

**Attachment “E”**  
**Development Plan Maps**

# DEVELOPMENT PLANS FOR ALOFT HOTEL AT VILLAGE POINT

## GAINESVILLE, FLORIDA

SECTION 11, TOWNSHIP 10 SOUTH, RANGE 19 EAST

### SUBMITTED TO CITY OF GAINESVILLE GAINESVILLE REGIONAL UTILITIES ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

#### DEVELOPER

BRENT REYNOLDS  
NP INTERNATIONAL  
315 MANITOBA AVENUE  
WAYZATA, MN 55391

#### CIVIL ENGINEER

WALTER JARVIS, P.E.  
CHW, INC.  
132 N.W. 76th DRIVE  
GAINESVILLE, FLORIDA 32607  
(352) 331-1976  
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#### ARCHITECT

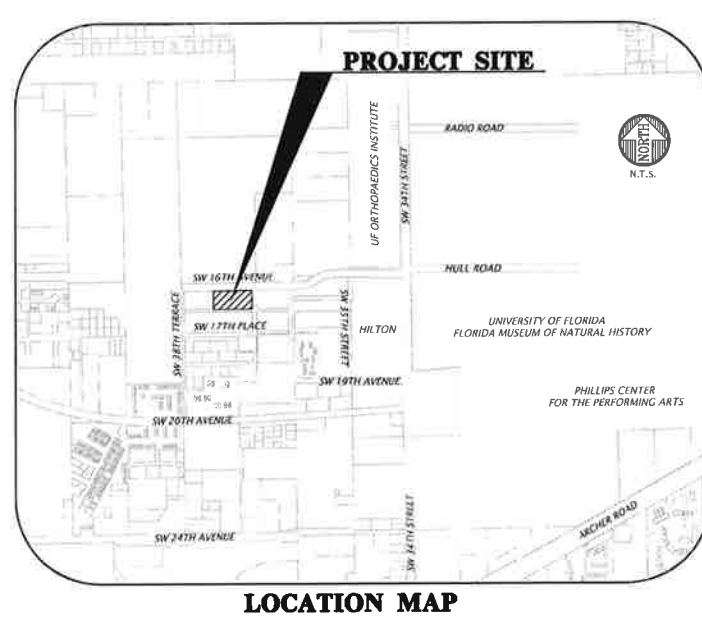
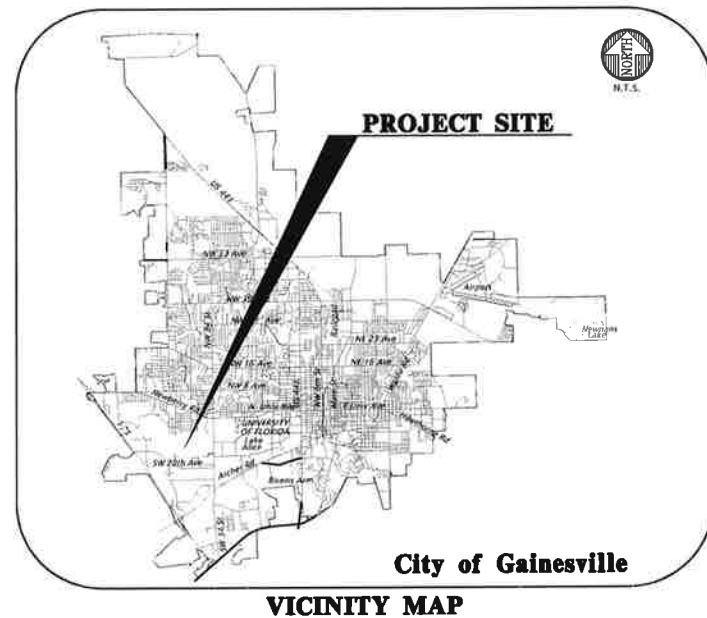
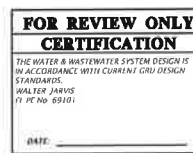
JAMES O'SHEA  
COLLABORATIVE DESIGN GROUP, INC.  
100 PORTLAND AVENUE SOUTH, SUITE 100  
MINNEAPOLIS, MN 55401  
(612) 332-3654  
joshea@collaborativedesigngroup.com

#### LANDSCAPE ARCHITECT

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GAINESVILLE, FLORIDA 32607  
(352) 331-1976

#### MEP

OCI ASSOCIATES, INC.  
600 S. ORLANDO AVENUE  
SUITE 100  
MAITLAND, FL 32751  
(407) 332-5110



### GENERAL NOTES

1. DEVELOPMENT DATA:  
EXISTING DATA:  
TOTAL AREA= 107,438 SF 100.0% 2.47 ACRES  
TOTAL IMPERVIOUS AREA= 0 SF 0.0% 0.0 ACRES  
OPEN AREA= 107,438 SF 100.0% 2.47 ACRES  
PROPOSED DATA:  
TOTAL AREA= 107,438 SF 100.0% 2.47 ACRES  
TOTAL IMPERVIOUS AREA= 79,970 SF 74.5% 1.84 ACRES  
OPEN AREA= 27,468 SF 25.5% 0.63 ACRES  
DESCRIPTION:  
CONSTRUCTION OF A 77,886±, 5-STORY HOTEL, STORMWATER SYSTEM, PARKING, ASSOCIATED UTILITIES, AND LANDSCAPE.  
2. SITE ZONING: URBAN MIXED USE + 2 (UMU-2) AND URBAN VILLAGE OVERLAY DISTRICT  
LAND USE:  
URBAN MIXED USE (2) (UMU2)  
BUILD TO LINE:  

LOCATION	REQUIRED	PROVIDED
FRONT (SW 16TH AVENUE)	BUILDING FACADE SHALL BE NO CLOSER THAN 18' FROM CURB OR EDGE OF PAVEMENT	57.4' TO 63.5', ±
SIDE (SW 17TH STREET)	BUILDING FACADE SHALL BE NO CLOSER THAN 18' FROM CURB OR EDGE OF PAVEMENT	44.8' ±

  
BUFFERS: N/A  
3. PARKING:  
REQUIRED:  
VEHICULAR PARKING: 1 PER 400 SF GFA = 79,439/400 = 198.6 = 199 SPACES  
BIKE: 1 PER 2,000 SF GFA = 79,439/2000 = 39.7 = 40 SPACES  
SCOOTER: 1 PER 40 REQUIRED VEHICLE SPACES = 199/40 = 4.9 = 5 SPACES  
PROVIDED:  
VEHICULAR PARKING: 127; INCLUDING 6 ADA ACCESSIBLE SPACES  
BIKE: 40  
SCOOTER/MOTORCYCLE: 13  
4. UTILITIES:  
ALL UTILITY SERVICES SHALL BE INSTALLED BELOW GRADE PER LDC SECTION 30-345.  
WATER: - NEW DOMESTIC WATER, IRRIGATION, AND FIRE SUPPRESSION LINE TO BE CONNECTED TO EXISTING WATER LINE ON SW 17TH STREET.  
WASTEWATER: - CONNECT VIA EXISTING SANITARY STUB ON SW 16TH AVENUE (HULL ROAD).  
ELECTRIC: - NEW ELECTRIC TO BE CONNECTED TO EQUIPMENT ON SW 16TH AVENUE (HULL ROAD).  
5. STORMWATER MANAGEMENT UTILITY DATA:  
A STORMWATER SYSTEM WILL BE CONSTRUCTED ON THE SITE.  
TOTAL IMPERVIOUS AREA = 79,970 S.F.  

	SW-1	SW-2
LOWEST DISCHARGE ELEVATION	64.82	65.40
RETENTION VOLUME BELOW LOWEST DISCHARGE ELEVATION	27,696 C.F.	2,126 C.F.

  
THE PROJECT MUST COMPLY WITH ALL NPDES CRITERIA BOTH DURING AND AFTER CONSTRUCTION.  
6. REFUSE COLLECTION: TRASH AND RECYCLING PAD LOCATED IN PARKING LOT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.  
7. SITE LIGHTING IS PROVIDED. THE LIGHT LOCATIONS PROVIDE FULL CUTOFF LUMINAIRES AND COMPLIES WITH ARTICLE VI OF THE LAND DEVELOPMENT CODE. REFER TO PHOTOMETRIC DESIGN FOR DETAIL.  
8. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA D.O.T. STANDARDS.  
9. FIRE PROTECTION:  
THE BUILDING SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE. FIRE PROTECTION SYSTEMS PROVIDED IN THE STRUCTURES SHALL BE INSTALLED IN FULL COMPLIANCE WITH THE APPROPRIATE FIRE PROTECTION AND BUILDING CONSTRUCTION STANDARDS. ALL STABILIZED SURFACES MUST BE IN PLACE PRIOR TO ANY ACCUMULATION OF COMBUSTIBLES ON SITE.  
THE BUILDING IS SPRINKLED. IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL NEW BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHI.  
THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION. AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241. THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN, AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16))  
10. NO GENERAL HAZARDS ARE PROPOSED FOR THIS PROJECT. N/A  
11. THERE ARE NO KNOWN SPECIAL FIRE PROTECTION CONCERNS. N/A  
12. THE SITE IS NOT IN THE HISTORICAL PRESERVATION DISTRICT. N/A

13. THE SITE IS NOT IN A FLOOD PLAIN DISTRICT. N/A  
14. THE SITE IS NOT EFFECTED BY WETLANDS REGULATIONS. N/A  
15. THE SITE IS NOT LOCATED ON A NATURE PARK, GREENWAY, OR GATEWAY DISTRICT. N/A  
16. THE SITE IS NOT LOCATED WITHIN THE WELLFIELDS PROTECTION DISTRICT. N/A  
17. THE MAXIMUM HEIGHT OF THE PROPOSED STRUCTURE IS LESS THAN 90 FEET. PER APPENDIX F SECTION II.A2.b. THIS STRUCTURE IS WITHIN SUBZONE 1. GREATER THAN 15,000 FEET FROM THE AIRPORT, IT IS LESS THAN 100 FEET TALL, AND IS THEREFORE NOT TO BE CONSIDERED A "POTENTIAL AIRPORT OBSTRUCTION".  
18. THE SITE COMPLIES WITH THE FLORIDA BUILDING CODE FIFTH EDITION AND ALL RELATED CODES AND FLORIDA HANDICAPPED ACCESSIBILITY CODES AND STANDARDS INCLUDING THE FOLLOWING:  
FLORIDA BUILDING CODE - BUILDING FIFTH EDITION  
FLORIDA BUILDING CODE - EXISTING FIFTH EDITION  
FLORIDA BUILDING CODE - RESIDENTIAL FIFTH EDITION  
FLORIDA BUILDING CODE - PLUMBING FIFTH EDITION  
FLORIDA BUILDING CODE - FIRE GAS FIFTH EDITION  
FLORIDA BUILDING CODE - MECHANICAL FIFTH EDITION  
FLORIDA BUILDING CODE - ENERGY CONSERVATION FIFTH EDITION  
FLORIDA BUILDING CODE - ACCESSIBILITY FIFTH EDITION  
NATIONAL ELECTRICAL CODE 2008 EDITION  
NFPA 101 LIFE SAFETY CODE W/ FLORIDA MODIFICATIONS 2009 EDITION  
FLORIDA FIRE PREVENTION CODE FIFTH EDITION.  
19. TRAFFIC STATEMENT:  
THE PROJECT TRAFFIC GENERATION IS CALCULATED FROM TRIP GENERATION RATES PUBLISHED IN THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION, AN INFORMATIONAL REPORT, 9TH EDITION.  

PROPOSED LAND USE	QUANTITY	ADT	PM PEAK HR
HOTEL (311)	146	715	58
NET TOTAL		715	58

  
THE DEVELOPMENT IS LOCATED IN ZONE M OF THE TRANSPORTATION MOBILITY ELEMENT PROGRAM AREA (TMPA), AND SHALL MEET ALL CRITERIA AS LISTED IN THE TMPA POLICY 10.1.4 AND 10.1.13. DEVELOPER AGREES TO SATISFY MOBILITY CRITERIA OF POLICY 10.1.13 BY MAKING A PAYMENT TO THE CITY.  
20. PARCEL INFORMATION:  
TAX PARCEL # 06706 001 002 AND A PORTION OF 06706 001 003  
21. BUILDING OCCUPANCY CLASS: HOTEL R-1, BAR/LOBBY/MEETING ROOM A-2, OFFICE/SUPPORT AREAS/CYM B  
22. BUILDING CONSTRUCTION TYPE: PER FBC-8 FIFTH EDITION, TYPE III-B  
23. BUILDING AREA TABULATION:  

LEVEL 01	LEVEL 02	LEVEL 03	LEVEL 04	LEVEL 05	TOTAL
17,754 SF	15,033 SF	15,033 SF	15,033 SF	15,033 SF	77,886 SF

  
PER FBC:  
24. BUILDING HEIGHT: PER FBC 2015 - 56'-0"  
25. PROPOSED USE:  
THE ON-SITE BUILDING WILL BE A HOTEL.

### SHEET INDEX

SHEET NUMBER	DESCRIPTION
C0.00	COVER SHEET AND INDEX
C0.10	GENERAL NOTES
C0.11	LEGEND
C0.12	CONSTRUCTION DETAILS
1 OF 1	TOPOGRAPHIC AND BOUNDARY SURVEY
C0.13	URBAN VILLAGE COMPLIANCE
C0.20	STORMWATER POLLUTION PREVENTION NOTES
C0.21	STORMWATER POLLUTION PREVENTION PLAN AND DETAILS
C0.30	DEMOLITION PLAN
C0.40	SITE REMEDIATION AND DEBRIS REMOVAL PLAN
C1.00	DEVELOPMENT PLAN AND HORIZONTAL CONTROL AND SITE PLAN
C1.20	ACCESSIBILITY SITE PLAN AND DETAILS
C2.00	DRAINAGE AND GRADING PLAN
C2.01 - C2.02	DETAILED DRAINAGE AND GRADING PLAN
C2.30-C2.31	STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS
C3.00	UTILITY PLAN
C3.01 - C3.02	DETAILED UTILITY PLAN
C5.00	OFF-SITE IMPROVEMENTS
LS-1	LANDSCAPE PLAN
E-1	PHOTOMETRIC PLAN
A010	ARCHITECTURAL SITE PLAN
A011	SITE PLAN MISC. DETAILS
A100	FIRST FLOOR PLAN
A101	SECOND FLOOR PLAN
A102	THIRD FLOOR PLAN
A103	FOURTH FLOOR PLAN
A104	FIFTH FLOOR PLAN
A105	ROOF PLAN
A200	NORTH ELEVATION EAST ELEVATION
A200A	NORTH ELEVATION AND EAST ELEVATION GLAZING CALCULATION
A201	SOUTH ELEVATION
A202	WEST ELEVATION
A300	BUILDING SECTIONS
P101	FIRST FLOOR PLAN - PLUMBING

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est. 1986  
FLORIDA  
CA-5075

CHW  
Professional Consultants

SCALE  
N/A  
KEY: SCALE  
BUT IS ONE INCH ON  
ORIGINAL DRAWING  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SIZES ACCORDINGLY.

REVISIONS  
07/02/16 - C00, GRU, AND S-RWD  
08/16/16 - C00, GRU, AND S-RWD

CLIENT  
NP INTERNATIONAL

PROJECT  
ALOFT HOTEL AT VILLAGE POINT

DESIGNER  
J. THOMAS  
FERRARO

QUANTITY CONTROL  
H. SIMON

PROJECT MANAGER  
WALTER JARVIS

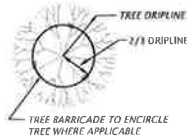
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16-0191

FL PE No. 69101

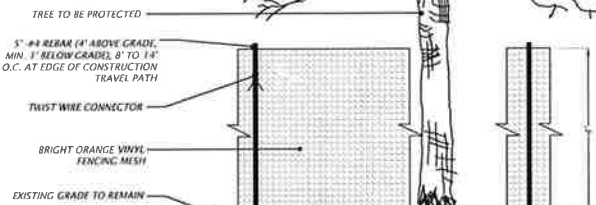
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C0.00

NOTE:

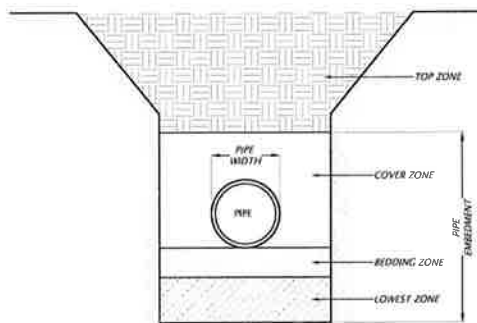
1. TREE BARRICADES MUST BE INSPECTED AND APPROVED BY THE CITY OF GAINESVILLE NATURE OPERATIONS (AT 352-383-8171) PRIOR TO ANY CLEARING, DEMOLITION, OR GRUBBING WORK BEGINS.
2. TREE BARRICADES SHALL REMAIN IN-PLACE, AND IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. BARRICADES SHALL BE REMOVED ONCE MAJOR CONSTRUCTION IS COMPLETE AND PRIOR TO COMPLETION OF LANDSCAPE INSTALLATION.
3. NO CONSTRUCTION EQUIPMENT, MATERIALS, SUPPLIES, FUELS OR CHEMICALS SHALL BE STORED WITHIN THE TREE BARRICADE LIMITS.
4. HERITAGE TREES (GREATER THAN 30" DIAMETER) ARE TO BE ENCLOSED TO THEIR ENTIRE DRIPLINE.



REGULATED TREE PLAN VIEW



TREE BARRICADE STAKING

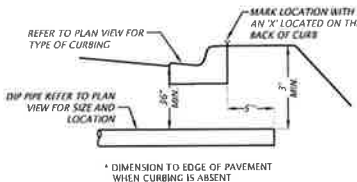


1. STORM PIPE BEDDING AND BACKFILL SHALL BE PER FDOT SPECIFICATION 125-B AND 125-D.
2. SOIL/MATERIAL TYPES ARE AS DETERMINED PER AASHTO M 45 SOIL CLASSIFICATIONS AND ASTM D3282.
3. DO NOT ALLOW HEAVY CONSTRUCTION EQUIPMENT TO CROSS OVER CULVERT OR STORM SEWER PIPES UNTIL PLACING AND COMPACTING BACKFILL MATERIAL TO THE FINISHED EARTHWORK GRADE OR TO AN ELEVATION AT LEAST FOUR (4) FEET ABOVE THE CROWN OF THE PIPE.
4. THE LOWEST ZONE IS BACKFILLED FOR DEEP UNDERCUTS UP TO WITHIN FOUR (4) INCHES OF THE BOTTOM OF THE PIPE. BACKFILL IN THIS ZONE SHALL BE COARSE SAND, OR OTHER SUITABLE GRANULAR MATERIAL, OBTAINED FROM THE GRADING OPERATIONS ON THE PROJECT, OR A COMMERCIAL MATERIAL (AS APPROVED BY THE ENGINEER OF RECORD) IF NO SUITABLE MATERIAL IS AVAILABLE. COMPACT THE SOIL TO APPROXIMATELY MATCH THE DENSITY OF THE SOIL IN WHICH THE TRENCH WAS CUT.
5. THE BEDDING ZONE IS ABOVE THE LOWEST ZONE AND USUALLY WILL BE THE BACKFILL WHICH IS THE FOUR (4) INCHES OF SOIL BELOW THE BOTTOM OF THE PIPE. WHEN ROCK OR OTHER HARD MATERIAL HAS BEEN REMOVED TO PLACE THE PIPE, THE BEDDING ZONE WILL BE THE TWELVE (12) INCHES OF SOIL BELOW THE BOTTOM OF THE PIPE. THE BACKFILL MATERIAL TO BE USED SHALL BE CLASSIFIED AS A-1, A-2, OR A-3. MATERIAL CLASSIFIED AS A-4 MAY BE USED IF THE PIPE IS CONCRETE PIPE. PLACE MATERIAL IN LIFTS NO GREATER THAN SIX (6) INCHES (COMPACTED THICKNESS).
6. THE COVER ZONE IS BACKFILL THAT IS PLACED AFTER THE PIPE HAS BEEN LAID AND EXTENDS TWELVE (12) INCHES ABOVE THE TOP OF THE PIPE. THE BACKFILL MATERIAL TO BE USED SHALL BE CLASSIFIED AS A-1, A-2, OR A-3. MATERIAL CLASSIFIED AS A-4 MAY BE USED IF THE PIPE IS CONCRETE PIPE. PLACE MATERIAL IN LIFTS NO GREATER THAN SIX (6) INCHES (COMPACTED THICKNESS), EVENLY DEPOSITED ON BOTH SIDES OF THE PIPE AND COMPACT WITH MECHANICAL TAMPERS SUITABLE FOR THIS PURPOSE. HAND TAMP MATERIAL BELOW THE PIPE HAUNCH THAT CANNOT BE REACHED BY MECHANICAL TAMPERS.
7. THE TOP ZONE EXTENDS FROM TWELVE (12) INCHES ABOVE THE TOP OF THE PIPE TO THE BASE OR FINAL GRADE. BACKFILL WITH MATERIALS ALLOWED PER FDOT INDEX NO. 305. PLACE MATERIAL IN LAYERS NOT TO EXCEED TWELVE (12) INCHES IN COMPACTED THICKNESS.
8. MINIMUM ACCEPTABLE COMPACTION FOR THE BEDDING, COVER, AND TOP ZONES IS 100% OF THE STANDARD PROCTOR MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD C. FOR METAL OR PLASTIC PIPE, COMPACT THE BACKFILL TO A DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR AS DETERMINED BY AASHTO T-99, METHOD C.
9. WHEN INSTALLING HDPE PIPE, BEDDING, BACKFILL, AND GENERAL INSTALLATION REQUIREMENTS SHALL COMPLY WITH ASTM D2321.

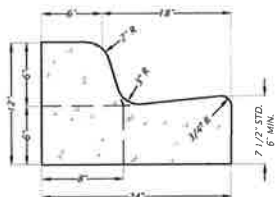
STORM PIPE BEDDING AND BACKFILLING DETAIL

- NOTES:
1. MOUNT SIGN 4" TO 6" HIGH ON BUILDINGS ABOVE THE FIRE DEPARTMENT CONNECTION.
  2. FDC SHALL NOT BE OBSTRUCTED BY VEGETATION THAT WOULD PREVENT ACCESS DURING AN EMERGENCY.
  3. SIGN DIMENSIONS SHALL COMPLY WITH LOCAL CODE REQUIREMENTS.

FIRE DEPARTMENT CONNECTION SIGN

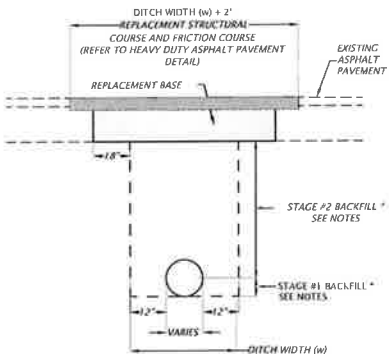


SLEEVE CROSSING DETAIL



NOTE:  
WHEN USED ON THE HIGH SIDE OF ROADWAY, THE CROSS-SLOPE OF THE GUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6".

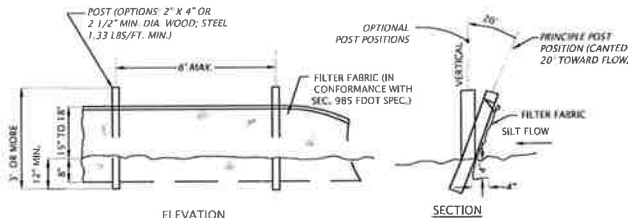
TYPE 'F' CONCRETE CURB AND GUTTER DETAIL



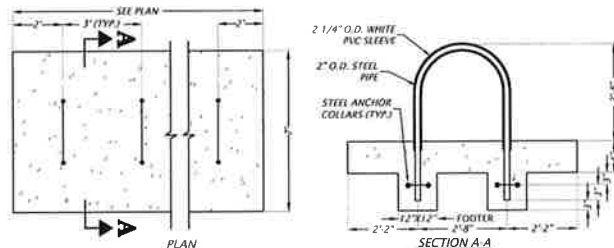
NOTES:

1. IN STAGE P1, CONSTRUCT COMPACTED FILL BENEATH THE HAUNCHES OF THE PIPE, USING MECHANICAL TAMPS SUITABLE FOR THIS PURPOSE. THIS COMPACTION APPLIES TO THE MATERIAL PLACED BENEATH THE HAUNCHES OF THE PIPE AND ABOVE ANY BEDDING.
2. IN STAGE P2, CONSTRUCT COMPACTED FILL ALONG THE SIDES OF THE PIPE AND UP TO THE BOTTOM OF THE BASE, WITH THE UPPER 12" RECEIVING TYPE B STABILIZATION. IN LIEU OF TYPE B STABILIZATION, THE CONTRACTOR MAY CONSTRUCT USING OPTIONAL BASE GROUP 3.
3. NEW 8" LIMEROCK BASE SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAX DENSITY AS SPECIFIED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION 200.7.2. THE WIDTH OF THE LIMEROCK BASE SHALL BE THE WIDTH OF THE PIPE TRENCH PLUS 18" ON BOTH SIDES SEE DETAIL.
4. UNLESS OTHERWISE SPECIFIED, MATERIALS AND METHODS OF OPERATION REQUIRED TO INSTALL NEW AND REPLACEMENT PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST APPLICABLE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. PAVEMENT SHALL BE REMOVED TO NEATLY SAWED STRAIGHT EDGES.
6. THE TYPE AND THICKNESS OF THE NEW SURFACE MATERIAL SHALL BE CONSISTENT WITH THAT OF THE EXISTING SURFACE, BUT IN ALL CASES SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE PLANS AND SPECIFICATIONS.
7. THE BACKFILLING AND PAVEMENT REPLACEMENT MUST BE DONE IN ACCORDANCE WITH FDOT INDEX 307.
8. PAVEMENT CUTS SHALL HAVE THE ASPHALT SURFACE REPLACED WITHIN 24 HOURS, WITH OPEN CUT RESTORATION PERFORMED IN ACCORDANCE WITH MOST CURRENT EDITION OF FDOT INDEX NO. 307 USING THE FILLABLE FILL OPTION.
9. THE CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED BY CALLING 352-334-5070 PRIOR TO START OF EXCAVATION.

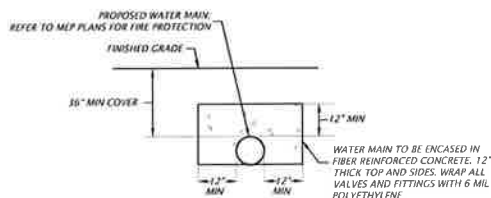
OPEN CUT AND REPAIR PAVEMENT DETAILS



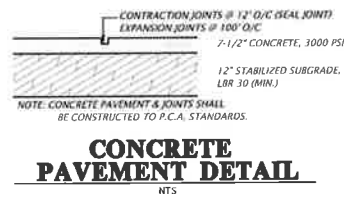
TYPE III SILT FENCE DETAIL



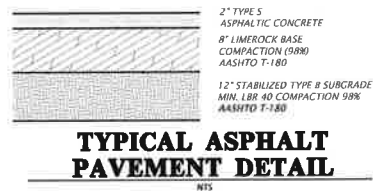
U-SHAPE BIKE RACK



WATER MAIN ENCASEMENT



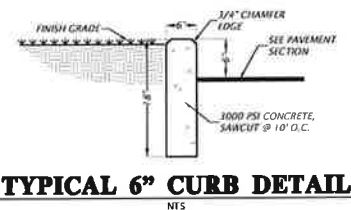
CONCRETE PAVEMENT DETAIL



TYPICAL ASPHALT PAVEMENT DETAIL



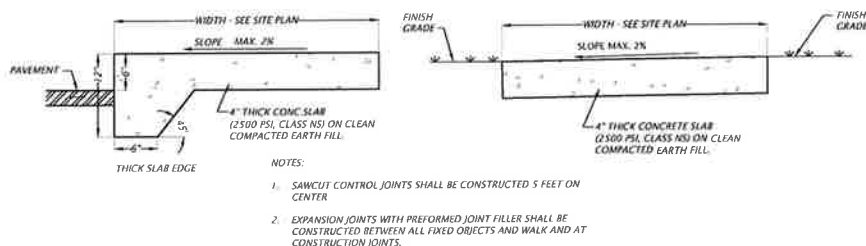
STANDARD DUTY PAVEMENT DETAIL  
SW 37TH STREET  
(PUBLIC RIGHT OF WAY)



TYPICAL 6" CURB DETAIL



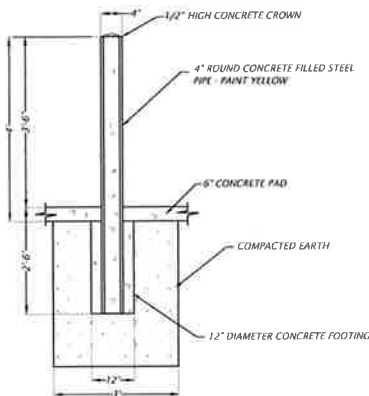
BICYCLE PARKING SIGN



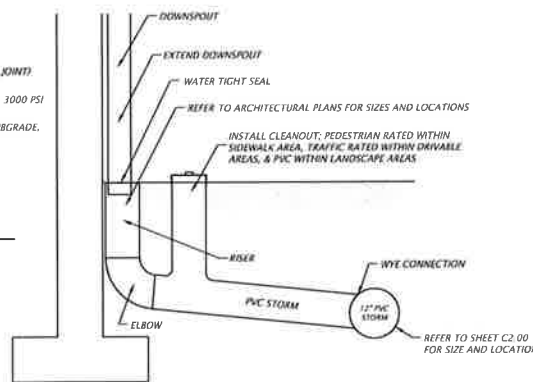
ADJACENT TO PAVEMENT

NOT ADJACENT TO PAVEMENT

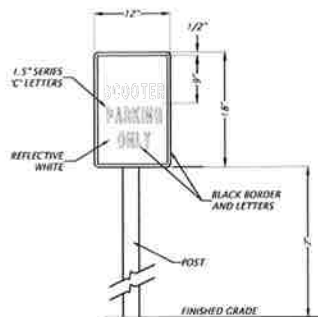
CONCRETE SIDEWALK DETAILS



PIPE BOLLARD DETAIL



DOWNSPOUT CONNECTION DETAIL



SCOOTER PARKING SIGN DETAIL

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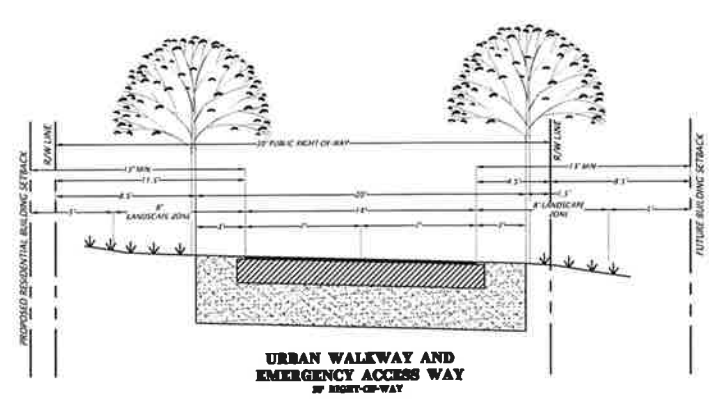
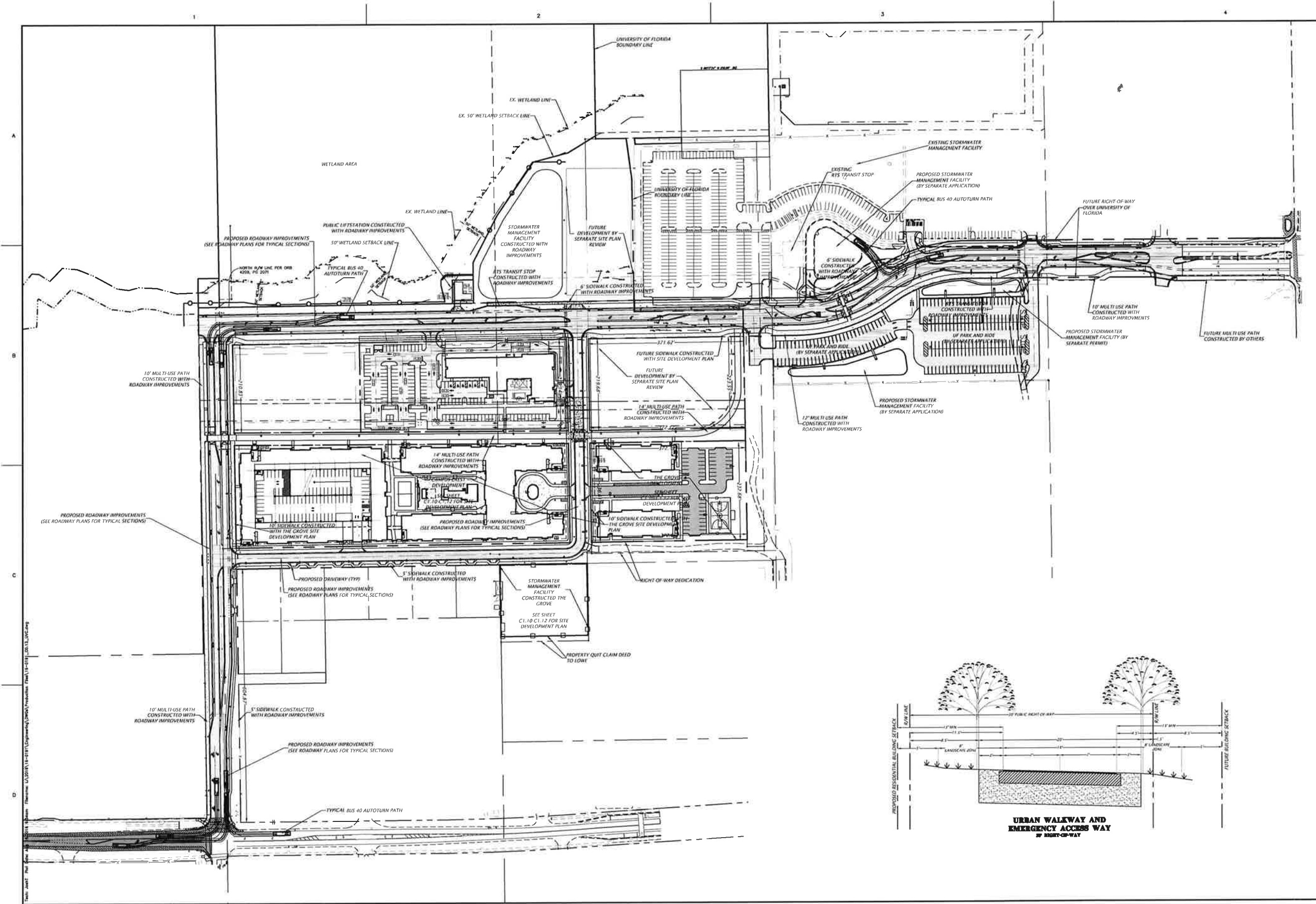
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<b>CH2M HILL</b> Professional Consultants		132 NW 76th Drive Gainesville, Florida 32607 (850) 351-1976 / (850) 351-2476 www.ch2mhill.com est. 1988 <b>FLORIDA</b> CA-5075	
SCALE	1" = 100'	ASBESTOS	1" = 100'
REVISIONS	07/05/16 - COG, GRU, AND S&WAD 08/16/16 - COG, GRU, AND S&WAD	DATE	08/16/16
CLIENT	NP INTERNATIONAL	PROJECT	ALOTT HOTEL AT VILLAGE POINT
DESIGNER	J. THOMAS	PREPARED BY	J. THOMAS
CHECKED BY	WALTER JARVIS	QUALITY CONTROL	H. SIMON
PROJECT NUMBER	16-0191	SHEET TITLE	URBAN VILLAGE COMPLIANCE
FL. PE. No. 89101	SHEET NO. C0.13		

## DESCRIPTION: (AS PER FURNISHED TITLE COMMITMENT)

[illegible]

SURVEYOR'S NOTES:

- [illegible]



FLOOD ZONE:

THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM F.I.R.M. PANEL NO. 120D1C0294D, EFFECTIVE DATE: JUNE 16, 2006.

## ZONING REQUIREMENTS

THE SUBJECT PROPERTY IS LOCATED IN THE CITY OF CARNESVILLE AND IS ZONED (UWU-2) URBAN MIXED USE DISTRICT 2

---

(UWU-2) URBAN MIXED USE DISTRICT 2 PER ORDINANCE 110642

---

URBAN VILLAGE DISTRICT

ALL STRUCTURES SHALL BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH THE DIMENSIONAL REQUIREMENTS TABLE SET FORTH UNDER ORDINANCE 110642. ACCESSORY STRUCTURES SHALL ALSO MEET ALL REGULATIONS PERTAINING TO PRINCIPAL STRUCTURES WITHIN THIS DISTRICT.

SURVEYOR'S CERTIFICATION:

TO BANK OF THE OZARKS, AND ITS SUCCESSORS AND ASSIGNS;  
GAINESVILLE WEST 38, LLC; NPI GCD W38, LLC; GARRISON SW  
17TH AVENUE LLC, A DELAWARE LIMITED LIABILITY COMPANY;  
AIGRE HOTEL INVESTOR, LLC; AND OLD REPUBLIC NATIONAL  
TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPSPLAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPSPL, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b), 7(c), 8, 9, 13, 14, 16, 17, 18, 19, and 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 02, 2016. EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

AARON H. HICKMAN, P.S.M.  
FLORIDA SURVEYOR & MAPPER  
CERTIFICATE NUMBER 6791  
132 NW 76th DRIVE  
GAINESVILLE, FL 32607

DATE OF PLAT OR MAP:

132 NW 76th Drive  
Gainesville, Florida 32607  
(352) 331-1976 / (352) 331-2476  
www.cdw-inc.com

**CHN**  
Professional Consultants

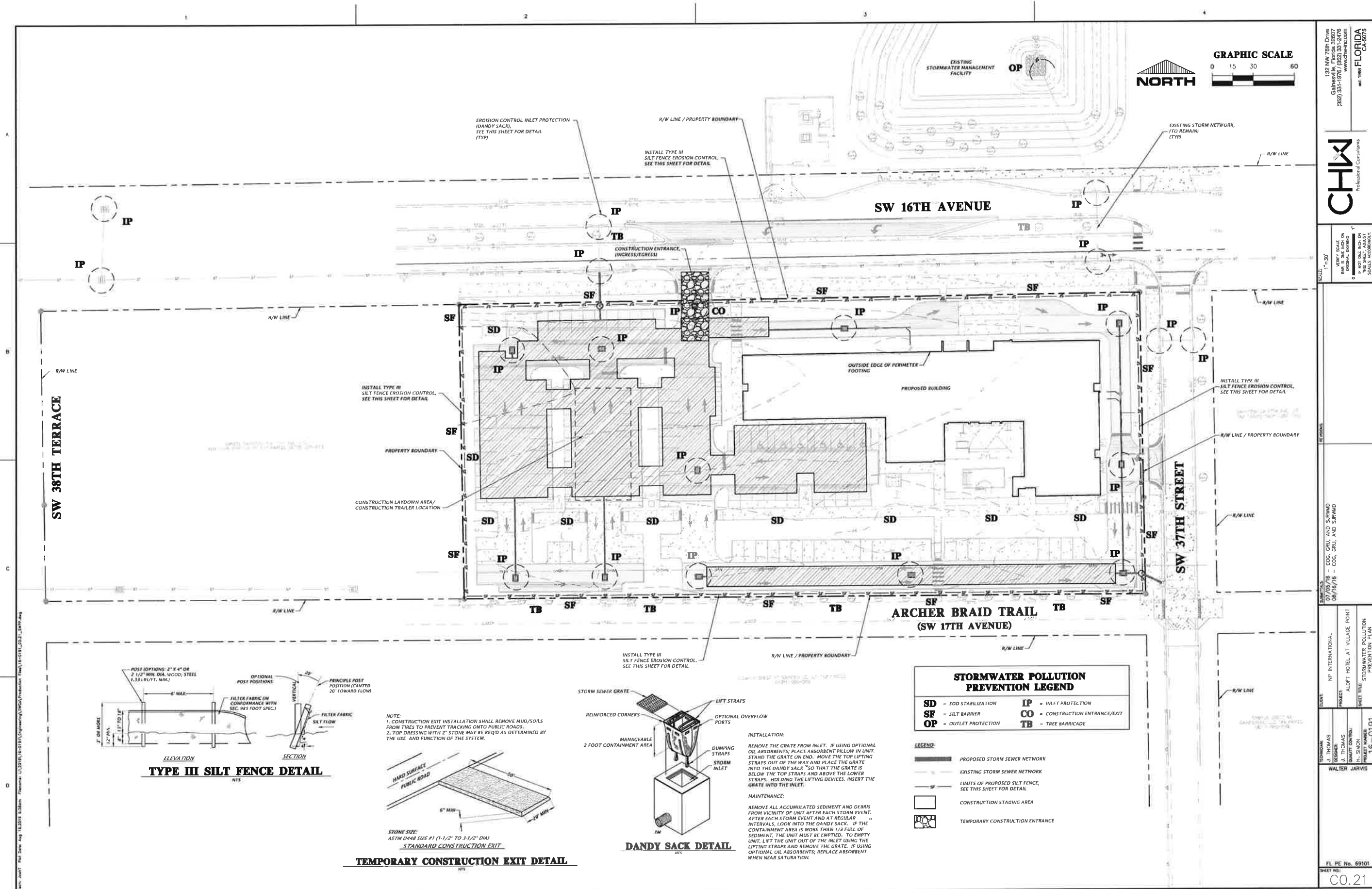
1" = 40'

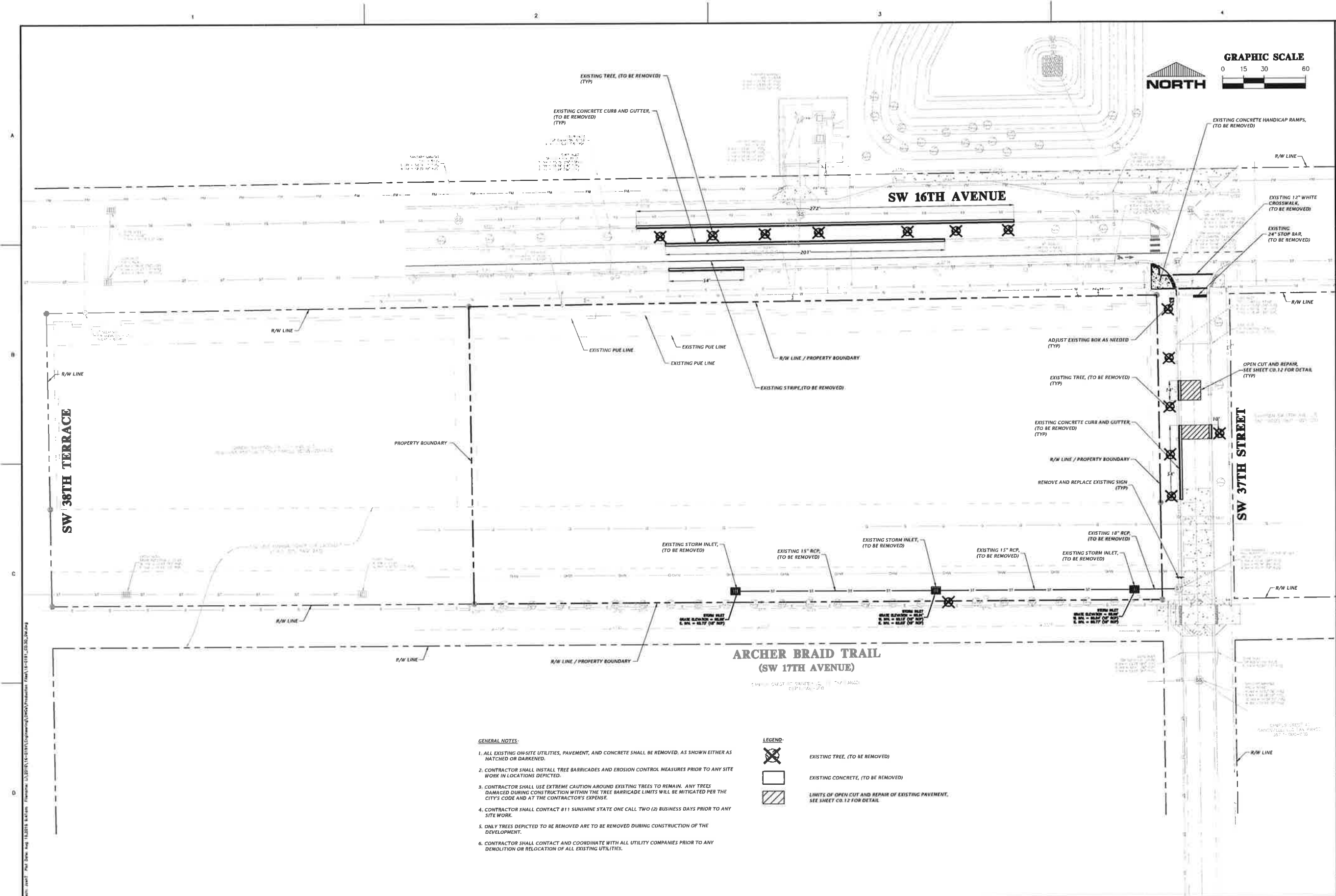
VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING

IF NOT ONE INCH ON

SEE SURVEYOR'S CERTIFICATION







GENERAL NOTES:

1. ALL EXISTING ON-SITE UTILITIES, PAVEMENT, AND CONCRETE SHALL BE REMOVED, AS SHOWN EITHER AS HATCHED OR DARKENED.
2. CONTRACTOR SHALL INSTALL TREE BARRICADES AND EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK IN LOCATIONS DEPICTED.
3. CONTRACTOR SHALL USE EXTREME CAUTION AROUND EXISTING TREES TO REMAIN. ANY TREES DAMAGED DURING CONSTRUCTION WITHIN THE TREE BARRICADE LIMITS WILL BE MITIGATED PER THE CITY'S CODE AND AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL CONTACT 811 SUNSHINE STATE ONE CALL TWO (2) BUSINESS DAYS PRIOR TO ANY SITE WORK.
5. ONLY TREES DEPICTED TO BE REMOVED ARE TO BE REMOVED DURING CONSTRUCTION OF THE DEVELOPMENT.
6. CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO ANY DEMOLITION OR RELOCATION OF ALL EXISTING UTILITIES.

LEGEND:

- EXISTING TREE, (TO BE REMOVED)
- EXISTING CONCRETE, (TO BE REMOVED)
- LIMITS OF OPEN CUT AND REPAIR OF EXISTING PAVEMENT, SEE SHEET C0.12 FOR DETAIL.

132 NW 78th Drive  
Gainesville, Florida 32607  
(850) 351-1976 / (850) 351-5976  
www.chiwa.com  
est. 1988  
FLORIDA  
CA-3076

**CHIWA**  
Professional Consultants

1"=30'  
VERTICAL SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
VERTICALLY PROPORTIONALLY

REVISIONS:  
07/05/18 - CCG, GRU, AND S.R.W.M.D.  
08/16/18 - CCG, GRU, AND S.R.W.M.D.

CLIENT: NP INTERNATIONAL  
PROJECT: ADAPT HOTEL AT VILLAGE POINT  
SHEET TITLE: DEMOLITION PLAN

DESIGNER: J. THOMAS  
CHECKER: J. THOMAS  
PROJECT MANAGER: H. SHIMON  
WALTER JARVIS

FL PE No. 69101  
SHEET NO:  
C0.30



132 NW 78th Drive  
Gainesville, Florida 32607  
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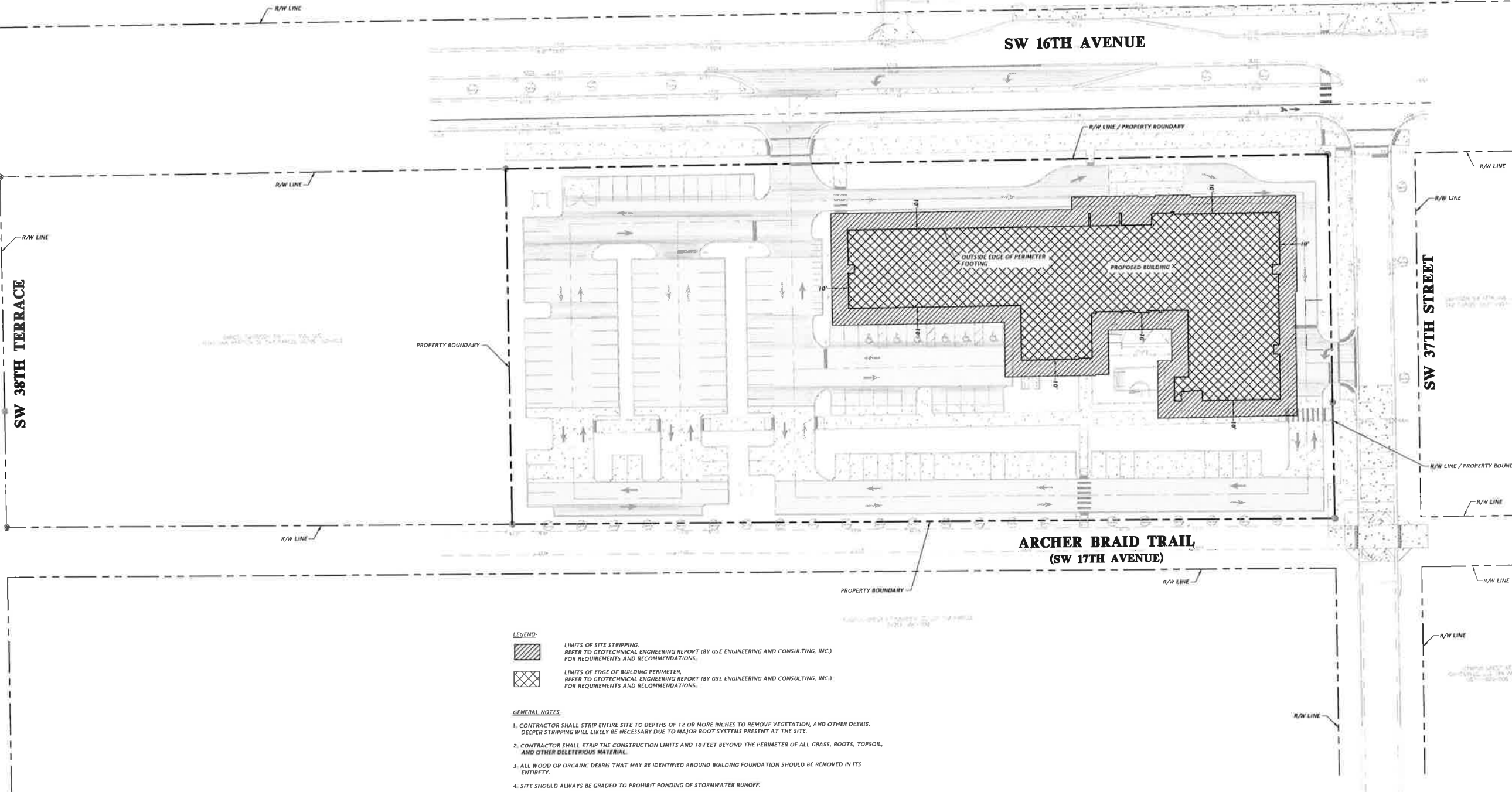
SCALE  
1" = 30'  
THIS SCALE IS FOR  
ORIGINAL DRAWING  
ONLY. IT DOES NOT  
APPLY TO THIS SHEET. ADJUST  
SCALE ACCORDINGLY.

REVISIONS  
DATE: 05/18/16 BY: CDE, GRL, AND S-RWD  
05/18/16 - CDE, GRL, AND S-RWD

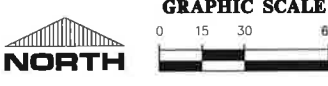
CLIENT: NP INTERNATIONAL  
PROJECT: ALLOFT HOTEL AT VILLAGE POINT  
SHEET TITLE: SITE REMEDIATION AND DEBRIS  
REMOVAL PLAN  
16-0191

WALTER JARVIS

FL PE No. 69101  
SHEET NO.:  
C0.40







132 NW 78th Drive  
Gainesville, Florida 32607  
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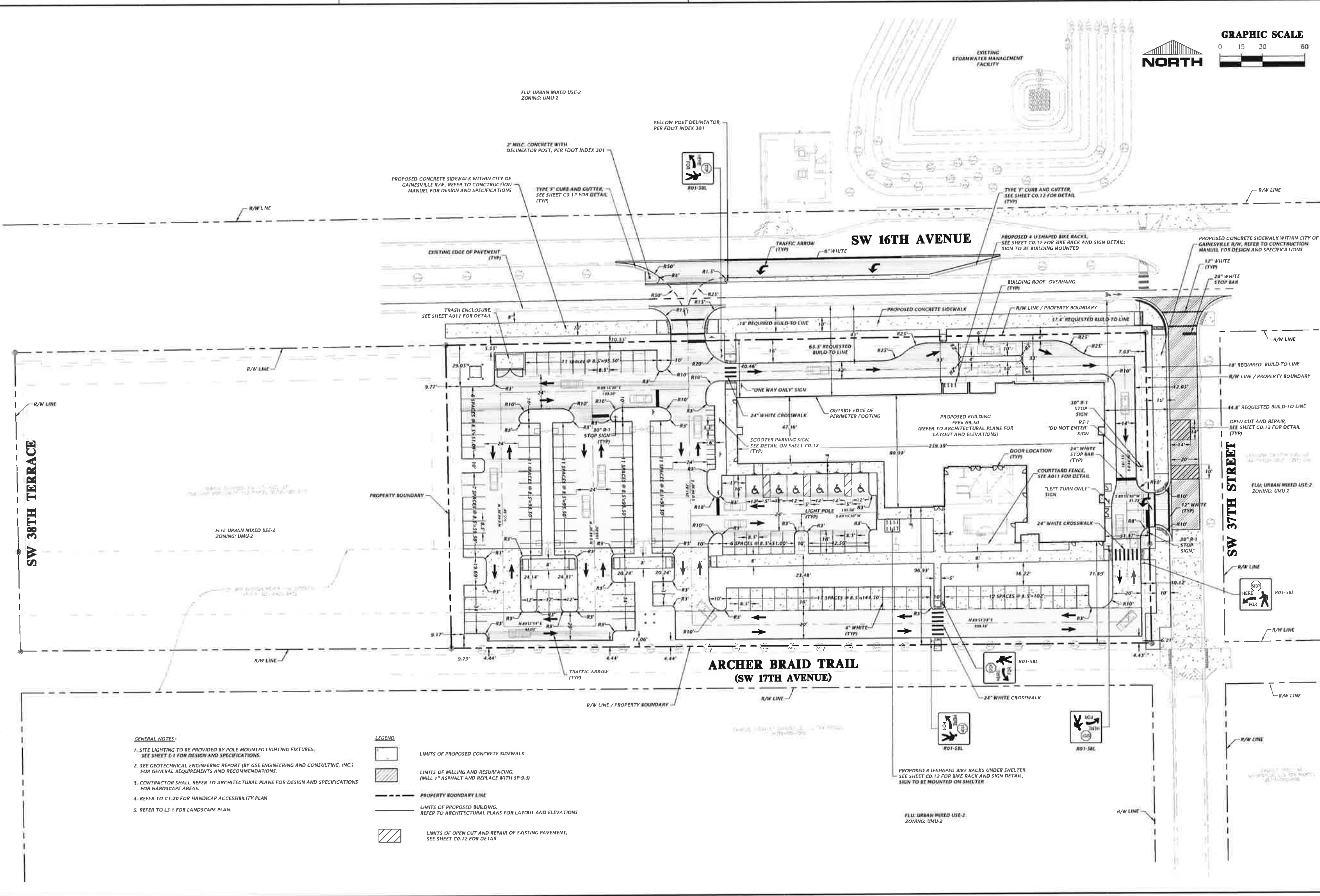
**CHIWA**  
Professional Consultants

SCALE: 1"=30'  
VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING  
0 IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
DIMENSIONS PROPORTIONALLY

DATE: 07/02/18  
PROJECT: ALLOT HOTEL AT VILLAGE POINT  
SHEET TITLE: DEVELOPMENT PLAN AND SITE  
HORIZONTAL CONTROL AND SITE  
PLAN

DESIGNED BY: J. THOMAS  
CHECKED BY: J. THOMAS  
PROJECT MANAGER: H. SHAMU  
WALTER JARVIS

FL PE No. 69101  
SHEET NO: C1.00



- GENERAL NOTES:**
1. SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHTING FIXTURES. SEE SHEET C-1 FOR DESIGN AND SPECIFICATIONS.
  2. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
  3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DESIGN AND SPECIFICATIONS FOR HARDSCAPE AREAS.
  4. REFER TO C1.20 FOR HANDICAP ACCESSIBILITY PLAN.
  5. REFER TO LS-1 FOR LANDSCAPE PLAN.

**LEGEND:**

- [Symbol] LIMITS OF PROPOSED CONCRETE SIDEWALK
- [Symbol] LIMITS OF MILLING AND RESURFACING. (MILL 1" ASPHALT AND REPLACE WITH SP-9.5)
- [Symbol] PROPERTY BOUNDARY LINE
- [Symbol] LIMITS OF PROPOSED BUILDING, REFER TO ARCHITECTURAL PLANS FOR LAYOUT AND ELEVATIONS
- [Symbol] LIMITS OF OPEN CUT AND REPAIR OF EXISTING PAVEMENT, SEE SHEET C0.12 FOR DETAIL



**LEGEND:**  
     ACCESSIBLE HANDICAP PATH



C1.20

GENERAL NOTES:

1. ALL OFF-SITE IMPROVEMENTS SHALL MEET FDOT AND ALACHUA COUNTY DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL GRADE TO PROPOSED SPOT ELEVATIONS.
3. STORMWATER RUNOFF FROM THE PROJECT SITE CONNECTS TO UNDERGROUND STORMWATER MANAGEMENT FACILITY UNDER PAVEMENT, THEN DISCHARGES TO EXISTING PIPE LOCATED IN NW 53RD RIGHT-OF-WAY.
4. ALL DISTURBED AREAS SHALL BE SEEDED.
5. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
6. REFER TO ARCHITECTURAL PLANS FOR EXTERNAL BUILDING CONNECTIONS.
7. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
8. ALL DISTURBED AREAS SHALL BE FINE GRADED, RESTORED, AND SEEDED/MULCHED.
9. IN NO CASE SHALL STORMWATER DRAIN TOWARD PROPOSED BUILDINGS.
10. CONTRACTOR SHALL CONNECT ALL BUILDING ROOF DRAIN DOWN SPOUTS AND AIR CONDITION CONDENSATE DRAIN LINES EXTERNALLY TO UNDERGROUND STORMWATER MANAGEMENT FACILITY. REFER TO ARCHITECTURAL AND MEP PLANS FOR LOCATION AND COORDINATION.
11. ANY CHANGES TO PERMITTED TYPE OF UNDERGROUND STORMWATER SYSTEM MUST BE SUBMITTED AND APPROVED BY CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT. THE SUBMITTAL SHALL INCLUDE SIGN AND SEALED CALCULATIONS.

DRAINAGE SPECIFICATIONS:

STORMWATER INFRASTRUCTURE ARE REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS:

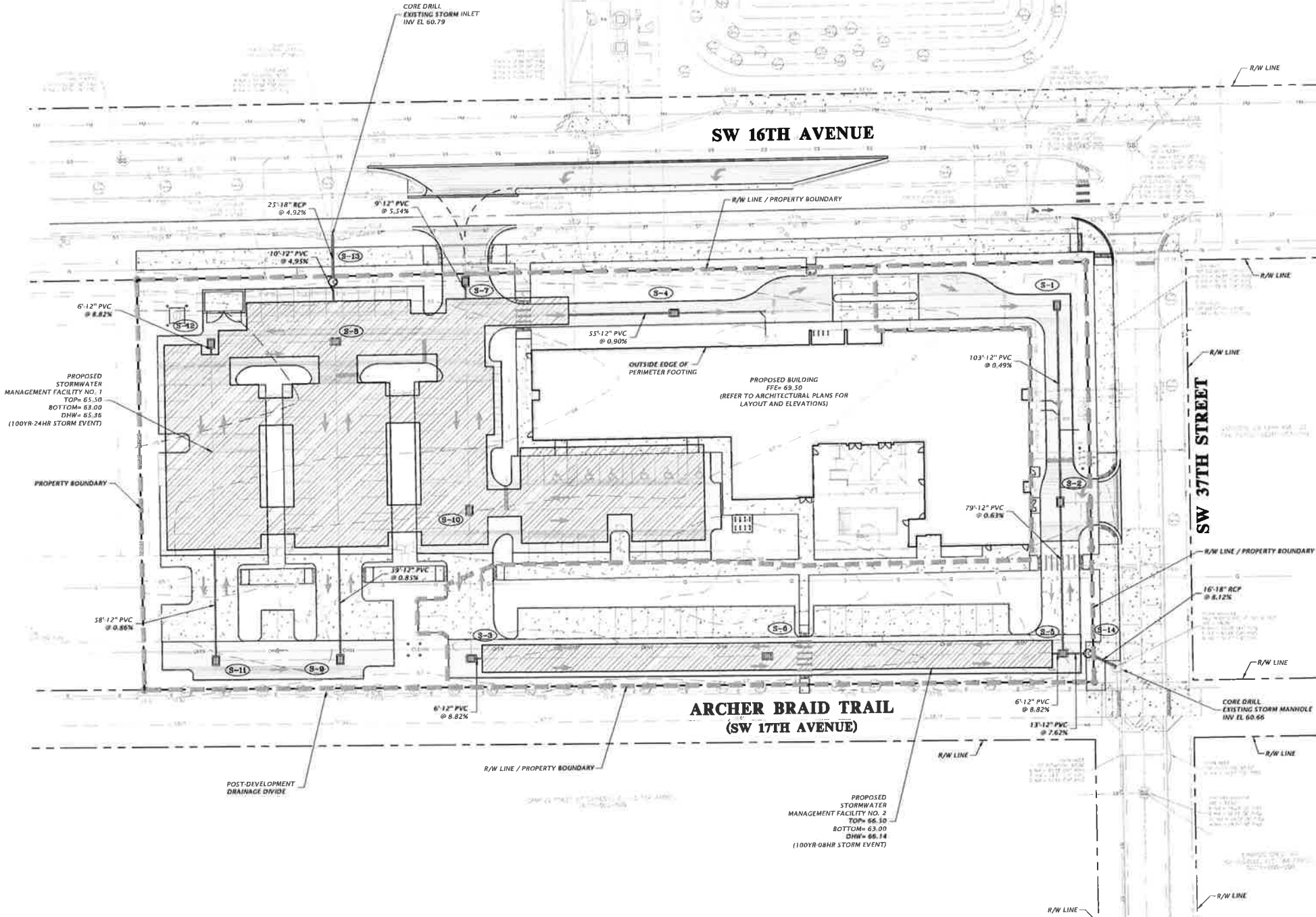
1. DITCH BOTTOM INLETS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 232, 233, AND 210.
2. MANHOLES SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 201.
3. STRUCTURE BOTTOMS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 200 AND 201. (ALL GIVEN STRUCTURE BOTTOM ARE ROUND, SQUARE EQUIVALENTS MAY BE USED).

LEGEND:

- POST-DEVELOPMENT DRAINAGE DIVIDE
- LIMITS OF UNDERGROUND STORMWATER MANAGEMENT FACILITY

STORMWATER STRUCTURE TABLE

STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	68.25'	64.50' S	12"	N: 237995.36 E: 2642335.47
S-2	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	68.25'	64.00' N 64.00' S	12"	N: 237992.82 E: 2642336.80
S-3	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' E	12"	N: 237813.05 E: 2642228.66
S-4	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' W	12"	N: 237992.77 E: 2642335.19
S-5	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' N 63.50' W 63.50' E	12"	N: 237813.83 E: 2642337.82
S-6	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	N/A		N: 237813.44 E: 2642383.24
S-7	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	67.65'	63.50' S	12"	N: 238009.79 E: 2642226.11
S-8	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	67.20'	N/A		N: 237978.93 E: 2642158.00
S-9	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	67.15'	63.50' N	12"	N: 237812.88 E: 2642160.15
S-10	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	67.00'	N/A		N: 237800.40 E: 2642227.82
S-11	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	66.75'	63.50' N	12"	N: 237812.72 E: 2642095.15
S-12	TYPE "I" INLET WITH "I" BOTTOM PER FDOT INDEX NO. 233 & 200	66.50'	63.50' S	12"	N: 237978.09 E: 2642093.01
S-13	MANHOLE PER FDOT INDEX NO. 200 & 201	68.00'	62.00' N 62.50' S	18"	N: 238009.96 E: 2642156.86
S-14	MANHOLE PER FDOT INDEX NO. 200 & 201	68.52'	62.50' W 62.00' SE	18"	N: 237813.80 E: 2642330.93



GRAPHIC SCALE



132 NW 76th Drive  
Gainesville, Florida 32607  
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www.chw.com  
est 1988 FLORIDA  
CA-5075

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Professional Consultants

SCALE: 1"=30'  
ONLY SCALE ON  
THIS SHEET IS TO BE  
USED FOR DIMENSIONS  
ON ORIGINAL DRAWING  
IF NOT ONE AND ON  
THIS SHEET, ADJUST  
DIMENSIONS ACCORDINGLY.

REVISIONS

NO.	DATE	DESCRIPTION
1	09/16/18	CDG, GRU, AND S&W
2	09/16/18	CDG, GRU, AND S&W

CLIENT: NP INTERNATIONAL  
PROJECT: ALLOT HOTEL AT VILLAGE POINT  
SHEET TITLE: DRAINAGE AND GRADING PLAN  
SHEET NO.: 16-0191

DESIGNED BY: J. THOMAS  
CHECKED BY: J. THOMAS  
PROJECT MANAGER: H. SIMON  
WALTER JARVIS

FL PE No. 69101

SHEET NO.:

C2.00





132 NW 7th Drive  
Gainesville, Florida 32607  
(352) 331-1976 / (352) 331-2476  
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FLORIDA  
CA-5075  
Professional Consultants

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Professional Consultants

1"=20'  
VERTICAL SCALE  
HORIZONTAL SCALE  
ORIGINAL DRAWING  
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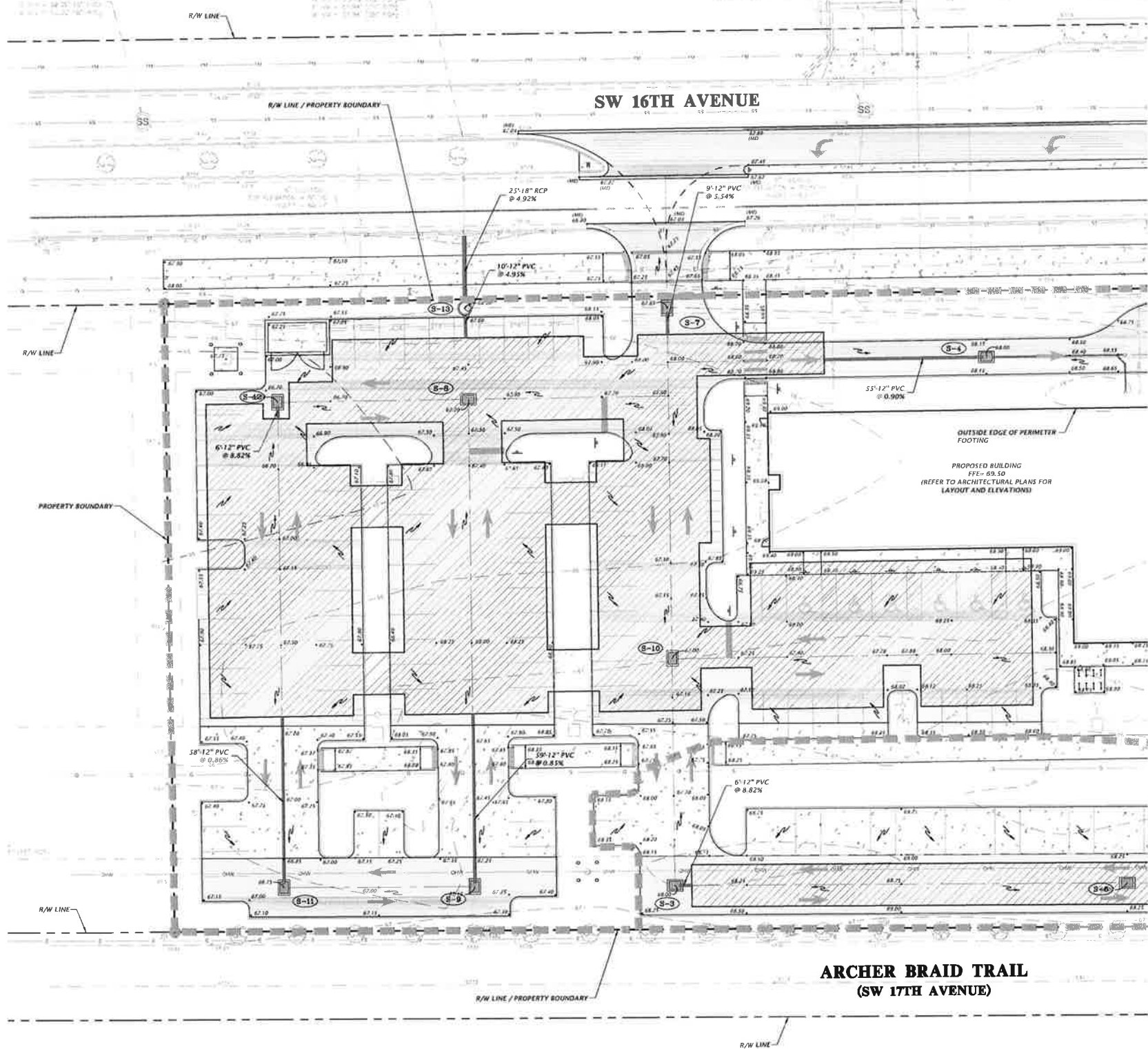
REVISIONS

NO.	DATE	DESCRIPTION
1	07/05/16	ISSUED FOR PERMIT
2	08/16/16	ISSUED FOR PERMIT

CLIENT: NP INTERNATIONAL  
PROJECT: ALLOT HOTEL AT VILLAGE POINT  
SHEET TITLE: DETAILED DRAINAGE AND GRADING PLAN

DESIGNED BY: J. THOMAS  
CHECKED BY: J. THOMAS  
QUALITY CONTROL: H. SIMON  
PROJECT MANAGER: WALTER JARVIS

FL PE No. 59101  
SHEET NO.:  
C2.01



- GENERAL NOTES:
1. ALL OFF-SITE IMPROVEMENTS SHALL MEET FDOT AND ALACHUA COUNTY DESIGN STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL GRADE TO PROPOSED SPOT ELEVATIONS.
  3. STORMWATER RUNOFF FROM THE PROJECT SITE CONNECTS TO UNDERGROUND STORMWATER MANAGEMENT FACILITY UNDER PAVEMENT, THEN DISCHARGES TO EXISTING PIPE LOCATED IN NW 53RD RIGHT-OF-WAY.
  4. ALL DISTURBED AREAS SHALL BE SEEDED.
  5. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
  6. REFER TO ARCHITECTURAL PLANS FOR EXTERNAL BUILDING CONNECTIONS.
  7. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
  8. ALL DISTURBED AREAS SHALL BE FINE GRADED, RESTORED, AND SEEDED/MULCHED.
  9. IN NO CASE SHALL STORMWATER DRAIN TOWARD PROPOSED BUILDINGS.
  10. CONTRACTOR SHALL CONNECT ALL BUILDING ROOF DRAIN DOWN SPOUTS AND AIR CONDITION CONDENSATE DRAIN LINES EXTERNALLY TO UNDERGROUND STORMWATER MANAGEMENT FACILITY. REFER TO ARCHITECTURAL AND MEP PLANS FOR LOCATION AND COORDINATION.

- DRAINAGE SPECIFICATIONS:
- STORMWATER INFRASTRUCTURE ARE REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS:
1. DITCH BOTTOM INLETS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 232, 233, AND 210.
  2. MANHOLES SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 201.
  3. STRUCTURE BOTTOMS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 200 AND 201. (ALL GIVEN STRUCTURE BOTTOM ARE ROUND, SQUARE EQUIVALENTS MAY BE USED).

- LEGEND:
- POST-DEVELOPMENT DRAINAGE DIVIDE
  - LIMITS OF UNDERGROUND STORMWATER MANAGEMENT FACILITY

STORMWATER STRUCTURE TABLE				
STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.
S-1	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	68.25'	64.50' S	12"
S-2	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	68.25'	64.00' N 64.00' S	12"
S-3	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' E	12"
S-4	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' W	12"
S-5	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' N 63.50' W 63.50' E	12"
S-6	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	N/A	12"
S-7	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	67.65'	63.50' S	12"
S-8	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	67.20'	N/A	12"
S-9	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	67.15'	63.50' N	12"
S-10	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	67.00'	N/A	12"
S-11	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	66.75'	63.50' N	12"
S-12	TYPE 'F' INLET WITH 'P' BOTTOM PER FDOT INDEX NO. 233 & 200	66.50'	63.50' S	12"
S-13	MANHOLE PER FDOT INDEX NO. 200 & 201	68.00'	62.00' N 62.50' S	18"
S-14	MANHOLE PER FDOT INDEX NO. 200 & 201	68.52'	62.50' W 62.00' SE	18"





GENERAL NOTES:

1. ALL OFF-SITE IMPROVEMENTS SHALL MEET FDOT AND ALACHUA COUNTY DESIGN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL GRADE TO PROPOSED SPOT ELEVATIONS.
3. STORMWATER RUNOFF FROM THE PROJECT SITE CONNECTS TO UNDERGROUND STORMWATER MANAGEMENT FACILITY UNDER PAVEMENT, THEN DISCHARGES TO EXISTING PIPE LOCATED IN NW 1/4 RD RIGHT-OF-WAY.
4. ALL DISTURBED AREAS SHALL BE SEEDED.
5. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
6. REFER TO ARCHITECTURAL PLANS FOR EXTERNAL BUILDING CONNECTIONS.
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8. ALL DISTURBED AREAS SHALL BE FINE GRADED, RESTORED, AND SEEDED/MULCHED.
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DRAINAGE SPECIFICATIONS:

STORMWATER INFRASTRUCTURE ARE REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS:

1. DITCH BOTTOM INLETS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 232, 233, AND 210.
2. MANHOLES SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 201.
3. STRUCTURE BOTTOMS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX NO. 200 AND 201. (ALL GIVEN STRUCTURE BOTTOM ARE ROUND, SQUARE EQUIVALENTS MAY BE USED).

LEGEND:



STORMWATER STRUCTURE TABLE					
STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV.	PIPE DIA.	NORTHING & EASTING
S-1	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	68.75'	64.50' S	12"	N: 237995.36 E: 2642535.47
S-2	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	68.25'	64.00' N	12"	N: 237892.82 E: 2642536.80
S-3	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' E	12"	N: 237813.05 E: 2642228.66
S-4	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' W	12"	N: 237992.77 E: 2642335.19
S-5	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	63.50' N 63.50' W 63.50' E	12" 12" 12"	N: 237813.83 E: 2642332.82
S-6	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	68.00'	N/A		N: 237813.44 E: 2642383.24
S-7	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	67.65'	63.50' S	12"	N: 238009.79 E: 2642226.11
S-8	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	67.20'	N/A		N: 237978.93 E: 2642158.00
S-9	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	67.15'	63.50' N	12"	N: 237812.88 E: 2642160.15
S-10	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	67.00'	N/A		N: 237890.40 E: 2642227.82
S-11	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	66.75'	63.50' N	12"	N: 237812.72 E: 2642095.15
S-12	TYPE 1" INLET WITH 1" BOTTOM PER FDOT INDEX NO. 233 & 200	66.50'	63.50' S	12"	N: 237978.09 E: 2642093.01
S-13	MANHOLE PER FDOT INDEX NO. 200 & 201	68.00'	62.00' N 62.50' S	18" 12"	N: 238009.36 E: 2642156.86
S-14	MANHOLE PER FDOT INDEX NO. 200 & 201	68.52'	62.50' W 62.00' SE	12" 18"	N: 237813.80 E: 2642550.93

SW 16TH AVENUE

SEE SHEET C2M FOR CONTINUATION

SEE SHEET C2M FOR CONTINUATION

ARCHER BRAID TRAIL  
(SW 17TH AVENUE)

SW 37TH STREET

193 NW 79th Drive  
Gainesville, Florida 32607  
(852) 331-1976 / (852) 331-2476  
www.chm-inc.com

**CHM**  
Professional Consultants

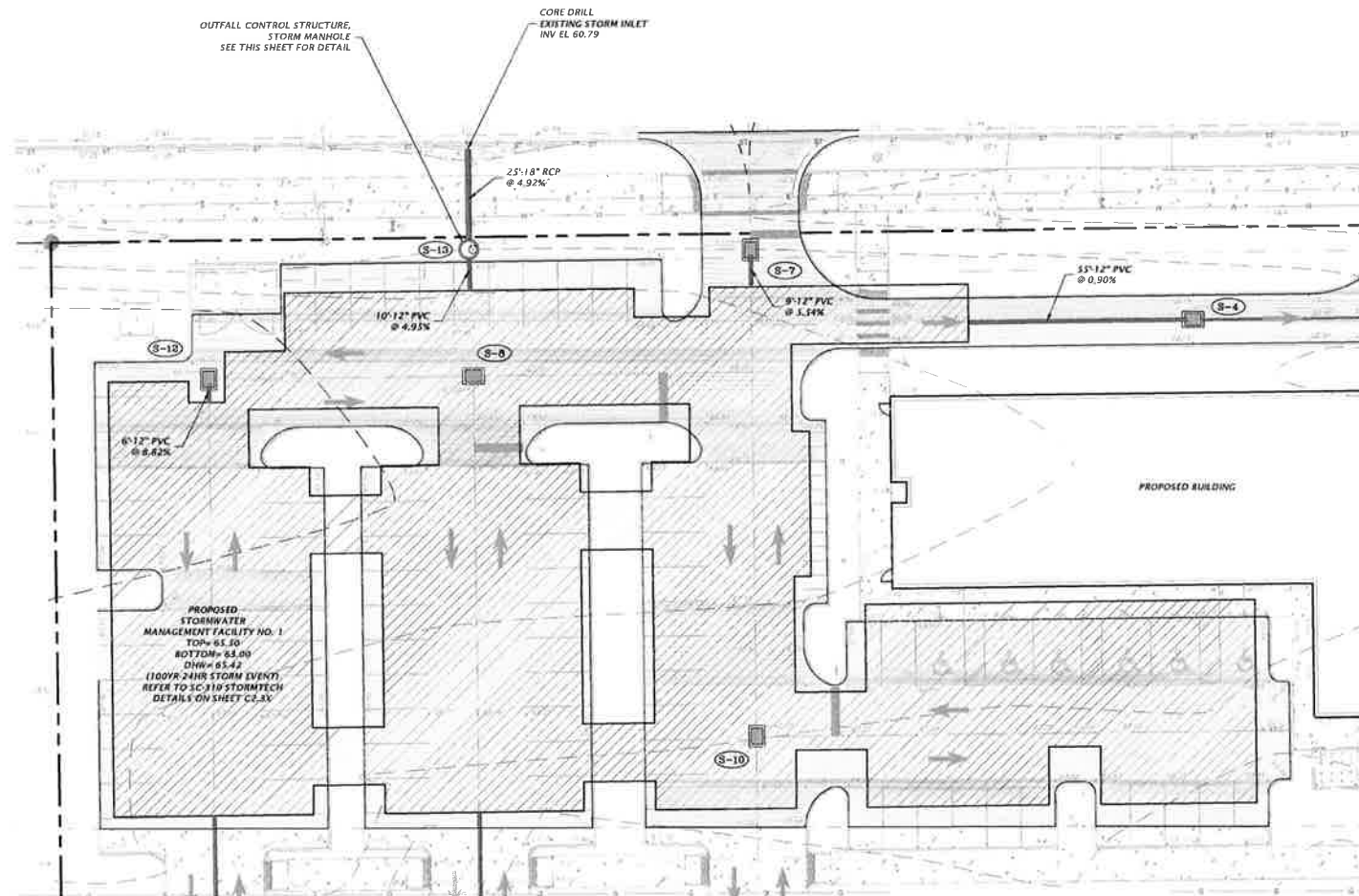
12/2023  
1"=20'  
THIS SHEET IS A PART OF A SET OF SHEETS. THE SHEET SHALL BE USED IN CONJUNCTION WITH THE OTHER SHEETS IN THE SET.

REVISIONS:  
07/05/16 - CCG, GRU, AND S.R.W.D.  
08/16/16 - CCG, GRU, AND S.R.W.D.

PROJECT: ALDOT HOTEL AT VILLAGE POINT  
SHEET TITLE: DETAILED DRAINAGE AND GRADING PLAN

DESIGNED BY: J. THOMAS  
CHECKED BY: J. THOMAS  
QUALITY CONTROL: H. SHON  
PROJECT MANAGER: WALTER JARVIS

FL PE No. 69101  
SHEET NO.: C2.02

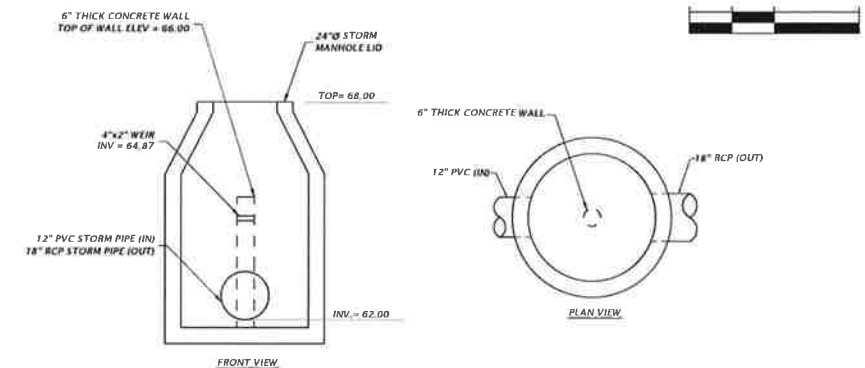


**STORMWATER MANAGEMENT FACILITY NO. 1**

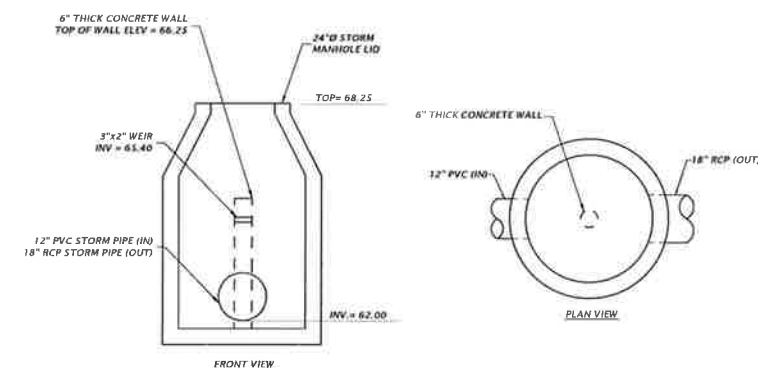
**GENERAL NOTE:**  
1. ANY CHANGES TO PERMITTED TYPE OF UNDERGROUND STORMWATER FACILITY SYSTEM MUST BE SUBMITTED AND APPROVED BY CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT. THE SUBMITTAL SHALL INCLUDE SIGN AND SEALED CALCULATIONS.



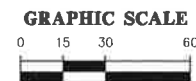
**STORMWATER MANAGEMENT FACILITY NO. 2**



**CONTROL STRUCTURE #1 DETAIL**  
MODIFIED 4'x8' STORM MANHOLE PER FDOT INDEX NO. 200 AND 201



**CONTROL STRUCTURE #2 DETAIL**  
MODIFIED 4'x8' STORM MANHOLE PER FDOT INDEX NO. 200 AND 201



192 NW 7th Drive  
Gainesville, Florida 32607  
(352) 331-1976 / (352) 331-2476  
www.cdm-inc.com

**CDM**  
Professional Consultants

1"=20'  
USE SCALE  
BASED ON  
ORIGINAL DRAWING  
IF SHEET SIZE DOES NOT  
FIT, SCALE ACCORDINGLY

DATE: 07/05/16  
BY: J. THOMAS  
CHECKED: H. SIMON  
PROJECT: ALDOTT HOTEL AT VILLAGE POINT  
SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS

DESIGNED BY: NP INTERNATIONAL  
PROJECT: ALDOTT HOTEL AT VILLAGE POINT  
SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS

DESIGNED BY: J. THOMAS  
PROJECT: ALDOTT HOTEL AT VILLAGE POINT  
SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS

FL PE No. 69101  
SHEET NO.:  
**C2.30**

PROPOSED TREES AS PART OF VILLAGE POINT  
ROADWAY & UTILITY IMPROVEMENTS PROJECT  
(OCTOBER 17, 2013). TREES TO BE INSTALLED AS  
PART OF THIS PROJECT. REFER TO PREVIOUS PLANS  
FOR TREE TYPE AND SPECIFICATION.

EXISTING TREES TO REMAIN

ALL ASPHALT, LIMEROCK, AND CONSTRUCTION DEBRIS TO BE REMOVED FROM PLANTING BEDS AND AREAS TO BE SODDED PRIOR TO LANDSCAPE INSTALLATION. PLANTING DEPTH OF SOIL IN SUCH AREAS SHOULD BE AT LEAST 3". IF FILL MUST BE ADDED, IT MUST BE FLORIDA CLEAN DEEP FILL (FREE OF WEED SEEDS) WITH pH 5.5-6.5.

ALL TREES TO BE A MINIMUM SEVEN (7) FEET IN HEIGHT AND TWO (2) INCH CALIPER, OR LARGER, UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT.

ALL TREES TO BE PLANTED 1'-2" ABOVE FINISHED GRADE.

ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" THICKNESS OF MULCH, PINE BARK MULCH SHALL BE USED IN ALL AREAS.

TREES OUTSIDE OF MULCHED LANDSCAPED BEDS TO BE PROTECTED FROM MOWER AND STRING TRIMMER DAMAGE WITH 10" OF PLASTIC DRAIN TUBE.

LEADER SHOOTS AND MAIN STRUCTURAL LIMBS OF TREES WILL NOT BE TOPPED OR PRUNED. TREES TO BE STAKED AS NEEDED, GUYLINES TO BE NON-SYNTHETIC BIODEGRADABLE MATERIAL.

OWNER SHALL BE RESPONSIBLE FOR (1) THE SURVIVAL OF THE LANDSCAPING ELEMENTS AND (2) REMOVAL OF ALL STAKING SYSTEMS WITHIN ONE YEAR. TREES WILL BE STAKED ONLY IF NECESSARY, AND IF STAKED, BIODEGRADABLE TWINE WILL BE USED.

CALL THE URBAN FORESTRY INSPECTOR FOR A BARRICADE INSPECTION AT 352-393-8188 BEFORE CLEARING AND GRUBBING WORK BEGINS.

ALL INVASIVE PLANT SPECIES TO BE REMOVED FROM SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

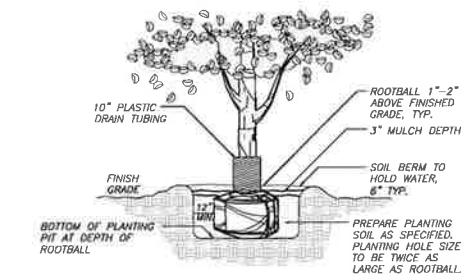
ALL DISTURBED AND UNPAVED AREAS TO BE GRASSED WITH SOD THAT IS FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE OR SHALL BE SEEDED AND MULCHED. SEE CIVIL SITE PLANS FOR ADDITIONAL RELATED INFORMATION.

PLANT MATERIAL  
ALL PLANT MATERIAL TO BE FLORIDA NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S 'GRADES AND STANDARDS FOR NURSERY PLANTS'. CALL THE CITY URBAN FORESTRY INSPECTOR AT 352-393-8188 AND LANDSCAPE ARCHITECT PRIOR TO PURCHASING ANY PLANT MATERIAL FOR AN ON SITE INSPECTION AND REVIEW OF LANDSCAPE PLAN.

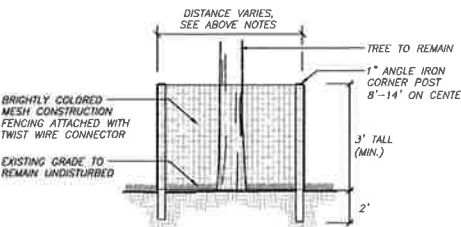
IRRIGATION  
LANDSCAPE IRRIGATION TO BE PROVIDED BY AUTOMATIC IRRIGATION SYSTEM. BUBBLERS SHALL BE INSTALLED BY EACH TREE AS PART OF THE IRRIGATION SYSTEM.

T.M.P.A.  
SITE IS LOCATED IN ZONE M OF THE TRANSPORTATION MOBILITY PROGRAM AREA.

NOTE STREET TREES PROPOSED BETWEEN THE SIDEWALK AND HULL ROAD ARE WITHIN THE PREVIOUS VILLAGE POINT ROADWAY & UTILITY IMPROVEMENTS PROJECT. REFERENCE VILLAGE POINT PLANS, FINAL DATE OF OCTOBER 17, 2013. TREE CALLOUTS (\*) INDICATE REPLACEMENT OF A TREE SHOWN IN VILLAGE POINT PLANS.



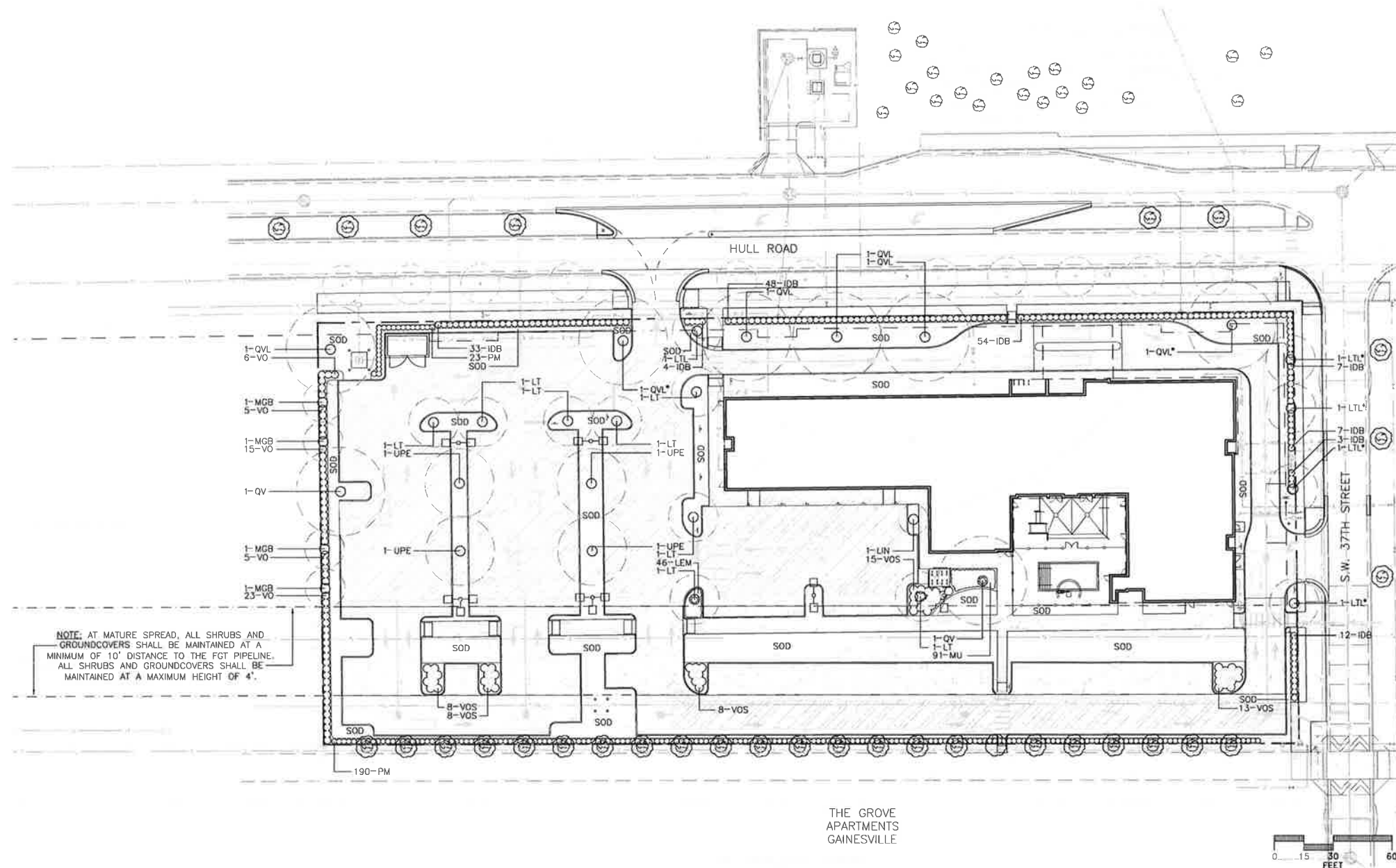
(1) FULL SCALE: N.T.S.



2 REGUL

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LIN	1	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	30 GAL, 10' HT, 4' SPR, 2" CAL, MULTI-TRUNK	
LT	8	LIRIODENDRON TULIPIFERA	TULIP TREE	30 GAL, 11' HT, 3' SPR, 2" CAL	
LTL	5	LIRIODENDRON TULIPIFERA	TULIP TREE	65 GAL, 13.5' HT., 5' SPR., 3.5" CAL.	
MGB	4	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY'	BRACKEN'S BROWN BEAUTY MAGNOLIA	30 GAL, 12' HT, 42" SPR, 2" CAL	
QV	2	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL LIVE OAK	30 GAL., 12" HT., 54" SPR., 2" CAL.	
QVL	6	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL LIVE OAK	65 GAL., 11.5' HT., 44" SPR., 3.5" CAL.	
UPE	4	ULMUS PARVIFOLIA 'ALLEE'	ALLEE ELM	30 GAL, 10' HT, 4' SPR, 2" CAL	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
IDB	168	ILEX CORNUATA 'DWARF BURFORDII'	DWARF BURFORD HOLLY	3 GAL, 24" HT, 16" SPR	
PM	213	PODOCARPUS MACROPHYLLUS	PODOCARPUS	3 GAL., 36" HT., 9" SPR.	
VO	54	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	3 GAL., 24" HT, X 12" SPR.	
VOS	52	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	MRS. SCHILLER'S DELIGHT VIBURNUM	3 GAL., 16" HT. X 12" SPR.	
GROUND_COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LEM	46	LIRIOPE MUSCARI 'EMERALD GODDESS'	LIRIOPE	1 GAL., FULL	18" c
MU	91	MUHLENBERGIA CAPILLARIS	PINK MUHLY	4" POT	18" c
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE	
SOD		PASPALUM NOTATUM 'ARGENTINE'	BAHIA GRASS	WEEED FREE AND SAND GROWN SOD	

SPACING  
18" o.c.  
18" o.c.



THE GROVE  
APARTMENTS  
GAINESVILLE

132 NW 76th Drive  
Gainesville, Florida 32607  
(352) 331-1976 / (352) 331-2476  
www.dhw-inc.com

est. 1988 **FLORIDA**  
LC26000554



1" = 30'

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING

1" = 30'

IF NOT ONE INCH ON  
THIS SHEET, ADJUST

CONSTRUCTION/NO. DIVISIONS

07/05/16	CITY OF GAINESVILLE
07/07/16	GRU REVIEW
08/15/16	CITY OF GAINESVILLE

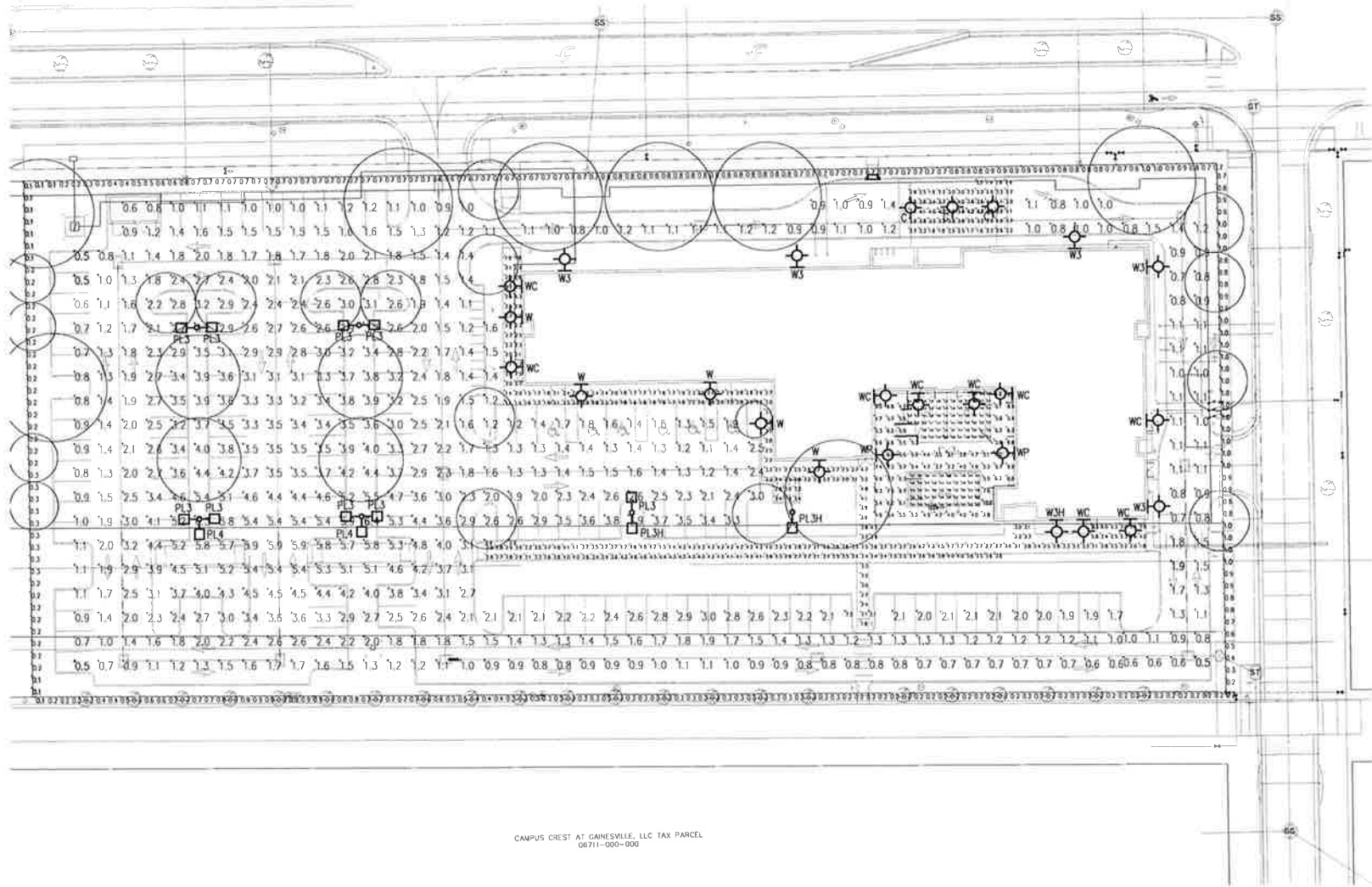
CUANTO

TOUAD

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SHEET NO.:  
LS-1



CAMPUS CREST AT GAINESVILLE, LLC TAX PARCEL  
06711-000-000

#### PHOTOMETRIC STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Code
MAIN ENTRY	+	3.1 fc	4.2 fc	1.1 fc	3.8:1	2.0:1	30-344(e)(3)
SIDE ENTRY WALKWAYS	+	3.3 fc	9.3 fc	1.1 fc	8.5:1	3.0:1	30-344(e)(3)
PARKING LOT	+	2.4 fc	6.4 fc	0.5 fc	12.8:1	4.8:1	30-344(e)(4)(c)
DRIVEWAYS	+	1.0 fc	1.9 fc	0.5 fc	3.8:1	2.0:1	30-344(e)(4)(c)
PROPERTY LINE	+	0.5 fc	1.0 fc	0.1 fc	10.0:1	5.0:1	30-344(d)(3)(b)
LIGHTING IN THE POOL AREA IS REGULATED BY STATE STANDARDS.							
POOL SURFACE	+	5.1 fc	6.2 fc	3.8 fc	1.6:1	1.3:1	CHAPTER 64E-9
WADING POOL SURFACE	+	5.5 fc	10.1 fc	3.5 fc	2.9:1	1.6:1	CHAPTER 64E-9
WET DECK	+	5.7 fc	10.0 fc	3.1 fc	3.2:1	1.8:1	CHAPTER 64E-9

#### PHOTOMETRIC NARRATIVE

THE FOLLOWING IS INTENDED TO SERVE AS A DESIGN NARRATIVE AND WAIVER REQUEST FOR THIS PROJECT.

THIS DESIGN ENCOMPASSES LIGHTING FOR A NEW HOTEL, ALONG WITH PARKING FACILITIES, A POOL, AND ASSOCIATED WALKWAYS.

THE PARKING LOT AREA WILL BE LIT WITH A COMBINATION OF POLE AND WALL MOUNT LIGHT FIXTURES, THE FIXTURES WILL UTILIZE AN LED SOURCE, WILL BE FULL CUT-OFF, AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 25FT AND 30FT AFG. THESE FIXTURES ARE REFERRED TO AS TYPES 'PL3', 'PL3H', 'PL4', 'W3', AND 'W3H'. THESE FIXTURES WILL BE MOUNTED ON METAL POLES OR WALL MOUNTED.

THE WALKWAY AREAS ARE LIT WITH WALL MOUNT LED FIXTURES, REFERRED TO AS TYPES 'W' AND 'WC'. THESE FIXTURES ARE FULL CUT-OFF AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 12FT AFF & 10FT AFF, RESPECTIVELY.

THE MAIN ENTRANCE HAS AN ARCHITECTURAL CANOPY COVER WHICH WILL BE LIGHTED USING RECESSED LED FIXTURES, REFERRED TO AS TYPE 'C'.

LIGHTING HAS BEEN PROVIDED IN THE POOL AREA, WHICH IS REGULATED BY STATE STANDARDS AND IS EXEMPT FROM THE REQUIREMENTS OF 30-344. THIS INFORMATION HAS BEEN INCLUDED HERE FOR REFERENCE ONLY. THE POOL AREA WILL BE LIT WITH POLE MOUNT LIGHT FIXTURES. THE FIXTURES WILL UTILIZE AN LED SOURCE, WILL BE FULL CUT-OFF, AND WILL OPERATE FROM DUSK TO DAWN. THE FIXTURES WILL BE MOUNTED AT 20FT AFG. THESE FIXTURES ARE REFERRED TO AS TYPE 'PP'. THESE FIXTURES WILL BE MOUNTED ON ROUND METAL POLES.

DUSK TO DAWN OPERATION AS REQUIRED BY 30-344(d)(1)(e) IS PROVIDED DUE TO THE 24 HOUR USE OF THE SITE.

OVERALL, THIS DESIGN PROVIDES SAFE LIGHTING FOR VEHICLES AND BUILDING PATRONS WHILE CONFORMING WITH THE INTENT OF 30-344 AND MINIMIZING IMPACT ON NEIGHBORING PROPERTIES.

#### LUMINAIRE SCHEDULE FOR PHOTOMETRICS

Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	MH
□	PL3H	2	LEOTEK	AR18-30M-MV-NW-3-XX-700	WITH CLEAR PLASTIC DIRECTIONAL LENSES		AR18-30M-MV-NW-3-XX-700.IES	Absolute	0.81	30
□	PL3	9	LEOTEK	AR18-15M-MV-NW-3-XX-700	WITH CLEAR PLASTIC DIRECTIONAL LENSES	FIFTEEN LEADS LUMINAIRE OUTPUT: 11507 Lms.	AR18-15M-MV-NW-3-XX-700.IES	Absolute	0.81	30
□	PL4	2	LEOTEK	AR18-20M-MV-NW-4-XX-700	WITH CLEAR PLASTIC DIRECTIONAL LENS		AR18-20M-MV-NW-4-XX-700.IES	Absolute	0.81	30
⊕	W3	5	LEOTEK	AR18-10M-MV-NW-3-XX-700-WM-HSS	WITH CLEAR PLASTIC DIRECTIONAL LENS	10 LEADS LUMINAIRE OUTPUT: 8083 Lms	AR18-10M-MV-NW-3-XX-700.IES	Absolute	0.81	25
⊕	W3H	1	LEOTEK	AR18-30M-MV-NW-3-XX-700-WM-HSS	WITH CLEAR PLASTIC DIRECTIONAL LENSES		AR18-30M-MV-NW-3-XX-700.IES	Absolute	0.81	30
⊕	WP	2	LEOTEK	AR18-20M-MV-NW-4-XX-700-WM-HSS	30-3/8" L X 17-1/2" W X 8" H. LED AREA/STREET LIGHT TWENTY COOL LIGHT LEADS WITH TYPE IV OPTICS		AR18-20M-MV-NW-4-XX-700.IES	Absolute	0.81	20
⊕	WC	9	LUMINIS	SY600-L1W12t1-R60		(1) Bridgelux BXRC-40E4000-F Round LED Array ) White 12W SSL c/w Thomas Research Driver LED40W-036-C1050-M-D @ 120.00V	SY600-L1W12t1-R60.ies	Absolute	0.81	10
⊕	W	6	GARDCO	122L-3-35LA-NW	122 SlenderForm LED Sconce	(1) LIGHT ARRAY OF 32 LEDs DRIVEN AT 350mA	122-3-35LA-NW.IES	Absolute	0.81	12
⊕	C	3	H.E WILLIAMS	LED60-OS11/840-CS-ED-OS-UNV	n/a	n/a	LED60-OS11-840.IES	Absolute	0.81	CEIL

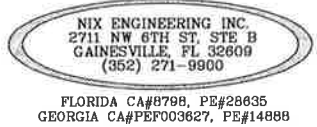
#### FIXTURE SCHEDULE NOTES

1. TYPES PL3, PL3H, AND PL4 ARE POLE MOUNT, FULL CUT-OFF LED FIXTURES INTENDED TO SERVE THE PARKING AREAS. THE FIXTURES SHALL BE MOUNTED AT 30FT ON A METAL POLE & CONCRETE POLE BASE, AND FIXED IN THE HORIZONTAL POSITION.
2. TYPES W3 AND W3H ARE WALL MOUNT, FULL CUT-OFF LED FIXTURES INTENDED TO SERVE THE PARKING AREAS. THE FIXTURES SHALL BE MOUNTED AT 25FT AND 30FT, RESPECTIVELY, AND FIXED IN THE HORIZONTAL POSITION. THE FIXTURES UTILIZE A HOUSE-SIDE SHIELD TO PREVENT EXCESS BACKLIGHT ONTO THE BUILDING.
3. TYPE WC IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE. THE FIXTURES SHALL BE MOUNTED AT 10FT. THE LIGHT SOURCE SHALL BE FIXED AND ADJUSTMENT DISABLED AFTER INSTALLATION.
4. TYPE C IS A RECESSED LED FIXTURE.
5. TYPE WP IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE INTENDED TO SERVE THE POOL AREA. THE FIXTURE SHALL BE MOUNTED AT 20FT AND BE FIXED IN THE HORIZONTAL POSITION.
6. TYPE W IS A WALL MOUNT, FULL CUT-OFF LED FIXTURE. THE FIXTURES SHALL BE MOUNTED AT 12FT.
7. DUE TO THE FULL CUT-OFF NATURE OF ALL FIXTURES, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0 FC BY DEFINITION.

#### GENERAL NOTES

1. HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
2. FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
3. POLE LIGHT LOCATIONS HAVE BEEN COORDINATED WITH EXISTING AND PROPOSED TREES.

**SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 30'



Project Number  
1644

Date  
8/20/16

Designed By  
KWH

Checked By  
RAN

Rev

Date

Description

NIX ENGINEERING, INC.  
CONSULTING ENGINEERS

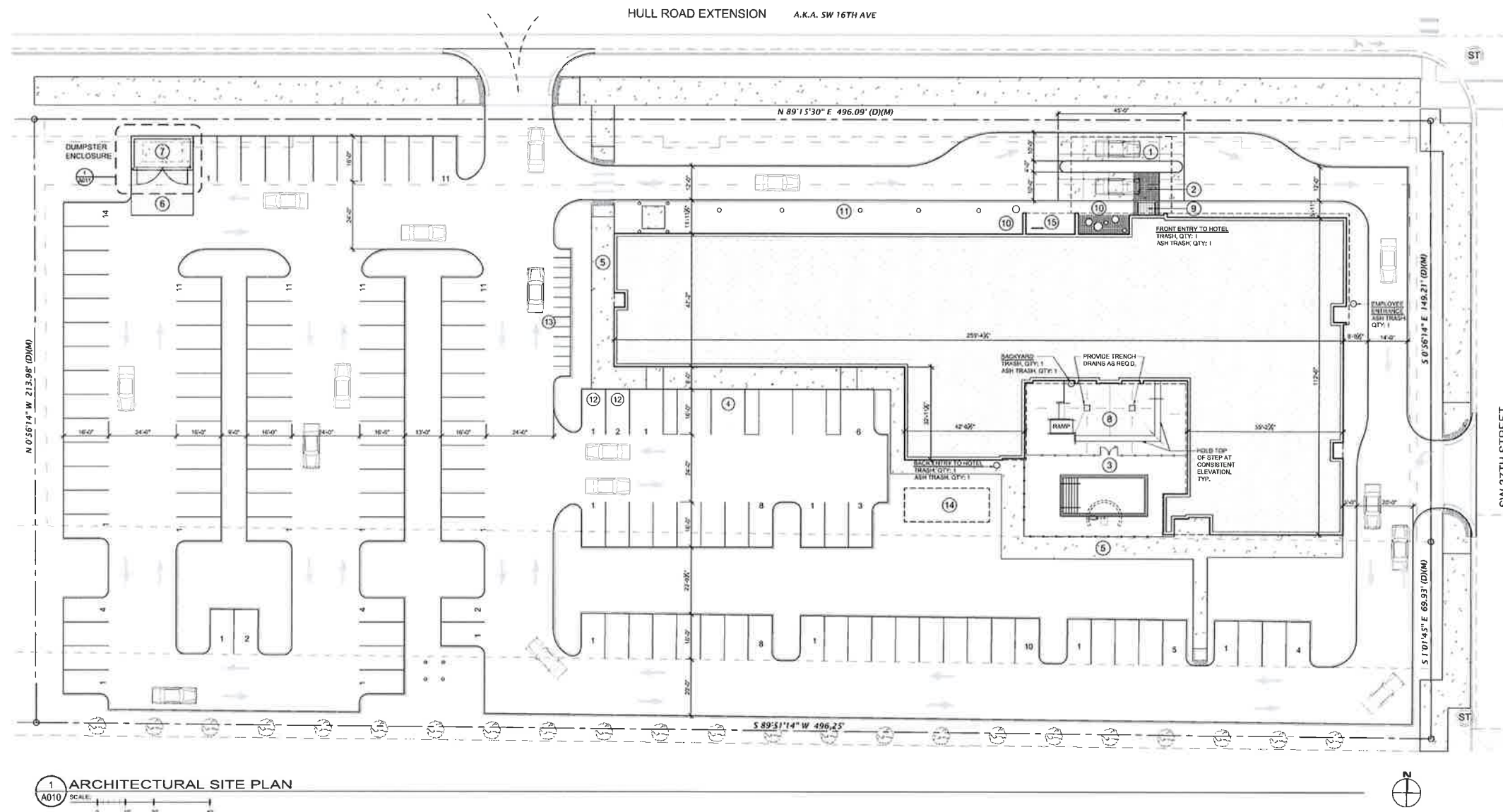
2711 NW 6TH ST, STE B  
GAINESVILLE, FLORIDA

ALOFT HOTEL  
SITE PHOTOMETRIC PLAN

GAINESVILLE, FL

Drawing Number  
E-1



[illegible]

<b>SITE DATA</b>
Site: 107,438,28 s.f. = 2.47 AC.

<b>PARKING</b>	
146	Rooms x 1.0 space/room = 146 space
140	Space provided
1	Van spaces
5	Accessible Parking Spaces
13	Motorcycles
121	STANDARD SPACES

<b>SITE UTILITIES</b>
COORDINATE ALL UTILITIES WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.



# WEST 38 - ALOFT

**SW 16th Avenue & 37th Street  
Gainesville, Florida**

**SCHEMATIC  
DESIGN**  
July 5, 2016

[illegible]ARCHITECTURAL  
SITE PLAN

# A010



**WEST 38 - ALOFT**

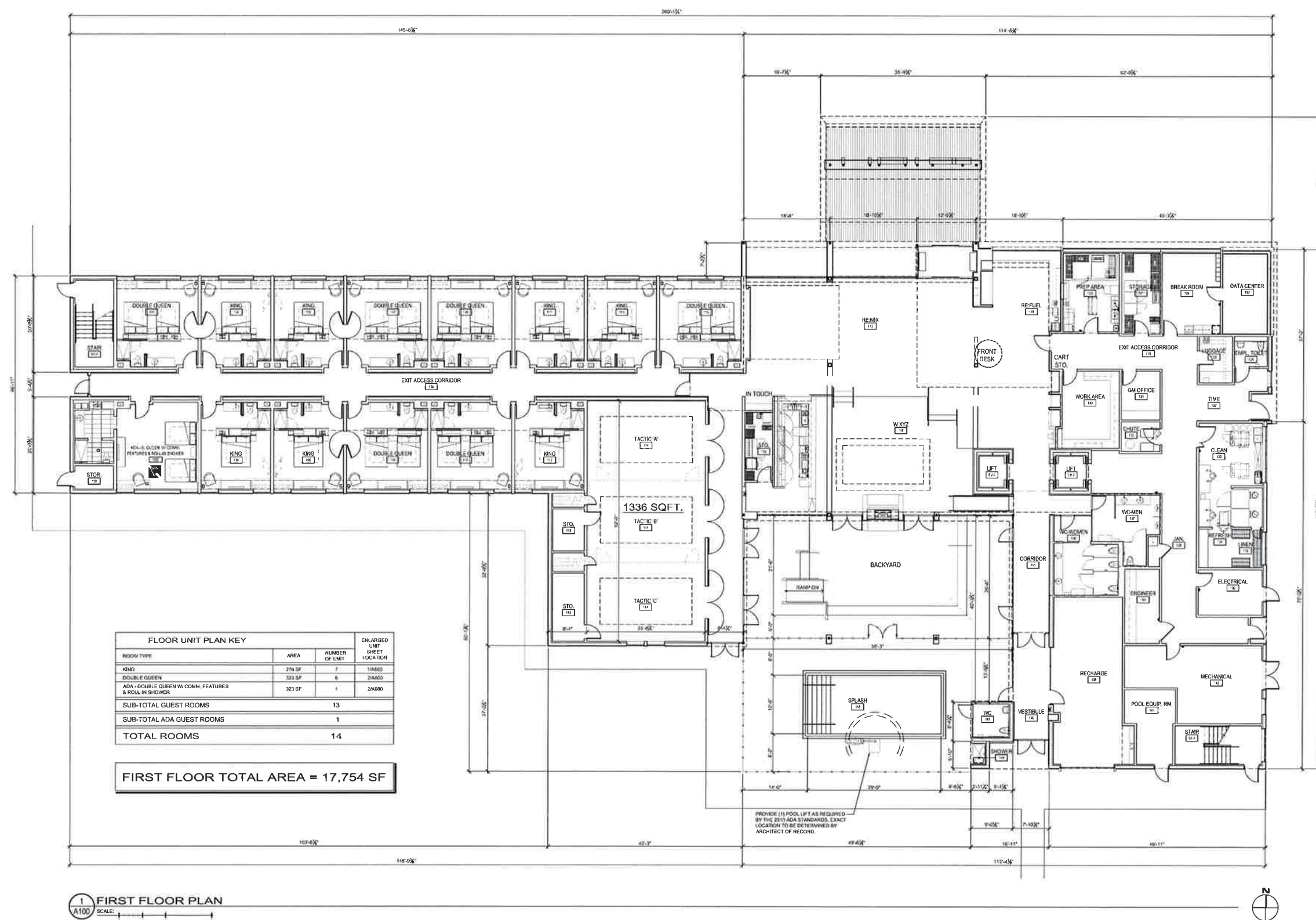
SW 16th Avenue & 37th Street  
Gainesville, Florida

**SCHEMATIC  
DESIGN**  
July 5, 2016

[illegible]

### FIRST FLOOR PLAN

## A100

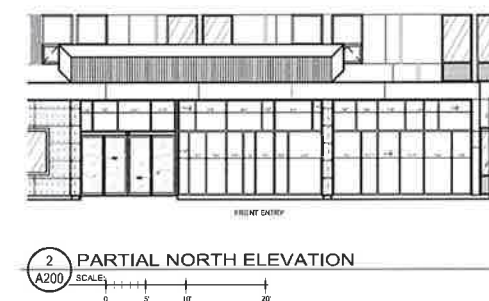
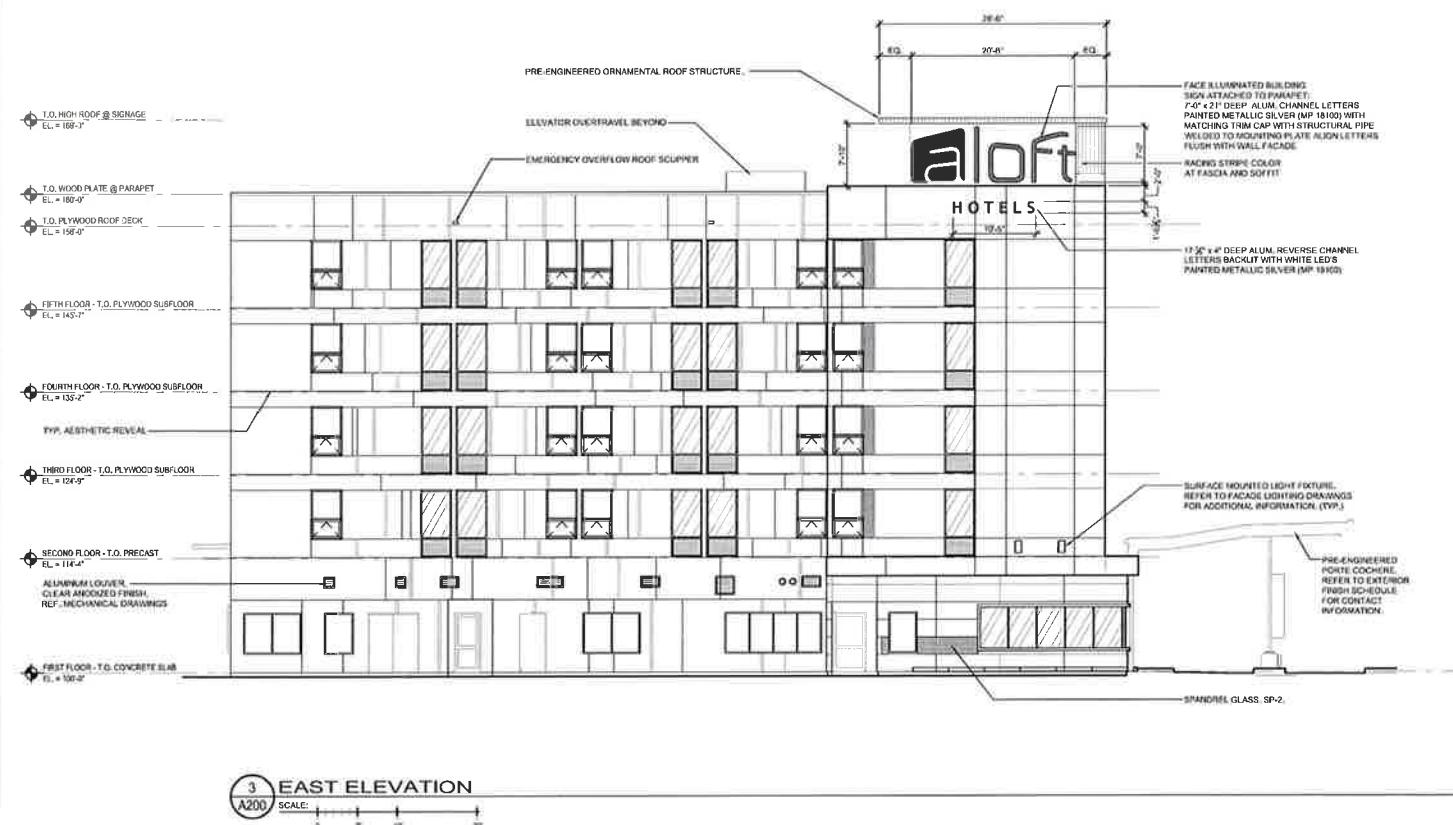






**WEST 38 - ALOFT**

SW 16th Avenue & 37th Street  
Gainesville, Florida



<b>WINDOW TYPE LEGEND</b>		
FIXED WINDOW	1	
FIXED ABOVE WITH HINGED BELOW	2	
<b>FINISH MATERIAL LEGEND</b>		
SPRINKLED GLASS	N	
SPRINKLED GLASS	O	
SPRINKLED GLASS	P	
VISION GLASS		
METAL PANEL SYSTEM		
PRIDEEMA		
COLORLED METAL ACCENT PANELS		
2" EPS - COLOR		
SCM (SLIMLINE) COMPOSITE MATERIALS		
ALUM. LOUVER IN WINDOW SYSTEM		
COLOR-CATHODE LIGHT STRIPS		

**SCHEMATIC  
DESIGN**  
July 5, 2016

[illegible]

NORTH ELEVATION  
EAST ELEVATION

## A200





**WEST 38 - ALOFT**  
SW 16th Avenue & 37th Street  
Gainesville, Florida

**SCHEMATIC  
DESIGN**  
July 5, 2016

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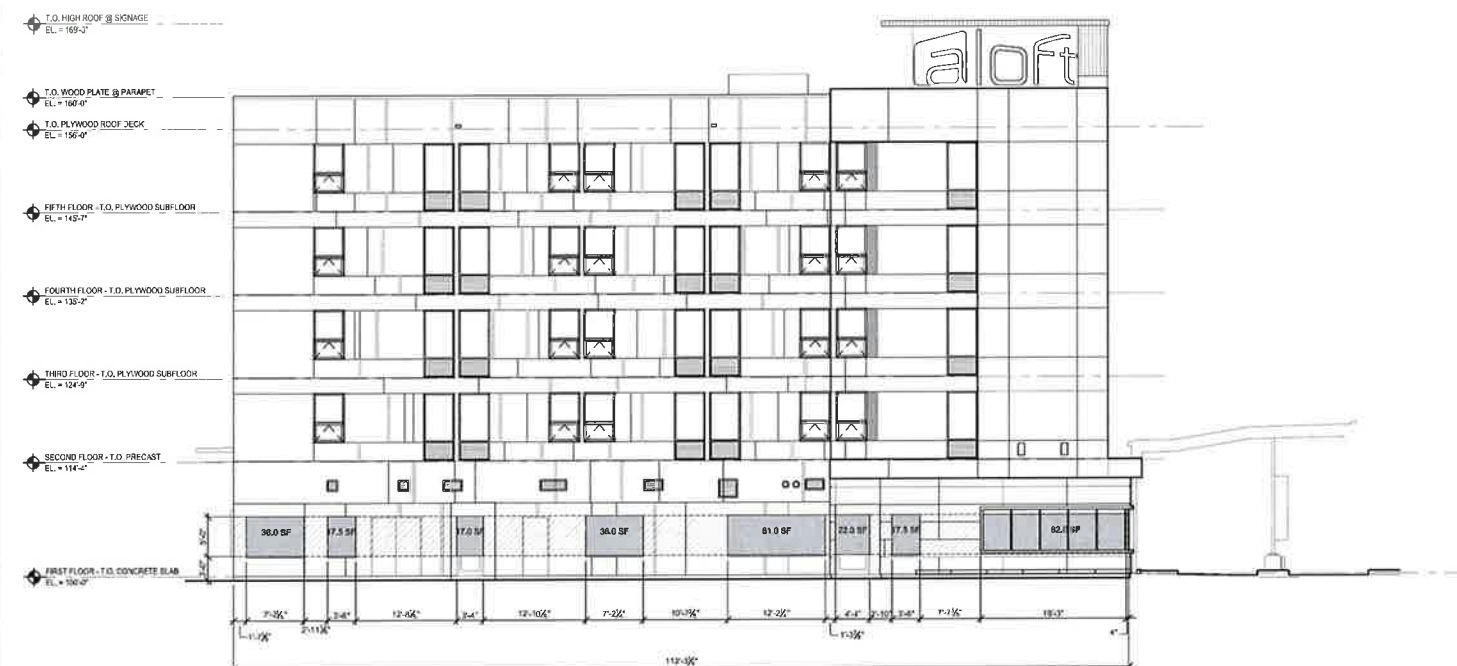
14030.00	
PROJECT NUMBER	
XXX	XXX
DRAWN BY	CHECKED BY
XXX	XXX
PROJECT MGR.	PROJECT ARCHT.

### NORTH ELEVATION & EAST ELEVATION GLAZING CALCULATIONS

**A200a**



1 NORTH ELEVATION  
A200a



**2 EAST ELEVATION**  
A200a

GENERAL NOTE:

GLAZING CALCULATIONS PER CITY OF GAINESVILLE, FL  
CODE OF ORDINANCE UMU-2 30-65.2(d)(3)  
GLAZING REQUIREMENTS

NORTH ELEVATION STREET FRONTAGE

TOTAL FACADE AREA BETWEEN 3'-0" & 8'-0" ABOVE GRADE	1336.0 SF
TOTAL GLAZING AREA REQUIRED (50%)	668.0 SF
TOTAL GLAZING AREA PROVIDED (51.1%)	687.0 SF

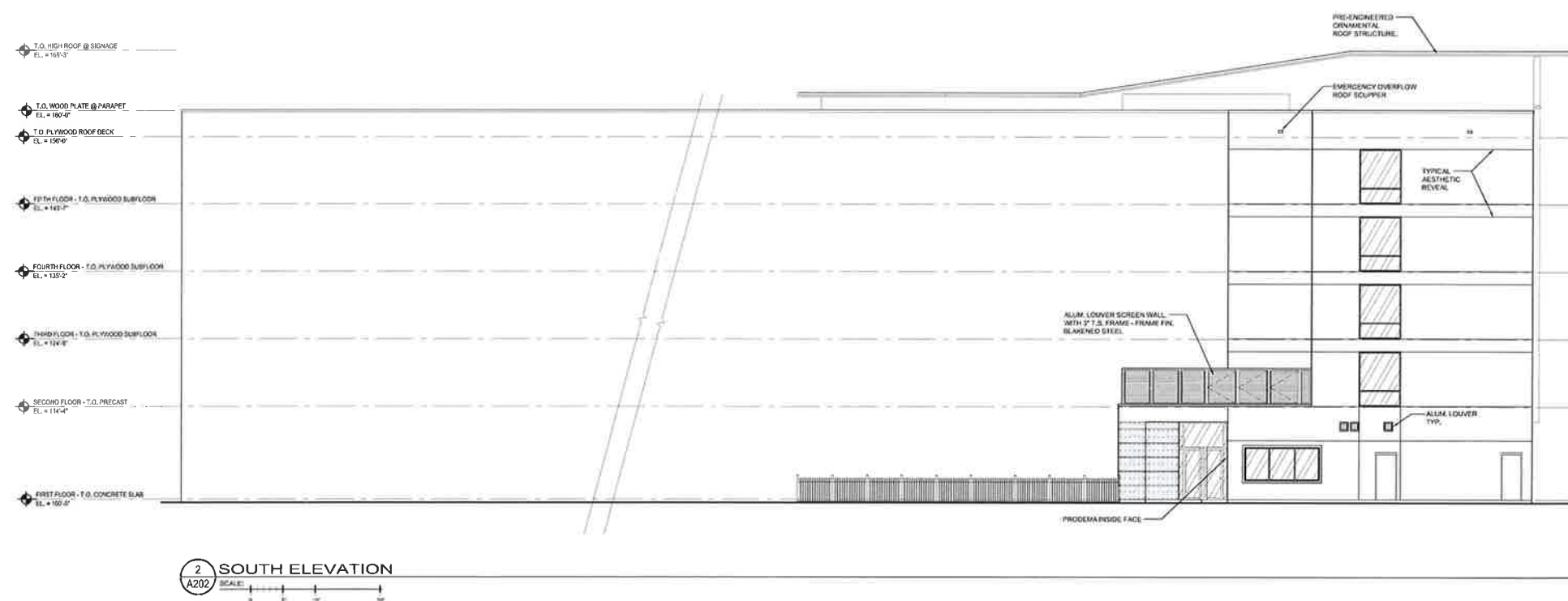
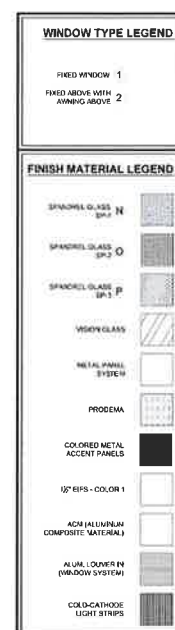
EAST ELEVATION STREET FRONTAGE

TOTAL FACADE AREA BETWEEN 3'-0" & 8'-0" ABOVE GRADE	561.5 SF
TOTAL GLAZING AREA REQUIRED (50%)	280.75 SF
TOTAL GLAZING AREA PROVIDED (51.1%)	289.0 SF



**WEST 38 - ALOFT**

SW 16th Avenue & 37th Street  
Gainesville, Florida

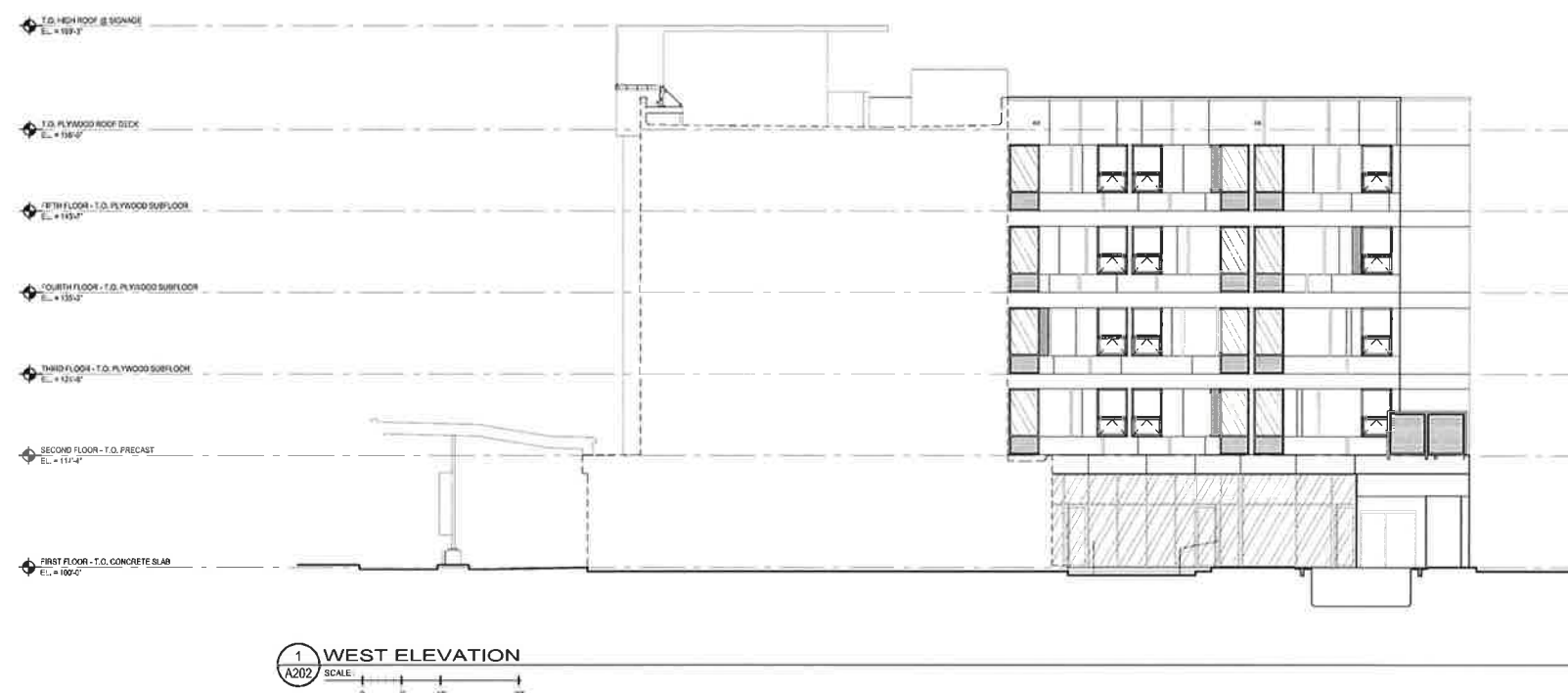


**SCHEMATIC  
DESIGN**  
July 5, 2016

[illegible]

**SOUTH ELEVATION**

A201



WINDOW TYPE LEGEND	
FIBER WINDOW	1
FIBER ABOVE WITH AIRING ABOVE	2
FINISH MATERIAL LEGEND	
SPANDREL GLASS SA*	
SPANDREL GLASS SP-2 O	
SPANDREL GLASS SP-1 P	
WINDOW GLASS	
METAL PANEL SYSTEM	
PRIMER	
COLORLED METAL ACCENT PANELS	
SE EPS - COLOR 1	
ACM (ALUMINUM COMPOSITE MATERIAL)	
ALUM. GLASS/IN (WINDOW SYSTEM)	
GOLD-CATHODE LIGHT STRIPS	

**SCHEMATIC  
DESIGN**  
July 5, 2016

[illegible]

WEST ELEVATION

**A202**





**WEST 38 - ALOFT**

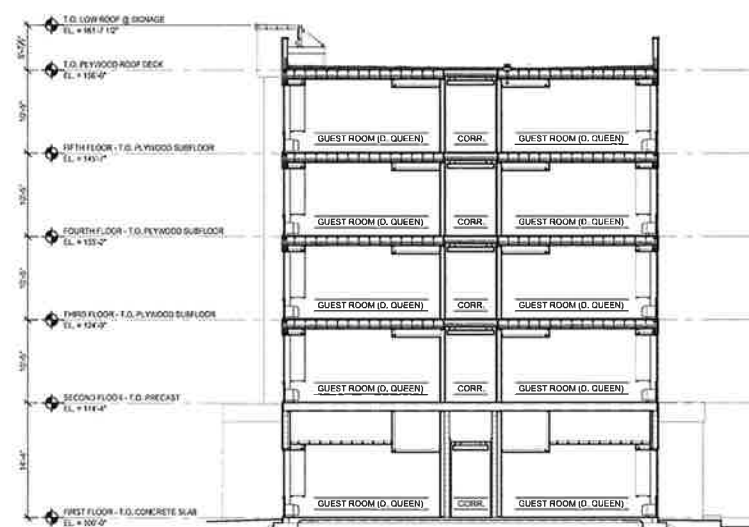
SW 16th Avenue & 37th Street  
 Gainesville, Florida

**SCHEMATIC  
DESIGN**  
July 5, 2016

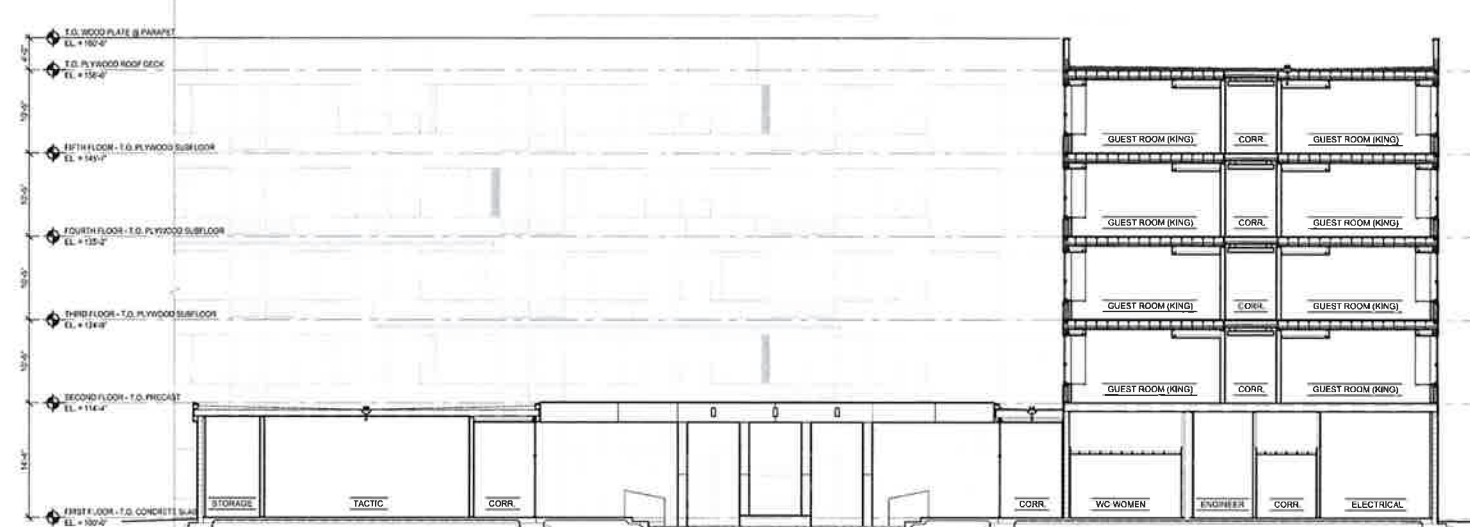
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## BUILDING SECTIONS

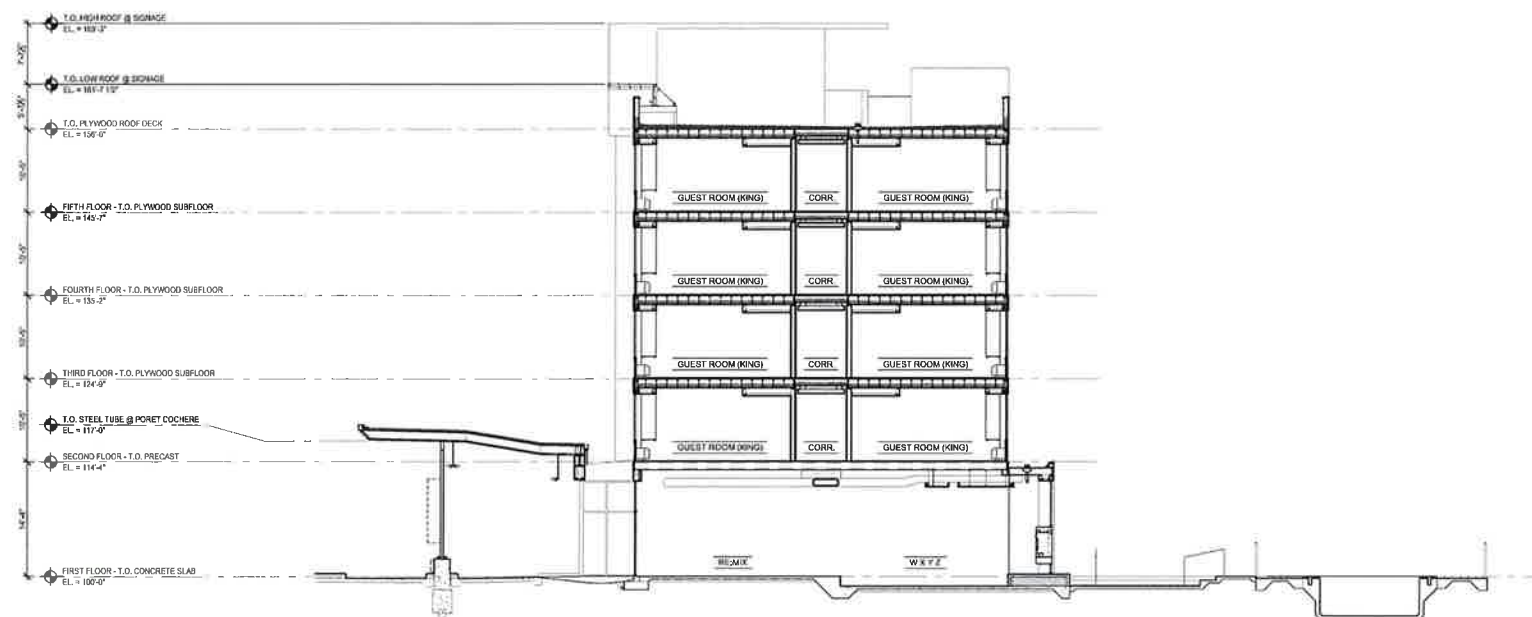
## A300



**1 BUILDING SECTION**  
A300 SCALE: 1" = 10'-0"



**2 BUILDING SECTION**  
A300



**3 BUILDING SECTION**  
A300 SCALE: 1" = 10'-0"



**WEST 38 - ALOFT**

SW 16th Avenue & 37th Street  
Gainesville, Florida

THEMATIC  
SIGN  
ne 2016

[illegible]16030.00  
PROJECT NUMBER

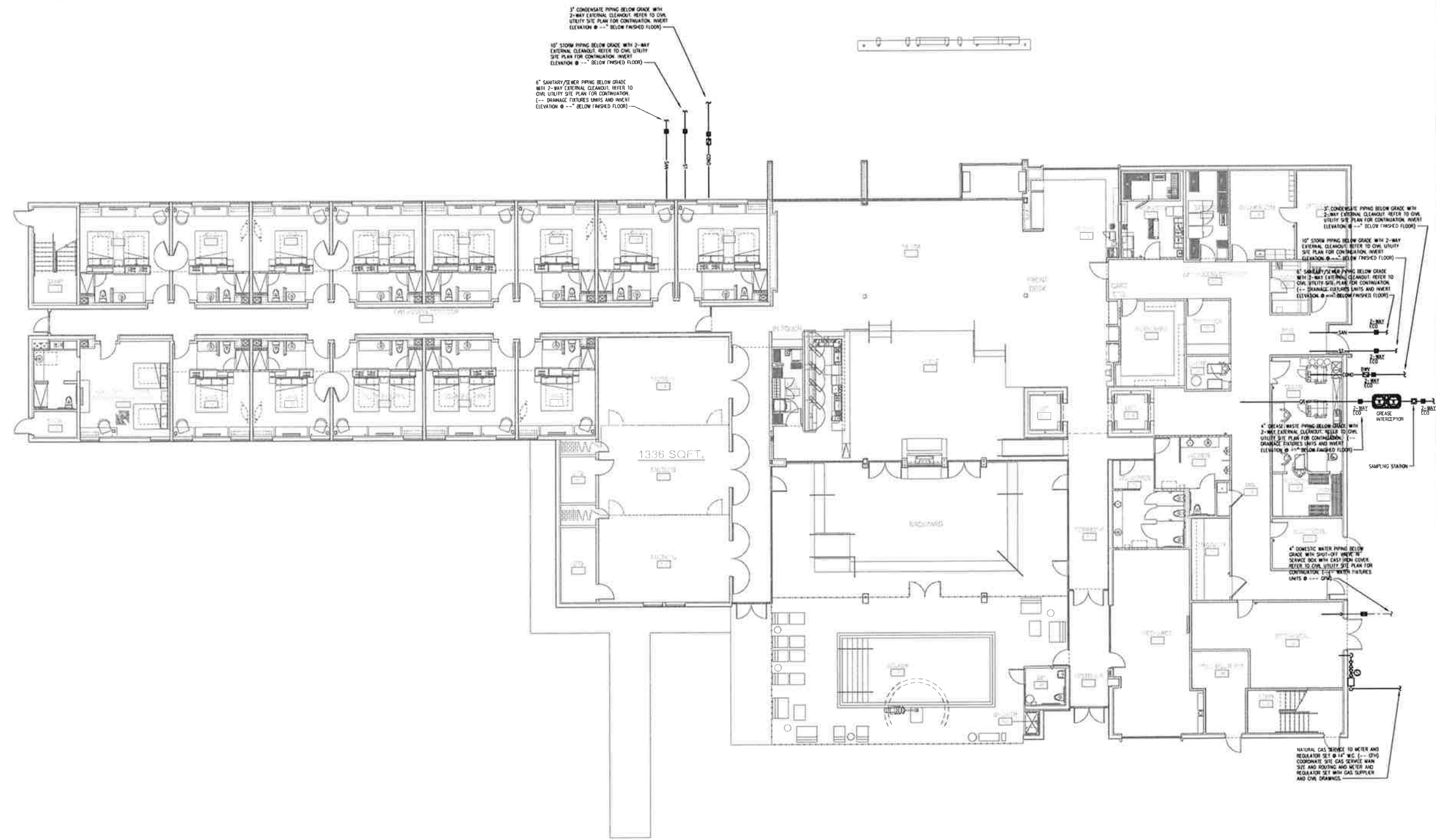
XXX  
DRAWN BY

XXX  
CHECKED BY

PROJECT MOR PROJECT ARCH

**FIRST FLOOR PLAN -  
PLUMBING**

**P101**



1 FIRST FLOOR PLAN - PLUMBING  
P101 SCALE: 1/8"=1'-0"