38" W | 104.84'      |
| C4    | 185.00' | 173.65'    | N 63°59'36" W | 161.14'      |
| C5    | 396.00' | 134.37'    | N 49°31'46" W | 133.123'     |
| C6    | 165.00' | 44.58'     | S 56°27'31" E | 42.55'       |
| C7    | 267.00' | 37.18'     | S 36°28'33" E | 36.57'       |
| C8    | 267.00' | 41.42'     | S 29°44'41" E | 41.49'       |
| C9    | 272.00' | 185.58'    | S 70°28'32" E | 181.81'      |
| C10   | 85.00'  | 133.12'    | S 45°00'00" E | 120.31'      |
| C11   | 85.00'  | 133.12'    | S 45°00'00" E | 120.31'      |
| C12   | 110.00' | 24.55'     | N 44°32'26" E | 56.80'       |
| C13   | 50.00'  | 78.12'     | N 46°29'06" W | 71.12'       |

**Bechtler Greenfield Southeast, LLP**  
1430 West Peachtree St. NW, Suite 225  
Atlanta, Georgia 30309  
Phone: (770) 422-8181  
Fax: (770) 422-6101  
Email: [info@bgsurveying.com](mailto:info@bgsurveying.com)



9/1.22.2



|                  |                                 |
|------------------|---------------------------------|
| DRAWING SCALE:   | 1" = 100' FT.                   |
| FIELDWORK DATE:  | 08-10-15                        |
| RELEASE DATE:    | 02-23-16                        |
| FIELDWORK BY:    | DWF                             |
| DRAWN BY:        | BWS                             |
| CHECKED BY:      | SEA                             |
| <b>REVISIONS</b> |                                 |
| NO.              | DATE DESCRIPTION                |
| 1                | 02-10-15-16 RECONFIGURE LOT 30A |
| 2                | 02-23-16 UPDATED TITLE COMMENTS |
| 3                | 04-06-16 COUNTY COMMENTS        |

**PROPOSED 2.188 ACRES  
LOTS 3 & 4 ~ P.B. 22, PG. 9  
GAINESVILLE, FL 32641**  
SW 1/4 OF SECTION 34 ~ TOWNSHIP 9 SOUTH ~ RANGE 20 EAST  
CITY OF GAINESVILLE ~ ALACHUA COUNTY ~ FLORIDA

BOUNDARY, TOPOGRAPHIC AND ALTA/ACSM LAND TITLE SURVEY  
FOR  
**PROPOSED MINOR SUBDIVISION  
OF LOTS 3 AND 4  
OF MINOR SUBDIVISION BK. 22 PG. 9**

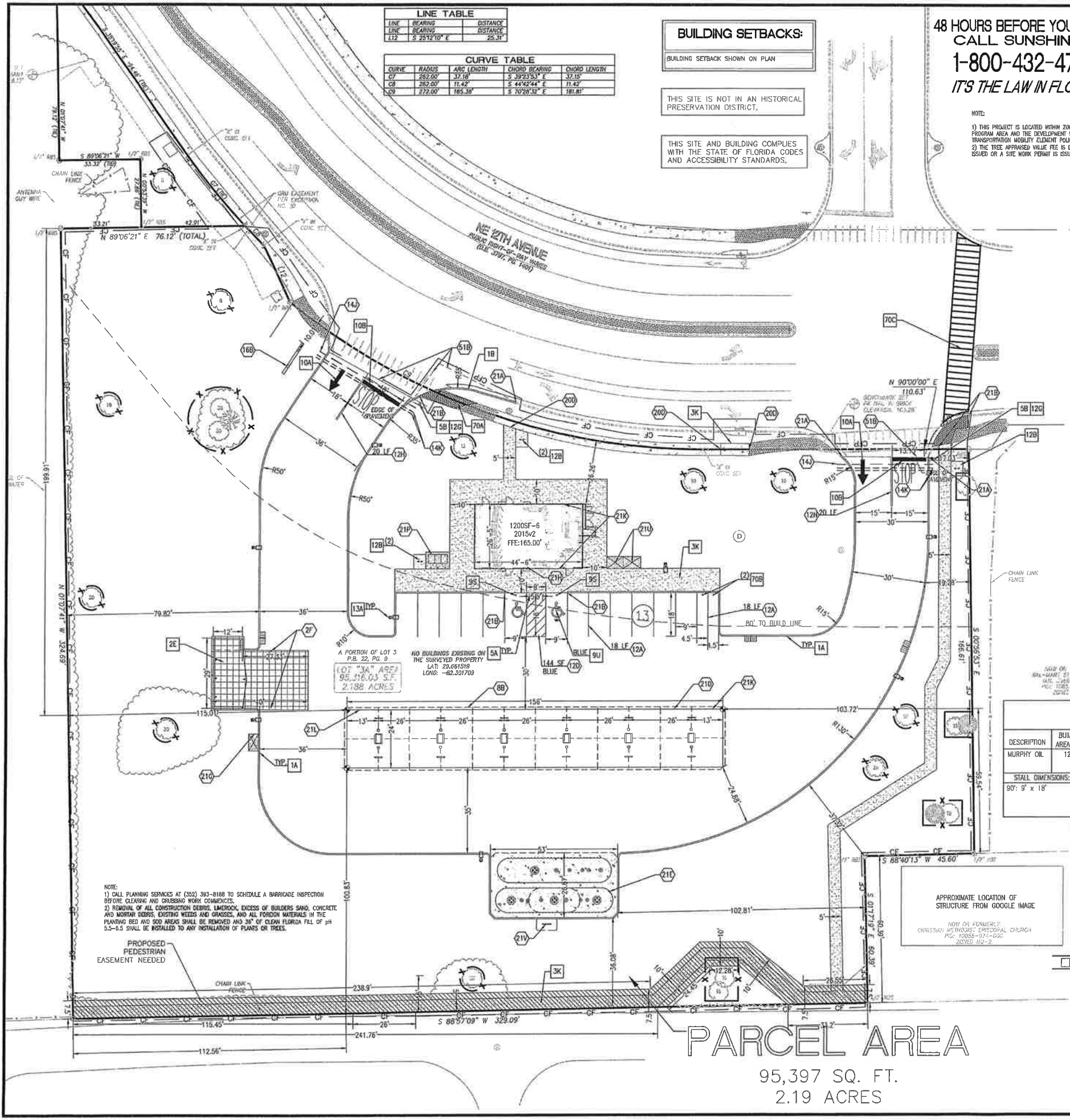
PROJECT NO.  
15-148-0

DRAWING FILE:  
15-148-0 SURVEY.DWG

SHEET NO.  
S-2

2 OF 3





| LINE TABLE |               |          |  |
|------------|---------------|----------|--|
| LINE       | BEARING       | DISTANCE |  |
| L12        | S 25°12'10" E | 25.31'   |  |

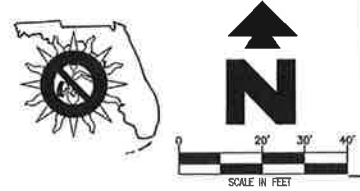
| CURVE TABLE |         |            |               |
|-------------|---------|------------|---------------|
| CURVE       | RADIUS  | ARC LENGTH | CHORD BEARING |
| C7          | 262.00' | 37.18'     | S 39°23'53" E |
| C8          | 262.00' | 71.42'     | S 44°42'44" E |
| C9          | 272.00' | 185.38'    | S 10°20'33" E |

**BUILDING SETBACKS:**  
BUILDING SETBACK SHOWN ON PLAN

THIS SITE IS NOT IN AN HISTORICAL PRESERVATION DISTRICT.

THIS SITE AND BUILDING COMPLIES WITH THE STATE OF FLORIDA CODES AND ACCESSIBILITY STANDARDS.

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



1200SF-6-2015v2

**LEGEND**

- EXISTING**
- EXISTING BUILDING
  - LAND LOT LINE (ALL)
  - PROPERTY LINE
  - UTILITY POLE (UP), OVERHEAD LINES & GUY
  - POWER OPTIC CABLE
  - TREE LINE
  - SANITARY SEWER MANHOLE
  - SANITARY CLEAN-OUT (SCO)
  - TELEPHONE MANHOLE/PEDESTAL
  - STORM DRAIN PIPE WITH HEADWALL
  - DOUBLE-WING CATCH BASIN
  - SINGLE-WING CATCH BASIN
  - JUNCTION BOX (JB)
  - DROP OR CURB INLET (DI OR CI)
  - FENCE
  - DRAINAGE DITCH OR SHALE
  - EXISTING 10 FOOT CANTOIR
  - EXISTING 2 FOOT CANTOIR
  - EXISTING GRADE SPOT ELEVATION
  - DIRECTION OF SURFACE FLOW
  - RECORDED DATA
  - PARKING SPACE COUNT
  - LEFT POLE (LP)
  - ELECTRICAL TRANSFORMER BOX
  - ELECTRICAL METER
  - ELECTRICAL SUB OUT
  - FIRE HYDRANT
  - WATER VALVE
  - GAS VALVE
  - WATER METER
  - GAS METER
  - WELL
  - MONITORING WELL
  - POST INDICATOR VALVE
  - MAILBOX
  - STREET SIGN
  - TRAFFIC SIGNAL POLE
  - TRAFFIC SIGNAL BOX
  - BACKFLOW PREVENTER
  - FIRE DEPT. CONNECTION
  - FIBER OPTIC BOX
  - IRRIGATION CONTROL VALVE
  - RIGHT-OF-WAY
  - REBAR PIN FOUND
  - OPEN TOP PIPE FOUND
  - CORNER TOP PIPE FOUND
  - CONCRETE MONUMENT FOUND
  - BRASS DISK FOUND
  - ASL ASL FOUND
  - REBAR PIN SET
  - CORRUGATED METAL PIPE
  - REINFORCED CONC. PIPE
  - HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED**
- BOUNDARY LINE
  - CONCRETE INTEGRAL CURB
  - CONSTRUCTION FENCE ON PAVEMENT (SEE CML DETAILS)
  - CONSTRUCTION FENCE (SEE CML DETAILS)
  - TREE FENCE PROTECTION (SEE CML DETAILS)

- NOTE:**
- 1) THIS PROJECT IS LOCATED WITHIN ZONE A OF THE CITY'S TRANSPORTATION MOBILITY PROGRAM AREA AND THE DEVELOPMENT WILL MEET THE APPLICABLE PROVISIONS OF TRANSPORTATION MOBILITY ELEMENT POLICY 10-1-1.
  - 2) THE TREE APPRAISED VALUE FEE IS DUE AT THE TIME OF THE DEVELOPMENT ORDER IS ISSUED OR A SITE WORK PERMIT IS ISSUED.
1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
  2. ALL PERMANENT TURF AREAS MUST BE SOODED.
  3. GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVE IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
  4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
  5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
  6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
  7. EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC OBSTRUCTION IS NOT INTRODUCED. DRAINAGE PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
  8. GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

| SITE DATA TABLE                              |                      |
|--|----------------------|
| ADDRESS: 1800 NE 12 AVE                      |                      |
| CITY: GAINESVILLE                            |                      |
| COUNTY: ALACHUA                              |                      |
| STATE: FLORIDA                               |                      |
| TOTAL SITE ACRES                             | ± 2.19 ACRES         |
| LOT SIZE SQUARE FOOTAGE                      | ± 85,397 S.F.        |
| EXISTING BUILDING COVERAGE                   | N/A                  |
| EXISTING IMPERVIOUS                          | N/A                  |
| EXISTING PERVIOUS                            | 95,397 S.F. = 100 %  |
| PROPOSED BUILDING COVERAGE                   | 1,200 S.F.           |
| PROPOSED ON-SITE SIDEWALK COVERAGE           | 5,562                |
| PROPOSED PARKING, DRIVEWAY, TANK, & DUMPSTER | 31,838 S.F.          |
| TOTAL PROPOSED IMPERVIOUS                    | 38,600 S.F. = 40.45% |
| TOTAL PROPOSED PERVIOUS                      | 58,797 S.F. = 58.53% |

| PARKING INFORMATION: |                      | REQUIRED:        |         |            |                |       |
|----------------------|----------------------|------------------|---------|------------|----------------|-------|
| DESCRIPTION          | BUILDING AREA (S.F.) | RATIO /1000 S.F. | REGULAR | ACCESSIBLE | VAN ACCESSIBLE | TOTAL |
| MURPHY OIL           | 1200                 | 4                | 5       |            | 1              | 6     |
| STALL DIMENSIONS:    |                      | RATIO /1000 S.F. | REGULAR | ACCESSIBLE | VAN ACCESSIBLE | TOTAL |
| 90' x 18'            |                      | 10.83            | 11      | 1          | 1              | 13    |

STORE HOURS: 24 HOURS  
BICYCLE PARKING PROVIDED: 30 = 6 SPACES  
MOTORCYCLE PARKING: 2 SPACES

APPROXIMATE LOCATION OF STRUCTURE FROM GOOGLE IMAGE

NOTE: FOR FORMERLY CHRISTIAN METHODIST EPISCOPAL CHURCH  
P.O. 10055-071-000  
GAINESVILLE, FL 32607

- 1A SITE DETAILS - SEE DETAIL SHEETS**
- 1A INTEGRAL CONCRETE CURB
  - 1B TYPE "B" CONCRETE CURB & GUTTER
  - 2E DUMPSTER ENCLOSURE
  - 3A CONCRETE SIDEWALK
  - 3K GUARD POST (SINGLE)
  - 5B TRAFFIC SIGN IN BOLLARD
  - 9E ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
  - 9U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
  - 10A TRAFFIC FLOW ARROW (TYP.)
  - 10B STOP BAR (TYP.)
  - 12B BICYCLE RACK PER CITY OF GAINESVILLE STD DETAIL DRAWING D-9
  - 12C "STOP" SIGN
  - 13A SITE LIGHT POLE, SEE PHOTOGRAPHIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE AND MOUNTING DETAILS
  - 70A BRICK SIDEWALK DETAIL PER CITY OF GAINESVILLE STD DETAIL DRAWING D-3
  - 70B MOTORCYCLE PARKING SIGN (TYP.)
  - 70C CROSSWALK MARKING PER FDOT STD DRAWING DETAIL NO. 1734B

**PARCEL AREA**  
95,397 SQ. FT.  
2.19 ACRES

**NOTE:**  
1) CALL PLANNING SERVICES AT (352) 383-8168 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.  
2) REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOI AREAS SHALL BE REMOVED AND JOI OF CLEAN FLORIDA FILL OF PH 5.5-6.5 SHALL BE INSTALLED TO ANY INSTALLATION OF PLANTS OR TREES.

PROPOSED PEDESTRIAN EASEMENT NEEDED

SHEET NO.

C-1



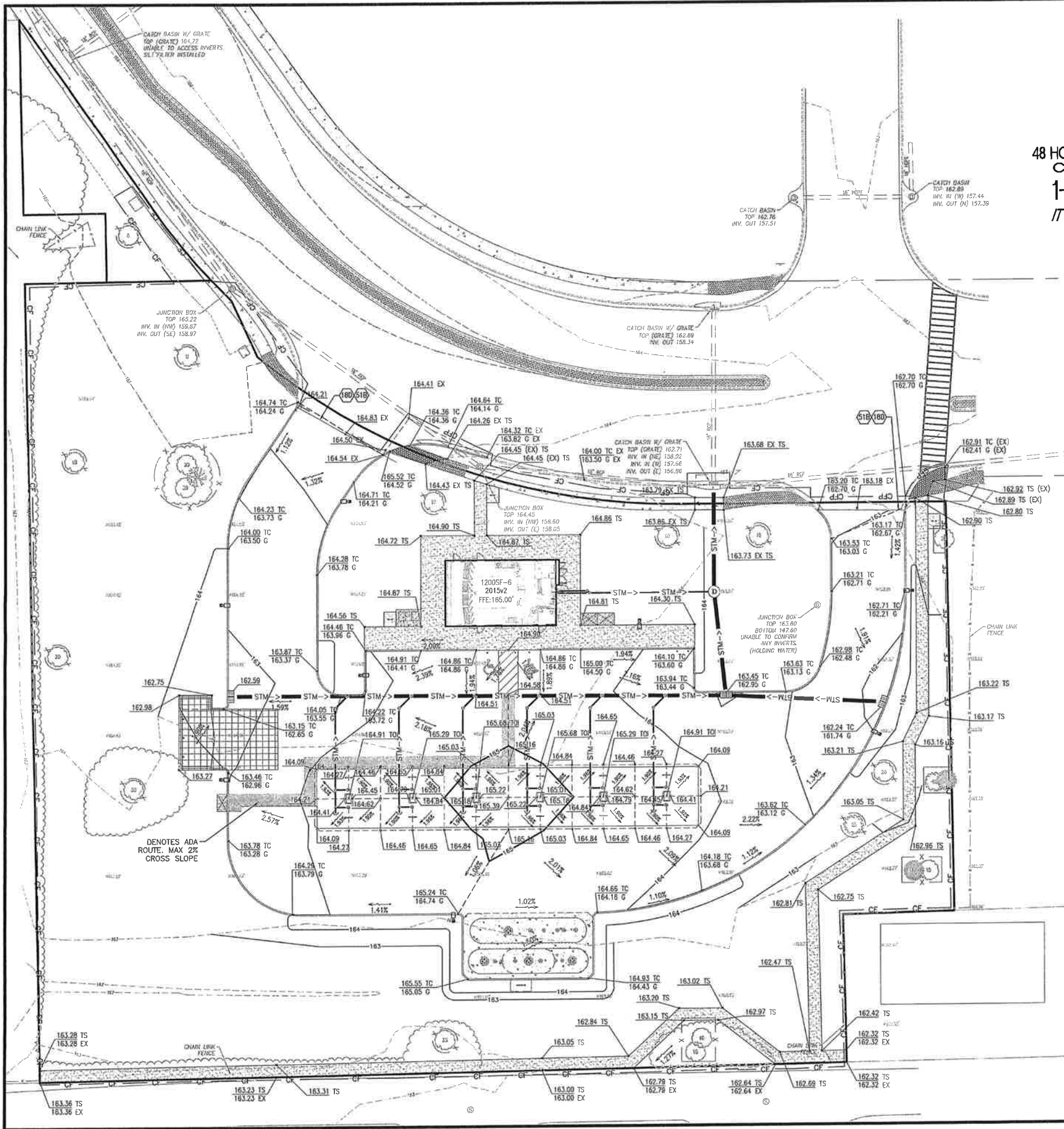
**SITE PLAN**  
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE, FLORIDA

**GreenbergFarrow**  
1430 W. PEACH STREET, SUITE 200  
GAINESVILLE, FL 32609  
PHONE: (352) 601-8000  
FAX: (352) 601-8070  
DWC NAME: GAINESVILLE, FL  
JOB NO.: 20150600

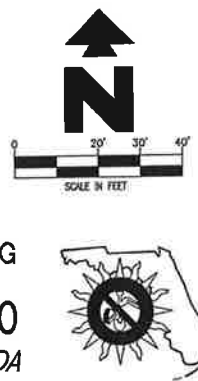
**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**MURPHY OIL USA**





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CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



| LEGEND   |  |
|----------|--|
| EXISTING |  |
| [Symbol] | EXISTING BUILDING                                  |
| [Symbol] | LAND LOT LINE (LL)                                 |
| [Symbol] | PROPERTY LINE                                      |
| [Symbol] | UTILITY POLE (UP), OVERHEAD LINES & CABLE          |
| [Symbol] | FIBER OPTIC CABLE                                  |
| [Symbol] | TREE LINE  |
| [Symbol] | SANITARY SEWER MANHOLE                             |
| [Symbol] | SANITARY CLEAN-OUT (SCO)                           |
| [Symbol] | TELEPHONE MANHOLE/PEDESTAL                         |
| [Symbol] | STORM DRAIN PIPE WITH HEADWALL                     |
| [Symbol] | DOUBLE-WING CATCH BASIN                            |
| [Symbol] | SINGLE-WING CATCH BASIN                            |
| [Symbol] | JUNCTION BOX (JB)                                  |
| [Symbol] | DROP OR CURB INLET (DI OR CI)                      |
| [Symbol] | FENCE  |
| [Symbol] | DRAINAGE DITCH OR SWALE                            |
| [Symbol] | EXISTING 10 FOOT CONTOUR                           |
| [Symbol] | EXISTING 2 FOOT CONTOUR                            |
| [Symbol] | EXISTING GRADE SPOT ELEVATION                      |
| [Symbol] | DIRECTION OF SURFACE FLOW                          |
| [Symbol] | RECORDED DATA                                      |
| [Symbol] | PARKING SPACE COUNT                                |
| [Symbol] | LIGHT POLE (LP)                                    |
| [Symbol] | ELECTRICAL TRANSFORMER BOX                         |
| [Symbol] | ELECTRICAL METER                                   |
| [Symbol] | ELECTRICAL SUB OUT                                 |
| [Symbol] | FIRE HYDRANT                                       |
| [Symbol] | WATER VALVE  |
| [Symbol] | GAS VALVE  |
| [Symbol] | WATER METER  |
| [Symbol] | GAS METER  |
| [Symbol] | WELL   |
| [Symbol] | MONITORING WELL                                    |
| [Symbol] | POST INDICATOR VALVE                               |
| [Symbol] | HAULBOX  |
| [Symbol] | STREET SIGN  |
| [Symbol] | TRAFFIC SIGNAL POLE                                |
| [Symbol] | TRAFFIC SIGNAL BOX                                 |
| [Symbol] | BACKFLOW PREVENTER                                 |
| [Symbol] | FIRE DEPT. CONNECTION                              |
| [Symbol] | FIBER OPTIC BOX                                    |
| [Symbol] | UNDERGROUND CONTROL VALVE                          |
| [Symbol] | DRAINAGE MANHOLE                                   |
| [Symbol] | RIGHT-OF-WAY                                       |
| [Symbol] | REBAR PIN FOUND                                    |
| [Symbol] | OPEN TOP PIPE FOUND                                |
| [Symbol] | CRIMP TOP PIPE FOUND                               |
| [Symbol] | CUT CONCRETE FOUNDMENT FOUND                       |
| [Symbol] | BRASS DISK FOUND                                   |
| [Symbol] | AXLE FOUND   |
| [Symbol] | REBAR PIN SET                                      |
| [Symbol] | CMP CORRUGATED METAL PIPE                          |
| [Symbol] | REINFORCED CONC. PIPE                              |
| [Symbol] | HIGH-DENSITY POLYETHYLENE PIPE                     |
| PROPOSED |  |
| [Symbol] | BOUNDARY LINE                                      |
| [Symbol] | GRADE BREAK  |
| [Symbol] | PROPOSED CONTOUR                                   |
| [Symbol] | CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS) |
| [Symbol] | CONSTRUCTION FENCE (SEE CIVIL DETAILS)             |
| [Symbol] | TREE FENCE PROTECTION (SEE CIVIL DETAILS)          |
| [Symbol] | DRAINAGE SLOPE AND DIRECTION                       |
| [Symbol] | SPOT ELEVATIONS                                    |
| [Symbol] | TOP OF CURB  |
| [Symbol] | CUTTER   |
| [Symbol] | TOP OF ISLAND                                      |
| [Symbol] | EXISTING ELEVATION                                 |
| [Symbol] | TOP OF SIDEWALK                                    |
| [Symbol] | PROPOSED STORM SEWER PIPE                          |

1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SOGGED.
3. DO NOT ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE BEES AND PARKING LOT SHALL INCLUDE ONLY SILT BARS (OR WAL-MART PINE-APPROVED EQUIV) TO DISGUISE TRAFFIC CIRCULATION IS NOT IMPAIRED. GRASS SILET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE BEES OR PARKING LOT.
8. GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHOD TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PARKED AREAS OR DRIVE LINES.

NOTE:  
1) CALL PLANNING SERVICES AT (332) 393-8188 TO SCHEDULE A BARRIAGE INSPECTION BEFORE CLEANING AND GRUBBING WORK COMMENCES.  
2) REMOVAL OF ALL CONSTRUCTION DEBRIS, UNDERLIES, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS SHALL BE REMOVED AND 3/4" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED TO ANY INSTALLATION OF PLANTS OR TREES.

- ### GENERAL GRADING NOTES
- A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
  - B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ACCIDENT TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/ED/SOOGED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  - D. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE PROPOSED GRADES SHOWN ON THESE PLANS ARE NOT FROM AN AS-BUILT SURVEY. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS BEFORE COMMENCING CONSTRUCTION. EXISTING AND PROPOSED CONTOURS ARE FOR REFERENCE ONLY.
  - E. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF THE CONSTRUCTION TRAILER AND FENCING SHALL NOT AFFECT THE WAL-MART TRAFFIC FLOW.
  - F. CONTRACTOR TO FIELD VERIFY ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES AND ADJACENT PAVEMENT CONSTRUCTED BY WAL-MART PRIOR TO STARTING CONSTRUCTION.
  - G. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
  - H. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SHIELDING SYSTEMS, SHIELDING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
  - I. CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ENTERING THE WAL-MART PARKING AREA AND ENSURE THAT THE PARKING AREA IS KEPT CLEAN.
  - J. ALL HOPE PIPE SHALL BE 12" WT 40 (OR EQUIVALENT) WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION RESISTANCE. 4" 40" PIPE SHALL MEET ASTM F2848 (OR ASHTO M252 TYPE S) REQUIREMENTS, AND SHALL HAVE A MINIMUM WALL THICKNESS "N" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERPROOF ACCORDING TO ASTM D3312 (OR ASHTO M252, M254) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477, JOINT PERFORMANCE, FITTINGS, MATERIAL, PROPERTIES, AND INSTALLATION SHALL BE DONE PER THE COMPLETE AND SPECIFICATION FOR 405 12" WT IS PIPE FOUND IN THE ASD, INC. DRAINAGE HANDBOOK, LATEST EDITION.
  - K. IF USING HOPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATIONS SHALL MEET THE ASHTO CLASS II STANDARD PERFORMANCE PATTERN REQUIREMENTS.
  - L. ALL STORM SEWER LINES 18"-24" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III UNLESS OTHERWISE INDICATED.

- ### GRADING NOTES
- 180 MATCH EXISTING PAVEMENT ELEVATIONS
  - 518 LIMITS OF SAWCUT AND PAVEMENT REMOVAL

SHEET NO.  
**C-3**

**GreenbergFarrow**  
1430 W. PEACHTREE STREET, SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 601-4000  
FAX: (404) 601-9700  
DWG NAME: GRADING PLAN  
JOB NO.: 01060501

**MURPHY OIL USA, INC.**  
**MURPHY USA**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**GRADING PLAN**  
**WALMART SUPERCENTER #3877**  
**1800 NE 12 AVE**  
**GANESVILLE**  
**FLORIDA**

REV-2  
04-18-16  
DATE  
JN  
PRN  
JV  
PM  
VLU  
DES  
VLU  
DRW

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1-800-432-4770  
IT'S THE LAW IN FLORIDA



1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SOODED.
3. GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVE IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRIERS, BARRIERS, AND/OR CONES. TEMPORARY SIGNS AND FLAGMEN MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPAIRED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES SUPPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BARS (ON WAL-MART PRE-APPROVED EQUAL) TO DETOUR TRAFFIC. PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
8. GC SHALL UTILIZE DIRECTIONAL BORING AND JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

#### GENERAL EROSION NOTES

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATER, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- E. GENERAL CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES AS NEEDED.
- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- H. DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- I. RUBBER TRASH, CIGARETTES, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- J. ALL DERIVED/BALE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GROWING ANNUAL, CROPS/GRASS MIXTURES, STRAW/HAY MULCH, WOOD CHIPPINGS, FIBERS, JACKPINES, NETTING OR BLANKETS.
- K. DESIGNATED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEED, SOODED, AND/OR VEGETATED IMMEDIATELY, OR STABILIZED AS SHOWN ON PLANS, NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE GROUND CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- O. ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DESIGNATE/DENIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.

#### SEQUENCE OF CONSTRUCTION

- PHASE I
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
  2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  3. CONSTRUCT THE SILT FENCES ON THE SITE.
  4. INSTALL ALL PERIMETER SEDIMENT MEASURES.
  5. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROLS AS NEEDED.
  6. CLEAR AND GRUB THE SITE.
  7. BEGIN GRADING THE SITE.
- PHASE II
8. START CONSTRUCTION OF BUILDING PAD, STRUCTURES, AND OFF-SITE IMPROVEMENTS.
  9. TEMPORARILY SEED DISTURBED AREAS.
  10. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND CUTTERS.
  11. INSTALL INLET/FILLAGE PROTECTION DEVICES.
  12. INSTALL 8'x8' PIPES AROUND OUTLET STRUCTURES.
  13. PREPARE SITE FOR PAVING.
  14. PAVE SITE.
  15. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
  16. REMOVE EROSION AND TEMPORARY SEDIMENT CONTROL DEVICES AFTER FINAL STABILIZATION IS ACHIEVED.

#### BMP MAINTENANCE NOTES

ALL MEASURES SHOWN ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS EVOLVE.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS EVOLVE.
6. FILTER TUBES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM TUBES WHEN IT REACHES 1/3 OF ITS EXPOSED HEIGHT. SEE DETAILS.
7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

EROSION & SEDIMENT CONTROLS: ROCK CONSTRUCTION ENTRANCES, AND TRAP PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

24 HR EMERGENCY CONTACT:  
RUSTY COAN, P.E. 870-875-7629



| EXISTING                                |                          |
|---|--------------------------|
| EXISTING BUILDING                       | WATER VALVE              |
| LAND LOT LINE (ALL)                     | GAS VALVE                |
| PROPERTY LINE                           | WATER METER              |
| UTILITY POLE (UP), OVERHEAD LINES & GUY | GAS METER                |
| TREE LINE                               | WELL                     |
| SANITARY SEWER MANHOLE (SSMH)           | MONITORING WELL          |
| SANITARY CLEAN-OUT (SCO)                | POST INDICATOR VALVE     |
| TELEPHONE MANHOLE OR PEDestal           | MAILBOX                  |
| STORM DRAIN PIPE WITH HEADWALL          | STREET SIGN              |
| DOUBLE-WING CATCH BASIN                 | UNKNOWN UTILITY STUB OUT |
| SINGLE-WING CATCH BASIN                 | CONCRETE                 |
| JUNCTION BOX (JB)                       | FIRE DEPT. CONNECTION    |
| DROP OR CURB INLET (DI OR CI)           | HANDICAPPED              |
| FENCE                                   | ABOLITION CONTROL VALVE  |
| EXISTING 5 FOOT CONTOUR                 | RIGHT-OF-WAY             |
| EXISTING 1 FOOT CONTOUR                 | STORM DRAIN              |
| EXISTING GRADE SPOT ELEVATION           | REBAR PIN FOUND          |
| DIRECTION OF SURFACE FLOW               | OPEN TOP PIPE FOUND      |
| RECORDED DATA                           | GROUP TOP PIPE FOUND     |
| PARKING SPACE COUNT                     | CONCRETE MONUMENT FOUND  |
| LIGHT POLE (LP)                         | ROD FOUND                |
| ELECTRICAL TRANSFORMER BOX              | BRASS DISK FOUND         |
|   | AXLE FOUND               |
|   | REBAR PIN SET            |

| PROPOSED   |  |
|--|--|
| BOUNDARY LINE  |  |
| CFP CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS) |  |
| CF CONSTRUCTION FENCE (SEE CIVIL DETAILS)              |  |
| TF FENCE PROTECTION (SEE CIVIL DETAILS)                |  |
| LIMITS OF DISTURBED AREA                               |  |
| SOIL TYPE DESIGNATION                                  |  |

PROJECT INFORMATION

REVENING WATER IS UN-PAVED LOCAL DEPRESSION. DEPRESSION EVENTUALLY CONNECTS TO UN-PAVED DETENTION BASIN ± 0.05 MILES TO EAST OF PROJECT SITE.

PROPOSED PROJECT SITE MADE UP OF SEVERAL EXISTING COMMERCIAL LOTS. STORM RUN-OFF FROM SITE WILL PIPE INTO THE PROPOSED DETENTION SYSTEM INSTALLED TO ACCOMMODATE STORM RUN-OFF FOR THE GAS STATION LOT AND FUTURE OUTLOT DEVELOPMENT.

PROPOSED PROJECT IS CONSTRUCTING A GAS STATION CONSISTING OF 1200 S.F. CONVENIENT STORE WITH 6 PUMP ISLANDS AND ASSOCIATED PARKING AREA.

ACREAGE OF SITE IS 2.19 ACRES.

DISTURBED ACREAGE OF SITE (INCLUDING OFF-SITE WORK) IS ±2.35 ACRES.

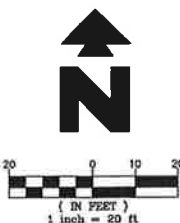
ANTICIPATED CONSTRUCTION START DATE IS DECEMBER 2016 AND COMPLETION DATE IS DECEMBER 2017.

CONTRACTOR TO TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ESCAPING SITE AND ALL ACCUMULATED SEDIMENT SHALL BE CLEANED OUT AND REMOVED FROM SITE.

DOWNSTREAM CONDITION WILL NOT BE NEGATIVELY AFFECTED BY PROPOSED DEVELOPMENT.

| EROSION DETAILS - SEE DETAIL SHEET C-4.2 |  |
|--|--|
| CE                                       | STABILIZED CONSTRUCTION ACCESS   |
| SF                                       | SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT   |
| DC                                       | DUST CONTROL (USING: PHASING OF THE PROJECT, MULCH, SPRINKLING WATER, SPRAY-ON-ADHESIVE, CALCIUM CHLORIDE, BARRIERS, ETC.) |
| IP4                                      | TEMPORARY BLOCK AND AGGREGATE COMBINATION INLET SEDIMENT FILTER  |
| SOP                                      | INLET FILTER BAG   |
| SOP                                      | SILT BURE (ON EXISTING PAVEMENT)   |

| SITE SOILS |             |
|------------|-------------|
| 14         | PONOMA SAND |
| 21         | NEWMAN SAND |



SHEET NO. C-4

APR 18 2016

PROFESSIONAL SEAL

EROSION CONTROL PHASE 1

WALMART SUPERCENTER #3877

1800 NE 12 AVE

GANESVILLE FLORIDA

GreenbergFarrow

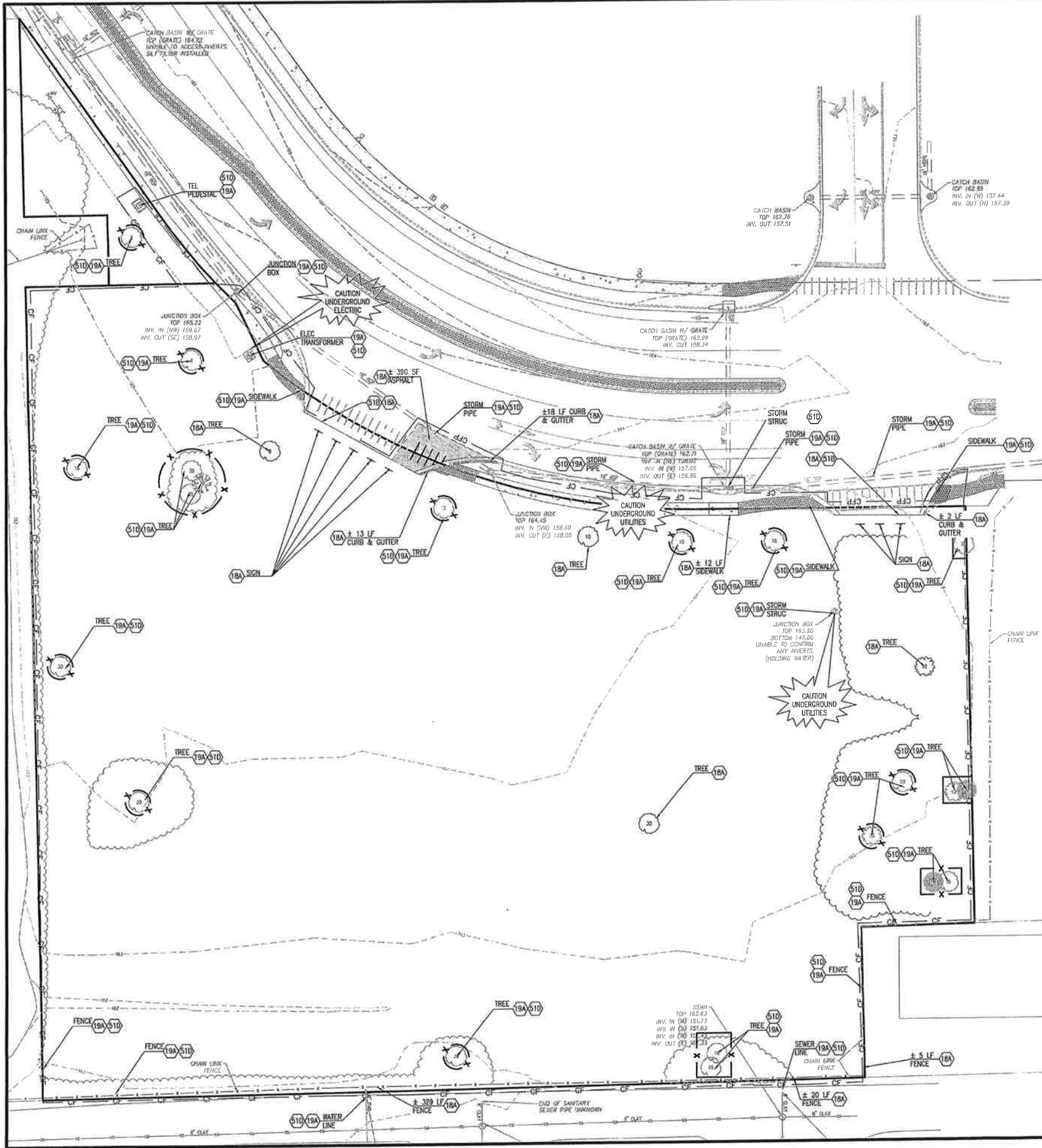
1430 W. 3RD STREET, SUITE 200  
GAINESVILLE, FL 32601  
PHONE: (352) 601-4000  
FAX: (352) 601-3970  
DWG NAME: GANESVILLE FL  
JOB NO: 20160610

MURPHY OIL USA, INC.

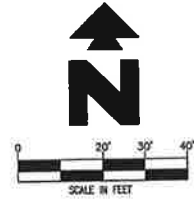
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

MURPHY USA





48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



# LEGEND

## EXISTING

|  |   |
|--|---|
|  | EXISTING BUILDING                       |
|  | LAND LOT LINE (ALL)                     |
|  | PROPERTY LINE                           |
|  | UTILITY POLE (UP), OVERHEAD LINES & GUY |
|  | FIBER OPTIC CABLE                       |
|  | TREE LINE                               |
|  | SANITARY SEWER MANHOLE                  |
|  | SANITARY CLEAN-OUT (SCO)                |
|  | TELEPHONE MANHOLE/PEDESTAL              |
|  | STORM DRAIN PIPE WITH HEADWALL          |
|  | DOUBLE-WING CATCH BASIN                 |
|  | SINGLE-WING CATCH BASIN                 |
|  | JUNCTION BOX (JB)                       |
|  | DROP OR CURB INLET (DI OR CI)           |
|  | FENCE                                   |
|  | DRAINAGE DITCH OR SHALE                 |
|  | EXISTING 10 FOOT CONTOUR                |
|  | EXISTING 5 FOOT CONTOUR                 |
|  | EXISTING GRADE SPOT ELEVATION           |
|  | DIRECTION OF SURFACE FLOW               |
|  | RECORDED DATA                           |
|  | PARKING SPACE COUNT                     |
|  | LIGHT POLE (LP)                         |
|  | ELECTRICAL TRANSFORMER BOX              |
|  | ELECTRICAL METER                        |
|  | ELECTRICAL STUB OUT                     |
|  | FIRE HYDRANT                            |

|  |                           |
|--|---------------------------|
|  | WATER VALVE               |
|  | GAS VALVE                 |
|  | WATER METER               |
|  | GAS METER                 |
|  | WELL                      |
|  | MONITORING WELL           |
|  | POST INDICATOR VALVE      |
|  | MAILBOX                   |
|  | STREET SIGN               |
|  | TRAFFIC SIGNAL POLE       |
|  | TRAFFIC SIGNAL BOX        |
|  | BACKFLOW PREVENTER        |
|  | FIRE DEPT. CONNECTION     |
|  | FIBER OPTIC BOX           |
|  | IRRIGATION CONTROL VALVE  |
|  | DRAINAGE MANHOLE          |
|  | RIGHT-OF-WAY              |
|  | REAR PUMP FOUND           |
|  | TOP PUMP FOUND            |
|  | TOP PUMP FOUND            |
|  | CONCRETE MANHOLE FOUND    |
|  | BRASS DISK FOUND          |
|  | ASPC ALLOY FOUND          |
|  | REBAR PIN SET             |
|  | CORROGATED METAL PIPE     |
|  | REINFORCED CONC. PIPE     |
|  | HIGH-DENSITY POLYETHYLENE |

1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SOURED.
3. GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVE IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LAKE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE SLEES AND PARKING LOT SHALL INCLUDE ONLY Silt Bags (OR WAL-MART PRE-APPROVED EQUIVALENT) TO ENSURE TRAFFIC OBSTRUCTION IS NOT IMPACTED. DRAINAGE PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE SLEES OR PARKING LOT.
8. GC SHALL UTILITY DIRECTIONAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE SLEES.

#### REMOVAL OF EXISTING PAVEMENT MARKINGS

CONFLICTING STRIPING AND PAVEMENT MARKINGS SHALL BE REMOVED BEFORE THE INSTALLATION OF NEW STRIPING AND PAVEMENT MARKINGS. ALL TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL BE REMOVED IN A RECTANGULAR SHAPE. NEW STRIPING AND PAVEMENT MARKINGS SHALL BE INSTALLED WITHIN 24 HOURS OF REMOVAL OF OLD STRIPING AND PAVEMENT MARKINGS.

PAVEMENT MARKINGS MAY BE REMOVED BY SANDBLASTING, WATERBLASTING, GRINDING, OR OTHER APPROVED MECHANICAL METHODS.

GROOVING IS NOT PERMITTED AND GRINDING IS PERMITTED ONLY FOR REMOVING THERMOPLASTIC OR EPOXY PAVEMENT MARKINGS.

WHERE GRINDING OR SAND-BLASTING IS USED FOR THE REMOVAL OF EXISTING TRAFFIC STRIPING AND PAVEMENT MARKINGS, AND SUCH REMOVAL OPERATION IS BEING PERFORMED WITHIN 10 FEET OF A LAKE OCCUPIED BY PUBLIC TRAFFIC, THE RESIDUE, INCLUDING DUST SHALL BE REMOVED IMMEDIATELY AFTER CONTACT BETWEEN THE GRINDING OR SAND-BLASTING MATERIAL, AND THE SURFACE BEING TREATED. SUCH REMOVAL SHALL BE BY A VACUUM ATTACHMENT OPERATING CONCURRENTLY WITH THE GRINDING OR SAND-BLASTING OPERATION.

PAINTING OVER EXISTING MARKINGS TO OBLITERATE THE MARKINGS DOES NOT WORK AND IS NOT PERMITTED.

REPAIR DAMAGE TO ASPHALTIC SURFACES, SUCH AS SPALLING, SHELLING, ETC., GREATER THAN 1/4 IN. IN DEPTH RESULTING FROM THE REMOVAL OF PAVEMENT MARKINGS AND MARKERS. DISPOSE OF MARKERS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.

NOTE:  
1) CALL PLANNING SERVICES AT (502) 393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.  
2) REMOVAL OF ALL CONSTRUCTION DEBRIS, UNDESIRABLE, DISCARD OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANNING BED AND SOA AREAS SHALL BE REMOVED AND 30\"/>

| PROPOSED |  |
|----------|--|
|          | BOUNDARY LINE                                      |
|          | CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS) |
|          | CONSTRUCTION FENCE (SEE CIVIL DETAILS)             |
|          | TREE FENCE PROTECTION (SEE CIVIL DETAILS)          |

#### GENERAL DEMOLITION NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- E. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- F. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- G. INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED (24) HOURS.
- H. CONTRACTOR SHALL CAP EXISTING WAL-MART IRRIGATION LINES AT LIMITS OF CARVE OUT PROPERTY, BUT SHALL ENSURE THAT REMAINING WAL-MART SYSTEM FUNCTIONS CORRECTLY.

#### DEMOLITION NOTES

- 18A EXISTING TO BE REMOVED
- 19A EXISTING TO REMAIN
- 510 LIMITS OF SANCTUARY AND PAVEMENT REMOVAL
- 510 PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

SHEET NO.  
**C-5**

**GreenbergFarrow**  
1480 W. PEACH STREET, SUITE 200  
PEACH CREEK, AR 71300  
TEL: (501) 601-3000  
FAX: (501) 601-3970  
DWG NAME: GAINESVILLE, FL  
JOB NO.: 20130870

**MURPHY OIL USA, INC.**

**MURPHY** 200 PEACH STREET  
P.O. BOX 7000  
**USA** EL DORADO, AR 71730-7000

REV-2

| DATE     | BY | APP | DES | DRW |
|----------|----|-----|-----|-----|
| 04-18-16 | JN | PRN | PM  | VLU |

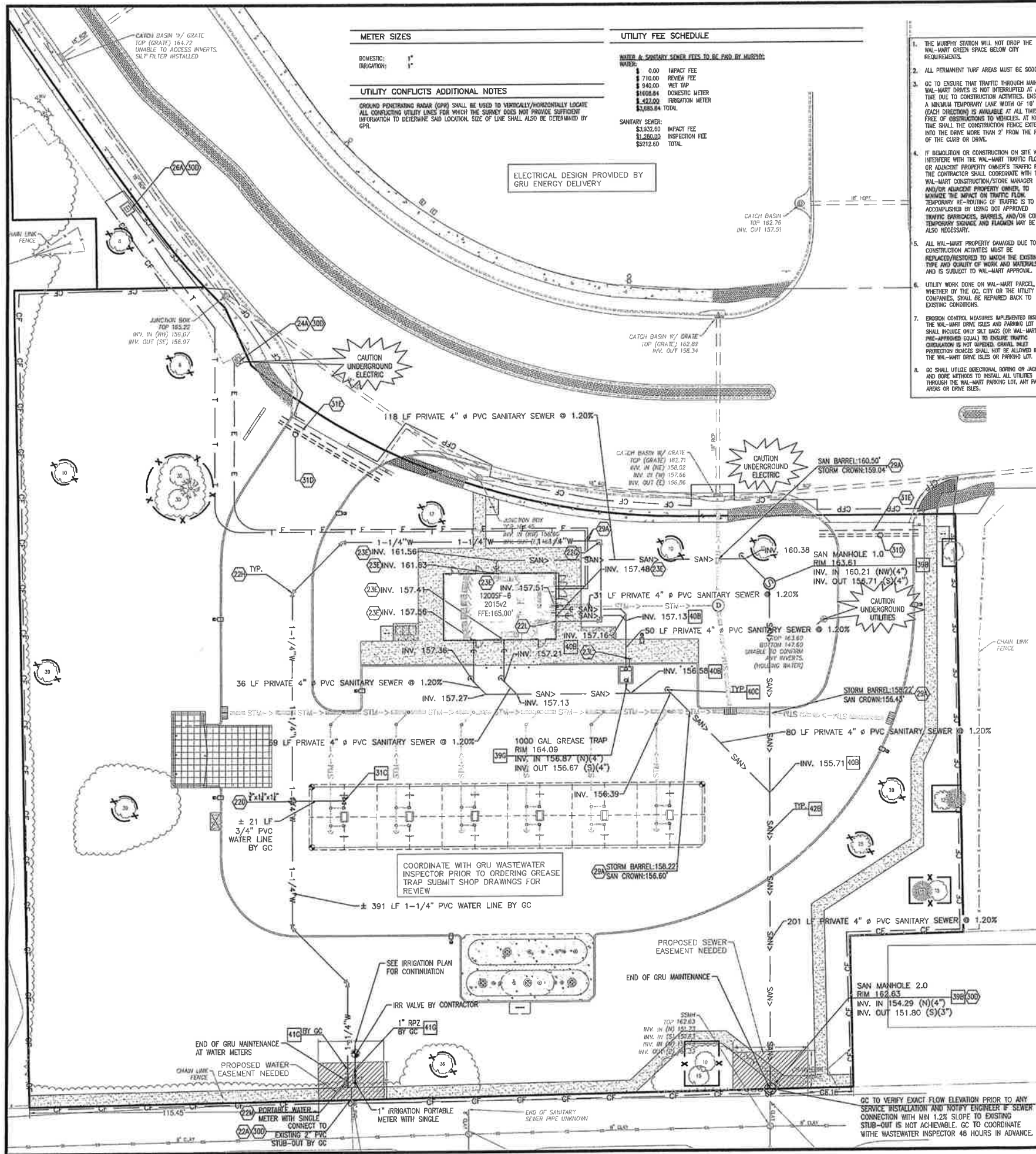
DEMOLITION PLAN

WALMART SUPERCENTER #3877

1800 NE 12 AVE

GAINESVILLE

FLORIDA



**UTILITY CONTACT INFORMATION**

**ELECTRIC AND WATER**  
GRU ELECTRIC  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3400

**SEWER**  
GRU SEWER  
301 SE 4TH AVE  
GAINESVILLE, FLORIDA 32601  
PHONE: (352) 334-3400

**TELEPHONE**  
AT&T  
CONTACT: STUART MOLEN  
PHONE: (352) 371-5278

**UTILITY INSTALLATION RESPONSIBILITIES**

**WATER SERVICE:**

- WATER COMPANY TO INSTALL DOMESTIC/IRRIGATION METERS.
- CONTRACTOR TO INSTALL ALL WATER LINE APPURTENANCES UP TO THE METER, RPE, AND TAP.

**SEWER SERVICE:**

- CONTRACTOR IS RESPONSIBLE FOR SERVICE CONSTRUCTION FROM EXISTING TRANSFORMER TO BUILDING PER ELECTRIC COMPANY SPECIFICATIONS.
- CONTRACTOR TO PROVIDE A CONCRETE TRANSFORMER PAD PER ELECTRIC COMPANY SPECIFICATIONS.
- CONTRACTOR TO TRENCH AND INSTALL CONDUIT, ELECTRIC COMPANY TO PULL PRIMARY WIRE, CONTRACTOR TO BACK-FILL.
- NO CONSTRUCTION COST CHARGED BY ELECTRIC COMPANY.

**GRU WATER & WASTEWATER STANDARD NOTES**

- PROVIDE A STATEMENT IDENTIFYING ANY ASSOCIATED UTILITY PERMITS THAT ARE REQUIRED BY GRU.
- b. The utility plan and plat shows all Public Utility Easements (PUE's) in a meter and bounds format. Upon GRU's approval of plans for developments not being planned, Owner may choose to grant the meter and bounds easements as shown, or a blanket easement over the entire property, provided facilities are installed within the prescribed distances as shown on the utility plans and in accordance with the Utility Separation Requirements Table in Appendix C of the GRU WWWWRCW Design Standards.
- c. All construction materials and methods for potable water, wastewater, and reclaimed water systems shall be in conformance with GRU's most recent Potable Water, Wastewater, & Reclaimed Water System Design Standards, and Approved Materials Manual.
- d. Potable Water and Wastewater mains shall maintain a minimum 10 feet horizontal and 1.5 foot vertical separation.
- e. A minimum horizontal separation of 10 feet for potable water mains, wastewater force mains, and reclaimed water mains, and 15 feet for gravity wastewater mains shall be provided and maintained from buildings, transformers, and all permanent structures. Service laterals require 5 feet less clearance for each of the utilities; note that water service laterals shall be installed within 3' sleeves. Separation to trees is reduced to 7.5' for pressurized mains and services and 10' (minimum) for gravity mains and services. (See Appendix C of GRU's Design Standards and Construction Details for Potable Water, Wastewater, and Reclaimed Water - Horizontal Separation Distances for Parallel and Perpendicular Clearance from Other Objects Table.)
- f. Potable water services, requiring a separate water meter, shall be provided to each lot, building or parcel. Effective October 1, 2007, for commercial, multifamily, and institutional developments, the Developer shall be responsible for installing potable water services and Yoke Assembly Package up to and including the meter yoke, box (installed at final grade) and associated appurtenances, for meters 1" and smaller (see GRU WWWWRCW Construction Detail W-8.0), with a one-year warranty.
- g. 2" valves located in paved areas, including sidewalks, shall be GRU approved cast iron, resilient seal gate valves with standard 2" operating nut, threaded with brass nipple between the valves and tapping saddle or tapped tee.
- h. Water mains 4" in diameter and greater, placed under roadways, shall be cement lined ductile iron pipe (CLDIP) extending 5 feet past the back of curb (3 feet within City of Gainesville limits). Tracer wire installed on PVC water mains shall continue across the CLDIP sections.
- i. 1" or 2" water service crossings located under roadways shall be encased in 3" SCH 40 PVC extending 5' past the back of curb (3 feet inside City of Gainesville limits).
- j. Anchoring tees, couplings, and bends shall be used on all fire hydrant assemblies.
- k. All pressurized main fittings shall be mechanical joint with restrained joint glands; a sufficient length of the pipe connected to the fittings shall be mechanically restrained to provide reaction as specified on the Restrained Joint Standard in the Construction Details (W-2.8 & 2.9, RW-2.8 & 2.9, and WW-2.4 & 2.5). Calculations for required restraint length must be provided if the specified restraint length, due to soil type or depth of cover, differs from those provided on these details.
- l. All sanitary wastewater service laterals shall be min. 4" diameter PVC (SDR 35) at 1.00% min. slope unless otherwise labeled.
- m. Wastewater cleanout covers located within pavement and sidewalks shall be rated for traffic load bearing.
- n. Manholes which are not installed under pavement shall have a rim elevation at least 6" above finished grade, and a 10:1 slope to finished grade.
- o. Unless otherwise noted on the plans, the finished floor elevations of buildings shall be a minimum of 6" above the lowest upstream manhole top. If this is infeasible, a wastewater service lateral backwater valve is required on the customer side of the cleanout.
- p. When a potable or reclaimed water main, or a wastewater force main is routed within 10 ft. of an electric transformer, a 20 ft. length of DIP shall be centered on the transformer with mechanical restraint at each end. No fittings or valves shall occur within 10 ft. of the nearest edge of the transformer. A minimum clearance of 3' shall be maintained between the main and the transformer.

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA

**LEGEND**

**EXISTING**

- EXISTING BUILDING
- LAND LOT LINE (LL)
- PROPERTY LINE
- UTILITY POLE (UP), OVERHEAD LINES & CUY
- FIBER OPTIC CABLE
- TREE LINE
- SANITARY SEWER MANHOLE
- SANITARY CLEAN-OUT (SCO)
- TELEPHONE MANHOLE/PEDESTAL
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WIND CATCH BASIN
- SINGLE-WIND CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SWALE
- EXISTING 2 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- ELECTRICAL METER
- ELECTRICAL STUB OUT
- FIRE HYDRANT

**PROPOSED LEGEND**

- BOUNDARY LINE
- SAN> SANITARY SEWER SERVICE
- UE UNDERGROUND ELECTRIC SERVICE
- T UNDERGROUND TELEPHONE SERVICE
- 1-1/4"W WATER SERVICE
- CFP CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)
- CF CONSTRUCTION FENCE (SEE CIVIL DETAILS)
- X TREE FENCE PROTECTION (SEE CIVIL DETAILS)

**GENERAL UTILITY NOTES**

A. ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC, MEETING ASTM D1785 & D1685 SPECIFICATIONS, AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF STD. 61 & STD.14, WITH 36" MIN. COVER.

B. ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, PROVIDE 36" MINIMUM COVER.

C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH AFFECTED PROPERTY OWNERS.

D. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND STORM DRAINAGE/SEWERAGE ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR RETURN DEMANDS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

G. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA, DIRECTORIES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHIELDING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

**UTILITY NOTES**

22A POINT OF CONNECTION - WATER SERVICE

22B M.I. TAPPING SLEEVE WITH M.I. TAPPING VALVE AND THRUST BLOCKING WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET)

22C M.I. TEE WITH THRUST BLOCKING (SEE SIZES THIS SHEET)

22D 90° M.I. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)

22E 45° M.I. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)

22F WEATHERED DOMESTIC WATER SERVICE ENTRY PER BLDG PLUMBING PLAN (SEE SIZES THIS SHEET)

22G PROPOSED WATER METER (PER CITY OF GAINESVILLE STD DETAIL DRAWING W-8.0 & W-8.1)

22H SANITARY SEWER SERVICE ENTRY (PER BUILDING MECHANICAL PLANS)

22I CONNECT GREASE TRAP VENT TO BUILDING VENT SYSTEM. GREASE TRAP VENT INVERT MUST BE HIGHER THAN INLET INVERT.

24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE

26A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE

28A MAINTAIN MIN. 18" VERTICAL SEPARATION

300 VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY

310 INSTALL (2) 4" PVC SLEEVES 30" BELOW FINAL GRADE UNDER DRIVEWAY. EXTEND SLEEVES 2 FEET BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF EACH SLEEVE WITH CAPPED VERTICAL PVC PIPE, 12" ABOVE GRADE. DO NOT ALLOW SOL. OR WATER TO ENTER SLEEVES DURING OR AFTER CONSTRUCTION.

31E INSTALL (1) 4" PVC SLEEVE 30" BELOW FINAL GRADE UNDER DRIVEWAY FOR WIREMAN LINE. EXTEND SLEEVES 2 FEET BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF SLEEVE WITH CAPPED VERTICAL PVC PIPE, 12" ABOVE GRADE. DO NOT ALLOW SOL. OR WATER TO ENTER SLEEVE DURING OR AFTER CONSTRUCTION.

**UTILITY DETAILS - SEE DETAIL SHEETS**

31C FREEZELESS WATER BIBB TO BE LOCATED ON BUILDING SIDE OF CANOPY COLUMN (SEE PLAN FOR LOCATION OF TAP TO WATER LINE)

39B SANITARY SEWER MANHOLE PER CITY OF GAINESVILLE STD DETAIL DRAWING DETAIL WW-7.5 & WW-7.8

39C SANITARY SEWER GREASE TRAP PER REGIONAL UTILITIES STD DETAIL DRAWING WW-8.0

40C SANITARY SEWER WYE CONNECTION WITH CLEAN-OUT

40E SANITARY SEWER CLEAN-OUT WITH TRAFFIC LOAD BEARING COVER PER GRU STD DETAIL WW-5.3

41C REDUCED PRESSURE ZONE BACKFLOW PREVENTER

42B SANITARY SEWER TRENCHING AND BEDDING PER CITY OF GAINESVILLE STD DETAIL WW-2.2

**MURPHY OIL USA, INC.**

**MURPHY 200 PEACH STREET**

**P.O. BOX 7000**

**EL DORADO, AR 71730-7000**

**USA**

**GreenbergFarrow**

1430 W. PEACHTREE ST., SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 601 0000  
FAX: (404) 601 3970  
DWG NAME: C-6-01.DWG  
JOB NO.: 2133690

**UTILITY PLAN**

**WALMART SUPERCENTER #3677**

**1800 NE 12 AVE**

**GAINESVILLE FLORIDA**

**SHEET NO. C-6**

**APR 18 2016**

**REV-2**

**DATE 04-18-16**

**PRN**

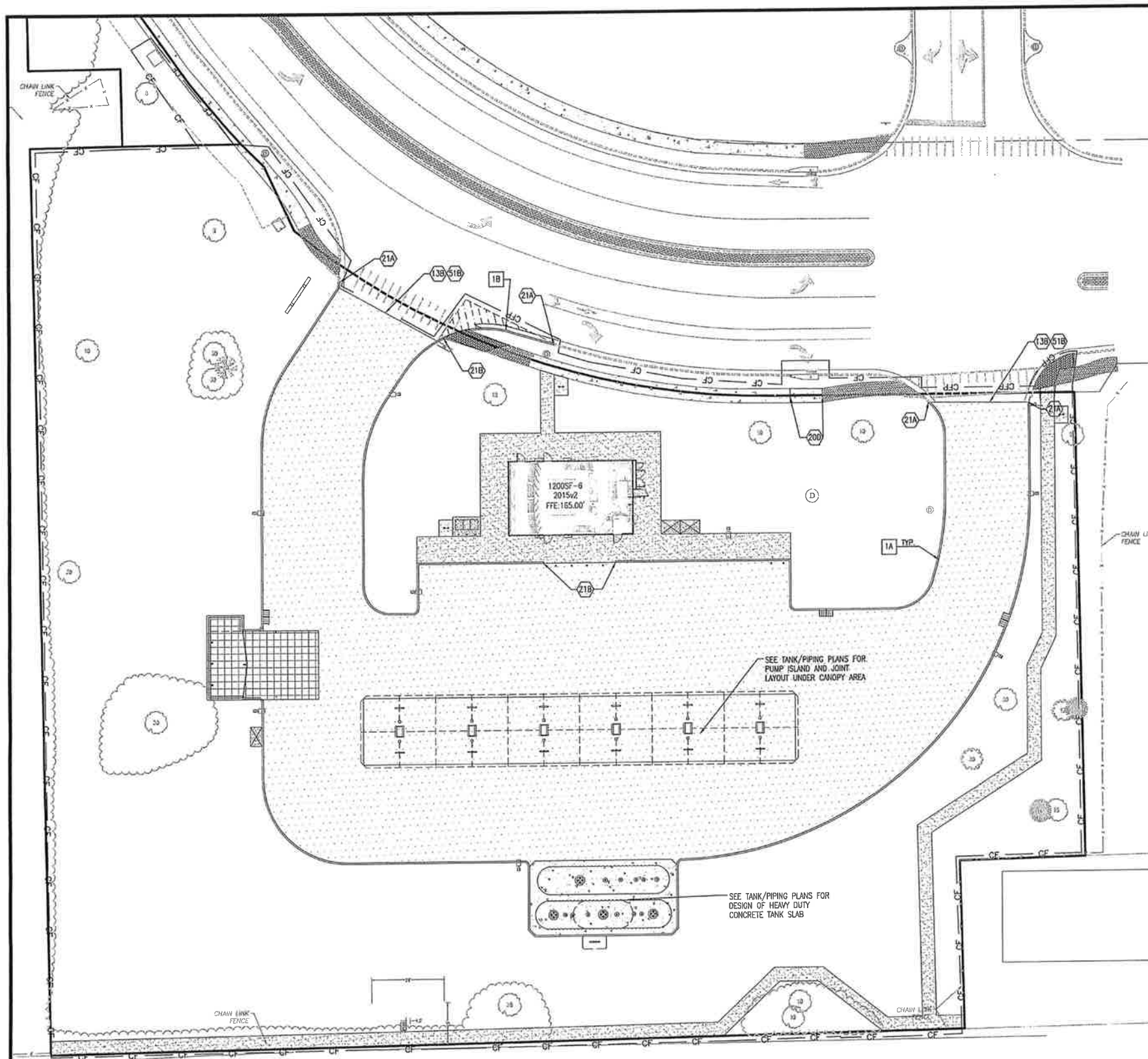
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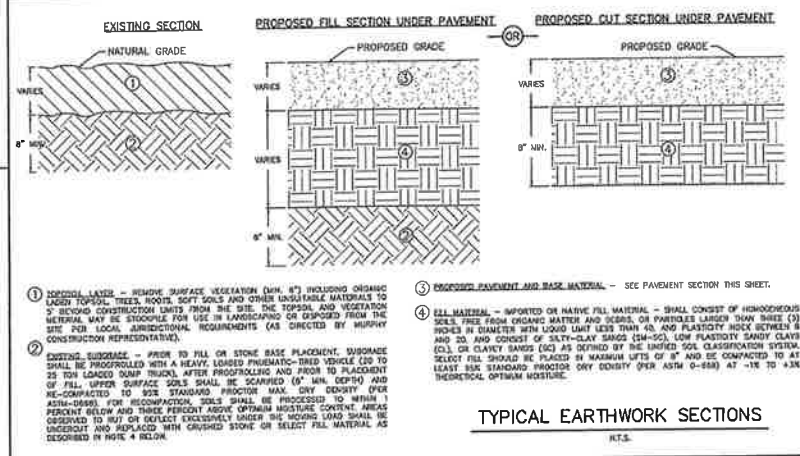
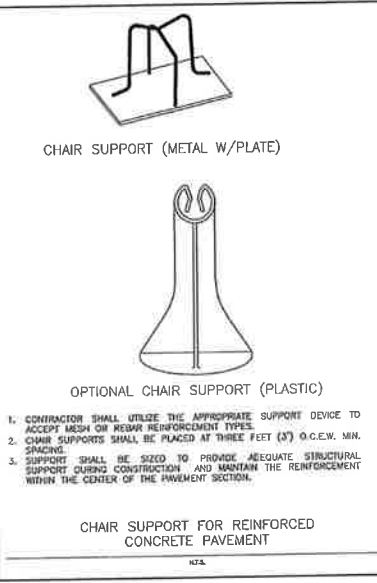
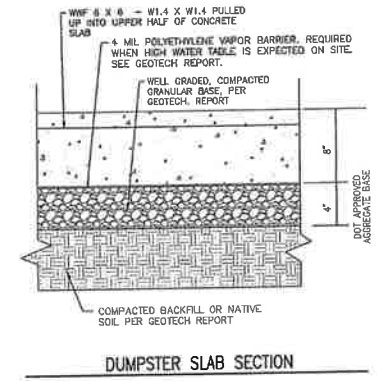
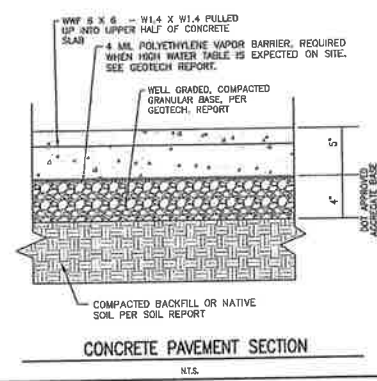
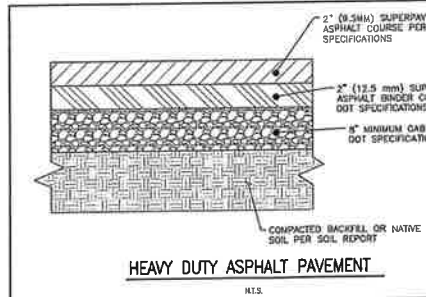




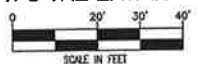
NOTE:  
GC IS REFERRED TO GEOTECHNICAL  
REPORT PREPARED BY UNITED  
CONSULTING DATED OCTOBER 26, 2015.  
FOR SITE PREPARATION CONDITIONS  
AND PAVEMENT REQUIREMENTS.

- ADDITIONAL PAVING NOTES**
1. SURFACE COURSE, BASE, AND SUB-GRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
  2. SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR OR AS SPECIFIED BY THE GEOTECHNICAL REPORT WHICHEVER IS MORE STRINGENT.
  3. FOLLOW RECOMMENDATIONS IN GEOTECH REPORT FOR RE-INFORCEMENT OF CONCRETE SECTIONS.

NOTE:  
1) CALL PAVING SERVICES AT (503) 393-8188 TO SCHEDULE A BARRIAGE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.  
2) REMOVAL OF ALL CONSTRUCTION DEBRIS, UNWORN, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS SHALL BE REMOVED AND 36" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED TO ANY INSTALLATION OF PLANTS OR TREES.



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1-800-432-4770  
IT'S THE LAW IN FLORIDA



**LEGEND**

- EXISTING**
- EXISTING BUILDING
  - LAND LOT LINE (LLL)
  - PROPERTY LINE
  - UTILITY POLE (UP), OVERHEAD LINES & GUY
  - FIBER OPTIC CABLE
  - TREE LINE
  - SANITARY SEWER MANHOLE
  - SANITARY CLEAN-OUT (SCO)
  - TELEPHONE MANHOLE/PEDESTAL
  - STORM DRAIN PIPE WITH HEADHALL
  - DOUBLE-WING CATCH BASIN
  - SINGLE-WING CATCH BASIN
  - JUNCTION BOX (JB)
  - DROP OR CURB INLET (DI OR CI)
  - FENCE
  - DRAINAGE DITCH OR SWALE
  - EXISTING 10 FOOT CONTOUR
  - EXISTING 2 FOOT CONTOUR
  - EXISTING GRADE SPOT ELEVATION
  - DIRECTION OF SURFACE FLOW
  - RECORDED DATA
  - PARKING SPACE COUNT
  - LIGHT POLE (LP)
  - ELECTRICAL TRANSFORMER BOX
  - ELECTRICAL METER
  - ELECTRICAL STUB OUT
  - FIRE HYDRANT
- PROPOSED**
- BOUNDARY LINE
  - CONCRETE CURB AND GUTTER
  - CFP CONSTRUCTION SAFETY FENCE (SEE CIVIL DETAILS)

- GENERAL PAVING NOTES**
- A. CONCRETE ON ASPHALT UTILITY CUT REPAIRS TO BE DYED TO MATCH SURROUNDING ASPHALT.
  - B. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 1A (SEE DETAILS SHEET C-12).
  - C. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECH REPORT PREPARED BY UNITED CONSULTANT, INC. DATED OCTOBER 26, 2015 AND THIS PAVING PLAN OVER THE ENTIRE PAVING LOT AREA AND ALL APPROACH DRIVES.
  - D. SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
- PAVING NOTES**
- 13B LIMITS OF HEAVY DUTY CONCRETE PAVING
  - 200 REPLACE/RESTORE SIDEWALK TO MATCH EXISTING
  - 21A TAPER CURB TO MATCH EXISTING CURB
  - 21B TAPER CURB FROM 6" TO 0" OVER 2'
  - 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

- PAVING DETAILS**
- 1A INTEGRAL CONCRETE CURB
  - 1B TYPE "B" CURB & GUTTER
  - 3X CONCRETE SIDEWALK
  - 30 SIDEWALK TO BE REPLACED WITH DECORATIVE RAMPS TO MATCH EXISTING

- PAVING DETAILS**
- 8" CONCRETE PAVING FOR TANK, SEE TANK/PIPING PLANS FOR DESIGN AND DETAILS.
  - 8" HEAVY DUTY CONCRETE DUMPSTER PAD
  - 5" CONCRETE PAVING
  - HEAVY DUTY ASPHALT PAVING PER FDOT SPECIFICATION

**SHEET NO. C-7**

**PROFESSIONAL SEAL**

**FLORIDA**

**APR 18 2016**

**PAVING PLAN**

**WALMART SUPERCENTER #3877**

**1800 NE 12 AVE**

**GANESVILLE**

**FLORIDA**

**GreenbergFarrow**

1430 W. PEACHTREE ST., NW SUITE 200  
ATLANTA, GA 30309  
TEL: (404) 603-9370  
FAX: (404) 603-9370  
DWC NAME: GANESVILLE, FL  
JOB NO.: 20150700

**MURPHY OIL USA, INC.**

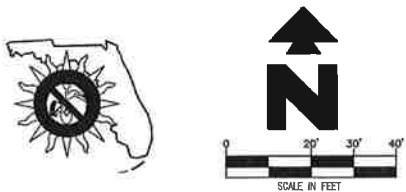
**MURPHY 200 PEACH STREET**

**P.O. BOX 7000**

**EL DORADO, AR 71730-7000**

**USA**

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1-800-432-4770  
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LEGEND

| EXISTING |   |
|----------|---|
|          | EXISTING BUILDING                       |
|          | LAND LOT LINE (LL)                      |
|          | PROPERTY LINE                           |
|          | UTILITY POLE (UP), OVERHEAD LINES & GUY |
|          | FIBER OPTIC CABLE                       |
|          | TREE LINE                               |
|          | SANITARY SEWER MANHOLE                  |
|          | SANITARY CLEAN-OUT (SCO)                |
|          | TELEPHONE MANHOLE/PEDESTAL              |
|          | STORM DRAIN PIPE WITH HEADWALL          |
|          | DOUBLE-WING CATCH BASIN                 |
|          | SINGLE-WING CATCH BASIN                 |
|          | JUNCTION BOX (JB)                       |
|          | DROP OR CURB INLET (DI OR CI)           |
|          | FENCE                                   |
|          | DRAINAGE DITCH OR SWALE                 |
|          | EXISTING 10 FOOT CONTOUR                |
|          | EXISTING 2 FOOT CONTOUR                 |
|          | EXISTING GRADE SPOT ELEVATION           |
|          | DIRECTION OF SURFACE FLOW               |
|          | RECORDED DATA                           |
|          | PARKING SPACE COUNT                     |
|          | LIGHT POLE (LP)                         |
|          | ELECTRICAL TRANSFORMER BOX              |
|          | ELECTRICAL METER                        |
|          | ELECTRICAL STRIP OUT                    |
|          | ONE HYDRANT                             |
|          | WATER VALVE                             |
|          | GAS VALVE                               |
|          | WATER METER                             |
|          | GAS METER                               |
|          | WELL                                    |
|          | MONITORING WELL                         |
|          | POST INDICATOR VALVE                    |
|          | MAILBOX                                 |
|          | STREET SIGN                             |
|          | TRAFFIC SIGNAL POLE                     |
|          | TRAFFIC SIGNAL BOX                      |
|          | BACKFLOW PREVENTER                      |
|          | FIRE DEPT. CONNECTION                   |
|          | FIBER OPTIC BOX                         |
|          | IRRIGATION CONTROL VALVE                |
|          | DRAINAGE MANHOLE                        |
|          | RIGHT-OF-WAY                            |
|          | REBAR PIN FOUND                         |
|          | OPEN TOP PIPE FOUND                     |
|          | OSM TOP PIPE FOUND                      |
|          | CONCRETE MOVEMENT FOUND                 |
|          | BRASS DISK FOUND                        |
|          | AXLE FOUND                              |
|          | REBAR PIN SET                           |
|          | CORRUGATED METAL PIPE                   |
|          | REINFORCED CONC. PIPE                   |
|          | HIGH-DENSITY POLYETHYLENE PIPE          |

| PROPOSED |   |
|----------|---|
|          | BOUNDARY LINE                                 |
|          | CONCRETE INTEGRAL CURB                        |
|          | CONSTRUCTION FENCE (SEE DETAIL SHEETS)        |
|          | CONSTRUCTION SAFETY FENCE (SEE CIVIL DETAILS) |

GENERAL JOINT LAYOUT NOTES

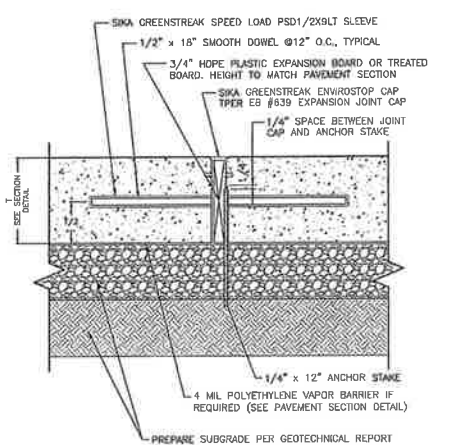
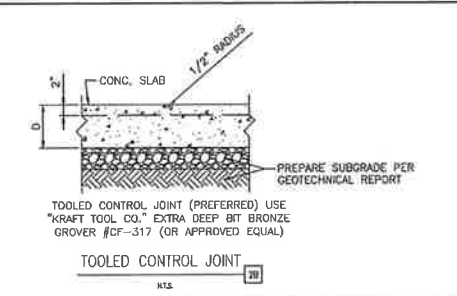
- THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN FOR RELATIONSHIP OF THESE STRUCTURES TO EXISTING CONDITIONS AND REFERENCE POINTS.
- SEE SHEET C-7 FOR PAVING NOTES.
- 1/2" FOAM EXPANSION JOINT MATERIAL SHALL SURROUND THE CANOPY COLUMNS, U-BUMPERS, BOLLARDS AND DISPENSER ISLANDS AT GRADE. SEE TANK-PIPING PLANS (STANDARD YARD AND DRIVE DETAILS).
- SEE TANK-PIPING PLANS FOR NOTES ON REBAR REINFORCING AROUND UST MANHOLE.
- SEE TANK-PIPING PLANS CONDUIT PIPING LAYOUT.
- DOWELED JOINTS SHALL BE LOCATED ON 12" CENTERS, ALONG THE INSIDE OF THE MOST EXTERIOR SLABS. DOWELS SHALL BE SMOOTH TYPE AND INSERTED INTO GREENSTREAK SPEED DOWEL FORMS. THE DOWEL IS LOCATED AT MID-SLAB DEPTH AND HELD IN PLACE LEVEL AND PERPENDICULAR TO THE JOINT USING THE SPEED DOWEL, WHICH REMAINS WITH THE FORM. AFTER THE FORMS ARE STRIPPED, THE DOWELS SHOULD BE CHECKED TO ASSURE FULL INSERTION AND ALIGNMENT IN THE INITIAL SLAB BEFORE POURING THE ADJACENT SLAB. DOWELS OCCURRING UNDER AND PARALLEL TO CONTROL JOINTS SHOULD BE DELETED. SEE TANK-PIPING PLANS FOR ADDITIONAL INFORMATION.

JOINT LAYOUT NOTES

- 10A TANK MANHOLE REINFORCEMENT (SEE TANK-PIPING PLANS FOR ADDITIONAL DETAILS)
- 23A ASPHALT ABUTTING JOINT
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

JOINT LAYOUT DETAILS -- SEE DETAIL SHEETS

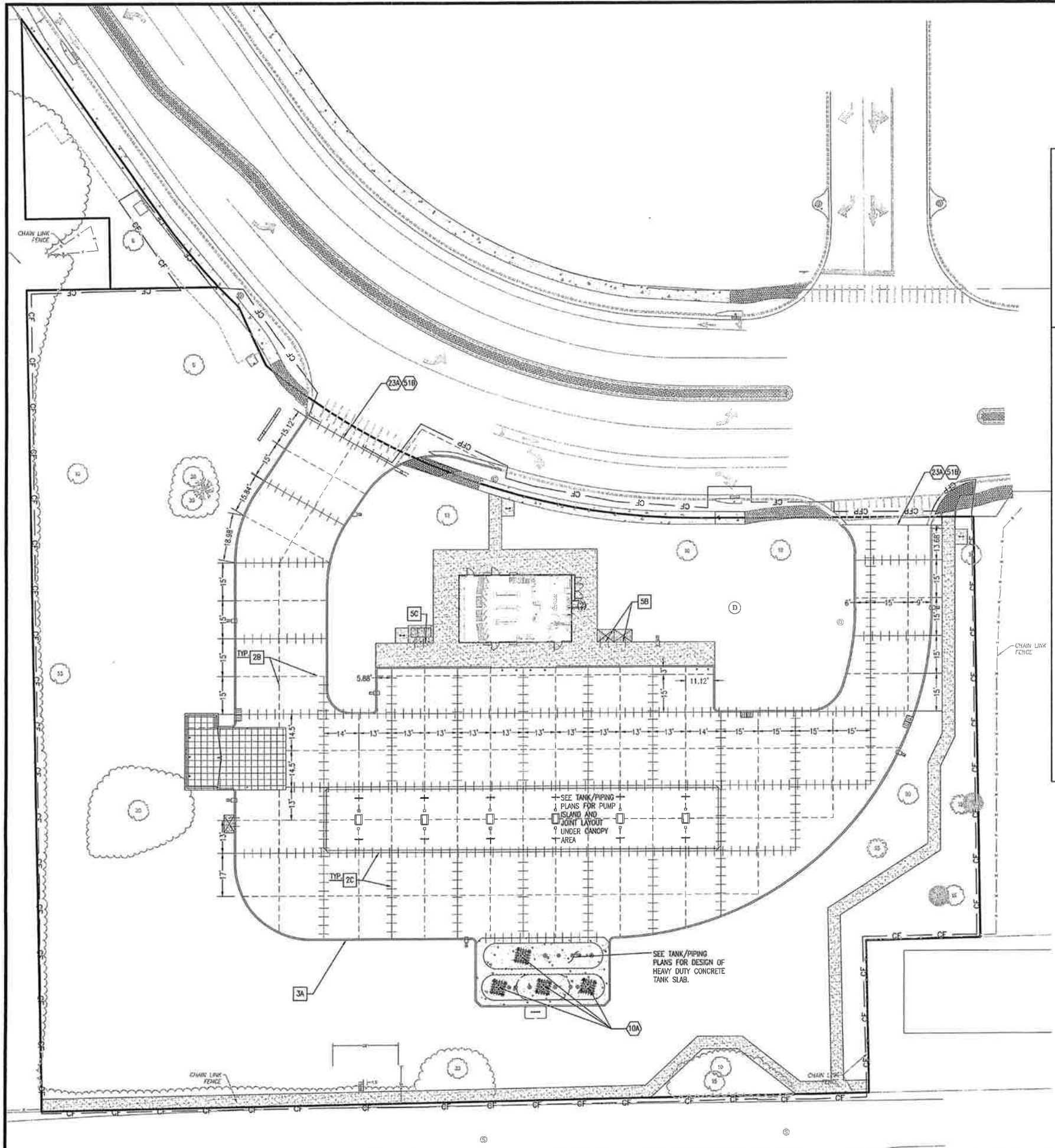
- 28 TOOLED CONTROL JOINT
- 2C DOWEL CONSTRUCTION JOINT IN CONCRETE SLAB
- 3A AIR/VAC UNIT MOUNTING SLAB
- 5B ICE BOX MOUNTING SLAB
- 5C PROPANE BOX MOUNTING SLAB



INSTALLATION STEPS:

- TERMINATE STAKES BELOW THE TOP OF THE BOARD A DISTANCE EQUAL TO THE DEPTH OF THE JOINT CAP PROFILE PLUS 1/4" MIN.
- USE FACTORY FABRICATIONS FOR INTERSECTIONS AND CHANGES OF DIRECTION. ENSURE ALL SECTIONS TO BE SPLICED ARE CUT SQUARE AND BOND TOGETHER USING C-SEAL ADHESIVE.
- SECURE JOINT CAP TO THE EXPANSION BOARD WITH STAPLES, NAILS, SCREWS BELOW THE PROFILE RIDGES (APPROXIMATELY 18" ON CENTER) OR ADHESIVE TO PREVENT DISLOCATION DURING CONCRETE PLACEMENT.
- INSERT SPEED LOAD SLEEVES INTO HOLES DRILLED THROUGH EXPANSION BOARDS AT MINIMUM 2" BELOW TOP OF SLAB. ENSURE SPEED LOAD SLEEVES ARE SECURED IN EXPANSION BOARD WITH BASE FLANGE FLAT TO EXPANSION BOARD FACE.
- INSERT SMOOTH DOWEL INTO SPEED LOAD SLEEVES AND PLACE CONCRETE USING NORMAL PLACEMENT TECHNIQUES. UTILIZING THE JOINT CAP AS A SCREENED RAIL, VIBRATE CONCRETE TO ENSURE GOOD CONSOLIDATION AROUND JOINT CAP, SPEED LOAD AND REBAR.

DOWEL CONSTRUCTION JOINT IN CONCRETE SLAB



**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

**MURPHY USA**

**GreenbergFarrow**  
1425 W. PEACHTREE ST. NW, SUITE 200  
ATLANTA, GA 30329  
PHONE: (404) 601 4000  
FAX: (404) 601 3970  
DWG NO. 20150710  
JOB NO. 20150710

**JOINT LAYOUT PLAN**  
WALMART SUPERCENTER #3877  
1800 NE 12 AVE  
GAINESVILLE FLORIDA

**PROFESSIONAL ENGINEER**  
STATE OF FLORIDA  
APR 18 2016

**SHEET NO. C-8**

**REV-2**  
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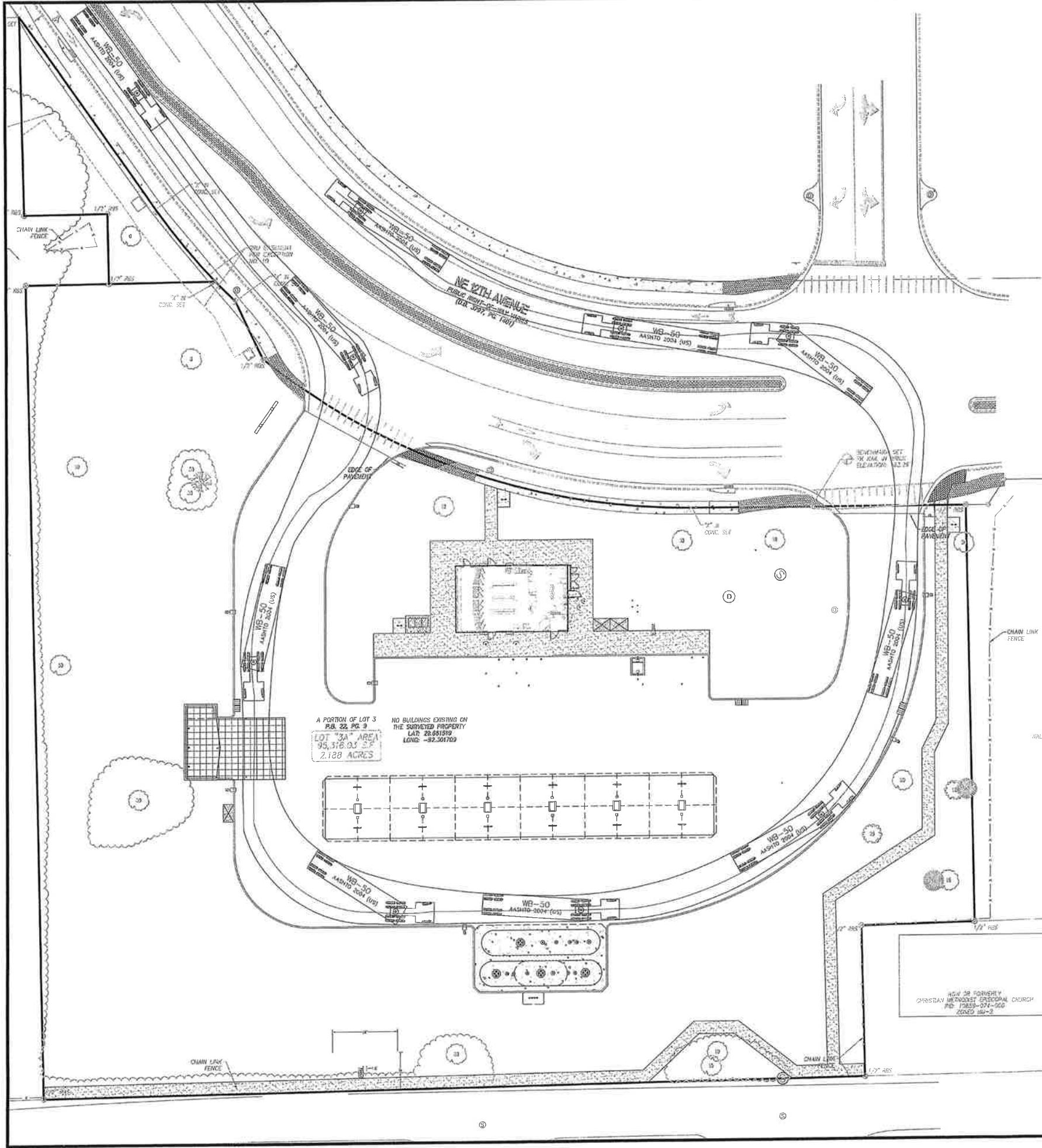
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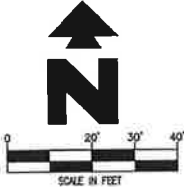
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CALL SUNSHINE  
1-800-432-4770  
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SHEET NO.  
**C-9**

APR 18 2016

REV-2  
DATE  
04-18-16  
UN PRN  
JV PM  
VLU DES  
VLU DRW  
**TRUCK ROUTE PLAN**  
**WALMART SUPERCENTER #3877**  
**1800 NE 12 AVE**  
**GAINESVILLE**  
**FLORIDA**

**GreenbergFarrow**

1400 W. PEACHTREE ST., NW SUITE 200  
ATLANTA, GA 30340  
PHONE: (404) 643-1000  
FAX: (404) 601-3970  
DWG NAME: GAINESVILLE, FL  
JOB NO.: 2015037010

**MURPHY OIL USA, INC.**

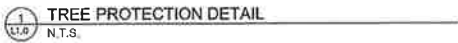
**MURPHY** 200 PEACH STREET  
**USA** P.O. BOX 7000  
EL DORADO, AR 71730-7000



| PLANT MATERIAL SCHEDULE |     |   |                                |                                       |
|-------------------------|-----|---|--------------------------------|---------------------------------------|
| SYMBOL                  | QTY | BOTANICAL NAME                          | COMMON NAME                    | SIZE / NOTES                          |
| AR                      | 9   | Acer rubrum                             | RED MAPLE                      | 30 GALLON, 10' HT. x 4' SPR., 2" CAL. |
| FA                      | 13  | Fraxinus americana                      | WHITE ASH                      | 30 GALLON, 10' HT. x 3' SPR., 2" CAL. |
| IAE                     | 14  | Ilex attenuata "East Palatka"           | EAST PALATKA HOLLY             | 30 GALLON, 10' HT. x 3' SPR., 2" CAL. |
| IVS                     | 170 | Ilex vomitoria "Schillings Dwarf"       | DWARF SCHILLINGS YAUPOON HOLLY | 3 Gallon, 18" HT. x 18" SPR.          |
| LIM                     | 13  | Lagerstroemia indica "Muskogee"         | CRAPE MYRTLE "LAVENDER"        | 30 GALLON, 10' HT. x 4' SPR., 2" CAL. |
| LIN                     | 18  | Lagerstroemia indica "Natchez"          | CRAPE MYRTLE "WHITE"           | 30 GALLON, 10' HT. x 4' SPR., 2" CAL. |
| MG                      | 9   | Magnolia grandiflora                    | MAGNOLIA                       | 30 GALLON, 10' HT. x 4' SPR., 2" CAL. |
| QV                      | 13  | Quercus virginiana "Cathedral"          | CATHEDRAL LIVE OAK             | 30 GALLON, 10' HT. x 5' SPR., 2" CAL. |
| TRD                     | 125 | Tripsacum dactyloides                   | FAKAHATCHEE GRASS              | 3 Gallon, 24" HT. x 12" SPR.          |
| TV                      | 65  | Tubeghnia violacea                      | SOCIETY GARLIC                 | 1 Gallon                              |
| UPE                     | 13  | Ulmus parvifolia "Allee"                | ALLEE ELM                      | 30 GALLON, 10' HT. x 4' SPR., 2" CAL. |
| VOS                     | 561 | Viburnum ovatum "Mrs Shiller's Delight" | MRS SHILLER'S DELIGHT VIBURNUM | 3 GALLON, 24" HT. x 12" SPR.          |

SOD Zoysia japonica "Empire" EMPIRE ZOYSIA TURF

### TREE PROTECTION DETAIL



### GENERAL LANDSCAPE NOTES

- All plant material to be Florida #1 or better quality, as specified in the current edition of the IFAS "Grades and Standards for Nursery Stock".
- Tree caliper measurements shall be taken at six (6") inches above natural grade. Measurements for trees over four (4") inches of caliper shall be taken at twelve (12") inches above natural grade. Diameter breast height (DBH) measurements to be taken at 4.5 feet above natural grade.
- The Plant Material Schedule Included with the Plans is provided only for the Contractor's convenience; it shall not be construed as to conflict or predominate over the Plans.
- In the event of discrepancies in the quantities shown on the Plant Material Schedule/Bid Form and those shown on the Plans, the Contractor shall bid the quantity shown on the Plant Material Schedule/Bid Form and provide a note as to the quantity shown on the Plans.
- If a conflict between the Plans and the Specifications exists, the Plans shall predominate and be considered the controlling document.
- Contractor shall provide documentation of plant variety when specified. Plants specified by Genus and Species alone shall not require documentation.
- All materials shall be installed as specified on the Plans. If material and labor do not adhere to the Details and Specifications, they will be rejected by the Landscape Architect. Rejected materials will be replaced by the Landscape Contractor at no additional cost.
- All necessary permits are to be provided by the installing contractor for work shown on the Plans (unless otherwise specifically stated in the Specifications or Bid Documents).
- The Contractor shall be responsible for verification and protection of all underground and overhead utilities. Plant material shown on the Plans that conflict with the utilities shall be brought to the attention of the Landscape Architect prior to installation.
- The Owner or Owners Representative shall provide site grading to within 0.1 foot of finish grade. The Contractor shall provide fine grading to produce a positive drainage condition on the site. Surface water shall be directed to engineered drainage structures/swales with smooth grading transitions. Debris larger than 1.5 inches shall be removed from surface of landscape beds and sodded areas.
- All plant material shall be installed and maintained in the highest standard of workmanship and in accordance with the Details and Specifications. Plant material shall be maintained by the Contractor until Final Acceptance is granted by the Owner.
- All B&B trees shall have strings, twine or rope removed from the top of the basket. All tagging tape, identification tags, and other objects shall be removed from the plant material prior to calling for a Substantial Completion inspection.
- Mulch shall be Pine Bark mini-nuggets. Sod shall be as specified in the Plant Material Schedule.
- The Contractor shall remove existing vegetation necessary to complete the work shown on the plans. Use of herbicide shall be in accordance to manufacturer's recommendations and supervised by licensed applicators. The Contractor is solely responsible for the means to remove existing vegetation and responsible to ensure that re-growth does not occur.
- The Contractor shall keep a neat and orderly job site. Paved surfaces necessary for access shall be kept clear of debris. Debris generated by the work shown on the Plans shall be removed from the site.
- The Contractor shall provide a replacement warranty for trees of one year's duration and shrub/groundcover for three month's duration from Final Acceptance.
- Sod shall be laid with tight joints. Sodded areas shall be rolled within three days after installation. Contractor shall apply proper irrigation water quantities prior to rolling to insure proper soil/root contact but not produce indentations from pedestrians.
- All questions concerning the Plans, Details, or Specifications shall be directed to the Landscape Architect. (727-343-1809).
- Mulch all disturbed areas with a three (3) inch minimum layer of pine bark mulch.
- All plant material shall be guaranteed one year after acceptance by owner.
- Landscape contractor shall call Planning Services at (352) 393-8188 to schedule an on-site meeting prior to purchasing any plant material.
- All trees in sod to be in a four (4) foot minimum mulched ring around the newly planted trees.
- All trees planted in sod to have ten (10) inch plastic protector around trunk base to protect from mowing damage.
- Trees to be planted so that the trunk flare is exposed and topmost root in rootball originating from the trunk is at soil surface or within the top inch of soil on the rootball.
- The City shall require the rootball/container size of the tree, which takes precedence over the caliper size of the tree.
- Removal of all construction debris, limestone, excess of builders sand, concrete and mortar debris, existing weeds and grasses, and all foreign materials in the planting bed and sod areas shall be removed and 36" of clean Florida fill of pH 5.5-6.5 shall be installed prior to any installation of plants or trees.
- Call Planning Services at (352) 393-8188 to schedule a barricade inspection before clearing and grubbing work commences.
- Automatic irrigation system is required for this development, and provide bubblers by each tree to be installed too.

### FERTILIZATION SCHEDULE

- All plant material shall be fertilized upon installation but prior to mulching. Plant material adjacent to open bodies of water shall be mulched immediately following fertilization to reduce translocation of the granules.
- Fertilizer shall be Scotts Osmocote "Classic" 19-6-12 in the twelve (12) month release formulation. Contractor may use the Standard or Lo-Start mixes depending on the level of existing fertilizer from plant nursery applications.
- Each containerized plant shall receive fertilization at the rates shown for each container size. One (1) cup equals two hundred eighty (280) grams of Scotts Osmocote "Classic" 19-6-12 fertilizer.

| Container Size       | Fertilizer Rate   |
|----------------------|-------------------|
| 1 Gallon Container   | 15 plants per cup |
| 3 Gallon Container   | 1/4 cup           |
| 7 Gallon Container   | 1/2 cup           |
| 15 Gallon Container  | 3/4 cup           |
| 25 Gallon Container  | 1-1/2 cups        |
| 30 Gallon Container  | 1-3/4 cups        |
| 45 Gallon Container  | 2-1/4 cups        |
| 65 Gallon Container  | 2-1/4 cups        |
| 100 Gallon Container | 3 cups            |

- Each balled and burlapped plant shall receive one half (0.5) cup of Scotts Osmocote "Classic" 19-6-12 in the twelve (12) month release formulation for every caliper inch of trunk. One (1) cup equals two hundred eighty (280) grams of Osmocote "Classic" 19-6-12 fertilizer.
- Scotts Osmocote "Classic" 19-6-12 in the twelve (12) month release formulation shall be applied to sodded or seeded areas at a rate of ten (10) pounds per one thousand (1000) square feet.
- Scotts Osmocote "Plus" 15-9-12 in the twelve (12) month release formulation shall be applied to palms at a rate of five (5) cups per one hundred (100) square feet of palm canopy. One (1) cup equals two hundred fifty (250) grams of Osmocote "Plus" 15-9-12 fertilizer. If dripline of palm extends into lawn or other shrub/groundcover areas, the palm fertilizer shall be the only fertilizer applied to the area under the dripline of the palm.

### OPTIONAL FERTILIZATION TECHNIQUES

- The Contractor may substitute Scotts Agriform 20-10-5 Planting Tablets Plus Minors for fertilization of trees, and large containers. The application rate shall be three (3) twenty-one (21) gram tablets per inch of caliper. Use Manufacturer's recommendations for palm fertilizer label application rate. Contractor shall notify Landscape Architect of the election to use fertilizer tablets prior to substantial completion inspection.
- Sodded or seeded areas over one half (0.5) acre may be fertilized (at contractor's choice) with a quick-release granular fertilizer with the formulation that delivers three and one half (3.5) pounds of nitrogen, one half (0.5) pound of phosphate and one and one half (1.5) pounds of potash per one thousand (1000) square feet.
- Palms may be fertilized (at contractor's choice) with Florikan 8-2-12 Plus Magnesium under entire drip line of palm. The application rate to be fifteen (15) pounds per one thousand (1000) square feet.

### IRRIGATION

- Landscape Irrigation to be provided by automatic irrigation system. Bubblers will be installed by each tree as part of the irrigation system.

### INVASIVE EXOTIC PLANT MATERIAL

- All invasive plant species to be removed from site prior to issuance of Certificate of Occupancy.

### NOTIFICATION

- Call the City of Gainesville Nature Operations 352-393-8171 for inspection on site prior to the purchase of any landscape material.

### LEGEND

- EXISTING ON-SITE TREE TO REMAIN
- EXISTING ON-SITE TREE TO BE REMOVED
- EXISTING OFF-SITE TREE



| PERIMETER LANDSCAPE CALCULATIONS                        |                    |             |       |           |       |        |
|---|--------------------|-------------|-------|-----------|-------|--------|
| 3 Shade Trees, 2 Ornamental Trees, 20 Shrubs PER 100 LF |                    |             |       |           |       |        |
|   | REQUIRED           | SHADE TREES |       | ORN TREES |       | SHRUBS |
|   |                    | REQ.        | PROV. | REQ.      | PROV. |        |
| PERIMETER LANDSCAPE BUFFERS                             |                    |             |       |           |       |        |
| NORTH BUFFER (330 LF)                                   | 9" Buffer (Type B) | 10          | 10    | 7         | 9     | 66     |
| SOUTH BUFFER (370 LF)                                   | 9" Buffer (Type B) | 11          | 13    | 8         | 11    | 74     |
| EAST BUFFER (220 LF)                                    | 9" Buffer (Type B) | 7           | 7     | 5         | 8     | 44     |
| WEST BUFFER (320 LF)                                    | 9" Buffer (Type B) | 10          | 16    | 7         | 16    | 64     |

| HERITAGE TREE APPRAISED VALUE CALCULATIONS   |  |  |  |             |
|--|--|--|--|-------------|
|  |  |  |  | TOTAL       |
| HERITAGE TREES REMOVED (1 LIVE OAK @ 30')  |  |  |  | 30'         |
| REQUIRED HERITAGE TREE REMOVAL APPRAISED VALUE   |  |  |  | \$15,543.00 |
| * NOTE - TREE APPRAISED VALUE FEE IS DUE AT THE TIME OF THE DEVELOPMENT ORDER IS ISSUED OR A SITE WORK PERMIT IS ISSUED. |  |  |  |             |

| TREE MITIGATION CALCULATIONS                               |  | TOTAL |
|--|--|-------|
| HERITAGE TREES REMOVED TOTAL CALIPER                       |  | 30"   |
| REGULATED TREES REMOVED (TOTAL TREES)                      |  | 3     |
| REQUIRED HERITAGE REPLACEMENT (INCH FOR INCH)              |  | 30"   |
| REQUIRED REGULATED REPLACEMENT (2 FOR 1 TREES @ 1.5" CAL.) |  | 9"    |
| TOTAL REQUIRED MITIGATION REPLACEMENT                      |  | 39"   |
| TREES PROPOSED (TOTAL CALIPER)                             |  | 96"   |

Jacob Zimmerman

Digitally signed by Jacob Zimmerman  
DN: cn=Jacob Zimmerman,  
o=Heartwood and Bark, PLC,  
ou=Landscape Architect,  
email=jakez@heartwoodandbark.com,  
c=US  
Date: 2016.04.15 15:09:13 -0400

SCALE:



JACOB ZIMMERMAN, RLA  
REG. NO. FL 0001653  
LANDSCAPE ARCHITECT



HEARTWOOD

AND BARK, INC.

LANDSCAPE ARCHITECTURE - URBAN DESIGN  
200 2nd St. S., #433 St. Petersburg, FL 33701  
Web: www.heartwoodandbark.com  
(727) 343-1809 License Number: LC2600025



Murphy Oil U.S.A., Inc.

Gainesville, Florida  
1800 NE 12th Avenue (Walmart Supercenter 3877)

REVISIONS:  
1. 04-12-16 (PER TRC COMM.)

2.  
3.  
4.

DRAWN BY: DJF  
DATE: 02-25-16

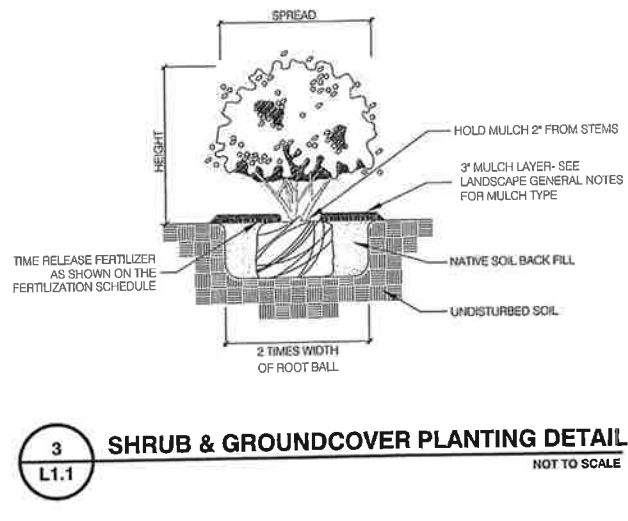
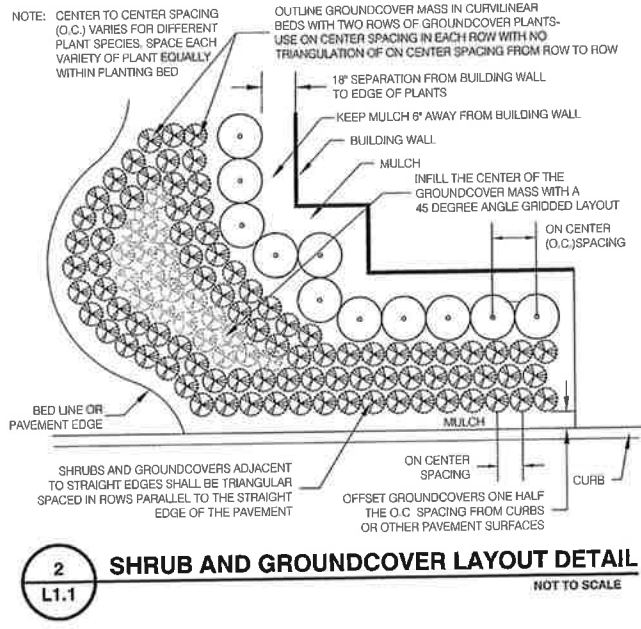
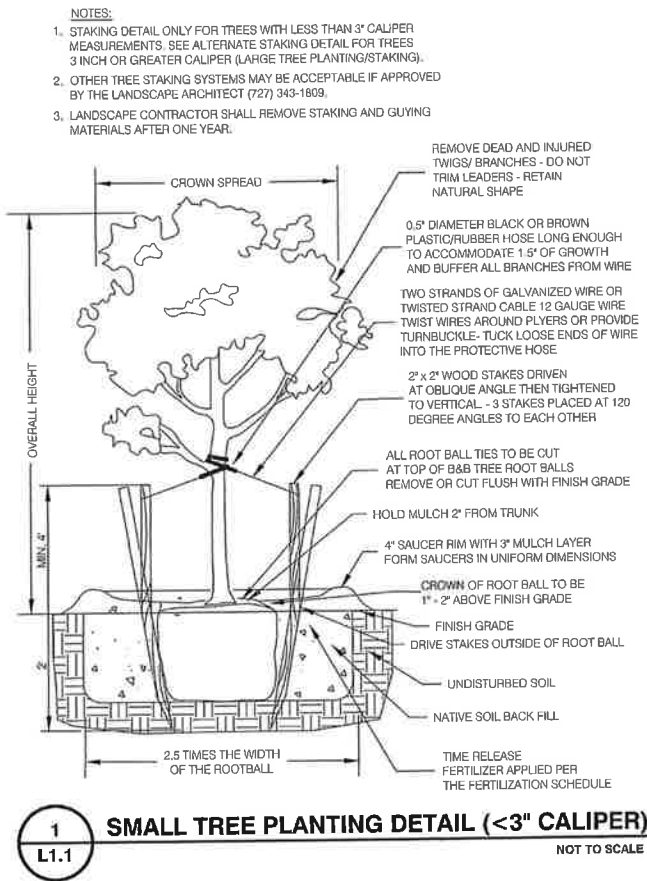
15049

LANDSCAPE

PLAN

L1.0





Jacob  
Zimmerman

Digitally signed by Jacob  
Zimmerman  
DN: cn=Jacob Zimmerman,  
o=Heartwood and Bark, PLC,  
ou=Landscape Architects,  
email=jake@heartwoodandbark.c  
om, c=US  
Date: 2016.04.15 15:09:48 -0400

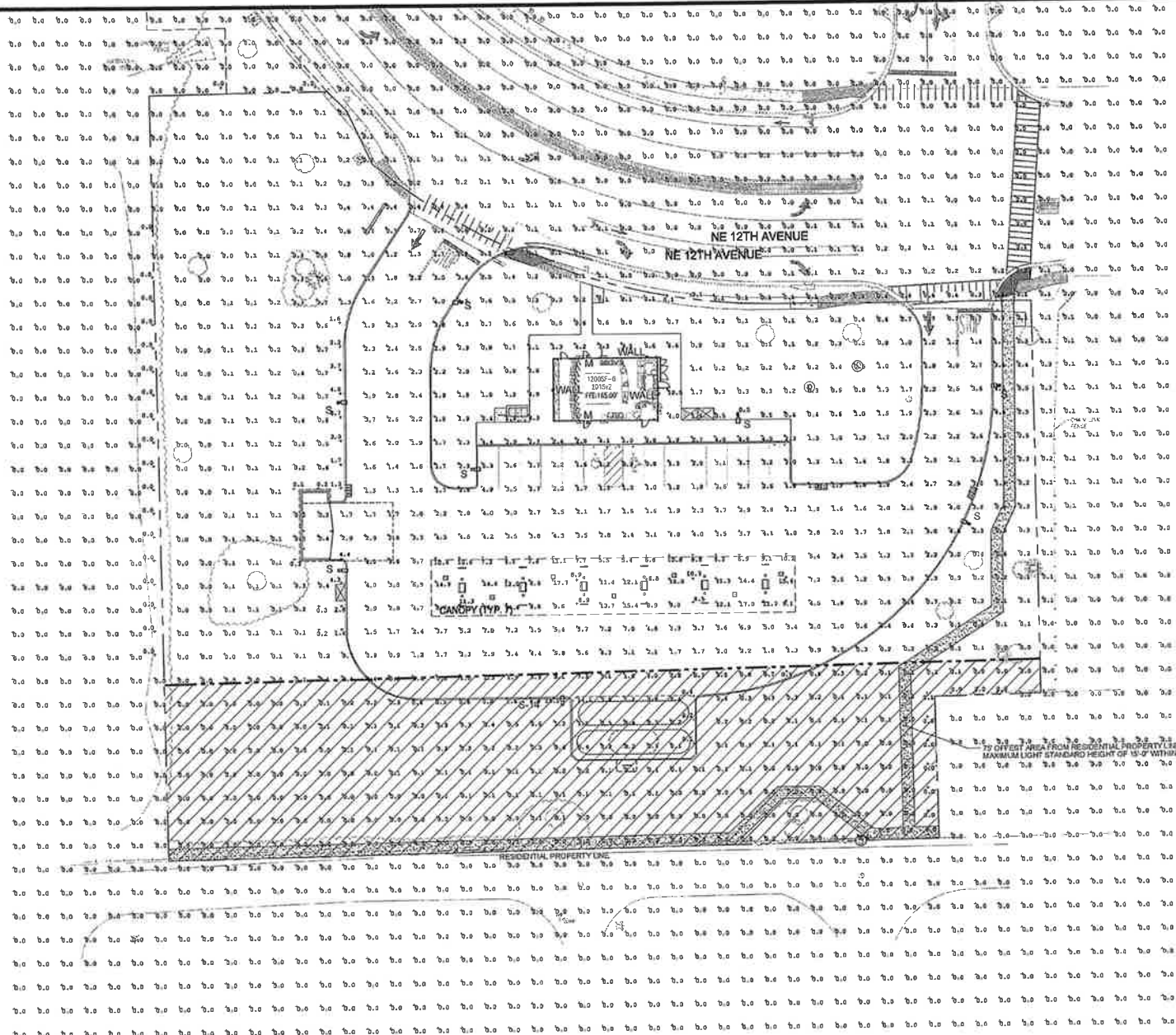


| REVISIONS:           |                          |
|----------------------|--------------------------|
| 1.                   | 04-12-16 (PER TRC COMM.) |
| 2.                   |                          |
| 3.                   |                          |
| 4.                   |                          |
| DRAWN BY: DJF        |                          |
| DATE: 02-25-16       |                          |
| 15049                |                          |
| LANDSCAPE<br>DETAILS |                          |
| L1.1                 |                          |

**Murphy Oil U.S.A., Inc.**  
Gainesville, Florida  
1800 NE 12th Avenue (Walmart Supercenter 3877)



**HEARTWOOD  
AND  
BARK** PLC  
LANDSCAPE ARCHITECTURE • URBAN DESIGN  
200 2nd St. S. #433 St. Petersburg, FL 33701  
(727) 343-1809 Web: www.heartwoodandbark.com  
License Number: LC20000325



1 PHOTOMETRIC SITE PLAN  
SCALE: 1"=30'-0"

### CALCULATION SUMMARY

| LABEL                            | UNITS | AVG   | MAX  | MIN | UNIFORMITY RATIO | MAXIMUM RATIO |
|----------------------------------|-------|-------|------|-----|------------------|---------------|
| CANOPY AREA                      | FC    | 10.85 | 17.7 | 5.4 | 1.97 to 1        | 3.28 to 1     |
| 6' OFF CANOPY                    | FC    | 4.57  | 7.5  | 2.0 | 2.29 to 1        | 3.75 to 1     |
| PARKING                          | FC    | 2.31  | 5.3  | 0.8 | 2.89 to 1        | 6.83 to 1     |
| BUILDING EXTERIOR                | FC    | 3.34  | 6.5  | 0.7 | 4.77 to 1        | 9.29 to 1     |
| MAX AT PROPERTY LINES            | FC    | NA    | 0.0  | NA  | NA               | NA            |
| MAX AT RESIDENTIAL PROPERTY LINE | FC    | NA    | 0.0  | NA  | NA               | NA            |

### POLE SCHEDULE

| MOUNTING CONFIG | SYMBOL | QTY | POLE HEIGHT | MODEL NUMBER            | DESCRIPTION  |
|-----------------|--------|-----|-------------|-------------------------|--|
| S               |        | 7   | 24'-0"      | 5SQB3-S11G-24-S-BRZ-5BC | LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE |
| S-14            |        | 1   | 12'-0"      | 5SQB3-S11G-12-S-BRZ-5BC | LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE |

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
POLES RATED TO 130 MPH WIND VELOCITY

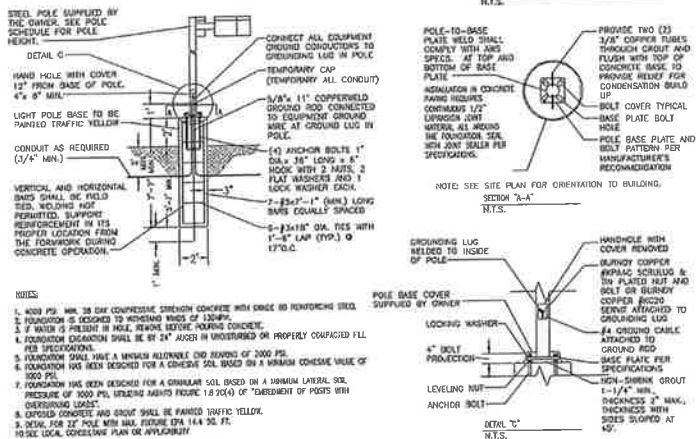
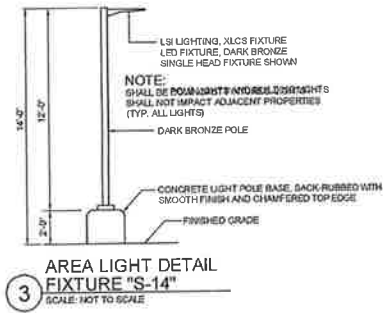
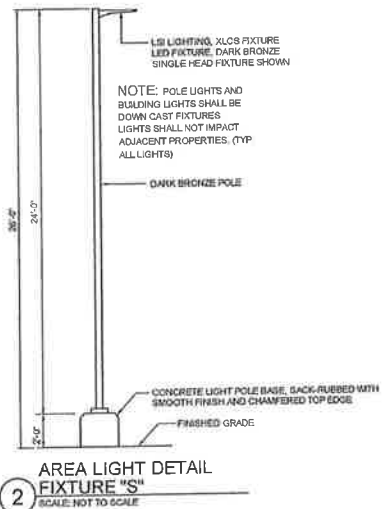
### LUMINAIRE SCHEDULE

| MOUNTING CONFIG | SYMBOL | QTY | MIN. MOUNTING HEIGHT | POLE HEIGHT | LUMENS | TOTAL WATTS | MODEL NUMBER                | DESCRIPTION  |
|-----------------|--------|-----|----------------------|-------------|--------|-------------|-----------------------------|--|
| S               |        | 7   | 26'-0"               | 24'-0"      | 9227   | 98          | XLCS-FT-LED-SS-NW-UE-BRZ    | LSI LIGHTING, SUCE SMALL LED SERIES AREA LIGHT, SUPER SAVER, NEUTRAL WHITE COLOR TEMP (4000K), SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH REAR MOUNTED SHIELD |
| S-14            |        | 1   | 14'-0"               | 12'-0"      | 9227   | 98          | XLCS-FT-LED-SS-NW-UE-BRZ    | LSI LIGHTING, SUCE SMALL LED SERIES AREA LIGHT, SUPER SAVER, NEUTRAL WHITE COLOR TEMP (4000K), SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH REAR MOUNTED SHIELD |
| CANOPY          |        | 7   | 15'-0"               | N/A         | 10871  | 88          | CRUS-SC-LED-LW-CW-UE        | LSI LIGHTING, LEGACY SERIES, FLAT LENS, FULL CUT-OFF CANOPY FIXTURE  |
| WALL            |        | 3   | 8'-3"                | N/A         | 2873   | 26          | XSPWA03FG-UZP               | CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 25 WATT INPUT, 4000K CCT, WITH PHOTOCCELL SENSOR  |
| M               |        | 2   | 8'-3"                | N/A         | 1800   | 20          | LR6-18L-35K-120V-A-DR VLT6A | CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, FULLY RECESSED ENTRY LIGHTS WITH HOUSING R04-12W-GU24  |

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.  
ALL FIXTURES ARE FULL CUT-OFF FIXTURES

### GENERAL NOTES:

- LIGHTING CONTROLS INFORMATION WILL BE PROVIDED ONCE HOURS OF OPERATION ARE FINALIZED. MURPHY USA WILL COMPLY WITH ANY AND ALL CITY OF GAINESVILLE REGULATIONS REGARDING LIGHTING CONTROLS.
- ALL PROPOSED LUMINAIRES WILL BE HIGH PERFORMANCE LED LIGHTS.
- REGULATIONS REGARDING LIGHTING CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION THROUGHOUT THE NIGHTTIME HOURS OF OPERATION AND/OR USE BY THE PUBLIC OF A BUSINESS OR FACILITY. HOWEVER, LIGHTING SHALL BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATION AND/OR USE BY THE PUBLIC. AFTER-HOURS SECURITY LIGHTING MAY BE PERMITTED WHEN SUCH LIGHTING DOES NOT EXCEED 50 PERCENT OF THE NUMBER OF LUMINAIRES OR THE ILLUMINATION LEVEL REQUIRED OR PERMITTED DURING REGULAR NIGHTTIME OPERATION HOURS.



TYPICAL LIGHT POLE BASE DETAIL  
SCALE: NOT TO SCALE

### NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS BUT NOT LIMITED TO: VARIANCE IN LAMP LUMEN OUTPUT, LAMP TILT FACTOR, BALLAST WATTAGE OUTPUT, LINE VOLTAGE AT BALLAST, REFLECTOR SPECULARITY, LAMP LUMEN DEGRADATION, AND LUMINAIRE DIRT DEGRADATION.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

| DATE     | 3/29/2016               | 4/7/2016                         | 4/12/2016                    |
|----------|-------------------------|----------------------------------|------------------------------|
| BY       | JMG                     | JMG                              | JMG                          |
| REVISION | 1                       | 2                                | 2                            |
| NO.      | 1                       | 2                                | 2                            |
| REVISION | REVISE PER TRC COMMENTS | REVISE PER DISCUSSIONS WITH CITY | REVISE PER GREENBERG CHANGES |

**Galloway**  
Planning, Architecture, Engineering  
6162 S. Willow Drive, Suite 200  
Gainesville, TX 77307  
502.770.8844  
www.gallowayusa.com



MURPHY USA

GAINESVILLE, FLORIDA

|              |                                       |
|--------------|---------------------------------------|
| Project No:  | MOC9421                               |
| Sheet Scale: | 1"=30'-0"                             |
| Designed By: | JMG                                   |
| Drawn By:    | JMG                                   |
| Date:        | February, 2016                        |
| Disc. File:  | Photometric Site Plan-Gainesville, FL |

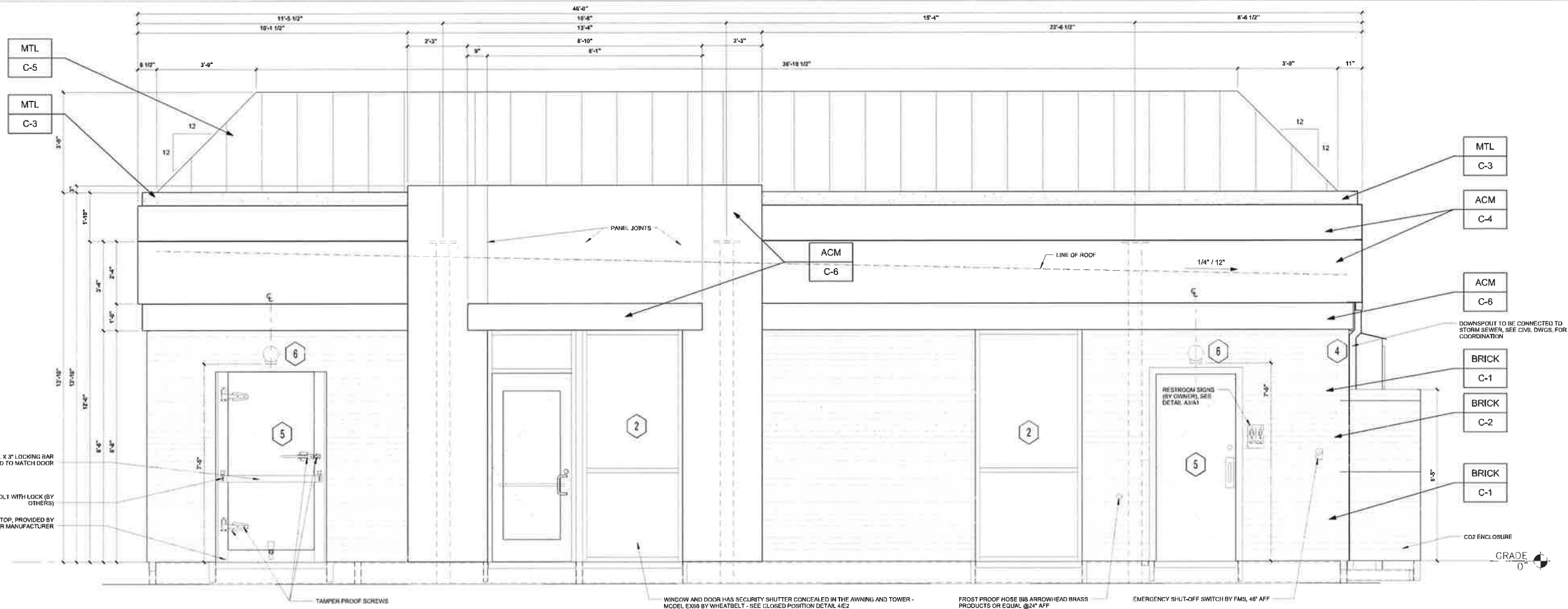
PHOTOMETRIC  
SITE PLAN

L-1.0

REFER TO SHEET L-1.1 FOR MANUFACTURER CUT SHEETS







1 FRONT ELEVATION  
1/2" = 1'-0"

KEYED NOTES:

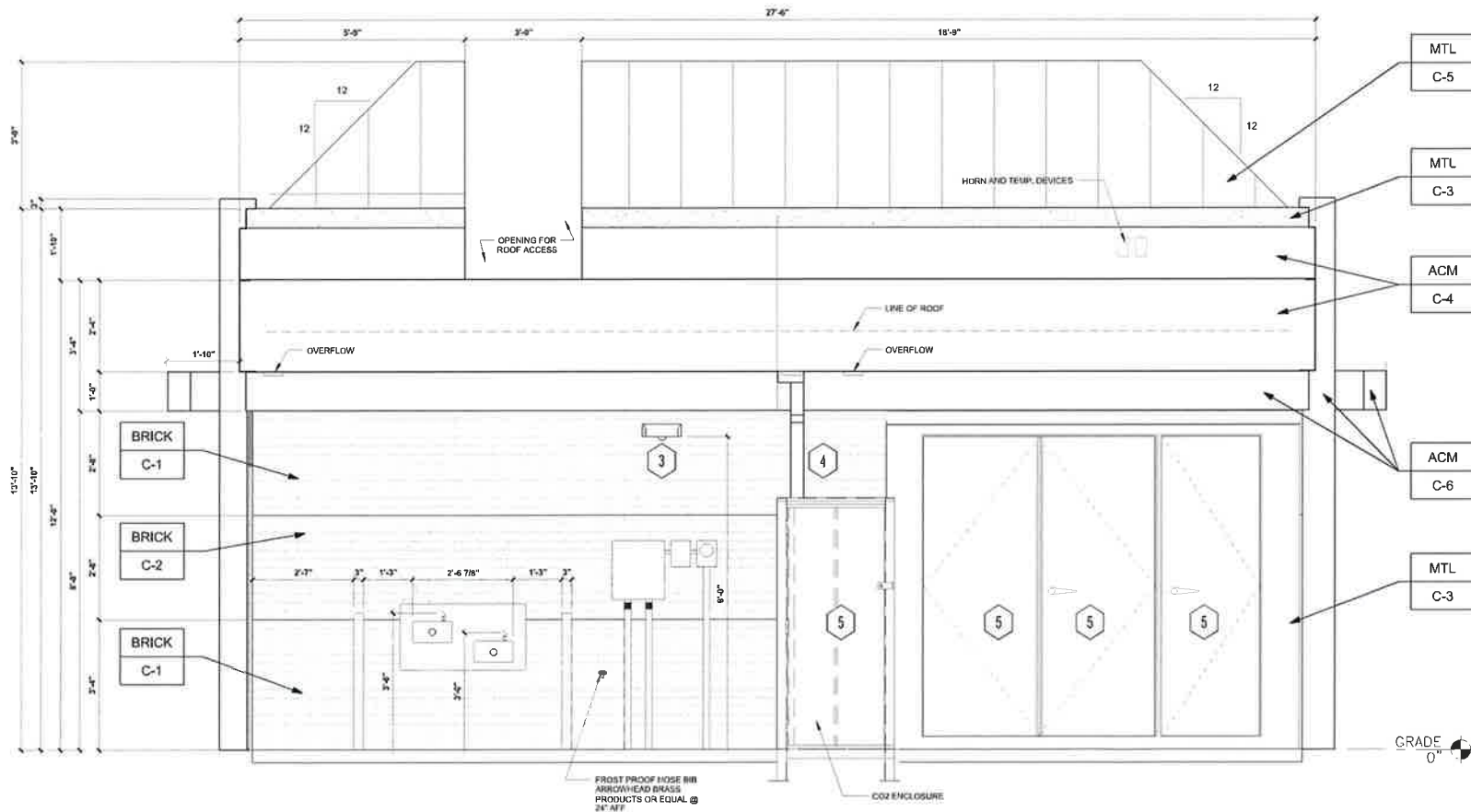
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|---|---|--------------------|
| 1 | SIGNAGE (IF REQUIRED)                         | BY SIGN CONTRACTOR |
| 2 | CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM     | C-7                |
| 3 | EXTERIOR LIGHTING. REFER TO LIGHTING PLAN     | SHEET EL2          |
| 4 | 3" x 2" PAINTED METAL CORRUGATED DOWNSPOUTS   | C-3                |
| 5 | DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED | C-3                |
| 6 | LITHONIA REMOTE EMERGENCY HEAD RELAY          | SHEET EL2          |

EXTERIOR FINISHES:

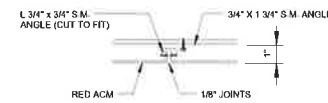
|       |   |        |
|-------|---|--------|
| ACM   | ACM (3MM THICKNESS)                         | BY FMS |
| BRICK | THIN BRICK                                  | BY FMS |
| MTL   | 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) | BY FMS |

EXTERIOR PAINT/COLORS:

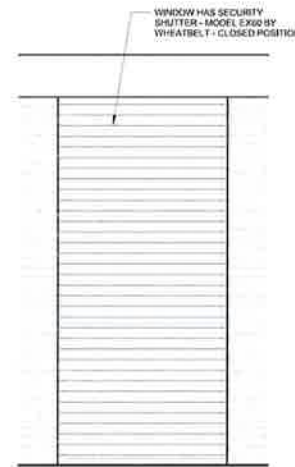
|     |  |        |
|-----|--|--------|
| C-1 | THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENIGROTT (WIRE CUT FINISH)       | BY FMS |
| C-2 | THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) | BY FMS |
| C-3 | DORMER BROWN SW 7521   | BY FMS |
| C-4 | REYNOLDS #4 NATURAL BRUSHED ALUMINUM   | BY FMS |
| C-5 | STANDING SEAM METAL ROOF "LEAD-COTE" BY BURBRIDGE                              | BY FMS |
| C-6 | PROGRAM RED BY ALCOA   | BY FMS |
| C-7 | CLEAR ANODIZED ALUMINUM STOREFRONT   | BY FMS |



2 RIGHT ELEVATION  
1/2" = 1'-0"



3 ACM JOINT DETAIL  
N.T.S.



4 SECURITY SHUTTER @ WINDOW  
1/2" = 1'-0"

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

FRANK GRECO

PROJECT MANAGER

CHUNG CHERN

QUALITY CONTROL

MURPHY

DRAWN BY

KLITON SHERU

PROJECT NAME

MURPHY  
USA

MURPHY OIL  
CONVENIENCE  
STORE

1800 NE 12TH AVE

GAINESVILLE FL 32641

1801 Rockdale Industrial Blvd.  
Gainesville, Georgia 30612  
Voice: (800) 365-6365  
Fax: (770) 463-6037

FMS JOB NUMBER  
G16MU00032

FMS MODEL NUMBER  
XXXXXX

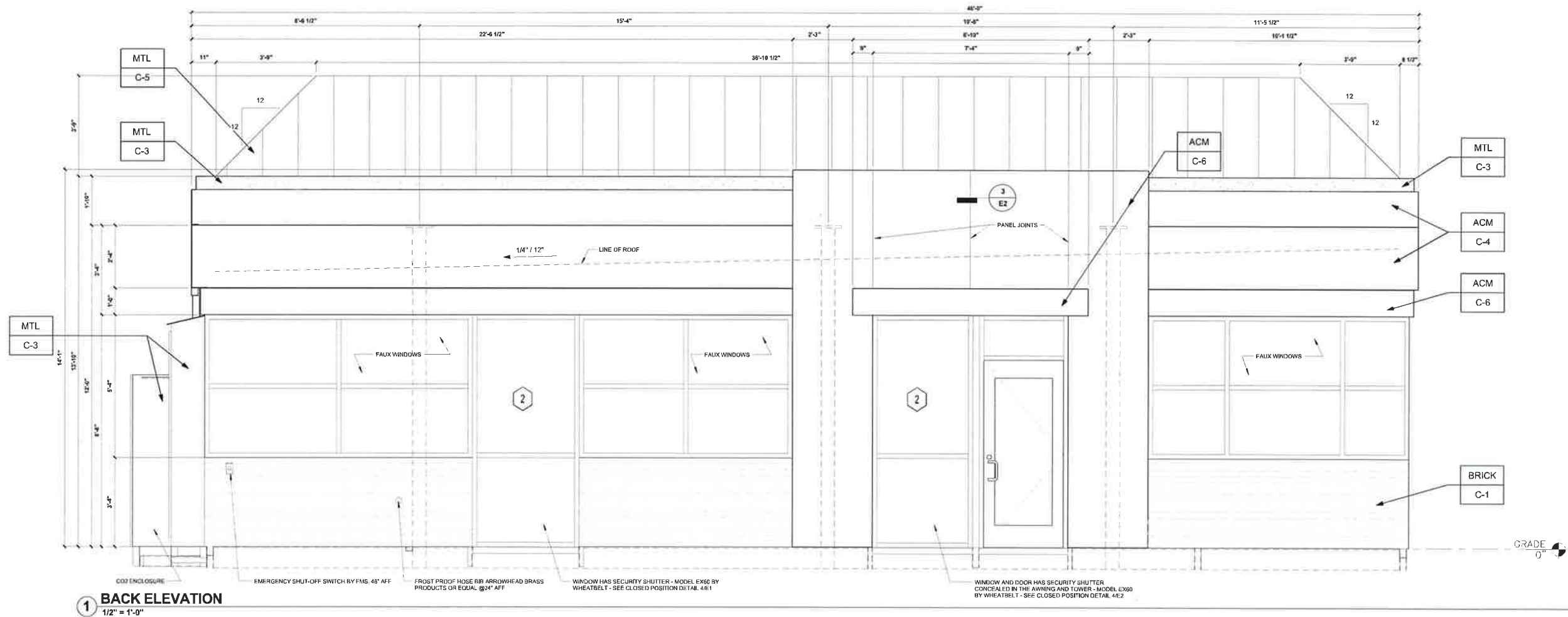
PROJECT NUMBER  
20150870.0

SHEET TITLE

EXTERIOR  
ELEVATIONS

SHEET NUMBER

E1



**1 BACK ELEVATION**  
1/2" = 1'-0"

**GLASS AREA CALCULATIONS**

| ELEVATION WITH STREET FRONTAGE | AREA OF WALL | AREA OF GLASS | PERCENTAGE OF GLASS |
|--------------------------------|--------------|---------------|---------------------|
| NORTH/BACK ELEVATION           | 544 SQ. FT.  | 208 SQ. FT.   | 38%                 |
| WEST/LEFT ELEVATION            | 323 SQ. FT.  | 143 SQ. FT.   | 44%                 |

**6 GLASS AREA CALCULATIONS**  
N.T.S.

**KEYED NOTES:**

- SIGNAGE (IF REQUIRED) BY SIGN CONTRACTOR
- CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM C-7
- EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 3" x 2" PAINTED METAL CORRUGATED DOWNSPOUTS C-3
- DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- LITHONIA REMOTE EMERGENCY HEAD #ELA SHEET EL2

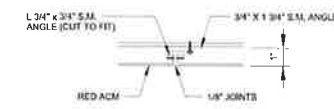
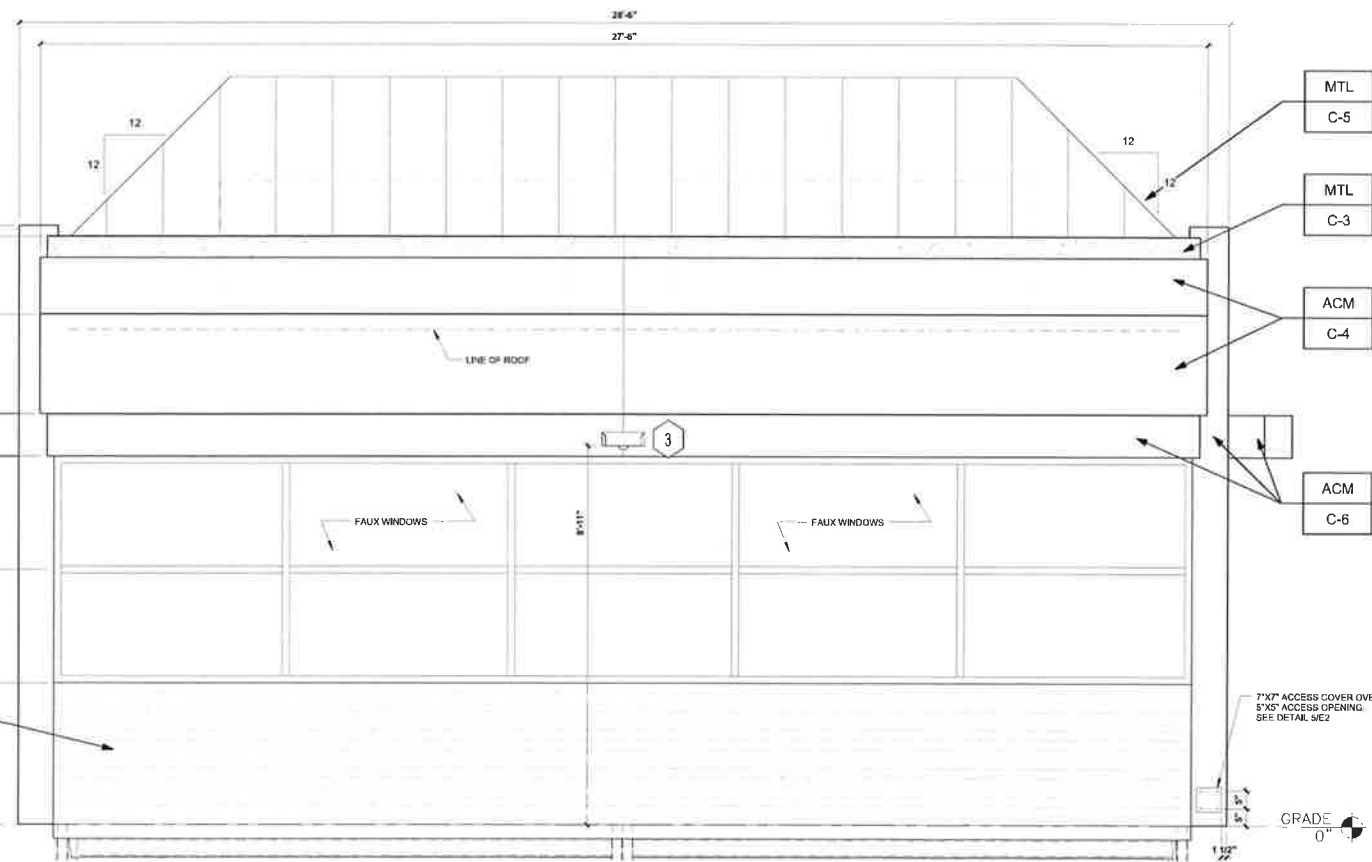
**EXTERIOR FINISHES:**

|       |   |        |
|-------|---|--------|
| ACM   | ACM (3MM THICKNESS)                         | BY FMS |
| BRICK | THIN BRICK                                  | BY FMS |
| MTL   | 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) | BY FMS |

**EXTERIOR PAINT/COLORS:**

|     |  |        |
|-----|--|--------|
| C-1 | THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDOCOTT (WIRE CUT FINISH)       | BY FMS |
| C-2 | THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) | BY FMS |
| C-3 | DORMER BROWN SW #7521  | BY FMS |
| C-4 | REYNOLDS #4 NATURAL BRUSHED ALUMINUM   | BY FMS |
| C-5 | STANDING SEAM METAL ROOF "LEAD-COTE" BY BERRIDGE                               | BY FMS |
| C-6 | PROGRAM RED BY ALCOA   | BY FMS |
| C-7 | CLEAR ANODIZED ALUMINUM STOREFRONT   | BY FMS |

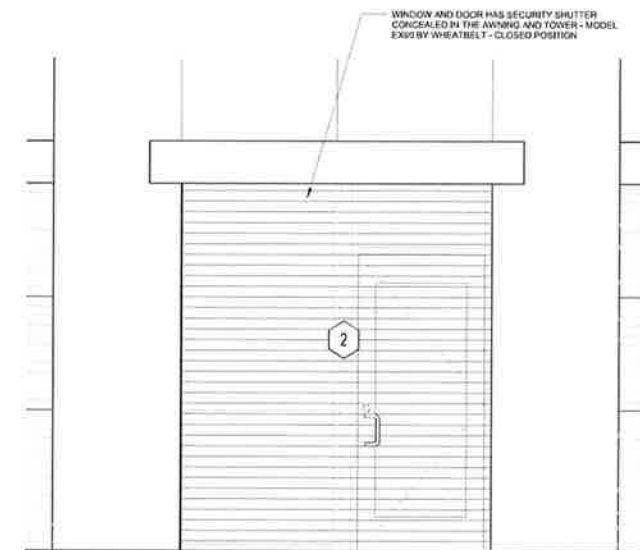
**2 LEFT ELEVATION**  
1/2" = 1'-0"



**3 ACM JOINT DETAIL**  
N.T.S.



**5 ACCESS PANEL**  
N.T.S.



**4 SECURITY SHUTTER @ ENTRY DOOR**  
1/2" = 1'-0"

**PROFESSIONAL SEAL**



**PROFESSIONAL IN CHARGE**  
FRANK GRECO

**PROJECT MANAGER**  
CHRIS CERBO

**QUALITY CONTROL**  
Nagda

**DRAWN BY**  
KLETON SHERID

**PROJECT NAME**

**MURPHY USA**

**MURPHY OIL  
CONVENIENCE  
STORE**

1800 NE 12TH AVE

GAINESVILLE FL 32641

**FREY MOSS  
STRUCTURES**

1801 Rockdale Industrial Blvd.  
Cary, Georgia 30512  
Voice: (800) 366-6305  
Fax: (770) 483-6037

FMS JOB NUMBER  
G16MU00032

FMS MODEL NUMBER  
XXXXXX

**PROJECT NUMBER**  
20150870.0

**SHEET TITLE**

**EXTERIOR  
ELEVATIONS**

**SHEET NUMBER**

**E2**

## **Attachment “C”**


### **Application and Neighborhood Workshop Information**



**APPLICATION FOR SPECIAL USE PERMIT**  
**Planning & Development Services**

| OFFICE USE ONLY   |                   |
|---|-------------------|
| Petition No. _____  | Fee: \$ _____     |
| 1 <sup>st</sup> Step Mtg Date: _____                              | EZ Fee: \$ _____  |
| Tax Map No. _____   | Receipt No. _____ |
| <b>Account No. 001-660-6680-3401    </b>                          |                   |
| <b>Account No. 001-660-6680-1124 (Enterprise Zone)    </b>        |                   |
| <b>Account No. 001-660-6680-1125 (Enterprise Zone Credit)    </b> |                   |

*Application for a special use permit will be accepted for review only after a pre-application conference (First Step Meeting). Application to be completed by applicant. Application must include a preliminary development plan. Incomplete applications will be returned to the applicant.*

| Name of Owner(s) (please print)   | Applicant(s)/Agent(s), if different       |
|---|---|
| Name: Wal-Mart Stores East LP   | Name: John Vecchio, P.E., GreenbergFarrow |
| Address: 1301 SE 10th St.   | Address: 1430 W. Peachtree Suite, NW      |
| Bentonville, AR 72716   | Suite 200                                 |
|   | Atlanta, GA 30309                         |
| Phone: 479-277-1348 Fax: 479-277-1957   | Phone: 404-205-8426 Fax:                  |
| Owner's Signature:  | Email: jvecchio@greenbergfarrow.com       |
| (If additional owners, please include on back)  |   |

| PROPERTY INFORMATION: (Information below applies to property for which a Special Use Permit is being requested.) |
|--|
| Street address: Across the street from 1800 NE 12th Ave, Gainesville   |
| Tax parcel no(s): 10859-010-003  |
| Legal description (use separate sheet, if needed):   |
|  |
|  |
|  |
|  |
|  |

I hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area for which the permit is being requested

Signature of applicant:  Date: 2/25/16

**Certified Cashier's Receipt:**



A Special Use Permit is requested pursuant to Section \_\_\_\_\_, Subsection \_\_\_\_\_, Paragraph \_\_\_\_\_, of the Land Development Code, City of Gainesville, to allow the following use:

A preliminary site plan is/is not required and is/is not attached.

Existing zoning classification: MU-2 Existing land use designation: MUM

Existing use of property: Vacant and undeveloped

| <b>SURROUNDING PROPERTY INFORMATION:</b> (List all uses surrounding the subject property under "Existing use." Staff is available to supply zoning and land use information.) |               |                 |  |
|---|---------------|-----------------|--|
|   | <b>Zoning</b> | <b>Land Use</b> | <b>Existing Use</b>                                  |
| North   | MU-2          | MUM             | Walmart  |
| South   | RC            | RL              | Single family residential homes                      |
| East  | ED            | E               | Stormwater pond, church, Duval Elementary School     |
| West  | MU-2          | MUM             | One (1) single-family home on a large acreage parcel |

**TO THE APPLICANT:** (Please sign the bottom of this application after you have read the following.)

- The City of Gainesville will notify owners of property within 400 feet of the subject property of this application
- No application for a Special Use Permit shall be entertained within 2 years after the denial or withdrawal of a request for the same use for the same property.
- The City Plan Board's decision concerning a Special Use Permit may be appealed by the applicant to a hearing officer within 15 days of the date notification of the decision is sent by certified mail to the applicant

Signature: [Signature] Date: 2/25/15

| Name of Owner (please print)                          |                               |
|---|-------------------------------|
| Name  | Wal-mart Stores East LP       |
| Address   | 1301 SE 10th St               |
|   | Bentonville, AR 72716         |
| Phone   | 479-277-1348 fax 479-277-1977 |
| Owner's Signature                                     | <u>[Signature]</u>            |
| (If additional owners, please list on separate sheet) |                               |

| Name of Owner (please print) |     |
|------------------------------|-----|
| Name                         |     |
| Address                      |     |
|                              |     |
| Phone                        | Fax |
| Owner's Signature            |     |

Reference Chapter 30, Land Development Code  
City Code of Ordinances, Article VII, Division 5





**DEVELOPMENT PLAN REVIEW APPLICATION  
PLANNING & DEVELOPMENT SERVICES**

**OFFICE USE ONLY**

Petition No. \_\_\_\_\_ Fee: \$ \_\_\_\_\_  
1<sup>st</sup> Step Mtg Date: \_\_\_\_\_ EZ Fee: \$ \_\_\_\_\_

Account No. 001-660-6680-3401 | |  
Account No. 001-660-6680-1124 (Enterprise Zone) | |  
Account No. 001-660-6680-1125 (Enterprise Zone Credit) | |

**LEVEL OF REVIEW (check one)**

| MINOR                    | INTERMEDIATE             | MAJOR                    | CONCEPT                  | MASTER                   |
|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

**Project Name:** Murphy USA

**Property Address:** 1800 NE 12th Ave., Gainesville, (across the street)

**Tax Parcel #(s):** 10859-010-003

**Site Area (acres):** 4/- 2.0 acres

**CHECK ALL PROPOSED USES**

| <input type="checkbox"/> Residential | Density         | <input type="checkbox"/> Non-residential                                       |
|--------------------------------------|-----------------|--|
| Multi-family                         | Units/acre:     | <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office |
| Total units:                         | Total bedrooms: | <input type="checkbox"/> Industrial <input type="checkbox"/> Other             |
|                                      |                 | Gross floor area: <u>1,200</u> SF  |

| Owner(s) of Record (please print)          |   |
|--|---|
| Name:                                      | Wal-Mart Stores East LP                   |
| Address:                                   | 1301 SE 10th ST.<br>Bentonville, AR 72716 |
| Phone:                                     | Fax:                                      |
| (If additional owners, attach information) |   |

| Applicant(s)/Agent(s), if different                                 |
|---|
| Name: John Vecchio, P.E., GreenbergFarrow                           |
| Address: 1430 W. Peachtree St. NW<br>Suite 200<br>Atlanta, GA 30309 |
| Phone: 404-205-8426 Fax:  |
| (If additional agents, attach information)                          |

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.

Signature of owner: Nathan Hamblen \*

Date: 2/24/16

I certify that all of the information contained in this application form is accurate and up-to-date.

Signature of Applicant: [Signature]

Date: 2/24/16

STATE OF ARKANSAS COUNTY OF Benton  
Sworn to and subscribed before me this 24 day of February 2016

Signature - Notary Public: Deann Michelle Driggs

Personally Known ☒ OR Produced Identification

\* Nathan Hamblen  
SR Realty Manager  
for Wal-Mart Stores  
East, LP

**Certified Cashier's Receipt:**


Current Planning Division  
Planning Counter—158

Phone: 352-334-5023

Thomas Center B  
306 NE 6<sup>th</sup> Avenue

## PROPERTY OWNER AFFIDAVIT

|   |  |  |               |
|---|--|--|---------------|
| Owner Name: Wal-Mart Stores East LP   |  |  |               |
| Address: 1301 SE 10th St.<br>Bentonville, AR 72716  |  | Phone: 479-277-1348<br>nathan.hamblen@wal-mart.com         |               |
| Agent Name: John Vecchio, PE, GreenbergFarrow   |  |  |               |
| Address: 1430 West Peachtree St., NW<br>Atlanta, GA 30309   |  | Phone: 404-205-8426<br>Email: jvecchio@greenbergfarrow.com |               |
| Parcel No.: 10859 010 003   |  |  |               |
| Acreage: 3.81 ac.   |  | S: 34  | T: 9<br>R: 20 |
| Requested Action: Authorization for Agent to act on behalf of Wal-Mart Stores East LP for all activity associated with Murphy Oil USA, Inc., including Development Plans, SUP, and Subdivision Plat                         |  |  |               |
| <b>I hereby certify that:</b> I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application. |  |  |               |
| Property owner signature: <u>Nathan Hamblen</u>   |  |  |               |
| Printed name: <u>Nathan Hamblen, SR. Realty Manager, Wal-Mart Stores East, LP</u>   |  |  |               |
| Date: <u>2/25/2016</u>  |  |  |               |
| The foregoing affidavit is acknowledged before me this <u>25</u> day of <u>February</u> , 2016, by <u>Nathan Hamblen</u> , who is/are personally known to me, or who has/have produced _____ as identification.             |  |  |               |
| NOTARY SEAL <u>Gina Goodman</u>   |  |  |               |
| Signature of Notary Public, State of <u>AR</u>  |  |  |               |



1430 West Peachtree Street, NW  
Suite 200  
Atlanta, GA 30309  
t: 404 601 4000

ATLANTA  
LOS ANGELES  
NEW JERSEY  
CHICAGO  
NEW YORK  
DALLAS  
BOSTON  
COLUMBUS  
WISCONSIN  
BENTONVILLE  
PHILADELPHIA  
FRESNO  
MEMPHIS  
SHANGHAI  
MEXICO CITY



February 25, 2016

Mr. Ralph Hilliard  
Planning Manager  
Planning and Development Services Department  
City of Gainesville, FL  
200 East University Avenue  
Gainesville, FL 32601

Re: Murphy USA Letter of Application

Dear Mr. Hilliard:

Murphy Oil USA, Inc. proposes to construct a 1,200 sq. ft. convenience store with six (6) fueling pumps. The store will have a coffee bar, soda fountains, hot dogs, pizza, and pre-packaged food items available for purchase. An outdoor vacuum, air hose, ice machine and propane tanks will be available for customer convenience. The site is located on an approximately 2-acre outparcel across from the existing Walmart store at 1800 NE 12<sup>th</sup> Avenue.

The site is currently vacant and is bounded by NE 12<sup>th</sup> Avenue to the north, a detention pond and church to the east, NE 10<sup>th</sup> Avenue to the south, and a large tract of land to the west occupied by a single-family residence.

The property is zoned Mixed Use Medium Intensity District (MU-2), and the *"district is intended to encourage a reduction in the number and length of vehicular trips by providing for basic needs and employment opportunities within close proximity to residential areas,"* per the City of Gainesville's Land Development Code. The Murphy USA store meets the intent of the district by conveniently providing basic needs by selling fuel for nearby residents and customers of Walmart, as well as providing employment opportunities for residents in the neighborhood. A gas station at this location is complementary to the existing Walmart.

#### Special Use Permit

The City of Gainesville's Land Development Code only allows three (3) fuel pumps at service stations. Because Murphy Oil proposes to construct six (6) fuel pumps, a Special Use Permit is required. Murphy satisfies the City of Gainesville's requirements for a Special Use Permit in the following ways:

1. At the time of this project's review by the Development Review Board and City Plan Board, the project will have been reviewed by the City's Technical Review Committee and Gainesville Regional Utilities,

and will comply with the City's Land Development Code and other requirements specific to the proposed use.

2. The proposed project is compatible and harmonious with the existing Walmart and will provide a much needed service for customers and residents of the neighborhood.
3. All necessary public utilities are at the site and have adequate capacity to serve the proposed Murphy USA fueling station and convenience store.
4. Waldo Avenue and NE 13<sup>th</sup> Avenue have adequate capacity to serve the proposed Murphy development and any traffic generated by the proposed development. The project will have little to no impact on public streets or traffic in the area. When Walmart was constructed, a gas station was included in the overall traffic study for the Walmart, and the study concluded that adequate street capacity for a gas station was available.
5. Extensive landscape screening is proposed around the development, as shown on the landscape plan, to screen the project from the adjacent properties. Site lighting will be shielded to prevent glare onto neighboring residential properties.
6. The use is consistent with the City's comprehensive plan and is within the Mixed Use Medium district.
  - a. As part of the overall neighborhood development, Murphy USA provides the neighborhood with gas services and complements the existing Walmart. It improves the condition of the neighborhood (Objective 2.1) Additionally, the building faces the street, and is located close to the street for pedestrians.
  - b. Regarding transportation, the project has a minimal traffic impact on the street system and the traffic generated by the development was included in the overall Walmart project. Pedestrians and bicyclists will be accommodated with sidewalks along NE 12<sup>th</sup> Avenue and with onsite bicycle parking is provided.
7. The project satisfies the City's minimum concurrency requirements. A gas station was included in the traffic study that was done for Walmart.

#### Transportation Mobility Program Area

The site is located in Zone A of the Transportation Mobility Program Area (TMPA) and satisfies the requirements of gasoline service stations (policy 10.4.9) as follows.

1. The site is designed to enhance pedestrian and bicycle access by locating the building near NE 12<sup>th</sup> Avenue and utilizing the existing sidewalks along NE 12<sup>th</sup> Avenue.
2. Only two (2) driveways are proposed for the project to provide adequate truck ingress, egress and circulation. Both curb cuts are existing and were part of the Wal-Mart overall development.
3. Twelve (12) fueling positions are proposed, six (6) more than what is allowed by code. The additional fueling positions are consistent with what is allowed in the TMPA through the Special Use Permit process and by satisfying all of the following conditions:
  - a. The site can safely accommodate all of the proposed fueling positions and satisfies all required landscaping, buffering and other requirements of the Land Development code.
  - b. Site access and safety are not compromised by the additional fueling positions; Murphy USA will have little to no impact on public streets and traffic, and the site has been carefully designed to provide safe and efficient traffic circulation.

- c. Pedestrian and bicycle safety are maintained by connecting the store to the existing sidewalk on NE 12<sup>th</sup> Avenue. The two proposed driveways will provide for safe and efficient ingress and egress for cars, trucks and bicyclists. Bicycle parking is provided near the store.
- d. The building architecture is "upscale" with windows and neutral brick colors that are compatible with Walmart's colors. A mansard roof is proposed over the convenience store and gas canopy. The dumpster enclosure will be enclosed with the same colored brick as the building.
- e. Regarding the policy section that *"retail convenience good sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site are encouraged, and that the retail convenience goods sales or restaurant building and development shall meet all of the following requirements"*, please be advised of the following:
  - i. The building has been placed close to the sidewalk for safe and convenient pedestrian and bicycle access.
  - ii. Windows have been added to the building; please refer to the building rendering submitted with this application.
  - iii. The front entrance to the store faces the NE 12<sup>th</sup> Avenue.
  - iv. Parking and fueling operations are located behind the building.
  - v. The building massing, height and elevations are appropriately scaled for the site, surrounding uses.

#### Concurrency

Murphy USA meets concurrency requirements. A gas station was proposed as part of the overall Walmart development

#### Neighborhood Workshop

A neighborhood workshop was conducted on Tuesday, January 26<sup>th</sup> at 6:30 p.m. at the Clarence R. Kelly Community Center in accordance with the City's requirements. A summary of the meeting and a copy of the sign-in sheet have been provided separately with this submittal.

In summary, Murphy USA is a complementary use to the existing Walmart store, and provides a much needed service to shoppers and residents in the community.

If you have any questions or need anything else, I may be reached at [jvecchio@greenbergfarrow.com](mailto:jvecchio@greenbergfarrow.com) or (404) 205-8426.

Sincerely,



John C. Vecchio, P.E.  
Senior Project Manager



1/28/16

The following is a summary of the Neighborhood Meeting held Tuesday evening, January 26, 2016 for the Murphy USA, Gainesville, FL project:

Date and Time: January 26, 2016, 6pm

Location: Clarence R. Kelly Community Center, 1701 NE 8<sup>th</sup> Avenue, Gainesville, FL 32601

Materials Presented: Site Plan-C-1 (Rev-0), Composite Site Plan- C-01 (Rev-0), Landscape Plan L1.0, Preliminary Survey S-3, Rendering (December 2, 2015)

GF Representatives: John Vecchio and Wayne Gibson

There were 5 individuals in attendance, 3 from the adjacent neighborhood group (Front Porch FL)

The following are their questions, comments and concerns:

1. Concerned about the trash. This is a vacant lot and is used to discard trash. (explained when site is fully developed the trash problem will go away, Murphy has a dumpster for trash removal)
2. Concerned about people using the site as a short cut to Wal-Mart. Again this lot is vacant and the existing fence along the rear property line is knocked down. (explained when the site is fully developed there will be perimeter landscaping to discourage the cut through. There are also existing sidewalks along the perimeter streets that connect to Wal-Mart)
3. Asked question about UST installation and any concerns with the environment. (explained the UST's require a State Permit and there are no environmental threats)
4. Asked question regarding stormwater control. (We explained the site was part of the overall Wal-Mart Development Plan approval and the Murphy site stormwater is part of the existing ERP (Environmental Resource Permit) for the Wal-Mart development site.
5. Asked question regarding increased traffic in the area due to the gas station use. (explained the site was included in the original Traffic Study for the Wal-Mart Development Plan and all of the traffic improvements have been installed including turning lanes and curb cuts to the proposed Murphy site)
6. Asked questions regarding Landscaping and Lighting. (showed them the Landscaping Plan and explained the proposed lighting for the site. Lighting to meet City requirements and will be shielded toward the residential area). Neighbors commented that the vacant lot is dark and dangerous and any lighting would be an **improvement**.

The Neighborhood group went on record that they **support the plan**. They intend to go back to the remainder of their group to increase support for the project. Front Porch FL intends to write a letter to City Council indicating support for the project.

John C Vecchio, PE  
Senior Project Manager  
1430 West Peachtree St. NW, Suite 200, Atlanta, GA 30309  
D 404.205.8426 C 404.834.5546 T 404.601.4000 x7213

**Greenbergfarrow**

🐦 f in 📱

1/24/16

MURRAY USA, CONESVILLE, FL  
1/26/16

| NAME                  | COMPANY / DEPARTMENT | PHONE NUMBER | EMAIL ADDRESS          |
|-----------------------|----------------------|--------------|------------------------|
| Glenda J Smith        |                      | 352 283 1074 | avckang53@gmail.com    |
| Janita Miles Hamilton | Front Porch FL       | 352 538 6502 | j.milsh@cox.net        |
| Ernie Cook            | " "                  | 352-442-6338 | Ernie.Cook@yahoo.com   |
| Lois Y. Harrison      | Front Porch FL       | 352-372-7225 | Harrison 71414@cox.net |
| William W. Myers Sr   | " "                  | 812-76805    |                        |

1536 N.E. 9th Ave.

~~Acinosa~~ Fl 32641



**APPLICATION FOR CONCURRENCY EXEMPTION  
DEPARTMENT OF PLANNING & DEVELOPMENT SERVICES**

Petition No. \_\_\_\_\_ (Will be filled in by staff.)

**OFFICE USE ONLY**

☐ Approved ☐ Denied Approval expiration date \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Department of Planning & Development Services

**NOTICE:** The applicant is responsible for supplying all information necessary to determine exemption from the City's concurrency requirements. Any evidence supporting a claim of concurrency exemption must be attached to this form. Failure to answer all questions will result in the application being returned to the applicant. Additional information may be requested in order to process this application. Notification of the results of this application will be made in writing to the address shown on this form.

**Owner Name(s) (please print)**

Name(s): Wal-Mart Stores East LP

Mailing Address: 1302 SE 20th St  
Kentonville, AR 32716

Phone: 478-277-1346 Fax:

(If additional owners, please include on separate sheet)

**Applicant(s) Name (please print)**

Name: John Vecchio, PE, GreenbergFarrow

Mailing Address: 1430 W Peachtree St NW  
Suite 200  
Atlanta, GA 30309

Phone: 404-265-8426 Fax:

**PROJECT INFORMATION**

Project name: Murphy 9376

Project location: Access from Walmart (1800 NE 12th St) on the south side of NE 20th St

Tax parcel No(s): 13659-010-000

Type of development order to which exemption will apply: MINOR SUBDIVISION LOT

over please



Application for Concurrency Exemption

Please check the box next to the reason(s) why you claim exemption to the City's Concurrency Requirements

1. ☐ A valid and unexpired Vested Rights Certificate exists for this project. (Please attach a copy of the Vested Rights Certificate.)
2. ☐ Lot split
3. ☐ Project alteration not creating any additional impacts on adopted LOS standards
4. ☒ Construction of accessory buildings or structures which will not create any additional impacts on adopted LOS standards.
5. ☐ Replacement or rebuilding of a dwelling unit when no additional dwelling units are being created.
6. ☐ Replacement or rebuilding of a non-residential structure when there is no change of use and no net change in structure dimensions.
7. ☐ The replacement or rebuilding of a damaged non-residential structure where there is no net change in any facility capacity demand.
8. ☐ A building permit for a single-family residential unit or duplex to be constructed on an existing lot of record as of the effective date of adoption of the Land Development Code (June 10, 1992).
9. ☐ Redevelopment where there is no net change in any facility capacity demand.



I certify that I am the owner of the subject property and authorize the agent listed above to initiate this application for concurrency exemption. (Signature by the owner on this application or in a letter is necessary.) I further certify that all of the information contained in this application is accurate and up-to-date.

Owner's signature Nathan Hamblen Date 2/25/16

**AGENT**  
Applicant's signature [Signature] Date 2/25/16  
(if not the same as owner)



**APPLICATION FOR CONCURRENCY CERTIFICATION & TMPA REVIEW**  
**DEPARTMENT OF PLANNING & DEVELOPMENT SERVICES**

**LONG FORM**  
**(352) 334-5022**

**OFFICE USE ONLY**

Petition No. \_\_\_\_\_ TMPA Zone [ ] A [ ] B [ ] C [ ] D [ ] E [ ] M

**TYPE OF CERTIFICATION REQUESTED:**

[ ] Concurrency Determination (non-binding)

[ ] Certificate of Preliminary Concurrency

[ ] Certificate of Final Concurrency

[ ] Certificate of Conditional Concurrency Reservation

**Owner Name(s) (please print)**

Name(s): Wal-Mart Stores East LP

1301 SE 10th St.

Bentonville, AR 72716

E-Mail Address:

Phone: 479-277-1348 Fax:

(If additional owners, please include on separate sheet)

**Agent(s) Name (please print)**

Name: John Vecchio, P.E., GreenbergFarrow

Mailing Address: 1430 W. Peachtree St., NW

Suite 200

Atlanta, GA 30309

E-Mail Address: jvecchio@greenbergfarrow.com

Phone: 404-205-8426 Fax:

(Attach notarized authorization for agent to act on owner's behalf.)

**PROJECT INFORMATION**

Project Name: Murphy USA

Phase:

Location of Project (attach an 8 1/2" x 11" map showing location) **ATTACHED**

1. Street address: Across the street from the Walmart at 1800 NE 12th Ave.

2. Legal description (may be attached): **ATTACHED**

3. Tax parcel number(s): 10859-010-003

4. Map number(s):

Existing Land Use Category: MUM

Existing Zoning: MU-2

|  |
|--|
| Is there a proposal to change the zoning and/or land use associated with this project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If yes, indicate petition number(s) associated with change:  |
|  |

| PHASING   |                   |    |        |
|---|-------------------|----|--------|
| Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |                   |    |        |
| If yes, enumerate each phase, number of units or square footage in each phase and beginning/ completion date.         |                   |    |        |
| Total Project:  | Residential units | SF | SFA MF |
| Non-residential (square footage)  |                   |    |        |
| Mixed-use (describe mix)  |                   |    |        |
| (If this is a single phase project, name it Phase I – Total)  |                   |    |        |

| RESIDENTIAL DATA                     |       |                 |       |                         |                          |
|--------------------------------------|-------|-----------------|-------|-------------------------|--------------------------|
| Type                                 | Phase | Number of units | Acres | Expected beginning date | Expected completion date |
| Single-family, detached              |       |                 |       |                         |                          |
| Single-family, attached              |       |                 |       |                         |                          |
| Multi-family                         |       |                 |       |                         |                          |
| Rooming houses or dormitories (beds) |       |                 |       |                         |                          |
| Other (specify)                      |       |                 |       |                         |                          |

| NON-RESIDENTIAL DATA |       |                |       |                         |                          |
|----------------------|-------|----------------|-------|-------------------------|--------------------------|
| Type(s) specify      | Phase | Square footage | Acres | Expected beginning date | Expected completion date |
| Murphy USA           |       | 1,200 SF       | 2.2   | Jan 2017                | May 2017                 |
|                      |       |                |       |                         |                          |
|                      |       |                |       |                         |                          |
|                      |       |                |       |                         |                          |
|                      |       |                |       |                         |                          |

**STOP HERE AND SIGN CERTIFICATION ON PAGE 3 IF YOU ARE REQUESTING ONLY A CONCURRENCY DETERMINATION**

Required Information for Certificates of Preliminary, Final, and Conditional Concurrency Reservation &TMPA Review (Attach sheets to application.)

1. Attach a sheet with the average daily, and peak hour, peak direction trip generation for the project based on the latest edition of the ITE Trip Generation Manual. **(NOTE: The trip generation information MUST be attached to this application and shown on the development plan.)** In cases where the City and the applicant show differences in projected trips, the applicant's calculations must be signed and sealed by the professional engineer registered in the State of Florida.

Application for Concurrency Certification & TMPA Review

2. Is the proposed project within the Transportation Mobility Program Area (TMPA) (see attached map)? If yes, please be aware that special criteria apply in this area. ☒ Yes ☐ No  
Zone A ☒ Zone B ☐ Zone C ☐ Zone D ☐ Zone E ☐ Zone M ☐
3. Indicate whether the proposed project will be eliminating any existing recreation facilities. If yes, detail the number and type being eliminated. ☐ Yes ☒ No
4. Submit a complete stormwater management plan for water quantity and water quality review by the City's Public Works Department. (Do not submit with this application, submit with the development plan.)
5. Does this application involve demolition or re-use of any structure(s)? ☐ Yes ☒ No

If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_ (unit(s) or square footage)

What is the current use of the structure to be demolished or re-used?

Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  
☐ Yes ☐ No

If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations.)

□ □ □ □ □

Certification

The undersigned has read the above application and is familiar with the information submitted herewith. It is agreed and understood that the undersigned will be held responsible for its accuracy. The undersigned hereby attests to the fact that the parcel number(s) and legal description(s) shown in questions 2 and 3 is/are the true and proper identification of the area for which the concurrency application is being submitted. Signatures of all owners or their agent are required on this form.

NOTE: The undersigned agrees that signing this application grants Planning staff the right to amend, for the sake of consistency, the square footage or number of units shown herein based on changes made to the development plan, subdivision, special use permit, or planned development during the review process.

  
\_\_\_\_\_  
Owner/Agent Signature

2/25/16  
\_\_\_\_\_  
Date

Georgia  
STATE OF FLORIDA  
COUNTY OF Fulton  
Sworn to and subscribed before me this 25th day of February, 2016.

Personally Known ☒ OR Produced Identification \_\_\_\_\_

  
\_\_\_\_\_  
Signature  




**STAFF USE ONLY**

Estimated demand:

Potable water ( \_\_\_\_\_ units x 2.25) x 200 = \_\_\_\_\_ peak gallons per day (resid. only)

Water Supply \_\_\_\_\_ (see GRU)

Wastewater ( \_\_\_\_\_ units x 2.25) x 113 = \_\_\_\_\_ average gallons per day (resid. only)

Solid Waste ( \_\_\_\_\_ units x 2.25) x 3.6 = \_\_\_\_\_ pounds per day (resid. only)

Trip Generation \_\_\_\_\_ ADT; \_\_\_\_\_ added p.m. peak hour, peak direction trips

|            |  |   |
|------------|--|---|
| Stormwater | (See the Public Works<br>Comment Sheet.) | Does the project meet water quality and water<br>quantity LOS Standards, according to the Public<br>Works Department? |
|------------|--|---|

|            |       |  |
|------------|-------|--|
| Recreation | _____ | Does the project degrade the City's adopted<br>LOS Standards for recreation? |
|------------|-------|--|

|              |       |  |
|--------------|-------|--|
| Mass Transit | _____ | Does the project impact any of the City's<br>adopted LOS Standards for mass transit? |
|--------------|-------|--|

Estimated credits for demolition/redevelopment/re-use:

Potable water ( \_\_\_\_\_ units x 2.25) x 200 = \_\_\_\_\_ peak gallons per day (resid. only)

Water Supply \_\_\_\_\_ (see GRU)

Wastewater ( \_\_\_\_\_ units x 2.25) x 113 = \_\_\_\_\_ average gallons per day (resid. only)

Solid Waste ( \_\_\_\_\_ units x 2.25) x 3.6 = \_\_\_\_\_ pounds per day (resid. only)

Trip Generation \_\_\_\_\_ ADT; \_\_\_\_\_ peak p.m. hour, peak direction trips

Note: 2.25 = 2010 Census persons/household in Gainesville, FL



**STAFF USE ONLY**

This development meets all relevant Planning and Development Services Department LOS standards for concurrency and TMPA Review. Please see the Public Works comment sheet for information about Stormwater Management concurrency.

Signed \_\_\_\_\_

Date \_\_\_\_\_

## LOT "3A" LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN THE SOUTHWEST OF SECTION 34, TOWNSHIP 9 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF LOT 3 AS SHOWN ON A PLAT ENTITLED "A MINOR SUBDIVISION IN THE S.W. 1/4 OF SECTION 34, TOWNSHIP 9 SOUTH, RANGE 20 EAST, IN THE CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA" BY J.W. BROWN INC., LAND SURVEYOR, DATED JUNE 24, 1999 AND RECORDED IN P.B. 22, PG. 9, ALACHUA COUNTY, FLORIDA RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A RAILROAD SPIKE FOUND AT THE SOUTHWEST CORNER OF SECTION 34, TOWNSHIP 9 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA; THENCE ALONG THE SOUTH LINE OF SAID SECTION 34 NORTH 89°06'21" EAST, A DISTANCE OF 362.32 FEET TO A POINT; THENCE NORTH 01°03'14" WEST, A DISTANCE OF 773.28 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY OF SEABOARD AIRLINE RAILROAD (ABANDONED); THENCE ALONG SAID RIGHT-OF-WAY NORTH 29°30'05" EAST, A DISTANCE OF 710.95 FEET TO A POINT AT THE SOUTHWESTERLY PROPERTY CORNER OF WAL-MART STORES EAST, LP (PID: 10859-010-003, O.R. 3568, PG. 1244); THENCE LEAVING SAID RIGHT-OF-WAY NORTH 89°59'33" EAST, A DISTANCE OF 212.07 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF NE 12TH AVENUE (PUBLIC RIGHT-OF-WAY VARIES); THENCE ALONG SAID RIGHT-OF-WAY SOUTH 60°29'55" EAST, A DISTANCE OF 41.81 FEET TO A POINT; THENCE CONTINUE ALONG SAID RIGHT-OF-WAY WITH A CURVE TO THE RIGHT, HAVING A RADIUS OF 316.00 FEET, AN ARC LENGTH OF 44.56 FEET, A CHORD WHICH BEARS SOUTH 56°27'31" EAST, A DISTANCE OF 44.53 FEET TO A POINT; THENCE SOUTH 36°41'29" EAST, A DISTANCE OF 52.24 FEET TO A POINT; THENCE SOUTH 40°18'32" EAST, A DISTANCE OF 28.31 FEET TO A POINT; THENCE SOUTH 54°40'05" WEST, A DISTANCE OF 16.75 FEET TO A POINT; THENCE SOUTH 35°19'55" EAST, A DISTANCE OF 42.00 FEET TO A POINT; THENCE NORTH 54°40'05" EAST, A DISTANCE OF 18.00 FEET TO A POINT; THENCE SOUTH 35°19'55" EAST, A DISTANCE OF 34.66 FEET TO A POINT; THENCE SOUTH 69°25'24" EAST, A DISTANCE OF 16.06 FEET TO A POINT; THENCE SOUTH 35°19'55" EAST, A DISTANCE OF 79.37 FEET TO A CHISELED "X" SET AT THE NORTHEAST PROPERTY CORNER OF ROY O. CAMP REVOCABLE LIVING TRUST (PID: 10859-010-005, O.R. 3734, PG. 725); THENCE CONTINUE ALONG SAID SOUTHERLY RIGHT-OF-WAY OF NE 12TH AVENUE SOUTH 35°19'55" EAST, A DISTANCE OF 94.46 FEET TO A 1/2" REBAR SET; THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 262.00 FEET, AN ARC LENGTH OF 37.18 FEET, A CHORD WHICH BEARS SOUTH 39°23'53" EAST, A DISTANCE OF 37.15 FEET TO A CHISELED "X" SET; SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING.

THUS HAVING ESTABLISHED THE TRUE POINT OF BEGINNING, THENCE CONTINUE ALONG SAID SOUTHERLY RIGHT-OF-WAY WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 262.00 FEET, AN ARC LENGTH OF 11.42 FEET, A CHORD WHICH BEARS SOUTH 44°42'44" EAST, A DISTANCE OF 11.42 FEET TO A 1/2" REBAR SET; THENCE SOUTH 25°12'10" EAST, A DISTANCE OF 25.31 FEET TO A 1/2" REBAR SET; THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 272.00 FEET, AN ARC LENGTH OF 185.38 FEET, A CHORD WHICH BEARS SOUTH 70°28'32" EAST, A DISTANCE OF 181.81 FEET TO A POINT; THENCE NORTH 90°00'00" EAST, A DISTANCE OF 66.59 FEET TO A POINT AT THE NORTHEAST PROPERTY CORNER OF LOT 3 (PB. 22, PG. 9 WAL-MART STORES EAST, LP O.R. 3568, PG. 1244); THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 01°07'41" EAST, A DISTANCE OF 167.63 FEET TO A POINT ON THE NORTH PROPERTY LINE OF CHRISTIAN METHODIST EPISCOPAL CHURCH (PID: 10858-074-000); THENCE SOUTH 88°40'13" WEST, A DISTANCE OF 2.09 FEET TO A 1/2" REBAR SET; THENCE SOUTH 01°17'19" EAST, A DISTANCE OF 60.39 FEET TO A 4" X 4" CONCRETE MONUMENT SET ON THE NORTH RIGHT-OF-WAY OF NE 10TH AVENUE (PUBLIC RIGHT-OF-WAY VARIES); THENCE ALONG SAID RIGHT-OF-WAY SOUTH 88°57'09" WEST, A DISTANCE OF 329.09 FEET TO A 4" X 4" CONCRETE MONUMENT SET AT THE SOUTHWEST PROPERTY CORNER OF THE AFOREMENTIONED ROY O. CAMP REVOCABLE LIVING TRUST; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 01°07'41" WEST, A DISTANCE OF 324.69 FEET TO A 4" X 4" CONCRETE MONUMENT SET; THENCE NORTH 89°06'21" EAST, A DISTANCE OF 76.12 FEET TO A CHISELED "X" SET ON THE SOUTHERLY RIGHT-OF-WAY OF NE 12TH AVENUE AND THE TRUE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING AN AREA OF 88,001.57 SQUARE FEET OR 2.020 ACRES, MORE OR LESS.

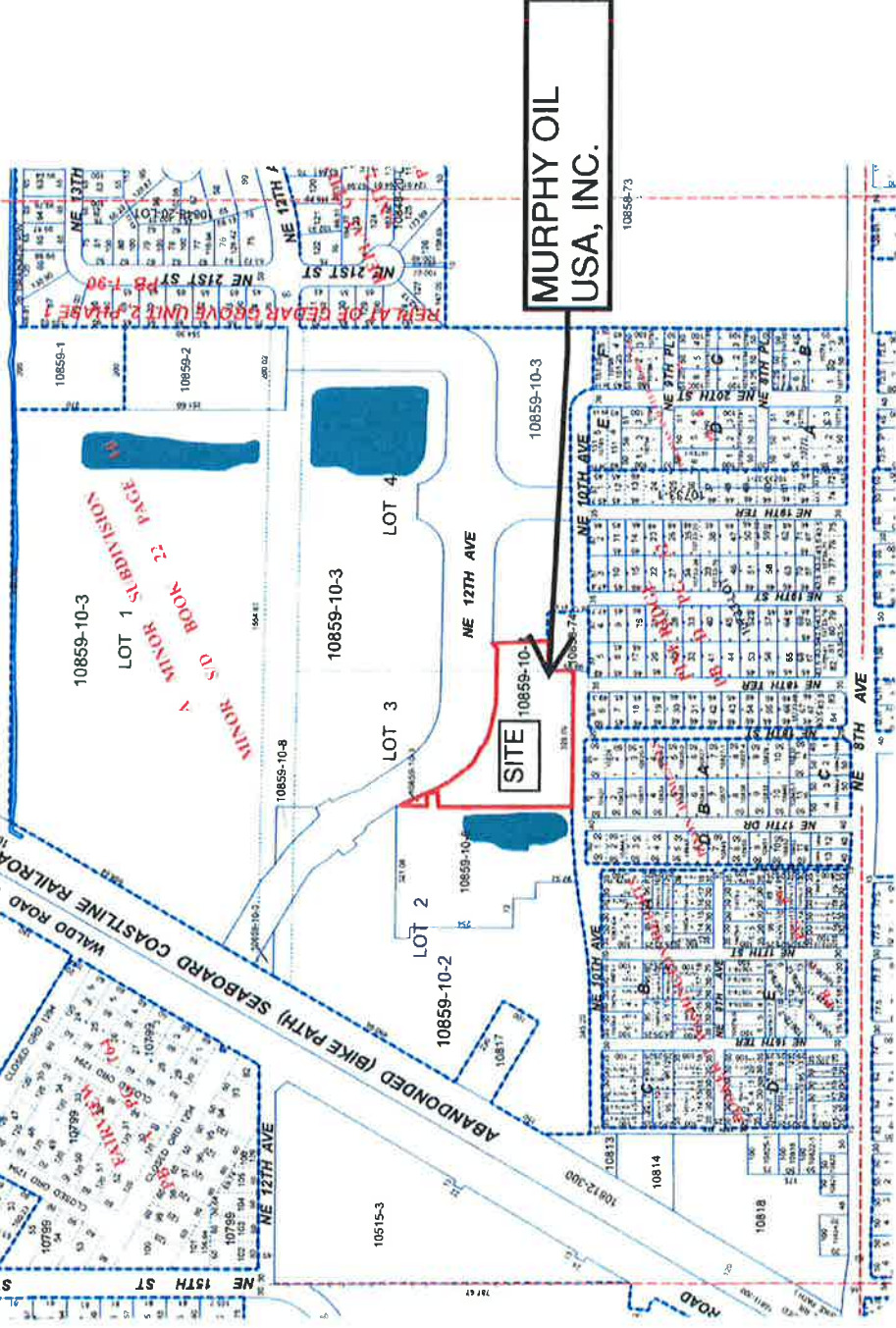
# MURPHY OIL USA, INC. - LOCATION MAP

ALACHUA COUNTY  
PROPERTY APPRAISER



Ed Crapo, CFA, ASA, AAS  
PROPERTY APPRAISER

Quarter Section Map



**Map Legend**

|                  |             |                     |
|------------------|-------------|---------------------|
| 1st Section Line | Parcel Old  | Government Lot Line |
| Grant Line       | Railroad CL | Creek               |
| Canal            | Island      | Lake                |
| Low and Swampy   | Pond        | Retention Pond      |
| River            |             |                     |



SCALE: 1" = 200'

**INFORMATION MAP - NOT A SURVEY**  
This map is a Quarter Section Map of the Property Appraiser's GIS Parcel database. The accuracy of the map meets national Map Accuracy Standards. The Alachua County Property Appraiser's Office is committed to providing the most accurate and current information. No warranties expressed or implied are provided for the data herein, its use or any other information derived therefrom. The map is related upon by anyone as a survey or determination of the ownership of property.

This Map was created by the  
Alachua County Property Appraiser's  
GIS Services located at 515 N Main  
Street, Suite 200, Gainesville, FL 32601

SEC TWP RGE QUAD  
**34 09S 20E SW**  
Revision Date: 7/13/2015

## William Peratta

---

**From:** Leistner, Deborah L. <leistnerdl@cityofgainesville.org>  
**Sent:** Tuesday, January 26, 2016 8:45 AM  
**To:** William Peratta  
**Cc:** Scott Wright (scottw@chw-inc.com); Calderon, Lawrence D.  
**Subject:** RE: Murphy USA (Gainesville, FL) - Traffic Study

Mr. Perrata,

The original traffic study for the Northeast Walmart Supercenter, located at the intersection of Waldo Rd and NE 12<sup>th</sup> Ave, included a gas station with 12 fueling positions. All calculations and roadway modifications at the time anticipated the added traffic volumes from the gas station. If the same number of fueling positions is maintained, you will not need a revised study. If you need additional information please contact me at the number below.

Regards,

Debbie Leistner  
PW Planning Manager  
(352) 393-8412

**From:** William Peratta [mailto:wperatta@greenbergfarrow.com]  
**Sent:** Monday, January 25, 2016 6:16 PM  
**To:** Leistner, Deborah L.  
**Subject:** Murphy USA (Gainesville, FL) - Traffic Study

Debbie,

Will a TIA be required for a proposed Murphy USA gas station with 6 pumps (12 fueling positions) and a 1,200 SF convenience store, or was this type of use already included in Walmart's TIA?

Site plans are attached showing the proposed development and its location.

Thank you,  
Bill

William Peratta, AICP  
Due Diligence Coordinator  
1430 West Peachtree St. NW, Suite 200, Atlanta, GA 30309  
D 678.412.6024 T 404.601.4000 x7384

**GreenbergFarrow**

Twitter Facebook LinkedIn



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Murphy Oil USA, Inc. 200 Peach Street (71730)  
P.O. Box 7300  
El Dorado, Arkansas 71731-7300

Check Number : 3079685  
Check Date: 02/25/16  
Payee: 5656973 GAINESVILLE CITY OF

Amount : \$\*\*\*\*\*2,568.88

| INVOICE  | DATE     | COMMENT | AMOUNT PAID          |
|----------|----------|---------|----------------------|
| 20160232 | 02/23/16 | TOTAL   | 2,568.88<br>2,568.88 |

|  |  |   |                   |  |                        |
|--|--|---|-------------------|--|------------------------|
| Murphy Oil USA, Inc. 200 Peach Street (71730)<br>P.O. Box 7300<br>El Dorado, Arkansas 71731-7300 |  |    | <b>Murphy USA</b> | Check Number: 3079685<br>BancorpSouth<br>El Dorado, Arkansas 71730 | 81-91<br>829           |
| Pay TWO THOUSAND FIVE HUNDRED SIXTY EIGHT AND 88/100*****  |  | Payee 5656973   |                   | Date 02/25/16  | Amount \$*****2,568.88 |
| To The Order Of GAINESVILLE CITY OF<br>200 EAST UNIVERSITY AVE<br>GAINESVILLE FL 32601           |  | Void After Six Months<br>Murphy Oil USA, Inc.   |                   |  |                        |
|  |  | Counter Signature Required if over \$50,000.00<br> |                   |  |                        |

⑈03079685⑈ ⑆065300486⑆ 1120390453⑈

Murphy Oil USA, Inc.  
P.O. Box 7300  
El Dorado, Arkansas 71731-7300

5656973

GAINESVILLE CITY OF  
200 EAST UNIVERSITY AVE  
GAINESVILLE FL 32601

## Attachment “D”

Comprehensive Plan and Land Development Code References.



## Comprehensive Plan Goals, Objectives and Policies

This petition addresses a request to construct a gasoline service station with a convenience store, located within the MU-2 zoning district. The Land Development Code requires that all gas

### Policy 10.4.9

Within the TMPA, retail petroleum sales at service stations and/or car washes, either separately or in combination with the sale of food or eating places, shall be required to obtain a Special Use Permit. In addition to the review criteria in the Land Development Code for Special Use Permits, the following review standards shall apply:

- a. Site design shall enhance pedestrian/bicycle access to any retail and/or restaurant facilities on site. Sidewalk connections or marked pedestrian crosswalks shall be shown on the site plan.
- b. The number and width of driveways shall be minimized.
- c. Except where more stringently regulated by a special area plan or overlay district, the maximum number of fueling positions shall be set as follows:

- 1. No limitation on fueling positions in the Industrial zoning categories;
- 2. Six fueling positions in the Mixed-Use Low land use category or Mixed-Use 1 zoning district; Transportation Mobility B-37 Revised 08/12/02, Ord. 000515 Revised 04/26/04, Ord. 030466 Revised 12/17/09, Ord. 090184 Revised 08/15/13, Ord. 120370 Goals, Objectives & Policies
- 3. Until adoption in the Land Development Code of specific architectural and design standards, six fueling positions in all other zoning categories where gasoline service stations (retail petroleum sales) or food stores with accessory gasoline and alternative fuel pumps are allowed. In the interim period before the adoption of architectural and design standards, additional fueling positions, up to a maximum of twelve, may be allowed as part of a Planned Development rezoning or Special Use Permit process, with the final approval of the City Commission, based on meeting all of the following conditions:
  - a. The size of the site can safely accommodate the additional fueling positions while meeting all required landscaping, buffering, and other Land Development Code requirements;
  - b. Site access and traffic safety conditions on adjacent roadways and intersections are not compromised by the additional trips generated by the additional fueling positions;

c. Pedestrian/bicycle safety and comfort in the area are not compromised by the additional trips generated by the additional fueling positions;

d. The architectural and site design are of such high quality that they enhance the site area and promote the City's multi-modal and design goals. As part of a Planned Development rezoning or Special Use Permit review process, the developer shall provide a development plan, elevations and architectural renderings of the proposed site including details such as, but not limited to, façade treatment, colors, lighting, roof detail, signage, landscaping, building location relative to the street, and location of access points;

e. Cross-access or joint driveway usage is provided to other adjacent developments; and

f. Retail convenience goods sales or a restaurant are included in the development and designed such that pedestrian or bicycle use of the site is encouraged. The retail convenience goods sales or restaurant building and development shall meet all of the following requirements:

1. Building(s) shall be placed close to the public sidewalk for a substantial length of the site's linear frontage; Transportation Mobility B-38 Revised 08/12/02, Ord. 000515 Revised 04/26/04, Ord. 030466 Revised 12/17/09, Ord. 090184 Revised 08/15/13, Ord. 120370 Goals, Objectives & Policies

2. A minimum of 30% window area or glazing at pedestrian level (between 3 feet above grade and 8 feet above grade) on all first-floor building sides with street frontage. Windows or glazing shall be at least 80% transparent;

3. A pedestrian entry is provided from the public sidewalk on the property frontage or near a building corner when the building is on a corner lot;

4. Off-street parking shall be located to the side or rear of the building; and

5. The building height and façade elevation are appropriate for the site and surrounding zoned properties.

4. Until adoption in the Land Development Code of specific architectural and design standards, ten fueling positions within 1/4 mile of an I-75 interchange. In the interim period before the adoption of architectural and design standards, additional fueling positions, to a maximum of twelve, may be allowed as part of a Planned Development rezoning or Special Use Permit process, with the final approval of the City Commission, based on meeting all of the conditions shown in 3 a-f above.

## **Future Land Use Element**

### **Objective 1.2**

Protect and promote viable transportation choices (including transit, walking and bicycling, and calmed car traffic).

#### **Policy 1.2.5**

The City should encourage creation of short-cuts for pedestrians and bicyclists with additional connections and cross access in order to create walking and bicycling connections between neighborhoods and neighborhood (activity) centers.

### **Objective 1.3**

Adopt land development regulations that guide the transformation of conventional shopping centers into walkable, mixed-use neighborhood (activity) centers.

### **Objective 1.5**

Discourage the proliferation of urban sprawl.

## **GOAL 2**

### **REDEVELOP AREAS WITHIN THE CITY, AS NEEDED, IN A MANNER THAT PROMOTES QUALITY OF LIFE,**

#### **Objective 2.1**

Redevelopment should be encouraged to promote compact, vibrant urbanism, improve the condition of blighted areas, discourage urban sprawl, and foster compact development patterns that promote transportation choice.

##### **Policy 2.1.1**

The City shall develop recommendations for areas designated as redevelopment areas, neighborhood centers and residential neighborhoods in need of neighborhood enhancement and stabilization.

b. The City should include in its redevelopment plans recommendations regarding economic development strategies, urban design schemes, land use changes, traffic calming, and infrastructure improvements;

c. The City should identify potential infill and redevelopment sites; provide an inventory of these sites; identify characteristics of each parcel, including land development regulations, infrastructure availability, major site limitations, and available public assistance; and develop a strategy for reuse of these sites; d. The City should encourage retail and office development to be placed close to the street side sidewalk.

### **Objective 4.2**

The City shall implement regulations that will protect low-intensity uses from the negative impacts of high-intensity uses and provide for the healthy coexistence and integration of various land uses.

#### Objective 4.2

The City shall implement regulations that will protect low-intensity uses from the negative impacts of high-intensity uses and provide for the healthy coexistence and integration of various land uses.

##### Policy 4.2.1

The City shall adopt land development regulations that provide protection for adjacent residential areas and low intensity uses from the impacts of high intensity uses by separating intense uses from low - intensity uses by transitional uses and by performance measures. Performance measures shall address the buffering of adjacent uses by landscape, building type and site design. Regulation of building type shall insure compatibility of building scale, and overall building appearance in selected areas. Regulation of site design shall address orientation. Such regulation shall also include arrangement of functions within a site, such as parking, loading, waste disposal, access points, outdoor uses and mechanical equipment; and the preservation of site characteristics such as topography, natural features and tree canopy.

##### Policy 4.2.2

The City shall adopt land development regulations that encourage better access between residential neighborhoods and adjacent neighborhood centers through the use of street design and the use of pedestrian, bicycle and transit modifications.

##### Policy 4.2.3

The existence of non-residential uses on one or more corners of an intersection will not justify approval of the development of all corners with the same or similar use, nor does the existence of non-residential uses on a major arterial street dictate that all frontage must be similarly used.

## LAND DEVELOPMENT CODE REFERENCES

### Sec. 30-65. - Mixed use medium intensity district (MU-2).

- (a) Purpose. The mixed-use medium intensity district is established for the purpose of providing a mix of employment, retail, professional, service and residential uses in medium level activity centers. The district is intended to encourage a reduction in the number and length of vehicular trips by providing for basic needs and employment opportunities within close proximity to residential areas. Such districts are established to allow uses compatible with each other and with surrounding residential areas to be clustered in a compact urban center. The mixed-use medium intensity district shall be located in areas where analysis of residential characteristics demonstrates that such facilities are required, and where there is limited overlapping of market areas with other mixed-use medium intensity districts.
- (b) Objectives. The provisions of this district are intended to:
  - (1) Coordinate the locations of activity centers with the population and land use needs of adjoining residential areas. It is intended that activity centers have only minimally overlapping market areas;
  - (2) Encourage large, mixed-use developments to locate on land that is physically capable of supporting the proposed development;
  - (3) Ensure that new development within the district is integrated with existing development and is designed to promote pedestrian and nonautomotive access within the district and from surrounding residential areas;
  - (4) Minimize traffic congestion by requiring that large, mixed-use developments be located on appropriate major collector and arterial roadways, and by minimizing the number and location of driveway connections;
  - (5) Encourage proper design review through the utilization of the development plan review process to ensure a harmonious relationship with surrounding development (including adequate ingress and egress);
  - (6) Integrate all outparcel development through landscaping; shared parking, traffic access management and circulation; and stormwater management; and
  - (7) Require appropriate buffering or screening around large mixed-use development to maintain its compatibility with surrounding land uses.
- (c) Requirements for developments of less than 50,000 square feet.
  - (1) Yard setbacks.
    - a. Front: The maximum setback shall be the average setback of existing development in the same face block face; however, when there is no existing development in the same block face, the setback shall be between 15 and 80 feet.



- b. Where the side or rear yard abuts property which is in a residential zoning district or is shown for residential use on the future land use map of the comprehensive plan, the minimum setback shall be 25 feet or the distance created by the 45-degree angle of light obstruction, whichever is greater. If MU-2 zoning abuts a single-family residential zoning district, then the residential portion of the mixed-use development shall be limited to RMF-7 in the area within 100 feet of the property line, plus the required buffers for the single-family residential zoning district. In addition, the multi-family development shall comply with all the regulations in the RMF-7 district and the requirements of section 30-56.
- (2) Maximum building height: Five stories.
- (3) Maximum lot coverage: 50 percent.
- (4) Access: Access shall be designed to integrate all aspects of the development and shall meet all requirements of article IX and Chapter 23. Driveways shall be coordinated or shared insofar as possible.
- (d) Requirements for developments of 50,000 square feet or more. These requirements apply to developments with at least 50,000 square feet of gross leasable area.
  - (1) Location. Nonresidential development shall be located at intersections of arterials or arterials and collectors, as shown in the city comprehensive plan.
  - (2) Dimensional requirements. All principal and accessory structures shall be located and constructed in accordance with the following requirements:
    - a. Minimum lot area: 10,000 square feet.
    - b. Minimum lot width at minimum front yard setback: 100 feet.
    - c. Minimum yard setbacks:
      - 1. Internal to the district. Where there are separate residential uses and nonresidential uses within the MU-2 district, such uses shall have an angle of light obstruction for all principal and accessory structures of 60 degrees.
      - 2. Between different districts. Where the side or rear yard abuts property which is in a residential district, or is shown on the future land use map of the comprehensive plan for residential use, the minimum setback shall be 100 feet or the distance created by a 45-degree angle of light obstruction, whichever is greater. If MU-2 zoning abuts a single-family residential zoning district, then the residential portion of the mixed-use development shall be limited to RMF-7 in the area within 100 feet of the property line, plus the required buffers for the single-family residential zoning district. In addition, the multi-family development shall comply with all the regulations in the RMF-7 district and the requirements of section 30-56.
      - 3. Front yard. The maximum setback shall be the average setback of existing development in the same face block face; however, when there

is no existing development in the same block face, the setback shall be between 15 and 80 feet.

- d. Maximum lot coverage: 50 percent for single-use projects; 75 percent for mixed-use projects that include residential.
  - e. Maximum building height: Five stories.
- (3) Multiple structures. The use of multiple structures shall be considered on a case-by-case basis during development plan approval. Approval shall be conditioned upon findings by the development review board or city plan board that all such structures are compatible with the uses and purposes of the center and surrounding uses and traffic patterns and are safely incorporated into the overall transportation system for the center.
- (4) Outparcels.
- a. Purpose. The proliferation of outparcels contributes to strip commercial development, traffic circulation problems and visual clutter, and obstructs pedestrian and bicycle movement. To mitigate the problems associated with outparcels the following regulations shall apply.
  - b. Creation and design. The creation of outparcels shall be considered on a case-by-case basis during subdivision, lot split approval or development plan approval. Approval shall be conditioned upon findings by the plan board, development review board or staff, as applicable, that the center and all outparcels are integrated through the use of landscaping and buffers; shared parking, traffic access management and circulation; and stormwater management.
  - c. Dimensional requirements for outparcels. Outparcels with unified circulation systems with adjoining shopping centers shall not be required to meet the minimum lot area, lot depth, and lot width requirements; however, outparcels shall be required to meet the yard setback, lot coverage and floor area ratio requirements for the MU-2 district.
- (5) Access.
- a. Vehicular access. Access to the shopping centers shall be in accordance with the provisions of article IX, Division 3, of this chapter, Chapter 23 of the Code of Ordinances, and section 30-67(f) of the Code of Ordinances. Parking areas, including maneuvering space, ingress and egress roads and driving lanes, shall be improved in accordance with the provisions of Division 3 of article IX, pertaining to access management. All loading and unloading shall be done on the property. Areas used by motor vehicles shall be physically separated from public streets by landscaped buffer areas.
  - b. Bicycle, greenway and pedestrian access. Provisions shall be made to safely incorporate travel ways for bicycle and pedestrian usage into development projects. Where bikeways, greenways or sidewalks are presently adjoining the property, provisions shall be made to safely link the internal bicycle and pedestrian system with adjoining facilities. During

development plan review, the development review board shall also review the relationship of the mixed-use development to adjoining properties and may require appropriate access for bicycles or pedestrians at locations where vehicular access is prohibited.

(e) Permitted uses.

| SIC | Uses   | Conditions   |
|-----|--|--|
|     | <b>USES BY RIGHT:</b>  |  |
|     | Any accessory uses customarily and clearly incidental to any permitted principal use |  |
|     | Bed and breakfast establishments   | In accordance with article VI                              |
|     | Community residential homes with 14 or fewer residents                               | In accordance with article VI                              |
|     | Compound uses  |  |
|     | Eating places  |  |
|     | Food trucks  | In accordance with article VI                              |
|     | Outdoor cafes  | As defined in article II and in accordance with article VI |
|     | Personal fitting and sales of prosthetic or orthopedic appliances                    |  |
|     | Places of religious assembly   | In accordance with article VI                              |
|     | Public service vehicles  | As defined and in accordance with article VI               |
|     | Repair services for household needs  | As defined in article II                                   |

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|         | Residential uses (12 to 30 dwelling units per acre)                | Residential development shall conform to the requirements of the RMF-7 or RMF-8 zoning districts, the requirements of section 30-56, and the additional requirements of this section. Lots that existed on November 13, 1991 as recorded in the planning and development services department and that are less than or equal to 0.5 acres in size are exempt from minimum density requirements. |
|         | Specialty T-shirt production                                       |   |
| GN-074  | Veterinary services  | Only within enclosed buildings and in accordance with article VI  |
| IN-0752 | Animal specialty services, except veterinary                       | Only within enclosed buildings  |
| GN-078  | Landscape and horticultural services                               |   |
| MG-15   | Building construction - General contractors and operative builders |   |
| GN-171  | Plumbing, heating and air conditioning                             |   |
| GN-172  | Painting and paper hangers   |   |
| GN-173  | Electrical work  |   |
| MG-27   | Printing, publishing and allied industries                         |   |
| MG-43   | U.S. Postal Service  |   |
| GN-472  | Arrangement of passenger transportation                            | Offices only, with no operation of passenger tours from the site  |

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| GN-481 | Telephone communications   | Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI, excluding cellular telephone services |
| GN-482 | Telegraph and other message communications   | Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI  |
| GN-483 | Radio and television broadcasting stations   | Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI  |
| GN-484 | Cable and other pay television services  | Accessory transmission, retransmission and microwave towers up to and including 100 feet in height in accordance with article VI  |
| GN-523 | Paint, glass and wallpaper stores  |   |
| GN-525 | Hardware stores  |   |
| GN-526 | Retail nurseries, lawn and garden supply stores                                    |   |
| MG-53  | General merchandise stores   |   |
| MG-54  | Food stores  | Accessory gasoline and alternative fuel pumps in accordance with article VI   |
| GN-553 | Auto and home supply stores  | Garage and installation facilities, in accordance with the provisions for limited automotive services in article VI   |
| GN-554 | Gasoline service stations including the sales of alternative fuels for automobiles | In accordance with article VI   |
| MG-56  | Apparel and accessory stores   |   |



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| MG-57  | Home furniture, furnishings and equipment stores |   |
| MG-59  | Miscellaneous retail                             | Excluding fuel dealers (IN-5983)  |
| Div. H | Finance, insurance and real estate               | Excluding cemetery subdivisions and developers (IN-6553)  |
| MG-72  | Personal services                                | Including funeral services and crematories, in accordance with article VI   |
| MG-73  | Business services                                | Excluding outdoor advertising services (IN-7312), disinfecting and pest control services (IN-7342), heavy construction equipment rental and leasing (IN-7353), and equipment rental and leasing, not elsewhere classified (IN-7359) |
| GN-752 | Automobile parking                               |   |
| MG-76  | Miscellaneous repair services                    | Excluding miscellaneous repair shops and related services (GN-769) and including repair services for household needs as defined in this chapter   |
| MG-78  | Motion pictures                                  | Excluding drive-in theaters (IN-7833) and outdoor filming facilities  |
| MG-79  | Amusement and recreation services                | Excluding go-cart rental and raceway operations, commercial sports (GN-794), and simulated gambling establishments. Must be located within enclosed structures.   |
| MG-80  | Health services                                  | Excluding hospitals (GN-806) and including nursing and personal care facilities (GN-805) in accordance with article VI, and excluding rehabilitation centers  |
| MG-81  | Legal services                                   |   |
| MG-82  | Educational services                             | Including private schools, in accordance with article VI  |

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| MG-83  | Social services   | Including day care centers as defined in this chapter and in accordance with article VI, excluding rehabilitation centers, halfway houses, social service homes, and residences for destitute people as defined in this chapter  |
| GN-841 | Museums and art galleries   |  |
| MG-86  | Membership organizations  |  |
| MG-87  | Engineering, accounting, research management and related services                   | Excluding testing laboratories (IN-8734) and facilities support management services (IN-8744)  |
| MG-89  | Services, not elsewhere classified  |  |
| Div. J | Public administration   |  |
|        | USES BY SPECIAL USE PERMIT  |  |
|        | Accessory transmission, retransmission and microwave towers over 100 feet in height | In accordance with article VI  |
|        | Alcoholic beverage establishments   | In accordance with article VI  |
|        | Limited automotive services   | In accordance with article VI  |
|        | Other uses (including light assembly or packaging)                                  | Within completely enclosed structures; no outdoor storage, truck traffic limited to that normal to commercial activities such as grocery stores, loading docks and mechanical equipment must be screened, and sound attenuation shall be provided to any adjacent residential area or area in actual residential use; no access to any residential street; must meet industrial buffers. Storage of hazardous materials in |

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|        |   | accordance with the county hazardous materials management code                           |
|        | Recycling centers   | In accordance with article VI  |
|        | Rehabilitation centers  | In accordance with article VI  |
|        | Residences for destitute people   | In accordance with article VI  |
|        | Social service homes  | In accordance with article VI  |
| GN-598 | Fuel dealers  |  |
| GN-701 | Hotels and motels   |  |
| GN-702 | Roominghouses and boardinghouses  | In accordance with article VI  |
| MG-79  | Amusement and recreation services located outside of an enclosed structures | Excluding simulated gambling establishments. Must be in compliance with noise ordinance. |