

SECTION 6. - SPECIAL AREA PLAN FOR UNIVERSITY HEIGHTS

ORDINANCE NO. 990733
0-00-88

AN ORDINANCE OF THE CITY OF GAINESVILLE, FLORIDA, IMPOSING THE SPECIAL AREA PLAN OVERLAY ZONING DISTRICT FOR "UNIVERSITY HEIGHTS" ON CERTAIN PROPERTY LOCATED SOUTH OF N.W. 3RD AVENUE, WEST OF N.W. AND S.W. 6TH STREET, NORTH OF S.W. DEPOT AVENUE, AND EAST OF N.W. AND S.W. 13TH STREET; ADOPTING A SPECIAL AREA PLAN FOR THIS PROPERTY; PROVIDING DIRECTIONS TO THE CODIFIER; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; AND PROVIDING AN IMMEDIATE EFFECTIVE DATE.

WHEREAS, the City Plan Board authorized the publication of notice of a Public Hearing that the text of the Land Development Code of the City of Gainesville, Florida, be amended; and

WHEREAS, notice was given and publication made as required by law and a Public Hearing was then held by the City Plan Board on December 16, 1999; and

WHEREAS, notice was given and publication made of a Public Hearing which was then held by the City Commission on February 14, 2000; and

WHEREAS, pursuant to law, an advertisement no less than 2 columns wide by 10 inches long was placed in a newspaper of general circulation notifying the public of this proposed ordinance and of a Public Hearing in the Auditorium of City Hall in the City of Gainesville, at least 7 days after the day the advertisement was published; and

WHEREAS, a second advertisement no less than 2 columns wide by 10 inches long was placed in the same newspaper notifying the public of the second Public Hearing to be held at the adoption stage at least 5 days after the day this advertisement was published; and

WHEREAS, the Public Hearings were held as advertised and the parties in interest and all others had an opportunity to be and were, in fact, heard;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF GAINESVILLE, FLORIDA:

Section 1. The Special Area Plan overlay district is imposed on certain property located south of N.W. 3rd Avenue, west of N.W. and S.W. 6th Street, north of S.W. Depot Avenue and east of N.W. and S.W. 13th Street, as shown on the map on page 13 of Exhibit A, which is made a part hereof as if set forth in full.

Section 2. The University Heights Special Area Plan (Exhibit A) is hereby adopted. The specific regulations of the Special Area Plan for the aforementioned property and the administration and enforcement of these regulations as delineated in Exhibit A shall control and guide the development and use of the property.

Section 3. The city manager is authorized and directed to make these changes in the zoning map in order to comply with this ordinance and administer the provisions of the University Heights Special Area Plan.

Section 4. It is the intention of the City Commission that the provisions of the special area plan adopted by this ordinance shall become and be made a part of Land Development Code of the City of Gainesville, Florida, and that the Sections and Paragraphs of this ordinance may be renumbered or relettered in order to accomplish such intentions.

Section 5. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of this ordinance.

Section 6. All ordinances or parts of ordinances in conflict herewith are to the extent of such conflict hereby repealed, except as stated in this ordinance.

Section 7. This ordinance shall become effective immediately upon final adoption.

PASSED AND ADOPTED this 23rd day of October, 2000.

Exhibit A. Special Area Plan
for University Heights

- I. *Intent.* The City of Gainesville seeks to promote and control preservation and revitalization in this traditional neighborhood. History shows that a few traditional urban design conventions will generate building types and neighborhood conventions will generate building types and neighborhood forms which allow profitable, positive infill and change which strengthen property values and appearance, and which offer a high quality of life. These conventions are derived from many sources in planning literature including: *Civic Art* by Hegeman and Peets, *Great Streets* by Allan B. Jacobs, *The New Urbanism* by Peter Katz, and *AIA Graphic Standards, 9th Edition*.

This Code establishes standards for land development in order to:

1. Preserve and extend the historic neighborhood character through the design and placement of building types and public spaces.
2. Create high-quality street spaces by using buildings to form a pleasant, convenient and safe environment designed for pedestrians, bicyclists, public transit and motorists.
3. Enhance the viability of local businesses and reduce car travel demand by focusing growth in appropriate locations.
4. Provide a measure of predictability to property owners and occupants about what may be built on their land or their neighbors' property, yet allow for a market-driven mixture of land uses.
5. Encourage a wide range of building types and sizes that will offer a measure of self-sufficiency and sustainability, and adapt gracefully to change over time.
6. Make the neighborhood a pleasant place to live, that will attract a mix of long-term residents reflecting the composition of the university community and adjacent neighborhoods.

II. Administration

- A. *Required Compliance.* All new commercial, office, mixed-use and multi-family development (including single-family attached rowhouses) shall be required to comply with this Special Area Plan.
- B. *Waiver from Compliance.* A Waiver from Compliance may be considered for applications that do not follow all aspects of the Special Area Plan, but offer exceptional benefits to the community. Applicants may request a Waiver from the design standards, but no waiver is allowed for uses. In granting a Waiver, the City Manager, designee, or appropriate reviewing board must find by substantial competent evidence that:
1. The proposed development contributes to, promotes and encourages the improvement of the University Heights Neighborhood and catalyzes other development as envisioned in the University Heights regulations.
 2. The proposed development abides by all rules in this code other than those specially excepted. Special limitations apply to large footprint free-standing buildings (greater than 20,000 sq ft on the first story); see section IV.(I.) for these limitations.
 3. The proposed development meets any reasonable additional conditions, restrictions or limitations considered deemed necessary or desirable by the City Manager, designee, or appropriate reviewing board, in order to preserve and promote the intent of the University Heights Special Area Plan.

4. The applicant proves an undue hardship, owing to conditions peculiar to the existing structure and not the result of the action of the applicant, would result from the strict adherence to these standards because:
 - a. The structure is officially designated as historically significant and these standards conflict with standards established for the preservation of historic structures, or;
 - b. The application of these standards would result in inconsistency of proportion and scale with the existing structure, or;
 - c. The application of these standards would result in the project being made financially impossible.
- C. *Effect of Classification.* The University Heights Special Area Plan is applied as an Overlay Zoning District. If the provisions of the Special Area Plan conflict with the underlying zoning, the provisions of the Special Area Plan shall prevail. The effect of the classification is that the Special Area Plan is the applicable set of regulations. The regulations of the underlying zoning district and all other applicable regulations remain in effect and are further regulated by the Special Area Plan. Where the Special Area Plan addresses a requirement, the underlying zoning shall not apply. The underlying zoning and provisions of the Land Development Code shall apply when the Special Area Plan does not address a requirement. The University Heights Special Area Plan shall supercede any floor area ratio requirements in the Land Development Code.

III. Definitions

Appurtenances means architectural features not used for human occupancy consisting of: spires, belfries, cupolas or dormers; silos; parapet walls, and cornices without windows; chimneys, ventilators, skylights, antennas and screened mechanical equipment.

Arcade Building means a building with a ground level passageway through a part of the building. The passage is covered and lined with shops or booths. The passage may be more than one story in height with projecting balconies and walkways.

Awning means an architectural projection roofed with flexible material supported entirely from the exterior wall of a building.

Balcony means a porch connected to a building on upper stories supported by either a cantilever or brackets.

Breezeway means a freestanding colonnade connecting 2 or more buildings.

Catwalk means a balcony like walkway which is cantilevered or supported by columns along the side of a building. A catwalk provides access to interior spaces inside the building.

Colonnade or Arcade means a covered, open-air walkway at standard sidewalk level attached to or integral with the building frontage; the structure overhead is supported architecturally by columns or arches along the sidewalk.

Dwelling Area means the total internal useable space on all stories of a structure, not including porches, balconies, terraces, stoops, patios, or garages.

Expression Line means a molding or cornice extending or offset a minimum of 3 inches, from the surface plane of the building wall. Expression Lines delineate the transition between the story levels.

Frontage Street means the street in front of a property to which the front facade and main entrance is oriented.

Front Property Line means the line that delineates private ownership facing the street.

Garden Wall means a freestanding wall along the property line dividing private areas from streets, alleys, and or adjacent lots.

Liner Building means a building built in front of a parking garage, cinema, supermarket, etc., to conceal large expanses of blank wall area and to face the street space with a facade that has doors and windows opening onto the sidewalk (see Item IV.(G.)(3)).

Lot Frontage means the property line adjacent to the frontage street.

Marquee means a permanently roofed architectural projection, the sides of which are vertical and are intended for the display of signs, which provides protection against the weather for the pedestrian, and which is supported entirely from an exterior wall of a building.

Outbuilding means a building or structure subordinate to the principal building, used for purposes customarily incidental to the main or principal building, and located on the same lot or set of attached lots there. Outbuildings can be used as residential dwellings.

Parapet means a low wall or barrier built above the cornice of a building, whether built with a sloped or flat roof. A parapet is typically of solid construction and may be broken with crenulations. When corbelled out from the surface of the wall it crowns, parapets may take the place of a cornice.

Primary Street or Space means the street that a lot fronts. At squares and street intersections the larger, more important is the primary street.

Principal Plane means vertical plane which corresponds to the largest front facade of the building.

Private Outdoor Space means the square footage of a lot that is not occupied by buildings, swimming pools, or parking lots. Impervious areas such as decks, patios, terraces, walkways and pavement surrounding a pool shall be considered as private outdoor space.

Property Line means the line which delineates private ownership.

Rowhouse is one of a group of 3 or more attached dwelling units divided from each other by a common wall and each having a separated front entrance from the outside of the at ground level.

Stoop means a small platform, entrance stairway at a house door, or both, covered by a secondary roof or awning. The stoop projects from the primary building plane. Catwalks or breezeways are not considered stoops.

Storefront means building frontage for the first story usually associated with retail uses.

Story means that portion of a building included between the upper surface of a floor and upper surface of the floor or roof next above.

Structured Parking means layers of parking stacked vertically.

IV. General Provisions

- A. *Facade Requirements.* Building facades shall have windows, sills, lintels, expression lines and a cornice. The front facade of the building is also required to have its primary entrance face the street. Main Street Shopfront buildings do not require sills or lintels on first story Shopfront windows that display merchandise. On attached building types such as Shopfront buildings or Rowhouses, the sides located on interior property lines do not require windows, expression lines, or cornices.

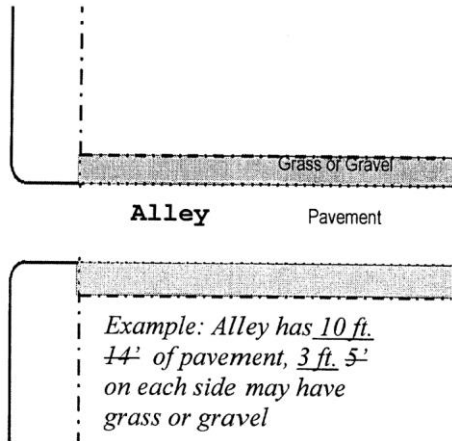
Expression lines are required on stucco and brick buildings.

Front entrances shall be required on all buildings, and, for nonresidential buildings, a minimum of 50% glazing at the first story level shall be required on all street facades (for each story facing streets above the first story, 15% to 70% of its facade shall consist of glazing). For multi-family residential, a minimum of 30% glazing at the first story level shall be required on all street facades.

On detached building types, windows are required on the interior sides on all stories of all structures set back greater than 3 ft from the side property line. A minimum of 10% glazing is required on all stories.

Detailed facade requirements are specified in the Building Types section.

- B. *Outbuildings:* Outbuildings are permitted as parking garages, apartments, storage space, and trash receptacles. Outbuildings shall be located at the rear of the lot (or at minimum sit behind the front plane of the principal structure).
- C. *Alleys:* Existing alleys and alley rights-of-way are prohibited from being removed or vacated, except when the City Commission determines that the alley no longer serves a public purpose.



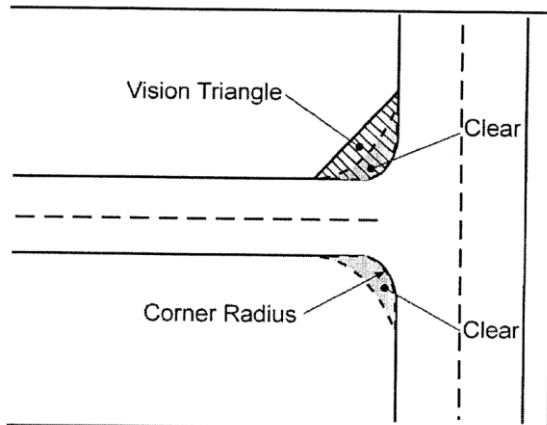
Alley - Grass or Gravel

New alleys can be incorporated into the redeveloped areas of the neighborhood to minimize curb cuts and to provide access to parking and service areas behind buildings. New alleys may be a minimum of 10 ft and a maximum of a 16 ft of right-of-way.

Landscaping, trash receptacles, and other objects must remain outside the alley right of way.

Alleys may be incorporated into parking lots as drive aisles.

- D. *Corner Radii & Clear Zones:* Corner curb radii should be between 9 ft for residential streets, including alleys, and 15 ft for commercial streets such as University Avenue. Fairly tight turning radii such as these shorten pedestrian crossings and inhibit reckless drivers from turning corners at high speeds. Corner radii and clear zones shall be created within the vision triangle established using AASHTO standards.



Corner Radii and Clear Zone

A Clear Zone at corners can allow emergency vehicles such as fire trucks to turn corners. A Clear Zone is an area free of all vertical obstructions including, but not limited to, telephone poles, sign poles, fire hydrants, electrical boxes, or newspaper boxes. A clear zone with a radius of 20 ft is sufficient for emergency vehicles.

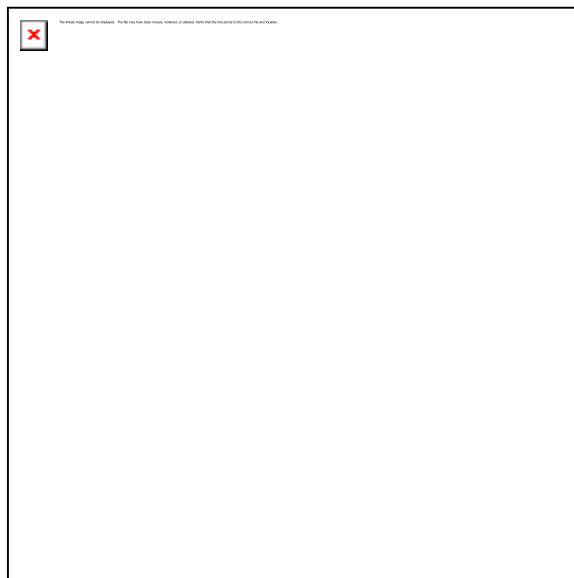
- E. **Exceptions from Build-to Lines:** Exceptions from the build-to lines standard may be granted by the City Manager, designee, or appropriate reviewing board, for:

1. avoiding trees with calipers greater than 8 inches; or
2. creating space sufficient for sidewalks.

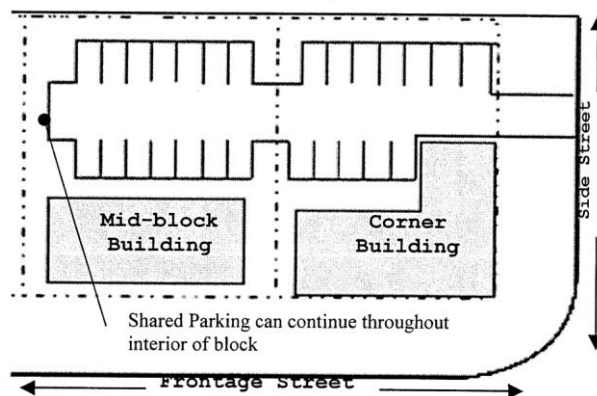
- F. **Parking:**

1. **Parking Requirements** Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act and Florida Accessibility Code.

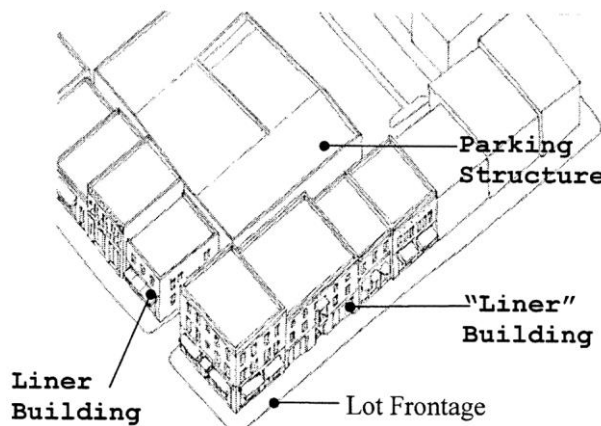
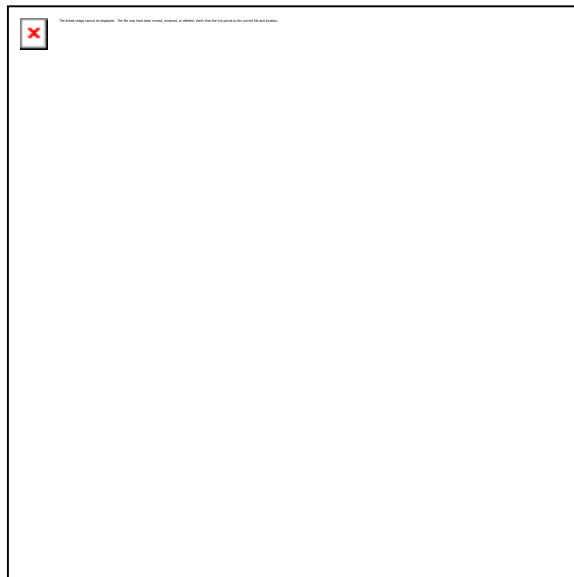
Other than ADA and FAC, there shall be no minimum auto parking requirement, except bicycle parking, which shall be provided as specified by Sec. 30-332. There shall be a maximum auto parking allowance of 1 parking space per 400 sq ft of gross floor area.



Blocks Without Alleys



2. *Off-Street Surface Parking Lots* Off-street surface parking lots as a principal use are prohibited.
3. *Structured Parking Lot Placement* Parking structures (or parking portions of mixed-use structures) shall be set back a minimum of 30 ft from the property lines of all adjacent streets. "Liner buildings" shall be placed between parking structures and the lot frontage. The liner building shall have a height greater than or equal to the parking structure or parking portions of mixed-use structures. Liner buildings shall be no less than 2 stories or 34 ft in height. Liner buildings may be detached form or incorporated into parking structures. A point of entry is allowed on side streets. When the size of the parcel would prohibit the development of a liner building between the parking structure and the lot frontage of all adjacent streets, the liner building must be placed along the more primary street frontage and along other frontages only where feasible. The more primary street shall be decided by the planning and development services department staff and approved by the appropriate reviewing board. Building facade and landscaping enhancements will be required on all other frontages to ensure that there will be no blank walls along street frontages. In instances where full-height liner buildings or liner portions of mixed-use buildings are infeasible, the liner may be limited to first-story retail, office or residential use (as appropriate under applicable zoning).



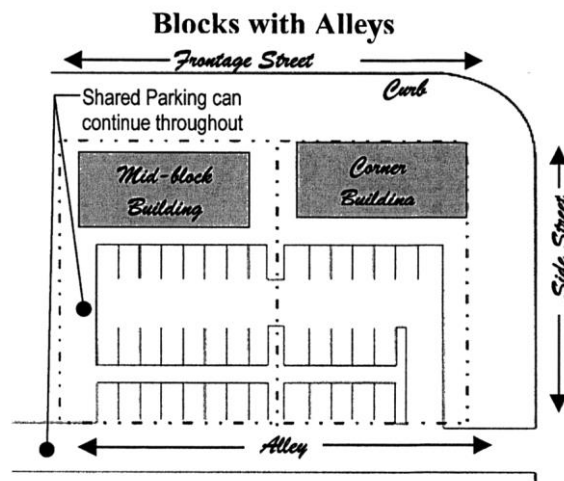
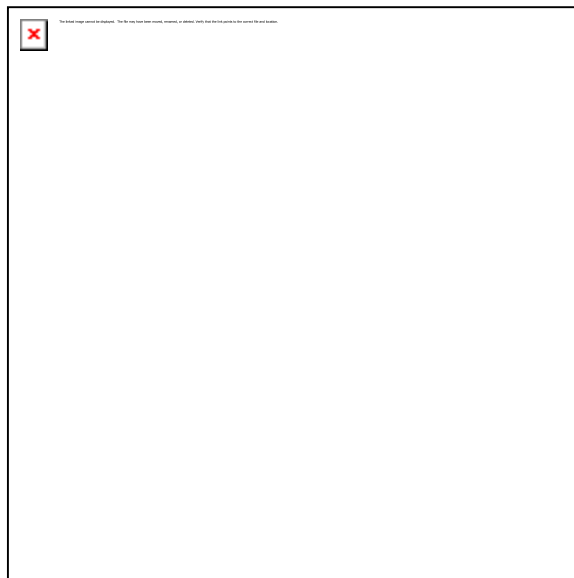
4. *Access to Off-Street Parking* All motor vehicle surface parking shall be located in the rear or interior side of the building, or both, with rear encouraged. No surface parking area shall

extend for a width of more than 70 ft along any street frontage without a building, outdoor cafe, or a vertically prominent and articulated pedestrian-oriented feature interrupting the parking streetscape. Surface parking shall not occupy lots which terminate a street vista.

Alleys, when present, shall be the primary source of access to off-street parking, although the city manager or designee may make an exception for access to structured parking, which may be better served by a side street.

Alleys may be incorporated into parking lots as a standard drive aisle. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is also encouraged.

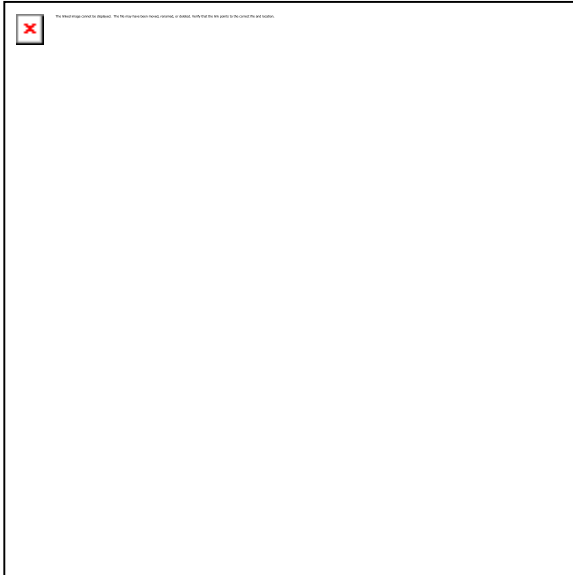
In blocks without alleys, mid-block buildings may develop before corner buildings. Access to the side street may not be possible because of the corner building being set back. A driveway from the frontage street may be granted by the City Manager, designee, or appropriate reviewing board. Once corner sites redevelop and allow access to side streets, the City may require the driveway on the frontage street to be removed. Corner lots that have both rear and side access shall access parking through the rear (see diagram). Garages shall always be accessed from the alley and located in the rear of the lot, when possible.



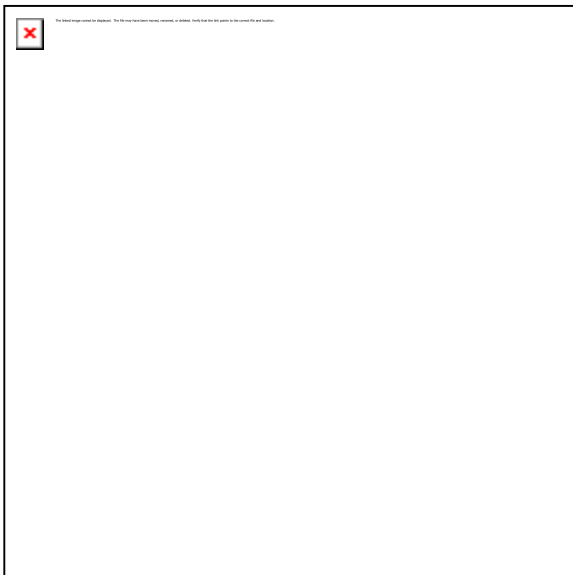
5. *Garages where Alleys are Not Present* If no alleys exist, then garage door(s) shall be positioned no closer to streets, square or parks than 20 ft behind the principal plane of the building frontage. Garages facing streets, squares or parks are limited to one car width. However, 2-car garages are allowed, where alleys are not present, so long as the garage is located in the rear of the lot. Doors shall not exceed 10 ft in width.
- G. *Storm Water Management:* The requirements of the City's Land Development Code shall apply. In lieu of on-site stormwater management facilities, master facilities may be developed within the watershed to either take the stormwater runoff directly or through mitigation of runoff generated from other properties within the watershed, when approved by the City Manager or designee.
- H. *Large Footprint Buildings:* Commercial buildings with a free-standing, first-story footprint greater than 20,000 sq ft may be built within the University Heights Neighborhood, by Special Use Permit. These buildings must abide by all rules in this Code with the following special limitations:
- Buildings may be one story or more in height, but shall be at least 24 ft in height. This may be accomplished with liner buildings or higher ceiling heights or parapets, or a combination of features.
 - Buildings that are 2 stories in height, must be a minimum of 27 ft to a maximum of 36 ft.
 - Buildings are exempt from maximum lot size restrictions.
 - Requirements for opacity and facades shall be met.
- I. *Civic Sites:* Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities, and places of assembly. Civic buildings are not subject to build-to line requirements or building frontage requirements. The design of Civic buildings shall be subject to review and approval by the City Manager, designee, or appropriate reviewing board.
- J. *First Story Height for Residential:* Residential uses on the first story shall have a finished floor height raised a minimum of 1.5 ft above grade. The appropriate reviewing board may reduce the finished floor height as long as the proposed elevation is consistent and compatible with existing structures in the area.
- K. *Sidewalks Required:* Developing or redeveloping properties shall construct or improve sidewalks as required by the City Manager or designee. Developing or redeveloping properties are required to repair sidewalks damaged during construction, following standards in subsection (Q) below.
- L. *Reserved.*
- M. *Building Additions:* Building additions—attached or detached—shall be in keeping with the Special Area Plan. The primary structure on the site shall be classified into one of the building type categories by the City Manager or designee. The building addition shall then follow the requirements as described for the appropriate building type.

Additions shall be in keeping with the architectural style of the existing structure or standards set by the City Manager or designee.

- Exterior walls should be of the same or compatible materials and finish as the existing structure.
- Windows should have a similar proportion and style of mullions as the windows of the existing structure.
- New roof additions should be a similar material to the existing roof.



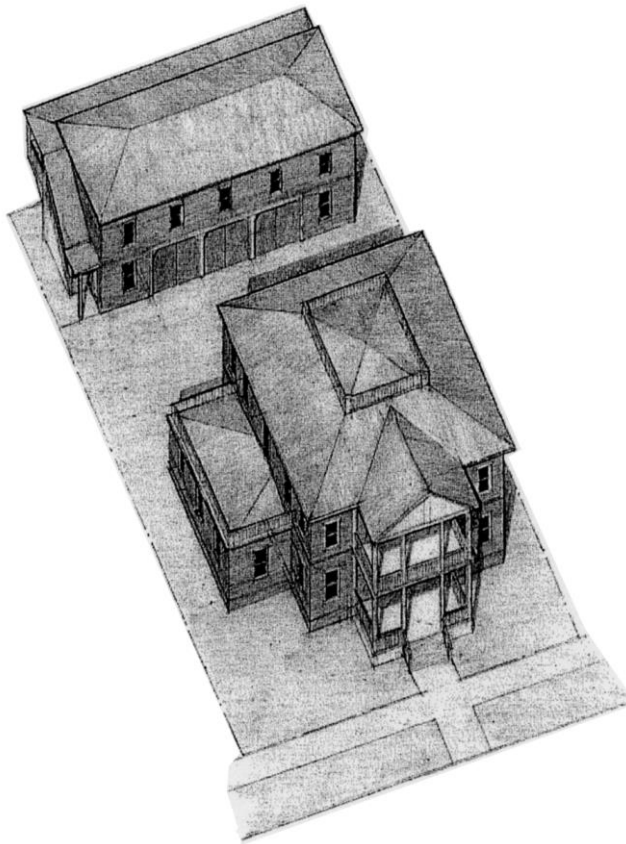
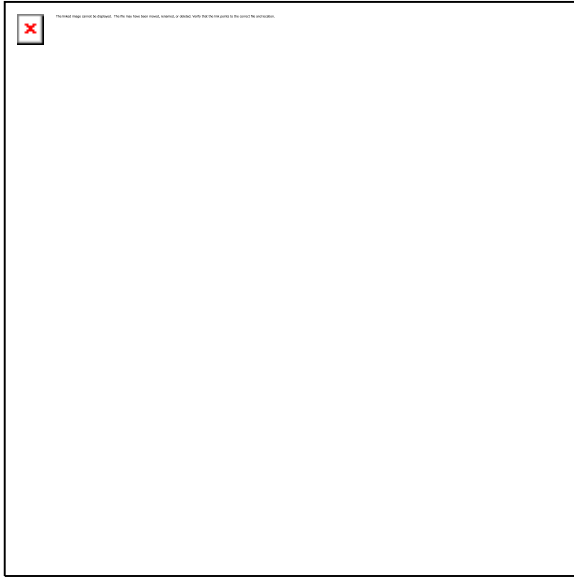
Existing Conditions



Computer simulation of a house with new addition

N. *Adaptive Reuse:* The University Heights neighborhood has many long-term residents as well as student rentals. Outbuildings as well as building additions can be used to accommodate the student population without compromising the neighborhood character.

On this page is an example of a large house with an outbuilding. It is shown on a typical size lot. These 2 buildings would fit neatly into the urban fabric. This form of adaptive reuse is not new to the neighborhood. Several existing homes with outbuildings presently provide housing for students in this way.



Adaptive Re-Use

O. *Trash Dumpsters:*

Intent. Trash dumpsters shall be provided without compromising the quality of the street. Trash dumpsters shall not be visible or malodorous to pedestrians.

Standard. If stored outside of the building, and if the building is not residential only, all solid waste, recycling, yard trash containers (except litter containers), and grease containers, shall be placed at the side or the rear of the building and attached to that building with an enclosing wall, so that they are not visible from the street. The enclosing wall shall not exceed 7 ft in height, and shall be finished or painted with the same material as is used on the building. The enclosing wall shall be fitted with an opaque sliding or hinged door and working latch. Loading docks shall be placed at the side or rear of the building, and shall be screened from the street. If the building is residential only, these containers, in addition to the above, shall be located in parking areas or in a location remote from the streetside sidewalk. When in a parking area, solid waste, recycling, and yard trash containers (except litter containers), and grease containers shall be located in that part of the parking area furthest from the streetside sidewalk, or at least 20 ft from a streetside sidewalk. These containers shall be screened with an enclosing wall to minimize sound to and visibility from abutting streets or residences.

"Trash Shacks," a sealed and cooled self-compacting container, may be used.

P. *Prohibited Uses:*

Intent. Certain uses decrease streetfront vitality, and are so exclusively oriented toward or designed to attract motor vehicles, that they contribute to visual blight, and lack of human scale for a traditional area. As a result, these uses are not compatible with the University Heights Neighborhood.

Standard. The following uses are prohibited:

- Auto Dealers, Auto Service and Limited Auto Services (IN-5511, MG-753)
- Carwashes (IN-7542)
- Gas Service Stations (IN-5541)
- Gasoline pumps when accessory to a Food Store (MG-54)
- Off-street surface parking lots as a principal use.
- Drive-throughs (new or expanded).

Q. *Sidewalks:*

Intent. Sidewalks, when properly designed and maintained, provide the pedestrian with a pleasant, safe, and convenient place to walk. Sidewalks which are too narrow are inconvenient, especially in areas with large volumes of pedestrians, for pedestrians walking side-by-side (which requires a minimum sidewalk width of 5 ft unobstructed), and for people using wheelchairs. In addition, sidewalks that are too curvilinear or that wrap around large block faces are an impediment to pedestrian convenience.

Standard. All buildings or developments must provide sidewalks along the street edge(s) of their property. Sidewalks shall be placed to align with existing sidewalks. Sidewalk connections from the principal building to the public sidewalk, with at least 5 ft of clear width, must be provided, and be aligned to minimize walking distance. Curvilinear sidewalks are not allowed unless they are necessary to avoid significant trees, stormwater basins, or topography, as determined by the appropriate reviewing board, city manager or designee.

The maximum length of a block face shall be 480 ft, unless shortened with cross-access sidewalks, arcades or alleys, so that the face is no more than 480 ft.

Minimum sidewalk widths:

<i>Street Classification</i>	<i>Multi-family Residential/ Industrial (feet)</i>	<i>Commercial/ Institutional/ Office/ Mixed-Use (feet)</i>
Local	6	7
Collector	7	8
Arterial	7	10

The minimum unobstructed width shall be 2 ft less than the required sidewalk width, as long as at least 5 ft of unobstructed width is retained. At transit stops, the minimum width is 8 ft of unobstructed width. Minimum width for a tree strip shall be 4 ft, or such other width as may be adequate for tree placement, unless the tree strip requirement is waived by the appropriate reviewing board, city manager or designee.

R. Permitted by special use permit.

- Rehabilitation centers.

V. *Building Types*: New buildings under this Special Area Plan are regulated by building type. They are mandatory for the University Heights Neighborhood as delineated in the map at the end of subsection V.

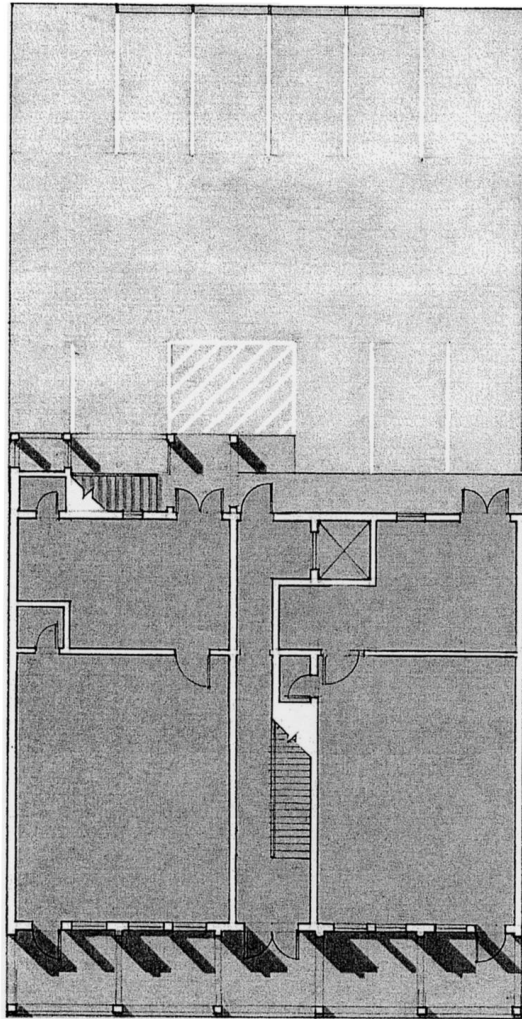
On the following pages, diagrammatic examples are used to illustrate intended, advisory building locations, configurations and dimensions. The accompanying numbers and text are rules. Architectural style is not regulated; the graphics are illustrative only.

Building types can be built within the appropriate Land Use Category.

The following building types are described in this code:

- Main Street Shopfront Building
- Office Building
- Rowhouse
- Garden Apartment
- Large House or Apartment Building
- House
- Outbuilding
- Civic Building

[illegible]



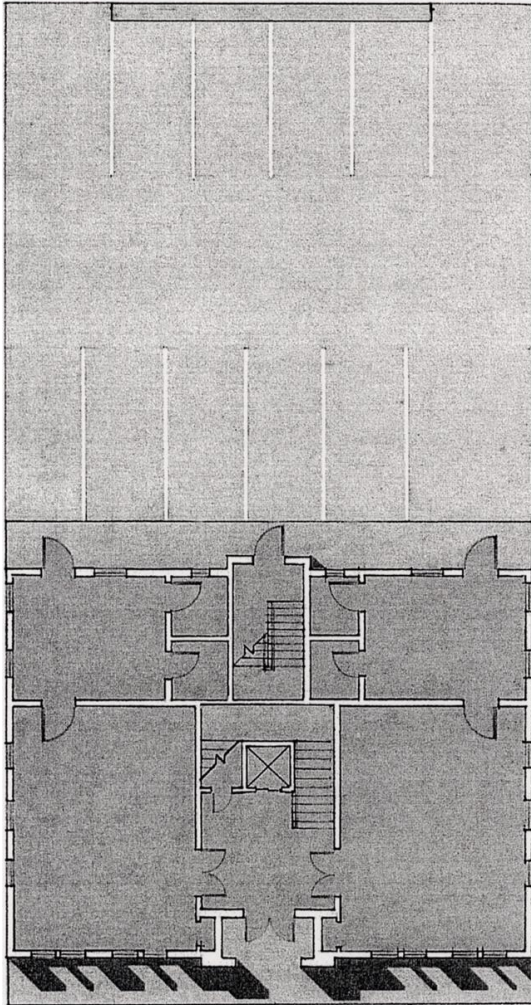
Main Street Shopfront Building

A shopfront building is a basic unit of a traditional mixed-use street. It is sited at the front property line and features a ground floor that is roughly level with the sidewalk. The ground floor facade of the street has a large amount of transparent window and door openings.

Building Placement:	
Building Width	200 ft maximum
Building Frontage	70% minimum to 100% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i>
	0—15 ft. from the front property line (see note 6 below)
	0—15 ft. from the side street property line (see note 6 below)
	<i>Interior Lots:</i>
	0—15 ft. from the front property line (see note 6 below)
Side Setback	None when next to other shopfront buildings, office buildings, rowhouses, nonresidential vacant lots and outbuildings; 8 ft. when next to all other types or next to a residential vacant lot
Building Coverage	80% maximum
Height:	
Maximum Height	58 ft. above grade
Minimum Height	2 stories at least 27 ft. above grade. Dormers are not considered stories.
First Story Elevation	10 feet floor to ceiling minimum.

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: porch, arcade, colonnade, 2nd story balcony, marquee or awning, extending at least 80% of the building facade.
3. A cornice line is required at the top of the front and side facades facing streets. The cornice shall be at least 18 inches in height.
4. A parapet with cornice is required on flat or shed roofs, at the top of the front and side facades facing streets. Parapets shall be a minimum of 2 ft in height.
5. An expression line is required between the first and second stories on the front facade and along the sides visible from the street except for buildings of wood or cementitious siding.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.
7. Courtyard buildings are permitted.



Office Building

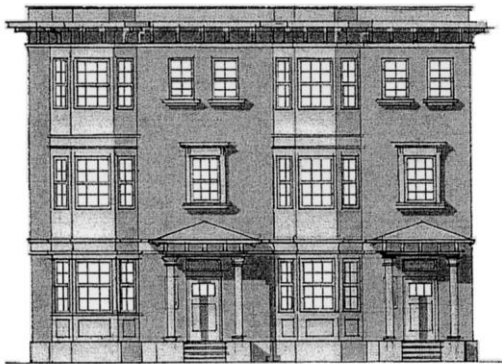
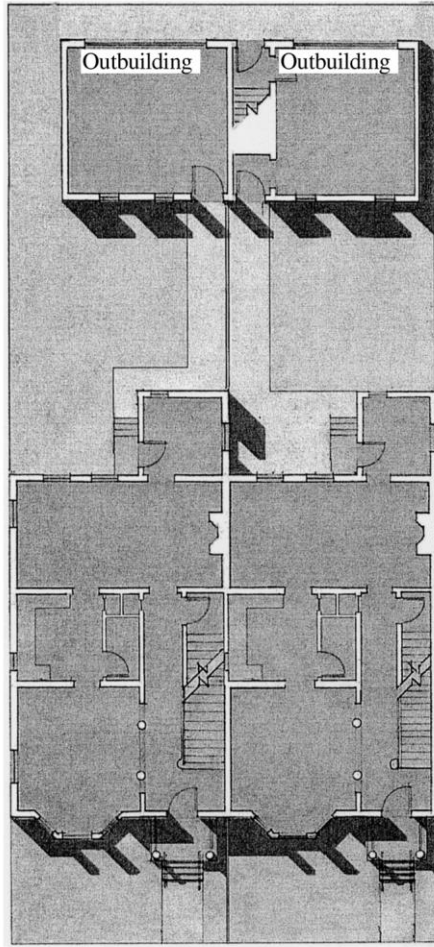
An office building is appropriate to line wider thoroughfares. It is placed towards the front of its lot and features a first story roughly level with the sidewalk.

Building Placement:	
Building Width	80 ft. maximum
Building Frontage	70% minimum to 100% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i>
	0—15 ft. from the front property line (see note 6 below)
	0—15 ft. from the side street property line (see note 6 below)
	<i>Interior Lots:</i>
	0—15 ft. from the property line (see note 6 below)
Side Setback	None when next to other office buildings, shopfront buildings, rowhouses, nonresidential vacant lot and outbuildings;
	8 ft. when next to all other types or next to a residential vacant lot
Building Coverage	80% maximum
Height:	
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First Story Elevation	10 feet floor to ceiling minimum.

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: porch, arcade, colonnade, 2nd story balcony, marquee or awning, extending at least 80% of the building facade.

3. A cornice line is required at the top of the front and side facades facing streets. The cornice shall be at least 18 inches in height.
4. A parapet with cornice is required on flat or shed roofs, at the top of the front and side facades facing streets. Parapets shall be a minimum of 3 ft in height.
5. An expression line is required between the first and second stories on the front facade and along the sides visible from the street.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.
7. Courtyard buildings are permitted.



Rowhouse

A rowhouse is placed towards the front of the lot and shares one or more common walls with its neighboring units. Entry is usually through a covered stoop. A rowhouse can be a residence for one or 2 families, or apartments, or a combination.

Building Placement:	
Building Width	40 ft. maximum per individual unit
Building Frontage	60% minimum to 100% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i>
	0—15 ft. from the front property line (see note 6 below)
	0—15 ft. from the side street property line (see note 6 below)
	<i>Interior Lots:</i>
	5—20 ft. from the property line
Side Setback	None when adjacent to another rowhouse, shopfront building, office building, outbuilding; and nonresidential vacant lot.
	8 ft. when next to all other building types or next to residential vacant lots.
Rear Setback	Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.
Building Coverage	70% maximum
Minimum Lot Size	An individual row house may be placed on a lot at least 15 ft. wide and 75 ft. deep.
Height:	
Maximum Height	48 ft. above grade
Minimum	2 stories at least 24 ft. above grade. Dormers are not considered stories.

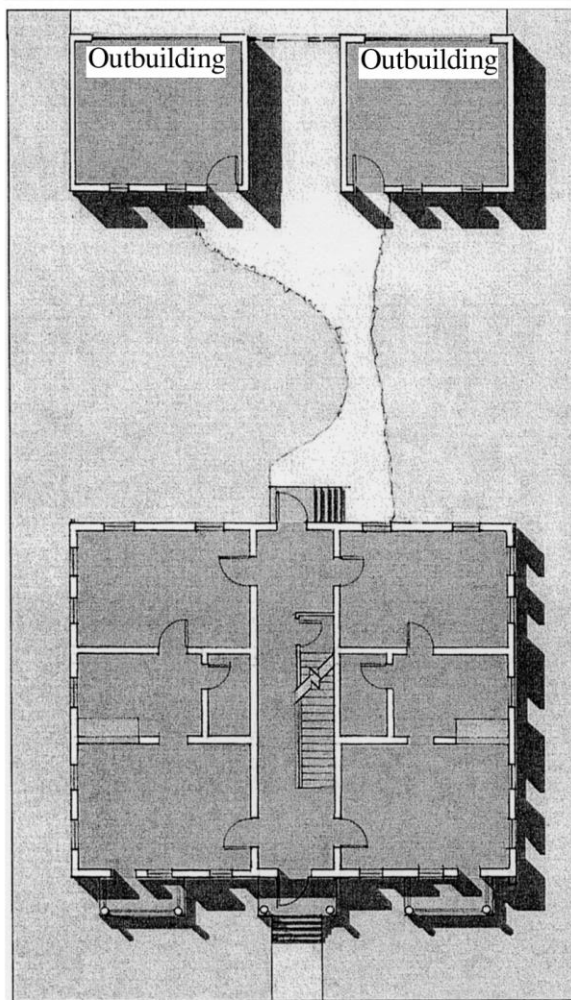
Height	
First Story Elevation	1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have either a stoop or front porch.
3. Flat roofs with a parapet or gabled roofs are permitted.
4. Expression lines are required between the first and second stories along the front facade and the sides if visible from the street, on brick or stucco buildings.
5. Cornice lines are required for rowhouses.
6. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.

Advisory Guideline:

1. Each rowhouse unit shall have a separate entrance to the street.



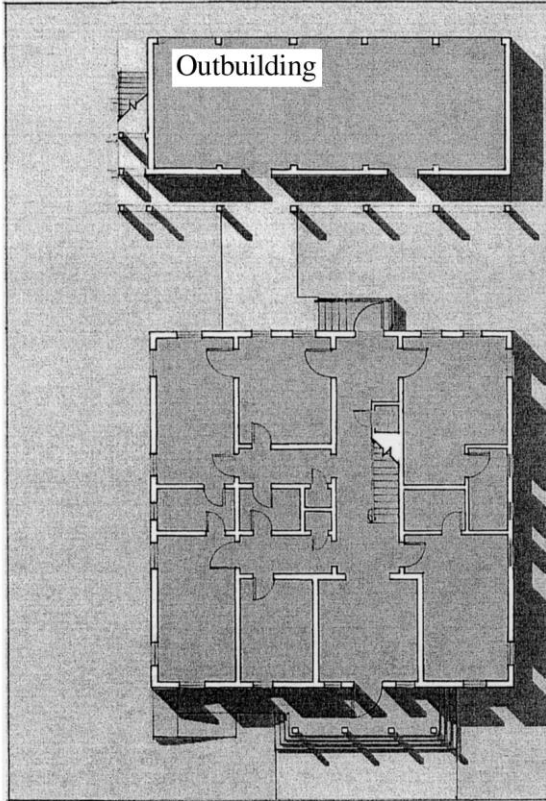
Garden Apartment Building

A garden apartment building shares a central stair core for 2 bays. The building is placed towards the front of the lot and does not share common walls with its neighboring units. Entry is typically through a covered stoop. A backyard or "garden" is shared behind the building.

Building Placement:	
Building Frontage	65% minimum to 85% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i>
	5—15 ft. from the property line (see note 5 below)
	0—15 ft. from the side street property line (see note 5 below)
	<i>Interior Lots:</i>
	10—20 ft. from the property line
Side Setback	8 ft. from the side property line
Rear Setback	Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.
Building Coverage	60% maximum
Height:	
Maximum Height	48 ft. above grade
Minimum Height	2 stories at least 27 ft. above grade. Dormers are not considered stories.
First Story Elevation	1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have either a stoop or front porch.
3. An expression line is encouraged between the first and second story.
4. A cornice line is required on Garden Apartment Buildings.
5. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



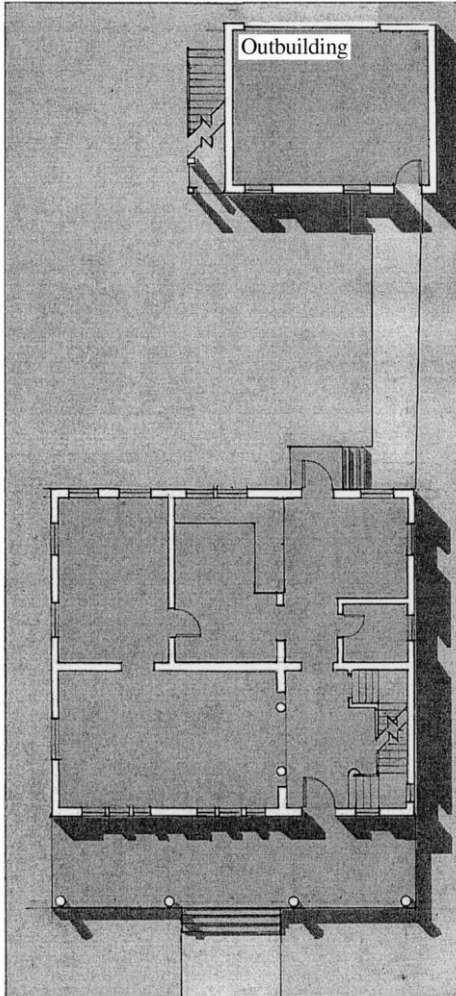
Apartment Building

An Apartment Building is detached and has separate apartment units.

Building Placement:	
Building Frontage	40% minimum to 70% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i>
	10—20 ft. from the front property line
	10—20 ft. from the side property line
	<i>Interior Lots:</i>
	15—25 ft. from the front property line
Side Setback	8 ft. from side property line
Rear Setback	Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.
Building Coverage	50% maximum
Height:	
Maximum Height	48 ft. above grade
Minimum Height	2 stories at least 27 ft. above grade. Dormers are not considered stories.
First Story Elevation	1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Buildings are required to have either a front or side porch (may be waived or replaced by a stoop with approval by the City Manager, designee or appropriate reviewing board).
3. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



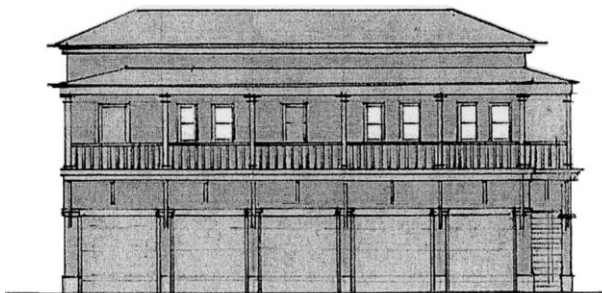
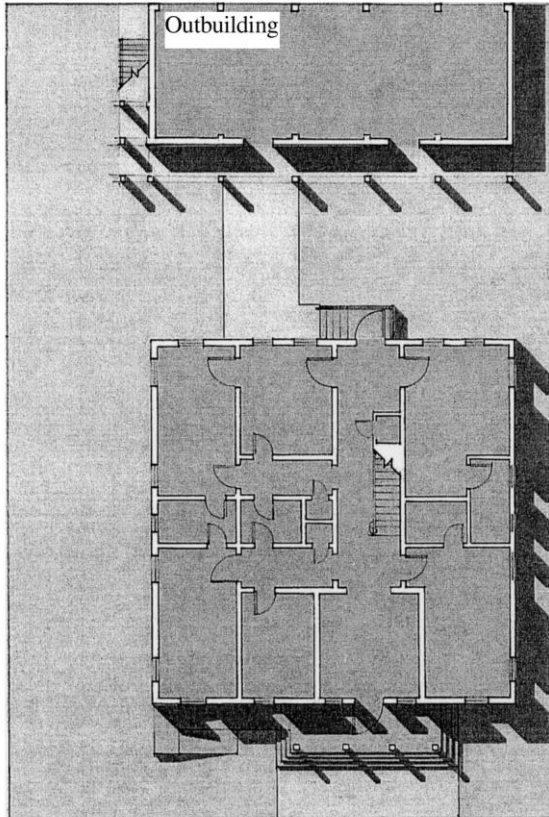
House

A House is suited for smaller lots. A house is detached and has yard on all 4 sides.

Building Placement:	
Building Frontage	40% minimum to 70% maximum lot frontage
Build-to line locations	<i>Corner Lots:</i>
	10—20 ft. from the property line
	10—20 ft. from the side street property line
	<i>Interior Lots:</i>
	15—25 ft. from the property line
Side Setback	5 ft. from the side property line
Rear Setback	Twenty-foot minimum from the rear property line, except that the setback may be reduced to five feet if approved by the appropriate reviewing board to accommodate special site features.
Building Coverage	40% maximum
Height:	
Maximum Height	48 ft. above grade
Minimum Height	12 ft. above grade
First Story Elevation	1.5 ft. above grade, minimum (4 ft. recommended). When building is below grade of street, building design shall elevate windows or use other strategies to maintain privacy.

Note:

1. Appurtenances may extend beyond the height limit.
2. Buildings are required to have either a front or side porch (may be waived or replaced by a stoop with approval by the City Manager, designee or appropriate reviewing board).
3. The City Manager, designee or appropriate reviewing board will set build-to line location to accommodate sidewalks and street trees.



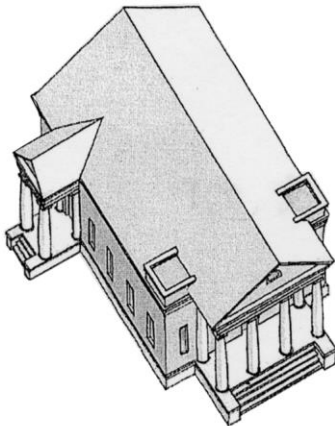
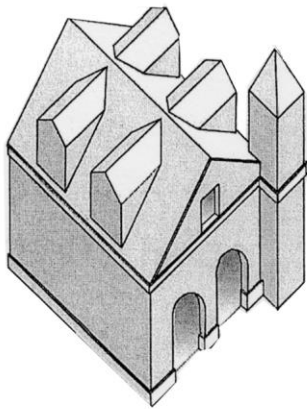
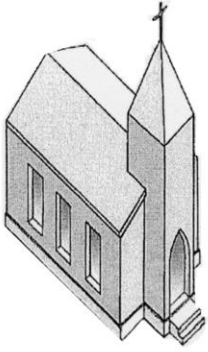
Outbuilding

Outbuildings are located in the rear of the lot. These buildings are behind the principal structure, at the rear of the lot. They may have parking, apartments, storage and trash receptacles.

Building Placement:	
Building Frontage	0% to 85% of rear lot frontage
Build-to line locations	5—20 ft. from the rear property line
Side Setback	3 ft. from side property line. 0 ft for rowhouse adjacent to another rowhouse.
Building Coverage	1,300 sq. ft. maximum and no larger than principal structure
Height:	
Maximum Height	2 stories or 27 ft. above grade. Dormers are not considered stories.
Minimum Height	1 story or 13 ft. above grade

Note:

1. Exterior walls should be of a similar material to the primary structure.
2. Windows should be of similar proportion and style of mullions as the windows of the primary structure.
3. Roofs should be of similar material to the primary structure.
4. For shallow lots, less than or equal to 75 ft deep, outbuildings may occur in the sideyard provided they are not forward of the principal structure. The outbuilding must be behind the build-to line and side setback of the principal structure. Outbuildings that are garages located on shallow lots, shall follow the requirements under the Special Area plan, General Provisions, (G)(5), Garages where Alleys are Not Present.



Civic Building

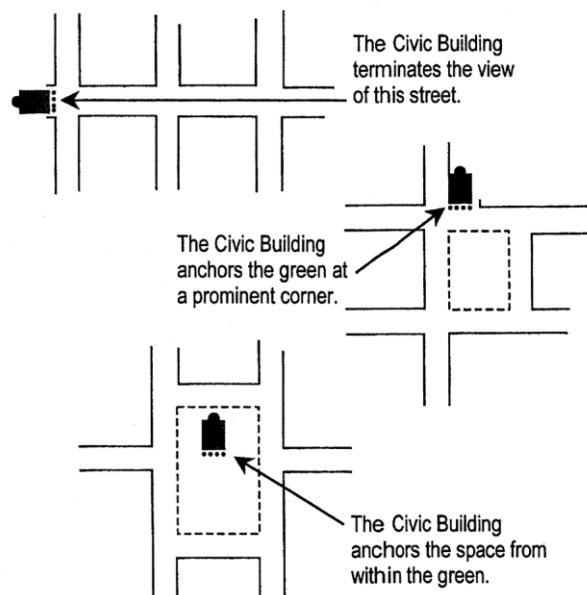
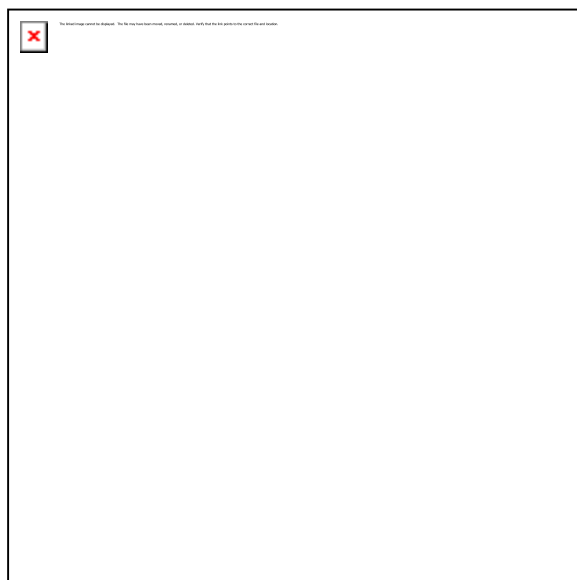
Civic Building

Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities and places of assembly. Accessory residential uses customarily and clearly incidental to the principal use.

Building Placement:	
Building Frontage	negotiated
Build-to line locations	negotiated
Side Setback	negotiated
Building Frontage	negotiated
Building Coverage	75% maximum
Height:	
Maximum Height	negotiable

Note:

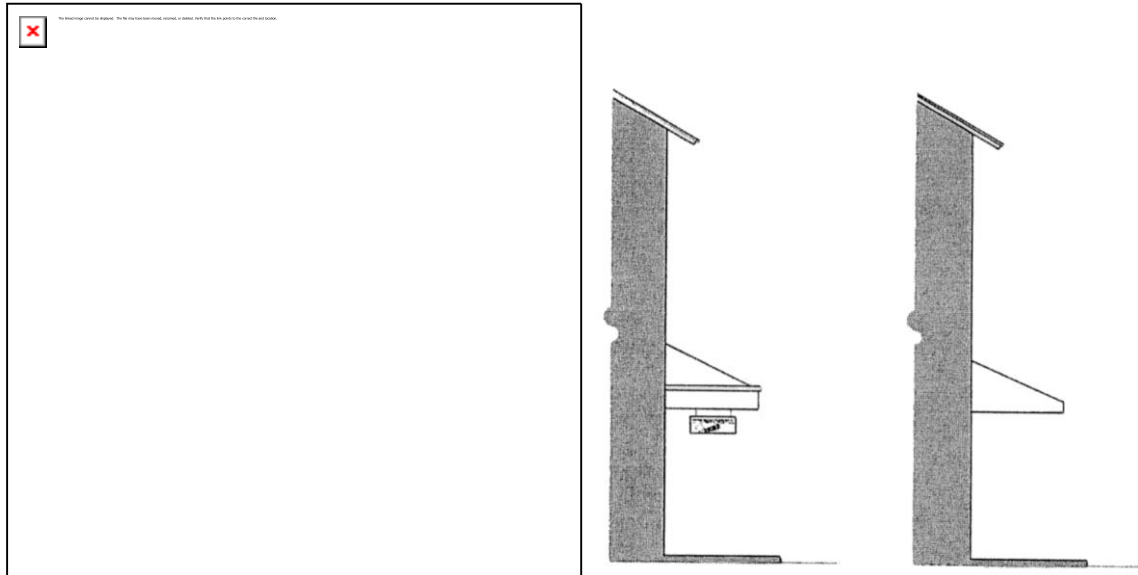
1. Building placement requirements for Civic Buildings shall be established by the City Manager, designee or appropriate reviewing board at the time of application. Civic buildings should be sited when possible in locations of particular geometric importance, such as anchoring a major public space or green, or terminating a street vista.



Civic Building - Placement

VI. *Building Elements:*

A. *Awnings & Marquees:*



Awnings and Marquees

Depth = 5 ft. minimum

Height = 10 ft. minimum clear

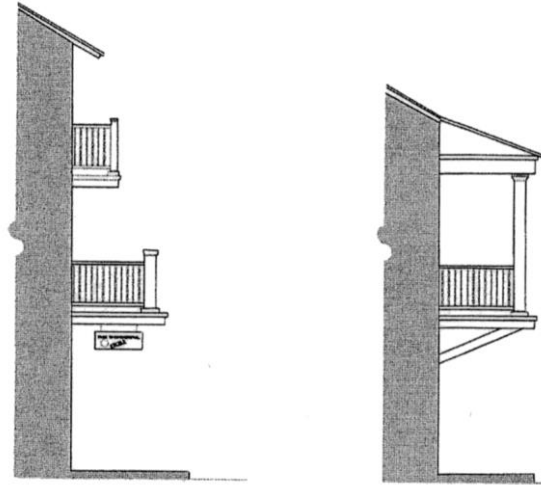
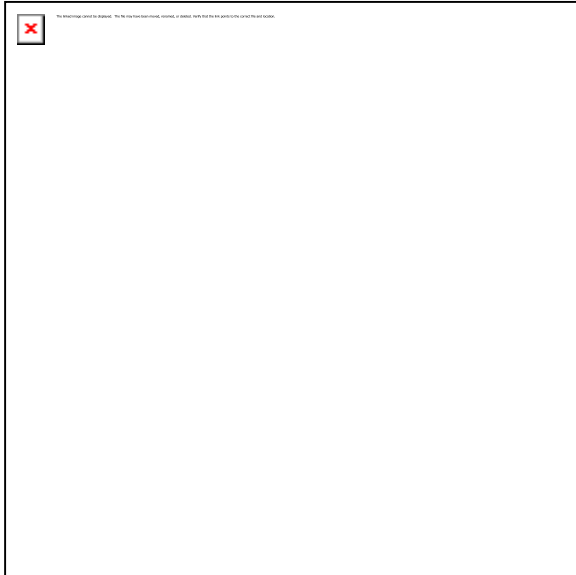
Length = 25% to 100% of building front

The above requirements apply to first story awnings above the first story.

Marquees and awnings may occur forward of the build-to line and may encroach over the right-of-way. Encroachment into right-of-way shall require compliance with Sec. 30-338(3)(c)(8).

Awnings shall be made of fabric. High gloss or plasticized fabrics are prohibited.

B. *Balconies:*



Balconies

Depth = 6 ft. minimum for 2nd story balconies

Height = 10 ft. minimum clear

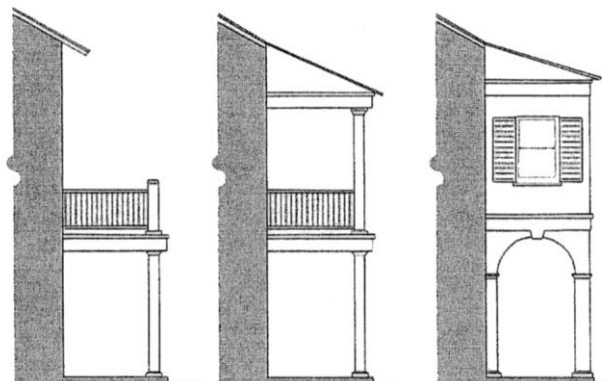
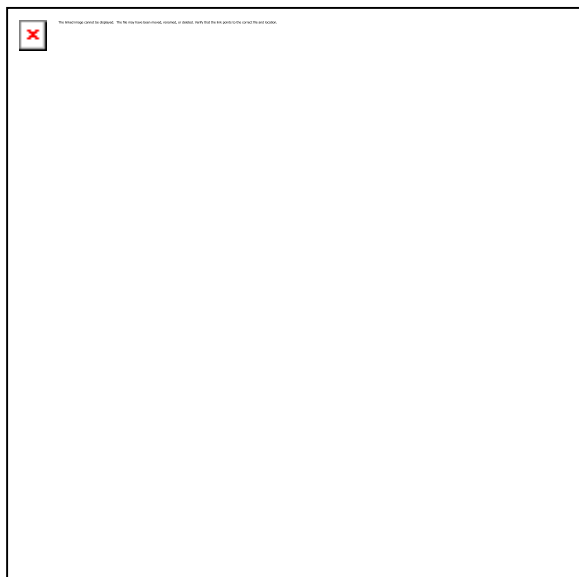
Length = up to 100% of building front

Balconies may occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line. Encroachment into right-of-way shall require compliance with Sec. 30-338(3)(c)(8).

Balconies may have roofs, but are required to be open, un-air conditioned parts of the buildings.

On corners, balconies may wrap around the side of the building facing the side street.

C. *Colonnades/Arcades:*



Colonnades/Arcades

Depth = 10 ft. minimum from the build-to line to the inside face of the column

Height = 10 ft. minimum clear

Length = 75% to 100% of building front

Open, multi-story verandas, awnings, balconies, and enclosed useable space shall be permitted above the colonnade.

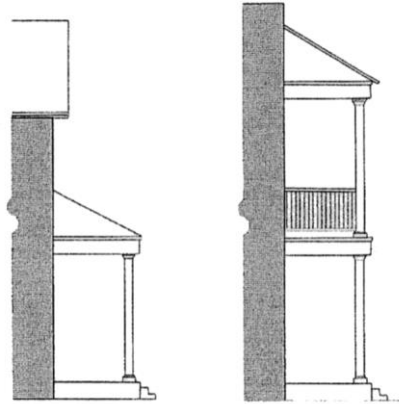
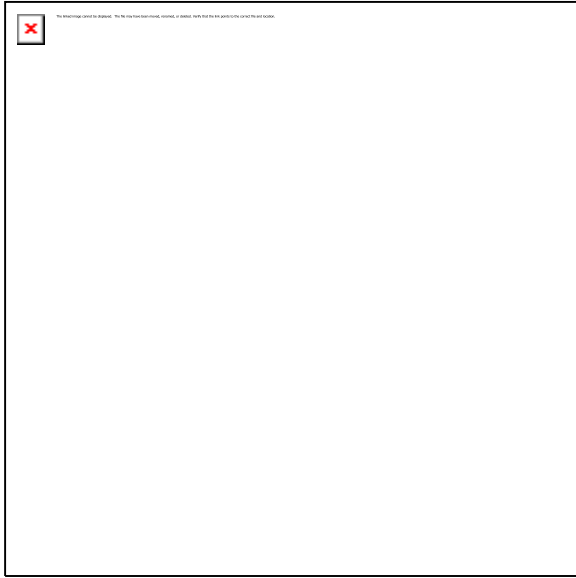
Colonnades shall only be constructed where the minimum depth can be obtained. Colonnades may occur forward of the build-to line and may encroach beyond the right-of-way line, but shall not extend past the curb line, as approved by the public entity responsible for the right-of-way.

On corners, the colonnade may wrap around the side of the building facing the side street.

On sidewalks with on-street parking or bicycle lanes next to the curb, colonnades shall be 18 inches from the face of curb.

On sidewalks with travel lanes next to the curb, colonnades must be at least 4 ft from curb.

D. *Front Porches:*



Front Porches

Depth = 8 ft. minimum

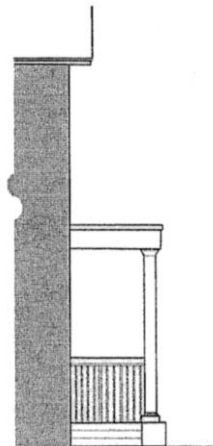
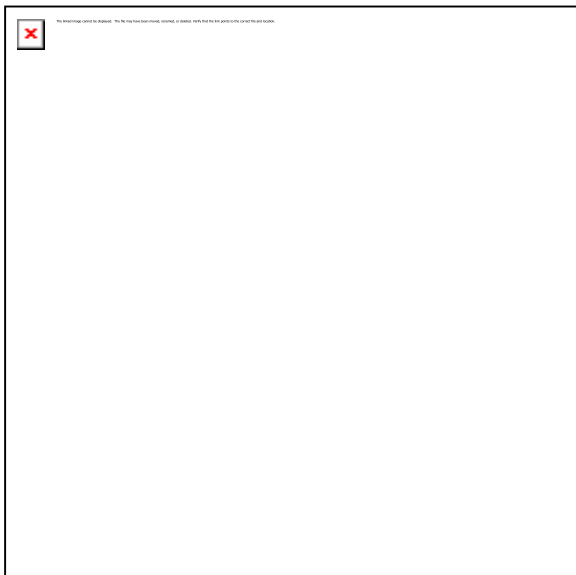
Length = 25% to 100% of building front

Front Porches may have multi-story verandas and/or balconies above.

Front porches may occur forward of the Build-to line. Porches shall not extend into the right-of-way.

Front porches are required to be open, un-air conditioned parts of the buildings. More than 25% of the floor area of a porch shall not be screened if the porch extends forward of the build-to line.

E. *Stoops:*



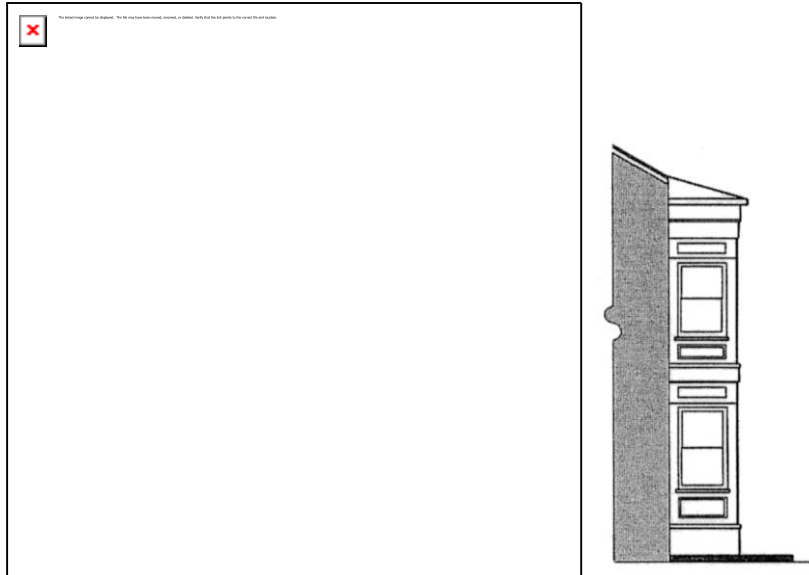
Stoops

Depth = 8 ft. minimum

Length = 5 ft. minimum

Stoops are permitted and may occur forward of the build-to line. Stoops may be covered or uncovered.

F. *Bay Windows:*



Bay Windows

Depth = 3 ft. minimum

Length = 6 ft. minimum

Bay windows are permitted and may occur forward of the build-to line. Bay windows may not encroach beyond the right-of-way line. Bay windows shall have required facade details such as lintels, sills, cornices and expression lines.

Bay windows shall cover a maximum of 40% of any building facade.

VI. *Architectural Guidelines:*

The lists of permitted materials and configurations come from study of traditional buildings found in north Florida and have been selected for their appropriateness to the visual environment and climate.

A primary goal of the Architectural Guidelines is authenticity. The Guidelines encourage construction which is functional, and which draws its ornament and variety from the traditional assembly of genuine materials.

General Requirements:

The following shall be located in rear yards or sideyards not facing the streets:

- Window and wall air conditioners;
- Air conditioning compressors;
- Heating and ventilation;
- Irrigation and pool pumps;
- Electrical utility meters.

The following shall be located in the rear yards only:

- Clotheslines;
- Clothes drying yards;
- Antennas;
- Permanent barbecues.

The following are prohibited:

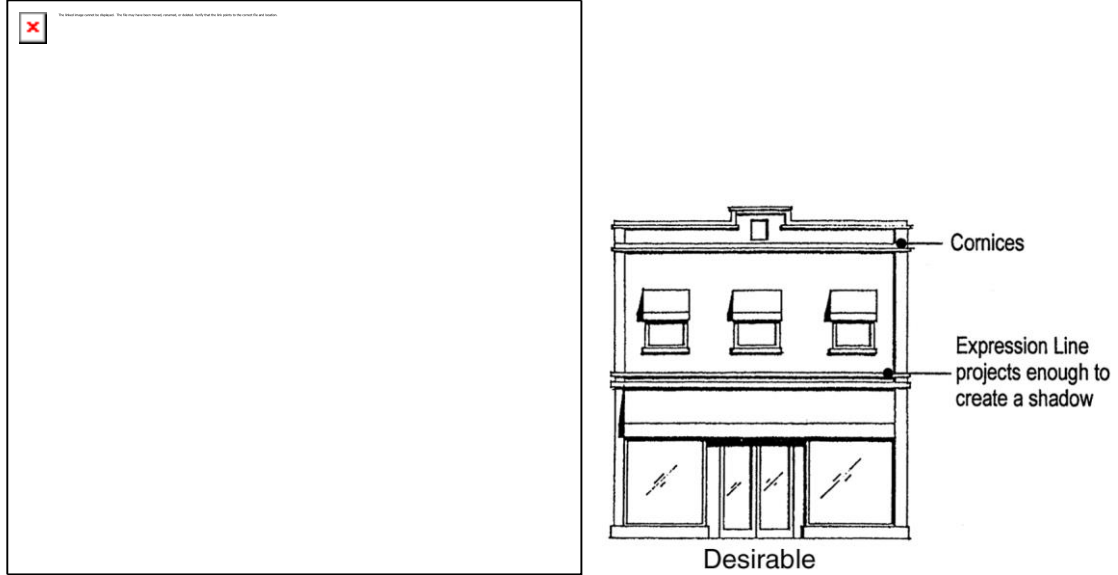
- Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening.);
- Plastic or PVC shutters;
- Reflective and/or bronze-tint glass, highly opaque glass;
- Plastic or PVC roof tiles;
- Backlit awnings;
- Glossy-finish awnings; and
- Front yard fences made of chain link, barbed wire, or plain wire mesh.
- Fences extending in front of the front plane of the building made of chain link, barbed wire, or plain wire mesh.

A. *Building Walls:*

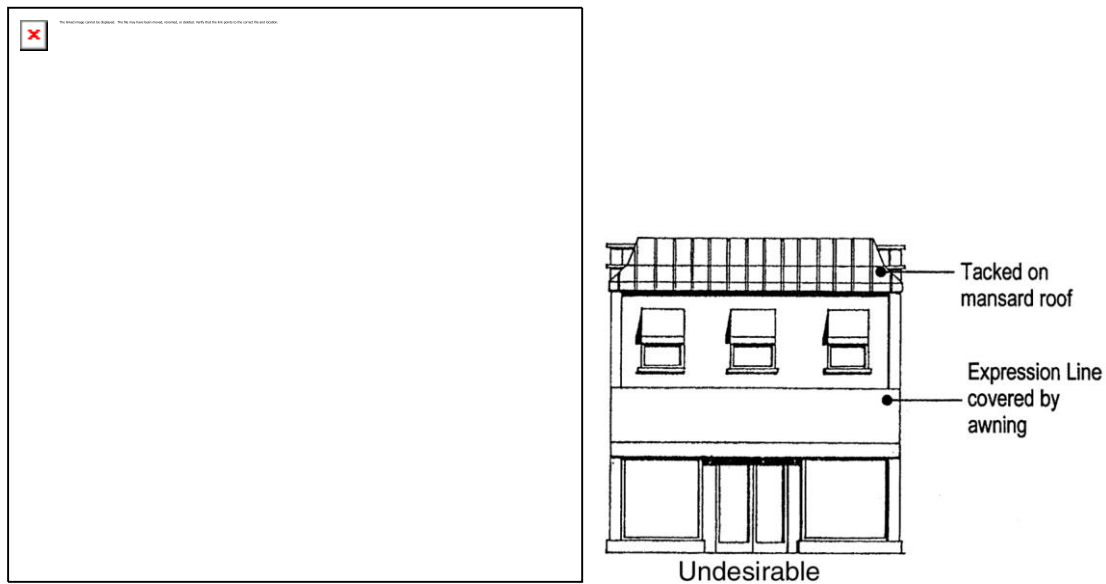
1. *General Requirements.* For Main Street Shopfront and Office buildings, if finished with masonry or stucco:

An expression line shall delineate the division between the first story and the second story. An expression line shall either be a cornice or molding extending a minimum of 2 inches, or a jog in

the surface plane of the building wall greater than 2 inches.



Building Walls - Desirable



Building Walls - Undesirable

2. Permitted Finish Materials.

- Concrete masonry units with stucco (C.B.S.)
- Stucco on frame and synthetic stucco
- Reinforced concrete with stucco
- Fiber-cement exterior siding

- Wood siding, painted or natural (cypress and cedar preferred)
- Brick
- Chert stone

B. *Garden Walls, Fences & Hedges:*

1. *General Requirements.* Fences, garden walls, or hedges are strongly encouraged and shall be constructed along all unbuilt rights-of-way which abut streets and alleys. Fences, garden walls and hedges shall be minimum 25% opaque. Fences made of chain-link (wholly or in part) are prohibited along all rights-of-way.

Maximum height of fences shall be 40 inches for front yards and along side streets and 72 inches in the rear yards. Pillars and posts may extend up to 6 inches more, to a height of 78 inches.

Decorative wrought iron type fences (black iron or metal) may be allowed up to 8 ft when designed with a base not to exceed 3 ft in height, made out of cement, brick, decorative block or stone. The fence design shall be pickets with a minimum of 3" between each picket. Decorative pillar ornaments may extend up to 24" above the main fence line.

2. *Permitted Finish Materials.*

- Wood: left natural, painted or stained
- Concrete masonry units with stucco (C.B.S.)
- Reinforced concrete with stucco
- Wrought iron and simulated wrought iron
- Brick

3. *Permitted Configurations.*

- Wood: Picket Fences: minimum 30% opaque, with corner posts Other wooden fences: to match building walls
- Stucco: with texture and color to match building walls
- Painted or wrought iron: Vertical, 5 / 8 inch minimum

C. *Columns, Arches, Piers, Railings & Balustrades:*

1. *General Requirements.*

- Columns and piers shall be spaced no farther apart than they are tall.

2. *Permitted Finish Materials.*

- Columns:

Wood, painted or natural

Cast iron

Concrete with smooth finish

Aluminum, fiberglass, stone, cementitious

- Arches:

Concrete masonry units with stucco (C.B.S.)

Reinforced concrete with stucco

- Piers:

Concrete masonry units with stucco (C.B.S.)

Reinforced concrete with stucco

Brick

- Railings & balustrades:

Wood, painted or natural

Wrought iron

3. *Permitted Configurations.*

- Columns:

Square, 6 inches minimum, with or without capitals and bases

Round, 6 inches minimum outer diameter, with or without capitals and bases Classical orders

- Arches:

Semi-circular & segmental

- Piers:

8 inches minimum dimension

- Porches:

Railings 2- 3 / 4 inches minimum diameter

Balustrades 4 inches minimum spacing, 6 inches maximum spacing

D. *Opacity & Facades:*

Shopfront areas only: Storefronts shall remain unshuttered at night and shall use transparent glazing material, and shall provide view of interior spaces lit from within. Where building frontages exceed 50 ft, doors or entrances with public access shall be provided at intervals averaging no less than 50 ft.

E. *Roofs & Gutters:*

1. *General Requirements.*

- Permitted Roof Types: gabled, hipped, shed, barrel vaulted, domed & flat. Applied mansard roofs are not permitted.

- Any building systems placed on a roof shall be concealed from view.

- Flat roofs are permitted. Flat roofs shall be concealed by parapets along any street frontage or any side of the building that is visible from the street. Parapets shall be no less than 36 inches high.

- Exposed rafter ends (or tabs) at overhangs are strongly recommended.

- Downspouts are to match gutters in material and finish.

2. *Permitted Finish Materials* (Does not apply to flat roofs).

- Metal:

- Galvanized

- Copper

- Aluminum

- Zinc-Alum

- Shingles:

- Asphalt or metal, "dimensional" type

- Fiberglass, "dimensional" or "architectural"

- Tile

- Gutters:

- Copper

- Aluminum

- Galvanized steel

3. *Permitted Configurations.*

- Metal:

- Standing seam or "five-vee," 24 inches maximum spacing, panel ends exposed at overhang

- Shingles:

- Square, rectangular, fishscale, shield

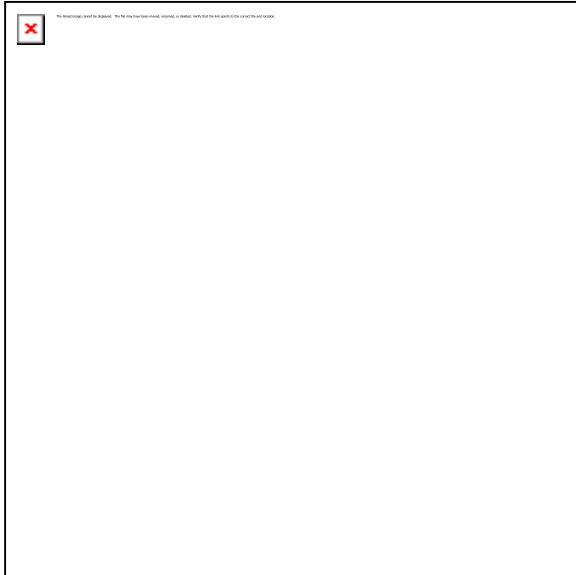
- Gutters:

- Rectangular section

- Square section

- Half-round section

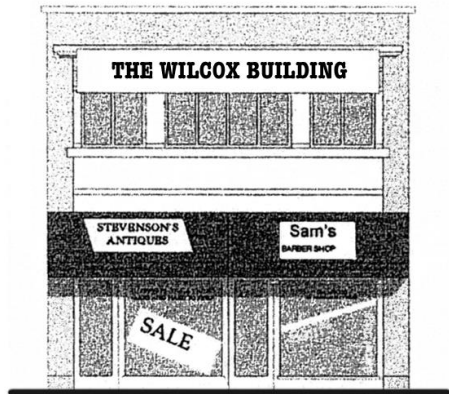
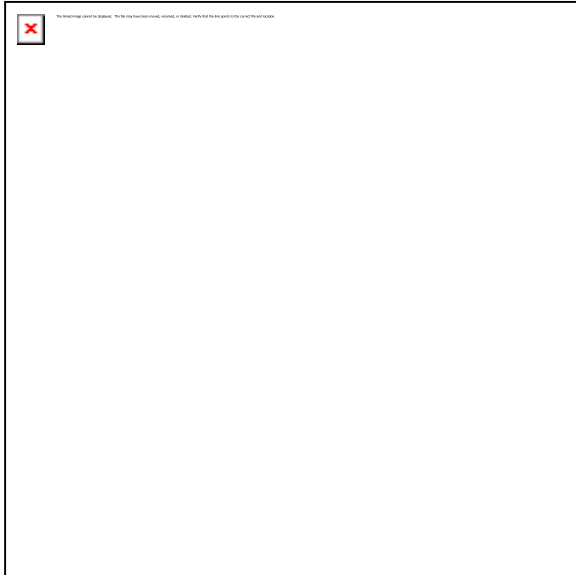
- F. *Signs.* Signs shall be regulated by both these regulations and Article IX, Division 1: Signs Regulations, in the Land Development Code. Where there is conflict between Article IX and these regulations, these regulations shall prevail.



- Signs are coordinated in size and placement with the building and storefront.

Desirable

Configurations - Desirable



- Building sign conceals the cornice
- Over-varied sign shapes create visual confusion
- Redundant signage
- Awning sign covers the masonry piers
- Sale sign too large for storefront and poorly placed in display window

Undesirable

1. General Requirements.

- Wall-mounted signs shall be flat against the facade, mounted projecting from the facade, or mounted above the top of the facade.
- Signs shall be externally lit. Individual letter and symbols may be internally lit or back-lit.
- Roof-mounted signs are prohibited.
- Only one ground-mounted sign is allowed per development.
- The maximum height of ground-mounted signs shall be 8 ft.
- Signs shall maintain a minimum clear height above sidewalks of 9 ft.
- Signs shall not extend beyond the curb line.

2. Finish Materials.

- Wood: painted or natural
- Metal: painted or unpainted.

- Painted or rubberized canvas
- Neon (including individual channel letter neon signs that are internally illuminated and may have plastic faces)
- Engraving directly on facade surface
- Wood-like materials
- Lettering on transparent windows or doors
- Vinyl lettering with a painted appearance

3. *Maximum Sign Size.*

- Sign area shall be determined in accordance with Sec. 30-318(g)(2).
- Size of sign structure shall be determined in accordance with Sec. 30-318(g)(3).
- Maximum size of any sign mounted perpendicular to given facade shall not exceed 10 sq ft.
- Maximum sign size shall be measured by using the largest surface area of the sign viewable at one time from any one direction (i.e., on a two-sided sign, only one side is measured).
- The following are the maximum sign sizes for primary signs:
 - a. The Maximum size of wall-mounted signs on the primary street frontage on a given facade shall not exceed 10% of the facade area or 100 sq ft, whichever is smaller. Only one building side will be considered as being the building's primary street frontage.
 - b. For ground-mounted signs for non-residential development, the maximum size is 16 sq. ft. This does not include the base or columns.
 - c. Each tenant in a building with multiple tenant units, as well as the tenant of a single-occupant building, is allowed one under-canopy sign with a maximum vertical height of one foot and a maximum width of 3 ft. An under-canopy sign shall be defined as a sign suspended beneath a canopy, ceiling, roof, or marquee. The under-canopy sign must maintain a vertical clearance of 9 ft. over any pedestrian walkway or public right-of-way.
 - d. For ground-mounted signs for multi-family residential development, the maximum sign size is 12 sq. ft.
 - e. Civic buildings shall be allowed signs based on their zoning designation and consistent with the standards established above.

G. *Windows, Skylights, & Doors:*

1. *General Requirements.*

Windows shall be rectangular, square, circular, semi-circular, or octagonal. Rectangular window openings facing streets shall be oriented vertically.

The following accessories are permitted:

- Shutters
- Wooden window boxes
- Muntins and mullions
- Fabric awnings (no backlighting; no glossy-finish fabrics)

2. *Finish Materials.*

Note: Many of these finish materials listed below are further regulated by the University Heights Historic District Regulations North and South, and in some cases are not allowed in renovations.

- Windows, Skylights, & Storefronts:

- Wood

- Aluminum (not mill)

- Copper

- Steel

- Vinyl-clad wood

- Doors:

- Wood or metal

3. *Permitted Configurations.*

- Windows:

- Rectangular (vertical orientation)

- Round (18-inch maximum outer diameter)

- Semi-circular

- Window Operations:

- Casement

- Single- and double-hung

- Industrial

- Fixed frame (36 sq ft maximum)

- Skylights:

- Flat to the pitch of the roof

- Door Operations:

- Casement

- French

- Sliding (rear only)

H. *Mechanical Equipment:*

1. *General Requirements.* All mechanical equipment must be placed on the roof, in the rear or side of the building, or otherwise visually screened from the street. In no case shall mechanical equipment be allowed along street frontage(s). Mechanical equipment on the roof shall be screened from abutting streets with parapets or other types of visual screening.

2. *Permitted Finish Materials.*

- Screening shall be compatible with the primary building.

(Ord. No. 990733, § 2, 10-23-00; Ord. No. 030761, § 1 (Exh. A), 6-14-04; Ord. No. 050768, §§ 1—4, 4-24-06; Ord. No. 080545, § 8, 5-21-09; Ord. No. 100721, §§ 3, 4, 7-7-11; Ord. No. 120808, § 3, 5-16-13; Ord. No. 090878, § 16, 6-6-13)