

MAR - 1 2016

**DEVELOPMENT PLAN REVIEW APPLICATION
PLANNING & DEVELOPMENT SERVICES**

OFFICE USE ONLY

Petition No. DB-16-38 SPL Fee: \$ _____
1st Step Mtg Date: _____ EZ Fee: \$ _____

Account No. 001-660-6680-3401 []
Account No. 001-660-6680-1124 (Enterprise Zone) []
Account No. 001-660-6680-1125 (Enterprise Zone Credit []

LEVEL OF REVIEW (check one)

MINOR	INTERMEDIATE	MAJOR	CONCEPT	MASTER
		x		

Project Name: 238 University

Property Address: 238 W. University Avenue; 222 NW 1st Ave; 104 NW 2nd Street

Tax Parcel #(s): 14269-000-000, 14260-000-000, 14260-001-000

Site Area (acres): 2.54 Acres

CHECK ALL PROPOSED USES

☐ Residential	Density	☐ Non-residential
Multi-family	Units/acre:	☐ Commercial ☐ Office
Total units:	Total bedrooms:	☐ Industrial ☐ Other
		Gross floor area:

Owner(s) of Record (please print)

Name: Ken McGurn
Address: KLM Properties Inc
101 SE 2ND PL STE 202
Gainesville, FL 32601
Phone: (352) 372-6172 Fax: _____
(If additional owners, attach information)

Applicant(s)/Agent(s), if different

Name: Nathan Collier
Address: 238 Development LLC
220 N. Main Street
Gainesville, FL 32601
Phone: (352) 375-2152 Fax: (352) 336-5778
(If additional agents, attach information)

I certify that I am the owner of the property and authorize the agent listed above to initiate this development plan.

Signature of owner: [Signature] Date: 2/29/16

I certify that all of the information contained in this application form is accurate and up-to-date.

Signature of Applicant: [Signature] Date: _____

STATE OF FLORIDA, COUNTY OF Adair
Sworn to and subscribed before me this 29 day of February 2016
Signature - Notary Public: [Signature]
Personally Known ☒ OR Produced Identification _____



WILLIAM F. BUMGARNER
MY COMMISSION # FF 155891
EXPIRES: September 1, 2018
Bonded Thru Budget Notary Services

Certified Cashier's Receipt:

Project Name: 238 University

Property Address: 238 W. University Avenue; 222 NW 1st Ave; 104 NW 2nd Street

Parcel Numbers: 14269-000-000, 14260-000-000, 14260-001-000

Additional Agent:

Cristobal Betancourt, RLA

Chen Moore and Associates

14 E. University Avenue, Suite 206

Gainesville, FL 36201

Phone: (352) 374-1997 ext. 1078



14 East University Avenue
Suite 206
Gainesville, FL 32601
Phone: +1 352.374.1997
Fax: +1 352.244.0875
www.chenmoore.com

Date: February 29, 2016

To: Project Files for 195.004

MAR - 1 2016

From: Cristobal Betancourt, RLA

Re: Meeting Minutes for Neighborhood Workshop for 238 University
CMA Project 195.004

- The Neighborhood Workshop was held at the Gainesville Regional Utilities Administration Building at 301 SE 4th Avenue, Gainesville, FL 32601 on Friday, February 26, 2016.
- Legal Notice was published in the Gainesville Sun on Saturday, February 13, 2016.
- Postcards advertising the Neighborhood Workshop were mailed to relevant property owners on February 12, 2016.
- The Neighborhood Workshop was moderated by Cristobal Betancourt, RLA and Jason Haeseler, PE of Chen Moore and Associates.
- Doors were opened to the public at 5:45 PM.
- There were 7 attendees from the public.
- Presentation began at 6:10 p.m.
- Chen Moore and Associates provided an overview of the project.
- Attendees were generally in support of the project and are comfortable with the scale and density of the project.
- Attendees expressed concern over the architectural materials of the building. They felt that the architects should pay more attention to the context of the site and the surrounding historic neighborhoods.
- Some concern was expressed over the privatization of NW 1st Avenue.
- Neighbors along NW 2nd Avenue asked that the facing garage façade be architecturally sensitive to the neighborhood, having sufficient landscaping and respecting the scale of the neighborhood.
- The meeting adjourned at 6:57 PM

Attachments: Sign in Sheets
Presentation

Cc: Carl Cautadella – The Collier Companies
James Alsbrook, PE – The Collier Companies
Samuel Ferreri, RA – PGAL
Bruno Phillips – PGAL
Jason Haeseler, PE – CMA



CMA Project #: XXX.XXX
Page 2 of 2
Date

Sign-in

Date: 2/26/16 **Time:** 6:00 PM **Location:** GRU Downtown, Gainesville
Re: 238 Development LLC Neighborhood Workshop **CMA Project No.:** 195.004

Name:	Company:	Email address:
1) Jordan Fennell	Campw Lealty	
2) Joseph Semroni		jsemroni@gmail.com
3) Tana Silva		
4) Melanie Barra		mrbarra@bellsouth.net
5) Michelle Heron		hazemichelle@gmail.com
6) Thomas A. Fay		thomashfay@aol.com
7)		
8)		
9)		
10)		
11)		
12)		



14 East University Avenue
Suite 206
Gainesville, FL 32601
Phone: +1 352.374.1997
Fax: +1 352.244.0875
www.chenmoore.com

Sign-in

Date: 2/26/16 **Time:** 6:00 PM **Location:** GRU Downtown, Gainesville
Re: 238 Development LLC Neighborhood Workshop **CMA Project No.:** 195.004

Name:

Company:

Email address:

1) Roberta Gastmeyer FourScore Properties FourScoreProperties
@gmail.com

2) _____

3) _____

4) _____

5) _____

6) _____

7) _____

8) _____

9) _____

10) _____

11) _____

12) _____



CHEN•MOORE

& ASSOCIATES



238 West University Avenue

NEIGHBORHOOD WORKSHOP
February 26, 2016
6:00 PM

Existing Conditions



The Collier Companies

PG&AL

CHEN-MOORE
& ASSOCIATES



CHENMOORE AND ASSOCIATES

CHEN-MOORE

238 W. University Avenue

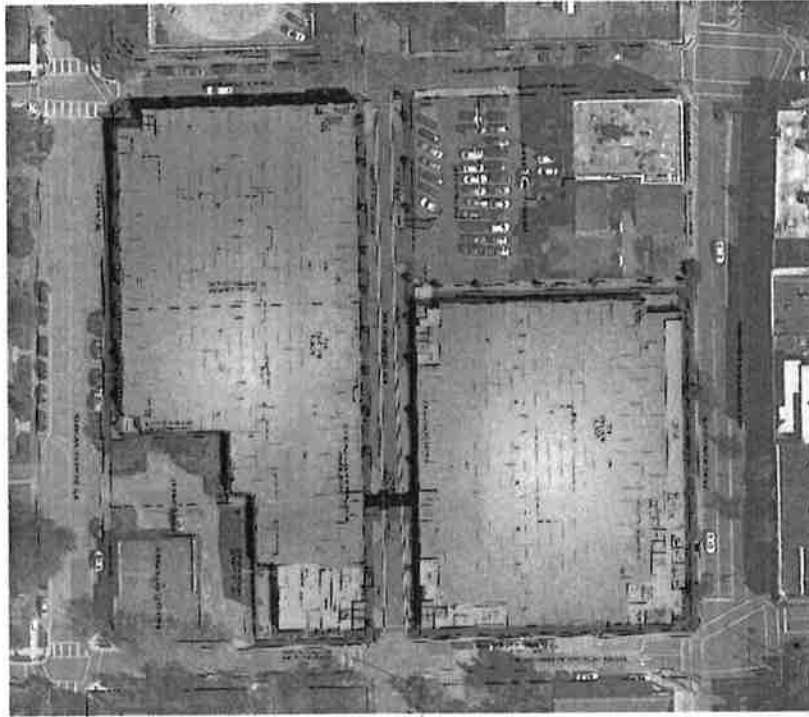
Site Plan



The Collier Companies

PGAL

CHEN-MOORE
& ASSOCIATES



Zoning: Central City District (CCD)
Future Land Use: Mixed Use Residential (MUR)
North Building: 5 Res Levels over 1 Parking Level
Units: 172
South Building: 5 Res Levels over 1 Parking Level
Units: 125
Project Total: 297 Units with 302 Parking Spaces

*PROJECT SITE IS LOCATED WITHIN THE TRADITIONAL
CITY OVERLAY DISTRICT

CHENMOORE AND ASSOCIATES

CHEN-MOORE

238 W. University Avenue

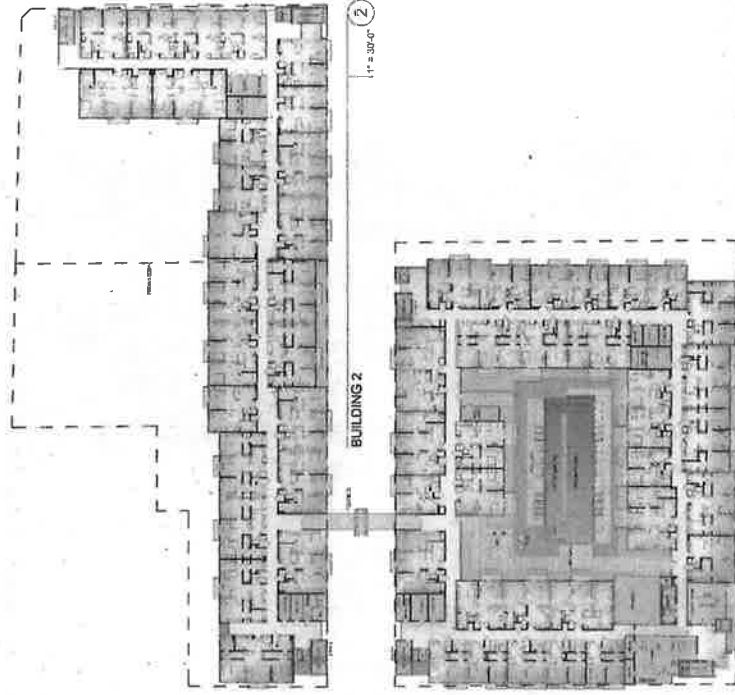
2nd Floor



The Collier Companies

PGAL

CHEN-MOORE
& ASSOCIATES



CHENMOORE AND ASSOCIATES

CHEN-MOORE

238 W. University Avenue



The Collier Companies

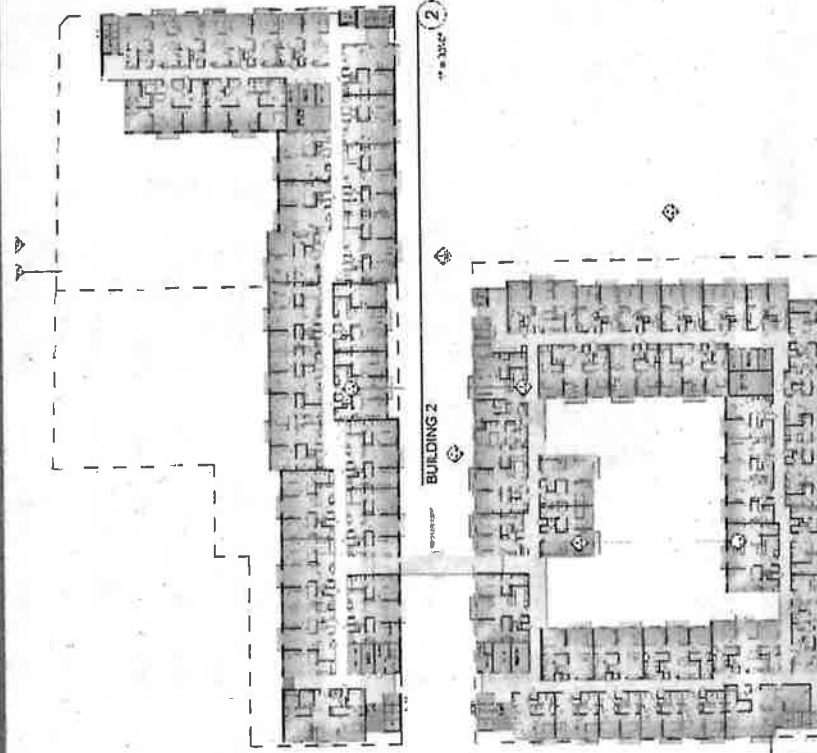
PG&AL



CHEN-MOORE

& ASSOCIATES

5th Floor



238 W. University Avenue

CHENMOORE AND ASSOCIATES



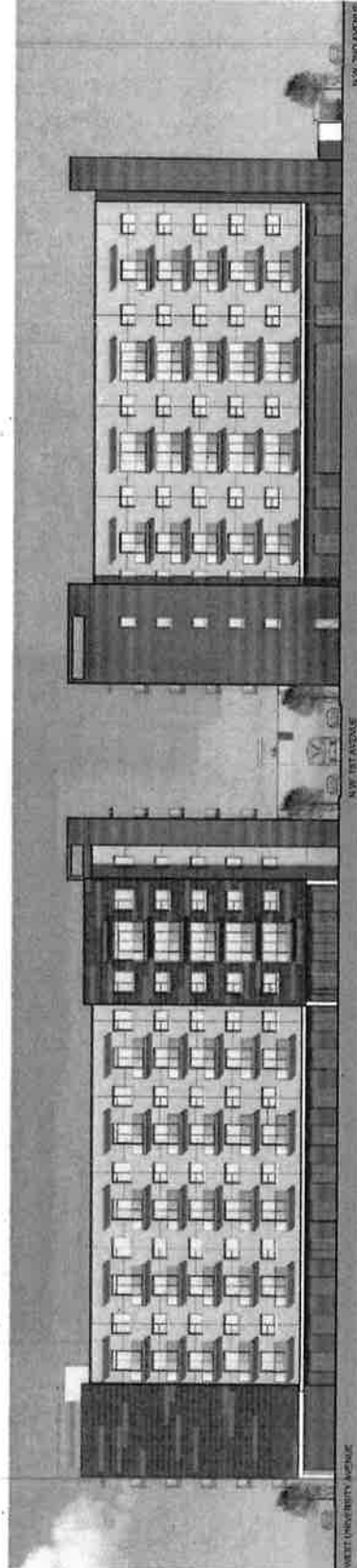
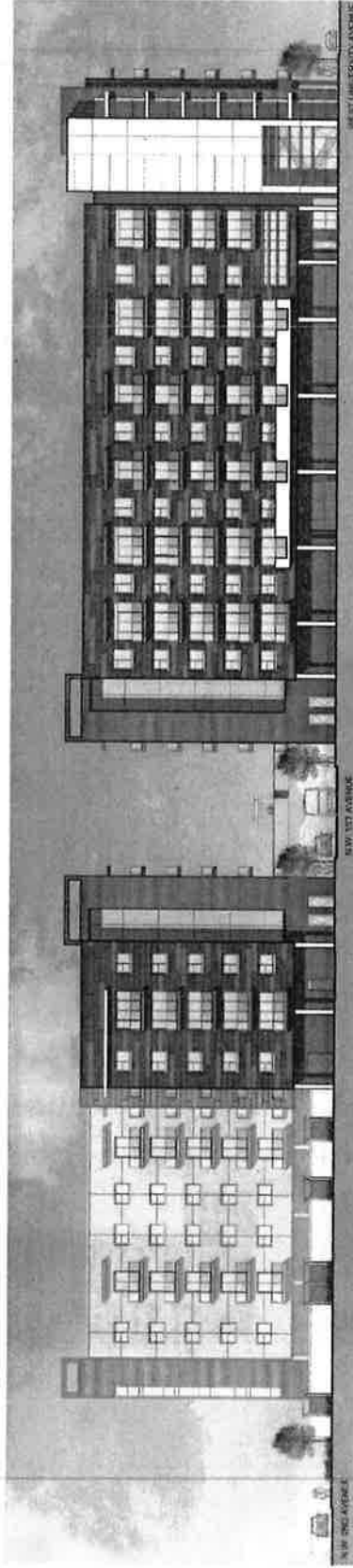
Building Elevations



The Collier Companies

PGAL

CHEN-MOORE
& ASSOCIATES



CHENMOORE AND ASSOCIATES

CHEN-MOORE

238 W. University Avenue

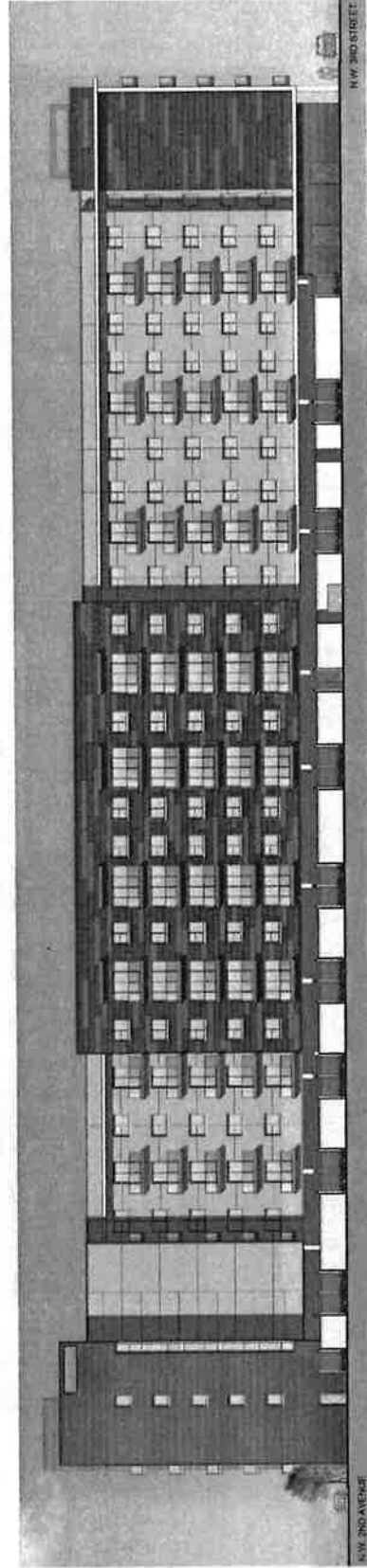
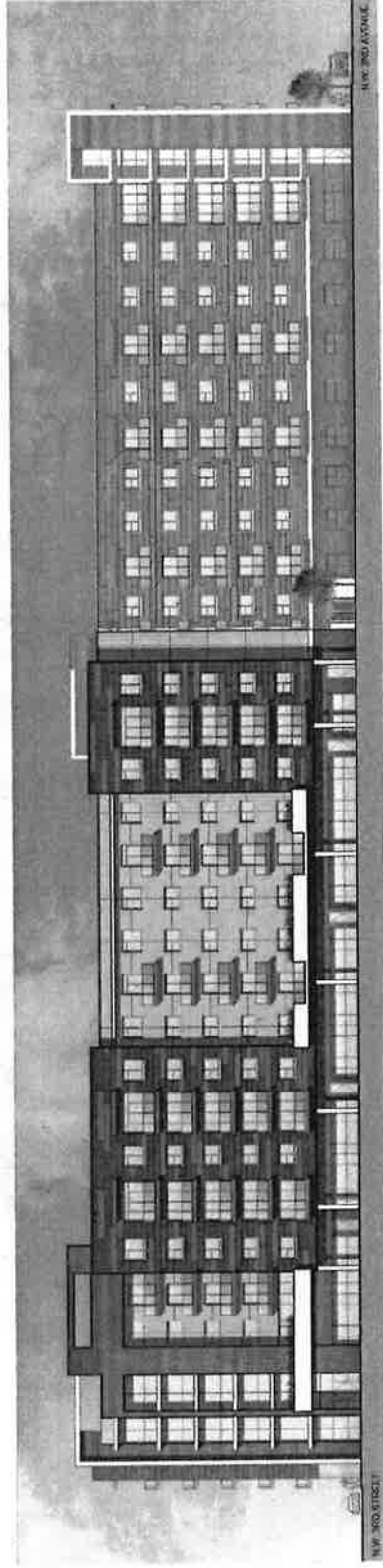
Building Elevations



The Collier Companies

PGAL

CHEN • MOORE
& ASSOCIATES



CHENMOORE AND ASSOCIATES



238 W. University Avenue

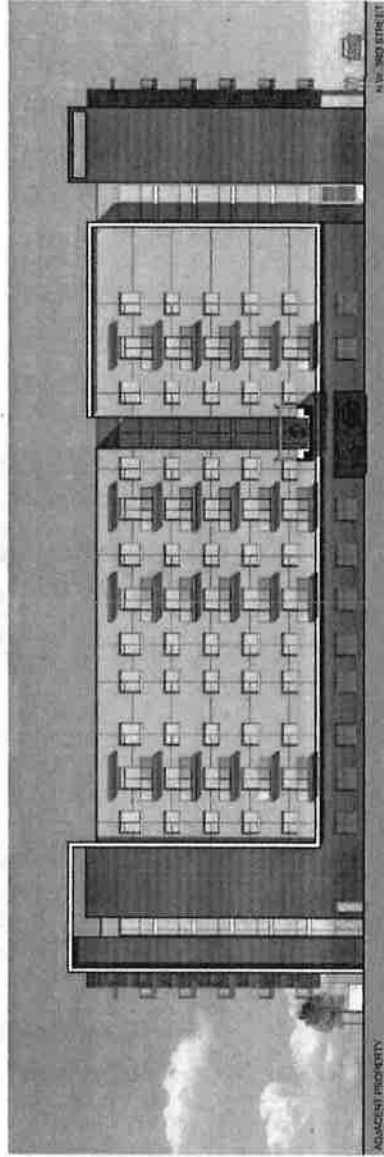
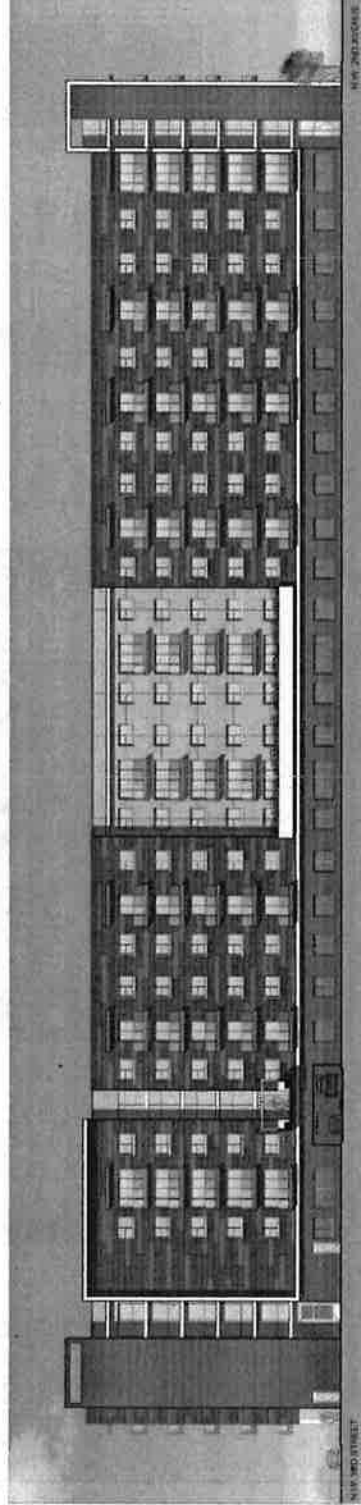
Building Elevations



The Collier Companies

PGAL

CHEN • MOORE
& ASSOCIATES

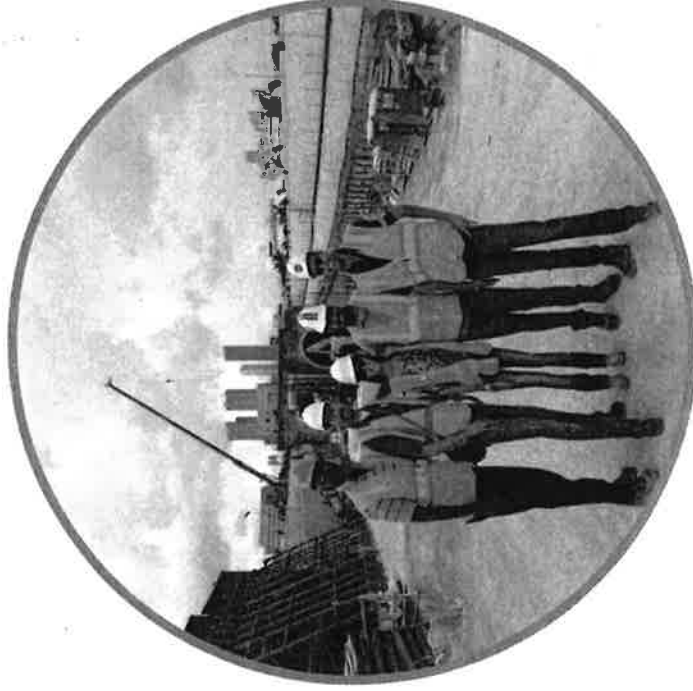


CHENMOORE AND ASSOCIATES

CHEN • MOORE

238 W. University Avenue

Questions?



The Collier Companies

PGAL



DB-16-38 SPL
238 University
222 NW 1st Ave & 104 NW 2nd St

NEIGHBORHOOD WORKSHOP NOTICE

Chen Moore & Associates (CMA) will hold a Neighborhood Workshop to discuss a development plan for a mixed used project located at 238 W. University Avenue, 222 NW 1st Avenue, and 104 NW 2nd Street. The project is currently planned for 5 stories of residential units with parking and commercial uses at ground level.

This is not a public hearing. The purpose of this workshop is to inform neighboring property owners of the proposal's nature and to seek comments. We look forward to seeing you at the workshop.

FRIDAY

DATE: FEBRUARY 26TH, 2016

TIME: 6:00 PM

GAINESVILLE REGIONAL UTILITIES

PLACE: 301 SE 4TH AVENUE
GAINESVILLE, FL 32601

CRIS BETANCOURT, RLA
CONTACT: (352) 374.1997 x1078

MAR - 1 2016



STATE OF FLORIDA
COUNTY OF ALACHUA

Published Daily and Sunday
Gainesville, Florida

Before the undersigned authority personally appeared Krystal Williams

Who on oath says that he/she is Advertising Account Executive of THE

GAINESVILLE SUN, a daily newspaper published in Gainesville in Alachua County, Florida, that the
attached copy of advertisement, being a Public Notice

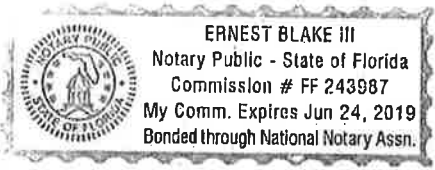
In the matter of Proposed Development Plan

In the Gainesville Regional Utilities, 301 SE 4th Avenue, Gainesville, FL 32601, was published in said
newspaper in the issue of,

February 13th, 2016

Affiant further says that THE GAINESVILLE SUN is a newspaper published at Gainesville, in said
Alachua County, Florida and that the said newspaper has heretofore been continuously published in said
Alachua County, each day, and has been entered as second class mail matter at the post office in
Gainesville, in said Alachua County, Florida, for a period of one year next preceding the first publication
of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any
person, firm or corporation any discount for publication in said newspaper.

Sworn to and subscribed before me this
13th Day of February A.D. 2016

(Seal) Notary Public

Sign-in

Date: 2/26/16 **Time:** 6:00 PM **Location:** GRU Downtown, Gainesville
Re: 238 Development LLC Neighborhood Workshop **CMA Project No.:** 195.004

Name:	Company:	Email address:
1) Jordan Fennell	Campw Realty	
2) Joseph Semrani		jsemrani@gmail.com
3) Tana Silva		
4) Melanie Berez		mrberesbellsath.net
5) Michelle Heron		heronmichelle@gmail.com
6) Thomas A. Fay		thomashfay@aol.com
7)		
8)		
9)		
10)		
11)		
12)		



14 East University Avenue
Suite 206
Gainesville, FL 32601
Phone: +1 352.374.1997
Fax: +1 352.244.0875
www.chenmoore.com

Sign-in

Date: 2/26/16 **Time:** 6:00 PM **Location:** GRU Downtown, Gainesville
Re: 238 Development LLC Neighborhood Workshop **CMA Project No.:** 195.004

Name:

Company:

Email address:

1) Roberta Gastmeyer Four Score Properties FourScoreProperties@gmail.com

2) _____

3) _____

4) _____

5) _____

6) _____

7) _____

8) _____

9) _____

10) _____

11) _____

12) _____

Neighborhood Workshop Notice

5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE
ATTN: MIKE HOGE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Black Acres/Black Pines
JIM CONNOR
400 NW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Elizabeth PL/Northwest 23rd ST
GALE FORD
715 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Gateway Park
HAROLD SAIVE
1716 NW 10 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Lamplighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

MAR - 1 2016

Neighborhood Workshop Notice

Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Madison Park
CHARLES FLOYD
1911 N.W. 36 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Pineridge
BERNADINE TUCKER
9 TURKEY CREEK
ALACHUA, FL 32615

Neighborhood Workshop Notice

North Lincoln Heights
ANDREW LOVETTE SR.
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Mill Pond
HAROLD HANEL
309 NW 48 BLVD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Rainbows East
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

University Village
BRUCE DELANEY
75 SW 23 Way
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Pinebreeze
JUDITH MEDER
3460 NW 46 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
SANDRA WATTS KENNEDY
514 NW 31 LANE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Eagle Eyes
BEATRICE ELLIS
316 NE 14 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice

LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Phoenix Subdivision
APRIL JONES
3214 SW 26 TERR, Unit B
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

LEE NELSON
DIRECTOR OF REAL ESTATE – UF
204 TIGERT HALL
PO BOX 113100
GAINESVILLE, FL 32611-3100

14609-000-000 DB-16-38 SPL
ALACHUA COUNTY
12 SE 1ST ST
GAINESVILLE, FL 32601

14721-000-000 DB-16-38 SPL
ARLINGTON SQUARE FOUR LLC
220 N MAIN ST
GAINESVILLE, FL 32601

14552-701-000 DB-16-38 SPL
ARSENAULT JR & COLLAZO ET AL
408 W UNIVERSITY AVE # 7A
GAINESVILLE, FL 32601

13459-000-000 DB-16-38 SPL
AT&T COMM OF THE SOUTHERN STATE
PO BOX 7207
BEDMINSTER, NJ 07291

14552-704-000 DB-16-38 SPL
AUDETTE & LESHAR H/W
100 NE SPANISH CT
BOCA RATON, FL 33432

13459-001-000 DB-16-38 SPL
BELLSOUTH TELECOMMUNICATIONS
PO BOX 7207
BEDMINSTER, NJ 07921

14723-003-000 DB-16-38 SPL
BLAKESLEE TURNER BUILDING LLC
1607 NW 19TH CIRCLE
GAINESVILLE, FL 32605

14278-000-000 DB-16-38 SPL
STEPHEN BRYANT
214 NW 3RD ST
GAINESVILLE, FL 32601

13503-000-000 DB-16-38 SPL
CAPSTONE-DJG LLC
% WALKER MAY
402 OFFICE PARK DR
BIRMINGHAM, AL 35223

12945-000-000 DB-16-38 SPL
CINQUE HOLDINGS INC
% NAUTILUS REALTY INC
4623 NW 53RD AVE
GAINESVILLE, FL 32653

14543-000-000 DB-16-38 SPL
CITY OF GAINESVILLE
% LAND RIGHTS COORDINATOR
PO BOX 490 MS 58
GAINESVILLE, FL 32627

14300-000-000 DB-16-38 SPL
JULIA LESLIE COSBY
303 NW 4TH ST
GAINESVILLE, FL 32601-5253

14650-000-000 DB-16-38 SPL
DORJE INC
20 W UNIVERSITY AVE
GAINESVILLE, FL 32601-5312

14552-902-000 DB-16-38 SPL
ROBERT J EASTER
408 WEST UNIVERSITY AVE UNIT 9-B
GAINESVILLE, FL 32601

14552-904-000 DB-16-38 SPL
ELMORE & ELMORE
555 NW 23RD ST
GAINESVILLE, FL 32607-2618

14723-001-000 DB-16-38 SPL
EMERSON & EMERSON & EMERSON JR
110 NW 2ND AVE
GAINESVILLE, FL 32601-3315

14248-000-000 DB-16-38 SPL
ENI LLC
3720 NW 43RD ST STE 105
GAINESVILLE, FL 32606

14281-000-000 DB-16-38 SPL
THOMAS H FAY
116 NW 3RD ST
GAINESVILLE, FL 32601

14552-804-000 DB-16-38 SPL
KURT W FISHER
408 W UNIVERSITY AVE APT 8D
GAINESVILLE, FL 32601-5281

14258-000-000 DB-16-38 SPL
FOUR SCORE PROPERTIES INC
4118 NW 69TH ST
GAINESVILLE, FL 32606-4212

14723-002-000 DB-16-38 SPL
FROST II & VAN DEN BOOM ET UX
395 S CENTRAL AVE
BARTOW, FL 33830

14282-000-000 DB-16-38 SPL
GE4 APARTMENTS LLC
2430 ESTANCIA BLVD STE 101
CLEARWATER, FL 33761

14245-000-000 DB-16-38 SPL
GOULD & STEPHENSON
213 NW 4TH AVE
GAINESVILLE, FL 32601-5247

14241-000-000 DB-16-38 SPL
LAWRENCE J HAMILTON
212 NW 3RD AVE
GAINESVILLE, FL 32601-5256

14552-703-000 DB-16-38 SPL
HAYNES & SEALE JR
2800 SW 14TH DR
GAINESVILLE, FL 32608

14255-000-000 DB-16-38 SPL
BRUCE CHARLES HAZEN
430 NE 9TH AVE
GAINESVILLE, FL 32601

14552-702-000 DB-16-38 SPL
JUAN A HOLBROOK
6418 NW 97TH CT
GAINESVILLE, FL 32653

14553-111-000 DB-16-38 SPL
DAVID G HOLBROOK
9113 MELLON CT
ST AUGUSTINE, FL 32080-8564

14552-101-000 DB-16-38 SPL
HOLBROOK GROUP INC (THE)
408 W UNIVERSITY AVE STE 206
GAINESVILLE, FL 32601-5280

14761-000-000 DB-16-38 SPL
HOLY TRINITY EPISCOPAL FOUNDATION
PO BOX 357399
GAINESVILLE, FL 32635-7399

14611-000-000 DB-16-38 SPL
KARAHALIOS & RICE
4623 NW 53RD AVE
GAINESVILLE, FL 32606

14260-000-000 **** DB-16-38 SPL
KLM PROPERTIES INC
101 SE 2ND PL STE 202
GAINESVILLE, FL 32601

14691-000-000 DB-16-38 SPL
LB-UBS 2007-C7 104 N MAIN LLC
420 SOUTH ORANGE AVE
CNL CENTER II 7TH FLOOR
ORLANDO, FL 32801

13505-000-000 DB-16-38 SPL
LIVELY & PINKOSON ET AL
413 W UNIVERSITY AVE
GAINESVILLE, FL 32601

14552-802-000 DB-16-38 SPL
WYLIE E III LOVELADY
408 UNIVERSITY AVE UNIT 8-B
GAINESVILLE, FL 32601-5281

14299-001-000 DB-16-38 SPL
LORRAINE V MCGILL
1608 SW 56TH PL
GAINESVILLE, FL 32608

14754-000-000 DB-16-38 SPL
CARL G NELSON
301 NW 2ND ST
GAINESVILLE, FL 32601

12950-001-000 DB-16-38 SPL
STEVE NICHTBERGER
7405 MILLHOPPER RD
GAINESVILLE, FL 32653-3036

14724-000-000 DB-16-38 SPL
NORTHWEST PROPS OF GAINESVILLE LTD
220 N MAIN ST
GAINESVILLE, FL 32601-5318

13461-000-000 DB-16-38 SPL
PRESBYTERIAN CHURCH
106 SW 3RD ST
GAINESVILLE, FL 32601-6220

14261-000-000 DB-16-38 SPL
COLEN M RATLIFF
PO BOX 13475
GAINESVILLE, FL 32604

14284-000-000 DB-16-38 SPL
RICHARD & PHOEBE MILES LLC
3909 HARRISON ST NW
WASHINGTON, DC 20015

14553-103-000 DB-16-38 SPL
STEVEN A ROBICSEK
408 W UNIVERSITY AVE 10-C
GAINESVILLE, FL 32601

14648-000-000 DB-16-38 SPL
ROBOCORP LLC
30 NORTH MAIN ST
GAINESVILLE, FL 32601

14552-903-000 DB-16-38 SPL
SEAGLE BLDG CONDO ASSOC
408 W UNIVERSITY AVE STE 307
GAINESVILLE, FL 32601

14271-000-000 DB-16-38 SPL
SEMRANI HOLDINGS INC
408 W UNVIERSTY AVE STE 10-B
GAINESVILLE, FL 32601

14259-000-000 DB-16-38 SPL
MARTIN SIMPSON
8005 SW 47TH CT
GAINESVILLE, FL 32608

14753-000-000 DB-16-38 SPL
EMILY A SNIDER
307 NW 2ND ST
Gainesville, FL 32601

14254-000-000 DB-16-38 SPL
CAROLYN M TUCKER
5516 NW 33RD AVE
GAINESVILLE, FL 32606-6965

14553-104-000 DB-16-38 SPL
MELISSA M VU
408 W UNIVERSITY AVE APT 10-D
GAINESVILLE, FL 32601

14552-803-000 DB-16-38 SPL
GREGORY D WEBSTER
408 WEST UNIVERSITY AVE APT 8C
GAINESVILLE, FL 32601

14276-000-000 DB-16-38 SPL
JOHN LEE WHITENER
5628 SAINT CLAIR AVE
VALLEY VILLAGE, CA 91607-1725

12951-000-000 DB-16-38 SPL
J C WISE SR
PO BOX 13433
GAINESVILLE, FL 32604



May 27, 2016 (Revised June 23, 2016)

Sent via: e-mail

City of Gainesville
Andrew Persons, AICP, LEED GA
Interim Principal Planner/Customer Relations
PO Box 490
Station 12
Gainesville, FL 32627

Re: Request for Exceptions for DB-16-00038 Major Development – EZ 238 W. University Avenue
CMA Project No: 195.004

Dear Mr. Persons:

Below please find a detailed explanation of the requested exceptions and waivers for the project.

Exception 1: The Applicant requests an exception where the first floor structured parking deck abuts the NW 3rd Street, NW 1st Ave, NW 2nd Ave, and NW 2nd Street frontages. The Applicant is seeking relief from the Traditional City Special Area Plan which requires retail, office or residential uses on the first floor abutting all public streets and sidewalks to be placed in front of any structured parking facilities. The ground floor space which would be occupied by these uses is needed in order to accommodate internal parking for the project. The development proposes the addition of 297 housing units downtown, where parking is limited. In an effort to attract residents the project intends to provide (1) one parking space per unit. The project has been designed to provide 291 parking spaces located on the ground floor of the proposed structures, occupying all available space for liner buildings on the aforementioned streets. There are no other options available to the project. The project will have a leasing office at the corner of University Ave. and NW 3RD St. and retail use along University Ave to help satisfy the requirements of the SAP. The Applicant, under separate application, is also requesting the vacation of the right of way of NW 1st Avenue between NW 2nd and NW 3rd Streets. Should this vacation be granted, the exception for NW 1st Avenue would be unnecessary. Retail/office/residential uses along NW 3rd Street, NW 1st Ave, NW 2nd Ave and NW 2nd Street frontages cannot be provided because it reduces the amount of space available for interior parking. In order to improve this condition, the required percentage of glazing has been provided on the structure facades. This glazing and other decorative architectural elements are framed in storefront systems that provide a retail or office appearance to ameliorate the situation. While the project will house office and retail uses along W. University Ave., its most significant contribution is bringing residents to Downtown Gainesville in keeping with the intent of the Special Area Plan to provide patrons for adjacent non-residential uses. Additionally, the increase of residential units with windows facing all adjacent streets will increase public safety with "eyes on the street" and the utilization of vacant lots will increase property values and tax revenue.

We believe this exception is defensible because the proposed project will result in a high-density mixed-use development that meets the needs outlined by the Special Area Plan for the Traditional City Area Development Standards. The project will improve the sense of place and community and the environment for business by providing much needed high-density residential development in the

urban core. It will support a healthy economy by providing a mix of office, retail and residential uses in close proximity and reduce crime by encouraging a 24-hour mix of uses and a significant number of pedestrians. The interesting people-scaled features will make the pedestrian feel safe and convenient while still allowing for the circulation of vehicular traffic. The additional availability of housing in the urban core will improve the independence of persons without access to a car by placing them in close proximity to daily amenities.

Exception 2: A waiver is requested for relief from the City's photometric requirements to allow light levels along NW 1st Ave to exceed 1.0 footcandle. The light trespass is generated from the proposed street lights onto the current City Right of Way. The developer has started the procedure to vacate the city right of way and will assume responsibility, therefore the lighting trespass will take place onto a street internal to the Project. Pedestrian scale lighting will enhance the pedestrian experience in keeping with section 3.1.7 of the city's comprehensive plan. Additionally, such lighting will increase life safety by creating a safer environment for both pedestrians and vehicles.

Exception 3: An exception is being requested for the Build to Lines for the full perimeter of the project. The underlying zoning for the project permits the applicant to bring the building façade to the property line and the full lot area is needed to accommodate parking for the project. The applicant has provided sufficient sidewalk width for the project necessary to provide clear pedestrian passage for the public in and around the project site. The deficiencies are as follows:

1. Along University Avenue 10 feet is proposed where 14 feet is required. In the case of this frontage, we are extending the urban edge which is established by neighboring properties. The building is placed to be consistent with the existing condition.
2. Along NW 3rd Street 7 feet is proposed where 11 feet is required.
3. Along NW 1st Avenue 7 feet is proposed where 11 feet is required.
4. Along NW 2nd Street 7 feet is proposed where 11 feet is required.
5. Along NW 2nd Avenue 10 feet is proposed where 11 feet is required.

In all cases, it is necessary to utilize the full lot area of the property in order to accommodate the internal parking necessary to support the development of the project.

Exception 4: An exception is being requested for where the proposed surface parking lot exceeds 70' along NW 2nd Ave. The applicant has provided a screening wall as shown on the plans. The wall must be broken to allow pedestrian access every 50' unless an exception is granted by the board. The Applicant has provided strategically placed entrances at the corner near stairwells accessing the buildings. Meeting this standard would require the applicant to provide a pedestrian entrance into a parking area that lacks a pedestrian network creating an unsafe condition for pedestrians. Applicant believes providing two entrances at east and west ends of the parking lot is safer and meets the intent of the need for access from NW 2nd Avenue.

Exception 5: A waiver is being requested for a Reductions in the number of required street trees and the use of a small street tree due to a utility easement for a proposed GRU gas line. The requirements and number of provided street trees are as follows:

NW 3rd Street (north of 1st avenue)	Required	2.48	Provided	1
NW 3rd Street (south of 1st avenue)	Required	6	Provided	0

Trees will be provided along face of building, but

NW 1st Avenue (north side)	Required	11.07	Provided	11*
--	----------	-------	----------	-----

*Proposed Gas line requires proposed trees to have a 10' setback. GRU will consider a reduced setback to 5', if a small tree species is used like a crape myrtle.

NW 1st Avenue (south side)	Required	6.84	Provided	8
--	----------	------	----------	---

Applicant is also providing 3 street trees in front of adjacent parcel not required by the project in order to complete the streetscape fully.

NW 2nd Avenue	Required	7.2	Provided	5
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(1) One existing heritage oak has been preserved and is not counted towards the five provided. Applicant requests consideration for the preservation of the Heritage Oak.

NW 2nd Street (north of 1st ave)	Required	5.22	Provided	5
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University Avenue	Required	7.83	Provided	7
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Applicant has coordinated with Urban Forestry to accept Tulip Poplars in-lieu of Live Oaks due to space limitations caused by FDOT requirements for set back from the edge of curb.

The applicant is willing to plant any remaining trees that cannot be accommodated on the project site at a location provided by the City of Gainesville in order to meet the mitigation requirements.

Exception 6: A waiver is being requested along the north side of NW 1st Ave. where the unobstructed width is below 5'. Due to the proposed GRU gas line and the required setbacks for the proposed trees, the unobstructed width between the trees and the curb ranges from 4'-0" to 4'-6".

Respectfully Submitted,

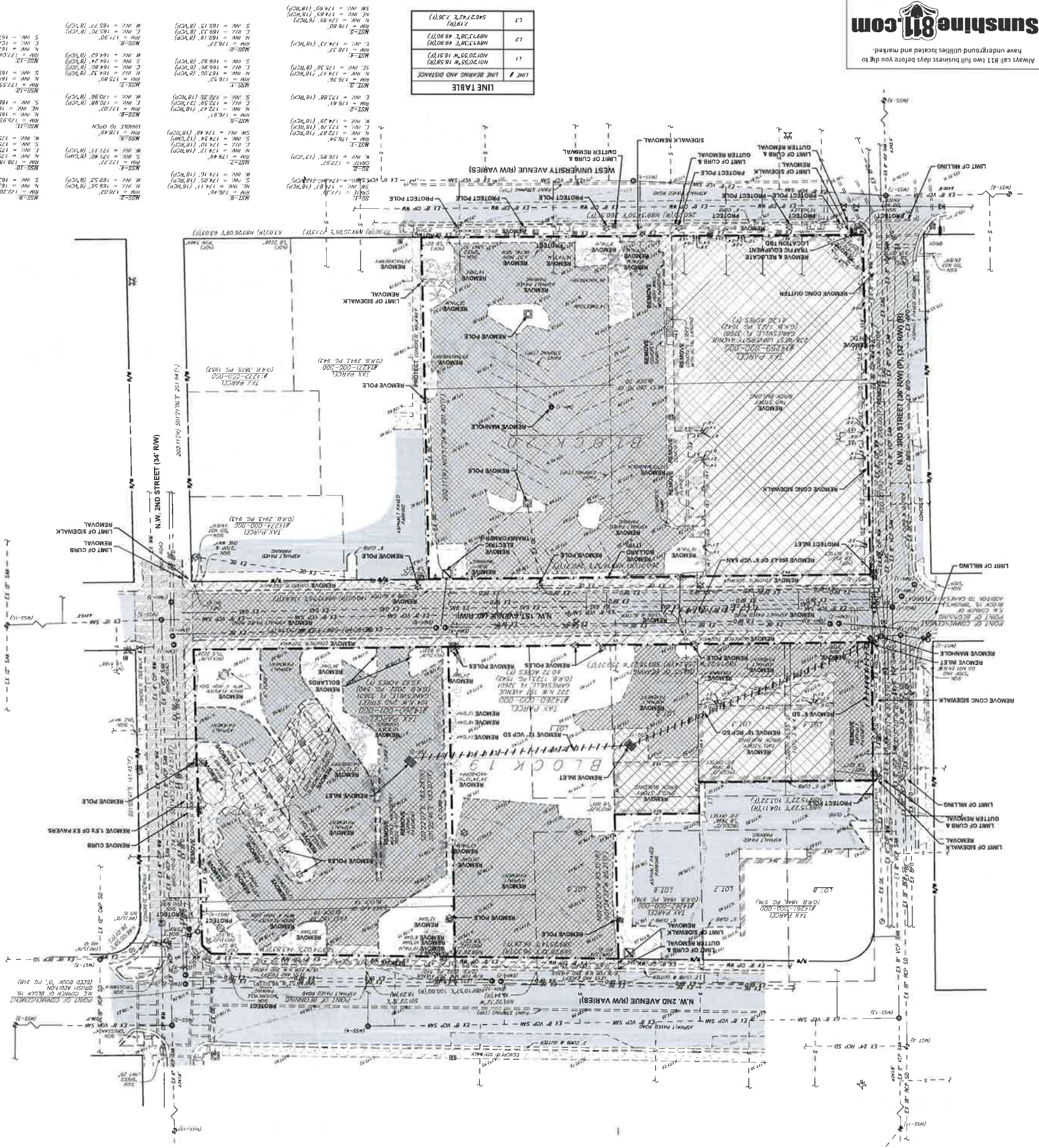


CHEN MOORE AND ASSOCIATES
Cristobal Betancourt, RLA
Director

cb

Always call 811 two full business days before you dig to find out where underground utilities are located and marked.

LINE TABLE	
LINE #	LINE REMARKS AND DISTANCE
L1	N107055.7' 16.84(8') 179.0'
L2	N897139.1' 49.80(7') 179.0'
L3	S462742.1' 2.38(1') 179.0'



DEVELOPMENT REVIEW PACKAGE

- EXISTING CONDITIONS NOTES:**

 1. ALL INFORMATION AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES, 1961, DATED 1/15/16. ADDITIONAL INFORMATION WAS OBTAINED FROM SURVEY PROVIDED BY DERBY LAND AND SURVEY, PROJECT NUMBER 15-195.004.
 2. ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 3. CONSTRUCTION IS TO PROTECT ALL EXISTING TREES, SIGNS, AND ABOVE GROUND UTILITIES NOT IMPACTED BY THIS PLAN.
 4. REMOVALS ARE BASED ON A RECORDED CALL OF SOUTHERN BELL WEST FOR THE SOUTHERN BELL FLOOD ZONE 'X' MAP AREAS.
 5. THIS PROPERTY IS LOCATED IN FLOOD ZONE 'X' MAP AREAS EFFECTIVE DATE 12/18/2006 BASED ON AN INTERPRETATION OF FIRM PANEL NO. 175101 0314 D-1.
 6. FIRM PANEL NO. 175101 0314 D-1.
 7. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- DEMOLITION NOTES:**

 1. ALL EXISTING FEATURES WITHIN THE PROPERTY BOUNDARY ARE TO BE REMOVED.
 2. BEFORE PROCEEDING WITH DEMOLITION OPERATIONS, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GAINESVILLE, FLORIDA.
 3. MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
 4. OCCUPANCY ON THESE FACILITIES WITHOUT REMOVED DEMOLITION SHALL BE MAINTAINED UNTIL THE DEMOLITION OPERATIONS ARE COMPLETED.
 5. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO EQUIVALENT DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION TO REMAIN.
 6. MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS TO REMOVE DEMOLITION DEBRIS.
 7. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
 8. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 9. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 10. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 11. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 12. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 13. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 14. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
 15. EXISTING UTILITIES SHALL BE CLEANED OR RUSTY, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, RETURN ADJACENT AREAS TO ORIGINAL CONDITION.
- GENERAL NOTES:**

 1. ALL INFORMATION AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES, 1961, DATED 1/15/16. ADDITIONAL INFORMATION WAS OBTAINED FROM SURVEY PROVIDED BY DERBY LAND AND SURVEY, PROJECT NUMBER 15-195.004.
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 4. REMOVALS ARE BASED ON A RECORDED CALL OF SOUTHERN BELL WEST FOR THE SOUTHERN BELL FLOOD ZONE 'X' MAP AREAS EFFECTIVE DATE 12/18/2006 BASED ON AN INTERPRETATION OF FIRM PANEL NO. 175101 0314 D-1.
 5. THIS PROPERTY IS LOCATED IN FLOOD ZONE 'X' MAP AREAS EFFECTIVE DATE 12/18/2006 BASED ON AN INTERPRETATION OF FIRM PANEL NO. 175101 0314 D-1.
 6. FIRM PANEL NO. 175101 0314 D-1.
 7. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

CHEN-MOORE ASSOCIATES

14 East University Avenue
Suite 206
Gainesville, FL 32601
352.374.1997
www.chenmoore.com

CERTIFICATES OF AUTHORIZATION
E84593 LCZ600425

REGISTRATION
REGISTRATION NO.
DATE:

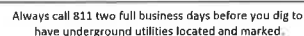
SUB-CONSULTANT
KLM Properties Inc.

CLIENT
238 W
UNIVERSITY
GAINESVILLE, FLORIDA
PROJECT NUMBER
15-195.004
CLIENT PROJECT NUMBER
15-195.004

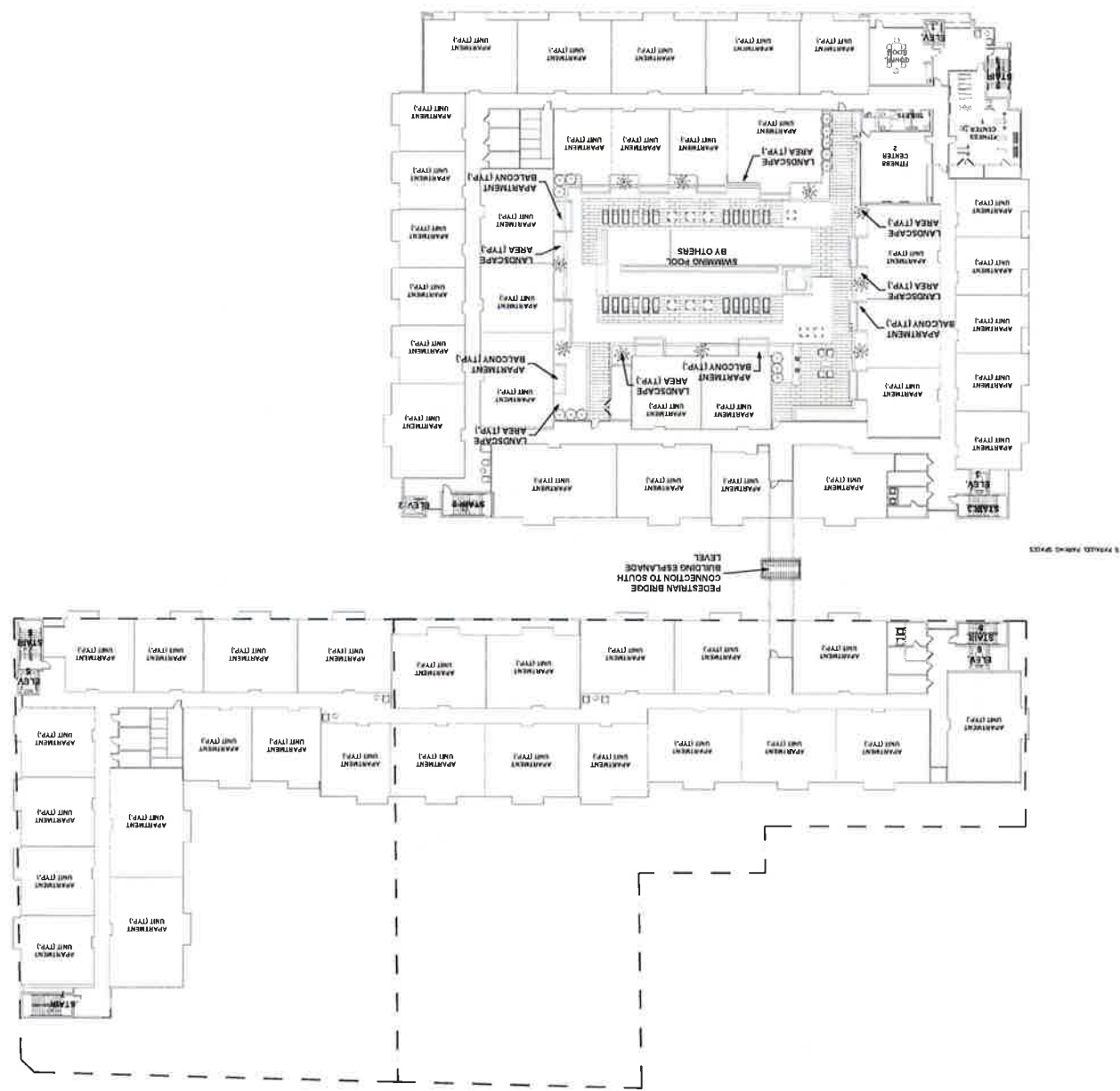
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IF NOT INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY
0" = 1" 1"

DESIGNED BY
DATE OF ISSUE
03/01/16

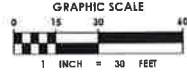
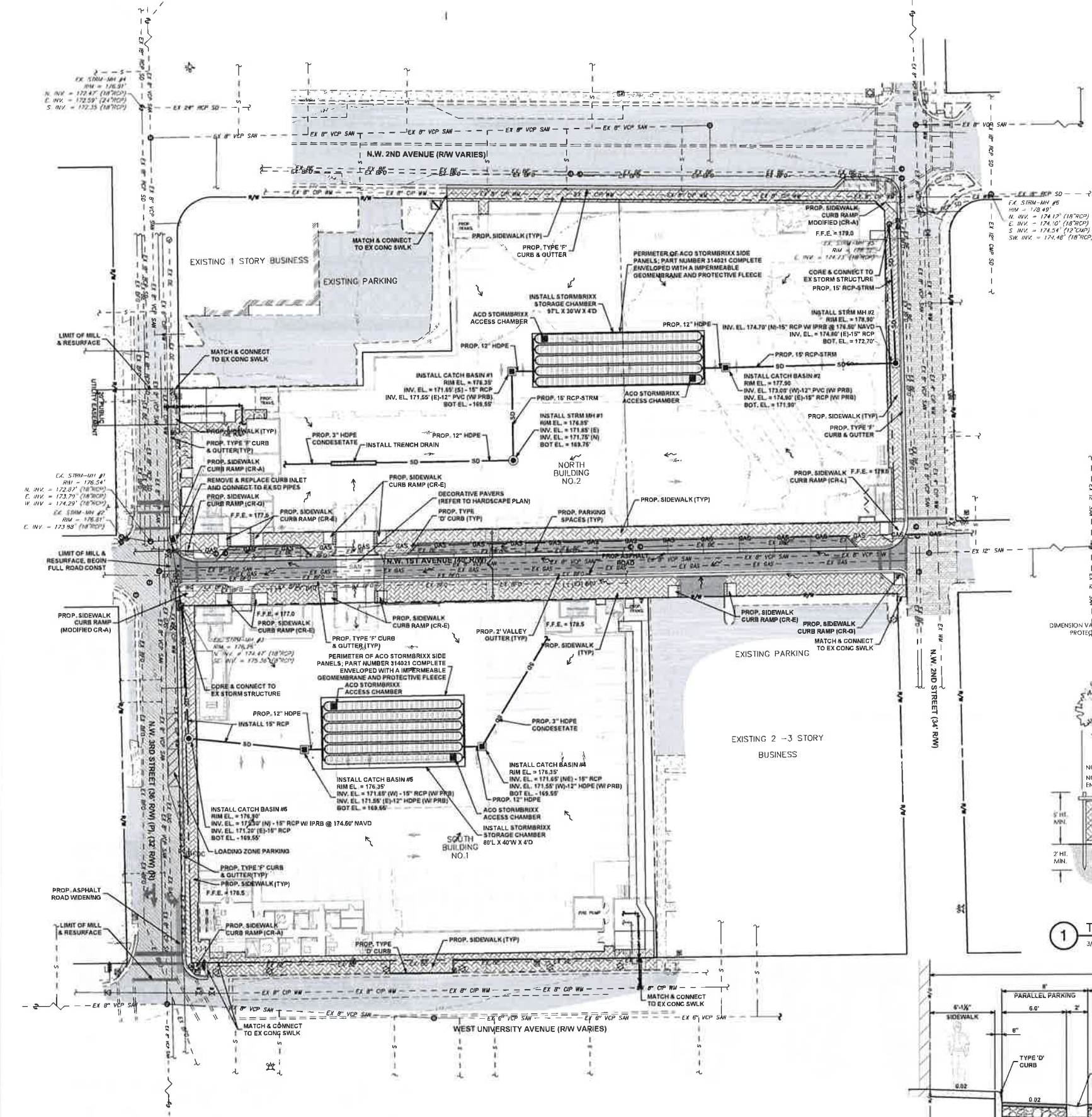
DRAWN BY
CHECKED BY
DRAWING TITLE
EXISTING
CONDITIONS
AND DEMOLITION
PLAN
DRAWING NUMBER
C1.01
2 OF 00



Plot Date: 5/17/2016 12:08:33 PM Username: jsutton Layout Name: C2.01
Folder Path: V:\Projects\2015\15-195 004 - 238 W University Avenue\Design\CAD\Plans
Filename: 15-195 004 Site Plan.dwg



Always call 811 two full business days before you dig to have underground utilities located and marked.



LEGEND

	PROPOSED ASPHALT
	PROPOSED ASPHALT MILL & RESURFACING
	PROPOSED PAVEMENT
	PROPOSED SURFACE FLOW ARROW
	PROPOSED STORM DRAIN PIPE
	PROPOSED CATCH BASIN OR INLET
	PROPOSED STORM MANHOLE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
	PROPOSED WATER MAIN
	PROPOSED GAP
	PROPOSED TAP SLEEVE AND VALVE
	PROPOSED BACKFLOW PREVENTER
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
	EXISTING STORM DRAIN PIPE
	EXISTING BURIED FIBER-OPTIC LINES
	EXISTING BURIED ELECTRIC LINES
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING CABLE TELEVISION BOX
	EXISTING CURB INLET
	EXISTING CONCRETE LIGHT POLE
	EXISTING CLEAN-OUT
	EXISTING CROSSWALK SIGNAL POLE
	EXISTING ELECTRIC BOX
	EXISTING ELECTRIC METER
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC MANHOLE
	EXISTING FIRE DEPARTMENT CONNECTION
	EXISTING GUY WIRE
	EXISTING FIRE HYDRANT
	EXISTING LIGHT POLE
	EXISTING MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM WATER MANHOLE
	EXISTING SIGN
	EXISTING SEWER VALVE
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING TRAFFIC SIGNAL POLE
	EXISTING WATER METER
	EXISTING WOOD POWER POLE
	EXISTING WATER VALVE
	EXISTING RIGHT-OF-WAY
	EXISTING REINFORCED CONCRETE PIPE
	EXISTING CORRUGATED METAL PIPE
	EXISTING MINNED CLAY PIPE

GENERAL NOTES:

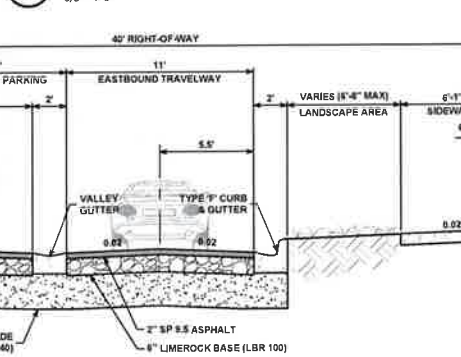
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, WHETHER SHOWN OR NOT, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON FIELD OBSERVATION AND/OR AVAILABLE PLANS. THE EXACT LOCATION MAY VARY. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- ALL EXISTING MANHOLES, VALVES, ETC. ARE TO BE ADJUSTED TO MATCH PROPOSED ELEVATIONS.
- ANY EXISTING ITEM DISTURBED DURING CONSTRUCTION IS TO BE RESTORED TO EQUAL OR BETTER QUALITY.
- PAVEMENT AND DRIVEWAY RESTORATION ARE TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.

PAVING, GRADING AND DRAINAGE NOTES:

- MINIMUM FINISHED FLOOR ELEVATION = 176.60' NAVD. ACTUAL BUILDING ELEVATIONS WILL BE DESIGNED AND SUBMITTED FOR PERMITS PRIOR TO CONSTRUCTION.
- ALL SIDEWALKS SHALL MEET ALL A.D.A. REQUIREMENTS (5% MAX. LONGITUDINAL SLOPE AND 2% MAX. TRANSVERSE SLOPE).
- ALL INLETS SHALL BE TYPE 'C' AND MANHOLES SHALL BE TYPE 'P-T' 4' O.D. ALL H-20 RATED, UNLESS OTHERWISE NOTED ON PLAN.
- CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM 176-78, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.
- BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" DIAMETER.
- BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- DRAINAGE STRUCTURES AND LINES TO BE CLEANED PRIOR TO ENGINEER'S ACCEPTANCE.
- CONTRACTOR TO PROVIDE DETAILED AS-BUILT SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO ALL RIM ELEVATIONS (EXISTING AND PROPOSED STRUCTURES), ALL INVERTS, BOTTOM OF STRUCTURE, SUFFICIENT SWALE ELEVATIONS TO DEMONSTRATE THAT SWALES DRAIN TO INLETS, LOCATION OF EXFILTRATION TRENCH, LOCATION OF DRIVEWAY RESTORATION, AND RESTORED ASPHALT PAVEMENT.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOA AREAS SHALL BE REMOVED AND 3" OF CLEAN FLORIDA FILL OF PH 5.6-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
- OPEN CUT RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH FOOT INDEX 307, AND USING THE FLOWABLE FILL OPTION.

1 TREE PRESERVATION BARRICADE FENCING

3/8" = 1'-0"



TYPICAL SECTION - NW 1st AVENUE

N.T.S.

DEVELOPMENT REVIEW PACKAGE



& ASSOCIATES

14 East University Avenue

Suite 206

Gainesville, FL 32601

352.374.1997

www.chenmoore.com

CERTIFICATES OF AUTHORIZATION

EB4593 LC26000425

REGISTRATION

REGISTRATION NO. ----

DATE: ----

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W

UNIVERSITY

GAINESVILLE, FLORIDA

PROJECT NUMBER

15-195.004

CLIENT PROJECT NUMBER

VERIFY SCALES

0" = 1"

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DATE OF ISSUE

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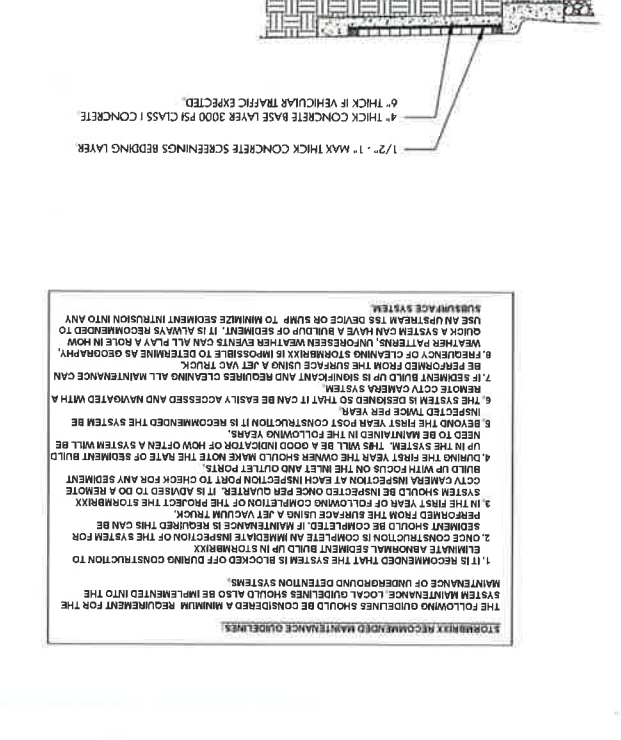
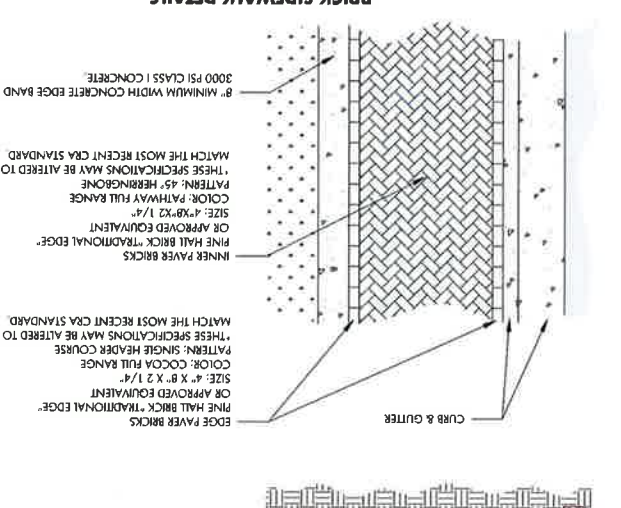
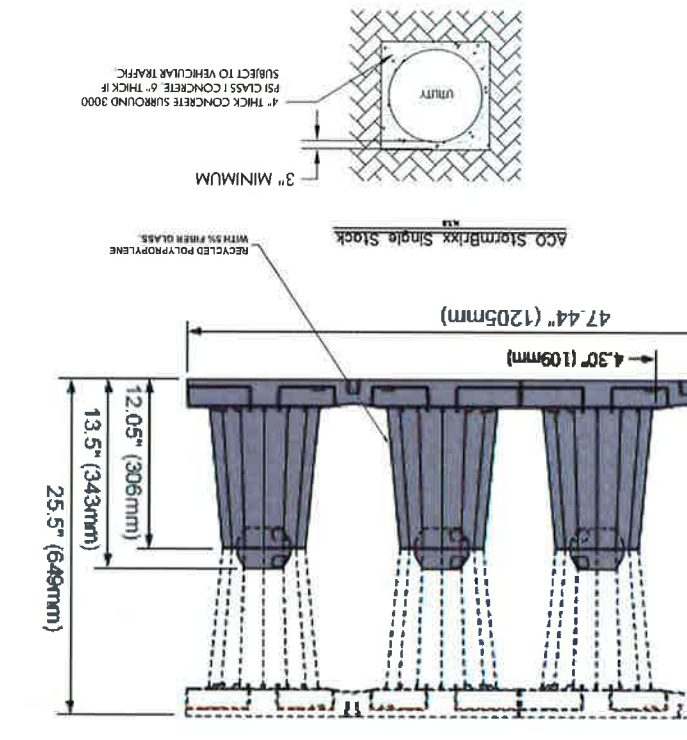
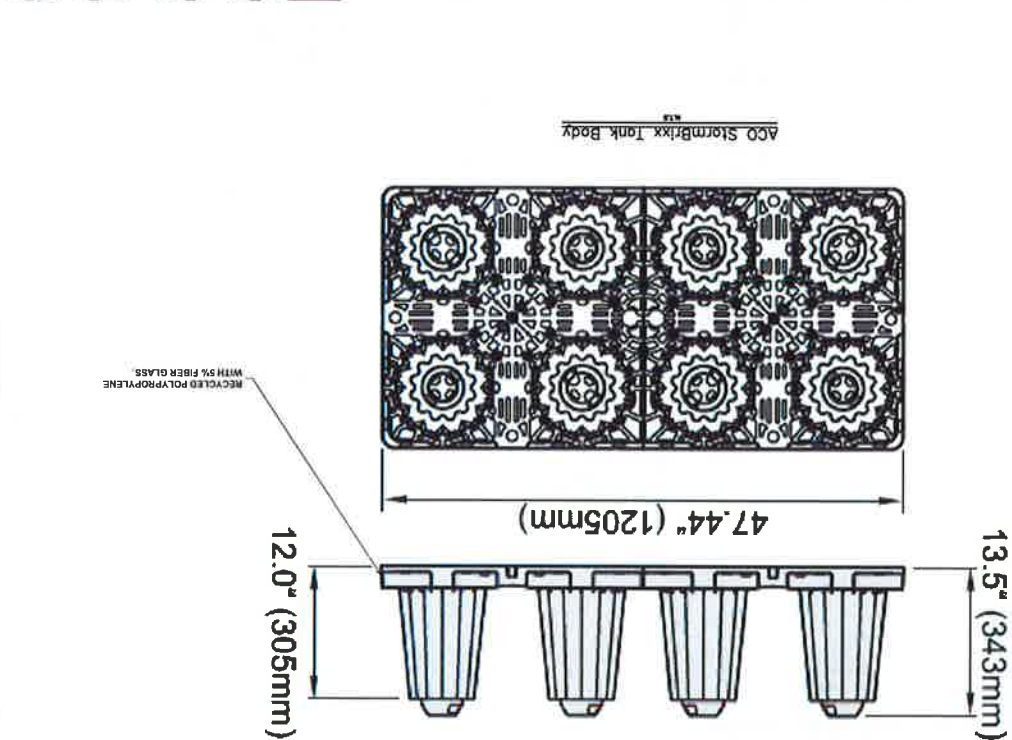
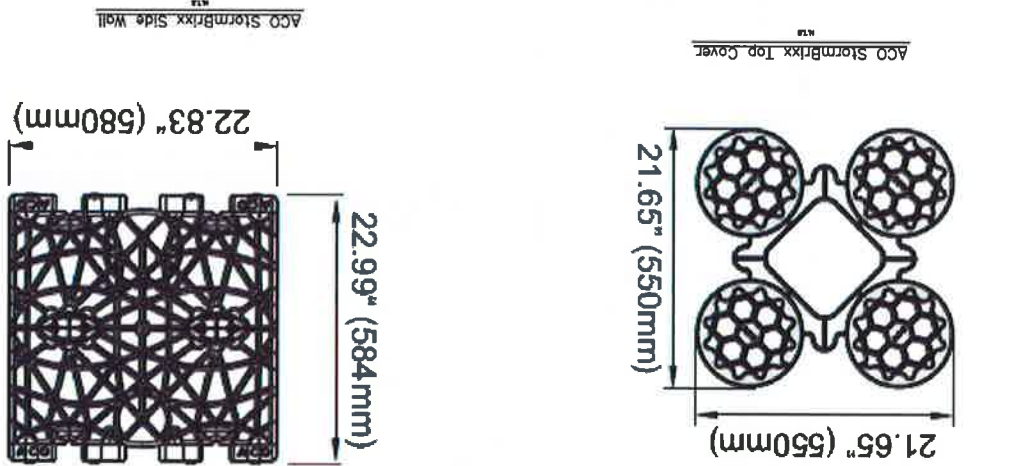
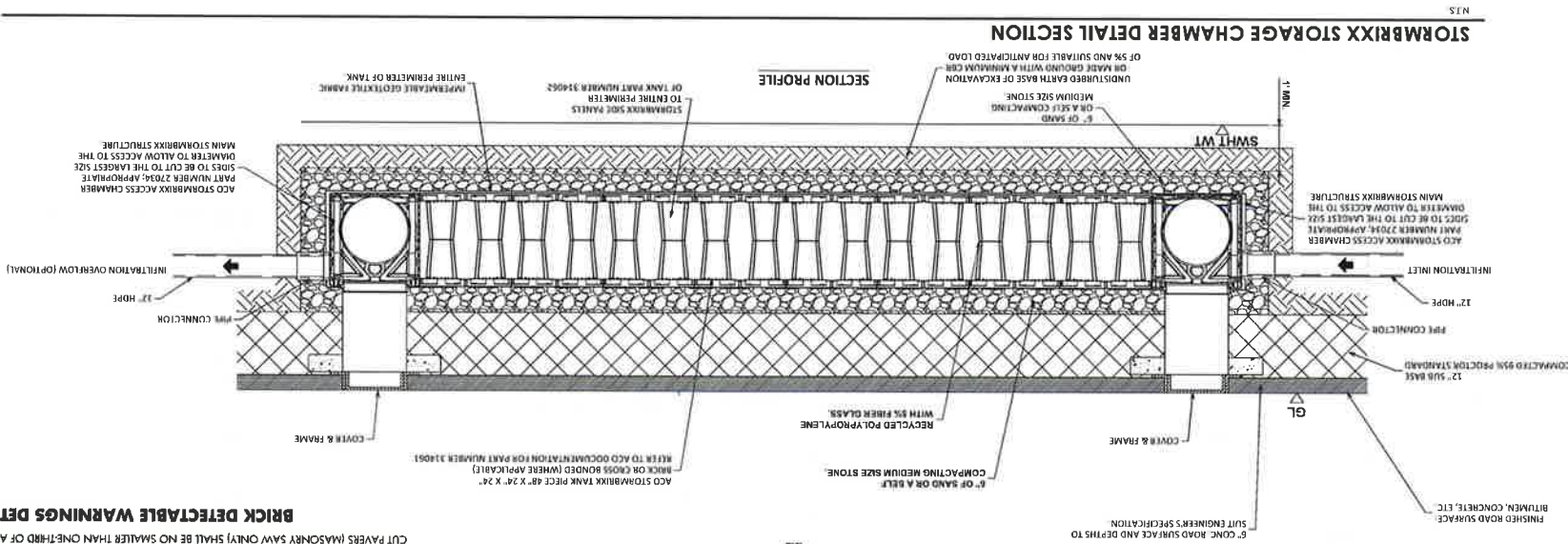
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PAVING AND DRAINAGE PLAN

DRAWING NUMBER

C3.01

5 OF 00



STORMBRIXX RECOMMENDED MAINTENANCE GUIDELINES.

THE FOLLOWING GUIDELINES SHOULD BE CONSIDERED A MINIMUM REQUIREMENT FOR THE SYSTEM MAINTENANCE. LOCAL GUIDELINES SHOULD ALSO BE IMPLEMENTED INTO THE MAINTENANCE OF UNDERGROUND DETENTION SYSTEMS.

1. IT IS RECOMMENDED THAT THE SYSTEM IS BLOCKED OFF DURING CONSTRUCTION TO ELIMINATE AVOIDANCE OF UNDESIRABLE BUILD UP IN THE SYSTEM.

2. ONCE CONSTRUCTION IS COMPLETE, AN IMMEDIATE INSPECTION OF THE SYSTEM FOR SEDIMENT SHOULD BE COMPLETED. IF MAINTENANCE IS REQUIRED THIS CAN BE PERFORMED FROM THE SURFACE USING A 6" MAXIMUM THROCK.

3. IN THE FIRST YEAR OF OPERATION, CONSTRUCTION OF THE PROJECT THE STORMBRIXX CCTV CAMERA INSPECTION AT EACH INSPECTION POINT TO CHECK FOR ANY SEDIMENT BUILD UP WITH FOCUS ON THE INLET AND OUTLET POINTS.

4. DURING THE FIRST YEAR THE OWNER SHOULD MAKE NOTE OF HOW OFTEN A SYSTEM WILL BE USED TO BE MAINTAINED IN THE FOLLOWING YEARS.

5. IN THE SYSTEM, THIS WILL BE A GOOD INDICATION OF HOW OFTEN A SYSTEM WILL BE USED TO BE MAINTAINED IN THE FOLLOWING YEARS.

6. INSPECT TWICE PER YEAR.

7. IF SEDIMENT BUILD UP IS SIGNIFICANT AND REQUIRES CLEANING ALL MAINTENANCE CAN REMOTE CCTV CAMERA SYSTEM.

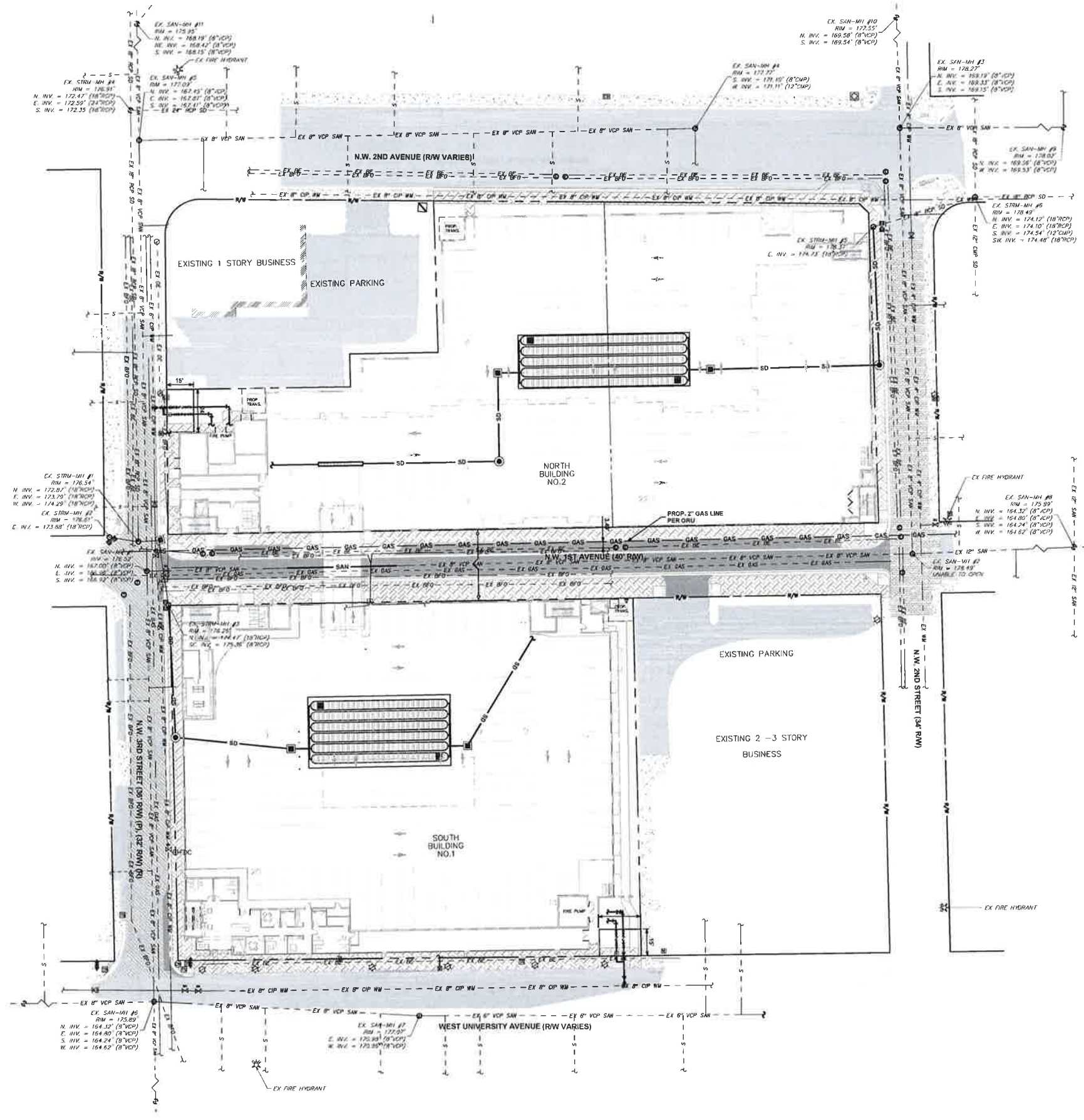
8. THE SYSTEM IS DESIGNED SO THAT IT CAN BE EASILY ACCESSED AND MANAGED WITH A REMOTE CCTV CAMERA SYSTEM.

9. IF SEDIMENT BUILD UP IS SIGNIFICANT AND REQUIRES CLEANING ALL MAINTENANCE CAN REMOTE CCTV CAMERA SYSTEM.

10. FREQUENCY OF CLEANING STORMBRIXX IS IMPOSSIBLE TO DETERMINE AS GEOGRAPHY, WEATHER PATTERN, UNFORESEEN WEATHER EVENTS CAN ALL PLAY A ROLE IN HOW STORMBRIXX IS USED.

11. USE AN APPROPRIATE TSS DEVICE OR SUMP TO MINIMIZE SEDIMENT INTRUSION INTO ANY USE AN APPROPRIATE TSS DEVICE OR SUMP TO MINIMIZE SEDIMENT INTRUSION INTO ANY USE AN APPROPRIATE TSS DEVICE OR SUMP TO MINIMIZE SEDIMENT INTRUSION INTO ANY

Always call 811 two full business days before you dig to have underground utilities located and marked.



NOTE:
N.W. 1ST AVE. RW TO BE VACATED
AND BECOME A PRIVATE ROAD.
A BLANKET UTILITY EASEMENT TO BE
PROVIDED TO GRU

LEGEND

	PROPOSED SANITARY SEWER MAIN
	PROPOSED SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
	PROPOSED WATER MAIN
	PROPOSED CAP
	PROPOSED TAP SLEEVE AND VALVE
	PROPOSED BACKFLOW PREVENTER
	PROPOSED STORM DRAIN PIPE
	PROPOSED CATCH BASIN OR INLET
	PROPOSED STORM MANHOLE
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING SERVICE LATERAL INCLUDING PLUG AND CLEANOUT
	EXISTING STORM DRAIN PIPE
	EXISTING BURIED FIBER-OPTIC LINES
	EXISTING BURIED ELECTRIC LINES
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING CABLE TELEVISION BOX
	EXISTING CURB INLET
	EXISTING CONCRETE LIGHT POLE
	EXISTING CLEAN-OUT
	EXISTING CROSSWALK SIGNAL POLE
	EXISTING ELECTRIC BOX
	EXISTING ELECTRIC METER
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC MANHOLE
	EXISTING FIRE DEPARTMENT CONNECTION
	EXISTING GUY WIRE
	EXISTING FIRE HYDRANT
	EXISTING LIGHT POLE
	EXISTING MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM WATER MANHOLE
	EXISTING SIGN
	EXISTING SEWER VALVE
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING TRAFFIC SIGNAL POLE
	EXISTING WATER METER
	EXISTING WOOD POWER POLE
	EXISTING WATER VALVE
	EXISTING RIGHT-OF-WAY
	EXISTING REINFORCED CONCRETE PIPE
	EXISTING CORRUGATED METAL PIPE
	EXISTING WRAPPED CLAY PIPE

GAINESVILLE REGIONAL UTILITIES NOTES:

- ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, & RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS.
- POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM TREES, BUILDINGS, TRANSFORMERS, AND ALL PERMANENT STRUCTURES. LIVE OAK TREES REQUIRE AN ADDITIONAL 5 FEET OF HORIZONTAL CLEARANCE. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES. NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 2' SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
- POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKES ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKES, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU WWW.GRU.CONSTRUCTION DETAIL W-8.6), WITH A ONE-YEAR WARRANTY.
- 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
- WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (5 FEET WITHIN CITY OF GAINESVILLE LIMITS). TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
- 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENGAGED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (5' WITHIN CITY OF GAINESVILLE LIMITS).
- ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
- ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS; A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.8 & 2.9, RCW-2.8 & 2.9, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE REQUIRED RESTRAINT LENGTH DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
- ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 35) AT 1.5% MIN. SLOPE UNLESS OTHERWISE LABELED.
- WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS ADJACENT TO PAVED AREAS SHALL BE RATED FOR TRAFFIC LOAD BEARING. WASTEWATER CLEANOUT COVERS IN OTHER SIDEWALKS/PAVEMENTS SHALL BE BRASS WITH A SQUARE RECESS.
- MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
- UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF THE CLEANOUT.
- WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, WHETHER SHOWN OR NOT, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON FIELD OBSERVATION AND/OR AVAILABLE PLANS. THE EXACT LOCATION MAY VARY. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- ALL EXISTING MANHOLES, VALVES, ETC. ARE TO BE ADJUSTED TO MATCH PROPOSED ELEVATIONS.
- ANY EXISTING ITEM DISTURBED DURING CONSTRUCTION IS TO BE RESTORED TO EQUAL OR BETTER QUALITY.
- PAVEMENT AND DRIVEWAY RESTORATION ARE TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.

REGISTRATION

REGISTRATION NO. ----
DATE: ----

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W
UNIVERSITY

GAINESVILLE, FLORIDA

PROJECT NUMBER
15-195.004

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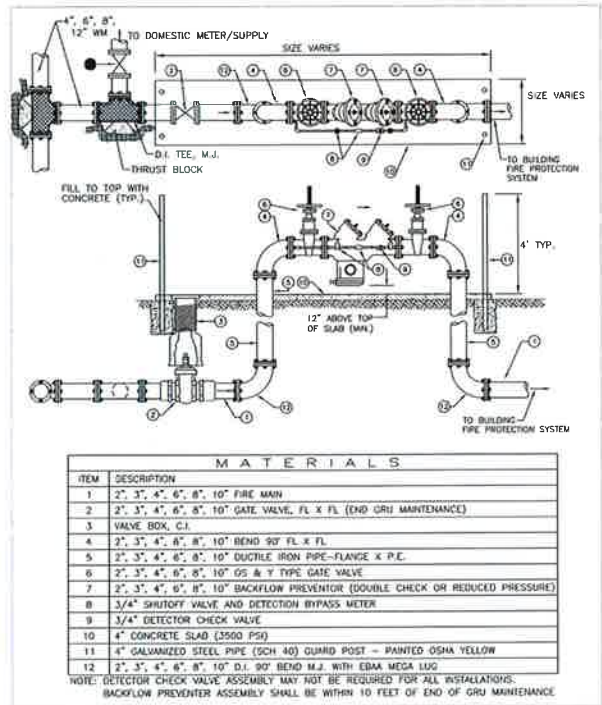
UTILITY PLAN

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C4.00
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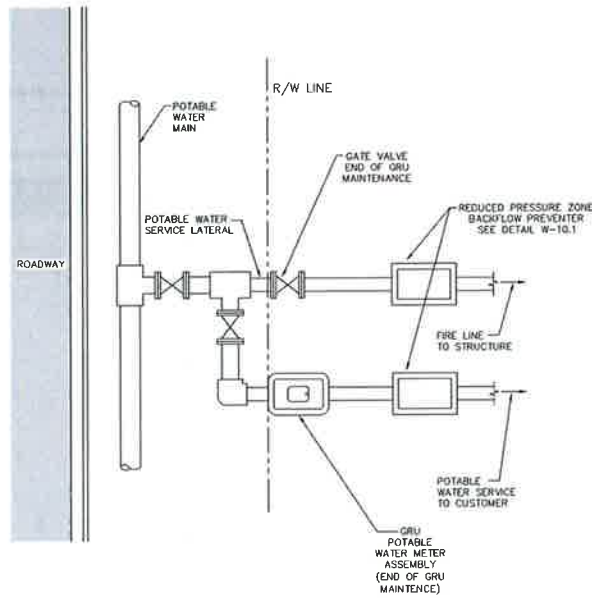
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MATERIALS	
ITEM	DESCRIPTION
1	2", 3", 4", 6", 8", 10" FIRE MAIN
2	2", 3", 4", 6", 8", 10" GATE VALVE, FL X FL (END GRU MAINTENANCE)
3	VALVE BOX, C.I.
4	2", 3", 4", 6", 8", 10" BEND 90° FL X FL
5	2", 3", 4", 6", 8", 10" DUCTILE IRON PIPE-FLANGE X P.F.
6	2", 3", 4", 6", 8", 10" OS & Y TYPE GATE VALVE
7	2", 3", 4", 6", 8", 10" BACKFLOW PREVENTOR (DOUBLE CHECK OR REDUCED PRESSURE)
8	3/4" SHUTOFF VALVE AND DETECTION BYPASS METER
9	3/4" DETECTOR CHECK VALVE
10	4" CONCRETE SLAB (3500 PSI)
11	4" GALVANIZED STEEL PIPE (SCH 40) GUARD POST - PAINTED OSHA YELLOW
12	2", 3", 4", 6", 8", 10" D.I. 90° BEND M.J. WITH EDAA MEGA LUG

NOTE: DETECTOR CHECK VALVE ASSEMBLY MAY NOT BE REQUIRED FOR ALL INSTALLATIONS. BACKFLOW PREVENTER ASSEMBLY SHALL BE WITHIN 10 FEET OF END OF GRU MAINTENANCE.

Revision Date: 9/8/08	GRU Gainesville Regional Utilities Potable Water Construction Details More than 1000s 2", 3", 4", 6", 8", 10" FIRELINE CONNECTION DOUBLE CHECK OR REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY W-10.3
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Revision Date: 2/20/08	GRU Gainesville Regional Utilities Potable Water Construction Details More than 1000s BACKFLOW PREVENTER INSTALLATION ON POTABLE WATER SERVICE TO RESIDENCE FIRE LINE W-10.0
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- CONTRACTOR RESPONSIBILITIES**
CONTRACTOR TO CALL GRU AT 352-393-1633 AT LEAST 48 HOURS IN ADVANCE TO NOTIFY GRU WHEN WORK WILL BEGIN AT THE SITE. THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING ON-SITE WITH GRU INSPECTOR. CONTRACTOR SHALL COORDINATE WITH GRU WWWW SYSTEM INSPECTOR TO PERFORM WORK IN PROGRESS INSPECTIONS AT VARIOUS TIMES DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING ITEMS:
- POTABLE WATER/RECLAIMED WATER:**
1. INSPECTION OF CONNECTIONS TO EXISTING GRU INFRASTRUCTURE AND BACKFILL ON MAIN LINE.
 2. VISUAL INSPECTION OF ALL MECHANICAL JOINT RESTRAINTS AND THRUST BLOCKS BEFORE BACKFILLING.
 3. CONTRACTOR SHALL COORDINATE WITH GRU INSPECTOR PRIOR TO STERILIZATION AND PRESSURE TESTING. (NOTE: RECLAIMED WATER LINES DO NOT REQUIRE STERILIZATION).
 4. COORDINATE WITH INSPECTOR AND MUNIPHREE WTP STAFF TO TAKE TWO WATER SAMPLES FOR BACTERIOLOGICAL TESTING ON TWO CONSECUTIVE DAYS (NOTE: DOES NOT APPLY TO RECLAIMED WATER SYSTEMS).
 5. COORDINATE WITH INSPECTOR TO ARRANGE A DATE AND TIME FOR "WALKTHROUGH" WITH WATER DEPARTMENT (NOTE: BEFORE WALKTHROUGH, ALL MAINS MUST BE FLUSHED, HYDRANT PLUMBING AND VALVE BOXES BROUGHT TO GRADE, AND SERVICES SHALL BE VERTICAL WITH CAPS OFF). A WRITTEN REPORT OF DISCREPANCIES (IF ANY) SHALL BE PREPARED BY THE WATER DEPARTMENT AND GIVEN TO THE INSPECTOR AND CONTRACTOR.
 6. CONTRACTOR SHALL NOTIFY INSPECTOR WHEN DISCREPANCIES ARE REPAIRED SO THAT INSPECTOR MAY COORDINATE WITH WATER DEPARTMENT FOR RE-INSPECTION.
 7. WHEN THE SYSTEM HAS PASSED INSPECTION, CONTRACTOR SHALL FURNISH RECORD DRAWINGS AND CERTIFIED COSTS. INSPECTOR SHALL THEN CLOSE-OUT JOB, AND A COMPLETION LETTER SHALL BE SENT BY GRU TO THE DEVELOPER, ENGINEER OF RECORD, AND CONTRACTOR.
- WASTEWATER:**
1. INSPECTION OF CONNECTIONS TO EXISTING GRU INFRASTRUCTURE AND BACKFILL (WITH TYPE A-3) ON MAIN LINE.
 2. INSPECTION TO CONFIRM PROPER GRADE PER GRU STANDARDS AND DRAWINGS ON MAINLINE, VYES, AND LATERALS.
 3. INSPECTION OF COMPLETED WASTEWATER SYSTEM, INCLUDING MANHOLE INVERTS.
 4. COORDINATE WITH INSPECTOR TO ARRANGE FOR TV INSPECTION OF WASTEWATER SYSTEM (NOTE: PRIOR TO TV INSPECTION, LATERALS MUST BE FLUSHED, THE ENTIRE CIRCUMFERENCE OF MAINS JET CLEANED, AND ALL DEBRIS REMOVED). A WRITTEN REPORT OF ANY DISCREPANCIES FOUND SHALL BE PREPARED BY THE WASTEWATER DEPARTMENT AND PROVIDED TO THE INSPECTOR.
 5. CONTRACTOR SHALL NOTIFY INSPECTOR WHEN DISCREPANCIES ARE REPAIRED SO THAT INSPECTOR MAY COORDINATE WITH WASTEWATER DEPARTMENT FOR RE-INSPECTION.
 6. WHEN THE SYSTEM HAS PASSED INSPECTION, CONTRACTOR SHALL FURNISH RECORD DRAWINGS AND CERTIFIED COSTS. INSPECTOR SHALL THEN CLOSE-OUT JOB, AND A COMPLETION LETTER SHALL BE SENT BY GRU TO THE DEVELOPER, ENGINEER OF RECORD, AND CONTRACTOR.

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Sunshine811.com

DEVELOPMENT REVIEW PACKAGE

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& ASSOCIATES
14 East University Avenue
Suite 206
Gainesville, FL 32601
352.374.1997
www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION
REGISTRATION NO. ----
DATE: ----

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

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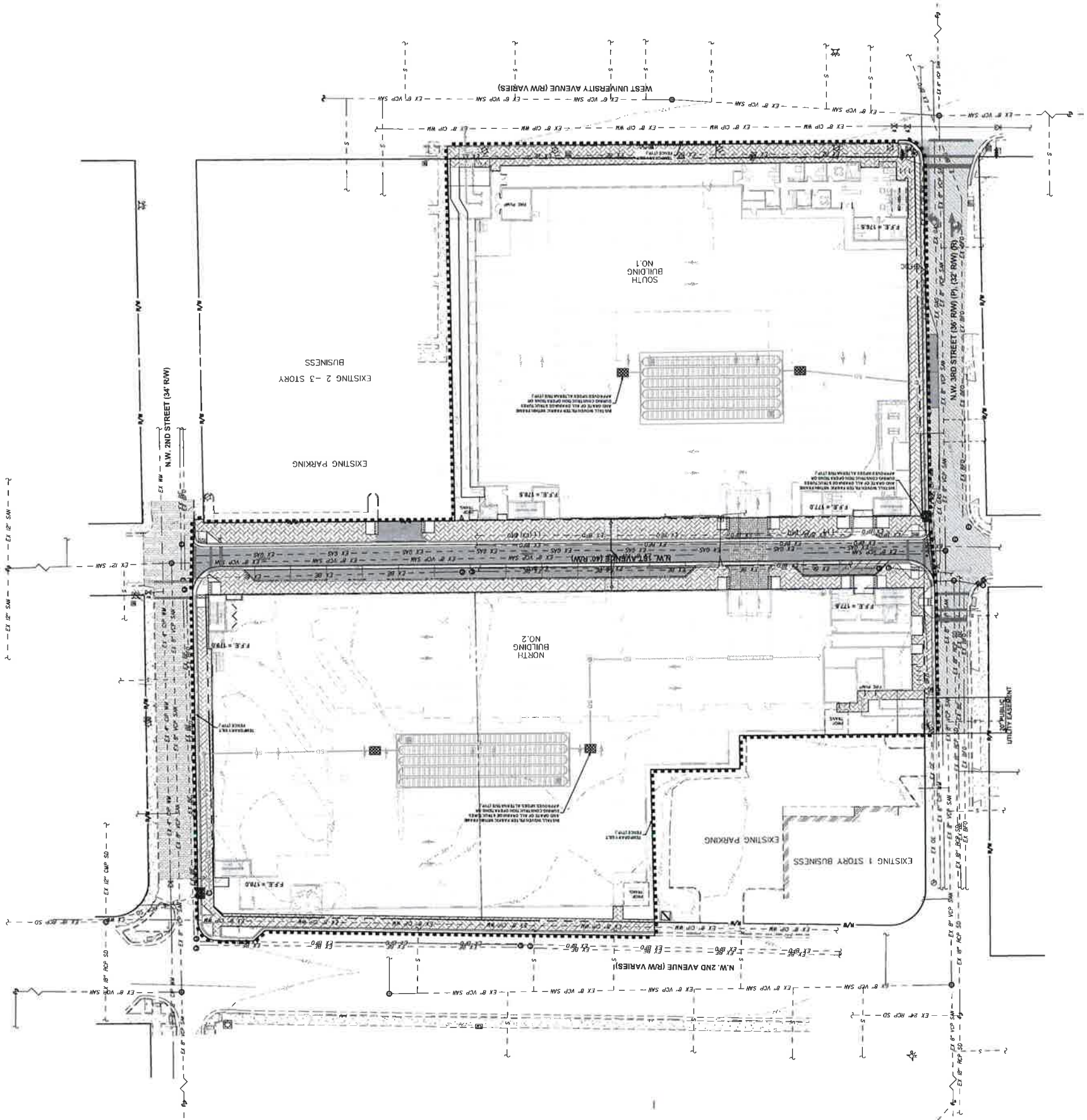
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**WATER AND
SEWER DETAIL
SHEET**

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C4.02
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LEGEND

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|--|---|
| PROPOSED ASPHALT MILL & REPAVING |  |
| PROPOSED PAVERS |  |
| PROPOSED SURFACE FLOW ARROW |  |
| PROPOSED STORM DRAIN PIPE |  |
| PROPOSED CATCH BASIN OR INLET |  |
| PROPOSED STORM MANHOLE |  |
| PROPOSED SANITARY SEWER MAIN |  |
| PROPOSED SERVICE LATERAL |  |
| INCLUDING PLUS AND CLEAROUT |  |
| PROPOSED WATER MAIN |  |
| PROPOSED CAP |  |
| PROPOSED TAP SLEEVE AND VALVE |  |
| EXISTING WATER MAIN |  |
| EXISTING SANITARY SEWER MAIN |  |
| EXISTING SERVICE LATERAL |  |
| INCLUDING PLUS AND CLEAROUT |  |
| EXISTING STORM DRAIN PIPE |  |
| EXISTING BURIED ELECTRIC LINES |  |
| EXISTING OVERHEAD ELECTRIC LINES |  |
| EXISTING CABLE TELEVISION BOX |  |
| EXISTING CUBB INLET |  |
| EXISTING CONCRETE LIGHT POLE |  |
| EXISTING CLEAN-OUT |  |
| EXISTING CROSSWALK SIGNAL POLE |  |
| EXISTING ELECTRIC BOX |  |
| EXISTING ELECTRIC METER |  |
| EXISTING ELECTRIC TRANSFORMER |  |
| EXISTING ELECTRIC MANHOLE |  |
| EXISTING TRAFFIC DEPARTMENT CONNECTION |  |
| EXISTING FINE HYDRANT |  |
| EXISTING LIGHT POLE |  |
| EXISTING MANHOLE |  |
| EXISTING SANITARY SEWER MANHOLE |  |
| EXISTING STORM WATER MANHOLE |  |
| EXISTING SIGN |  |
| EXISTING STREET VALVE |  |
| EXISTING TELEPHONE MANHOLE |  |
| EXISTING TELEPHONE FRESTAL |  |
| EXISTING TRAFFIC SIGNAL BOX |  |
| EXISTING TRAFFIC SIGNAL POLE |  |
| EXISTING WATER METER |  |
| EXISTING WOOD POWER POLE |  |
| EXISTING WATER VALVE |  |
| EXISTING RIGHT-OF-WAY |  |
| EXISTING REINFORCED CONCRETE PIPE |  |
| EXISTING CORRUGATED METAL PIPE |  |
| EXISTING WIRELESS CABLE POST |  |

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STORMWATER
POLLUTION
PREVENTION
PLAN
DRAWING NUMBER
C5.01
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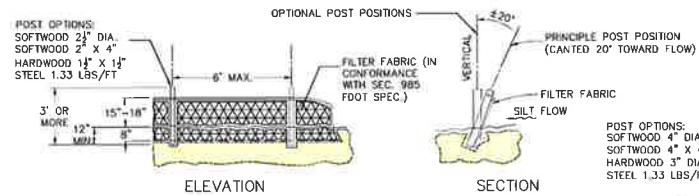
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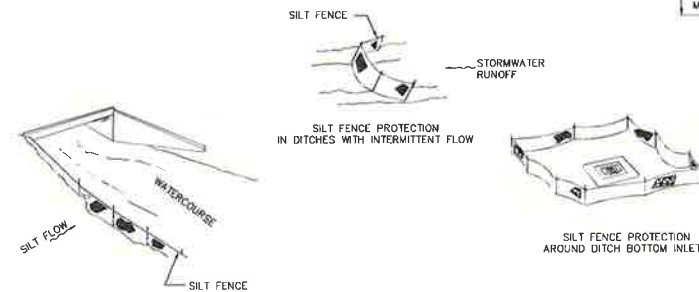
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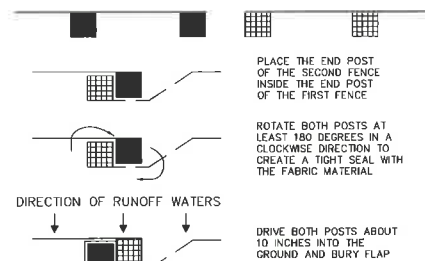
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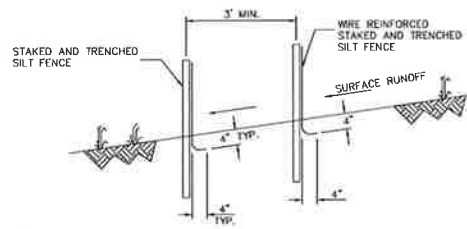
TYPE III SILT FENCE
N.T.S.



SILT FENCE APPLICATIONS
N.T.S.



SILT FENCE ATTACHMENT DETAIL
N.T.S.



DOUBLE ROW STAKED SILT FENCE DETAIL
N.T.S.

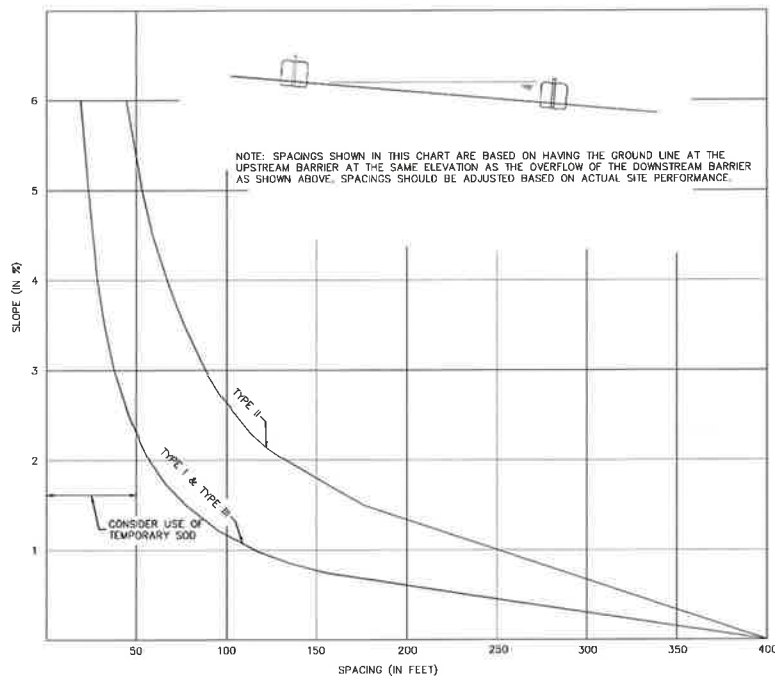


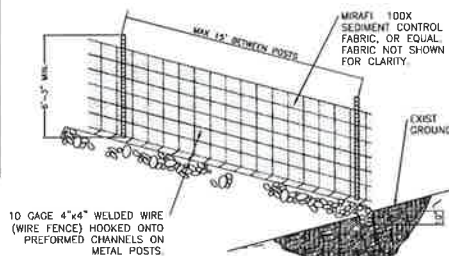
CHART I
RECOMMENDED SPACING FOR BALED HAY
BARRIERS AND TYPE III SILT FENCE
N.T.S.

- GENERAL NOTES
1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1.
 2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT-OF-WAY.
 3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON OR LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

SHEET FLOW APPLICATION: SILT FENCE

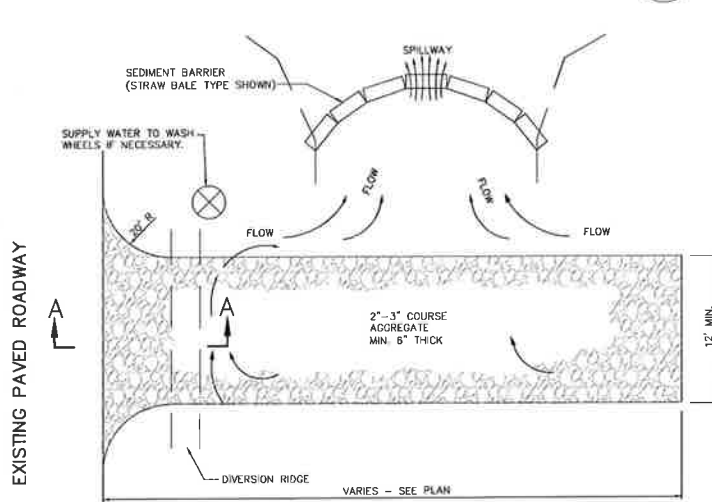
THIS SEDIMENT BARRIER USES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 cm). HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED AS DESCRIBED IN ITEM NO. 8 BELOW.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 m) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 cm). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 m).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 cm) WIDE AND 4 INCHES (10 cm) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 mm) LONG. THE WIRES, OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 cm) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 cm) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WURED TO THE FENCE, AND 8 INCHES (20 cm) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 cm) ABOVE THE ORIGINAL GROUND SURFACE.



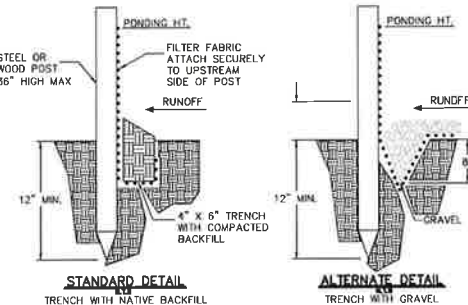
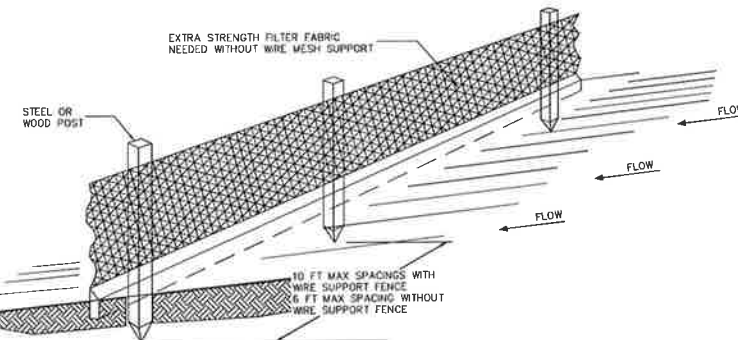
- NOTES:
1. DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18" MIN INTO GROUND AND EXCAVATE A 4"x4" TRENCH UPHILL 5' LONG (MIN) ALONG LINE OF POSTS. WOOD.
 2. POSTS 4" IN DIAMETER OR 2"x4" MAY BE USED. BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 8" ABOVE GROUND LEVEL. SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
 3. ATTACH THE SEDIMENT CONTROL FABRIC (36" WIDE) TO THE WIRE FENCE W/METAL CLIPS OR WIRE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
 4. BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 8" ABOVE GROUND LEVEL. SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
 5. SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
 6. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

SILT FENCE DETAIL D105



- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



SILT FENCE INSTALLATION
N.T.S.

NOTE:
USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

GENERAL NOTES

TEMPORARY ACCESS ROADS AND PARKING AREAS:

1. TEMPORARY ROADS SHALL FOLLOW THE CONTOUR OF THE NATURAL TERRAIN TO THE EXTENT POSSIBLE. SLOPES SHOULD NOT EXCEED 10 PERCENT.
2. TEMPORARY PARKING AREAS SHOULD BE LOCATED ON NATURALLY FLAT AREAS TO MINIMIZE GRADING. GRADES SHOULD BE SUFFICIENT TO PROVIDE DRAINAGE BUT SHOULD NOT EXCEED 4 PERCENT.
3. ROADBEDS SHALL BE AT LEAST 14 FEET (5.5 m) WIDE FOR ONE-WAY TRAFFIC AND 20 FEET (8 m) WIDE FOR TWO-WAY TRAFFIC.
4. ALL CUTS AND FILLS SHALL HAVE SIDE SLOPES THAT ARE STABLE FOR THE PARTICULAR SOIL. SLOPES OF 2:1 OR FLATTER ARE RECOMMENDED FOR CLAY SOILS, AND SLOPES OF 3:1 OR FLATTER ARE RECOMMENDED FOR SANDY SOILS.
5. STORMWATER SYSTEM SHALL BE PROVIDED AS NEEDED AND SHALL BE DESIGNED AND CONSTRUCTED ACCORDING TO APPLICABLE REGULATIONS.
6. THE ROADBED OR PARKING SURFACE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
7. A 8 INCH (15 cm) COURSE OF FOOT NO. 1 AGGREGATE SHALL BE APPLIED IMMEDIATELY AFTER GRADING OR THE COMPLETION OF UTILITY INSTALLATION WITHIN THE RIGHT-OF-WAY. FILTER FABRIC MAY BE APPLIED TO THE ROADBED FOR ADDITIONAL STABILITY ACCORDING TO THE FABRIC MANUFACTURER'S SPECIFICATIONS.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

DEVELOPMENT REVIEW PACKAGE

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EB4593 LC2600425

REGISTRATION

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SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W
UNIVERSITY

GAINESSVILLE, FLORIDA

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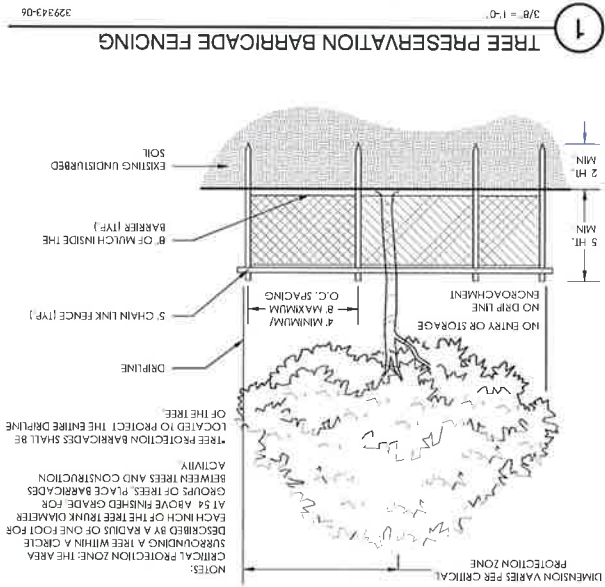
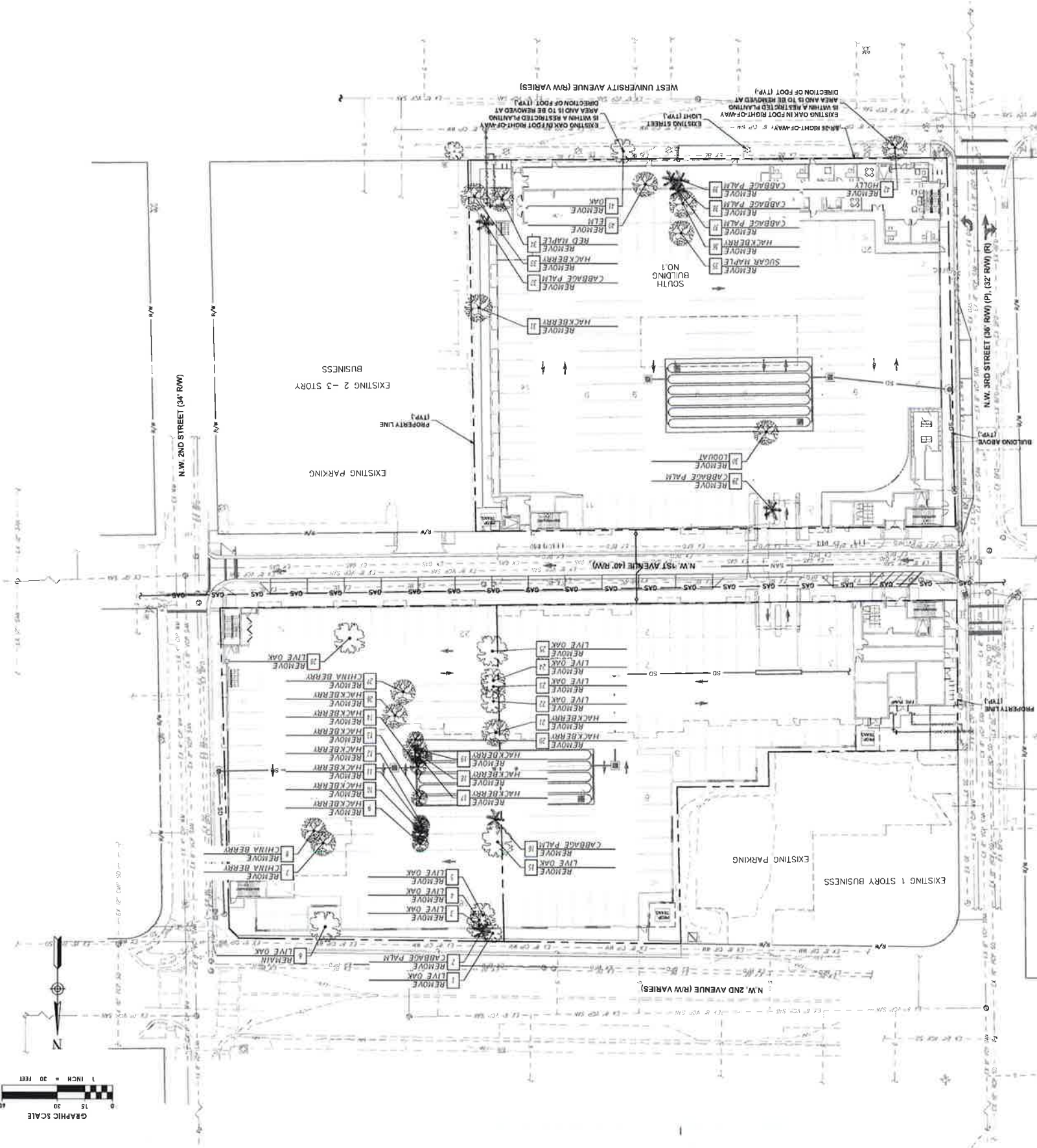
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- ### TREE DISPOSITION NOTES
1. CONTRACTOR SHALL SECURE ALL APPLICABLE TREE REMOVAL PERMITS FOR THE SITE PRIOR TO MOBILIZATION.
 2. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ABOVE OR BELOW GROUND STRUCTURES OR SERVICES THAT IMPACT THIS PROJECT.
 3. ALL ADJACENT PROPERTIES AND AREAS ACCESSIBLE TO THE PUBLIC AND EXTERIOR PROPERTY LINES SHALL BE PROTECTED AGAINST DEBRIS FALLING OVER THE PROPERTY LINES.
 4. CONTRACTOR SHALL INSPECT & ASSESS THE SITE TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS AND PRIOR TO THE ISSUE OF THE GUARANTEED MAXIMUM PRICE. DEVIATIONS FROM THE CONTRACT DOCUMENTS REQUIRED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW BEFORE PROCEEDING. DEMOLISHED & REMOVED ITEMS SHALL BE DISCARDED. TRANSPORT DEMOLISHED MATERIALS OFF OWNERS PROPERTY AND LEGALLY DISPOSE OF THEM.
 5. SITE AREA CLEAN UP MUST TAKE PLACE SEVERAL TIMES A DAY OR WHEN NEEDED. REMOVAL FROM CONSTRUCTION SITE IS THE RESPONSIBILITY OF CONTRACTOR.
 6. CONTRACTOR SHALL MAINTAIN CLEAN, CLEAR, AND SAFE PUBLIC ACCESS AT ALL TIMES.
 7. PEDESTRIAN ACCESS SHALL BE MAINTAINED TO ALL ADJACENT FACILITIES DURING CONSTRUCTION.
 8. ALL UTILITIES, STRUCTURES AND OTHER INFORMATION IDENTIFIED ON THIS PLAN ARE BASED ON THE SURVEY. REFER TO SURVEY FOR ADDITIONAL INFORMATION ON EXISTING CONDITIONS.
 - 9.1. DURING THE ENTIRE CONSTRUCTION PERIOD ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT THE ROOT ZONE FROM DAMAGE. TREE PROTECTION BARRICADES SHALL BE ERECTED AROUND THE TREES. ALL PLANT MATERIAL DESIGNATED TO BE SAVED, OR OUTSIDE OF THE LIMITS OF CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION WORK UNDER THESE ITEMS WILL INCLUDE CONSTRUCTION AND MAINTENANCE OF TEMPORARY BARRICADE FENCING TO PROTECT THE ROOT ZONES OF EXISTING TREES AND OTHER PLANTINGS.
 - 9.2. A PROTECTION BARRIER OR TEMPORARY FENCE OF AT LEAST 4 FEET IN HEIGHT SHALL BE INSTALLED AROUND EACH TREE TO BE PROTECTED AND PRESERVED. THE TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE ACTUAL CONSTRUCTION START AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 - 9.3. TREE BARRICADE FENCING SHALL BE: AS PER THE APPLICABLE DETAILS).

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TREE DISPOSITION CHARTS

TREE ID #	COMMON NAME	BOTANICAL NAME	DBH (IN.)	CONDITION	DISPOSITION	REGULATED TREE	HERITAGE TREE
1	Live Oak	Quercus virginiana	8	FAIR	TO BE REMOVED	YES	NO
2	Cabbage Palm	Sabal palmetto	18	FAIR	TO BE REMOVED	YES	NO
3	Live Oak	Quercus virginiana	10	FAIR/ POOR	TO BE REMOVED	YES	NO
4	Live Oak	Quercus virginiana	8	FAIR/ POOR	TO BE REMOVED	YES	NO
5	Live Oak	Quercus virginiana	12	FAIR/ POOR	TO BE REMOVED	YES	NO
6	Live Oak	Quercus virginiana	30	GOOD	TO REMAIN	YES	YES
7	China Berry	Melia azedarach	12	FAIR	TO BE REMOVED	NO	NO
8	China Berry	Melia azedarach	12	FAIR	TO BE REMOVED	NO	NO
9	Hackberry	Celtis leavigata	4	FAIR/ POOR	TO BE REMOVED	NO	NO
10	Hackberry	Celtis leavigata	6	FAIR/ POOR	TO BE REMOVED	NO	NO
11	Hackberry	Celtis leavigata	4	FAIR/ POOR	TO BE REMOVED	NO	NO
12	Hackberry	Celtis leavigata	4	POOR	TO BE REMOVED	NO	NO
13	Hackberry	Celtis leavigata	4	GOOD/ FAIR	TO BE REMOVED	NO	NO
14	Hackberry	Celtis leavigata	6	FAIR	TO BE REMOVED	NO	NO
15	Live Oak	Quercus virginiana	28	FAIR	TO BE REMOVED	YES	YES
16	Cabbage Palm	Sabal palmetto	12	FAIR	TO BE REMOVED	YES	NO
17	Hackberry	Celtis leavigata	6	FAIR	TO BE REMOVED	NO	NO
18	Hackberry	Celtis leavigata	4	FAIR	TO BE REMOVED	NO	NO
19	Hackberry	Celtis leavigata	4	FAIR	TO BE REMOVED	NO	NO
20	Hackberry	Celtis leavigata	4	FAIR	TO BE REMOVED	NO	NO
21	Hackberry Cluster(7)	Celtis leavigata	70	FAIR/ POOR	TO BE REMOVED	YES	NO
22	Live Oak	Quercus virginiana	14	FAIR	TO BE REMOVED	YES	NO
23	Live Oak	Quercus virginiana	18	FAIR	TO BE REMOVED	YES	NO
24	Live Oak	Quercus virginiana	12	FAIR	TO BE REMOVED	YES	NO
25	Live Oak	Quercus virginiana	24	FAIR	TO BE REMOVED	YES	YES
26	Hackberry	Celtis leavigata	12	FAIR	TO BE REMOVED	YES	NO
27	China Berry	Melia azedarach	10	FAIR	TO BE REMOVED	NO	NO
28	Live Oak	Quercus virginiana	36	GOOD/ FAIR	TO BE REMOVED	YES	YES
29	Cabbage Palm	Sabal palmetto	16	FAIR	TO BE REMOVED	YES	NO
30	Loquat	Eriobotrya japonica	10	FAIR	TO BE REMOVED	YES	NO
31	Hackberry	Celtis leavigata	25	POOR	TO BE REMOVED	YES	NO
32	Cabbage Palm	Sabal Palmetto	12	FAIR	TO BE REMOVED	YES	NO
33	Hackberry	Celtis leavigata	20	POOR	TO BE REMOVED	YES	NO
34	Red Maple	Acer rubrum	14	FAIR/ POOR	TO BE REMOVED	YES	NO
35	Sugar Maple	Acer saccharum	14	FAIR/ POOR	TO BE REMOVED	YES	NO
36	Hackberry	Celtis leavigata	26	FAIR	TO BE REMOVED	YES	NO
37	Cabbage Palm	Sabal palmetto	8	FAIR	TO BE REMOVED	YES	NO
38	Cabbage Palm	Sabal palmetto	10	FAIR	TO BE REMOVED	YES	NO
39	Cabbage Palm	Sabal palmetto	8	FAIR	TO BE REMOVED	YES	NO
40	Chinese Elm	Ulmus parviflora	14	FAIR	TO BE REMOVED	YES	NO
41	Live Oak	Quercus virginiana	16	FAIR / POOR	TO BE REMOVED	YES	YES
42	Holly Tree	Ilex sp.	10	DEAD	TO BE REMOVED	NO	NO
	(3) High quality Live Oak Mitigation: Owner to pay fee for tree mitigation, to be determined by City's Urban Forester.		36", 28", 24"				

TREE MITIGATION CHART

REGULATED TREES REMOVED (REMOVALS ARE ON A 2:1 REPLACEMENT)	28
REPLACEMENT TREES REQUIRED (REMOVALS ARE MITIGATED ON A 2:1 REPLACEMENT)	56
REPLACEMENT TREES PROVIDED ON SITE	47
DEFICIT OF REQUIRED TREES (FEE: \$100/ TREE)	15

- NOTE:
- MITIGATION FEES ARE DUE AT THE TIME OF DEVELOPMENT ORDER OR A SITE WORK PERMIT IS ISSUED FOR THE DEVELOPMENT.
 - LIVE OAK TREE REMOVALS...36" = \$22,381.90 ... 28" = \$13,539.68 ... 24" = \$9,947.52
 - ADDITIONAL TREE REMOVAL DEFICIT = \$1,500



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KLM Properties Inc.

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GAINESVILLE, FLORIDA

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TREE DISPOSITION
 CHART

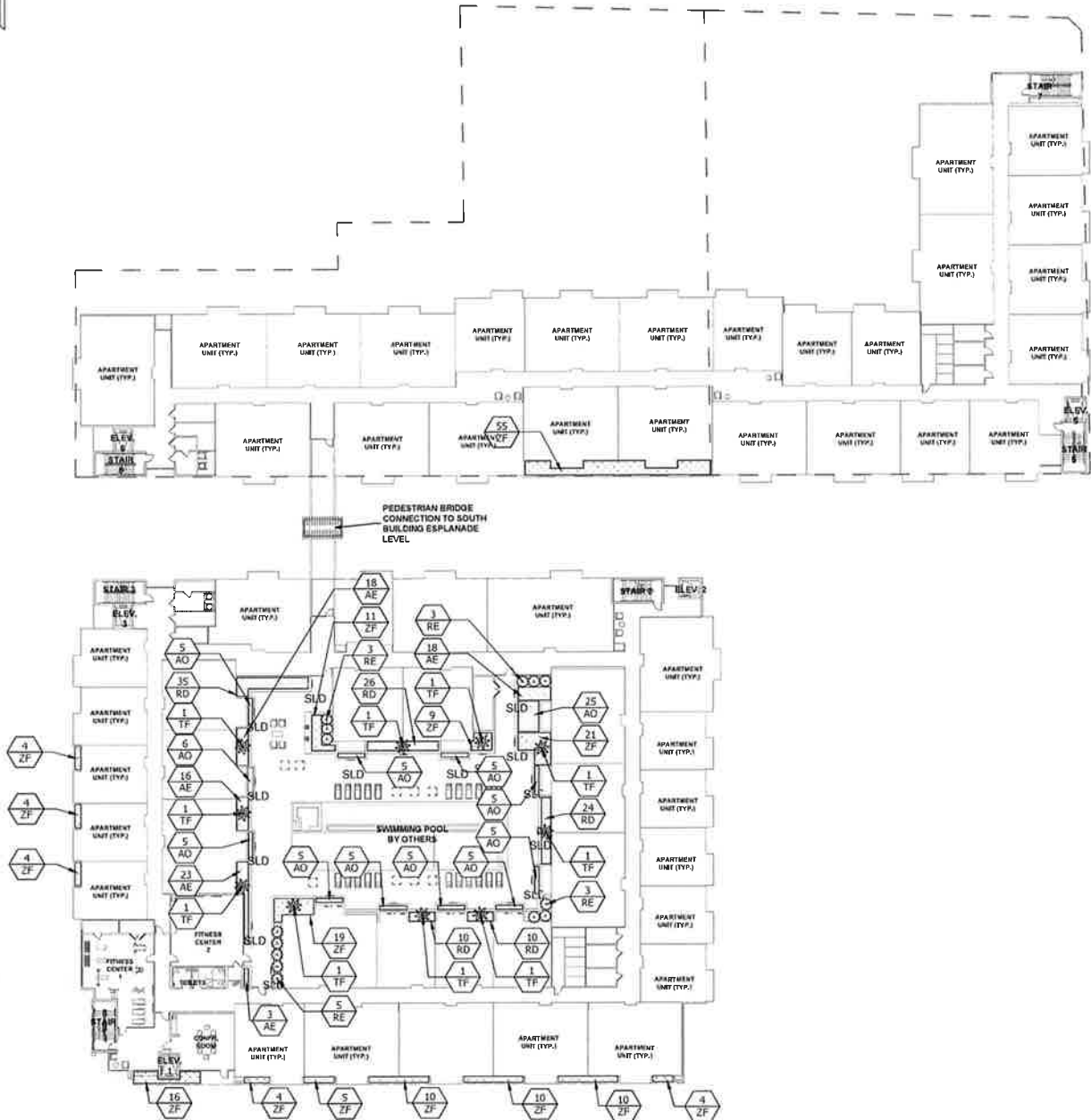
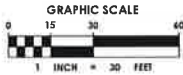
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TREE MITIGATION CHART

- ADDITIONAL TREE REMOVAL DEFICI = \$1,500
- LIVE OAK TREE REMOVALS = \$22,381.90 *** 28" = \$13,539.68 *** 24" = \$9,947.52
- ISSUANCE FEES ARE DUE AT THE TIME OF DEVELOPMENT ORDER OR A SITE WORK PERMIT IS SUBMITTED FOR THE DEVELOPMENT.

MENT



PLANT SCHEDULE ESPLANADE LEVEL LANDSCAPE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	RE	14	Lady Palm	Rhapis exelba	25 gal	6' HT, Clump	
	TF	10	Windmill Palm	Trachycarpus fortunei	F.G.	8'-12' STGR, HT,	
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SPACING
	AO	61	Lily of the Nile	Agapanthus praecox orientalis	3 gal	12" HT, FULL	24" o.c.
	AE	78	Cast Iron Plant	Aspidistra elatior	3 gal		24" o.c.
	RD	105	Azalea	Rhododendron azalea "Duc de Rohan"	7 gal	24" HT, 24" SPRD	24" o.c.
	ZF	186	Coontie Palm	Zamia floridana	3 gal	14" HT, 14" SPRD	30" o.c.



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PLAN -
ESPLANADE
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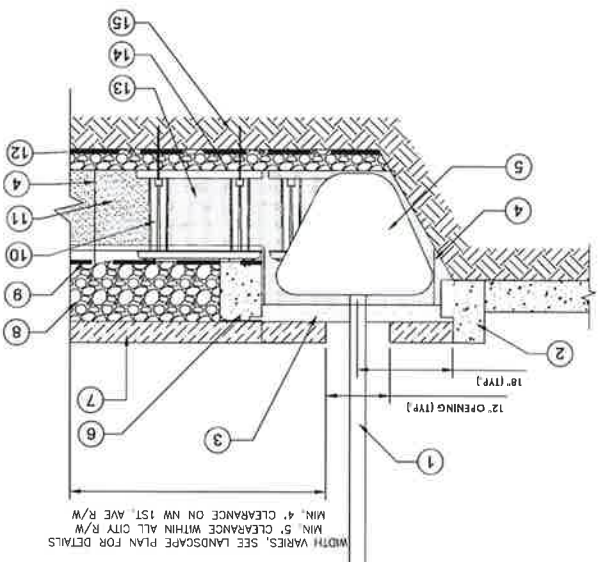
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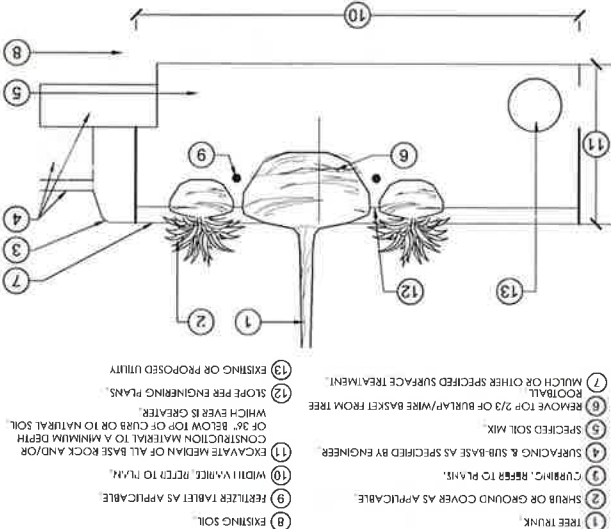


2 STREET TREE PLANTING DETAIL

- 1 STREET TREE
- 2 TYPE "D" CURB
- 3 36"x36" PAVEMENT SLAB
- 4 ROOT BARRIER, INSTALL A BACK OF CURB AND BETWEEN EDGE OF CURB AND BUILDING/
- 5 TREE ROOTBALL
- 6 CONCRETE CURB, POSITIONED OVER CURB CELL POSTS, ATTACH TO PAVEMENT
- 7 PAVEMENT, PER CITY OF GAINESVILLE STANDARD DETAILS
- 8 12" AGGREGATE BASE COURSE
- 9 GEOTEXTILE, 18" MINIMUM OVERLAP, FAST EXCAVATION
- 10 SILVA CELL FRAME
- 11 BACKFILL, INSTALL IN 8" LIFTS, WITHIN 4'-4" FROM TOP OF DECKS
- 12 GEOTEXTILE ON COMPACTED SUBGRADE
- 13 PLANTING SOIL PER SILVA CELL SPECIFICATIONS, INSTALL IN 8" LIFTS 12 LIFTS PER CELL
- 14 COMPACTED SUB BASE, COMPACTED TO 95%
- 15 SUBGRADE BELOW GEOTEXTILE AND AGGREGATE BASE COURSE, COMPACTED TO 95%



1 3.5' MINIMUM UTILITY TREE OFFSET



LANDSCAPE SPECIFICATIONS

- GENERAL
 - 1.1.1 WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - 1.1.1.1 THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE APPLICABLE TO ALL UTILITIES, EXCEPT TO PLANS, EXCAVATE MEDIA OR ALL BASE ROCK AND/OR BELOW TOP OF CURB OR TO MINIMUM DEPTH OF 36" BELOW TOP OF CURB OR TO NATURAL SOIL, WHICH EVER IS GREATER.
 - 1.1.1.2 ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS, LABOR, SUPERVISION, AND REMEDIATION REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
 - 1.3 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
 - 1.4 CONTRACTOR SHALL VERIFY LOCATIONS OF PERMANENT SITE IMPROVEMENTS INSTALLED UNDER CONTRACT OWNERS REPRESENTATIVE FOR CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK.
 - 1.5 CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-433-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
 - 1.6 CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT INTERFERE WITH THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS. PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS, ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHATEVER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER. THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERMITTING AGENCIES AND HIS/HER CONTRACTOR SHALL PROVIDE TEMPORARY SAFETY FACILITIES, LOCATION TO BE DETERMINED BY THE OWNER, JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
 - 2.2 CONTRACTOR SHALL INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERMITTING AGENCIES AND HIS/HER CONTRACTOR SHALL PROVIDE TEMPORARY SAFETY FACILITIES, LOCATION TO BE DETERMINED BY THE OWNER, JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
 - 2.3 PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
 - 2.4 IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
 - 2.5 IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATION AND FOR ANY TREES PROPOSED FOR RELOCATION, THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 - 2.6 CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.
 - 2.7 LANDSCAPE CONTRACTOR SHALL CALL PLANNING SERVICES AT (352) 393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.
 - 2.8 LANDSCAPE CONTRACTOR SHALL CALL PLANNING SERVICES AT (352) 393-8188 TO SCHEDULE AN ON-SITE MEETING PRIOR TO PURCHASING ANY PLANT MATERIAL.
 - 3 SITE DEMOLITION
 - 3.1 ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLANS. REMOVE DESIGNATED ITEMS SHOWN ON THE PLANS TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - 3.2 GREATEST EXTENT POSSIBLE, MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTEGRITY. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - 3.3 NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR FEDERAL LAWS.
 - 3.6 CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
 - 3.7 ALL REGRADATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.
 - 4.1 ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DEPOSITION PLAN SHALL BE PROTECTED BY TREE PRESERVATION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.
 - 4.1.1 A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.
 - 4.2 LANDSCAPE PLANTING
 - 4.2.1 THE PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.
 - 4.2.2 THE PLANNING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
 - 4.2.3 PLANT MATERIAL, ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY GRASSES AND STANDARDS FOR NURSERY PLANTS, OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.
 - 4.2.4 ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SPECIES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION.
 - 4.2.5 QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY AS SPECIFIED IN THE PLANT LIST.
 - 4.2.6 ALL QUANTITIES, MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
 - 4.2.7 WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLANT TAKE PRECEDENCE.
 - 4.2.8 ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. THE OWNER AND/OR GOVERNING MUNICIPALITY, CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
 - 4.2.9 AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAISED TO A DEPTH OF 6". ALL ROCK AND PLANTING BEDS SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXISTING MATERIAL.
 - 4.2.10 EXCAVATE PLANTING BEDS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER, ADVANTAGEOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.
 - 4.2.11 BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOMBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOMBALL. THE TOP 1/3RD OF WIRE MARKS SHALL BE COMPLETELY REMOVED AND NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
 - 4.2.12 BEEN CHECKED, BROKEN OR OTHERWISE DAMAGED.
 - 4.2.13 ALL TREES SPECIFIED AS FIELD GROWN OR 3/8" TREES SHALL BE ROOT-PRUNED AT THE NURSERY A

- 4.2.14 MINIMUM OF 10" WIDTHS PRIOR TO PLANTING.
- 4.2.15 ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO ABOVE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET CARDE.
- 4.2.16 NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
- 4.2.17 GROUND COVER PLANTING SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
- 4.2.18 TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE BY ALL PEDESTRIAN AREAS.
- 4.2.19 CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO SINKING.
- 4.2.20 CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
- 4.2.21 TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.
- 4.2.22 ALL TREES IN SOD TO BE IN A 4" MINIMUM-MULCHED RING AROUND THE NEWLY PLANTED TREES.
- 4.2.23 ALL TREES PLANTED IN SOD TO HAVE A 10" PLASTIC PROTECTOR AROUND TRUNK BASE TO PROTECT FROM MOWING DAMAGE.
- 4.2.24 TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOMBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
- 4.2.25 THE CITY SHALL REQUIRE THE ROOMBALL/ CONTAINER SIZE OF THE TREE, WHICH TAKES PRECEDENCE OVER THE CALIPER SIZE OF THE TREE.
- 4.2.26 TURF GRASSES
 - 4.2.26.1 THE CITY SHALL REQUIRE THE ROOMBALL/ CONTAINER SIZE OF THE TREE, WHICH TAKES PRECEDENCE OVER THE CALIPER SIZE OF THE TREE.
- 4.2.27 TURF GRASSES
 - 4.2.27.1 ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ADJUTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ADJUTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.
- 4.2.28 MULCH & FERTILIZER
 - 4.2.28.1 ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH MULCH RING.
 - 4.2.28.2 MULCH SHALL NOT BE INSTALLED WITHIN 3" OF PINE BARK MULCH.
 - 4.2.28.3 MULCH SHALL NOT BE INSTALLED WITHIN 3" OF PINE BARK MULCH.
 - 4.2.28.4 FERTILIZER MIX AS FOLLOWS:
 - 4.2.28.4.1 MONOCOT PALMS: NPK 8-2-12 SLOW RELEASE W/ MICROELEMENTS
 - 4.2.28.4.2 SLOW RELEASE W/ MICROELEMENTS
 - 4.2.28.4.3 SLOW RELEASE W/ MICROELEMENTS
 - 4.2.28.4.4 SLOW RELEASE W/ MICROELEMENTS
- 4.2.29 BUBBLERS WILL BE INSTALLED ON EACH TREE.
- 4.2.30 ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.
- 4.2.31 DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
- 4.2.32 THE CONTRACTOR SHALL RESTORE, REPAIR OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTORS EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- 4.2.33 WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTORS OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE LEFT IN A CLEAN AND NEAT CONDITION.
- 4.2.34 ALL PLANTING BEDS IN MEDIAN, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS EXISTING MATERIAL.
- 4.2.35 REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 4.2.36 CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- 4.2.37 ALL REGRADATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.
- 4.2.38 A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.
- 4.2.39 ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DEPOSITION PLAN SHALL BE PROTECTED BY TREE PRESERVATION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.
- 4.2.40 BEEN CHECKED, BROKEN OR OTHERWISE DAMAGED.
- 4.2.41 ALL TREES SPECIFIED AS FIELD GROWN OR 3/8" TREES SHALL BE ROOT-PRUNED AT THE NURSERY A

DEVELOPMENT REVIEW PACKAGE

- 4.2.42 ADDITIONAL COST TO THE OWNER.
- 4.2.43 BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.
- 4.2.44 FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD.
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- 4.2.100 REPLACEMENT MATERIAL SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD.

16 OF 00

12.03

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LANDSCAPE

DETAILS

DRAWING TITLE

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DRAWN BY

DESIGNED BY

03/01/16

DATE OF ISSUE

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15-195.004

PROJECT NUMBER

GAINESVILLE, FLORIDA

PROJECT INFORMATION

KLM Properties Inc.

CIENT

SUB-CONSULTANT

REGISTRATION

REGISTRATION NO. *****

DATE:

CERTIFICATES OF AUTHORIZATION

www.claenmot.com

552.374.1997

Gainesville, FL 32601

14 East University Avenue

Suite 206

& ASSOCIATES

CHEN-MOORE

REGISTRATION
REGISTRATION NO. ----
DATE: ----

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

**238 W
UNIVERSITY**

GAINESVILLE, FLORIDA

PROJECT NUMBER
15-195.004

CLIENT PROJECT NUMBER

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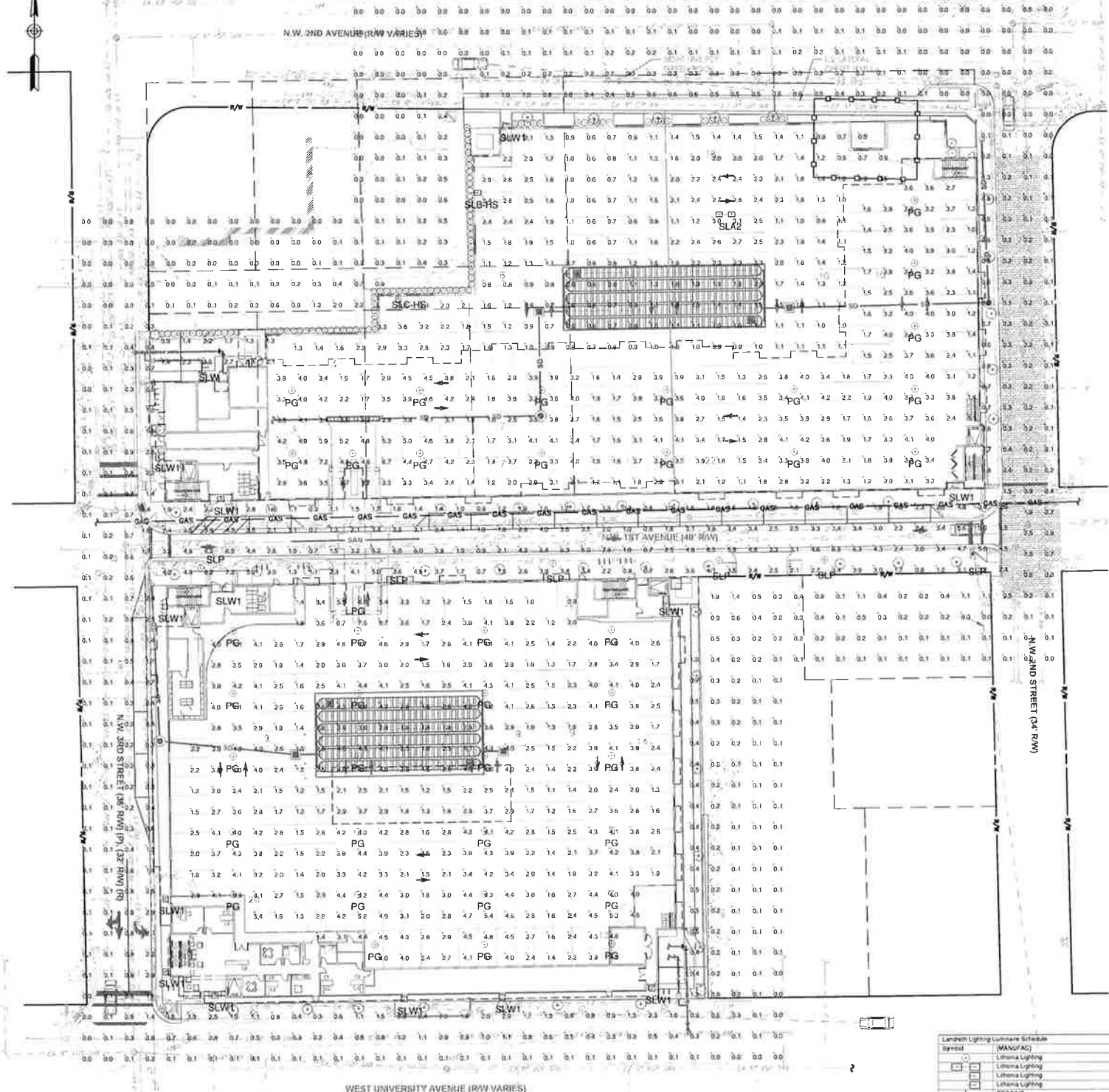
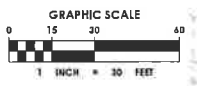
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**LIGHTING PLAN -
GROUND LEVEL**

DRAWING NUMBER
L3.01
17 OF 00

DEVELOPMENT REVIEW PACKAGE



Landmark Lighting Luminaire Schedule									
Symbol	(MANUFAC)	Qty	Label	Arrangement	Description	LF	Lum. Wats	Lum. Lumens	WEG Rating
○	Lotus Lighting	45	PG	SINGLE	POLE LED P2 40K 15M MVOLT. PARKING GARAGE	1,000	84	8754	83-12-G2
□	Lotus Lighting	1	SLA2	BACK-PAK	DEMO LED 650 700 40K 15M MVOLT. POLE MOUNTED @ 20' AFG	1,000	81	11158	84-12-G2
□	Lotus Lighting	1	SLAHS	SINGLE	DEMO LED 650 700 40K 15M MVOLT. POLE MOUNTED @ 20' AFG	1,000	81	8815	84-12-G2
□	Lotus Lighting	1	SLCPS	SINGLE	DEMO LED 650 700 40K 15M MVOLT. POLE MOUNTED @ 20' AFG	1,000	81	8849	84-12-G2
□	BEGAUS	18	SID	SINGLE	DEMO LED 400 300 40K 15M MVOLT. POLE MOUNTED @ 20' AFG	1,000	14.3	240	80-12-G1
□	Lotus Lighting	4	SLP	SINGLE	DEMO LED 400 300 40K 15M MVOLT. POLE MOUNTED @ 20' AFG	1,000	100	7884	84-12-G2
□	Lotus Lighting	1	SLW	SINGLE	DEMO LED 250 300 40K 15M MVOLT. ELEV	1,000	23.3	2597	84-12-G1
□	Lotus Lighting	13	SLW1	SINGLE	DEMO LED 150 300 40K 15M MVOLT. ELEV	1,000	16.1	2101	84-12-G1

Landmark Lighting Calculation Summary						
Label	Calc Type	Units	Avg	Max	Min	Avg/Min
1st Avenue	Bumance	Fc	2.89	7.2	0.7	4.19
Dep Park	Bumance	Fc	1.63	3.8	0.9	2.11
North Building Covered Parking	Bumance	Fc	2.98	7.2	1.0	2.66
North Building Parking Lot	Bumance	Fc	1.52	3.8	0.5	3.00
Plaza Area	Bumance	Fc	0.32	2.8	0.0	N/A
Post & Office Area	Bumance	Fc	0.89	23.1	0.0	N/A
South Building Covered Parking	Bumance	Fc	2.98	7.2	0.9	2.32

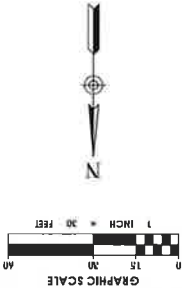
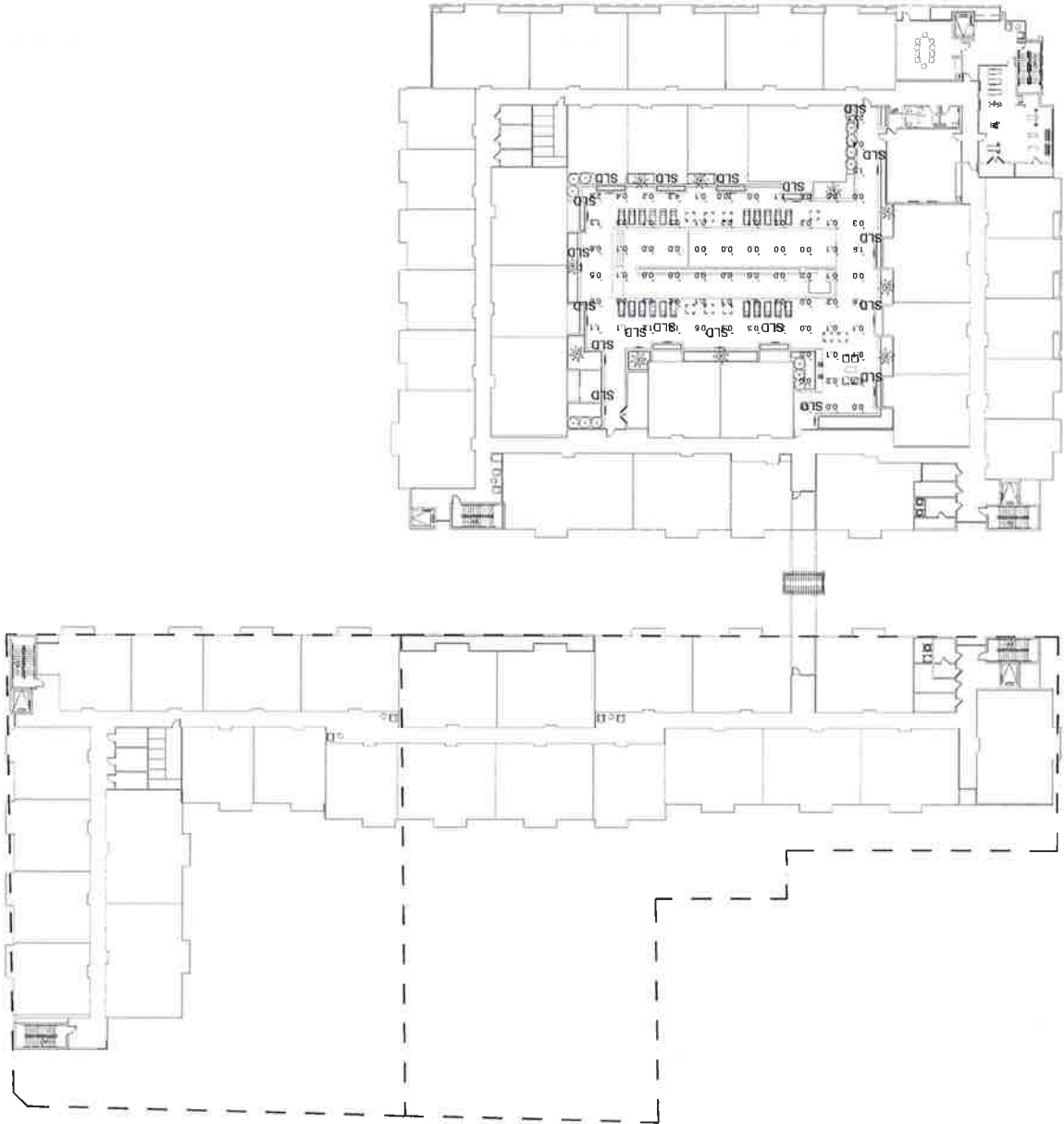
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Filename: 15-195.004 Lighting Plan.dwg
Layout Name: L3.01
Username: CMorales
User: CMorales

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Sunshine811.com



Always call 811 two full business days before you dig to have underground utilities located and marked.



Unaudited Lighting Calculations Summary									
Calc Type	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
151 Avenue	151 Avenue	151 Avenue	151 Avenue	151 Avenue	151 Avenue	151 Avenue	151 Avenue	151 Avenue	151 Avenue
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Unaudited Lighting Calculations Summary									
Calc Type	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
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DEVELOPMENT REVIEW PACKAGE



CHEN-MOORE & ASSOCIATES
14 East University Avenue
Suite 206
Gainesville, FL 32601
352.374.1997
www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
EA4593 LC26000425

REGISTRATION

DATE: _____
REGISTRATION NO. _____

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

238 W UNIVERSITY
GAINESVILLE, FLORIDA
PROJECT NUMBER
15-195.004
CLIENT PROJECT NUMBER
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DRAWING TITLE
LIGHTING PLAN -
ESPLANADE LEVEL

DRAWING NUMBER
L3.02
18 OF 00



MRP LED LED Area Luminaire

Introduction
The "Crown" family of luminaires is a traditional round design with a modern look and style, to meet the needs of a wide variety of applications.

Specifications
EPA: 1000
Luminaire Height: 100
Overall Height: 100
Diameter: 100
Weight (max): 100

Ordering Information
EXAMPLE: MRP LED 42C 700 40K SRS MVOLT DOBKD

MRP LED	Size	Color	Temp	Beam	Power	Notes
MRP LED	42C	700	40K	SRS	100W	10000 hours life

Accessories

Notes

Street Lights



D-Series Size 0 LED Area Luminaire

Introduction
The modern styling of the D-Series is striking and modern, making a bold, progressive statement even as it blends seamlessly with its environment.

Specifications
EPA: 1000
Length: 100
Width: 100
Height: 100
Weight (max): 100

Ordering Information
EXAMPLE: D-Series LED 40C 1000 40K TSM MVOLT SPA DOBKD

D-Series	Size	Color	Temp	Beam	Power	Notes
D-Series	40C	1000	40K	TSM	100W	10000 hours life

Accessories

Notes

Parking Lot Lights



PGX LED Parking Garage

Introduction
The PGX LED luminaire is designed to provide visual comfort, energy savings, and long life. Its premium, non-glare, glass lens allows optimal visual comfort, superior photometric control, and no degradation over the life of the luminaire. The PGX LED delivers up to 80% in energy savings when replacing 175W metal halide luminaires. With over a 100,000 hour life expectancy (L70: 24,000 hours), the PGX LED luminaire provides significant maintenance savings over traditional luminaires.

Specifications
Diameter: 100
Height: 100
Weight: 100
Beam: 100

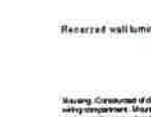
Ordering Information
EXAMPLE: PGX LED P1 40K TSM MVOLT PM DWXHD

PGX LED	Size	Color	Temp	Beam	Power	Notes
PGX LED	P1	40K	TSM	MVOLT	100W	10000 hours life

Accessories

Notes

Parking Garage Light



Step Light

Introduction
The Step Light is designed to provide visual comfort, energy savings, and long life. Its premium, non-glare, glass lens allows optimal visual comfort, superior photometric control, and no degradation over the life of the luminaire. The Step LED delivers up to 80% in energy savings when replacing 175W metal halide luminaires. With over a 100,000 hour life expectancy (L70: 24,000 hours), the Step LED luminaire provides significant maintenance savings over traditional luminaires.

Specifications
Diameter: 100
Height: 100
Weight: 100
Beam: 100

Ordering Information
EXAMPLE: Step LED S1 40K TSM MVOLT PM DWXHD

Step LED	Size	Color	Temp	Beam	Power	Notes
Step LED	S1	40K	TSM	MVOLT	100W	10000 hours life

Accessories

Notes

Step Light



modaLIGHT SPECIFICATION

Introduction
The modaLIGHT is a high quality, polycarbonate luminaire with a modern, sleek design. It is designed to provide optimal visual comfort, energy savings, and long life. The modaLIGHT delivers up to 80% in energy savings when replacing 175W metal halide luminaires. With over a 100,000 hour life expectancy (L70: 24,000 hours), the modaLIGHT luminaire provides significant maintenance savings over traditional luminaires.

Specifications
EPA: 1000
Length: 100
Width: 100
Height: 100
Weight (max): 100

Ordering Information
EXAMPLE: modaLIGHT LED 40C 1000 40K TSM MVOLT SPA DOBKD

modaLIGHT	Size	Color	Temp	Beam	Power	Notes
modaLIGHT	40C	1000	40K	TSM	100W	10000 hours life

Accessories

Notes

Grilling Area Light



D-Series Size 1 LED Wall Luminaire

Introduction
The D-Series Wall luminaire is a stylish, fully integrated LED luminaire for long life and modern applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and beam options for customized performance.

Specifications
EPA: 1000
Length: 100
Width: 100
Height: 100
Weight (max): 100

Ordering Information
EXAMPLE: D-Series LED 40C 1000 40K TSM MVOLT DOBKD

D-Series	Size	Color	Temp	Beam	Power	Notes
D-Series	40C	1000	40K	TSM	100W	10000 hours life

Accessories

Notes

Wall Light



CHEN-MOORE & ASSOCIATES

14 East University Avenue
Suite 206
Gainesville, FL 32601
352.374.1997
www.chenmoore.com

CERTIFICATES OF AUTHORIZATION
EB4593 LC2600425

REGISTRATION
REGISTRATION NO. ----
DATE: ----

SUB-CONSULTANT

CLIENT

KLM Properties Inc.

PROJECT INFORMATION

**238 W
UNIVERSITY**

GAINESVILLE, FLORIDA

**PROJECT NUMBER
15-195.004**

CLIENT PROJECT NUMBER

VERIFY SCALES
0" = 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

REVISIONS

**DATE OF ISSUE
03/01/16**

DESIGNED BY

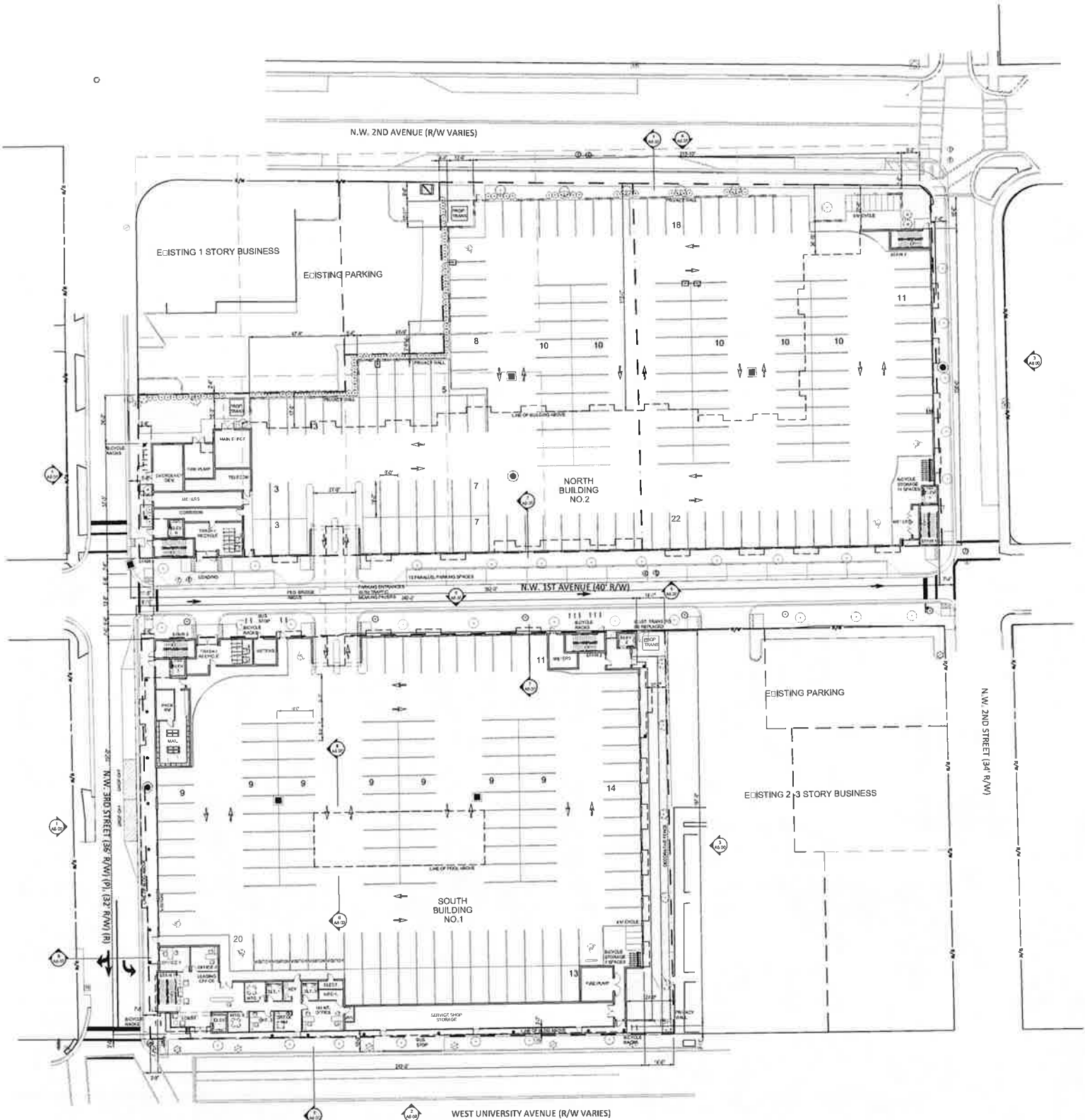
DRAWN BY

CHECKED BY

DRAWING TITLE

**LIGHTING
DETAILS**

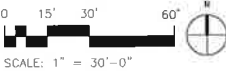
**DRAWING NUMBER
L3.03**
19 OF 00



ARCHITECTURAL SITE PLAN

1" = 30'-0" 1

PROJECT DATA				
GENERAL				
CCD - CENTRAL CITY DISTRICT				
APPLICABLE CODES: FBC 2014 5TH EDITION, FPC 5TH EDITION (NFPA 1 AND 101)				
CONSTRUCTION TYPE - 1B - WOOD OR METAL FRAME OVER CONCRETE PODIUM.				
OCCUPANCY TYPE - R2 MULTI FAMILY COMMERCIAL DEVELOPMENT.				
BUILDINGS SHALL BE FULLY SPRINKLERED.				
(3) ENCLOSED MEANS OF EGRESS STAIRS PROVIDED FOR EACH BUILDING. TRAVEL DISTANCE 200 FT.				
SETBACKS REQUIRED:				
(CCD) - NONE REQUIRED				
TRADITIONAL CITY SPECIAL DEV. PLAN - 14 FT SETBACKS (WAVIER REQUIRED).				
SETBACKS PROVIDED:				
SOUTH BUILDING:				
W. UNIVERSITY AVE. VARIES (0 FT. - 1-1')				
NW 1ST AVE: 0-7'				
EAST ADJACENT PROPERTY (NW 2ND STREET SIDE): VARIES (10'-2" - 23-4')				
NW 3RD STREET: VARIES (3'-0" - 6-4')				
NORTH BUILDING:				
NW 1ST AVE: 0 FT.				
NW 2ND AVE: VARIES (17'-0" - 113'-1') SEE SITE PLAN FOR PRIVACY WALL LOCATIONS.				
NW 2ND STREET: VARIES (0 FT. - 1-4')				
NW 3RD STREET: VARIES (4'-11" - 6-11')				
BALCONIES (12'-0" A.F.F.) SOME PROJECT MA OF 3'-0" INTO THE RIGHT OF WAY. REF TO FLOOR PLANS.				
12'-0" CLR. COLONNADE ON UNIVERSITY AVE (2'-7" DP.) AND 3RD STREET (4'-10" DP.)				
10 FT WIDE SIDEWALK ON UNIVERSITY AVE. ALL OTHER PERIMETER SIDEWALKS VARY FROM 7 FT (ARTERIAL RD) TO 6 FT (LOCAL RD) REF. TO CIVIL ENG. PLANS FOR FURTHER INFO.				
NW 1ST AVE. (BETWEEN 3RD AND 2ND ST) DEDICATED TO OWNER AND CHANGED TO ONE WAY TRAFFIC (EAST BOUND) EAST BOUND BUS ROUTE MAINTAINED W PARRELEL PARKING FOR RESIDENCE.				
PEDESTRIAN BRIDGE CONNECTION BETWEEN BUILDINGS (OVER NW 1ST AVE.) 14'-0" ROADWAY CLEARANCE.				
DROP OFF ON NW 3RD STREET. 2 PARKING SPACE (SHORT TERM)				
9 FT. (MA) 18 FT DP. INTERIOR 90 DEGREE PARKING STALLS				
24 FT. WIDE DRIVE ISLES PROVIDED				
THIS SITE IS NOT LOCATED WITHIN THE HISTORIC DISTRICT OR FLOOD PLAIN				
THIS SITE AND BUILDING COMPLIES WITH THE STATE OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION				
KNO - 60' WILL BE PROVIDED TO ENSURE EMERGENCY ACCESS TO THE "RESTRICTED ACCESS OCCUPANCY", PER GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-16(b)				
BUILDING				
AREA TYPE	STORIES	APPRO. G.S.F.	COMMENTS	
(S) BLDG. No 1	5	184,655	RESIDENTIAL (SOUTH) APPRO. 36,831 / FLR	
(N) BLDG. No 2	5	158,620	RESIDENTIAL (NORTH) APPRO. 31,9324 / FLR	
(S) POOL DECK	1	11,693	INCL. POOL, PLANTERS AND PED. BRIDGE	
(S) GARAGE No 1	1	47,408		
(N) GARAGE No 2	1	48,269	INCL. 1-22,088 GSF (85) OPEN AIR SURF. PARK. SP	
LEASING	1	1,810	1-12 FT. LOBBY CEILING	
MAINT. OFFICE	1	559		
FITNESS 1	1	1,000	BUILD. 1 - 2ND FLOOR	
FITNESS 2	1	764	BUILD. 1 - 2ND FLOOR	
CONF. RM	1	633	BUILD. 1 - 2ND FLOOR	
SHOP / STOR.	1	1,745	LINER RETAIL FACADE UNIVERSITY	
MEP SUPPORT	1	4,197		
UNIT COUNT - SOUTH BUILDING No 1 (5 RES. FLOORS) 10 FT. FIN. CEILINGS AT PH. FLR				
UNIT TYPE	UNITS/FLR	UNITS/BLDG.	PERCENTAGE	COMMENTS
STUDIO	15 (14 - 2ND FL.)	74	43.1%	TRANSOM ALL TOP FL UNITS
1 BEDROOM	9	30	17.4%	3 - UNITS W TRANS. & OR SIDELITE
1 BED W DEN	1 (0 - 2ND FL.)	4	2.3%	TRANSOM ALL TOP FL UNITS
2 BEDROOM	12 (11 - 2ND FL.)	54	31.4%	5 - UNITS W TRANS. & OR SIDELITE
2 BR. TYPE B	1	5	2.9%	1 - UNIT W TRANS. & OR SIDELITE
3 BEDROOM	1	5	2.9%	3 - UNITS W TRANS. & OR SIDELITE
TOTAL	35 (32 - 2ND FL.)	172	100%	TRANSOM ALL TOP FL UNITS
UNIT COUNT - NORTH BUILDING No 2 (5 RES. FLOORS) 9 FT. FIN. CEILINGS AT TOP FLR				
UNIT TYPE	UNITS/FLR	UNITS/BLDG.	PERCENTAGE	COMMENTS
1 BEDROOM	9	45	36%	4 - UNITS W SIDELITE
1 BEDROOM GREAT RM	1	5	4%	E TRA ROOM OFF LIVING
2 BEDROOM	13	65	52%	1 - UNIT W SIDELITE
2 BEDROOM (SUPER)	2	10	8%	LG. MAINT. BR. AND BATH
TOTAL	35	125	100%	5 - UNITS W SIDELITE
TOTAL UNIT COUNT - BUILDING No. 1 AND 2				
UNIT TYPE	UNITS	PERCENTAGE	COMMENTS	
STUDIO	74	24.9%		
1 BEDROOM	75	25.2%		
1 BED W DEN	4	1.3%		
1 BEDROOM GREAT RM.	5	1.7%		
2 BEDROOM	119	40%		
2 BR. TYPE B	5	1.7%		
2 BEDROOM (SUPER)	10	3.5%		
3 BEDROOM	5	1.7%		
TOTAL	297	100%		
PARKING (1 FLOOR)				
BUILDING	SPACES	MOTORCYCLE	COMMENTS	
No. 1 (S)	121	4	13 TANDEN SPACES INCL. 8 VISITOR SPACES INCL.	
No. 2 (N)	157	9	15 TANDEN SPACES INCL. 6-8 UNCOVERED PARK. SPACES	
E. T. SURF. SP.	13		1ST AVE ONE WAY. (1) LOADING SP.	
DROP OFF	2		2 E. 1ST. SPACES ON 3RD ST.	
TOTAL	293		INCL. 7 REQD. HC SPACES	



238 DEVELOPMENT LLC

OWNER

KLM PROPERTIES INC.
101 SE 2ND PLACE, STE 202
GAINESVILLE, FL 32601
352.372.6172

ARCHITECT

PGAL

791 Park of COMMERCE BLVD.
SUITE 400
BOCA RATON, FLORIDA 33487
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(F) 561.988.3002
PGAL TBPE REG. No. F-2742
www.pgal.com
CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

1 SITE PLAN SUBMITTAL	02/29/16
2 SITE PLAN RE SUBMITTAL	04/19/16
3 SITE PLAN RE SUBMITTAL	05/17/16

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PROJECT NUMBER

1002712.00

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SCHEMATIC DESIGN

CURRENT ISSUE DATE

02/29/16

SHEET TITLE

ARCHITECTURAL SITE PLAN

SHEET NUMBER

A1.00

CONTEXT VIEW LOOKING NORTHEAST



1" = 30'-0"

1

238 DEVELOPMENT LLC

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KLM PROPERTIES INC.
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CONSULTANT

PROJECT TITLE
238 UNIVERSITY

PROJECT LOCATION
238 W. UNIVERSITY AVE.
GAINESVILLE, FL

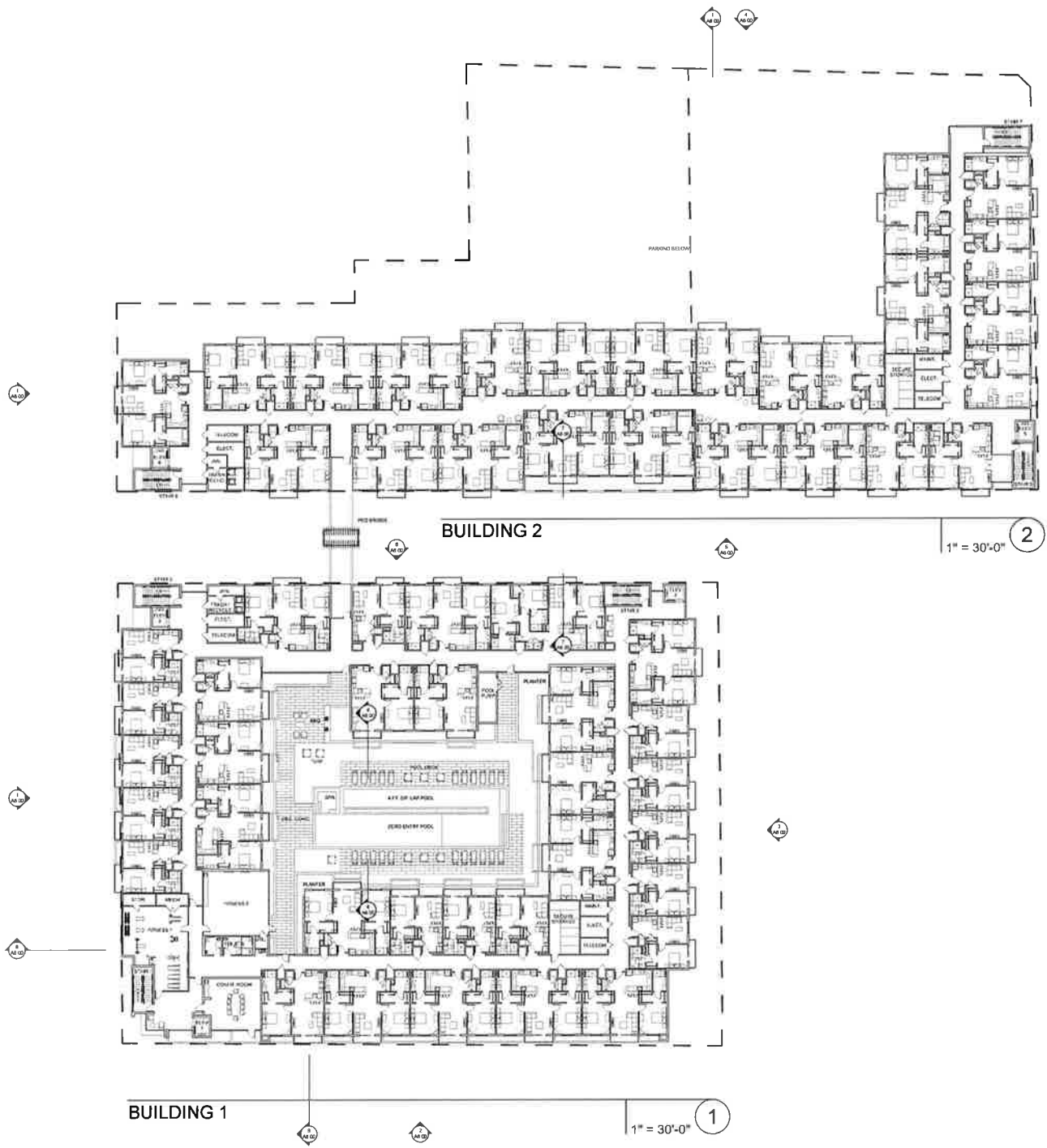
SUBMITTAL HISTORY
1 SITE PLAN SUBMITTAL 02/29/16
2 SITE PLAN SUBMITTAL 06/09/16
3 SITE PLAN RE SUBMITTAL 06/17/16

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CURRENT ISSUE DATE
02/29/16
SHEET TITLE
CONTEXT VIEW

SHEET NUMBER
A1.10

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WWW.PGAL.COM

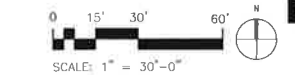


SECOND FLOOR PLAN

1" = 30'-0"



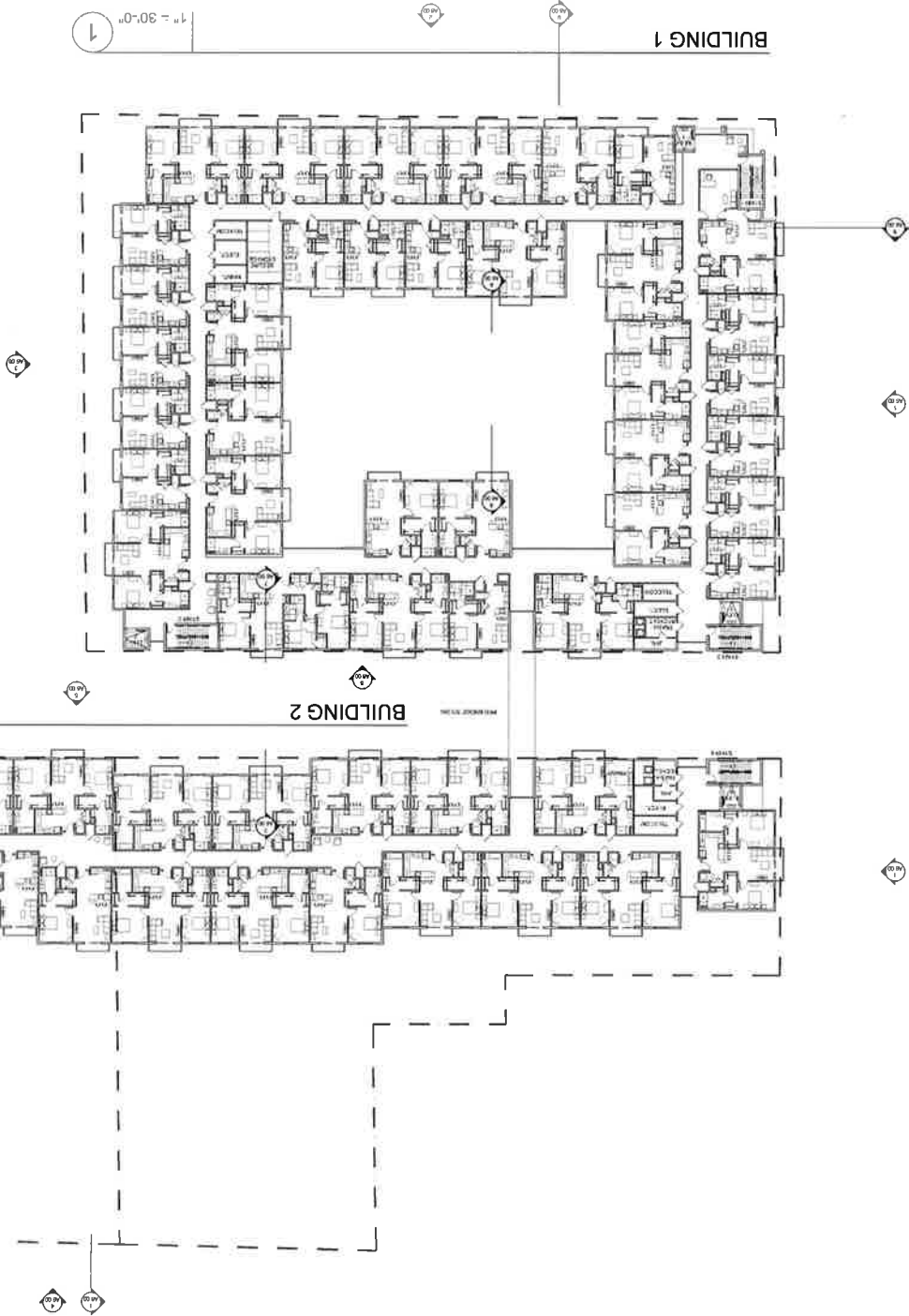
KEY PLAN



238 DEVELOPMENT LLC
OWNER
KLM PROPERTIES INC. 101 SE 2ND PLACE, STE 202 GAINESVILLE, FL 32601 352.372.8172
ARCHITECT
PGAL 791 Park of COMMERCE BLVD., SUITE 400 BOCA RATON, FLORIDA 33487 (T) 561.988.4002 (F) 561.988.3002 PGAL TBPE REG. No. F-2742 www.pgal.com
CONSULTANT
PROJECT TITLE
238 UNIVERSITY
PROJECT LOCATION
238 W. UNIVERSITY AVE. GAINESVILLE, FL
SUBMITTAL HISTORY
1 SITE PLAN SUBMITTAL 02/25/16
2 SITE PLAN RE SUBMITTAL 04/15/16
3 SITE PLAN RE SUBMITTAL 05/17/16
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CURRENT ISSUE DATE
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SHEET TITLE
SECOND FLOOR PLAN
SHEET NUMBER
A2.02

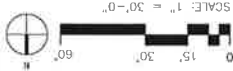
THIRD - FIFTH FLOOR PLANS

1" = 30'-0"

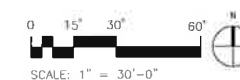


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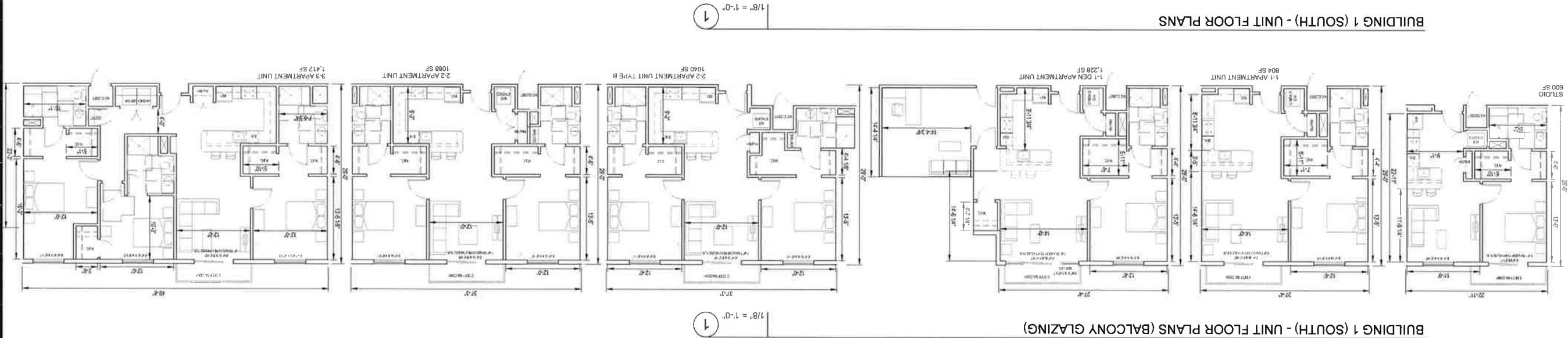
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A2.07

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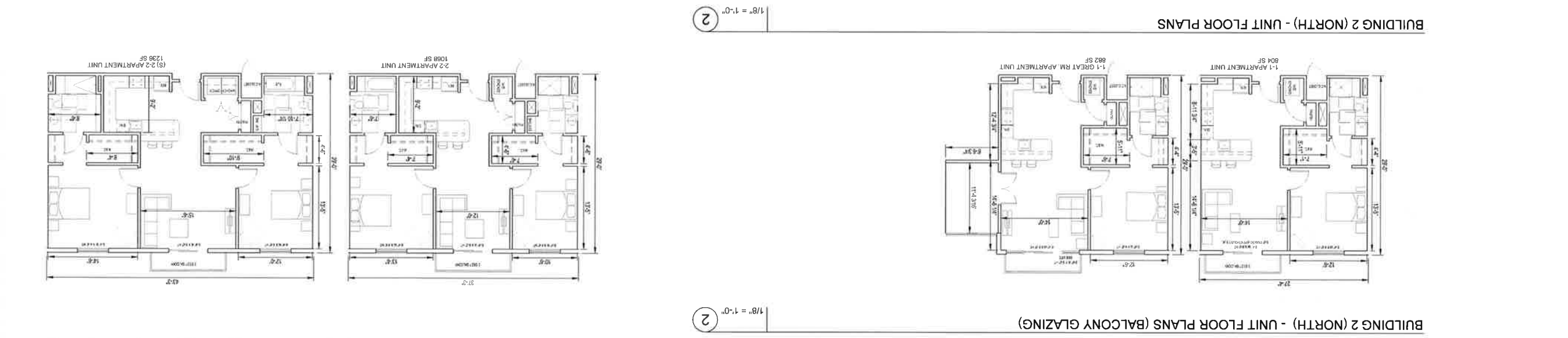
BUILDING 1 (SOUTH) - UNIT FLOOR PLANS



BUILDING 1 (SOUTH) - UNIT FLOOR PLANS (BALCONY GLAZING)



BUILDING 2 (NORTH) - UNIT FLOOR PLANS



BUILDING 2 (NORTH) - UNIT FLOOR PLANS (BALCONY GLAZING)



A4.00

SHEET NUMBER

UNIT FLOOR PLANS

SHEET TITLE

02/29/16

CURRENT ISSUE DATE

SCHEMATIC DESIGN

CURRENT DOCUMENT STAGE

1002717.00

PROJECT NUMBER

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238 UNIVERSITY AVE.
GAINESVILLE, FL
PROJECT LOCATION

2 SITE PLAN RE SUBMITTAL
DIVISION
SUBMITTAL HISTORY

238 UNIVERSITY
238 UNIVERSITY AVE.
GAINESVILLE, FL
PROJECT LOCATION

238 UNIVERSITY
238 UNIVERSITY AVE.
GAINESVILLE, FL
PROJECT LOCATION

CONSULTANT

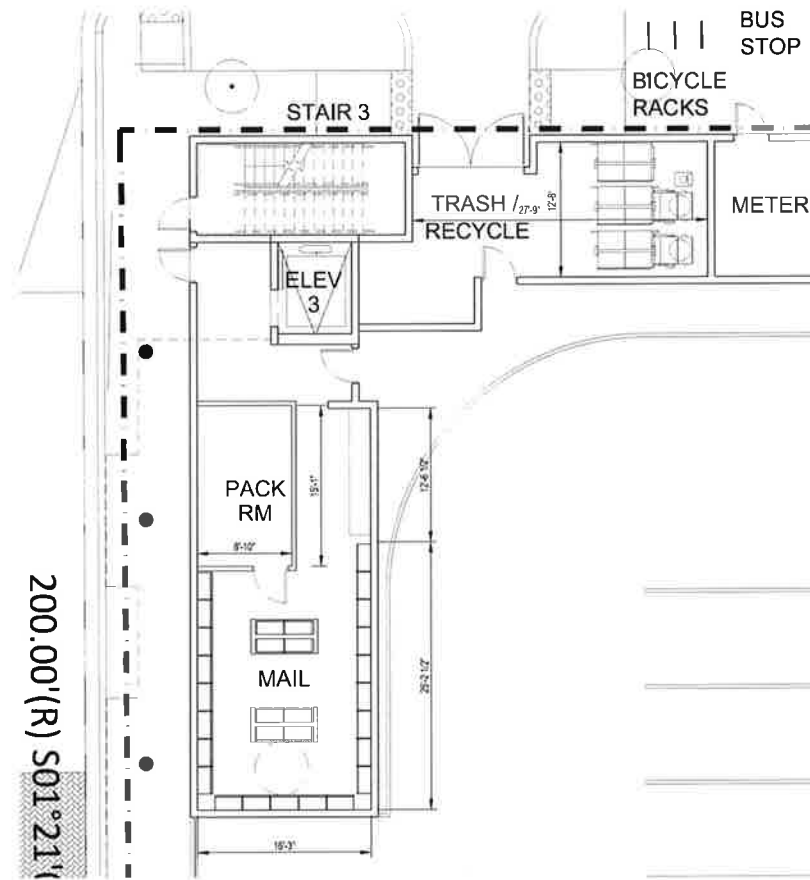
PG&A
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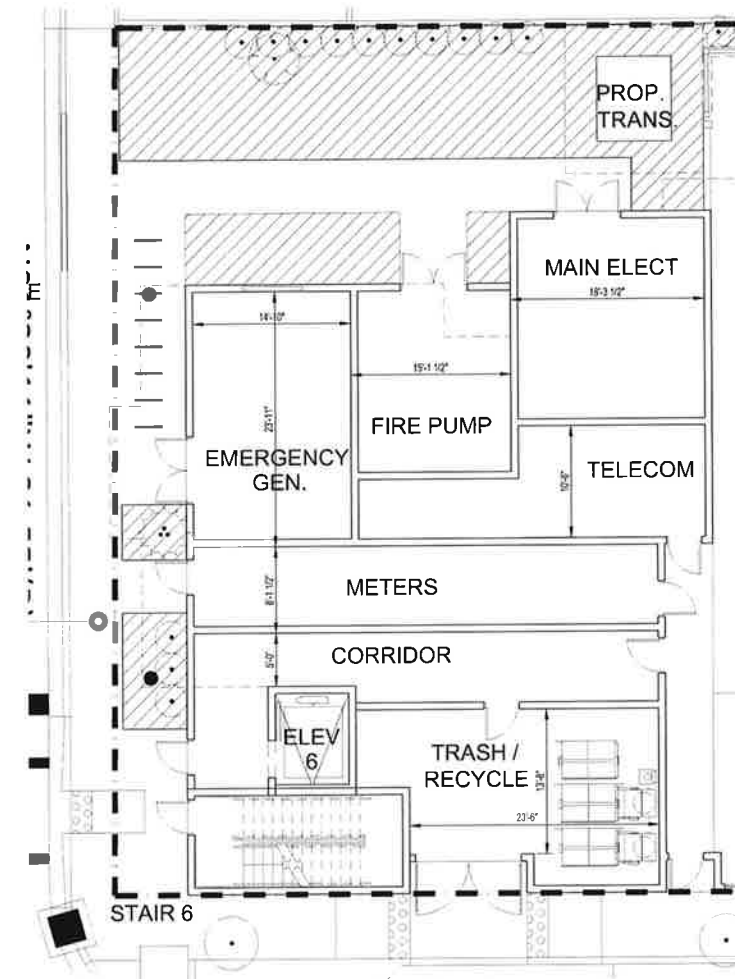
OWNER

238 DEVELOPMENT LLC



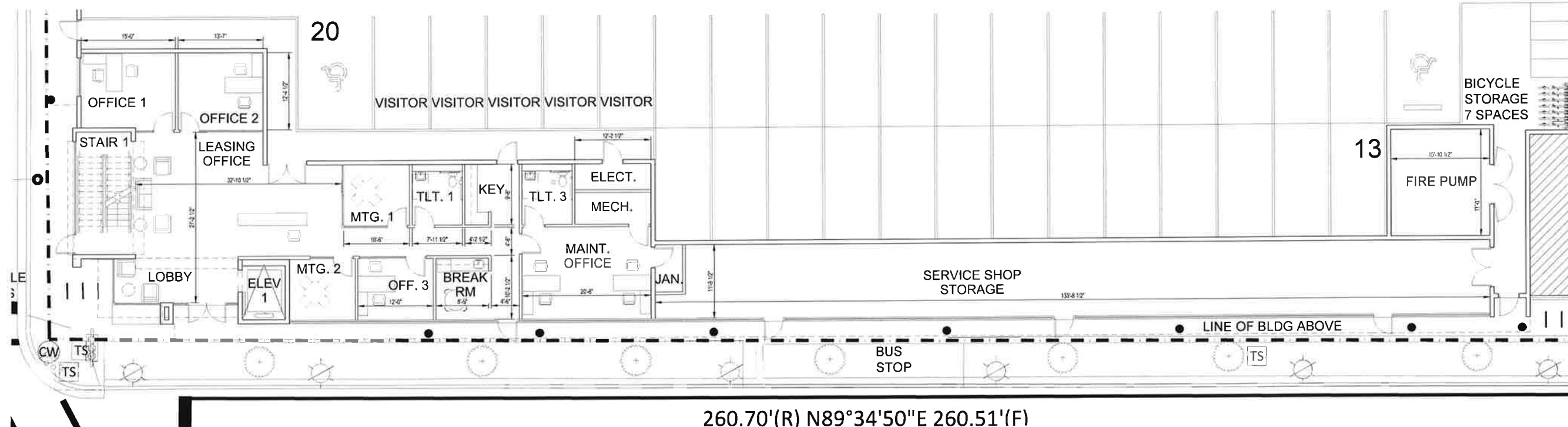
MAIL ROOM FLOOR PLAN

1/8" = 1'-0" 2



MAIN UTILITY ROOM FLOOR PLAN

1/8" = 1'-0" 3



LEASING OFFICE FLOOR PLAN

1/8" = 1'-0" 1

238 DEVELOPMENT LLC

OWNER

KLM PROPERTIES INC.
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ARCHITECT

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www.pgal.com
CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

1	SITE PLAN SUBMITTAL	02/29/16
2	SITE PLAN RE-SUBMITTAL	04/19/16
3	SITE PLAN RE-SUBMITTAL	05/17/16

REGISTRATION No. AR-0094498
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CURRENT ISSUE DATE

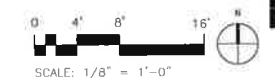
02/29/16

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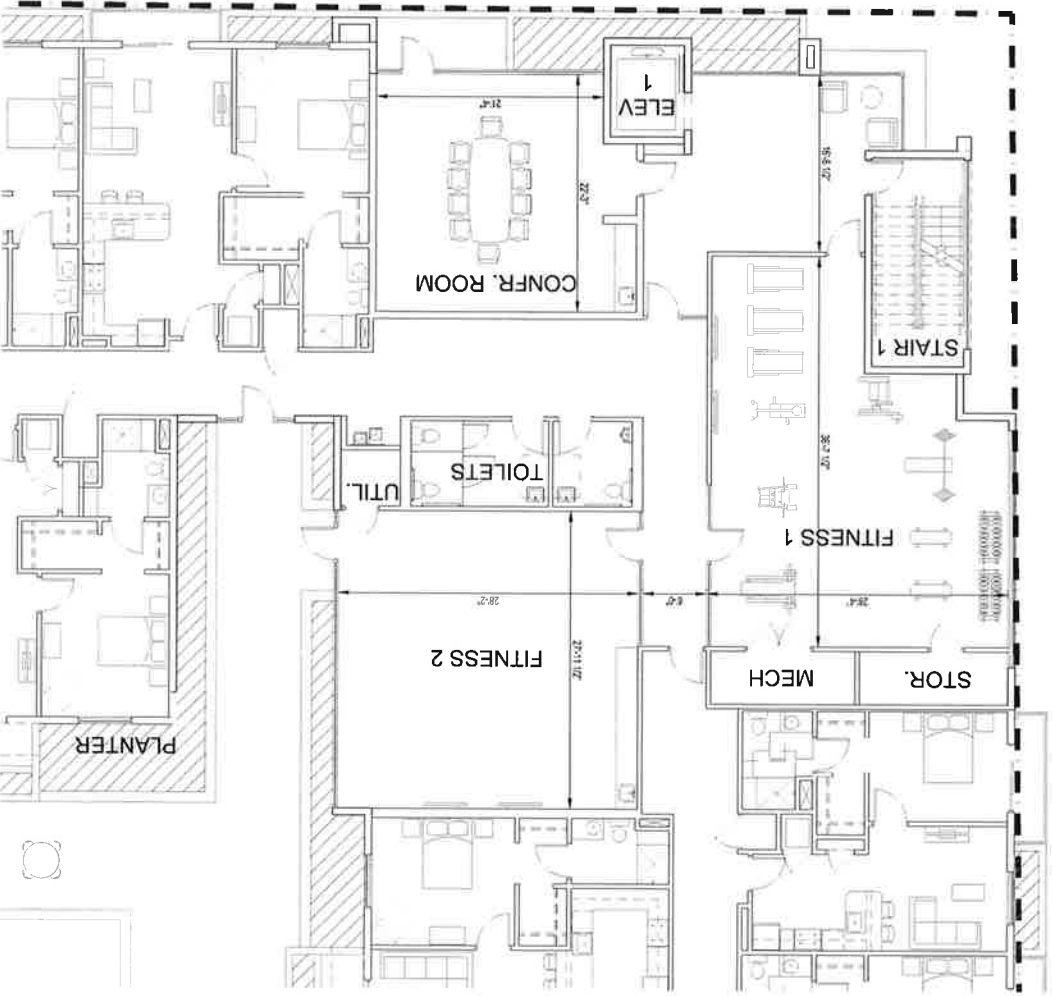
ENLARGED FLOOR PLANS

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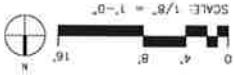
A4.01



1/8" = 1'-0"



SECOND FLOOR AMENITIES PLAN



238 DEVELOPMENT LLC

OWNER

KLIM PROPERTIES INC.
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PGAL TBP# REG. NO. F-2742
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PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

1 SITE PLAN SUBMITTAL 02/29/16

2 SITE PLAN RE-SUBMITTAL 04/19/16

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SHEET TITLE

ENLARGED FLOOR PLANS

SHEET NUMBER

A4.02

238 DEVELOPMENT LLC

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www.pgall.com
CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

1 SITE PLAN SUBMITTAL 02/29/16

2 SITE PLAN RE-SUBMITTAL 04/19/16

REGISTRATION NO. AR-0594488

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CURRENT DOCUMENT STAGE

SCHEMATIC DESIGN

CURRENT ISSUE DATE

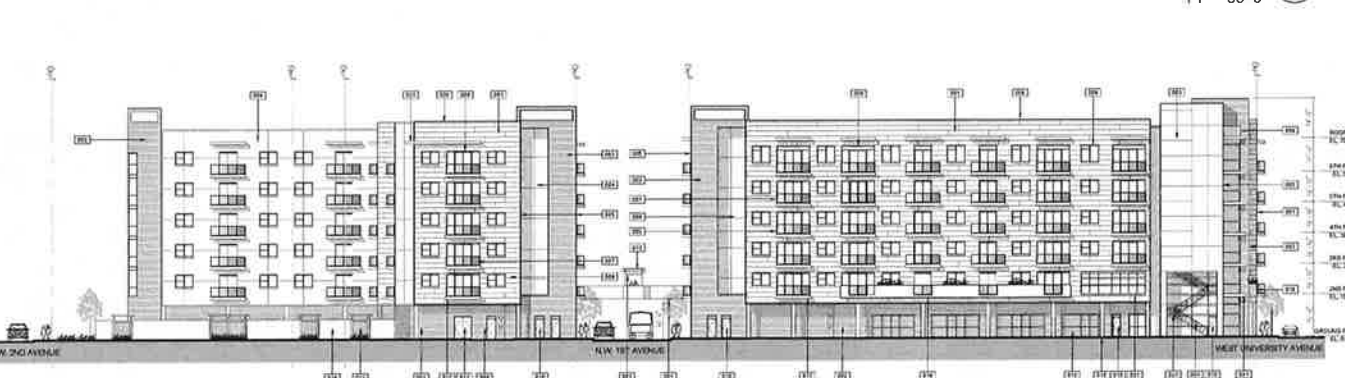
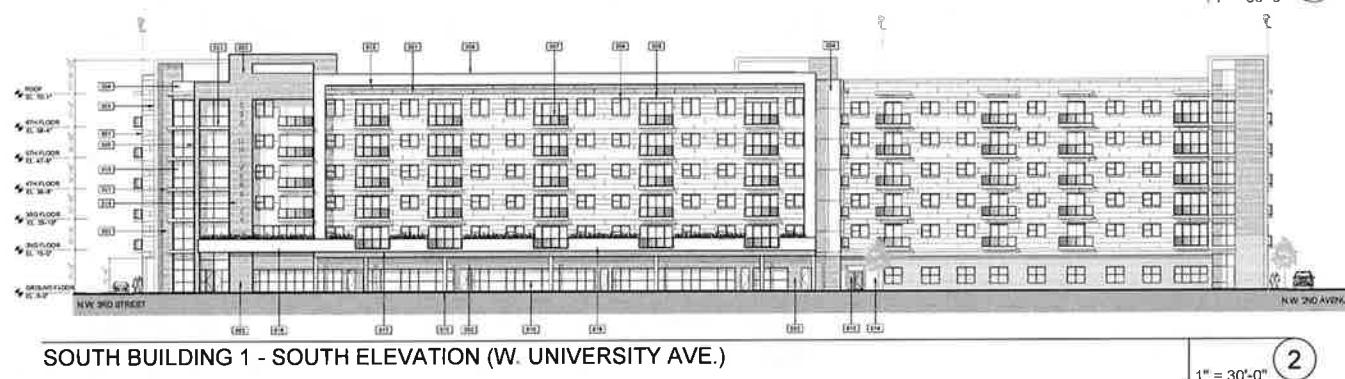
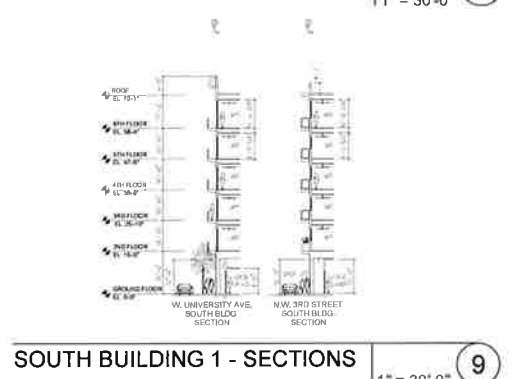
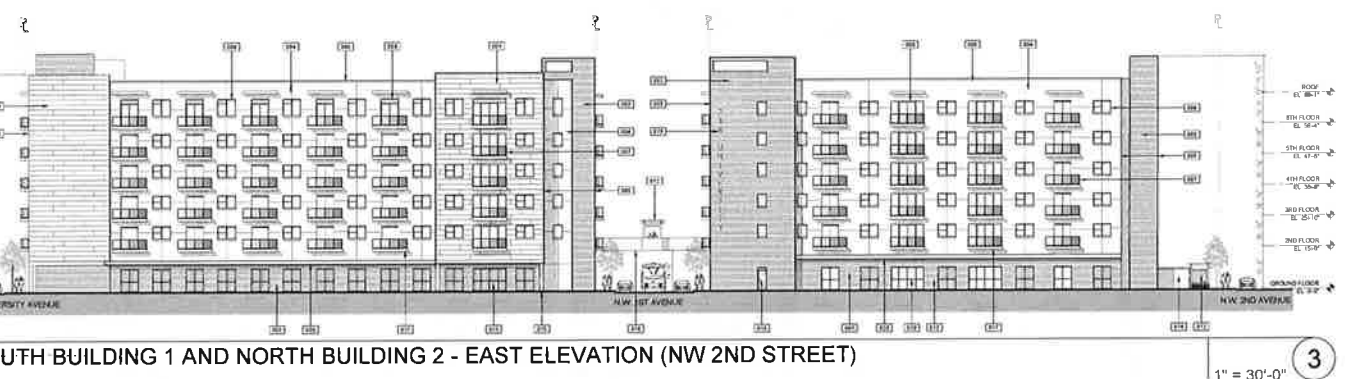
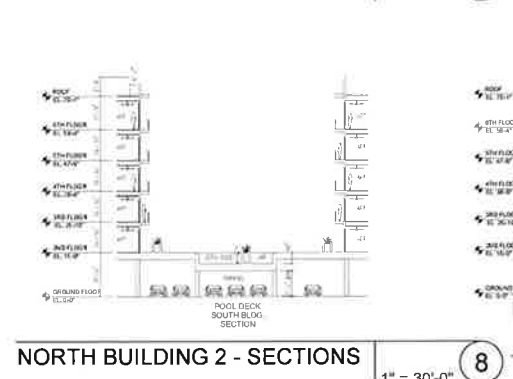
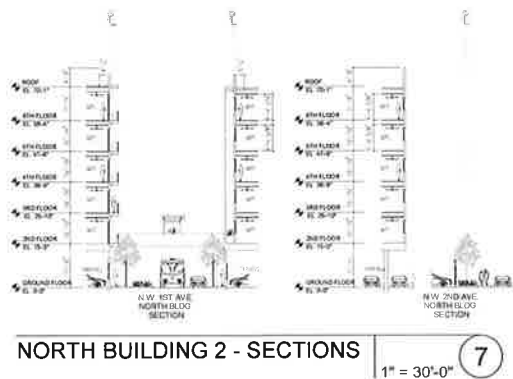
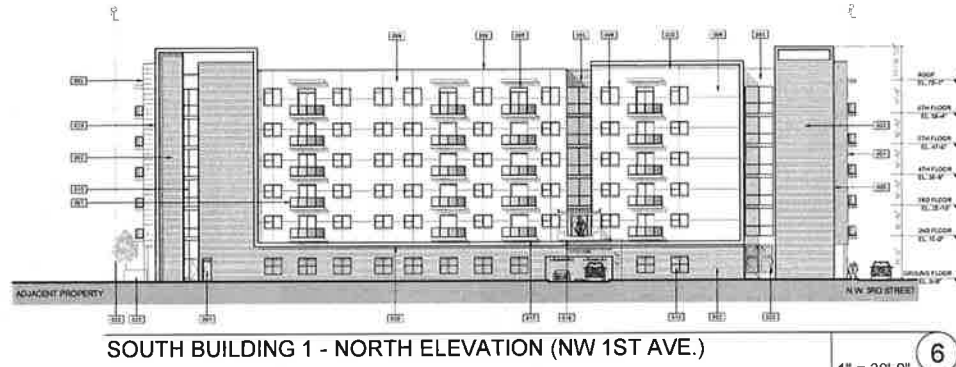
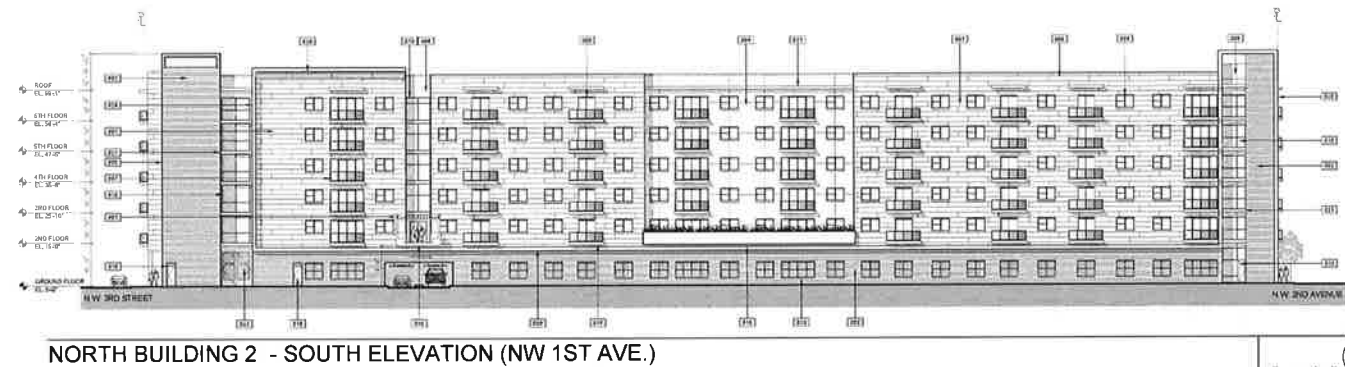
02/29/16

SHEET TITLE

ENLARGED FLOOR PLANS

SHEET NUMBER

A4.02

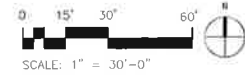


GLAZING CALCULATIONS
(BETWEEN 3FT AND 8 FT ABOVE GRADE)
REQUIRED 10% GLAZING ON 3RD AND 2ND STREET
PROVIDED:
SOUTH BLDG #1:
TOTAL AREA 114.1A, BLOCKED BY ADJACENT PROPERTY
NORTH BLDG #2:
TOTAL AREA 170.9F
GLAZED AREA 170.9F
TOTAL PERCENTAGE OF GLAZING 22.5%

GLAZING CALCULATIONS
(BETWEEN 3FT AND 8 FT ABOVE GRADE)
REQUIRED 30% GLAZING ON UNIVERSITY AVE.
PROVIDED:
SOUTH BLDG #1:
TOTAL AREA 114.1A
GLAZED AREA 87.1F
TOTAL PERCENTAGE OF GLAZING 83.4%

GLAZING CALCULATIONS
(BETWEEN 3FT AND 8 FT ABOVE GRADE)
REQUIRED 10% GLAZING ON 3RD AND 2ND STREET
PROVIDED:
SOUTH BLDG #1:
TOTAL AREA 98.5F
GLAZED AREA 108.9F
TOTAL PERCENTAGE OF GLAZING 10.0%
NORTH BLDG #2:
TOTAL AREA 112.5F
GLAZED AREA 52.5F
TOTAL PERCENTAGE OF GLAZING 10.2%

- KEY NOTES
1. 6 AND 12 FT. 18 INCH HT. CEMENTITIOUS ARCHITECTURAL WALL CLADDING INSTALLED ON MFG. RECOMMENDED CLIPS OVER WATER WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING. STRETCHER BOND PATTERN W/ SMOOTH SATIN FINISH (BROWN, ORANGE BRICK CUSTOM COLOR)
 2. HORIZONTAL RIBBED CEMENTITIOUS ARCHITECTURAL WALL CLADDING W/ (3P" REVEALS AT 5'-58" O.C.) INSTALLED ON MFG. RECOMMENDED CLIPS OVER WATER WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING. METALLIC FINISH (GUN SMOKE COLOR)
 3. LARGE FORMAT CEMENTITIOUS ARCHITECTURAL WALL CLADDING INSTALLED ON MFG. RECOMMENDED CLIPS OVER WATER WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING. (BUFF WHITE COLOR)
 4. LARGE FORMAT CEMENTITIOUS ARCHITECTURAL WALL CLADDING INSTALLED ON MFG. RECOMMENDED CLIPS OVER WATER WATER RESISTANT BARRIER AND FIBERGLASS MAT SHEATHING. (NATURAL CONCRETE COLOR)
 5. ALUMINUM CORNER TRIM. PAINTED (GUN SMOKE FINISH COLOR)
 6. ALUMINUM FLASHING. PAINTED (GUN SMOKE FINISH COLOR)
 7. CLEAR TEMPERED GLASS AND METAL FRAME BALUSTRADE AND RAILING. WHITE GLOSS FRAME COLOR
 8. PRE-FINISHED ALUMINUM HORIZ. SLIDING WINDOW WITH INSULATED HIGH PERFORMANCE CLEAR GLASS AND 6" HIGH PRE-FINISHED ALUMINUM SILL. (WHITE FRAME AND SILL). NON LIVING UNIT AREAS SHALL BE FIED
 9. PRE-FINISHED ALUMINUM SLIDING DOORS WITH INSULATED HIGH PERFORMANCE CLEAR GLASS. (WHITE FRAME). FIED SILLSETS AND TRANSOMS PER ELEVATION AND PLAN
 10. PRE-FINISHED ALUMINUM STORE FRONT WITH INSULATED HIGH PERFORMANCE CLEAR GLASS. (WHITE FRAME)
 11. PAINTED METAL DOOR AND FRAME WITH CLEAR GLASS TRANSOM. (PAINTED GUN SMOKE COLOR)
 12. PRE-FINISHED ALUMINUM TRELLIS / PERGOLA AND DECORATIVE GATE WITH GRILLE WHERE IT OCCURS. (PAINTED WHITE COLOR)
 13. PRE-FINISHED DECORATIVE GRILLE 3" HT. 17" WD. 13" DP. WHITE FRAMES AND ALUMINUM COLOR GRILLE
 14. 7'-3" HT. CMU PRIVACY WALL AND CONT. CONCRETE CAP WITH SMOOTH STUCCO FINISH. PAINTED BUFF WHITE
 15. 16" DIA. CONCRETE COLUMNS WITH PAINTED SMOOTH STUCCO FINISH. (WHITE)
 16. PEDESTRIAN BRIDGE 16' LONG SPAN STRUCTURED FINISHED WITH CEMENTITIOUS CLADDING (NATURAL CONCRETE COLOR) AND CONT. CONC. CAP AT RAILING. UNDERSIDE OF BRIDGE TO RECEIVE CEMENTITIOUS FIBER BOARD WITH SMOOTH COLORED FINISH
 17. 3 FT. DEEP BALCONY WITH PAINTED ALUMINUM GLAZED PERIMETER (PASCAL) UNDERSIDE OF ALL BALCONIES TO RECEIVE CEMENTITIOUS FIBER BOARD WITH SMOOTH COLORED FINISH
 18. CONCRETE PLANTER WALL WITH PAINTED SMOOTH STUCCO FINISH
 19. 24" HT. RAISED STAINLESS STEEL CHANNEL LETTERS. BACK LIT ILLUMINATION
 20. 18" HT. 11' 6" DP. RAISED ALUMINUM CLAD TRIM (BANDING). PAINTED WHITE
 21. 12" HT. ALUMINUM CLAD EYEBROW PAINTED GLOSS WHITE 4" HT. 11' 12" DP. AT WEST FITNESS AND STAIR GLAZING
 22. PAINTED METAL GATES WITH PRE-FINISHED DECORATIVE GRILLE INSERTS 2" HT. 13" WD. 13" DP. HEAVY DUTY HINGES AND LOCKABLE LATCH. WHITE FRAMES AND ALUMINUM COLOR GRILLE
 23. DECORATIVE METAL FENCE PAINTED ALUMINUM COLOR
 24. PROP. TRANSFORMER AREA
 25. PRE-FINISHED ALUMINUM SPOFF AND RETURN WITH ALUMINUM CORNER TRIM. PAINTED (GUN SMOKE FINISH COLOR)



238 DEVELOPMENT LLC

OWNER

KLAM PROPERTIES INC.
101 SE 2ND PLACE, STE 202
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352.372.6172

ARCHITECT

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CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

1. SITE PLAN SUBMITTAL 02/29/16
2. SITE PLAN RE-SUBMITTAL 04/19/16
3. SITE PLAN RE-SUBMITTAL 05/17/16

REGISTRATION No. AR-0094498
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PROJECT NUMBER

1002712.00

CURRENT DOCUMENT STAGE

SCHEMATIC DESIGN

CURRENT ISSUE DATE

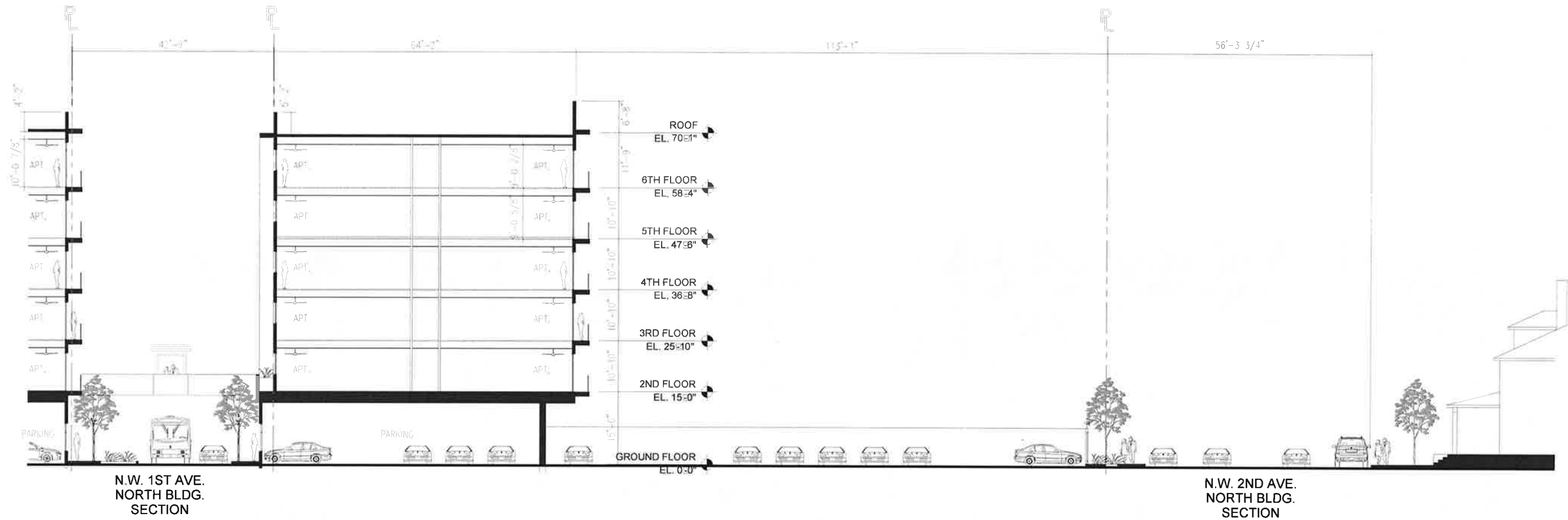
02/29/16

SHEET TITLE

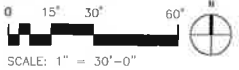
OVERALL
EXTERIOR ELEVATIONS

SHEET NUMBER

A6.00



BUILDING 2 - SECTION
3/32" = 1'-0" 1



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CONSULTANT

PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

2 SITE PLAN RE SUBMITTAL 04/18/16

REGISTRATION No. AR-0094498

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PROJECT NUMBER

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CURRENT DOCUMENT STAGE

SCHEMATIC DESIGN

CURRENT ISSUE DATE

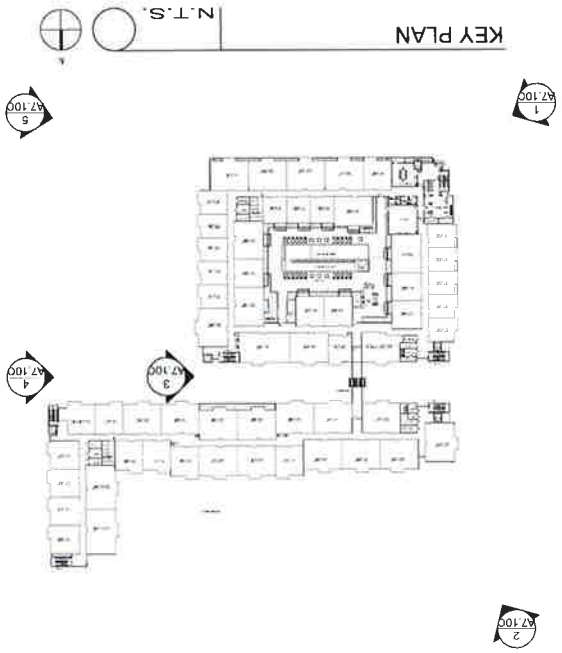
02/29/16

SHEET TITLE

BUILDING 2 SECTION

SHEET NUMBER

A6.10



1
2
3
4
5
N.T.S.

EXTERIOR RENDERING LOOKING WEST FROM NW 2ND STREET



5
N.T.S.

EXTERIOR RENDERING LOOKING NORTHWEST FROM WEST UNIVERSITY AVE



1
N.T.S.

EXTERIOR RENDERING LOOKING SOUTHEAST FROM NW 2ND AVE

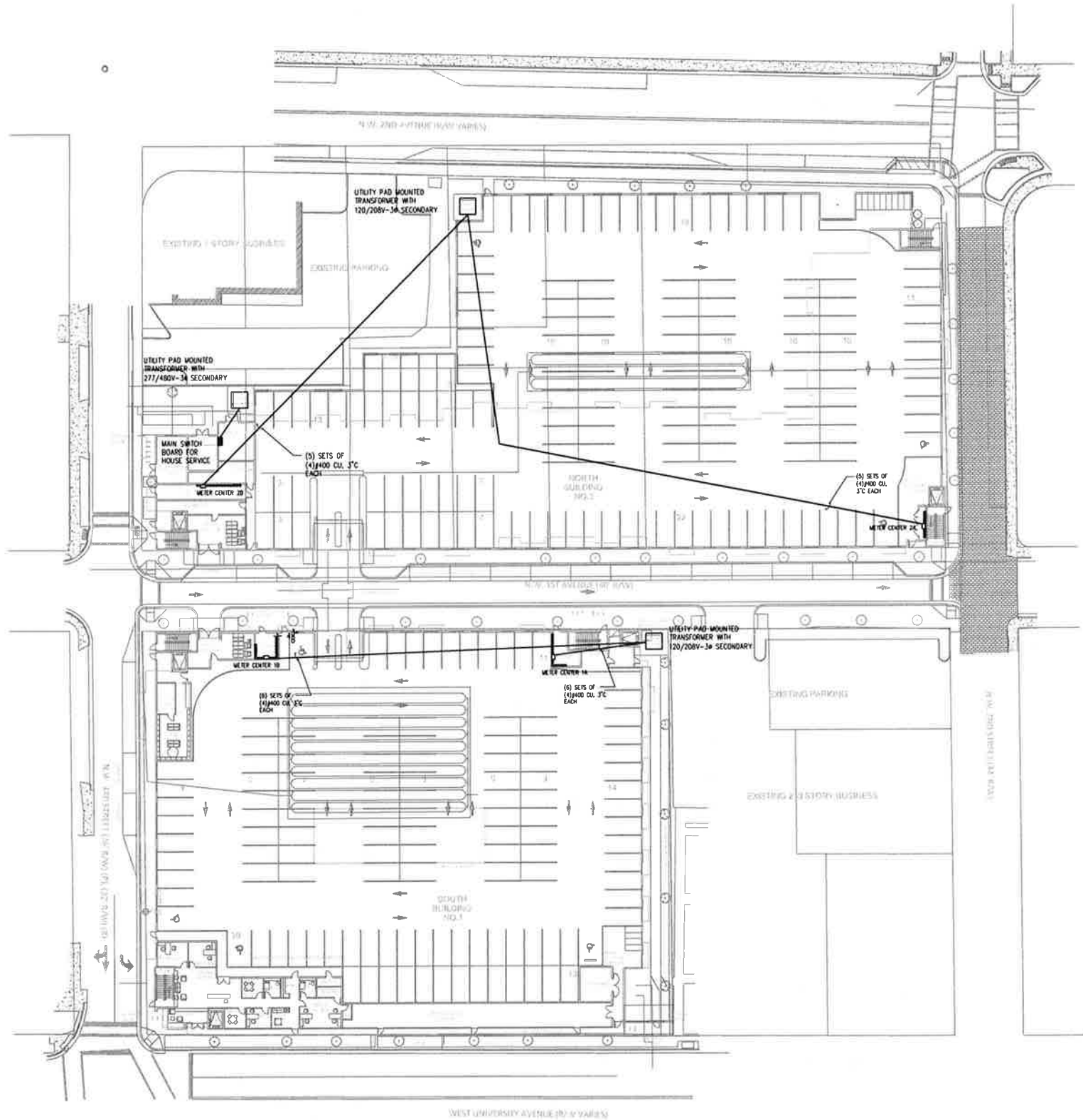


2
N.T.S.

EXTERIOR RENDERING LOOKING WEST ON NW 1ST AVE



3
N.T.S.



SITE PLAN - ELECTRICAL

1" = 30'-0" 1

238 DEVELOPMENT LLC

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PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

2 SITE PLAN RE SUBMITTAL 04/19/16
3 SITE PLAN RE SUBMITTAL 05/17/16

SUDHANVA WILKINSON WARDMAN, P.E.
2 HAWTHORNE CIRCLE, SUITE 200
WEST PALM BEACH, FL 33409
FL REG. NO. PWS143

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PROJECT NUMBER

1002712.00

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CURRENT ISSUE DATE

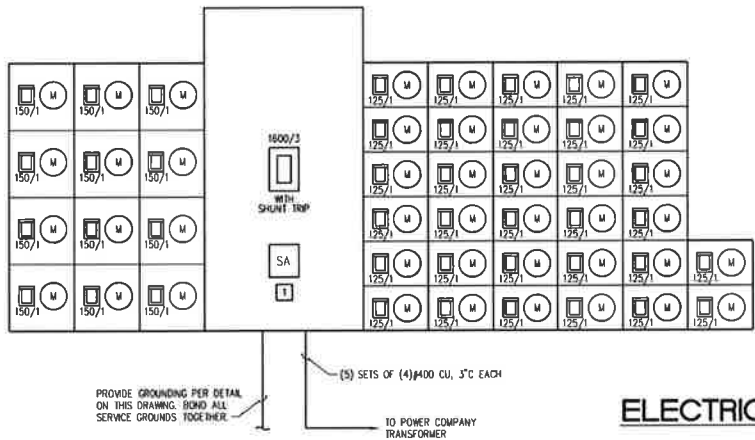
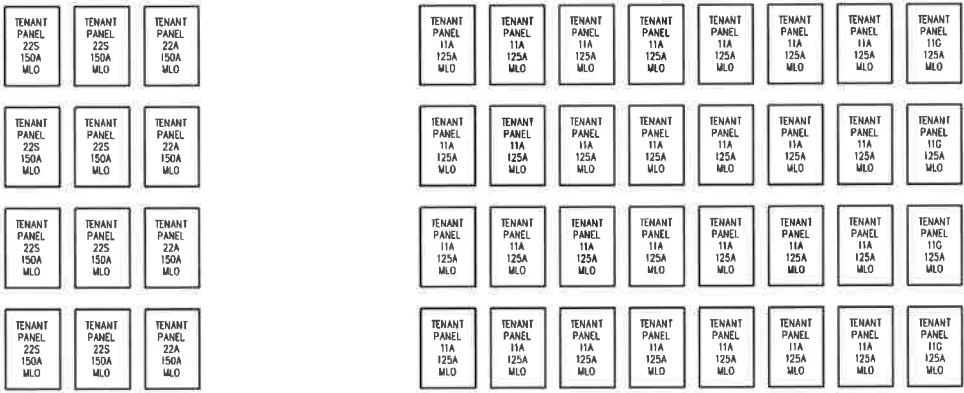
02/29/16

SHEET TITLE

SITE PLAN
ELECTRICAL

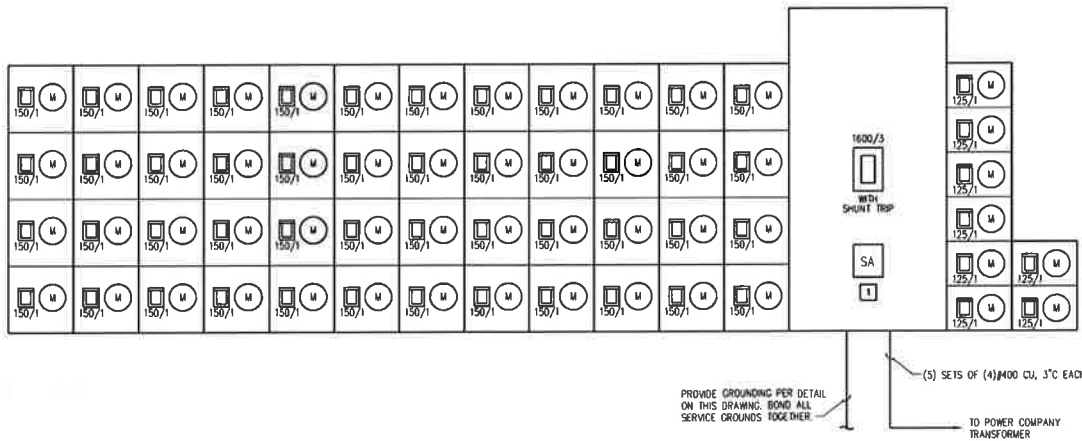
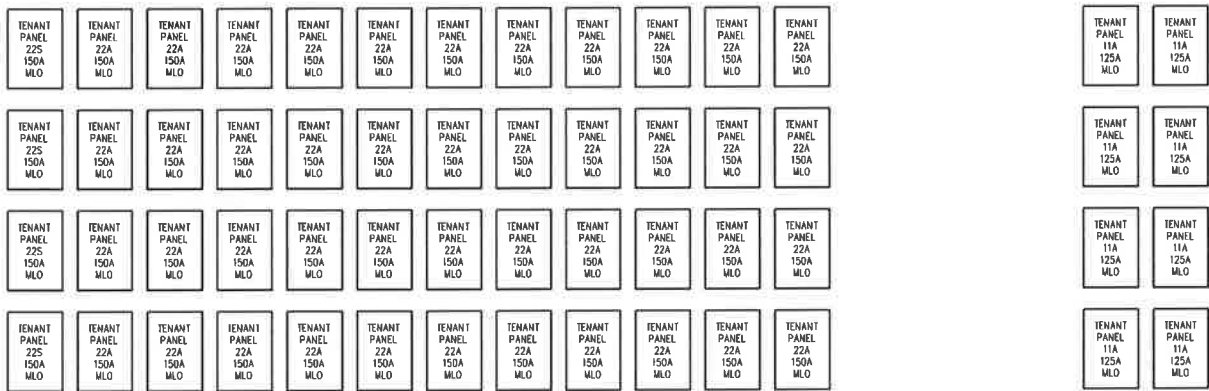
SHEET NUMBER

SE1.00



INTER-CENTER BUILDING TYPE SA LOAD CALCULATION PER NEC 220.84							
VOLTAGE 208V, 3PH							
UNIT TYPE	NO. UNITS	LIGHTING & APPLANCE		LARGER OF HEATIA C		BUILDING LOAD (VA)	
		PHASE	NEUTRAL	PHASE	NEUTRAL	PHASE	NEUTRAL
2-11A	28	32422	23422	7580	0	1120056	650816
2-11G	4	22856	23056	7580	0	189944	94024
2-22A	4	33314	24314	8000	0	165256	97256
2-22S	8	33819	24818	8000	0	334544	198544
220.84 APPLICATION OF DEMAND FACTOR		44	UNITS @	0.27		1782800	1046240
TOTAL DEMAND (AMPS)						480018	282485

ELECTRICAL ONE-LINE DIAGRAM BUILDING 2- MC2A



INTER-CENTER BUILDING TYPE SA LOAD CALCULATION PER NEC 220.84							
VOLTAGE 208V, 3PH							
UNIT TYPE	NO. UNITS	LIGHTING & APPLANCE		LARGER OF HEATIA C		BUILDING LOAD (VA)	
		PHASE	NEUTRAL	PHASE	NEUTRAL	PHASE	NEUTRAL
2-11A	8	32422	23422	7580	0	320016	187300
2-11G	0	32856	23056	7580	0	0	0
2-22A	44	33314	24314	8000	0	1617818	1008818
2-22S	4	33818	24818	8000	0	167272	99272
220.84 APPLICATION OF DEMAND FACTOR		56	UNITS @	0.24		2355104	1356464
TOTAL DEMAND (AMPS)						1530	10070

ELECTRICAL ONE-LINE DIAGRAM BUILDING 2- MC2B

238 DEVELOPMENT LLC

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PROJECT TITLE

238 UNIVERSITY

PROJECT LOCATION

238 W. UNIVERSITY AVE.
GAINESVILLE, FL

SUBMITTAL HISTORY

2 SITE PLAN RE SUBMITTAL 04/19/16
3 SITE PLAN RE SUBMITTAL 05/07/16

SUBHARNA MUEGANAHARAN, P.E.
2 HAWAIIAN CIRCLE, SUITE #100
WEST PALM BEACH, FL 33409
FL REG. NO.: PEE3143

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PROJECT NUMBER

1002712.00

CURRENT DOCUMENT STAGE

SCHEMATIC DESIGN

CURRENT ISSUE DATE

02/29/16

SHEET TITLE

BUILDING 2
RISER DIAGRAM AND
LOAD CALCULATIONS

SHEET NUMBER

E5.02



238 University Ave
DB-16-00038
Major Development Plan

Technical Review Committee:

Planning Comments (Approvable with conditions)
Andrew Persons, 334-5023

1. Please submit a detailed list of requested exceptions to the Traditional City Special Area Plan requirements and an explanation of how the project meets the exception standards listed below. Any requested exceptions will be considered by the Development Review Board in accordance with the following:

(d)Exceptions. Exceptions to these standards can be granted by the appropriate reviewing board, city manager or designee, upon a finding that either of the following criteria are met:

*The proposed construction is consistent with the overall intent of these minimum development standards; or

*The applicant proves an undue hardship, owing to conditions peculiar to the land or structure and not the result of the action of the applicant, would result from strict adherence to these standards.

In addition to the exceptions that may be granted above, exceptions to the build-to line may be granted if the proposed construction includes an existing structure which has been designated as an [a] historic property, or has historic significance because it is potentially eligible for listing on the national or local register, and maintaining a view of the existing historic structure is in the public interest.

Response: A detailed exception letter has been provided to the City of Gainesville for the June 28th DRB meeting. This letter is dated "May 27, 2016 (Revised June 23, 2016"

2. Please request exceptions to the build to line where either the building is closer than Traditional City SAP allows or where the build-to line is greater than 20' such as along NW 2nd Avenue.

Response: Please refer to exception 3 in the exception letter submitted.

3. An exception is needed where the first floor structured parking deck abuts the W University Avenue, NW 1st Avenue, NW 3rd Street and NW 2nd Street frontages. The Special Area Plan requires retail, office or residential uses on the first floor abutting all public streets and sidewalks to be placed in front of any structured parking facilities.

Response: Please refer to exception 1 in the exception letter submitted.

4. An exception is needed where the proposed surface parking lot exceeds 70' along NW 2nd Ave. The applicant has provided a screening wall as shown on the plans. The wall must be broken to allow pedestrian access every 50' unless an exception is granted by the board.

Response: Please refer to exception 4 in the exception letter submitted to the City.

5. Per the Traditional City requirements, multifamily projects must provide 7' of sidewalk width along arterial and collector roadways (University Ave, NW 3rd St. and NW 2nd St) and 6' along local roads (NW 1st Ave and NW 2nd Ave). An exception is required along the north side of NW 1st Ave where the unobstructed width is below 5'.

Response: Sidewalk width compile with Traditional City Requirements except the north side of NW 1st Ave. Please refer to exception 6 in the exception letter submitted.

6. Please request an exception to the glazing requirement along NW 1st Avenue.

Response: Please refer to exception 1 in the exception letter submitted.

7. Final development approval cannot occur until the proposed vacation of NW 1st Avenue has been approved by the City Commission consistent with the vacation of right-of-way process outlined in the City's Land Development Code and Comprehensive Plan.

Response: Acknowledged.

8. Reductions in the number of required street trees will require a waiver from the DRB. Please include this in the list referenced in the first comment.

Response: Please refer to exception 5 in the exception letter submitted.

9. A waiver is needed to the City's photometric requirements to allow light levels along NW 1st Ave to exceed 1.0 footcandles.

Response: Please refer to exception 2 in the exception letter submitted.

10. Final development plan approval cannot be issued without a Utility Construction Permit (UCP) from GRU for the project.

Response: Acknowledged.

Public Works Review (Approvable subject to comments)
352-334-5070

Roadway and Site Design:

1. Appropriate striping and signage is required for the proposed on-street parking along the east side of NW 3rd St. south of NW 1st Ave. Please discuss with appropriate Public Works staff.

Response: Striping and signage for the proposed on-street parking along the east side of NW 3rd Street will be discussed with Public Works Staff and revised as necessary.

Stormwater Management:

1 - What is the flow rate / impact of the condensate that will be discharged into the stormwater system? This will affect the effectiveness of the system.

Response: This flow rate will be determined by the MEP Engineer and accounted for in the updated stormwater calculations.

2 - It appears that the groundwater will mound during storm events. The soil directly beneath the proposed facilities does not have enough volume for vertical infiltration to be the only means for recovery the WQTV as the SHWT is only 2.5 feet below the proposed facilities (eg. SMF1 - $3,200 \text{ sf} \times 2.5 \text{ ft} = 8,000 \text{ cf} \times 0.20 \text{ porosity} = 1,600 \text{ cf}$).

Response: As discussed, the stormwater calculations will be updated to include horizontal infiltration to confirm the recovery of the WQTV is met.

3 - Sheet C3.02, Stormbrixx Storage Chamber Detail Section calls out "impermeable geotextile fabric entire perimeter of tank" and is pointing to the bottom of the facility. The depiction of the system provided in the stormwater report indicates that this would be utilized in a detention system. This is a proposed retention system.

Response: The detail will be updated to replace the impermeable geosynthetic with a nonwoven filter fabric to be a detention system.

4 - Clarify the elevations for the proposed StormBrixx system. Based on the WQTV calculations, the bottom elevation is 169.50 and top elevation is 173.50. It appear from the ICPR information for the node North_Site_Prop, the top elevation extends to 176.00. Also, the peak stages shown on page 6 of the report have all of the elevations above the 173.50. It is unclear how the volume can be maintained above the 173.50 with sand, subgrade, base, and asphalt being what is above the StormBrixx system.

Response: The stage-area inputs will be modified to confirm storage is not accounted for in the areas with backfill.

5 - The City of Gainesville Engineering Design and Construction Manual (EDCM) Table 4.2 requires six inches of freeboard. EDCM Sec. 4.4 provides direction for this requirement for underground systems. The proposed design does not appear to currently meet this criteria.

Response: The stormwater design will be updated to confirm requisite freeboard is provided.

6 - Provide the location of the inspection ports.

Response: The plans will be updated to indicate the location of the inspection ports

7 - Provide details for the PRB and IPRB or the structures these are placed in.

Response: PRB and IPRB details will be added to the plans.

8 - The information provided about the StormBrixx indicates that there is a sediment forebay option and the following statement, "Sediment can be removed either before water enters the StormBrixx or as water enters the system via a sediment forebay." Is the PRB meant to provide the sediment removal prior to the runoff entering the system or is a forebay provided.

Response: The PRB is intended to prevent floatables from entering the StormBrixx system. The sediment forebay assists to remove sediment. The forebay location will be confirmed on the plans and details.

9 - How is the water collected from the building and then conveyed to the underground systems? Only the receiving manhole for the southern is shown (with a condensate line) and a trench drain and condensate line for the north on the plans.

Response: Roof runoff will be collected via rain water leaders (RWLs). The RWL connections to the stormwater system will be shown on the plans.

10 - Currently there are no grades for the work within NW 1st Avenue. Private streets still need to be designed to meet public standards. It cannot be determined with the information provided if this criteria can be met.

Response: Please be advised that it is not the intent of the developer to regrade NW 1st Avenue. Only milling and resurfacing will be proposed. Grading along the new sidewalk and parallel parking on NW 1st Avenue will be provided to meet ADA criteria as applicable.

11 - The system has proposed weirs set at 173.50 in the ICPR model. This is confusing as it appears this is also the top of the proposed StormBrixx system (see comment 4 above). It is not clear in the plans where these weirs are to be constructed.

Response: The IPRBs serve as the weirs in this system.

12 - Provide a summary table similar to what is shown at the bottom of page 6 of the report for the pre and post-developed discharge rates.

Response: A summary table for pre-vs.-post analysis will be added to the stormwater report.

13 - It appears that the storm structure Catch Basin #2 is the outfall from the northern system. The outlet pipe (15" pipe) has an invert of 174.90 so it is unclear how this will function with the proposed design.

Response: As discussed, the ICPR model will be reevaluated and updated to show the proper tailwater and initial stage to be consistent with the existing storm pipes to be used as outfalls

14 - According to the geotechnical report, the provided soil parameters can be utilized if the following is also completed. "GSE recommended a mass undercut at the site to compact surficial very loose to loose sandy soils so that the structures can be supported by shallow foundations. During that mass excavation, caution should be taken such that the soils directly beneath stormwater vaults are not compacted to the point that the permeability values are reduced." How is this address with the provided design?

Response: As discussed, we will coordinate with the Geotechnical Engineer to confirm how the permeability values can be confirmed during excavations. A potential option is to specify a maximum density for the area under the stormwater vaults.

15 - Based on the numerous comments above, the stormwater design appears to have major issues. Additional issues beyond those provided above may still be present. Therefore, additional comments may be provided with future submittals.

Response: Acknowledged.

Transit Review:

1. Please provide auto-turn analysis as requested by Public Works.

Response: An auto-turn analysis will be added to the plans.

Solid Waste:

1. Unable to determine from the plans - is one chute in each building now directed to a recycling container, or are both chutes in each building going into trash containers?

Response: Plans have been updated to indicate that each building has a dedicated chute directed to a trash and recycling container.

Concurrency Comments (Approvable subject to below)
Jason Simmons, Concurrency Planning, 334-5022

1. Please note that due to the location of the property within the University of Florida Context Area, this development must comply with the provisions of Transportation Mobility Element Policy 10.1.14, concerning new multi-family residential development funding capital transit costs associated with transit service needs. Payments shall be based on a proportionate share contribution toward the additional transit service enhancements needed to serve the proposed development in the RTS a.m. and p.m. peak hours to maintain existing service levels (frequencies). The payment will be based on the expected mode split of all development trips that will use transit.

Response: Acknowledged.

2. The trip generation calculations for apartments within the UF context area of the City of Gainesville, are based on the number of bedrooms or persons, using the Average Vehicle Trip Ends vs: Persons, on a "weekday," the "peak hour of adjacent street traffic, one hour between 7 and 9 a.m.," and the "peak hour of adjacent street traffic, one hour between 4 and 6 p.m." Please revise the trip generation information by re-calculating the trip generation for the residential uses using ITE 220, Apartments as the use and persons (bedrooms) as the standard.

Response: Trip generation information will be re-calculated based to comply with comment above.

3. It is unclear how the trip generation numbers in Table1 were calculated. The rate for ITE 220 Apartments is 3.31 for average daily trips, 0.28 for AM peak hour of adjacent street traffic and 0.40 for PM peak hour of adjacent street traffic. These rates multiplied by 441 persons do not equal what is shown in the table.

Response: Trip generation information will be re-calculated.

4. The equations utilized in the trip generation as shown below Table 1 on page 2 of the traffic study indicate ITE Code 221, which is Low-Rise Apartment, which is not applicable to the proposed development.

Response: Trip generation information will be re-calculated.

5. Please provide a concurrency/TMPA certification form with a revised traffic generation memorandum that indicates the proposed trip generation for this development based on number of bedrooms. I did not see this item attached with the submittal.

Response: Concurrency/ TMPA certification form with a revised traffic generation

memorandum will be provided.

6. Please provide a Public School Student Generation Calculation form so that school concurrency can be determined for this development. I did not see this item attached with the submittal.

Response: Public School Student Generation Calculation form will be provided.

7. Please submit a completed water/wastewater deferral form. I did not see the referenced folder.

Response: Water/ wastewater deferral form will be provided.

8. Please add a note near the trip generation table on sheet C2.01 indicating that this development is within Zone A of the Transportation Mobility Program Area will comply with Policies 10.1.4 and 10.1.14 of the Transportation Mobility Element.

Response: A note will be provided near the trip generation table on sheet C2.01 indicating that this development is within Zone A of the Transportation Mobility Program Area will comply with Policies 10.1.4 and 10.1.14 of the Transportation Mobility Element

Fire and Life Safety Services (Approvable with comment)
Tom Burgett, Fire Inspector, 334-5065

1. All new buildings meeting any one of the criteria listed below require a standpipe system, and therefore a fire hydrant must be provided within 100 feet of the fire department connection.

- (1) More than three stories above grade where the building is protected by an approved automatic fire sprinkler system
- (2) More than two stories above grade where the building is not protected by an approved automatic fire sprinkler system
- (3) More than 50 feet (15m) above grade and containing intermediate stories or balconies
- (4) More than one story below grade
- (5) More than 20 ft. (6.1m) below grade

[Gainesville Fire Prevention and Protection Code Section 10-9 (NFPA 1-13.2.2 & NFPA 14-6.4.5.4)]

The FDC on the south tower is greater than 100ft from the hydrant and I do not see the FDC for the north tower

Response: Hydrants for the north and south tower will be provided within 100' from the FDC. Also FDC's will be shown in a revised plan

2. Please indicate the approximate location of the features of fire protection, including:

--Fire department connection: Fire department connections shall be located at the nearest point of fire department apparatus accessibility or at a location approved by the authority having jurisdiction. (NFPA 13- 8.17.2.4.6)

-- Post Indicator Valve and/or Backflow Preventer for each building: Every connection from the private fire service main to a building shall be provided with a listed indicating valve located so as to control all sources of water supply. The post indicator valve shall be located not less than 40 ft. from the building, or as close to 40 ft. as is possible considering site limitations. (NFPA 24- 6.2)

--Fire Sprinkler and/or Standpipe main

--Sprinkler Room

[Gainesville Land Development Code Section 30-157(d) (15)]

I don't see an FDC for the north tower or PIV/OS&Y shut off for either tower

Response: FDC's will be provided in a revised plan.

3. Please add note indicating a Knox Box will be provided to ensure emergency access to the "restricted access occupancy". Restricted access occupancy means; any multiple residential occupancy with interior corridors that lead to individual residential units, to which general public access is restricted. [Gainesville Fire Prevention and Protection Code Section 10-16 (b)]

Response: A notes to provide a Knox Box has been added to the plans as requested.

GRU Comments

Michelle Farnsworth, Utility Services Supervisor, 352-393-1413

GRU comments are being provided to the applicant in the form of redline markups of the plans.

Response: GRU comments were received on 6/22/2016 from their water and sewer reviewers. Our design team will coordinate with appropriate GRU staff to resolve these comments.