



Department of Doing
Planning Division
PO Box 490, Station 11
Gainesville, FL 32602-0490

306 N.E. 6th Avenue
P: (352) 334-5022
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TO: City Plan Board

Item Number: 2

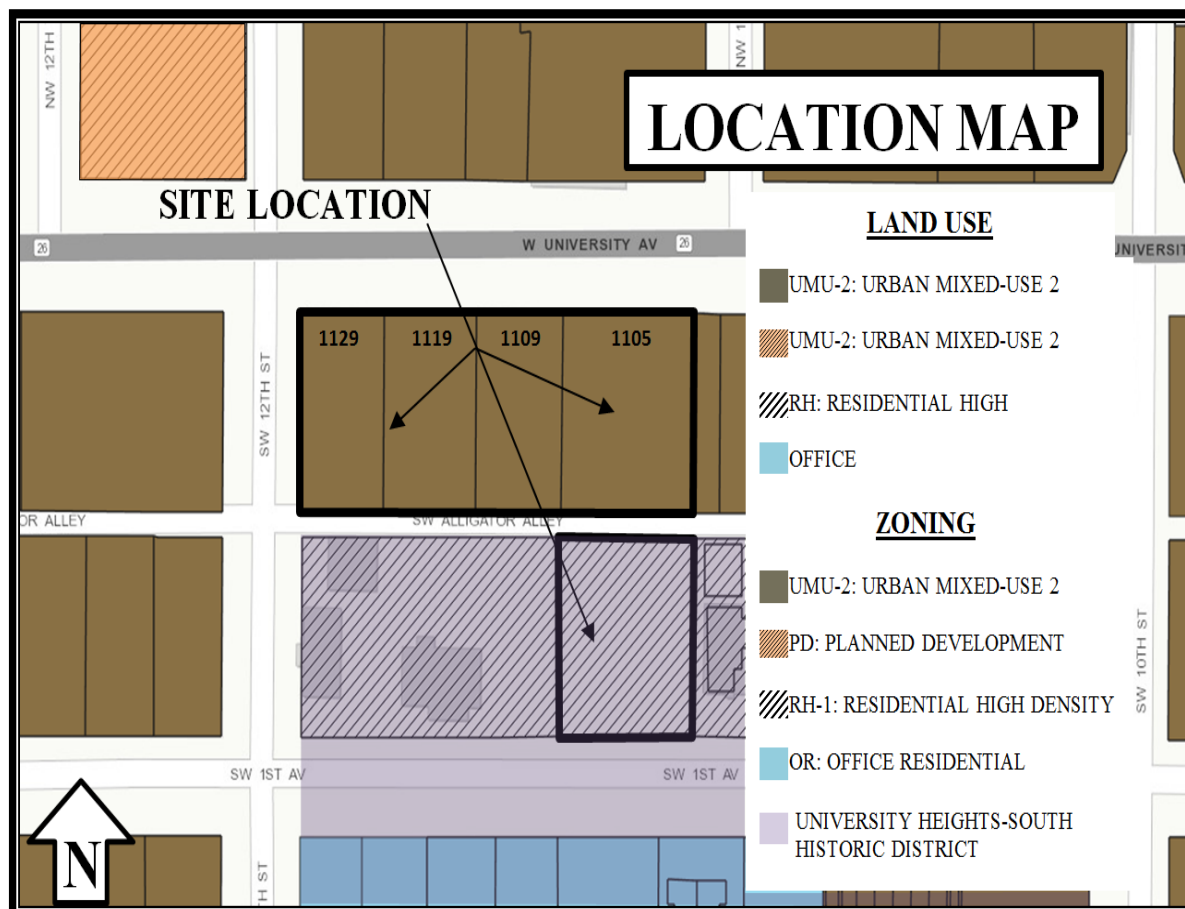
FROM: Department of Doing

DATE: July 27, 2017

SUBJECT: Petition PB-17-60 SUP. eda engineers-surveyors-planners, inc., agent for SMLC, LLC, BRW Enterprises, Inc., Tench Property, LLC, and Gamble & Martin Trustee, owners. Special Use Permit with development plan review to allow the construction of a mixed-use development. Zoned: UMU-2 (10-100 units/acre, and up to 25 additional units/acre by special use permit, urban mixed-use district) and RH-1 (Residential high density district). Located in the 1100 block of W. University Avenue, south side, between SW 10th Street and SW 12th Street.

Recommendation

Approve this petition, subject to the conditions in this staff report and Appendix E.



Description

Petition for a Special Use Permit (SUP) and major development plan approval to construct an eight-story, mixed-use building. The building will include 109 dwelling units; 411 bedrooms; ground-level retail space; a parking garage; a courtyard; and a rooftop deck. Other proposed amenities include a surface parking lot; landscape material; utilities; stormwater and solid waste facilities; lighting; and sidewalks. Signage will be permitted separately.

The development site is generally located between West University Avenue (SR 26) to the north; SW 10th Street to the east; SW 12th Street to the west; and SW 1st Avenue to the south. It consists of five tax parcels that equal a combined total of 1.11 (MOL) acres. Alligator Alley, a local east-west right-of-way, separates the development site into two sections. The northern section contains four tax parcels that will be cleared for the construction of the eight-story, mixed-use building. The southern section contains one tax parcel that will continue to be used as a surface parking lot, and that is located within the University Heights-South Historic District.

The development site is accessible from State and local right-of-ways that support multi-modal transportation. West University Avenue (SR 26), which abuts on the north, provides multiple east-west traffic lanes, sidewalks, and Regional Transit System (RTS) bus routes. SW 12th Street, which abuts on the west, is a designated Bike Boulevard that provides two north-south traffic lanes and sidewalks. SW 1st Avenue, which abuts on the south, provides east-west traffic lanes and sidewalks. Alligator Alley, which is not classified as a street, functions as a pedestrian corridor and service lane.

The development site contains six medium-size live oak and crepe myrtle trees that are located in the existing surface parking lot. Street trees are located along West University Avenue (SR 26) and SW 12th Street within the abutting right-of-way. There is very little, if any, vegetation on the development site that serves as shrubbery or groundcover. The majority of the development site has an impervious surface.

The development site is adjacent to commercial and residential uses. The adjacent uses are located within structures that range from one- to three- stories in height. Among the adjacent commercial uses are a new McDonald's drive thru restaurant; a bank; and several retail establishments that are located along West University Avenue (SR 26). The adjacent residential uses consist of single-family and multi-family dwelling units that are within the University Heights – South Historic District. Other uses that are near the development site and within walking distance are Innovation Square, Publix, and the University of Florida main campus.

The development site has two land use and two zoning designations. The northern section of the development site has UMU-2 land use and zoning designations, which allow a maximum of 100 dwelling units per acre by right, and up to 25 additional dwelling units per acre by Special Use Permit (SUP). The southern section of the development site has RH (Residential High-Density: 8-100 units per acre) land use and RH-1(8-43 units/acre residential high density district) zoning designations. The zoning and land use designations applied to adjacent properties are illustrated on the Location Map.

Findings on whether this petition complies with the City of Gainesville Comprehensive Plan and Land Development Code are provided in the following sections of the staff report and the staff conditions in Appendix E. Documents referenced throughout the staff report can either be found in the Appendices as a hardcopy or as a hyperlink.

Key Issues

1. The applicant proposes to construct the 8-story mixed-use building in the northern section of the development site. This section of the development site consists of four tax parcels that total .834 (MOL) acres. The UMU-2 land use and zoning designations applied to the northern section of the development site allow a maximum of 100 dwelling units per acre by right, and up to 25 additional dwelling units per acre (or 104 dwelling units) by Special Use Permit (SUP). The applicant, however, is requesting to build 109 dwelling units at a density of 131 dwelling units per acre. The applicant has requested to accomplish this by transferring 5 dwelling units allowed on the RH-1 tax parcel located in the southern section of the development site to the UMU-2 tax parcels located in the northern section of the development site. The City Planning Division has approved the applicant's request, provided the applicant records a deed restriction stating that the RH-1 tax parcel is limited to permitted non-residential development, and that all of the subject tax parcels are shown as a unified development site, ideally with one tax parcel number for the entire development site.

Condition 1: Prior to issuance of any final development order for this petition, a restrictive covenant that is approved by the City in form and content shall be executed and recorded in the public records of Alachua County. The restrictive covenant shall: limit the land uses for Tax Parcel No. 13221-000-000 to permitted nonresidential development; run with the land; be binding on successors, heirs, and assigns; grant the city the right to enforce the restrictive covenant; and require the subordination of all mortgagees of record.

Condition 2: Tax Parcel Nos. 13218-000-000; 13217-000-000; 13216-000-000, 13215-000-000 and 13221-000-000 shall be shown as one unified development site and, if possible, be reassigned one tax parcel number.

2. The City Planning Division has interpreted [figure 3.0, section 30-65.2](#) of the City Land Development Code to mean that a maximum of three or four stories can be constructed on the development site for a distance of 50 feet from the boundary of the University Heights-South Historic District, as opposed to the boundary of the development site.
3. The applicant is requesting a lighting waiver from [section 30-344\(d\) \(3\)](#) of the City Land Development Code. The proposed security lighting exceeds the maximum 1.0 footcandles allowed for light trespass onto adjacent property (i.e., Alligator Alley).

Condition 3: In order to exceed the maximum 1.0 footcandle requirement for light trespass onto adjacent property in [section 30-344\(d\) \(3\)](#) of the City Land

Development Code, the applicant/owner must receive a board-approved lighting waiver.

4. On January 26, 2017, under Petition PB-16-59 SUP, the City Plan Board approved a request for a Special Use Permit (SUP) with development plan approval to allow construction of a new mixed-use development on Tax Parcel No. 13215-000-000, located at 1105 West University Avenue (SR 26). The purpose of the SUP was to allow a residential density of 25 additional dwelling units per acre over the 100 dwelling units per acre allowed by the UMU-2 land use and zoning designations. Since the approved SUP remains valid for a period of one year from the date of approval by the City Plan Board, the approval of this petition could result in the issuance of two conflicting development orders for the development site.

Condition 4: Prior to issuance of any final development order for this petition, the applicant/owner shall submit a notarized letter to the City Planning Division requesting that the development order approved under Petition PB-16-59 SUP be made null and void.

5. Representatives of the Florida Department of Transportation (FDOT) have indicated that a distance of 4 feet is allowed between the face of curb and street tree grates along West University Avenue (SR 26). The City Public Works Department has also approved a distance of 4 feet from the face of curb along SW 12th Street.
6. The applicant has submitted a letter requesting a board modification to the landscape zone required in [section 30-65.2](#) of the City Land Development Code due to the presence of underground utilities. The board modification would allow the applicant to provide 3 above-ground planters containing 30-gallon Crape Myrtles along SW 12th Street instead of an 8-foot wide planted landscape strip containing required plant material. (See Appendix C.)

Condition 5: In order to substitute the required 8-foot wide planted landscape strip with 3 above-ground planters containing 30-gallon Crape Myrtles in the landscape zone along SW 12th Street, the applicant/owner must obtain a board-approved modification.

Condition 6: The location and minimum width of each section of the public realm, as required in [section 30-65.2](#) of the City Land Development Code, shall be delineated on the dimension/horizontal control sheet of the development plan.

Condition 7: The line of architectural canopy shown on the exterior walls of the proposed building projects into the required public realm, as described in [section 30-65.2](#) of the City Land Development Code. This projection shall comply with the dimensional requirements of the UMU-2 zoning district, or the applicant/owner must obtain a board-approved modification.

Basis for Recommendation

The staff recommendation is based on the criteria for issuance of a Special Use Permit (SUP) shown in [sec. 30-233](#) of the City's Land Development Code. The City Plan Board must make findings concerning the SUP to ensure that the design, location, and methods of operation conform to these requirements. Staff's findings for each of the criteria in [sec. 30-233](#) are as follows:

Land Development Code, Sec. 30-233, Special Use Permit Criteria:

- 1. That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.** The proposed use and development complies with all applicable standards and regulations, except as noted in this staff report and Appendix E.
- 2. That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.** The proposed use and development will include residential and retail uses, which are also found and permitted on adjacent and nearby properties. The height and scale of the proposed use and development is consistent with nearby developments, such as Innovation Hub, located at 747 SW 2nd Avenue, and the recently approved Inception project, located at 805-819 West University Avenue (SR 26). Also, the City's land development regulations are written to ensure compatibility and harmony between properties. The proposed use and development complies with these and other land development regulations, except as noted in this staff report and Appendix E.
- 3. That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.** Based on comments from Gainesville Regional Utilities (GRU) in Appendix E, necessary public utilities with adequate capacity are available to service the proposed use and development. However, modifications to the associated development plan will be required to ensure the proposed use and development receives GRU services.
- 4. That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.** The City Public Works Department has approved the traffic study analyzing the traffic impacts of the proposed use and development. The applicant must also make a financial contribution towards transit service needs within the University of Florida Context Area, as required in [Transportation Mobility Element, Policy 10.1.14](#).
- 5. That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.** The proposed use and development is in compliance with the City's landscaping requirements, except as indicated in the staff report and Appendix E. Street trees are proposed along the abutting right-of-ways to help screen adjacent and nearby properties. Waste

collection facilities and mechanical equipment rooms are proposed inside of the building to lessen visibility, odors and noise. A line-of-sight study in the development plan shows that rooftop mechanical equipment will not be easily visible from properties immediately adjacent to the development site.

6. **That the use and development conforms to the general plans of the city as embodied in the city comprehensive plan.** The UMU-2 land use designation on the northern section of the development site supports the residential and retail components of the proposed use and development. This land use designation allows a mixture of residential, retail, service and office/research uses. The maximum density allowed is 125 dwelling units per acre by Special Use Permit (SUP). The surface parking lot will be maintained on the portion of the development site with an RH land use designation as an accessory use.
7. **That the proposed use and development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in Article III, Division 2.** The City Public Works Department has approved the stormwater management report and traffic study for the proposed use and development, as indicated in Appendix E. This approval serves as evidence that the proposed use and development meets the level of service standards for roadways and stormwater management adopted in the comprehensive plan.

Findings

The petition is approvable, subject to the adoption of the conditions in this staff report and Appendix E.

Special Use Permit

An approved Special Use Permit (SUP) is valid for a period of one (1) year from the date of City Plan Board approval. Prior to the expiration of this one year period, the applicant must obtain a final development order for the associated development plan and obtain a valid building permit. Failure to comply with these requirements shall cause the approved SUP to become null and void unless, prior to the expiration date of the SUP, a request for an extension is approved by the City Plan Board. A request to extend the SUP must be made through the City Planning Division prior to the expiration date.

Development Plan Review

The associated development plan requires a major level of review based on the applicant's proposal to construct a building containing more than 100 dwelling units. In addition to receiving an approved Special Use Permit (SUP), the applicant must also receive preliminary approval of the associated development plan from the City Plan Board and final approval of the associated development plan from staff. A copy of the associated development plan is provided in Appendix F.

Condition 8: All requests for modifications to the associated development plan that are relative to the criteria for issuance of a Special Use Permit (SUP) shall require City Plan Board approval.

Copies of the development application and documents discussing a neighborhood workshop held on April 24, 2017 are provided in Appendix D. A copy of the letter explaining how the proposed development complies with the general performance standards in [sec. 30-345](#) of the City's Land Development Code is provided in Appendix C.

Conditions

Condition 1: Prior to issuance of any final development order for this petition, a restrictive covenant that is approved by the City in form and content shall be executed and recorded in the public records of Alachua County. The restrictive covenant shall: limit the land uses for Tax Parcel No. 13221-000-000 to permitted nonresidential development; run with the land; be binding on successors, heirs, and assigns; grant the city the right to enforce the restrictive covenant; and require the subordination of all mortgages of record.

Condition 2: Tax Parcel Nos. 13218-000-000; 13217-000-000; 13216-000-000 and 13221-000-000 shall be shown as one unified development site and, if possible, be reassigned one tax parcel number.

Condition 3: In order to exceed the maximum 1.0 footcandle requirement for light trespass onto adjacent property in [section 30-344\(d\) \(3\)](#) of the City Land Development Code, the applicant/owner must receive a board-approved lighting waiver.

Condition 4: Prior to issuance of any final development order for this petition, the applicant/owner shall submit a notarized letter to the City Planning Division requesting that the development order approved under Petition PB-16-59 SUP be made null and void.

Condition 5: In order to substitute the required 8-foot wide planted landscape strip with 3 above-ground planters containing 30-gallon Crape Myrtles in the landscape zone along SW 12th Street, the applicant/owner must obtain a board-approved modification.

Condition 6: The location and minimum width of each section of the public realm, as required in [section 30-65.2](#) of the City Land Development Code, shall be delineated on the dimension/horizontal control sheet of the development plan.

Condition 7: The line of architectural canopy shown on the exterior walls of the proposed building projects into the required public realm, as described in [section 30-65.2](#) of the City Land Development Code. This projection shall comply with the

dimensional requirements of the UMU-2 zoning district, or the applicant/owner must obtain a board-approved modification.

Condition 8: All requests for modifications to the associated development plan that are relative to the criteria for issuance of a Special Use Permit (SUP) shall require City Plan Board approval.

Respectfully submitted,



Wendy Thomas, AICP
Director, Department of Doing



Prepared by:
Bedez E. Massey
Planner, Department of Doing

Table 1

Adjacent Existing Uses

North	Drive-Through Restaurant; Convenience Store; Bank
South	Residential Dwelling Units
East	Retail; Eating Places; Residential Dwelling Units
West	Retail; Eating Places; Residential Dwelling Units

Table 2

Adjacent Zoning and Land Use

	Land Use Category	Zoning Category
North	Urban Mixed-Use 2 (UMU-2)	Urban Mixed-Use 2 (UMU-2)
South	Residential High (RH) / Office (O)	Residential High (RH-1) / Office Residential (OR)
East	Urban Mixed-Use 2 (UMU-2) / Residential High (RH)	Urban Mixed-Use 2 (UMU-2) / Residential High (RH)
West	Urban Mixed-Use 2 (UMU-2) / Residential High (RH)	Urban Mixed-Use 2 (UMU-2) / Residential High (RH)

List of Appendices

Appendix A Comprehensive Plan Goals, Objectives and Policies
[Transportation Mobility Element: Policy 10.1.14](#)

Appendix B Land Development Code
[Articles IV, VII, and IX](#)

Appendix C Supplemental Documents
Exhibit C-1: Applicant's Letter Requesting Landscape Zone Board Modification
Exhibit C-2: Applicant's General Performance Standards Letter

Appendix D Application and Neighborhood Workshop

Appendix E Staff Conditions

Appendix F Development Plan

Appendix A

Comprehensive Plan Goals, Objectives and Policies
(See Hyperlinks)

Appendix B

Land Development Code

(See Hyperlinks)

Appendix C

Supplemental Documents



TO: Bedez Massey, Department of Doing
FROM: Sergio Reyes, P.E.
DATE: July 6, 2017
RE: Board Modification Request for Hub on Campus (Petition PB-17-60 SUP)

The proposed Hub on Campus development at 1105 West University Avenue is located within the UMU-2 zoning district. The applicant is requesting a Board Modification from the Streetscape Dimensions Table requirements for the Landscape Zone requirements along the western property line on SW 12th Street. SW 12th Street is designated as a Local Street for the purposes of Streetscape Dimensions.

The proposed development meets the required total setback of 18 feet from back of curb (nonresidential uses; 10 feet for sidewalk zone; 8 feet for landscape zone). However, due to the presence of utilities along the east side of SW 12th Street (gas, electric, water and wastewater), it is not possible to have a planted landscape strip or tree wells in hardscape. Gainesville Regional Utilities (GRU) has indicated that a landscape strip would not meet the minimum utility separation requirement. **The applicant is requesting that the Plan Board waive the requirement for the 8-foot required planted landscape strip (Sec. 30-65.2 (e)(5) and allow the applicant to provide an alternative landscaping plan for the SW 12th Street frontage.**

The proposed alternative to a planted landscape strip is to place three large above-ground planter containers with 30-gallon Natchez Grape Myrtles along SW 12th Street. This alternative protects the underground utilities while still providing street trees along the SW 12th Street frontage.

The Land Development Code allows the appropriate reviewing board to grant certain modifications based on the following criteria (Sec. 30-65.2 (b)(2):

“(2) Modifications.

- a. Board modification. The appropriate reviewing board shall have the authority to grant modifications limited to the build-to line, building frontage, building relationship to the street, building articulation and design, landscape zone, sidewalk zone and streets/blocks standards as are set forth in this section, where the board finds by substantial competent evidence that:

1. The proposed development offers unique/alternative compliance that meets the intent of the UMU-2 zoning district; the requested modification is the minimum necessary to allow reasonable development of the site; and the requested modification is not injurious to the public health, safety and welfare; or
2. An undue hardship, owing to conditions peculiar to the land or structure and not the result of the action of the applicant, would result from strict adherence to the standard; or
3. The sidewalk zone or landscape zone cannot be constructed due to restrictions by the governmental entity responsible for the street where the sidewalk or landscaping is proposed."

Based on the above Code section, the applicant meets criteria 1. and 3. for the modification request. The alternative compliance is to provide above ground planter containers for street trees and GRU has indicated that due to utilities, the landscape zone cannot be constructed due to utility separation requirements.

If there are any questions about the justifications listed above for the requested modification, please contact eda at (352) 373-3541.

APPROVED
JUN 11 2017

May 05, 2017 (revised June 19, 2017)

City of Gainesville
P.O. Box 490
Gainesville, Florida 32602

**Re: Hub on Campus
General Performance Standards**

To Whom It May Concern:

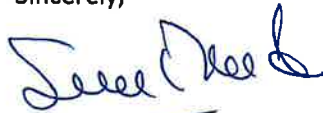
In accordance with Section 30-345 of the City of Gainesville Land Development Code (LDC), the following letter indicates how this project meets the general standards as follow:

1. *Fire and explosion hazards:* No storage of flammable or explosive materials is proposed at the site. All the uses proposed will be in accordance with the UMU2 zoning category (and existing surface parking on RH1 parcel).
2. *Radiation:* No sources of ionizing radiation will be handled on-site.
3. *Electromagnetic radiation:* No sources of electromagnetic radiation will be handled on-site.
4. *Waste disposal:* The waste from the site will be handled by the central sewer system of Gainesville Regional Utilities. The waste from the site including stormwater will meet state, federal, and local agency guidelines.
5. *Vibration:* There will be no heavy equipment in use or located on the site. Therefore, there will be no on-site earth-born vibration that will exceed the limits as set forth in this section.
6. *Sound:* There will be no heavy equipment in use or located on the site and no manufacturing. Therefore, sounds on-site will not exceed the limits set forth in Chapter 15.
7. *Heat, cold, dampness or movement of air:* No activities will take place on-site that will produce adverse effects on the temperature, motion or humidity of the atmosphere beyond the lot lines.
8. *Lighting:* The existing lighting on parcel 13221 will remain - no changes are proposed. Lighting on the other parcels shall comply with requirements of this section for internal and external lighting as well as meet the height requirement for fixtures.
9. *Light pollution:* The existing lighting on parcel 13221 will remain - no changes are proposed. Lighting on other parcels will comply with all requirements of this section.

Special Use Permit and Site Plan Application
Hub on Campus
May 05, 2017, Revised June 19, 2017

10. *Odor*: There will be no adverse odors produced on-site. No manufacturing or chemical operations will occur on the site. The development will consist of use allowed by the UMU2 zoning only (and existing surface parking on RH1 parcel).
11. *Air pollution emissions*: No manufacturing or chemical operations will occur on the site. No air pollution emissions will be produced on-site.
12. *Other air pollution*: There will not be an excess amount of dust or airborne particulate matter generated on this site. No air pollution will be created associated with the development of this site that will exceed the standards set by the Florida Department of Environmental Protection, or successor agency, or any governmental entity with regulatory jurisdiction, whichever standards are more stringent.
13. *Toxics*: There will be no emissions of toxic or noxious matter on this site. No manufacturing or chemical operations will occur on the site.
14. *Utility service*: Utility service on-site shall comply with the requirements of this provision and be installed underground.

Sincerely,



Sergio Reyes, P. E.
Project Engineer

Appendix D

Application and Neighborhood Workshop



May 5, 2017 / Revised June 19, 2017

City of Gainesville
302 NE 6th Avenue
Gainesville, FL 32601

Re: Hub on Campus - Major Development Review and Special Use Permit Application

Attached is a Development Plan and Special Use Permit application package submittal for the proposed Hub on Campus. This is a proposed eight-story multi-use building with 109 residential units and 9,535 SF of retail space with associated infrastructure improvements on the property. The project is located at 1105-1131 W. University in Gainesville on Tax Parcel No.'s 13215, 13216, 13217, 13218, and 13221. The project site is located on approximately 1.11 (+/-) acres and contains a vacant parcel and some existing commercial/retail buildings, surrounded by a variety of commercial and residential uses on the University Avenue corridor.

A Development Plan is required to permit the proposed site improvements, including a new building, parking garage, and utility improvements. In addition, a Special Use Permit (SUP) application is required for density over 100 du/acre, up to 125 du/acre and for the 8-story proposed building height in the Urban Mixed Use 2 (UMU-2) zoning district and for The RH-1 zoned parcel to remain surface parking (without improvements) to serve the development on the other parcels, as an off-site parking facility allowed in table 30-55(c)(2) by Special Use Permit. The property owner will work with the city to draft a deed restriction transferring the allowable density from the RH-1 parcel to the UMU2 parcels, allowing a total of 109 units on the 1.11 acres.

If you have any questions, please feel free to contact our office at any time.

Sincerely,

A handwritten signature in blue ink, appearing to read "Sergio Reyes".

Sergio Reyes, P.E.
President

PLAN REVIEW APPLICATION

OVERVIEW:

Project Name: Hub on Campus	Tax Parcel Number: 13215, 13216, 13217, 13218, 13221
Property Address: 1105-1131 W. University Avenue	
First Step Meeting Date: 02-09-17	GRU Project Meeting Date: 03-23-17

Proposed Uses/Type of Development (Check all that apply)

<input checked="" type="checkbox"/> Residential	Density	<input checked="" type="checkbox"/> Non-residential
<input checked="" type="checkbox"/> Multi-family	Units/acre: 122	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office
Total Units: 136	Total bedrooms: 380	<input type="checkbox"/> Industrial <input type="checkbox"/> Other
Gross floor area: 9,629 SF		

PROJECT MANAGEMENT:

Owner(s) of Record (please print)		
Name:		
Mailing Address: SEE ATTACHED LIST FOR MULTIPLE OWNERS		
Phone:		
Fax:		E-Mail:

Applicant/Engineer of Record/Project Coordinator (please print)		
Name: eda engineers-surveyors-planners, inc.		
Mailing Address: 2404 NW 43rd Street, Gainesville, FL 32606		
Phone: 352-373-3541 Fax: 352-373-7249 E-Mail: sreyes@edafl.com		
Project Coordinator Name: Stephanie Sutton - ssutton@edafl.com, permitting@edafl.com		

FEES:

Level of Review (check one)		Special Use Permit <input checked="" type="checkbox"/>	Enterprize Zone <input checked="" type="checkbox"/>
MINOR	INTERMEDIATE	MAJOR	CONCEPT
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		MASTER	<input type="checkbox"/>

Fees are determined at First Step Meeting or GRU Project Meeting and are based on level of review and EZ Zone. More information about EZ Zones can be found at http://cityofgainesville.org/Portals/0/plan/2015%20Web%20Docs/landdevfees151001.pdf	
Plan Review Fee: \$ Major Plan Review \$2,311.88; Special Use Permit \$543.00; Minor Traffic Study \$578.88; (Total \$3,433.76)	
GRU Fee: \$	GRU Business Acct No.: *Get New Account Number (ask Neal Beery)
Plan review fee will be paid by: Core Spaces	
Name: Chad Metesi	E-Mail: chadm@corespaces.com Phone: 773.969.5748

Applicant Signature: Neal Beery

Date: 5/5/17

THIS SECTION FOR OFFICE USE ONLY
Petition Number:


SUFFICIENCY CHECKLIST BELOW. PLEASE FILL OUT

Reviewer Comment	Met Y/N/NA	Sheet #
PLANNING: Wellfield exemption and protection permit provided	N/A	
PLANNING: Property owner authorization provided	Y	
PLANNING: Neighborhood workshop information provided	Y	
PLANNING: First Step Meeting held	Y	
PLANNING: Stormwater Management Plan provided	Y	
PLANNING: Signed Concurrency Exemption or Long Form provided	Y	
PLANNING: Fire Flow Calculations provided	Y	
PLANNING: Environmental mitigation plan for impacted environmental areas provided	N/A	
PLANNING: Photometric plan/ lighting plan provided	Y	
PLANNING: Landscape plan provided	Y	
PLANNING: Construction staging plan provided	Y	C0.30
PLANNING: Boundary survey with a legal description provided	Y	V001-V003
PLANNING: Utility Plan provided	Y	V4.00
PLANNING: Building elevations with basic floorplans provided	Y	A01-A03
PLANNING: Trip generation study provided	Y	C0.00
PLANNING: Traffic study provided	Y	
PLANNING: [Insert Comments]	Y	
GRU GENERAL - Is this plan review 2 or greater? If yes, were all previous comments addressed?	N	
GRU GENERAL - Did you coordinate with Electric Engineer or tech and provide a layout on plan? If yes, provide name	Y	Rene Zamot
Include contact information, Owners name, project name, address and phase(s)	Y	C0.00
GRU GENERAL - Clear and legible plans on 24" x 36" sheets	Y	all
GRU GENERAL - GRU Energy Delivery Electric System Design reflecting proposed W/WW utility design. Note on cover page/plans as δElectric Design Provided by GRU Energy Deliveryö.	Y	C0.00
GRU GENERAL - ALL GRU standard utility notes must be shown on utility plans (see Section 1. III.C.21 of the GRU Water/Wastewater Design Standards)	Y	C4.00
GRU GENERAL - Project location map with North Arrow	Y	C0.00
GRU GENERAL - On utility master site plan show and label all existing & proposed utilities (note 'end of GRU maintenance')	Y	C4.00
GRU GENERAL - Existing and proposed easements	Y	C4.00
GRU GENERAL - Right-of-way lines	Y	C4.00
GRU GENERAL - Parcels and/or lot numbers of site location and adjacent property	Y	C0.00
GRU GENERAL - Street names	Y	C4.00
GRU GENERAL - Proposed structures (i.e. buildings, walls fences, signs)	Y	C4.00
GRU GENERAL - Proposed subdivision plat, if project is a subdivision	N/A	
GRU GENERAL - Signed & sealed boundary survey, including legal description and parcel number(s)	Y	V001-V003

GRU GENERAL - Proposed off-site utility extensions to the point of availability, showing the affected offsite parcels/properties/proposed easements	N/A	
GRU GENERAL - Landscape Plan reflecting all proposed Utility locations	Y	
GRU GENERAL - Building minimum finished floor elevations	Y	C4.00
GRU GENERAL -Building footprints (for commercial projects), labeled building setback lines and build-to lines, decorative masonry walls, fences, signs and landscaped buffer areas	Y	C4.00
GRU GENERAL Utility Space Allocation cross sections for each different road section, alleys and PUEs including street and locations if roads or alleys are included in project	N/A	
GRU GENERAL Identify lot numbers and street names in some fashion (names may change prior to permit issuance)	Y	C0.00
GRU W-WW - Application by engineer that W/WW/RCW system design is in accordance with GRU Design Standards. (note: Final plans shows valid P.E. license and reads Professional Engineer)	Y	C0.00
GRU W-WW - Potable and wastewater demand calculations	Y	
GRU W-WW - AutoCAD Drawing file of Water and Wastewater Utilities with pipe sizes, fittings, and valves clearly labeled (this file will be used by GRU Strategic Planning to model the proposed water system)	Y	
GRU W-WW - In all cases, signed and sealed NFPA 1 and ISO fire flow calculations See Appendix E of Water/Wastewater Standards for a copy of ISO 2008	Y	
GRU W-WW - Copy of Development Master Plan including Phasing Schedule, unless plans include all potential future development	N/A	
GRU W-WW - Show temporary construction water source with reduced pressure back flow preventer (RPBFP)	Y	C0.30
GRU W-WW - Indicate and label source of irrigation water if there is landscaping	N/A	
GRU W-WW - If water/wastewater infrastructure is illegible on Master Plan, provide on multiple sheets	Y	
GRU W-WW - If WW service is provided, then plan and profile views are required for gravity sewer and force mains. All WW system plan and profile sheets at 1" = 30' max horizontal scale and 1" = 5' max vertical scale. (Exceptions accepted at GRU discretion	Y	C4.00
"GRU W-WW - All materials clearly labeled (pipe including diameter, material and slope, valves, fire hydrants, fire sprinkler lines, water meters, RPBFP, fittings, manholes including elevations, services, clean outs with top and invert elevations, sizes, types, slopes and associated appurtenances"	Y	C4.00

"GRU W-WW - Show and label connections to existing utilities. Label existing facilities which cross or are adjacent to the property as well as elevations (manhole tops and inverts), pipe diameter and material of all existing W/WW, Electric, Gas, GruCom and Stormwater facilities which cross and/or are adjacent to the property"	Y	C4.00
GRU W-WW - Existing and proposed site contours must be shown on utility plan	Y	C4.00
"GRU W-WW - Master paving and drainage plan reflecting all stormwater facilities, retention or detention ponds with elevations (clearly indicate design high water level and 100 year flood elevations)"	Y	C2.00
"GRU W-WW Standard WW Pump Station design drawings for GRU O&M stations (Private O&M WW pump stations shall include signed and sealed design calculations, i.e. system head curve, pump curve/specs, If lift station is included in project)"	N/A	
GRU ELECTRIC: All Proposed electric infrastructure shown to scale per EDSG	Y	C4.00
GRU ELECTRIC Proposed meter/service delivery point shown	Y	C4.00
"GRU ELECTRIC If using GRU Rental Lights, GRU will provide conduit layout. Owner to provide photometric plan. (Note: provide copy of waiver application that is submitted to the City)"	N/A	
"GRU ELECTRIC - All electric equipment, cable/conduits must be contained within a PUE û coordinate with GRU Real Estate "	Y	C4.00
GRU ELECTRIC - Provide proper clearances around all electric structures and equipment as per EDSG	Y	C4.00
GRU ELECTRIC - Provide required voltage (single phase or three phase)and any load information that you have	Y	Rene
GRU GAS - Gas shown on plans	Y	C4.00
GRU GAS - Gas usage statement: include notes on items contractor will provide to mitigate aid in construction costs and whether there will be natural gas generator on-site	Y	C4.00
GRU GAS - Gas meter location	Y	C4.00
GRU GAS - Acceptable service delivery point	Y	C4.00
"GRU GAS - Include gas department notification statements, one week for demolition services, 72 hours prior to casing installations, one week for gas main installations and 72 hours for meter se"	Y	C4.00
GRU GRUCom - Are you considering GRUCom services	N	


PROPERTY OWNER AFFIDAVIT

Owner Name: SMLC LLC			
Address: 4819 Chastain Drive Melbourne, FL 32940		Phone:	
Agent Name: eda engineers-surveyors-planners, inc.			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: 13215-000-000 and 13221-000-000			
Acreage: 0.275 each / 0.55 total		S: 05	T: 10 R: 20
Requested Action: Development Plan and Special Use Permit			
I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.			
Property owner signature: _____		By: <u>SMLC, LLC</u> <u>LG SDF-I, LLC</u>	
Printed name: _____		By: <u>Robert E. Caswell</u> <u>Its: Managing Member</u>	
Date: <u>5/2/17</u>			
The foregoing affidavit is acknowledged before me this <u>2nd</u> day of <u>May</u> , 2017, by <u>Robert Caswell</u> , who is/are personally known to me, or who has/have produced <u>drivers license</u> as identification. <u>GS0536804</u>			
		_____ signature of Notary Public, State of <u>Georgia</u>	

PROPERTY OWNER AFFIDAVIT

Owner Name: BRW Enterprises, Inc.			
Address: 19 Woodvine Court Covington, LA 70433		Phone:	
Agent Name: eda engineers-surveyors-planners, inc.			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: 13216-000-000			
Acreage: 0.183	S: 05	T: 10	R: 20
Requested Action: Development Plan and Special Use Permit			
I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.			
Property owner signature: <u>William H. Bartlett Jr.</u>			
Printed name: <u>William H. Bartlett Jr.</u>			
Date: <u>5-2-2017</u>			
The foregoing affidavit is acknowledged before me this <u>2nd</u> day of <u>May</u> , 2017, by <u>William H. Bartlett, Jr.</u> , who is/are personally known to me, or who has/have produced _____ as identification.			
NOTARY SEAL <u>JFB</u>			
Signature of Notary Public, State of <u>LA</u>			
LAUREN FAJONI BARTLETT Notary Public, Bar No. 28311 Parish of St. Tammany, State of Louisiana My Commission Issued for Life			


PROPERTY OWNER AFFIDAVIT

Owner Name: Tench Property, LLC			
Address: 1709 Hermitage Blvd., Ste. 102 Tallahassee, FL 32308		Phone:	
Agent Name: eda engineers-surveyors-planners, inc.			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: 13217-000-000			
Acreage: 0.178		S: 05	T: 10 R: 20
Requested Action: Development Plan and Special Use Permit			
<p><i>managing member of the</i></p> <p>I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application. <i>OW</i></p>			
Property owner signature: <i>Lauchlin T. Waldoch</i>			
Printed name: <i>Lauchlin T. Waldoch</i> <i>managing member</i> <i>OW</i>			
Date: <i>5/4/17</i> <i>managing member</i>			
<p>The foregoing affidavit is acknowledged before me this <u>4th</u> day of <u>May</u>, 2017, by <u>Lauchlin T. Waldoch</u>, who is/are personally known to me, or who has/have produced _____ as identification.</p>			
<p>NOTARY SEAL <i>Alisa C. Hamm</i></p> <p>Signature of Notary Public, State of <u>Florida</u></p>			
<div><p>ALISA C. HAMM Commission # FF 097675 Expires April 30, 2018 Bonded Thru Troy Farm Insurance 800-365-7019</p></div>			

PROPERTY OWNER AFFIDAVIT


Owner Name: <u>Molly Franklin Gamble Revocable Trust</u>			
Address: 3010 SW 70th Lane Gainesville, FL 32608-5216		Phone:	
Agent Name: 13218-000-000 <u>EDA Engineers-Surveyors-Planners Inc.</u>			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: 13218-000-000			
Acreage: 0.183	S: 05	T: 10	R: 20
Requested Action: Development Plan and Special Use Permit			
<p>I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.</p> <p>Property owner signature: <u>Molly F. Gamble</u></p> <p>Printed name: <u>Molly Franklin Gamble, Trustee</u></p> <p>Date: <u>5-3-17</u></p> <p>The foregoing affidavit is acknowledged before me this <u>3rd</u> day of <u>MAY</u>, 2017, by <u>MOLLY F. GAMBLE</u>, who is/are personally known to me, or who has/have produced <u>her passport</u> as identification.</p> <p>NOTARY SEAL <u>JENNIFER PROCHARA</u></p> <p>Signature of Notary Public, State of <u>ALABAMA</u></p> <p><u>MY COMMISSION</u> <u>EXPIRES 2-4-18</u></p>			

PROPERTY OWNER AFFIDAVIT

Owner Name: <u>Ben O. Franklin, III</u>			
Address: 3010 SW 70th Lane Gainesville, FL 32608-5216		Phone:	
Agent Name: 13218-000-000 <u>EDA Engineers-Surveyors-Planners Inc.</u>			
Address: 2404 NW 43rd Street Gainesville, FL 32606		Phone: 352-373-3541	
Parcel No.: 13218-000-000			
Acreage: 0.183		S: 05	T: 10 R: 20
Requested Action: Development Plan and Special Use Permit			
I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.			
Property owner signature: <u>Ben O. Franklin III</u>			
Printed name: <u>Ben Franklin III</u>			
Date: <u>5/3/15</u>			
The foregoing affidavit is acknowledged before me this <u>3rd</u> day of <u>May</u> , 2017, by <u>Ben O. Franklin, III</u> , who is/are personally known to me, or who has/have produced <u>FL drivers license</u> as identification.			
NOTARY SEAL <u>Dorene E. Erickson</u>			
Signature of Notary Public, State of <u>Florida</u>			
 DORENE E. ERICKSON MY COMMISSION # FF 035980 EXPIRES: July 31, 2017 Bonded Thru Budget Notary Services			

PROPERTY OWNER AFFIDAVIT

633 B Ponte Vedra Blvd
Ponte Vedra Beach,
FL 32082

Owner Name: <u>Barbara F. Martin Living Trust</u>			
Address: <u>3010 SW 70th Lane</u> <u>Gainesville, FL 32608-5216</u>		Phone: <u>904-285-7297</u>	
Agent Name: <u>13218-000-000 EDA Engineers-Surveyors-Planners Inc.</u>			
Address: <u>2404 NW 43rd Street</u> <u>Gainesville, FL 32606</u>		Phone: <u>352-373-3541</u>	
Parcel No.: <u>13218-000-000</u>			
Acreage: <u>0.183</u>		S: <u>05</u>	T: <u>10</u> R: <u>20</u>
Requested Action: <u>Development Plan and Special Use Permit</u>			
I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.			
Property owner signature: <u>Barbara F. Martin</u>			
Printed name: <u>Barbara F Martin</u>			
Date: <u>5/3/17</u>			
The foregoing affidavit is acknowledged before me this <u>3rd</u> day of <u>May</u> , 20 <u>17</u> , by <u>Barbara Martin</u> , who is/are personally known to me, or who has/have produced <u>Driver's License</u> as identification.			
		NOTARY SEAL <u>[Signature]</u>	
		Signature of Notary Public, State of <u>Georgia</u>	

Special Use Permit Application



Project Request: A Special Use Permit application to permit 125 du/acre and an eight story building in the UMU-2 zoning district (and existing surface parking on parcel 13221 in the RH1 zoning district).

Project Location: 1105-1131 W. University Avenue
(tax parcels 013215, 13216, 13217, 13218, and 13221)

Submittal Date: May 5, 2017 (revised June 19, 2017)

Prepared By: eda engineers – surveyors – planners, inc.

Project Background & Request

The owners of the subject property wish to construct an eight-story multi-use building with 109 residential units and 9,535 SF of retail space with associated infrastructure improvements on the property. The project site is located on approximately 1.11 (+/-) acres and contains a vacant parcel and some existing commercial/retail buildings, surrounded by a variety of commercial and residential uses on the University Avenue corridor.

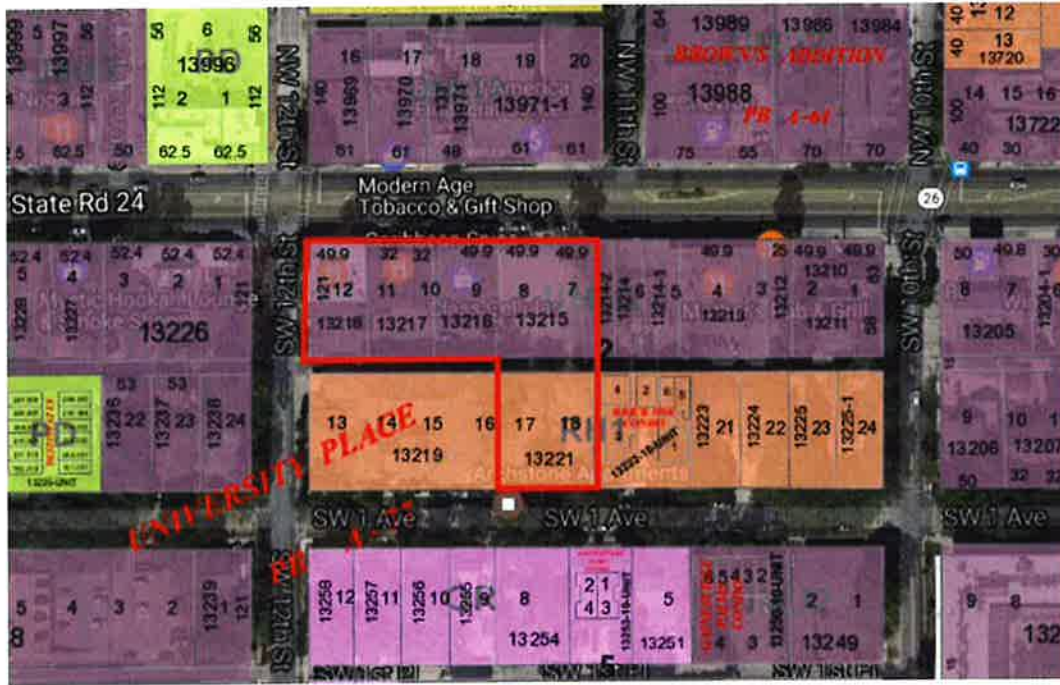
A Development Plan is required to permit the proposed site improvements, including a new building, parking garage, and utility improvements. In addition, a Special Use Permit (SUP) application is required because the City of Gainesville Land Development Code Sec. 30-65 requires that for density over 100 du/acre, (up to 125 du/acre in Urban Mixed Use 2 (UMU-2) zoning districts) receive Special Use Permit approval from the City Plan Board. A Special Use Permit is also required for the 8 story building proposed (SUP required for buildings over 6 stories). The proposed Development Plan / Special Use Permit is designed in compliance with the applicable criteria outlined in the LDC as described in this report and application. The existing surface parking lot on parcel 13221 (RH1 zoning) will remain and the residential units allowed on that parcel will be incorporated into the larger development. The developer will file a deed restriction as a part of the development process. The RH-1 zoned parcel is proposed to remain surface parking (without improvements) to serve the development on the other parcels, as an off-site parking facility allowed in table 30-55(c)(2) by Special Use Permit.

This request for density increase is similar to the request for the Inception project located at 805-819 W University Avenue, which was approved by the Plan Board on April 28, 2016 and 1105 W University Avenue, which was approved by the Plan Board on January 26, 2017.

Future Land Use Designation and Zoning District

The subject property currently has an Urban Mixed Use (2) and Residential High Density Future Land Use Designations and UMU-2 and RH1 zoning districts, as shown on the following maps:

Future Land Use Map:



Zoning Map:



Surrounding Property Characteristics

	Future Land Use	Zoning	Existing Use
North	Urban Mixed Use	UMU-2	University Ave/Bank/Retail
South	Residential High Density	RH-1	Multifamily Residential/Parking Lot
East	Urban Mixed Use/	UMU-2	Retail/Restaurants
	Residential High Density	RH-1	Multifamily Residential
West	Urban Mixed Use	UMU-2	SW 12 th Street/Restaurant
	Residential High Density	RH-1	Multifamily Residential

The proposed project is consistent with the mixed use FLU and zoning designations and is consistent with the existing mix of urban uses.

Consistency with Comprehensive Plan

The subject property has Urban Mixed Use (2) and Residential High Density Future Land Use Designations. Policy 4.1.1 of the Future Land Use Element defines the Urban Mixed Use Future Land Use category as:

Urban Mixed-Use 2 (UMU-2: 10 to 100 units per acre; and up to 25 additional units per acre by special use permit)

This category allows a mixture of residential, retail, service and office/ research uses. The Urban Mixed- Use districts are distinguished from other mixed-use districts in that they are specifically established to support research and development in the physical, engineering and life sciences in close proximity to the University of Florida main campus. An essential component of the district is orientation of structures to the street and multi-modal character of the area. Retail and office uses located within this district shall be scaled to fit into the character of the area. Residential density shall be limited to 10 to 100 units per acre with provisions to add up to 25 additional units per acre by special use permit. Lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. All new non-single-family principal buildings shall have a minimum height of 24 feet. Building height shall be limited to 6 stories and up to 8 stories by special use permit. Land development regulations shall set the appropriate densities; the distribution of uses; design criteria; landscaping, and pedestrian/vehicular access. Land development regulations shall specify the criteria for the siting of public and private schools, places of religious assembly and community facilities within this category.

As stated in the policy above, the Urban Mixed Use (2) future land use designation allows a mixture of residential, retail, service and office/ research uses. Furthermore, this policy indicates that the project is eligible for approval at a density up to 125 du/acre and building height of up to eight stories per special use permit. This project is proposing a density of 125 du/acre and a building height of 8 stories.

In addition, the subject property has a UMU-2 zoning designation that implements the Urban Mixed Use (2) designation. The Gainesville Land Development Code, Section 30-46 includes a table which identifies the corresponding/implementing zoning district for each future land use category. This table indicates that the corresponding zoning districts for the Urban Mixed Use (2) future land use category are UMU-1, UMU-2, PD, CON, and PS.

Policy 4.1.1 of the Future Land Use Element defines the Residential High Density Future Land Use category as:

Residential High-Density (8-100 units per acre)

This category shall allow single-family and multi-family development at densities from 8 to 100 dwelling units per acre. Lots that existed on November 13, 1991 and that are less than or equal to 0.5 acres in size shall be exempt from minimum density requirements. This category shall also allow traditional neighborhoods on sites 16 acres or larger in conformance with the adopted Traditional Neighborhood Development (TND) ordinance. The land shown as Residential High- Density on the Future Land Use Map identifies those areas within the City that, due to topography, soil conditions, surrounding land uses and development patterns, are appropriate for high-intensity multi-family development, traditional neighborhood development, and secondary retail and office uses scaled to serve the immediate neighborhood. The intensity of secondary retail and office use cannot exceed 25 percent of the residential floor area. Land development regulations shall determine gradations of density, specific uses, percentage of floor area and maximum floor area appropriate for secondary uses. Land development regulations shall specify the criteria for the siting of high-intensity residential facilities to accommodate special need populations and appropriate community level institutional facilities such as places of religious assembly, public and private schools other than institutions of higher learning, and libraries. Land development regulations shall allow home occupations within certain limitations.

In addition, the subject parcel (13221) has RH-1 zoning that implements the Residential High- density Future Land Use designation. No improvements are proposed for this property and the surface parking on the parcel will remain.

Consistency with Land Development Code

As stated, the subject properties have a UMU-2 and RH-1 zoning designations. Section 30-65.2 describes the intent of the UMU-2 district as:

The UMU-2 zoning district is created to promote and encourage redevelopment of the existing urban commercial areas and neighborhoods near the University of Florida. The district is intended to encourage multimodal mobility and to allow uses and development compatible with each other and with surrounding residential areas and which are consistent with the land use policies of the comprehensive plan. Furthermore, this district is intended to allow for establishments engaged in conducting research and experimental development in the physical, engineering or life sciences, in order to facilitate technology transfer from institutions of higher learning to the market place. The objectives of this district are to:

- (1) Provide a mixture of residential, commercial and office/research uses that are complementary to the residential and mixed-use character of the district;*
- (2) Encourage quality redevelopment and the renovation of existing structures;*
- (3) Promote multimodal transportation and create high-quality urban streetscapes by using buildings, sidewalks, and street trees to form a pleasant, convenient and safe environment designed for pedestrians, bicyclists, public transit, and automobiles;*
- (4) Promote retail and office uses that serve the surrounding neighborhoods and enhance the viability of existing commercial areas by focusing new development in appropriate locations;*
- (5) Promote office/research uses that serve the needs of the University and the community and enhance the development of the local innovation economy; and*
- (6) Promote infill and redevelopment in the Urban Village to improve the urban form and increase mobility and interconnectivity by creating a gridded street network and sidewalk connections.*

In addition, a density of up to 125 du/acre is specifically listed as a permitted density in UMU-2 by Special Use Permit in Sec. 30-65(2) of the Land Development Code. The proposed mixed-use development will provide services within close proximity of residential areas and close to other commercial development on the University Avenue corridor, thus supporting urban redevelopment in this transitioning area. A building height of 8 stories is also allowed in UMU-2 by Special Use Permit.

Section 30-55 describes the Residential high density districts as:

The residential high density districts are created to promote and encourage the establishment and maintenance of a suitable residential environment for housing located in proximity to high intensity activity centers or major traffic generators. Due to the existing residential environment, particular development criteria must be instituted to harmonize the existing patterns of growth with the needs of the activity centers and the community at large.

The RH-1 zoned parcel is proposed to remain surface parking (without improvements) to serve the development on the other parcels, as an off-site parking facility allowed in table 30-55(c)(2) by Special Use Permit.

Special Use Permit Criteria

The proposed density is consistent with the special use permit approval criteria outlined in Sec. 30-233. This code citation is cited below, followed by the applicant's response to each requirement:

Sec. 30-233 – Criteria for issuance

No special use permit shall be approved by the city plan board unless the following findings are made concerning the proposed special use:

(1) That the use or development complies with all required regulations and standards of this chapter and all other applicable regulations.

Response: As indicated in this SUP Report and associated Site Plan, the proposed mixed use development with 125 du/acre density and 8 story height is consistent with the underlying Urban Mixed Use (2) future land use designation and UMU-2 zoning district and complies with all associated land development regulations.

The RH-1 zoned parcel is proposed to remain surface parking (without improvements) to serve the development on the other parcels, as an off-site parking facility allowed in table 30-55(c)(2) by Special Use Permit.

In addition, the project is located in an area with adequate urban public facilities and services to serve the proposed development.

(2) That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.

Response: The subject property is on a high density/intensity mixed use corridor (University Avenue) bordered by a mix of uses. The Development Plan is compatible with the existing land use pattern of adjacent properties, including the aforementioned commercial developments.

(3) That necessary public utilities are available to the proposed site and have adequate capacity to service the proposed use and development.

Response: Electric, gas, water and sanitary sewer are available to serve the site at an adequate level of service.

(4) That the use or development is serviced by streets of adequate capacity to accommodate the traffic impacts of the proposed use.

Response: The proposed building will not result in an increased impact that will exceed the approved level of service standards for the local road network. The

project is located in Zone A of the Transportation Mobility Program Area (TMPA), which encourages infill development.

(5) *That screening and buffers are proposed of such type, dimension and character to improve compatibility and harmony of the proposed use and structure with the uses and structures of adjacent and nearby properties.*

Response: As part of the Development Plan submittal that accompanies the SUP, a landscape plan prepared by a registered Landscape Architect is included to demonstrate code compliance for on-site landscaping.

(6) *That the use or development conforms with the general plans of the city as embodied in the city comprehensive plan.*

Response: The Urban Mixed Use (2) Future Land Use category identifies those areas within the City that allow coordinated developments designed to offer a mixture of residential, convenience-type retail, professional and consumer service uses primarily for residents of mixed-use and adjacent residential neighborhoods, and places of religious assembly. In addition, the proposed mixed use development is consistent with FLUE Polity 1.1.1, which states that 'all planning shall be in the form of complete and integrated communities containing housing, shops, work places, schools, parks and civic facilities essential to the daily life of residents.' The proposed development will integrate into the existing development pattern of the area in a compatible and complementary manner.

(7) *That the proposed use or development meets the level of service standards adopted in the comprehensive plan and conforms with the concurrency management requirements of this chapter as specified in article III, division 2.*

Response: All required public facilities are readily available to serve the site and the proposed development associated with the proposed Special Use Permit application will not result in an increase beyond the approved level of service standards for the applicable public facilities serving the site and therefore, is in conformance with the level of service standards and concurrency management requirements in the Comprehensive Plan.



engineers • surveyors • planners, inc.

Memorandum

TO: Krystal Williams/Ken Blake

DATE: 04/04/17

FROM: Rosa Trautz

SUBJECT: Neighborhood Meeting – W. University Avenue

PUBLIC NOTICE

A neighborhood workshop will be held to discuss a Special Use Permit and Site Plan for a mixed-use building on tax parcel numbers 13215, 13216, 13217, and 13218 located at 1105-1131 W. University Avenue in Gainesville. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments. The meeting will be held on April 24, 2017 at 6:00 p.m. in The Foundation Room of the Alachua County Library Headquarters Branch located at 401 E. University Avenue, Gainesville, Florida 32601.



Contact: Stephanie Sutton
eda engineers – surveyors – planners, inc.
(352) 373-3541

CHARGED

Continued from B1

McMillian was held in the Alachua County jail Friday, his bond was set at \$40,000.

McMillian was a line-backer and special teams player for the University of Florida's football team for four years. He recorded a career-high seven tackles and one interception during the Gators' 30-3 win against

McMillian was held in the Alachua County jail Friday, his bond was set at \$40,000.

Iowa in the 2017 Outback Bowl, and participated in the program's Pro Day with NFL scouts on March 28.

McMillian's name was spelled "McMillan" in police records, but police spokesman Ben Tobias confirmed the defendant is the former player.

PUBLIC NOTICE

A neighborhood workshop will be held to discuss a Special Use Permit and Site Plan for a mixed-use building on tax parcel numbers 13215, 13216, 13217, and 13218 located at 1105-1131 W. University Avenue in Gainesville. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments. The meeting will be held on April 24, 2017 at 6:00 p.m. in The Foundation Room of the Alachua County Library Headquarters Branch located at 401 E. University Avenue, Gainesville, Florida 32601.



Contact: Stephanie Sutton
eda engineers - surveyors-planners, inc.
(352) 373-3541

FILLET DELAY

Fish-filled truck crashes on I-75

Highway remained open, but inside lanes were partially blocked

By Austin L. Miller
Staff writer

Florida Highway Patrol troopers responded to a fishy situation Friday morning on Interstate 75 north of Ocala.

A 2017 International tractor-trailer carrying a quarter-load of frozen fish was on its side near Mile Marker 358 on I-75. The fish were still in the trailer about an hour after the accident — and they were starting to smell.

An FHP news release



Truck driver Yonily Rosabal, left, and Florida Highway Patrol troopers at the scene of a semi crash on Interstate 75 north of Ocala on Friday morning. (AUSITN L. MILLER/STAFF PHOTO)

said the accident happened at 7:20 a.m. The interstate remained open, but both inside lanes were

partially blocked at the crash site, about three-quarters of a mile north of County Road 326.

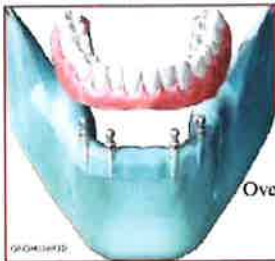
The driver, Yonily Rosabal, of Miami, had minor scrapes and cuts but appeared to be OK. Rosabal said he had been hauling the load from Houston to Miami for Go Logistics out of Jacksonville.

A passenger, Vladimir Abreu, 30, also of Miami, also suffered minor injuries, the release said.

FHP troopers said the semi was southbound in the inside lane. Another vehicle cut it off. The truck driver tried to avoid a collision and lost control of the big rig.

It ended up in the median, where it overturned on its side.

At about 8:50 a.m., traffic was backed up on I-75 northbound from the State Road 40 exit.



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(352) 377-1781

'STAND YOUR GROUND'

House, Senate differ on stand-your-ground bill

By Jim Turner
The News Service of Florida

TALLAHASSEE — The House and Senate are in a stand-off, for now, about a controversial bill dealing with "stand your ground" self-defense cases.

The two chambers have approved different versions of a proposal (SB 128) intended to shift a key burden of proof in "stand your ground" cases from defendants to prosecutors in pre-trial hearings.

As the bill returns to the Senate after the House approved its version this week, House and Senate leaders are maintaining support for their different positions.

The House wants to require prosecutors in "stand your ground"

The "stand your ground" law has long been controversial. It says people can use deadly force and do not have a duty to retreat if they think it is necessary to prevent death or great bodily harm.

cases to overcome the asserted immunity sought by defendants through "clear and convincing evidence." The Senate, which rejected the "clear and convincing evidence" language earlier this session, has set a higher standard known as "beyond a reasonable doubt."

"I've said from the beginning, if the government wants to convict you of a serious crime and send you to prison, they should have the burden of proof at every stage of the proceeding beyond and to the exclusion of every

party lines to support the bill, Rep. James Grant, a Tampa Republican who is an attorney, also defended the House clear-and-convincing-evidence approach.

"If the government cannot beat the lesser, easier burden in an immunity trial, then they darned sure can't meet beyond and to the exclusion of each and every reasonable doubt when they ask for a conviction," Grant said.

The Senate voted 23-15 to approve its version of the bill on March 15.

The "stand your

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COMPLETELY INSTALLED

\$99 MO. **\$135 MO.**

as low as

\$0 down - 0% Financing For Up To 24 Mo. • 3.99% Financing For Up To 144 Mo. Wac

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SERVING THE GREAT CITIZENS OF N. CENTRAL FLORIDA FOR OVER 25 YEARS

NEIGHBORHOOD WORKSHOP NOTICE

For a Special Use Permit and Site Plan located at 1105-1131 W. University Avenue in Gainesville.

Date: Monday, April 24, 2017
Time: 6:00 p.m.
Place: Alachua County Library Headquarters Branch (Downtown) - Foundation Room
401 E. University Avenue, Gainesville, FL 32601
Contact: eda engineers–surveyors–planners, inc. at (352) 373-3541

A neighborhood workshop will be held to discuss a Special Use Permit and Site Plan for a mixed-use building on tax parcel numbers 13215, 13216, 13217, and 13218 located at 1105-1131 W. University Avenue in Gainesville. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.



Neighborhood Workshop Notice

13226-000-000 Hub on Campus
1209 W UNIVERSITY AVE LLC
1775 HURRICAN HARBOUR LN
NAPLES, FL 34102

Neighborhood Workshop Notice

14001-000-000 Hub on Campus
BENTON & BENTON
3641 NW 23RD PL
GAINESVILLE, FL 32605-2621

Neighborhood Workshop Notice

13720-000-000 Hub on Campus
BORTNICK, JARIEL R
170 E 87TH ST APT E8D
NEW YORK, NY 10128-2256

Neighborhood Workshop Notice

13216-000-000 *** Hub on Campus
BRW ENTERPRISES INC
19 WOODVINE CT
COVINGTON, LA 70433

Neighborhood Workshop Notice

13235-202-000 Hub on Campus
CHINI, ABDOL R & SHAHPAR R
4631 SW 94TH DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

13968-001-000 Hub on Campus
COLLEGE VIEW APTS LTD, PARTNER
820 NW 22ND TER
GAINESVILLE, FL 32605-5233

Neighborhood Workshop Notice

13235-302-000 Hub on Campus
DASHER & DASHER
1220 SW 1ST AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13235-101-000 Hub on Campus
EJR INVESTMENTS LLC
1840 NW 168TH AVE
PEMBROKE PINES, FL 33028

Neighborhood Workshop Notice

13971-000-000 Hub on Campus
FARAH'S INC
13200 W NEWBERRY RD APT EE173
NEWBERRY, FL 32669

Neighborhood Workshop Notice

13223-000-000 Hub on Campus
FOX'S ALLIGATOR LLC
13400 PROGRESS BLVD
ALACHUA, FL 32615

Neighborhood Workshop Notice

13228-000-000 Hub on Campus
AHLUWALIA & ERICKSEN ET AL
2375 PLACID WAY
ANN ARBOR, MI 48105-1295

Neighborhood Workshop Notice

13236-000-000 Hub on Campus
BIG LEO ONE LLC
6405 SW 37TH WAY
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

13229-001-000 Hub on Campus
BRAVURA PARTNERS LLC
8771 MACON HIGHWAY STE B
ATHENS, GA 30606

Neighborhood Workshop Notice

13238-000-000 Hub on Campus
CAPITAL ASSETS GROUP
321 SW 13TH ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13248-000-000 Hub on Campus
COLLEGE MANOR LIMITED, PARTNER
1620 W UNIVERSITY AVE STE 4
GAINESVILLE, FL 32603-2807

Neighborhood Workshop Notice

13253-010-004 Hub on Campus
COVAN & COVAN & COVAN
1901 FOGARTY AVE STE 1
KEY WEST, FL 33040

Neighborhood Workshop Notice

13235-306-000 Hub on Campus
DELANEY, DONALD SCOTT & KIMBER
1220 SW 1ST AVE #306
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13970-000-000 Hub on Campus
EQUILEASE AT UNIVERSITY INC
3501 SW 2ND AVE STE 2400
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

13235-212-000 Hub on Campus
FERNANDEZ, MIGUEL & LOLIA
914 SW 143RD AVE
PEMBROKE PINES, FL 33027-6155

Neighborhood Workshop Notice

13227-000-000 Hub on Campus
FRAT HOUSE LLC
2120 SW 55TH ST RD
OCALA, FL 34471

Neighborhood Workshop Notice

13968-000-000 Hub on Campus
BANK OF AMERICA
NC1-001-03-81
101 N TRYON ST
CHARLOTTE, NC 28255

Neighborhood Workshop Notice

13235-308-000 Hub on Campus
BLANCO, GUIDO J & PILAR A
1220 SW 1ST AVE UNIT 308
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13222-010-001 Hub on Campus
BRICK HOUSE VILLAS LLC
4819 CHASTAIN DR
MELBOURNE, FL 32940

Neighborhood Workshop Notice

13211-000-000 Hub on Campus
CARRIGAN, MATTHEW
1220 NW 8TH ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13967-000-000 Hub on Campus
COLLEGE VIEW APTS LTD, PARTNER
PO BOX 13116
GAINESVILLE, FL 32604-1116

Neighborhood Workshop Notice

13998-000-000 Hub on Campus
DAKJ P A
8419 KEMPER LANE
WINDERMERE, FL 34786

Neighborhood Workshop Notice

13969-000-000 Hub on Campus
DUNCAN, VIRGINIA W
PO BOX 8019
CARY, NC 27512-9998

Neighborhood Workshop Notice

13983-000-000 Hub on Campus
EQUITY TRUST COMPANY CUSTODIAN
435 TURKEY CREEK
ALACHUA, FL 32615

Neighborhood Workshop Notice

13235-211-000 Hub on Campus
FONTANE, JOSE RAFAEL & MARTA G
12940 N CALUSA CLUB DR
MIAMI, FL 33186

Neighborhood Workshop Notice

13990-000-000 Hub on Campus
GAINESVILLE DOWNTOWN INN VENTURES
1250 W UNIVERSITY AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

13218-000-000 *** Hub on Campus
GAMBLE TRUSTEE & MARTIN, TRUST
3010 SW 70TH LN
GAINESVILLE, FL 32608-5216

Neighborhood Workshop Notice

13235-301-000 Hub on Campus
GEYER JOHN WILLIAM
PO BOX 12235
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

13235-310-000 Hub on Campus
GEYER WILLIAM M & PATRICIA M
443 E ROYAL FLAMINGO DR
SARASOTA, FL 34236

Neighborhood Workshop Notice

13235-305-000 Hub on Campus
GEYER, AMY
443 E ROYAL FLAMINGO DR
SARASOTA, FL 34236

Neighborhood Workshop Notice

13235-205-000 Hub on Campus
HACKLEY MICHAEL PAUL
701 SW 142ND AVE # 209S
HOLLYWOOD, FL 33027

Neighborhood Workshop Notice

13235-309-000 Hub on Campus
HENG, CHRISTINE K
7 PADANARAM RD #23
DANBURY, CT 06811

Neighborhood Workshop Notice

13253-010-001 Hub on Campus
HERRING, JONATHAN D
4730 NW 13TH AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

14000-000-000 Hub on Campus
HOGUE REALTY INVESTORS
5730 DEER HOLLOW TRL
SARASOTA, FL 34232-5920

Neighborhood Workshop Notice

13719-000-000 Hub on Campus
JACK USA INC
5542 NW 43RD ST
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

13249-000-000 Hub on Campus
JAYMARI LLC
16718 SW 5TH PL
NEWBERRY, FL 32669

Neighborhood Workshop Notice

13250-010-001 Hub on Campus
JTW PROPERTIES LLC
414 SW 131ST ST
NEWBERRY, FL 32669

Neighborhood Workshop Notice

13214-000-000 Hub on Campus
KESSER & WARNER & WARNER
PO BOX 1647
LOS ANGELES, CA 90078

Neighborhood Workshop Notice

13255-000-000 Hub on Campus
KINETIC PROPERTIES INC
PO BOX 15105
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

13235-304-000 Hub on Campus
KITTO ANDREW ROBERT
1220 SW 1ST AVE UNIT 304
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13235-307-000 Hub on Campus
KUTNER, STEVEN R & MARY A
1545 HUNTERS MILL PL
OVIDO, FL 32765

Neighborhood Workshop Notice

13722-000-000 Hub on Campus
LE & TRAN H/W
5313 NW 45TH LN
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

13997-000-000 Hub on Campus
LE & TRAN H/W
5323 NW 45TH LN
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

13988-000-000 Hub on Campus
LEWIS FAMILY LLC
621 SE 7TH AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13253-010-003 Hub on Campus
LOWRY, KENNETH C
9155 TRIVOLI TER
NAPLES, FL 34119-2005

Neighborhood Workshop Notice

13205-000-000 Hub on Campus
M&R UNITED INC
402 HIGH POINT DR STE 101
COCOA, FL 32926

Neighborhood Workshop Notice

13235-201-000 Hub on Campus
MAER & TAYLOR W/H & TAYLOR
1750 CHUCUNANTAH RD
COCONUT GROVE, FL 33133

Neighborhood Workshop Notice

13239-000-000 Hub on Campus
MARTIN, MICHAEL
2397 SE 30TH ST
MELROSE, FL 32666-5106

Neighborhood Workshop Notice

13235-303-000 Hub on Campus
MAXWELL & MAXWELL
114 W LEICESTER AVE
NORFOLK, VA 23503-4312

Neighborhood Workshop Notice

13235-204-000 Hub on Campus
MILE HIGH INVESTMENTS LLC
9696 E MAPLEWOOD CIRCLE
GREENWOOD VILLAGE, CO 80111

Neighborhood Workshop Notice

13235-208-000 Hub on Campus
NICJOR INVESTMENTS LLC
9696 E MAPLEWOOD CIR
GREENWOOD VILLAGE, CO 80111

Neighborhood Workshop Notice

13986-000-000 Hub on Campus
NORTH AMERICAN ISLAMIC TRUST
ISLAMIC CENTER OF GAINESVILLE
GAINESVILLE, FL 32601-5112

Neighborhood Workshop Notice

13256-000-000 Hub on Campus
O'CONNELL ROBERT EMMETT
1119 SW 1ST AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13235-203-000 Hub on Campus
ORTEGA & ORTEGA
6355 PEACHTREE DUNWOODY RD
ATLANTA, GA 30328-4664

Neighborhood Workshop Notice

13984-000-000 Hub on Campus
PARADIGM HALL LLC
1216 SW 2ND AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13219-000-000 Hub on Campus
PARK CENTRAL HOLDINGS OF GAINESVILLE
321 SW 13TH ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13235-210-000 Hub on Campus
PEACOCK, RAYMOND J & CLARE A
1199 ALLIGATOR CREEK RD
CLEARWATER, FL 33765

Neighborhood Workshop Notice

13996-000-000 Hub on Campus
RAZVI ENTERPRISES LLC
6614 NW 50TH LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

13237-000-000 Hub on Campus
REGALADO FLORENCIO O
1208 SW 1ST AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13210-000-000 Hub on Campus
ROTHSTEIN, K J & KRISTI
1529 NW 38TH ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

13980-000-000 Hub on Campus
SE GVILLE PROPERTIES LLC
1019 NW 4TH ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13263-000-000 Hub on Campus
SECOND AVENUE INVESTMENTS LLC
321 SW 13TH ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13235-102-000 Hub on Campus
SHELESTAK & SHELESTAK &, SHELE
949 PUALSKI MERCER RD
MERCER, PA 16137

Neighborhood Workshop Notice

13235-206-000 Hub on Campus
SHISHLOV & SHISHLOVA H/W
6158 KARI DR
MELBOURNE, FL 32940

Neighborhood Workshop Notice

13271-000-000 Hub on Campus
SIGNET INFINITY HOUSING I LLC
800 WEST MONROE ST
JACKSONVILLE, FL 32202

Neighborhood Workshop Notice

13215-000-000 *** Hub on Campus
SMLC LLC
4819 CHASTAIN DR
MELBOURNE, FL 32940

Neighborhood Workshop Notice

13225-000-000 Hub on Campus
STEADMAN COMPANY LLC (THE)
1019 NW 4TH ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

13999-000-000 Hub on Campus
SUKAVIVATANACHAI &, SUKAVIVATA
5096 SAN VICENTE DR
SANTA BARBARA, CA 93111

Neighborhood Workshop Notice

13217-000-000 *** Hub on Campus
TENCH PROPERTY LLC
1709 HERMITAGE BLVD STE 102
TALLAHASSEE, FL 32308

Neighborhood Workshop Notice

13235-207-000 Hub on Campus
TORRENCE & TORRENCE
456 SEBASTIAN SQ
ST AUGUSTINE, FL 32095

Neighborhood Workshop Notice

13981-000-000 Hub on Campus
TUCKER ROBERT R
3606 NW 63RD PL
GAINESVILLE, FL 32653-8863

Neighborhood Workshop Notice

13251-000-000 Hub on Campus
TUCKER, JENNIFER W
3524 NW 63RD PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

13206-000-000 Hub on Campus
TWO BALD FAT MEN LAND
INVESTMENTS II LLC
6608 NW 40TH DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

13230-001-000 Hub on Campus
UNIVERSITY OF FLORIDA FOUNDATION INC
1938 W UNIVERSITY AVE
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

13213-000-000 Hub on Campus
UNIVERSITY PROGRESS CORP
3701 BRIDGE RD
COOPER CITY, FL 33026

Neighborhood Workshop Notice

13233-001-000 Hub on Campus
UNIVERSITY OF FLORIDA FOUNDATION
PO BOX 14425
GAINESVILLE, FL 32604-2425

Neighborhood Workshop Notice

13212-000-000 Hub on Campus
WEINER, M S & SUSAN
PO BOX 670
VASHON, WA 98070

Neighborhood Workshop Notice

13253-010-002 Hub on Campus
WHEELER, RICHARD G & KATHY E
5516 SW 93RD WAY
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

13235-209-000 Hub on Campus
WILSON & WILSON
16905 SW 82ND CT
PALMETTO BAY, FL 33157

Neighborhood Workshop Notice

5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice

CITY OF GAINESVILLE
ATTN: MIKE HOGE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice

Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

REGINA HILLMAN
506 NW 30 STREET
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

LEE NELSON
DIRECTOR OF REAL ESTATE – UF
204 TIGERT HALL
PO BOX 113100
GAINESVILLE, FL 32611-3100

Neighborhood Workshop Notice

Gateway Park
HAROLD SAIVE
1716 NW 10 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice

Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Lampighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

North Lincoln Heights
ANDREW LOVETTE SR.
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows East
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice

University Village
BRUCE DELANEY
1710 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice

Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice

Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice

Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice

Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice

University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice

Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice

LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice

MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice

JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice

Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice

STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice

BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
07 APR '17
PM 11



Neighborhood Workshop Notice
13235-302-000 Hub on Campus
DASHER & DASHER
1220 SW 1ST AVE
GAINESVILLE, FL 32601

NIXIE 322 SE 1 0004/14/17

RETURN TO SENDER
INSUFFICIENT ADDRESS
UNABLE TO FORWARD

IA
32606>6602

BC: 32606660204 *1438-03012-07-42



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
07 APR '17
PM 11



Neighborhood Workshop Notice
13986-000-000 Hub on Campus
NORTH AMERICAN ISLAMIC TRUST
ISLAMIC CENTER OF GAINESVILLE
GAINESVILLE, FL 32601-5112

NIXIE 322 SE 1 0004/14/17

RETURN TO SENDER
INSUFFICIENT ADDRESS
UNABLE TO FORWARD

WRE
32606>6602

BC: 32606660204 *1438-03531-07-42



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606



Neighborhood Workshop Notice
13235-203-000 Hub on Campus
ORTEGA & ORTEGA
6355 PEACHTREE DUNWOODY RD
ATLANTA, GA 30328-4664

NIXIE 300 SE 1 0004/19/17

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

UTF
30328>4664

BC: 32606660204 *1638-05325-07-40



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606



Neighborhood Workshop Notice
Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

NIXIE 322 SE 1 0004/12/17

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 32606660204 *1638-05165-07-48

32606-6602
32653-7939E



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2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
07 APR '17
P111



Neighborhood Workshop Notice
13248-000-000 Hub on Campus
COLLEGE MANOR LIMITED, PARTNER
1620 W UNIVERSITY AVE STE 4
GAINESVILLE, FL 32603-2807

NIXIE 322 TE 1 0004/12/17

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 32606660204 *1638-04252-07-42

ANA
32603-280704



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2404 NW 43rd Street
Gainesville, FL 32606



Neighborhood Workshop Notice
University Park
JIMMY HARKSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

NIXIE 322 SE 1 0004/12/17

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 32606660204 *1638-04479-07-48

TF
32607-26050



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2404 NW 43rd Street
Gainesville, FL 32606



Neighborhood Workshop Notice
13213-000-000 Hub on Campus
UNIVERSITY PROGRESS CORP
3701 BRIDGE RD
COOPER CITY, FL 33026

NIXIE 333 TE 1 0004/12/17

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 32606660204 *1638-05114-07-48

.. 9327089925 446095

UTF
32606-1600



Neighborhood Meeting - Sign-in-Sheet

Location: Alachua County Library Headquarters Branch (Downtown) - Foundation Room
401 E. University Avenue, Gainesville, FL 32601

2404 NW 43rd Street, Gainesville, FL 32606 • Phone: (352) 373-3541 • Fax: (352) 373-7249 • www.edafl.com



engineers • surveyors • planners, inc.

Neighborhood Meeting Minutes

Project: Special Use Permit and Site Plan located at 1105-1131 W. University Avenue

Meeting Date & Time: April 24, 2017 @ 6:00pm

Location: Alachua County Library Headquarters (Downtown) - Foundation Room
401 E. University Avenue, Gainesville, FL 32601

Community Participants: 6

Attendees: As listed on attached Sign-in-Sheet

Project Representatives:

Engineer/Planner: Sergio Reyes, PE - eda

Development Team: Tom Harrington, Andrew Redner, and Dan Floberg - Core Spaces

Meeting Minutes:

- Sergio Reyes began the meeting by introducing the project as Hub on Campus and describing eda's role in the project. He then described details about the location of the project site and the intended development plans. Attendees were then welcomed to ask questions and make comments:

Q: What is the unit mix?

A: Still working on the specifics, but the current plan is to include micro-units/studios, 1 bedrooms, and 2 bedrooms. Tom Harrington added that 3 and 4 bedroom units could also be included based on their typical projects.

Q: Is this development geared specifically to UF students?

A: Yes, students and young professionals.

Q: How many parking spaces are being provided?

A: There will be about 99 parking spaces, 63 in a parking garage and 34 in a lot at the rear of the building.

Q: What is the square footage of the retail spaces?

A: The retail and restaurant spaces will total around 7,400 square feet.

Q: How many stories will the building be?

A: 8 stories total, including parking levels.

Q: Is the City requiring this to be mixed-use?

A: Yes, but it would have been developed/designed that way regardless to suit the location.

Q: When is construction expected to start?

A: If all goes as expected with permitting, construction should begin in November this year.

Q: What is the square footage of the micro-units?

A: Tom Harrington - the micro-units should be about 350 to 450 square feet.

Q: Will there be swimming and typical amenities?

A: Tom Harrington - Yes, typical amenities in apartment communities will be included, like clubhouse, workout room, and a pool on the fourth floor at the rear of the building.

Q: Is this development being modeled on another building?

A: Tom Harrington - Somewhat. Core Spaces has some typical building styles that will be incorporated into this project.

- End of Meeting Minutes -

The following questions were asked by phone before the Neighborhood Workshop. The callers are neighboring property owners who could not attend the meeting. Stephanie Sutton of eda fielded the phone calls at eda's office.

Caller: Greg - 352-514-2039, greg@beaconcms.com

Q: Is anything being built in the parking area? What type of building will it be? How many stories?

A: There is no new development in the rear parking area, it will remain parking. This will be a mixed-use, 8-story building.

Caller: Wanda Lewis for Lewis family, owners of Chevron gas station nearby.

Q: What type of project is this? Will it include a gas station?

A: This will be a mixed-use building. There is no gas station being built here.

Caller: Barbara Haynes, M&R Enterprises

Q: What was the outcome of the Neighborhood Workshop?

A: We informed the attendees about the project, which is an 8-story mixed-use building. We will be submitting to the City soon, so you should receive another notice for a public hearing regarding the Special Use Permit.



PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

PLANNING DIVISION
PO Box 490, Station 12
Gainesville, FL 32627-0490
P: (352) 334-5023
F: (352) 334-3259

PUBLIC NOTICE SIGNAGE AFFIDAVIT

Petition Name HUB ON CAMPUS (1105-1131 W. UNIVERSITY AVE)
Applicant (Owner or Agent) eda engineers · surveyors · planners, inc
Tax parcel(s) 13215, 13216, 13217 + 13218

Being duly sworn, I depose and say the following:

1. That I am the owner or authorized agent representing the application of the owner and the record title holder(s) of the property described by the tax parcel(s) listed above;
2. That this property constitutes the property for which the above noted petition is being made to the City Of Gainesville;
3. That this affidavit has been executed to serve as posting of the "Notice of Proposed Land Use Action" sign(s) which describes the nature of the development request, the name of the project, the anticipated hearing date, and the telephone number(s) where additional information can be obtained. In addition, the applicant has securely posted the sign(s) on the property along each street frontage, at intervals of not more than four hundred (400) feet, and set back no more than ten (10) feet from the street and visible from the street. If the property does not abut a public right-of-way, signs have been placed at the nearest public right-of-way with an indication of the location of the subject property.
4. That the applicant has posted the sign(s) at least fifteen (15) days prior to the scheduled public hearing date; or for Historic Preservation Certificate of Appropriateness applications, at least ten (10) days prior to the scheduled public hearing date.
5. That the applicant shall maintain the signs(s) as provided above until the conclusion of the development review and approval process and that the signs shall be removed within ten (10) days after the final action has been taken on the development application.
6. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

7. _____
8. Melissa Watson
Applicant (signature)

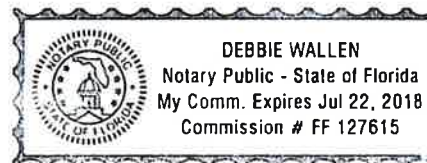
Melissa Watson
Applicant (print name)

STATE OF FLORIDA,
COUNTY OF ALACHUA

Before me the undersigned, an officer duly commissioned by the laws of the State of Florida, on this 11th day of July, 2017, personally appeared who having been first duly sworn deposes and says that he/she fully understands the contents of the affidavit that he/she signed.

Debbie Wallen Notary
Public
My Commission expires: 7-22-18

RECORDING SPACE



Form revised on March 11, 2014. Form location: <http://www.cityofgainesville.org/PlanningDepartment.aspx>

FOR OFFICE USE ONLY

Petition Number _____ Planner _____

CITY OF GAINESVILLE

NOTICE

OF PROPOSED

LAND USE ACTION

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:
A REQUEST FOR A SITE PLAN AND SPECIAL USE PERMIT FOR
AN 8 STORY MIXED USE BUILDING WITH 125 DW/ACRE IN
UM-12 ZONING AND RELATED SURFACE PARKING ON PARCEL
13221, ZONED RH-1

WHEN: July 27, 2017 @ 630 PM

WHERE: CITY HALL
100 E UNIVERSITY AVE

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023
Additional details will be posted on our website prior to the meeting.
Please visit us at www.cityofgainesville.org/planningdepartment

CITY OF GAINESVILLE
NOTICE
OF PROPOSED
LAND USE ACTION

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:
A REQUEST FOR A SITE PLAN AND SPECIAL USE PERMIT
FOR AN 8 STORY MIXED USE BUILDING WITH 125 DU/ACRE IN
UMUG ZONING AND RELATED SURFACE PARKING ON PARCE
13221, ZONED RH-1

WHEN: JULY 27, 2017 @ 630 pm

WHERE: CITY HALL
500 E. UNIVERSITY

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023
Additional details will be posted on our website prior to the meeting.
Please visit us at www.cityofgainesville.org/planningdepartment

CITY OF GAINESVILLE
NOTICE
OF PROPOSED
LAND USE ACTION

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:
A REQUEST FOR A SITE PLAN AND SPECIAL USE PERMIT
FOR AN 8 STORY MIXED USE BUILDING WITH 125 DUs/ACRE w/
UNMIXED ZONING AND RELATED SURFACE PARKING ON PARCEL
13021, ZONING RH-1.

WHEN: July 27, 2017 @ 6:30pm WHERE: CITY HALL
1000 E. UNIVERSITY AVE

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023
Additional details will be posted on our website prior to the meeting.
Please visit us at www.cityofgainesville.org/planningdepartment

CITY OF GAINESVILLE
NOTICE
OF PROPOSED
LAND USE ACTION

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:
A REQUEST FOR A SITE PLAN AND SPECIAL PERMIT
FOR AN 8 STORY MIXED USE BUILDING WITH 125 du/ACRE
IN UM1A2 ZONING AND Related Surface Parking ON PARCEL
13221, ZONED RA-1

WHEN: July 27 @ 630pm

WHERE: City Hall

200 E UNIVERSITY AVE

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023
Additional details will be posted on our website prior to the meeting.
Please visit us at www.cityofgainesville.org/planningdepartment

CITY OF GAINESVILLE
NOTICE
OF PROPOSED
LAND USE ACTION

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:
A REQUEST FOR A SITE PLAN AND SPECIAL USE PERMIT
FOR AN 8 STORY MIXED USE BUILDING WITH 125 DU/ACRE IN
U/MU-2 ZONING AND RELATED SURFACE PARKING ON
PARCEL 13221, ZONED RH-1.

WHEN: July 27, 2011 @ 6:30 pm

WHERE: CITY HALL
200 E UNIVERSITY AVE

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023
Additional details will be posted on our website prior to the meeting.
Please visit us at www.cityofgainesville.org/planningdepartment

Appendix E

Staff Conditions

Department Review Status Report

Project Name: PB-17-60 SUP (Hub on Campus)

Location: 1100 block of W. University Avenue, south side, between SW 10th Street and SW 12th

Subject: Staff Conditions, City Plan Board, July 27, 2017

Department	Status	Reviewer Comments
Building Coordinator	Approved	
Environmental	Approved	
Gainesville Fire Rescue Department	Approved	Approved
Gainesville Police Department	Corrections Required	Lighting on stairs and landings? Some minor light trespass.
GRU New Services Department	Corrections Required	See checklist, need Utility Agreement and Electric Conduit Installation agreement.
Electric East	Corrections Required	Minor corrections are required. Please refer to previous comments in regards of the single phase primary conduits. Thanks.
Gas	Approved	Please add note to Sheet C4.00 concerning with the stacking of the gas meters due to the lack of horizontal space. Rand Larsen, GRU Energy Delivery Gas Division. Ph.#: (352) 334-6046. Date 6.29.17
GRUCom	Assign Only	
GRUCom	Approved	Curtis Spencer will be completing this plan review for GRUCom.
GRUCom	Assign Only	
GRUCom	Assign Only	
GRUCom	Approved	a scheduled service outage must take place prior to removing the overhead FOCs along Alligator Alley - contact Michael Chappell @ 352-393-6923 for cost and scheduling.
Real Estate	Corrections Required	
Right of Way Permit - GRU Real Estate	Approved	No joint R/W permit is required
Water-Waste Water	Corrections Required	
Water-Waste Water	Corrections Required	
Planners	Corrections Required	
Public Works - Design	Corrections Required	See comments on Level 1 sheet.
Public Works Constructability	Approved	
Public Works Solid Waste	Approved	
Public Works Stormwater	Approved	
Public Works Survey	Approved	
Public Works Traffic Studies	Approved	
RTS	Approved	
Transportation Mobility	Approved for Board Review	<p>1. Please note that due to the location of the property within the University of Florida Context Area, this development must comply with the provisions of Transportation Mobility Element Policy 10.1.14, concerning new multi-family residential development funding capital transit costs associated with transit service needs. Payments shall be based on a proportionate share contribution toward the additional transit service enhancements needed to serve the proposed development in the RTS a.m. and p.m. peak hours to maintain existing service levels (frequencies). The payment will be based on the expected mode split of all development trips that will use transit.</p> <p>2. If the number of units and the number of bedrooms has changed, the minor traffic study may need to be modified to reflect the new numbers.</p>
Urban Forestry	Corrections Required	Thanks, Earline

Appendix F
Development Plan

SW 12TH ST
(LOCAL STREET)

W UNIVERSITY AVE.

(STOREFRONT STREET)

PROPERTY LINE N 88° 58'57" E 66.76'

N 88° 58'57" E 66.14'

N 88° 58'57" E 66.45'

N 88° 58'57" E 100.05'

CANTILEVERED BALCONY
ARCHITECTURAL CANOPY
FEATURE

CANTILEVERED BALCONY
ARCHITECTURAL CANOPY
FEATURE

PROPOSED 8-STORY BUILDING

T/FLAT ROOF APPROX. 95'-4"

8 STORIES

8 STORIES

LEVEL 2
COURTYARD

4 STORIES

4 STORIES

ROOFTOP AMENITY DECK

4 STORIES

4 STORIES

S 88° 58'43" W 66.53'

S 88° 58'43" W 66.53'

S 88° 58'43" W 66.53'

S 88° 58'43" W 99.70'

PROPERTY LINE

SW ALLIGATOR ALLEY

EDGE/PROPERTY LINE OF HISTORIC DISTRICT

EXISTING 2-STORY
BUILDING

EXISTING 3-STORY
BUILDING

EXISTING 1-STORY
BUILDING

EXISTING SURFACE
PARKING LOT

1

SITE PLAN

SCALE: 3/32" = 1'-0"

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NOTIFY THE ARCHITECT IMMEDIATELY OF ANY
DISCREPANCIES OR CONFLICTS.

DRAWN BY Author

CHECKED BY Checker

PROJECT ARCH Approver

NO	DATE	DESCRIPTION
1	06.05.2017	City/GRU Submittal
2	06.19.2017	City/GRU Resubmittal

**PRELIMINARY
NOT FOR
CONSTRUCTION**

HUB ON CAMPUS -
GAINESVILLE

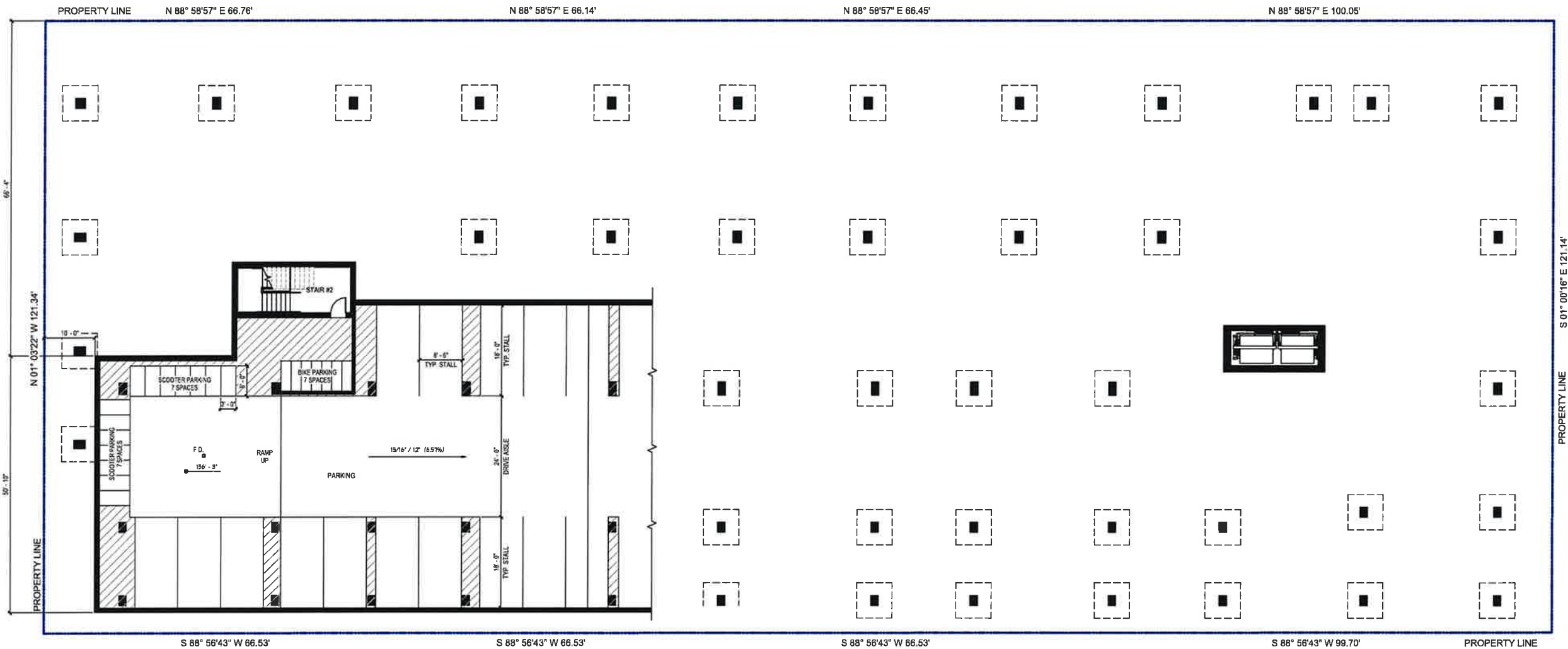
1105 - 1131 W
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GAINESVILLE, FL



630 DAVIS STREET 5TH FLOOR
EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.9294
FACSIMILE 847.440.9295

JOB NO
17006
DATE
06.19.2017

SITE PLAN
A00



1 BASEMENT PLAN
A01 SCALE: 3/32" = 1'-0"

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DRAWN BYAuthor

CHECKED BYChecker

PROJECT ARCHApprover

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TELEPHONE 847.440.8994
FACSIMILE 847.440.8295

JOB NO
17006
DATE
06.19.2017

BASEMENT
LEVEL

A01

W UNIVERSITY AVE.
(STOREFRONT STREET)

SW 12TH ST
(LOCAL STREET)

SW ALLIGATOR ALLEY

EDGE/PROPERTY LINE OF HISTORIC DISTRICT

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PROJECT ARCH Approver

NO DATE DESCRIPTION

1 05.06.20 City/GRU Submittal

2 06.19.20 City/GRU Resubmittal

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EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8294
FAX/EMAIL 847.440.8295

JOB NO
17006
DATE
06.19.2017

GROUND LEVEL
A02

1 GROUND LEVEL PLAN
A02 SCALE: 3/32" = 1'-0"

SW 12TH ST
(LOCAL STREET)

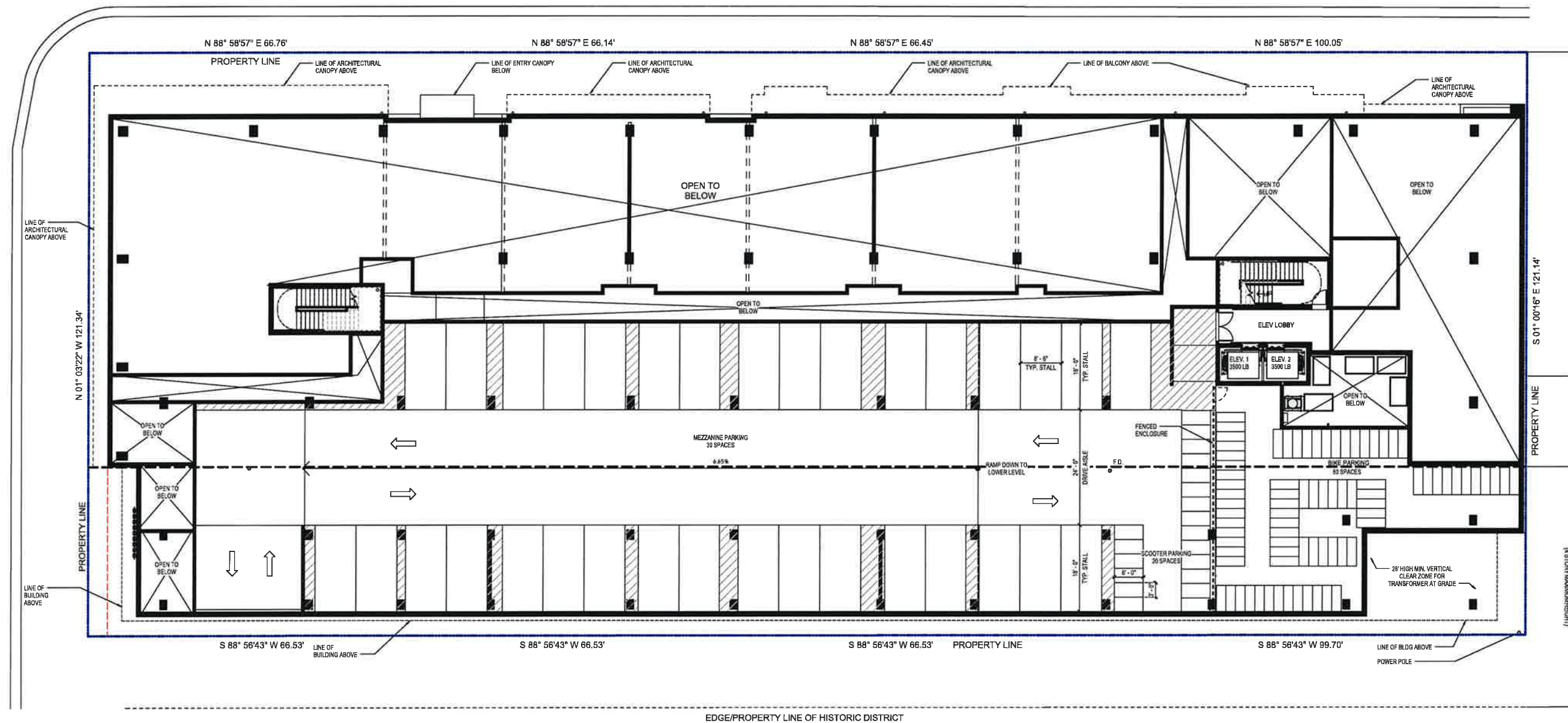


1
A02

GROUND LEVEL PLAN
SCALE: 3/32" = 1'-0"

[illegible]

GROUND LEVEL **A02**



1 LEVEL 1 MEZZANINE PLAN
A03 SCALE: 3/32" = 1'-0"

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CHECKED BY	Checker
PROJECT ARCH	Approver

NO	DATE	DESCRIPTION
1	05.05.2017	CityGRU Submittal
2	06.19.2017	CityGRU Resubmittal

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JOB NO
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DATE
06.19.2017

LEVEL 1M
A03

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Contractor shall verify all existing conditions prior to proceeding with construction and notify the architect immediately of any discrepancies or conflicts.

DRAWN BY

Author

CHECKED BY

Checker

PROJECT ARCH

Approver

NO	DATE	DESCRIPTION
1	05.05.2017	City/GRU Submittal
2	06.19.2017	City/GRU Resubmittal

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HUB ON CAMPUS -
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GAINESVILLE, FL

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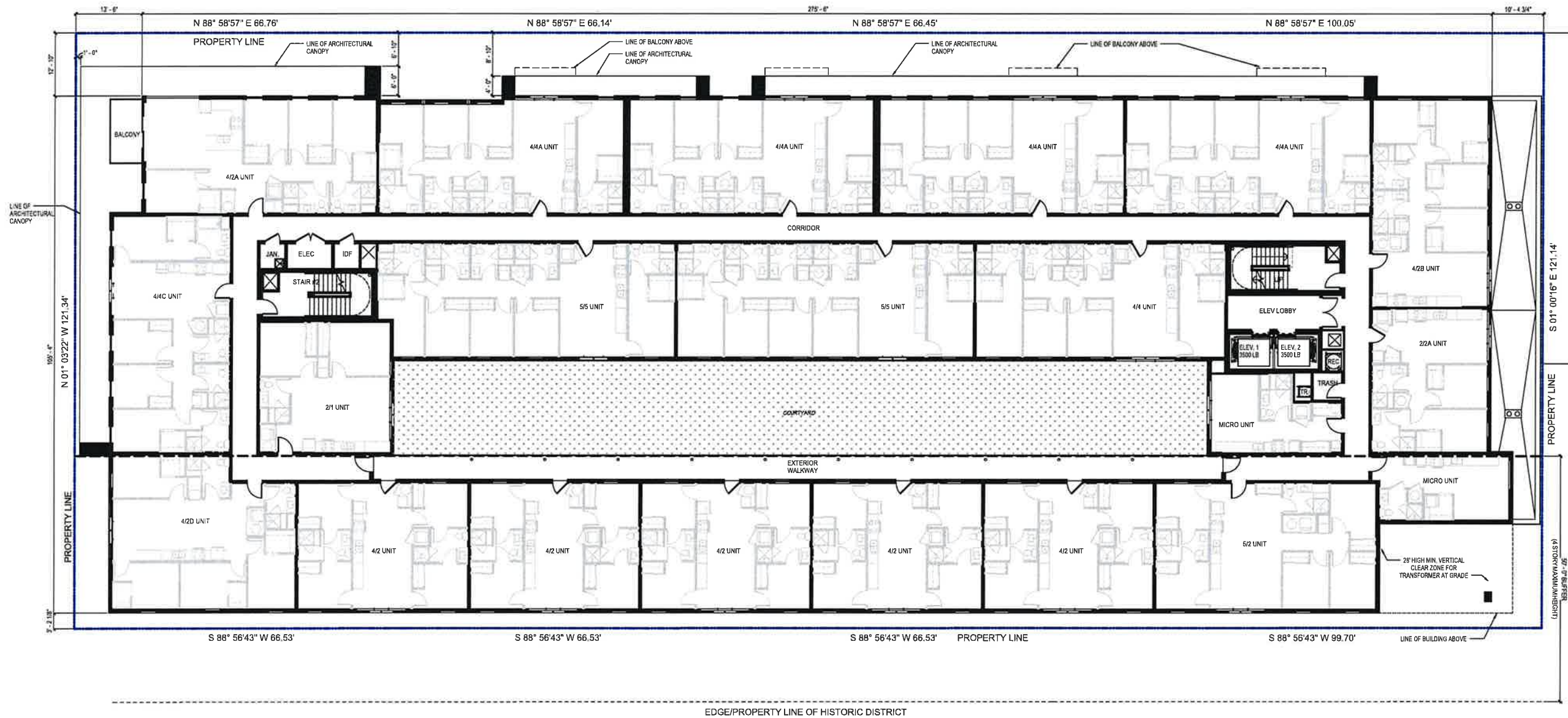
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JOB NO
17006
DATE
06.19.2017

LEVEL 2

A04



1 LEVEL 2 PLAN
A04 SCALE: 3/32" = 1'-0"

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CHECKED BY		Checker
PROJECT ARCH		Approver
NO	DATE	DESCRIPTION
1	05.05.2017	City/GRU Submittal
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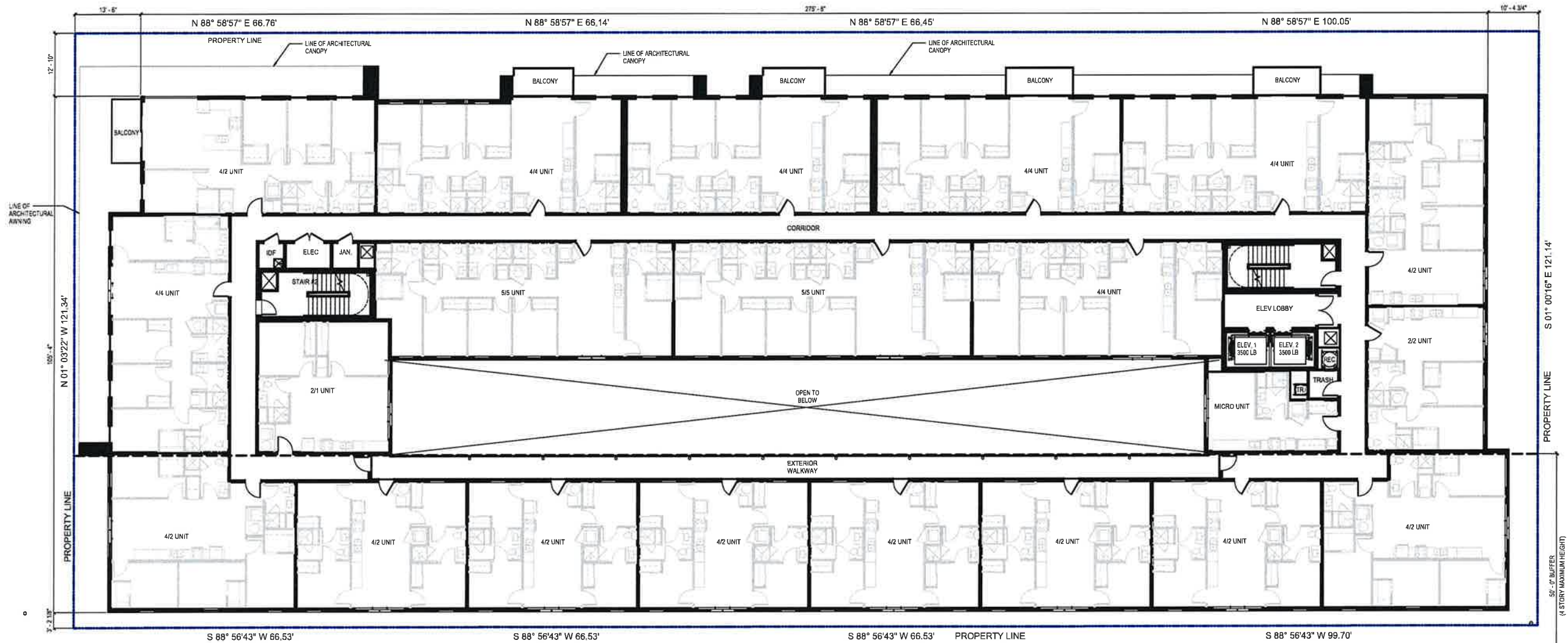
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EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8394
FAX/IMILIE 847.440.8395

JOB NO
17006
DATE
06.19.2017

LEVELS 3-4
A05



EDGE/PROPERTY LINE OF HISTORIC DISTRICT

1 LEVELS 3-4 PLAN
A05 SCALE: 3/32" = 1'-0"

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PROJECT ARCH		Approver
NO	DATE	DESCRIPTION
1	05.05.2017	City/GRU Submittal
2	06.19.2017	City/GRU Resubmittal

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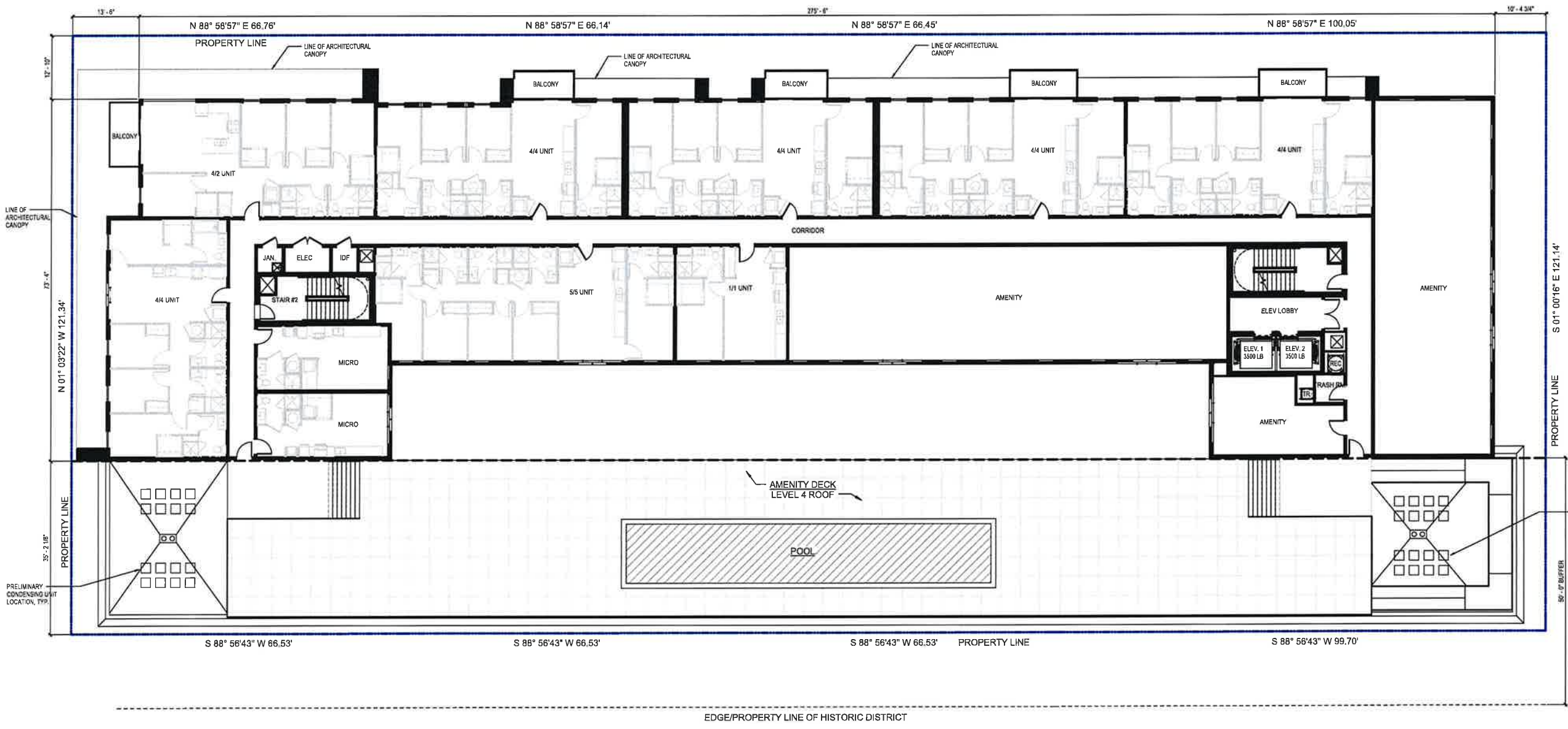
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ARCHITECTS**

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EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8334
FACSIMILE 847.440.8335

	JOB NO
	17006
	DATE
	06.19.2017
LEVEL 5	A06



1 LEVEL 5 PLAN
A06 SCALE: 3/32" = 1'-0"

APPROVALS

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

DRAWN BY		Author
CHECKED BY		Checker
PROJECT ARCH		Approver
NO	DATE	DESCRIPTION
1	05.05.2017	CityGRU Submittal
2	06.19.2017	CityGRU Resubmittal

PRELIMINARY
NOT FOR
CONSTRUCTION

HUB ON CAMPUS -
GAINESVILLE

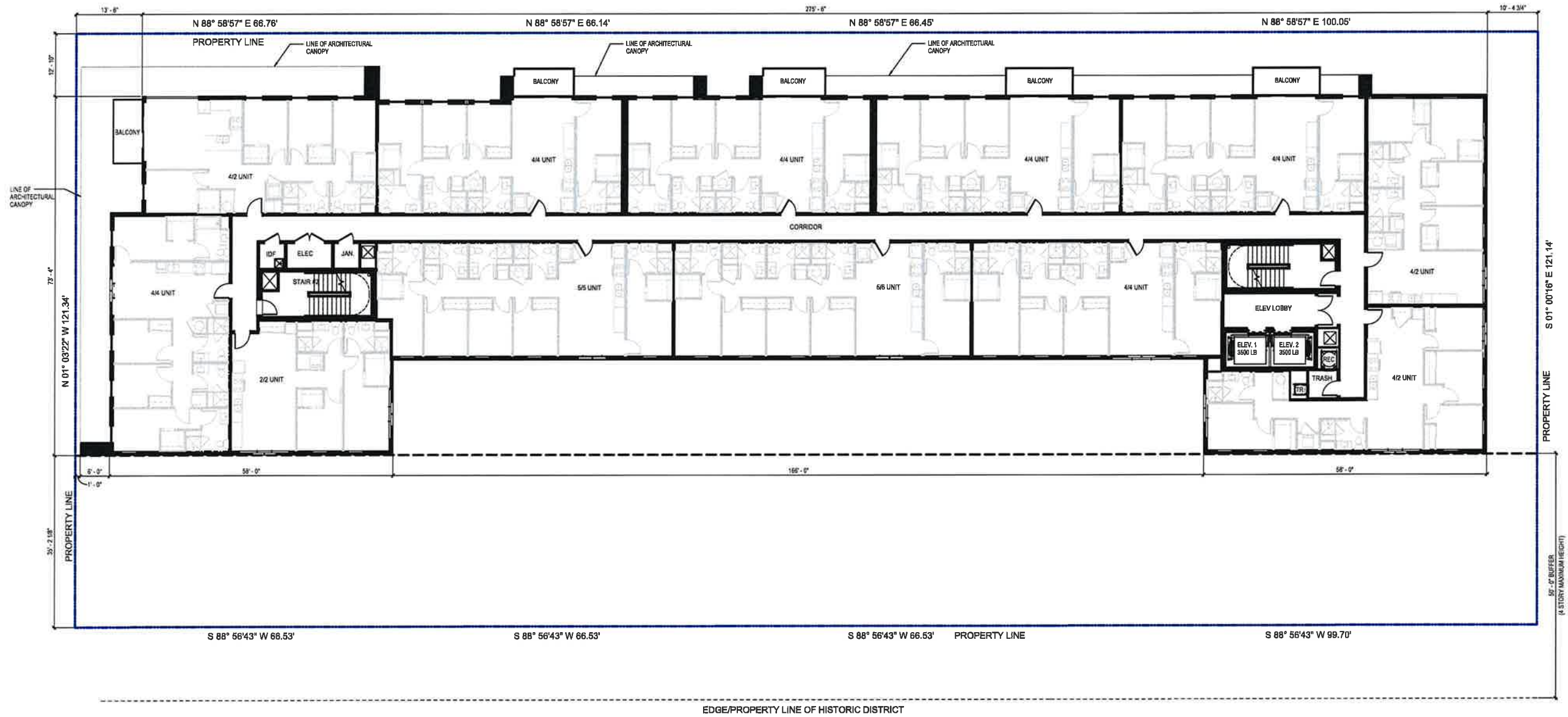
1105 - 1131 W
UNIVERSITY AVE.
GAINESVILLE, FL



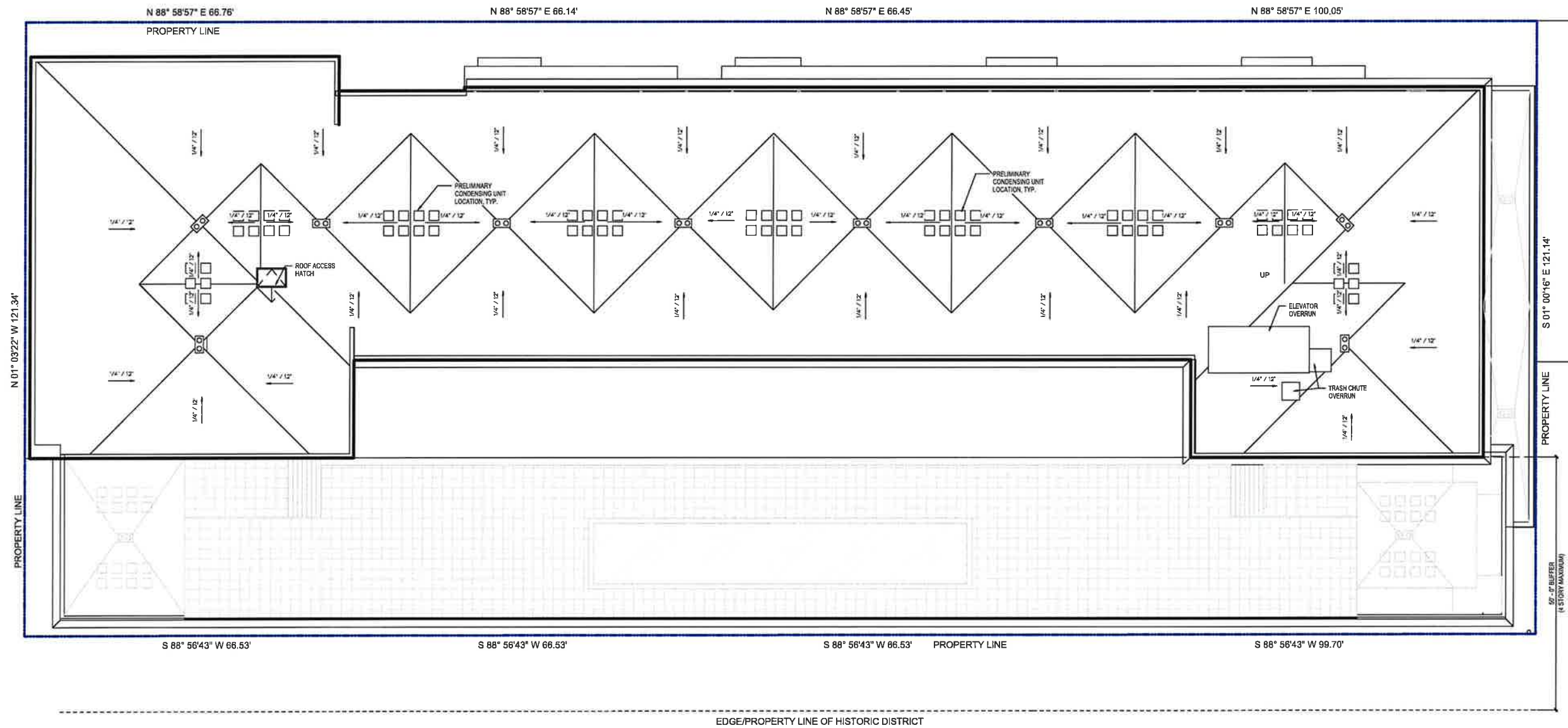
630 DAVIS STREET 5TH FLOOR
EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8894
FAX/IMILIE 847.440.8895

JOB NO	17006
DATE	06.19.2017

LEVELS 6-8
A07



1 LEVELS 6-8 PLAN
A07 SCALE: 3/32\"/>



1 ROOF PLAN
A08 SCALE: 3/32" = 1'-0"

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HUB ON CAMPUS -
GAINESVILLE

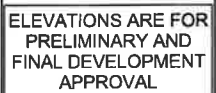
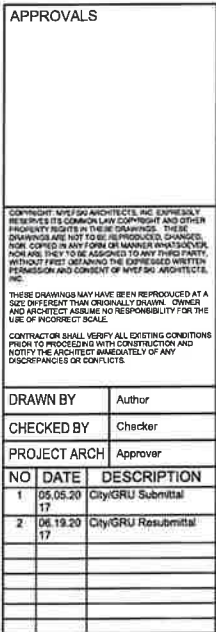
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**MYEFSKI
ARCHITECTS**

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FACSIMILE 847.440.8295

JOB NO
17006
DATE
06.19.2017

ROOF PLAN
A08



**HUB ON CAMPUS -
GAINESVILLE**

1105 - 1131 W
UNIVERSITY AVE.
GAINESVILLE, FL

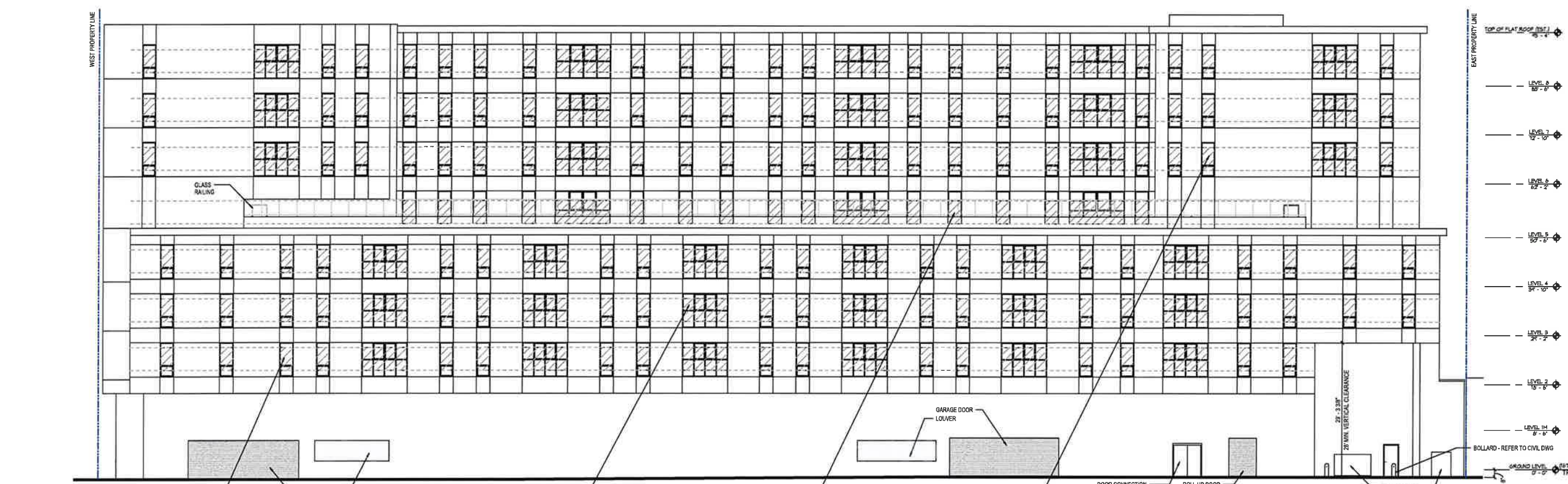


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JOB NO
17006

06.19.2017

BLDG
ELEVATIONS



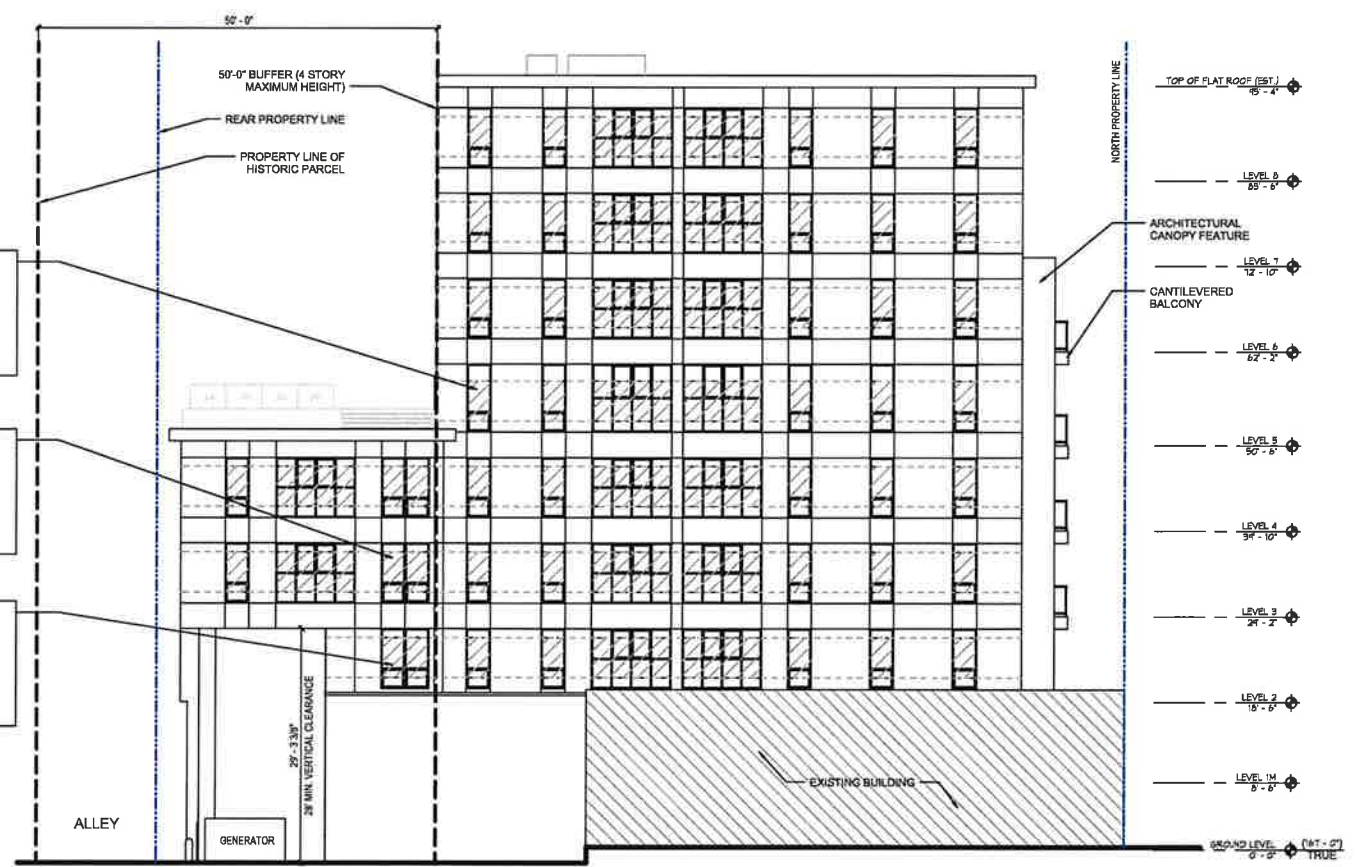
LEVEL 2
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 1435 SF
GLAZED AREA = 548 SF
GLAZED PERCENTAGE = 37.6%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

LEVELS 3-4
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 1435 SF
GLAZED AREA = 570 SF
GLAZED PERCENTAGE = 39.7%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

LEVEL 5
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 1410 SF
GLAZED AREA = 390 SF
GLAZED PERCENTAGE = 27.7%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

LEVELS 6-8
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 1410 SF
GLAZED AREA = 580 SF
GLAZED PERCENTAGE = 41.1%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

1 SOUTH (ALLIGATOR ALLEY) EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



LEVELS 6-8
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 365 SF
GLAZED AREA = 175 SF
GLAZED PERCENTAGE = 47.9%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

LEVELS 3-4
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 525 SF
GLAZED AREA = 270 SF
GLAZED PERCENTAGE = 51.4%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

LEVEL 2
BUILDING FACADE AREA BETWEEN 3'-0" AND 8'-0" = 525 SF
GLAZED AREA = 205 SF
GLAZED PERCENTAGE = 38.0%
MIN. REQUIRED = 20%
NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

2 EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

APPROVALS

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ELEVATIONS ARE FOR PRELIMINARY AND FINAL DEVELOPMENT APPROVAL

HUB ON CAMPUS - GAINESVILLE

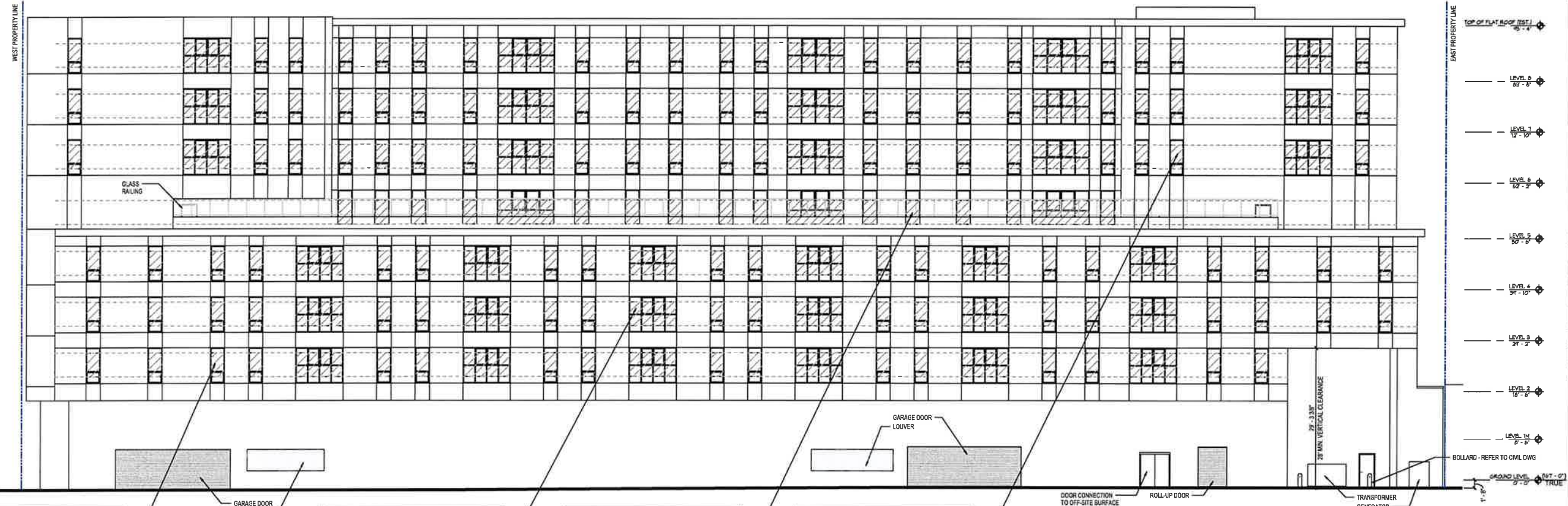
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MYEFSKI ARCHITECTS

630 DAVIS STREET 8TH FLOOR
EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8394
FACSIMILE 847.440.8399

JOB NO	17006
DATE	06.19.2017

BLDG ELEVATIONS	A21
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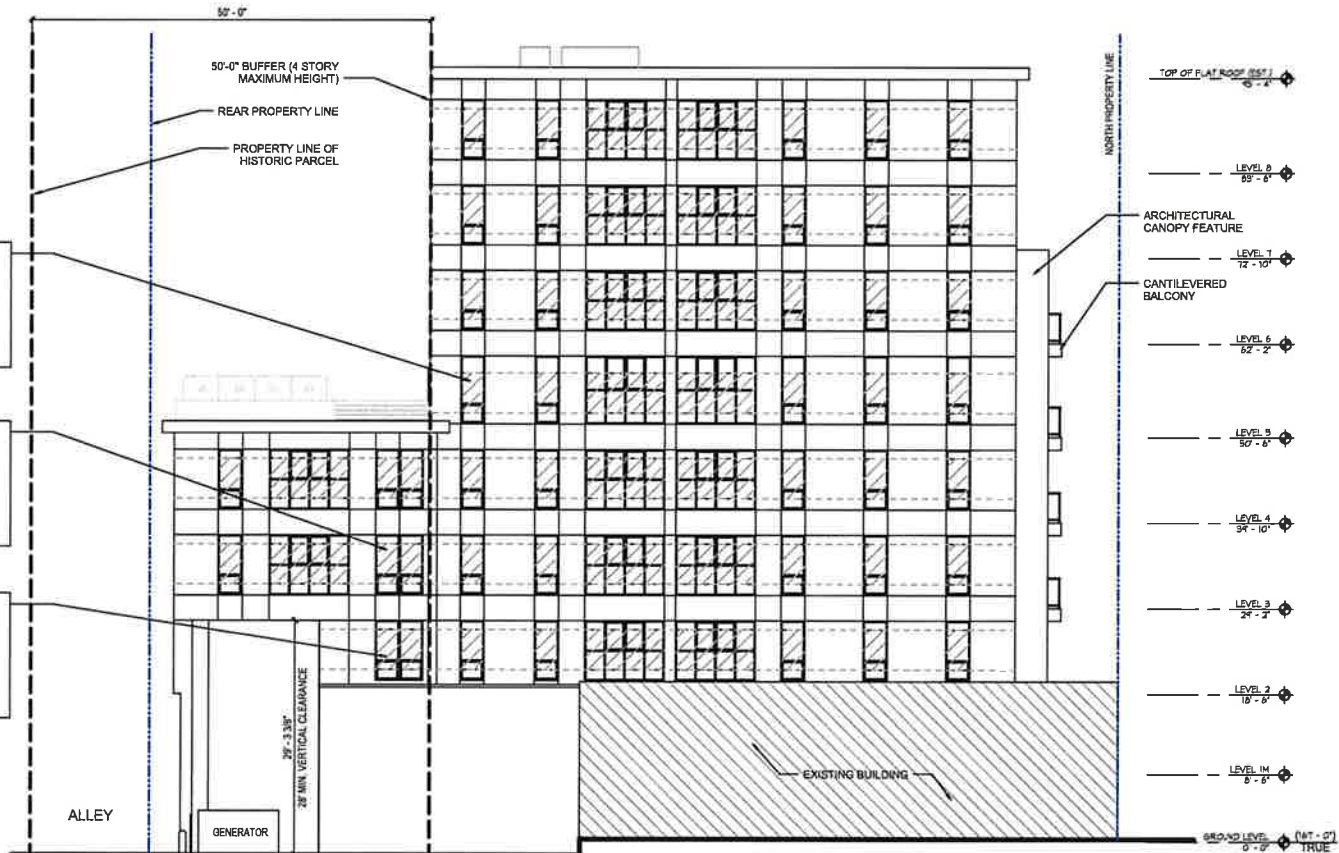
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LEVELS 6-7
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GLAZED AREA = 580 SF
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NOTE: ALL GLAZING TO HAVE MINIMUM 80% TRANSPARENCY

1 SOUTH (ALLIGATOR ALLEY) EXTERIOR ELEVATION
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2 EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

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DRAWN BY

Author

CHECKED BY

Checker

PROJECT ARCH

Approver

NO

DATE

DESCRIPTION

1

05.05.20

City/GRU Submittal

2

06.19.20

City/GRU Resubmittal

ELEVATIONS ARE FOR
PRELIMINARY AND
FINAL DEVELOPMENT
APPROVAL

HUB ON CAMPUS -
GAINESVILLE

1105 - 1131 W
UNIVERSITY AVE.
GAINESVILLE, FL

630 DAVIS STREET | 5TH FLOOR
EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8294
FACSIMILE 847.440.8295

JOB NO

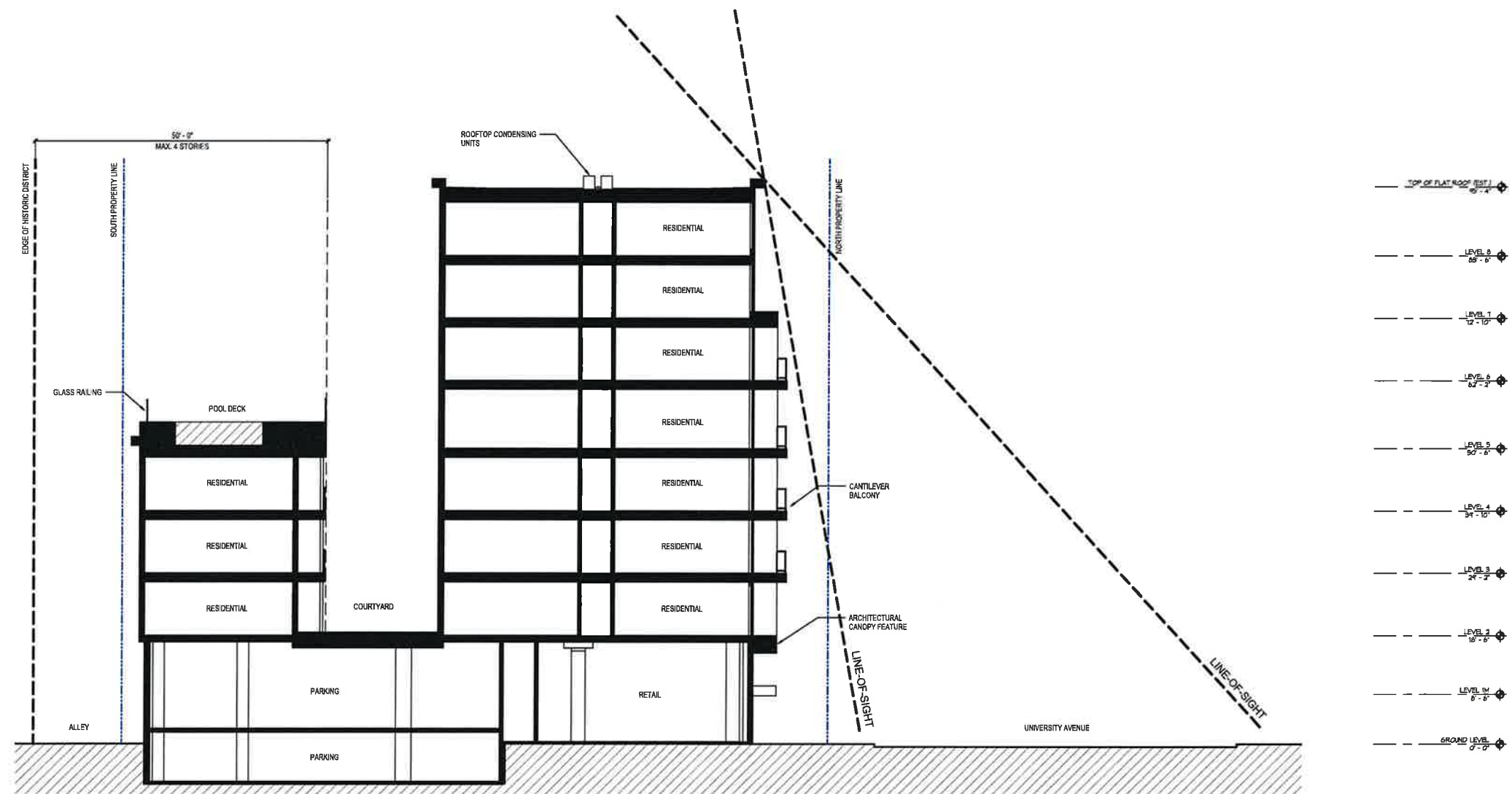
17006

DATE

06.19.2017

BLDG
ELEVATIONS

A21



1
A22
N/S BUILDING SECTION WITH ROOFTOP EQUIPMENT LINE
OF SIGHT
SCALE: 3/32" = 1'-0"

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2	06.19.2017	CityGRU Resubmittal

PRELIMINARY
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HUB ON CAMPUS -
GAINESVILLE

1105 - 1131 W
UNIVERSITY AVE.
GAINESVILLE, FL



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ARCHITECTS

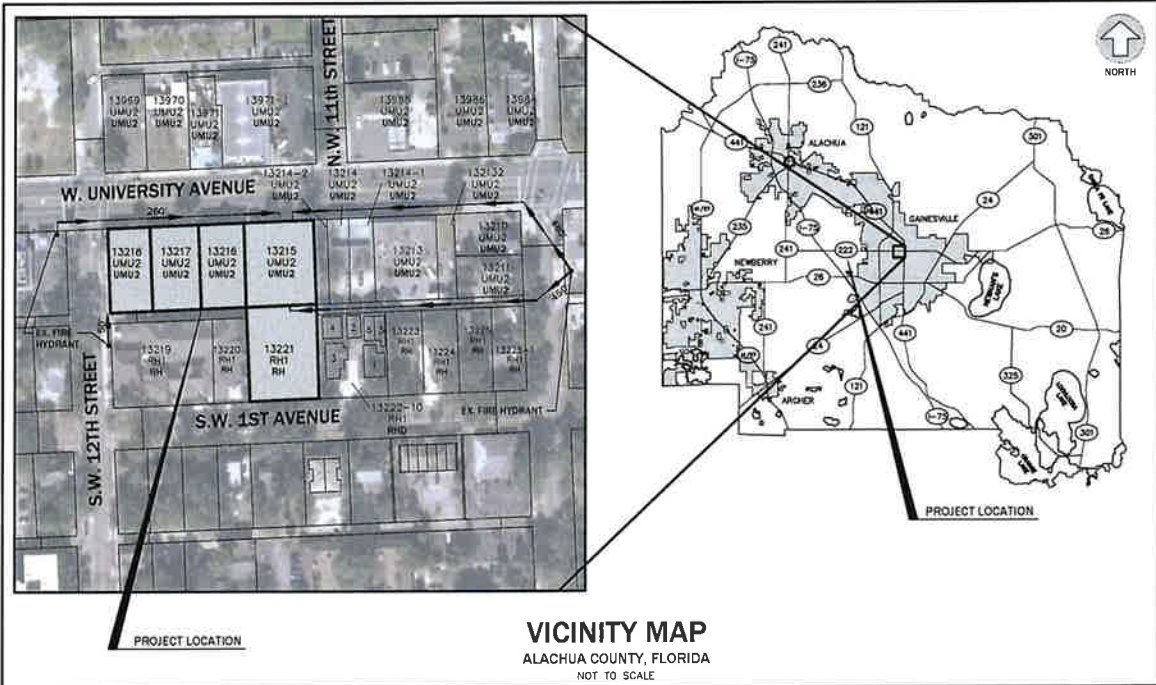
630 DAVIS STREET | 5TH FLOOR
EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8294
FACSIMILE 847.440.8295

SECTIONS	JOB NO 17006
	DATE 06.19.2017
	A22

HUB ON CAMPUS

CITY OF GAINESVILLE, FLORIDA

DEVELOPMENT INFORMATION		
1.	PROJECT OWNER:	GAMBLE TRUSTEE & MARTIN, TRUST TENCH PROPERTY, LLC BRW ENTERPRISES INC. SMC LLC
2.	NAME OF PROJECT:	HUB ON CAMPUS
3.	PROJECT DESCRIPTION:	8 STORY MIXED USE DEVELOPMENT WITH 109 RESIDENTIAL UNITS, 9 COMMERCIAL UNITS WITH ASSOCIATED PARKING AND UTILITY IMPROVEMENTS
4.	PROJECT ADDRESS:	1105-1131 W UNIVERSITY AVE
5.	TAX PARCEL NUMBER:	13218-000 13217-000 13216-000 13215-000 & 13221-000
6.	SECTION/TOWNSHIP/RANGE:	SECTION 05, TOWNSHIP 10 SOUTH, RANGE 20 EAST
7.	ZONING:	URBAN MIXED USE 2 (UMU2), 13221: RESIDENTIAL HIGH DENSITY (RH1)
8.	FUTURE LAND DESIGNATION:	URBAN MIXED USE, 13221: RESIDENTIAL HIGH DENSITY
9.	ONLY PARCEL NO. 13221 RESIDES IN THE HISTORICAL AND UNIVERSITY HEIGHTS-SOUTH DISTRICTS.	
10.	THIS SITE IS LOCATED WITHIN THE UF CONTEXT AREA	
11.	THE STORMWATER SYSTEM WILL BE PERMITTED WITH THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT (SJRWD).	
12.	THIS PROJECT IS NOT AFFECTED BY THE GATEWAY, GREENWAY, SURFACE WATER, WELL FIELD OR NATURE PARK DISTRICTS.	
13.	THIS SITE IS LOCATED IN ZONE A OF THE MOBILITY PROGRAM AREA (TMPA) AND WILL COMPLY WITH THE APPLICABLE PROVISIONS OF TRANSPORTATION MOBILITY ELEMENT POLICIES 10.1.4 AND 10.1.14. BY MAKING A PAYMENT TO THE CITY.	
14.	NO SPECIAL FIRE PROTECTION CONCERNS ARE PROPOSED ON THIS BUILDING. THE BUILDING SHALL BE SPRINKLERED AND SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.	
15.	THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.	
16.	TRASH AND RECYCLING WILL BE LOCATED IN A TRASH ROOM WITH ROLL UP DOOR INTERNAL TO THE PROPOSED BUILDING.	
17.	FIRE HYDRANTS AND STABILIZED SURFACES MUST BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE. SEE VICINITY MAP (THIS SHEET) FOR FIRE HYDRANT LOCATIONS.	
18.	PROPOSED UNITS ARE NOT COVERED UNITS BY THE FAIR HOUSING ACT.	
19.	IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IN NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ.	
20.	THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION PER GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16).	
21.	NON-RESIDENTIAL UNITS WILL BE SUBJECT TO THE REQUIREMENTS OF THE UMU-2 ZONING DISTRICT	



LEGEND:

ZONING:	
UMU2	- URBAN MIXED USED 2
RH1	- RESIDENTIAL HIGH DENSITY

FUTURE LAND USE:	
UMU2	- URBAN MIXED USE
RHD	- RESIDENTIAL HIGH DENSITY

BUILDING INFORMATION

BUILDING HEIGHT:	95'-4"
SPRINKLERED:	NFPA 13
OCCUPANCY CLASS:	GROUND FLOOR: MIXED A-2, M, S-2 MEZZANINE: S-2 LEVELS 2-4, 6-8: R-2 LEVEL 5: MIXED USE A-3, R-2
CONSTRUCTION TYPE:	IIB (ALL LEVELS)
BUILDING AREA:	
BASEMENT	4,625 SF
1st FLOOR	30,034 SF
2nd FLOOR (27 UNITS)	25,184 SF
3rd FLOOR (27 UNITS)	25,445 SF
4th FLOOR (27 UNITS)	25,445 SF
5th FLOOR (10 UNITS)	17,286 SF
6th FLOOR (15 UNITS)	17,298 SF
7th FLOOR (15 UNITS)	17,298 SF
8th FLOOR (15 UNITS)	17,298 SF
TOTAL BUILDING AREA UNDER ROOF:	191,829 SF
GROSS FLOOR AREA:	
BASEMENT	0 SF
1st FLOOR	16,714 SF
2nd FLOOR (27 UNITS)	2,065 SF
3rd FLOOR (27 UNITS)	24,821 SF
4th FLOOR (27 UNITS)	24,821 SF
5th FLOOR (10 UNITS)	12,237 SF
6th FLOOR (15 UNITS)	16,674 SF
7th FLOOR (15 UNITS)	16,674 SF
8th FLOOR (15 UNITS)	16,674 SF
TOTAL GROSS FLOOR AREA:	153,175 SF
UMU-2 (WITH SUP) DENSITY ALLOWED:	125 UNITS/ACRE
RH1 DENSITY ALLOWED:	20 UNITS/ACRE
ALLOWABLE DENSITY = 0.83*(125) + 0.28*(20) = 109 UNITS	
NUMBER OF PROPOSED STORIES:	BUILDING IS EIGHT STORIES

FOR REVIEW ONLY

GRU NOTES

- CERTIFICATION BY ENGINEER-OF-RECORD THAT WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS ARE IN ACCORDANCE WITH GRU DESIGN STANDARDS.
- ELECTRIC DESIGN PROVIDED BY GRU ENERGY DELIVERY.

NOTES:

- NOTIFY GRU WASTEWATER ENGINEERING 48 HOURS PRIOR TO CONSTRUCTION @ 352-393-1633 IF PROPER NOTIFICATION IS NOT MADE CONTRACTOR SUBJECT TO BE SHUT DOWN.
- NOTIFY GRU ELECTRIC INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION @ 352-339-0430 IF PROPER NOTIFICATION IS NOT MADE CONTRACTOR SUBJECT TO BE SHUT DOWN.

TRIP GENERATION - HUB ON CAMPUS										
	Size	Type	ITE Code	Daily	AM Enter	AM Exit	AM Total	PM Enter	PM Exit	PM Total
Leasing Office / Lobby	2,520	Square Feet	710	28	4	0	4	1	3	4
Retail	9,535	Square Feet	820	407	6	3	9	17	18	35
Student Housing	411	Beds	FDOT Study	1636	63	64	127	63	64	127
Gross Total				2071	73	67	140	81	86	168
Internal Capture (Only & AM Peak: 4%, PM Peak: 5%)				92	3	3	6	4	4	8
Gross Total				1979	70	64	134	77	81	158
Pass-By Retail (34%)				133	0	0	0	5	6	11
Gross Total				1846	70	64	134	72	75	147
Redevelopment Credit (25%)				461	18	16	34	18	19	37
Gross Total				1385	52	48	100	54	58	110
Transit Trip Credit (15%)				208	8	7	15	8	8	16
Net Total Trip Generation				1177	44	41	85	46	48	94

LEGAL DESCRIPTION

TAX PARCEL NO. 13218-000-000 (AS PER O.R. BOOK 4370, PAGE 2078)
ALL OF LOT 12 AND THE WEST 1/3 OF LOT 11, BLOCK 2 OF UNIVERSITY PLACE SUBDIVISION AS PER PLAT THEREOF RECORDED IN PLAT BOOK "A", PAGE 77, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SAID LOT 12 WHICH IS ALSO THE NORTHWEST CORNER OF SAID BLOCK 2; THENCE RUN EAST ALONG THE NORTH BOUNDARY LINE OF SAID BLOCK 2, 66.53 FEET; THENCE RUN SOUTH 121 FEET TO AN ALLEY; THENCE RUN WEST ALONG THE SOUTH BOUNDARY LINE OF SAID LOTS 11 AND 12, 66.53 FEET TO THE SOUTHWEST CORNER OF SAID LOT 12; THENCE RUN NORTH ALONG THE WEST BOUNDARY LINE OF SAID LOT 12, WHICH IS ALSO THE WEST BOUNDARY LINE OF SAID BLOCK 2, 121 FEET TO THE POINT OF BEGINNING.

TAX PARCEL NO. 13217-000-000 (AS PER O.R. BOOK 3495, PAGE 1301)

THE WEST TWO-THIRDS OF LOT TEN (10) AND THE EAST TWO-THIRDS OF LOT ELEVEN (11) IN BLOCK 2 OF UNIVERSITY PLACE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

TAX PARCEL NO. 13216-000-000 (AS PER O.R. BOOK 2169, PAGE 1362)

LOT 9 AND THE EAST 1/3 OF LOT 10, IN BLOCK 2, W. R. THOMAS REAL ESTATE COMPANY'S SUBDIVISION KNOWN AS UNIVERSITY PLACE, IN THE SOUTH 1/2 OF SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ACCORDING TO PLAT BOOK "A", AT PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

TAX PARCEL NOS. 13215-000-000 AND 13221-000-000 (AS PER O.R. BOOK 4408, PAGE 845)

LOTS SEVEN (7), EIGHT (8), SEVENTEEN (17) AND EIGHTEEN (18), OF BLOCK TWO (2), OF THE W.R. THOMAS REAL ESTATE COMPANY'S SUBDIVISION PORTION OF THE SOUTH 1/2 (S. 1/2) OF SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, KNOWN AS "UNIVERSITY PLACE" IN THE CITY OF GAINESVILLE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK "A", PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

CITY OF GAINESVILLE STORMWATER MANAGEMENT SUMMARY SHEET

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION B BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL RICK MELTZER, P.E. DEVELOPMENT REVIEW ENGINEER, AT 334-2051. YOUR HELP IS APPRECIATED.

I. GENERAL

A. SITE PLAN No.	E. PROJECT NAME:	HUB ON CAMPUS
B. TAX PARCEL No.	F. ADDRESS:	1105-1131 WEST UNIVERSITY AVE
C. TAX MAP No.		
D. FINAL SITE PLAN SIGN OFF:	INITIALS	

II. SITE INFORMATION

A. TOTAL IMPERVIOUS AREA ON SITE:		37,475	s.f.
B. STORMWATER MANAGEMENT BASIN DATA			
Basin No.	Retention Volume (cfs)	Retention Volume Surface Water Area (sqf)	Elevation At Which Surface Water Discharge Begins from Basin (ft-msl)
1	6,309	3,464	164.66
TOTAL	6,309	3,464	

NOTES:

- PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.
- RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.
- "RETENTION VOLUME SURFACE WATER AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.

PREPARED BY: SERGIO REYES
PETITIONER'S ENGINEER

DATE: 11/15/2016

IMPERVIOUS AREA CALCULATIONS				
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	ACREAGE (AC.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	48,362	1.11	100
2.	PROPOSED BUILDING COVERAGE:	30,034	0.69	62.37%
3.	PAVEMENT AND SIDEWALK AREA:	17,172	0.39	35.51%
4.	TOTAL IMPERVIOUS AREA:	47,335	1.09	97.88%
5.	OPEN AREA:	1,027	0.02	2.12%

PARKING CALCULATIONS				
#	DESCRIPTION	CRITERIA	REQUIRED	PROVIDED
1.	VEHICULAR PARKING	NONE REQUIRED	NONE REQUIRED	PARKING GARAGE - 85 REMOTE SURFACE LOT - 30 TOTAL SPACES - 95
2.	BICYCLE PARKING	1 SPA. FOR EVERY 3 BEDROOMS 1/2000 SF - NON-RESIDENTIAL	411 BEDROOMS/3 = 137 9,535 SF/2000 = 4.77 TOTAL SPA. = 142	PARKING GARAGE - 107 SURFACE - 36 (18 RACKS) TOTAL SPACES - 143
3.	HANDICAP PARKING	76-100 SPACES: 4 SPACES	4 SPACES	PARKING GARAGE - 2 SPA. REMOTE SURFACE LOT - 2 SPA.
4.	SCOOTER PARKING	1 PER 4 UNITS	109 UNITS*(1/4) = 27.25 SPACES	34 SPA.- PARKING GARAGE

DRAWING INDEX

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	LEGEND, SYMBOLS AND NOTES
C0.30	DEMOLITION PLAN
C1.00	DIMENSION PLAN
C2.00	PAVING, GRADING AND DRAINAGE
C2.20	UNDERGROUND STORAGE AND DETAILS
C3.00	STORMWATER POLLUTION PREVENTION PLAN
C3.10	EROSION DETAILS
C4.00	UTILITY PLAN
C4.10	UTILITY DETAILS
13215 V001-V003	TOPO SURVEY
13216 V001-V002	TOPO SURVEY
13217 V001-V002	TOPO SURVEY
13218 V001-V002	TOPO SURVEY
L	LANDSCAPE PLANS (BY OTHERS)
A	ARCHITECTURAL PLANS (BY OTHERS)
P01	METER ROOM PLANS (BY OTHERS)
E	PHOTOMETRIC PLANS (BY OTHERS)

EXISTING SYMBOLS & ABBREVIATIONS

C/L	=	CENTERLINE
amp	=	CORRUGATED METAL PIPE
CONC	=	CONCRETE
COR	=	CORNER
Δ	=	DELTA (CENTRAL) ANGLE
R	=	RADIUS
ARC	=	ARC
T	=	TANGENT
CB	=	CHORD BEARING
CD	=	CHORD DISTANCE
dp	=	DUCTILE IRON PIPE
ELEV	=	ELEVATION
ewmp	=	ELLIPTICAL CORRUGATED METAL PIPE
EL	=	ELLIPTICAL REINFORCED CONCRETE PIPE
IDENT	=	IDENTIFICATION
IN	=	INVERT
F&D.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
F.F.	=	FINISHED FLOOR
M.E.S.	=	MITERED END SECTION
No.	=	NUMBER
O.R.	=	OFFICIAL RECORDS BOOK
PAGES	=	PAGES
PVC	=	POLY-VINYL CHLORIDE
RCW	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT OF WAY
SEC 28-19	=	SECTION 28, TOWNSHIP 9 SOUTH, RANGE 19 EAST
TRANS	=	ELECTRICAL TRANSFORMER PAD
W	=	WITH
ANCH	=	QUY ANCHOR
OB	=	WATER BLOW OFF
OD	=	SANITARY CLEAN-OUT
FO	=	FOUND CONCRETE MONUMENT (size, ID)
FOH	=	FOUND DRILL HOLE
FOIP	=	FOUND IRON PIPE (size, ID)
FOD	=	FOUND NAIL & DISK (ID)
FOR	=	FOUND REBAR & CAP (size, ID)
FOSP	=	FOUND SPIKE
FOG	=	GAS METER
FOV	=	GAS VALVE
FOF	=	QUY FLOOR
FOH	=	ELECTRICAL HANDHOLE
FOH	=	FIRE HYDRANT
FOH	=	IRRIGATION VALVE
FOH	=	LIGHT POLE
FOH	=	MAIL BOX
FOH	=	MANHOLE
FOH	=	POWER POLE
FOH	=	SET 5/8" REBAR & CAP (LB 2389)
FOH	=	SET CONCRETE MONUMENT (PRM LB 2389)
FOH	=	SET NAIL & DISK (PRM LB 2389)
FOH	=	SET SPIKE
FOH	=	SHRUB
FOH	=	SOIL
FOH	=	TELEPHONE RISER
FOH	=	CABLE TELEVISION RISER
FOH	=	WATER METER
FOH	=	ELEVATION CONTOUR LINE
FOH	=	FENCE LINE
FOH	=	OVERHEAD GUY WIRE
FOH	=	OVERHEAD POWER LINE
FOH	=	OVERHEAD TELEPHONE LINE
FOH	=	SANITARY SEWER LINE
FOH	=	UNDERGROUND ELECTRIC LINE
FOH	=	UNDERGROUND GAS LINE
FOH	=	UNDERGROUND TELEPHONE LINE
FOH	=	UNDERGROUND CABLE TELEVISION LINE
FOH	=	UNDERGROUND WATER LINE
FOH	=	SPOT ELEVATION

TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

Symbol	SIZE/COMMON NAME
db10	10" BAY
db11	11" CHINABERRY
db11	11" CEDAR
db12	12" CHERRY
db10	10" CHINESE TALLOW
db11	11" HICKORY
db12	12" LAUREL OAK
db15	15" LIVE OAK
db12	12" MULBERRY
db18	18" MAGNOLIA
db15	15" PALM
db14	14" PINE
db18	18" POST OAK
db11	11" SUGARBERRY
db17	17" SWEETGUM
db11	11" TURKEY OAK
db18	18" UNIDENTIFIED TREE
db14	14" WATER OAK

LEGEND

—●—●—	TREE BARRICADE
—/—/—	SILT FENCE
(TBR)	EXISTING FEATURES TO BE REMOVED (TBR)
▨	LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
▨	LIMITS OF ASPHALT PAVEMENT
▨	LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
▲ p120	EXISTING TREE TO REMAIN
✕ p120	EXISTING TREE TO BE REMOVED
▲ 80.00	EXISTING SPOT ELEVATION
▲ 80.00	PROPOSED SPOT ELEVATION
—183.25—	PROPOSED CONTOUR ELEVATION
—183—	EXISTING CONTOUR ELEVATION

PROPOSED UTILITY SYMBOLS

—WM—	WATER MAIN, PROPOSED
—WM—	WATER MAIN, EXISTING
—WW—	WASTEWATER GRAVITY MAIN, PROPOSED
—	PLUG END AND CAP
—	BLOW-OFF ASSEMBLY
—	GATE VALVE & BOX
—	BUTTERFLY VALVE
—	PLUG VALVE
—	SWING CHECK VALVE
—	BACK FLOW PREVENTER
—	REDUCED PRESSURE ZONE BFP
—	DOUBLE CHECK BFP
—	DUAL CHECK VALVE
—	AIR RELEASE VALVE
—	REDUCER FITTING
—	PRESSURE REGULATOR
—	POST INDICATOR VALVE
—	CLEAN OUT OR ROOF DRAIN LATERAL
—	FITTING W/ THRUST BLOCK
—	FIRE HYDRANT W/ THRUST BLOCK
—	FIRE HYDRANT ASSEMBLY
—	POTABLE WATER METER
—	SINGLE SERVICE WATER METER
—	DUAL SERVICE WATER METER
—	GANG WATER METER ASSEMBLY
—	ELECTRIC TRANSFORMER
—	RECLAIMED WATER METER ASSEMBLY
—RCW—	RECLAIMED WATER MAIN, PROPOSED
—RCW—	PLUG END AND CAP
—RCW—	BLOW-OFF ASSEMBLY
—RCW—	GATE VALVE & BOX
—RCW—	REDUCER FITTING
—FM—	WASTEWATER (PRESSURE) MAIN, PROPOSED
—SS—	SANITARY SEWER MAIN, PROPOSED
—SS—	SANITARY SEWER MAIN, EXISTING
—SS—	SANITARY SEWER MANHOLE, PROPOSED
—SS—	SANITARY SEWER MANHOLE, EXISTING
—	SANITARY SEWER PLUG
—	PLUG VALVE
—	SEWER LATERAL, SINGLE SERVICE
—	GATE VALVE
—	CHECK VALVE
—A R—	AIR RELEASE VALVE

GENERAL NOTES

- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.
- PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND/OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY. CONTACT ENGINEER OF RECORD IMMEDIATELY WITH ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION/REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS, TO THE OWNER'S ENGINEER FOR REVIEW. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SAFETY:
 - DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
 - LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA.
 - THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS.
 - ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
 - ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
 - IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- CONTRACTOR IS REQUIRED TO SECURE A FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES) PERMIT BEFORE BEGINNING CONSTRUCTION.
- A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE UPON REQUEST.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS.
- ALL WORK WITHIN OR ON CITY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. THE COORDINATE SYSTEM SHALL BE FLORIDA STATE PLANE COORDINATES, NAD 83 ZONE NORTH US SURVEY FEET. VERTICAL COORDINATES SHALL BE REFERENCED TO THE NAVD 83 DATUM WITH ELEVATIONS GIVEN IN US SURVEY FEET.

AS-BUILT PLANS SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AS SIGNED AND SEALED PLANS AND AN ELECTRONIC DRAWING FILE. GUIDANCE ON PREPARATION OF AS-BUILT PLANS CAN BE FOUND IN CHAPTER 4 OF THE FDOT OFFICE OF CONSTRUCTION, PREPARATION AND DOCUMENTATION MANUAL. AS-BUILT PLANS FOR DRIVEWAY PERMITS MAY BE REQUIRED ON A CASE BY CASE BASIS.

THE ENGINEER OF RECORD SHALL FILE AS-BUILT PLANS OR RECORD DRAWINGS WITH THE PUBLIC WORKS DEPARTMENT UPON COMPLETION OF ANY IMPROVEMENTS FOR WHICH CHANGES HAVE BEEN APPROVED DURING THE CONSTRUCTION PROCESS. THE REQUIREMENT FOR AN AS-BUILT PLAN OR RECORD DRAWING WILL BE DETERMINED ON A CASE BY CASE BASIS, DEPENDING ON THE SCOPE OF THE CHANGES.

RECORD DRAWINGS SHALL BE LEGIBLY MARKED TO DOCUMENT ACTUAL CONSTRUCTION. ALL CHANGES TO FINAL UTILITY LOCATIONS INCLUDING HORIZONTAL AND VERTICAL LOCATIONS SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS AND INCLUDE ALL MANHOLES, HURDANTS, VALVES, VALVE BOXES, AND STRUCTURES. RECORD DRAWINGS SHALL ALSO DOCUMENT ACTUAL INSTALLED PIPE MATERIALS. RECORD DRAWINGS SHALL CLEARLY SHOW AND DOCUMENT ALL FIELD CHANGES OF DIMENSION AND DETAIL. RECORD DRAWINGS SHALL INCLUDE ALL DETAILS NOT ON THE ORIGINAL DRAWINGS, BUT CONSTRUCTED.

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, PREPARED AND REBUILT INTENDED RECORD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

CONSTRUCTION NOTES

- SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS (INDEXES 600 THROUGH 885 (LATEST EDITIONS).
- SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
- ANY SIDEWALK WHICH BECOMES UNDERMINED MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.
- DISTURBED AREA WITHIN THE R-O-W WILL BE COMPACTED TO 98% OF MAXIMUM DENSITY AND SOODED.
- STOCKPILING OF MATERIAL IS NOT ALLOWED ON ROADWAYS OR SIDEWALKS. ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALKS ARE TO BE SWEEP DAILY AS PART OF DAILY CLEANUP.
- ANY PORTION OF ROADWAYS OR SIDEWALKS THAT SUSTAIN EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF APPLICABLE AGENCIES, SHALL BE REPAIRED AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THAT PARTICULAR AGENCY.
- CONSTRUCTION MUST BE PER THE APPROVED SITE PLAN OF THE DRC (OR EQUIVALENT). DEVIATIONS IN ROADWAY, UTILITY OR DRAINAGE CONSTRUCTION WILL REQUIRE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER OR THE DIRECTOR OF PUBLIC SERVICES (OR EQUIVALENT). NOTE: SIGNIFICANT CHANGES FROM THE DRC APPROVED PLAN MAY REQUIRE THE OWNER/DEVELOPER TO SUBMIT A REVISED SITE PLAN FOR REVIEW THROUGH THE DRC AND MAY CAUSE PROJECT DELAYS.
- OFF-SITE OR ROADWAY R-O-W CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVED R-O-W PERMITS. A COPY OF THE APPROVED R-O-W PERMIT MUST BE KEPT ON-SITE AND READILY AVAILABLE DURING ALL CONSTRUCTION ACTIVITIES WITHIN THE R-O-W.
- DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY. BOTH PAPER AND AUTOCAD FILES SHALL BE PROVIDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. BOTH PAPER AND AUTOCAD SHALL BE PROVIDED.

EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS REFERENCED BY THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLUTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER RUNOFF.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR AND PERMITTED IN ADVANCE WITH GENERAL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STABILIZATION, SEDIMENT BASINS, ETC.) AS NEEDED FOR EACH STAGE OF SITE WORK / GRADING.
- NO GRADING, CUTTING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED BETWEEN ALL DISTURBED AREAS AND WATER BODIES, WATERCOURSES OR WETLANDS AND ANY CONVEYANCES SUCH AS DRAINAGE DITCHES, STORM DRAINS, AND INLETS.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRECEDING ANY DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSTALL ALL EROSION AND PREVENTION STRUCTURES SHOWN ON THE PLANS AT A MINIMUM AND IN FULL CONFORMANCE WITH ALL APPLICABLE WATER MANAGEMENT DISTRICT PERMITS AND REGULATIONS.
- ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.
- ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN, SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRADING. UNLESS OTHERWISE NOTED, ALL SLOPES STEEPER THAN 4:1 SHALL BE SOODED.

PAVING, GRADING, AND DRAINAGE NOTES

- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION IN THE EVENT THAT THE CONTRACTOR'S DESIGN AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SOODED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DE-WATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOO, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION IMPROVEMENTS TO FOLLOW.
- SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHTS TO CHECK THE STAKING AND ROPEING AND REQUIRE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.
- ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT, ROADWAY AND TRAFFIC DESIGN STANDARDS AND FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY THE CONTRACTOR AND IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.
- BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
- PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMMED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 14 HORIZONTAL TO 1 VERTICAL.
- FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEERS, OR OWNERS SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF FDOT, "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURBS AND GUTTERS CALLED FOR IN THESE PLANS.
- THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.
- SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR. ALL SURVEY COSTS WILL BE CONTRACTORS RESPONSIBILITY.
- FINAL GRADES SHOWN INCLUDE SOO HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.
- IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS II, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
- ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
- ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS. THE VARIOUS AGENCIES AND PERMIT REQUIREMENTS SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.
- THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE RE-INSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RE-CLEAN PIPES AND INLETS FOR THESE PURPOSES.



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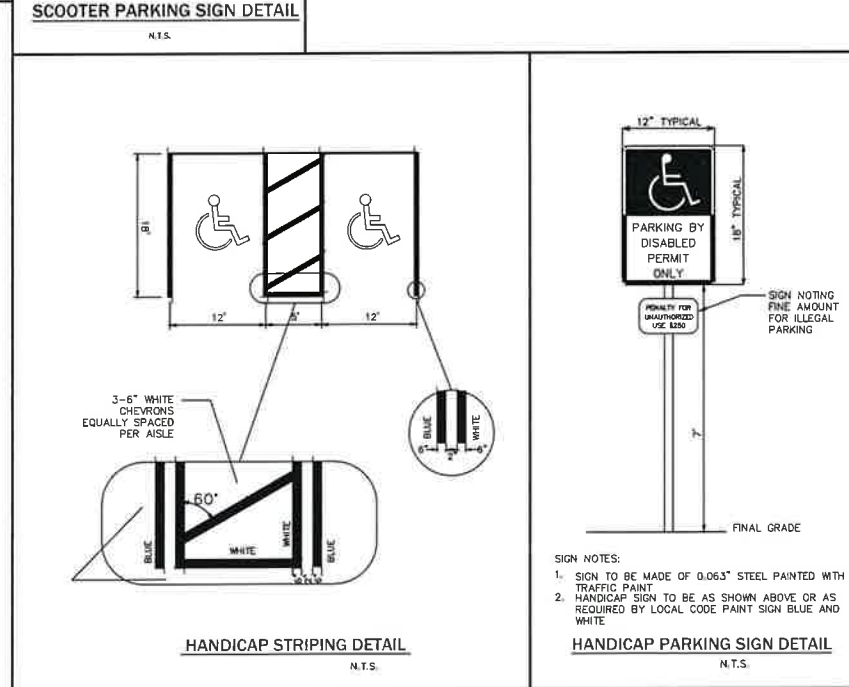
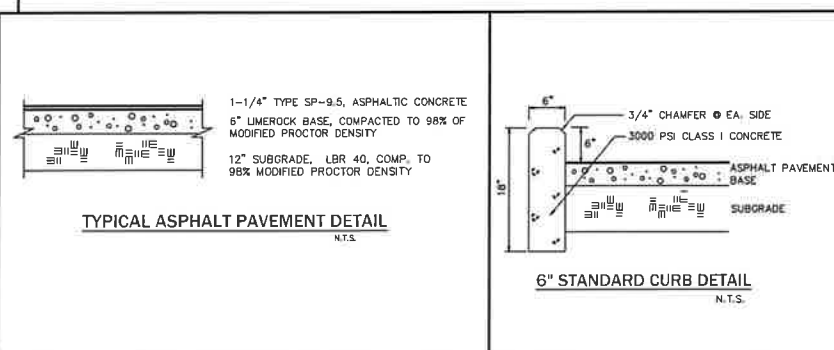
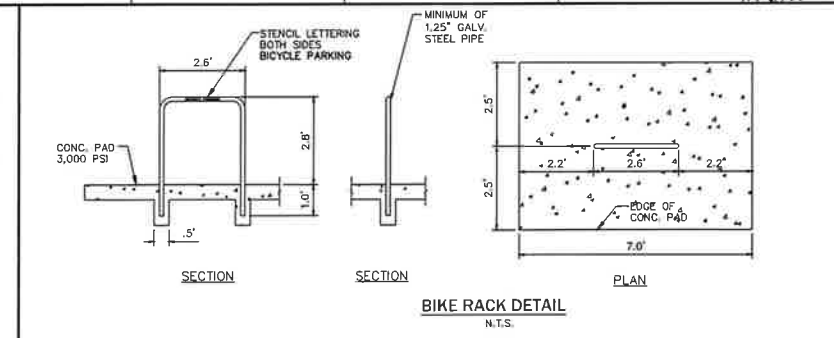
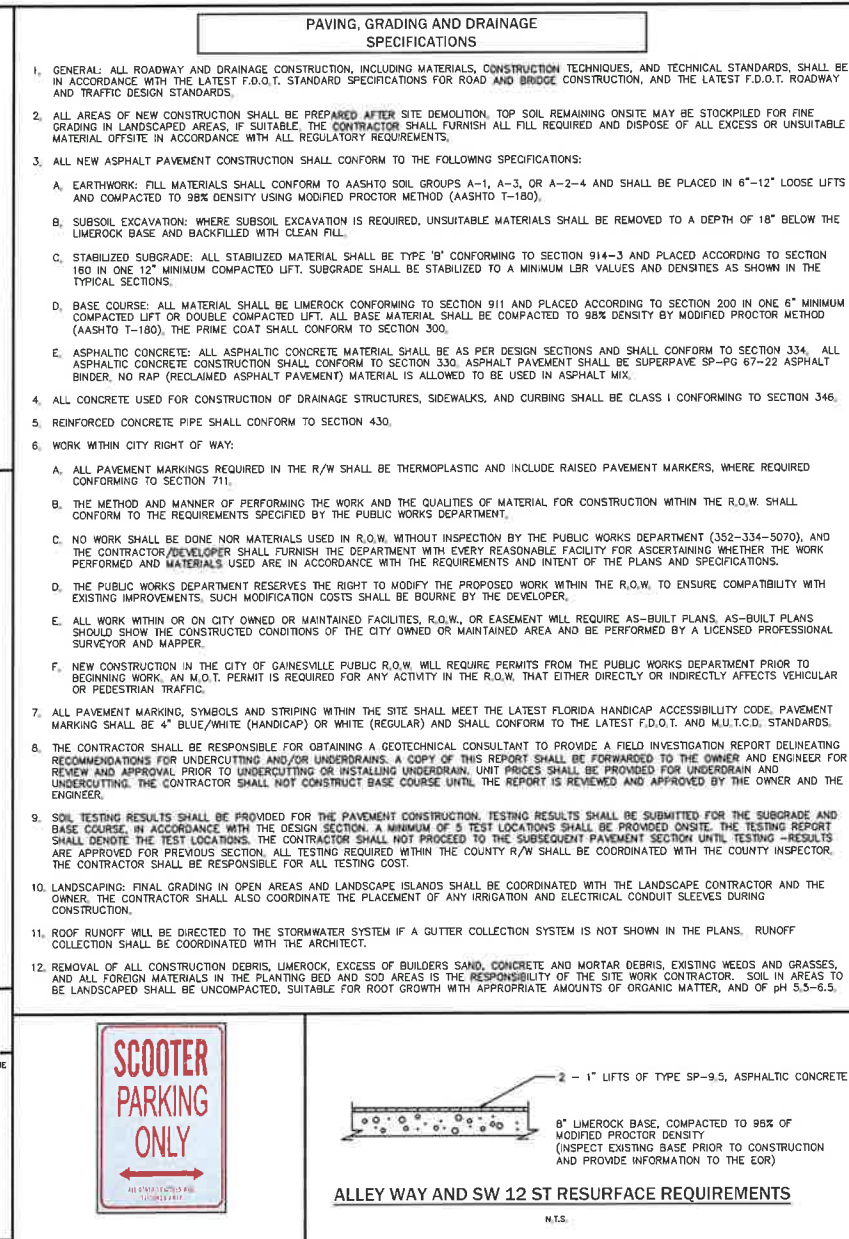
HUB ON CAMPUS
GAINESVILLE, FLORIDA

LEGEND, SYMBOLS AND NOTES

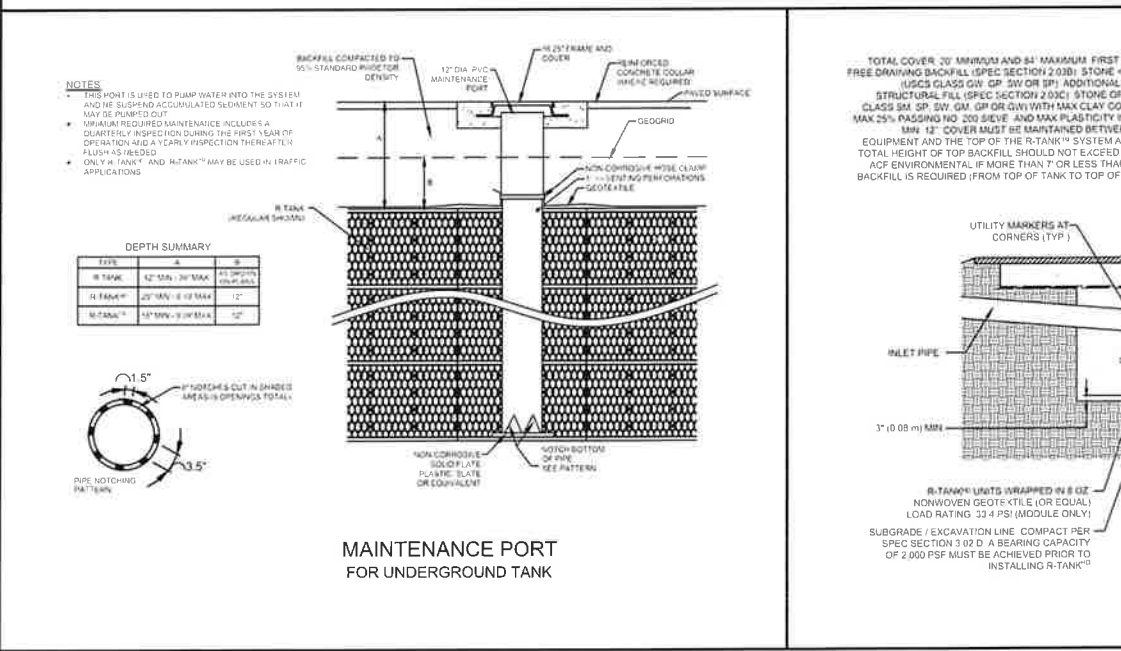
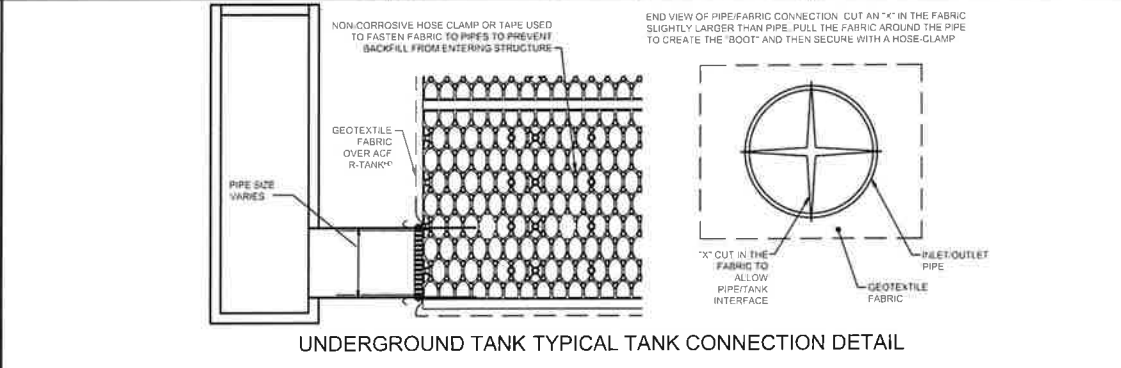
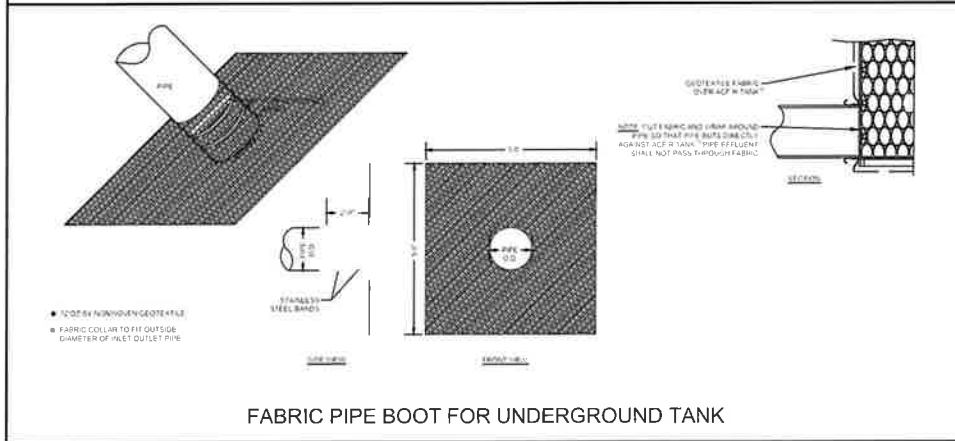
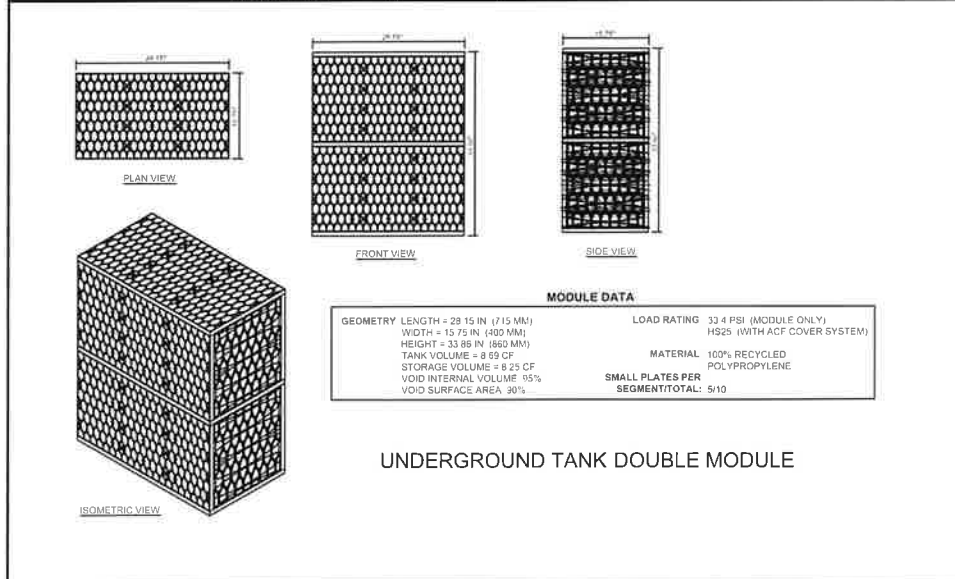
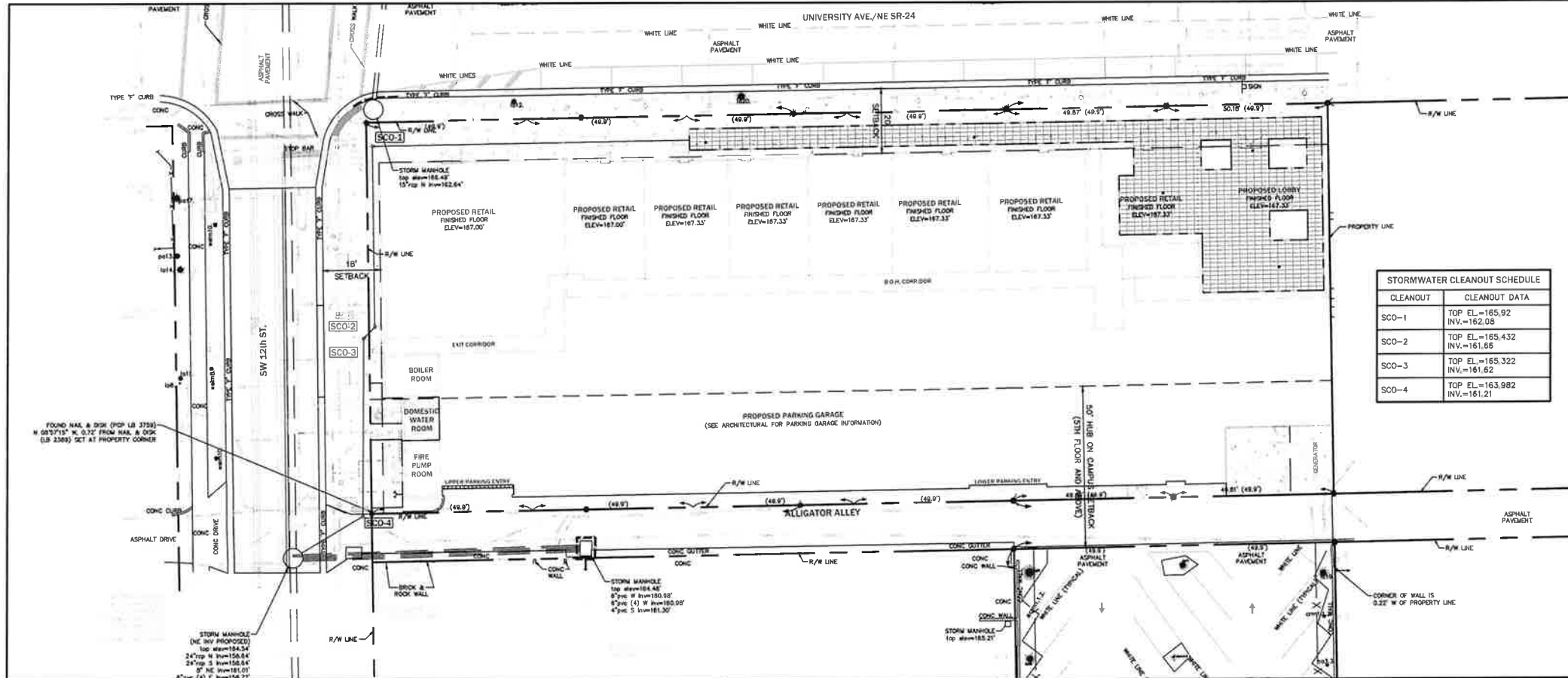
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Designed By:	SR
Drawn By:	SR
Project No.:	17-004
Date:	06/19/17
Professional Engineer or Record:	
Engineer:	SERIO J. AYRES, P.E.
Certificate No.:	47311

Sheet No.:

C0.10



C2.00				Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project title: HUB ON CAMPUS GAINESVILLE, FLORIDA		PAVING, GRADING AND DRAINAGE		Project phase: CITY/GRU RESUBMITTAL		Project 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**CITY OF GAINESVILLE
STORMWATER MANAGEMENT
SUMMARY SHEET**

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION II BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL RICK MELTZER, P.E., DEVELOPMENT REVIEW ENGINEER, AT 334-2051. YOUR HELP IS APPRECIATED.

I. GENERAL

A. SITE PLAN No. _____ E. PROJECT NAME: **HUB ON CAMPUS**

B. TAX PARCEL No. **SEE COVER SHEET** F. ADDRESS: **1105-1131 WEST UNIVERSITY AVE**

C. TAX MAP No. _____

D. FINAL SITE PLAN SIGN OFF: _____ INITIALS: _____

II. SITE INFORMATION

A. TOTAL IMPERVIOUS AREA ON SITE: **37,475** s.f.

B. STORMWATER MANAGEMENT BASIN DATA

Basin No.	Retention Volume	Retention Volume Surface Water Area (sq ft)	Elevation At Which Surface Water Discharge Begins from Basin (ft-msl)
1	6,309	3,464	164.66
TOTAL	6,309	3,464	

NOTES:

(1) PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.

(2) RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.

(3) "RETENTION VOLUME SURFACE WATER AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.

PREPARED BY: **SERGIO REYES** DATE: **11/15/2016**
PETITIONER'S ENGINEER

MAINTENANCE NOTES

1. **MAINTENANCE RESPONSIBILITY:**
HUB ON CAMPUS WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING STORMWATER MANAGEMENT SYSTEM.

2. **MAINTENANCE PLAN:**

A. BASINS SHALL BE MOVED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.

B. BASINS SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPED CLEAN MORE OFTEN AS THE CONDITION DICTATES.

C. BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).

D. BASIN THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.

E. THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.

Project: **CITY/GRU RESUBMITTAL**

Designed: **S.R. Brown** L.W. Engraved: **S.R.**

Project No: **17-004** Date: **06/09/17**

Professional Engineer of Record: _____

Serial: **1** License: **10000** P.E. State: **FL**

Engineer: **10000** License: **10000** State: **FL**

Sheet No: _____

Sheet Title: _____

**HUB ON CAMPUS
GAINESVILLE, FLORIDA**

UNDERGROUND STORAGE AND DETAILS

C2.20

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-821.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT No. 62-821.300 (4) (A) FDEP FORM 62-281.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: HUB ON CAMPUS
COUNTY: ALACHUA COUNTY, FLORIDA
SECTION/TOWNSHIP/RANGE: 05, 10 SOUTH, 20 EAST
COUNTY PARCELS: NC:13218-000, 13217-000, 13216-000, 13215-000, & 13221-000
STREET ADDRESS:1105-1131 W UNIVERSITY AVE
PROJECT AREA: 1.11 AC
APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 1.11 AC.

II. SITE DESCRIPTION:

- THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF AN 8 STORY MIXED USE BUILDING WITH ASSOCIATED PAVING, DRAINAGE AND UTILITY IMPROVEMENTS.
- THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY GEOTECHNICAL SITE EXPLORATION. THE PROPOSED DRAINAGE PLAN WILL CONSIST OF 4 DRAINAGE AREAS. AREA 1: 0.48 ACRES OF RUNOFF WILL BE PIPED TO AN UNDERGROUND RETENTION BASIN. AREAS 2, 3, AND 4 WILL SHEETFLOW INTO THE EXISTING CITY STORMWATER SYSTEM.
- EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN IN THE DRAINAGE DESIGN NOTES. FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS, OUTFALLS, AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.
- SEQUENCE OF CONSTRUCTION:
 - PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
 - THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
 - THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
 - THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.
 - THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)
 - ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
 - UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
 - PROPOSED STORMWATER BASIN WILL BE SCRAPED CLEAN OF ACCUMULATED SEDIMENT.
- ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED, THEN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.

- THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
- TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
- BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
- AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
- THE BASIN AREA SHALL BE PROTECTED AS INDICATED ON THE PLANS.
- THE STORMWATER BASIN SHALL BE ROUGH GRADED TO WITHIN 8" OF THE DESIGNED BASIN BOTTOM. THE BASIN SIDE SLOPES SHALL BE STABILIZED AS SHOWN IN THE PLANS BY SEEDING, MULCHING AND/OR SODDING TO PREVENT EXCESSIVE EROSION.
- DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
- ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES

- ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
- TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
- MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
- SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDING AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
- SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE REGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES

- SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
- INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
- OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

- THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRJWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 400-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.
- TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING BMP'S: ONE UNDERGROUND DRY RETENTION BASIN. THE BASIN HAS BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE SRJWMD HANDBOOK.

AREA 1 WILL HAVE AN UNDERGROUND DRY RETENTION BASIN THAT DISCHARGES TO THE EXISTING CITY STORMWATER SYSTEM AS IN PREDEVELOPMENT CONDITIONS.

AREAS 2, 3, AND 4 WILL SHEET FLOW TO THE EXISTING CITY STORMWATER SYSTEM AS IN PREDEVELOPMENT CONDITIONS.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
- THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
- THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
- ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
- ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

- ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRJWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
- THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORSESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.

IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSTT IN COORDINATING REMEDIAL ACTION.

- MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
- ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
- SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
- TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
- SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
- DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
- TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
- MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
- SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
- SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
- INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
- OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.
- DRY RETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.
- WET DETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

IX. INSPECTIONS:

- THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS. THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN, THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION. ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES. AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
- THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
- ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-821.300, PART MLC. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

- THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
- DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

- ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: _____ FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10 _____

OWNER: _____ CONTRACTOR: _____

CONSTRUCTION MANAGER: _____

Date of Inspection	Location	Rain data	Type of control (see below)	Date installed / modified	Current Condition (see below)	Observations or Corrective Action / Other Remarks	Inspected By

CONDITION CODE: G = Good M = Marginal, needs maintenance or replacement soon O = Other
C = Needs to be cleaned P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES			
1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

INSPECTOR INFORMATION:

Name _____ Qualification _____ Date _____

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM:

ADDRESS: _____

CITY, STATE, ZIP CODE: _____

TELEPHONE: _____

FAX: _____

PROJECT NAME: _____

PROJECT ADDRESS: _____

PROJECT ADDRESS: _____

CITY, STATE, ZIP CODE: _____ FLORIDA

NAME: _____ SIGNATURE: _____

DATE: _____

edson

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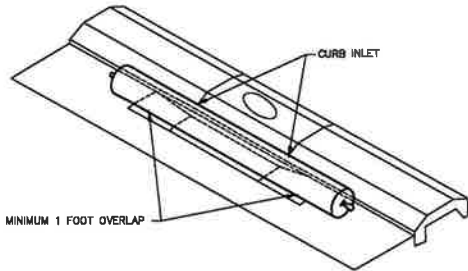
HUB ON CAMPUS
GAINESVILLE, FLORIDA

STORMWATER POLLUTION PREVENTION PLAN

Project phone:	CITY/GRU RESUBMITAL	Project sheet:	SR
Designated SR:	SR	Project sheet:	SR
Project No.:	17-004	Project sheet:	SR
Professional Engineer of Record:	06/10/17	Project sheet:	SR
Soil No.:	17-004	Project sheet:	SR
Engineer's License No.:	12211	Project sheet:	SR

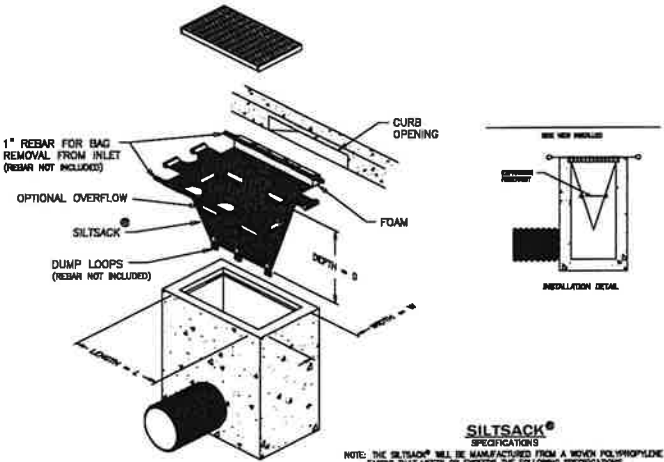
Sheet No.:

C3.00



- NOTES:
1. INSTALL THE GUTTERBUDDY IN FRONT OF THE CURB INLET OPENING. EACH END OF THE GUTTERBUDDY SHOULD OVERLAP THE CURB INLET APPROXIMATELY 12".
 2. THE GUTTERBUDDY SHOULD BE CLEANED IF A VISUAL INSPECTION SHOWS SILT AND DEBRIS BUILD UP AROUND THE GUTTERBUDDY.
 3. PONDING IS LIKELY IF SEDIMENT IS NOT REMOVED REGULARLY. INSPECTION OF THE GUTTERBUDDY SHOULD BE ON A REGULAR BASIS AND IMMEDIATELY AFTER MAJOR RAIN EVENTS.

GUTTERBUDDY TYPICAL DETAIL
N.T.S.



BELOW-GR FLOW SILTSACK
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTY	TEST METHOD	UNIT
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	25 %
PUNCTURE	ASTM D-4832	150 LBS
MULLIN BURST	ASTM D-3708	600 PS
TRAPEZOID TEAR	ASTM D-4832	120 LBS
UV RESISTANCE	ASTM D-4306	60 %
APARENT OPENING SIZE	ASTM D-4751	40 US WIEK
FLOW RATE	ASTM D-4481	40 GAL/MIN/20 FT
PERMITTIVITY	ASTM D-4481	0.50 SEC -1

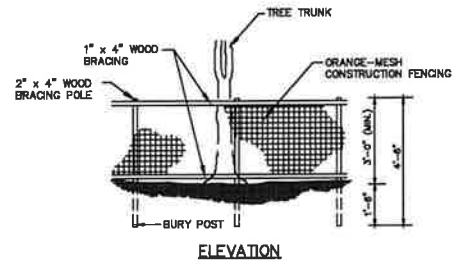
HI-FLW SILTSACK
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTY	TEST METHOD	UNIT
GRAB TENSILE STRENGTH	ASTM D-4832	250 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	25 %
PUNCTURE	ASTM D-4832	120 LBS
MULLIN BURST	ASTM D-3708	400 PS
TRAPEZOID TEAR	ASTM D-4832	40 LBS
UV RESISTANCE	ASTM D-4306	60 %
APARENT OPENING SIZE	ASTM D-4751	30 US WIEK
FLOW RATE	ASTM D-4481	200 GAL/MIN/20 FT
PERMITTIVITY	ASTM D-4481	1.8 SEC -1

OL-ADSORBANT SILTSACK
(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)

DEPEND ON YOUR PARTICULAR APPLICATION, THE SILTSACK CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OL-ADSORBANT FILLER ROOST OR MADE COMPLETELY FROM AN OL-ADSORBANT SILTSACK, WITH A WOOD FILLER ROOST.

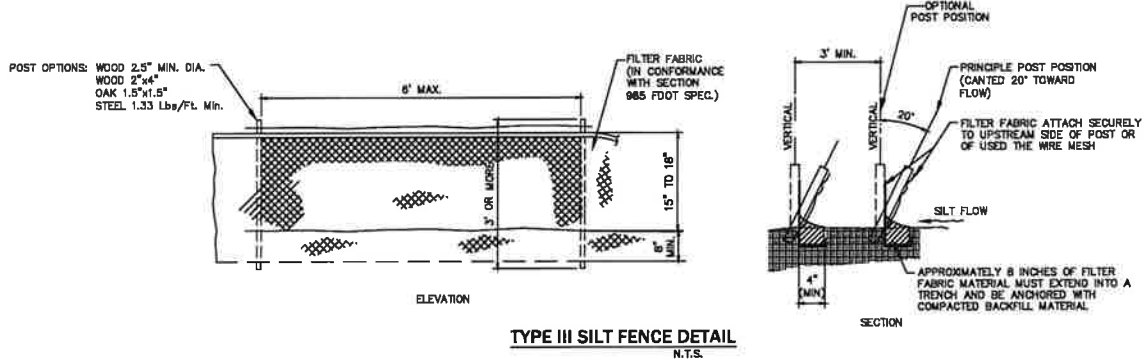
**DETAIL OF INLET SEDIMENT CONTROL DEVICE
WITH CURB DEFLECTOR**
N.T.S.



NOTES:

1. TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
2. TREE BARRICADES MUST ENCLOSE AN AREA EQUAL TO AT LEAST 2/3 OF THE DRIPLINE OF THE TREE CANOPY. EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
3. NO GRADING WITHIN FENCING. ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
4. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
5. THE AREA ENCLOSED MUST BE EQUAL TO 2/3 OF THE DRIPLINE OF THE TREE CANOPY, WHERE ALLOWED BY CONSTRUCTION LIMITS.

TREE BARRICADE FENCING DETAIL
N.T.S.



TYPE III SILT FENCE DETAIL
N.T.S.

SCALES:
AS SHOWN



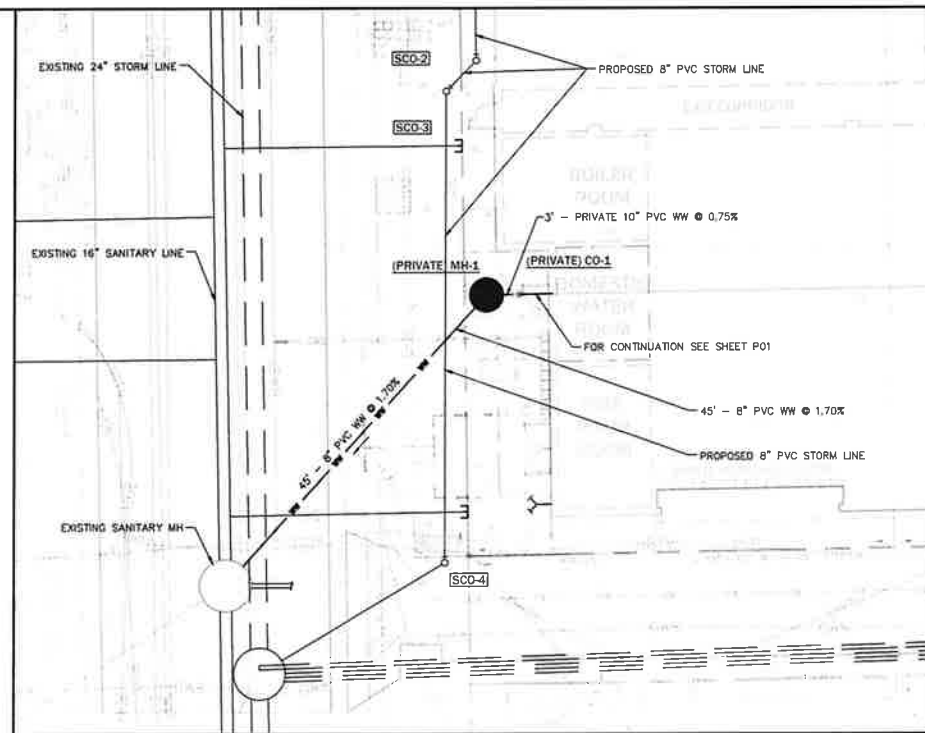
HUB ON CAMPUS
GAINESVILLE, FLORIDA

EROSION DETAILS

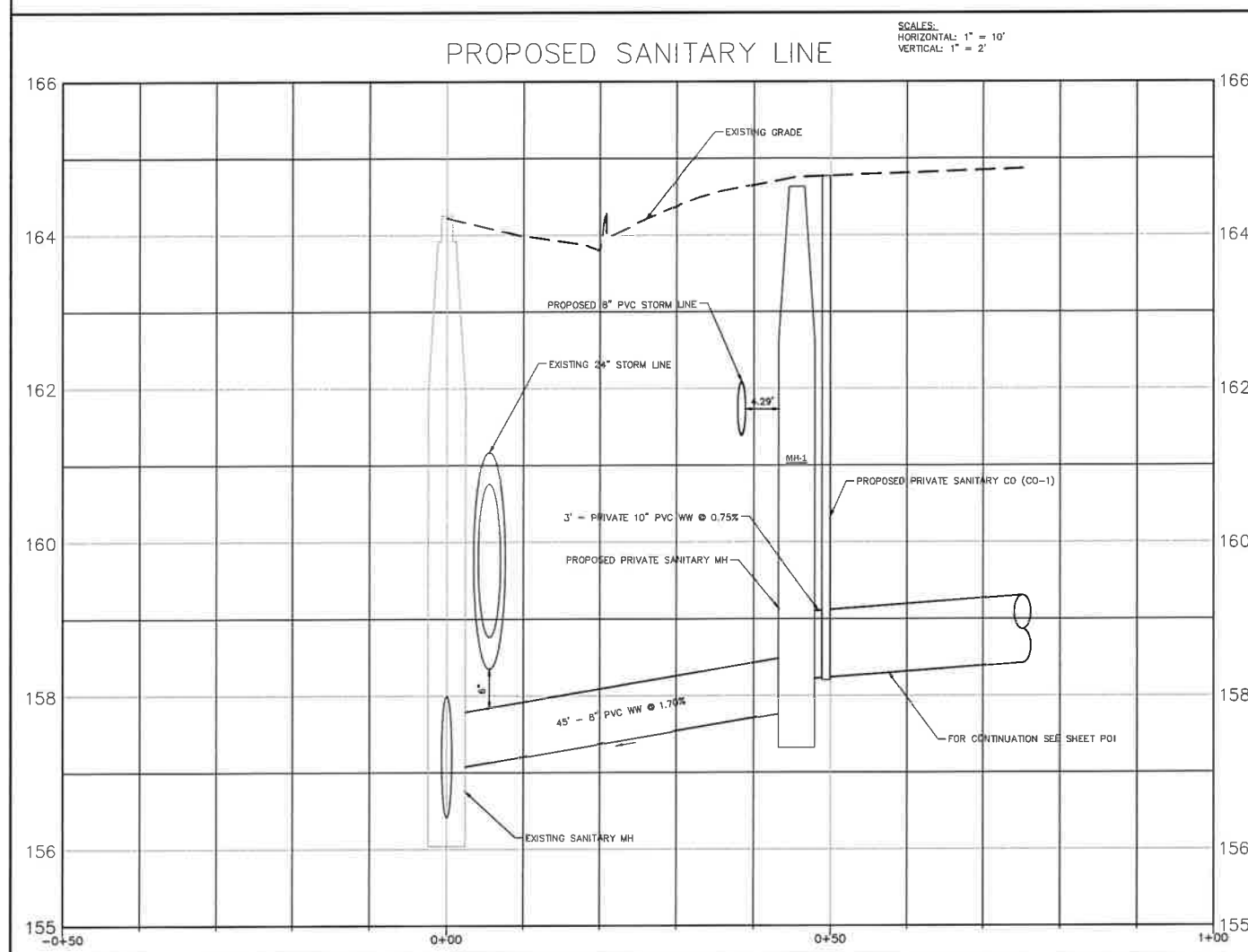
Project Name:	CITY/GRU RESUBMITAL	
Design: S.D.	Drawn: M.W.	Checked: S.R.
Project No: 17-004	Date: 06/19/17	
Professional Engineer of Record:		
Scribble: J. Reynolds, P.E. 472311		
Engineer		

Sheet No.:

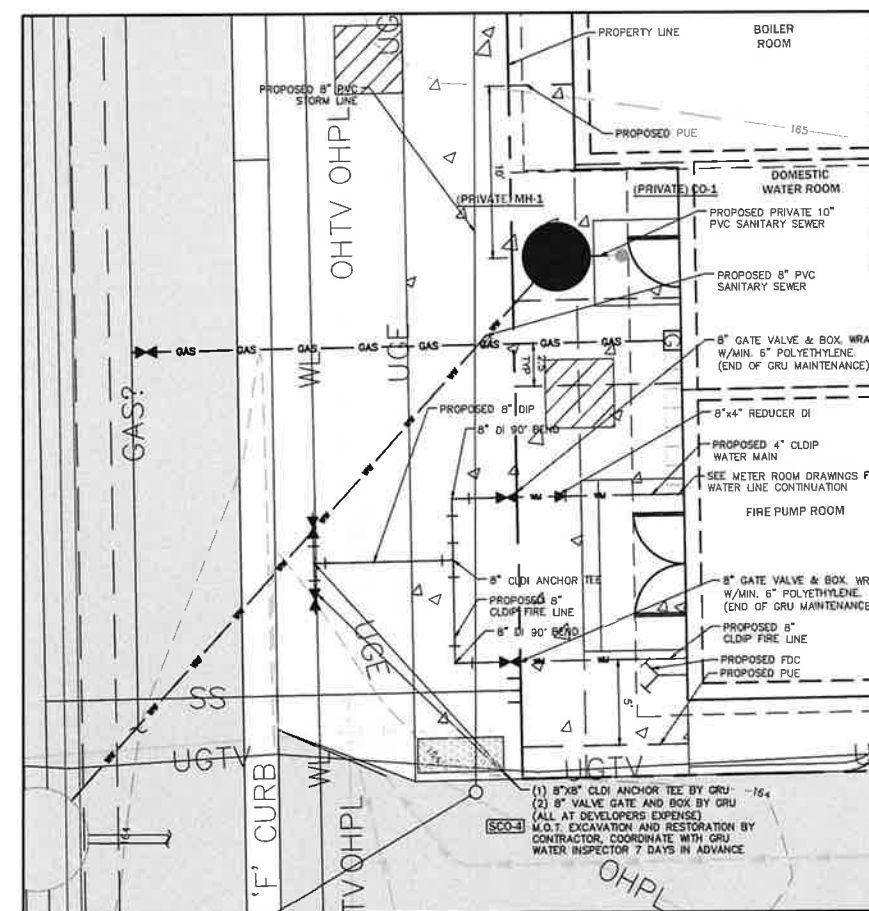
C3.10



PLAN VIEW OF PROPOSED SEWER LINES
SCALE: 1"=10'



PROFILE VIEW OF PROPOSED SEWER LINE



VIEW A-A WATER MAIN CONNECTION
SCALE: 1"=5'

PHOTOMETRIC NARRATIVE

THE FOLLOWING IS INTENDED TO SERVE AS A DESIGN NARRATIVE FOR THE PHOTOMETRIC ANALYSIS AND SITE LIGHTING DESIGN.

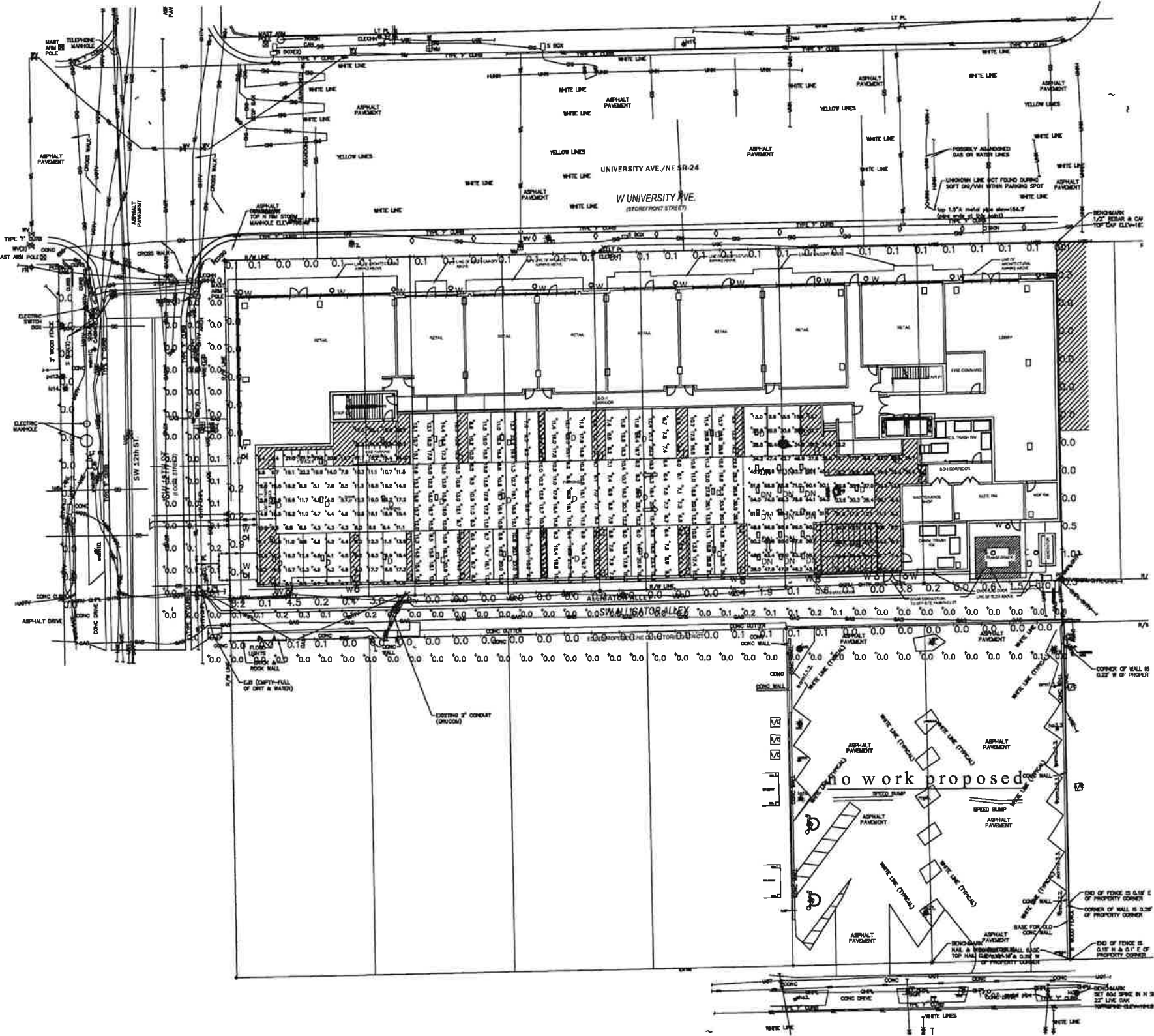
THIS DESIGN ENCOMPASSES THE PARKING STRUCTURE AND GROUND-LEVEL EXTERIOR LIGHTING OF A MULTI-STORY MIXED USE BUILDING. EXTERIOR LIGHTING IS DEDICATED TO INDIVIDUAL TENANTS AND STATE-REQUIRED LIGHTING FOR THE ABOVE GROUND POOL AND POOL DECK HAVE BEEN OMITTED FROM THIS STUDY.

LIGHTING IN THE PARKING STRUCTURE IS ACCOMPLISHED USING CEILING SURFACE MOUNT LED FIXTURES REFERRED TO AS TYPES 'D' AND 'DN'. THE CUTOFF ANGLE OF THE FIXTURES SELECTED IS 35 DEGREES ON BOTH APPROACH AND RETREAT TO REDUCE GLARE. ADDITIONAL LIGHTING IS PROVIDED AT THE ENTRY AREAS OF THE GARAGE TO OPERATE DURING DAYLIGHT HOURS AND PROVIDE ADEQUATE LIGHTING FOR VISUAL TRANSITION TO THE ENCLOSED AREA. THESE LIGHT LEVELS WILL BE REDUCED TO 10% USING DIMMING CONTROLS DURING NIGHT-TIME HOURS IN ACCORDANCE WITH RECOMMENDATIONS. THE PARKING STRUCTURES ARE ENCLOSED AND SHALL NOT CONTRIBUTE TO LIGHT TRESPASS UNDER NORMAL CONDITIONS.

ADDITIONAL FULL CUT-OFF LED WALL SCONCES, REFERRED TO AS TYPE 'W' ARE INCLUDED AROUND THE BUILDING PERIMETER FOR ACCENT AND SECURITY LIGHTING. THESE FIXTURES WILL BE DOWNLIGHTS ONLY. CEILING MOUNTED LED DOWNLIGHTS, REFERRED TO AS TYPE 'C', ARE PROVIDED ABOVE THE GENERATOR AND TRANSFORMER FOR SECURITY PURPOSES. SECURITY LIGHTING WILL OPERATE DUSK-TO-DAWN IN ACCORDANCE WITH 30-344(d)(1)(e).

THE SECURITY LIGHTING RESULTS IN LIGHT LEVELS EXCEEDING THE LIGHT TRESPASS REQUIREMENTS OF 30-344(d)(3), HOWEVER, THIS LIGHT TRESPASS IS LOCALIZED AND IMPACTS ONLY PUBLIC RIGHT OF WAY. THEREFORE, A WAIVER TO THIS REQUIREMENT IS REQUESTED.

OVERALL, THIS DESIGN PROVIDES SAFE LIGHTING FOR VEHICLES WHILE CONFORMING WITH THE PROVISIONS OF 30-344 AND MINIMIZING IMPACT ON NEIGHBORING PROPERTIES.



LOWER GARAGE LEVEL PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES

- HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
- FIXTURES WILL BE CONTROLLED TO OPERATE AT REDUCED LEVELS DURING NIGHTTIME HOURS AS REQUIRED BY 30-344.

HUNTER DESIGN AND CONSULTING, INC.

735 ARLINGTON AVE N, STE 308
ST PETERSBURG, FL 33701

352-238-6366
florida ca #31946, pe #76961

HUB ON CAMPUS
SITE LIGHTING PLAN

GAINESVILLE, FLORIDA

PROJECT INFORMATION	
PROJECT NUMBER:	17039
DRAFTED:	K. HUNTER
DESIGNED:	K. HUNTER
REVIEWED:	K. HUNTER
ISSUE DATE:	6/19/17
REVISIONS	

SHEET NUMBER

E-1

LUMINAIRE SCHEDULE FOR PHOTOMETRICS

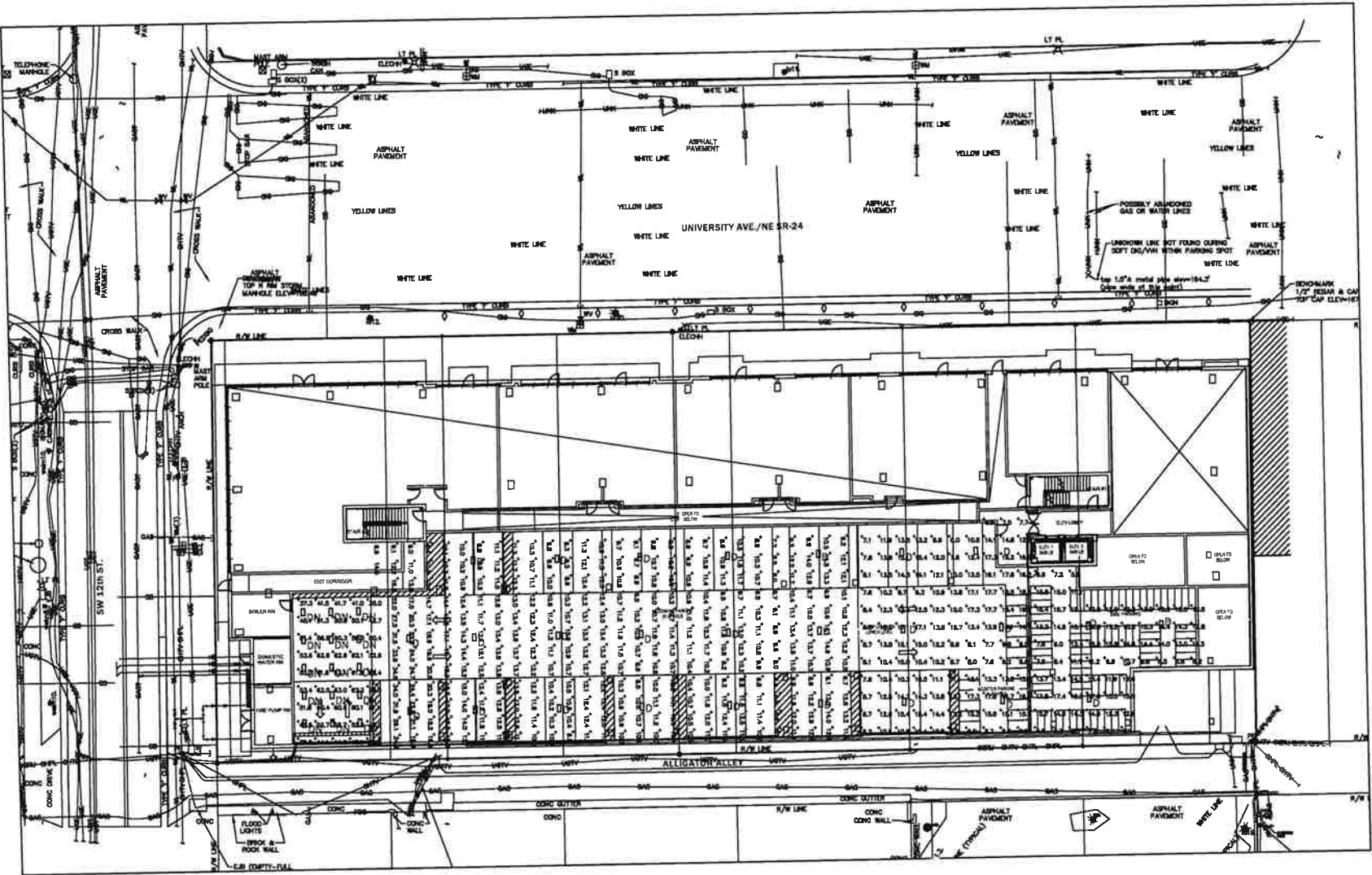
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	MH
D	D	89	PHILIPS	VZ24-60G3-530-D	VIZORLED WITH TYBE "D" REFLECTOR - FIXTURE ASSEMBLY	LUMILED REBEL R	VZ24-60G3-530-D.ies	Absolute	0.81	CEILING
DN	DN	89	PHILIPS	VZ24-60G3-530-D	VIZORLED WITH TYBE "D" REFLECTOR - FIXTURE ASSEMBLY **FIXTURE SHALL OPERATE AT 10% OUTPUT DURING NIGHTTIME HOURS**	LUMILED REBEL R	VZ24-60G3-530-D.ies	Absolute	0.81	CEILING
W	W	21	BEGA	66 698	8"L X 6"W X 11"H LED ROUND CEILING AND WALL LUMINAIRE ONE MODULE WITH ONE 3000K LED ARRAY, CLEAR GLASS LENS WITH ALUMINUM REFLECTOR		66698.ies	Absolute	0.81	10
C	C	2	BEGA			LED 13,1W	66981.ies	Absolute	0.81	CEILING

FIXTURE SCHEDULE NOTES

- TYPES 'D' AND 'DN' ARE PARKING GARAGE STYLE LED FIXTURES, THE OUTPUT CUTOFF ANGLE IS 35° ON BOTH CUT OF AND RETREAT, TYPE DN WILL BE PROVIDED WITH AN INTEGRAL DIMMING DRIVER AND WILL OPERATE AT 10% OUTPUT DURING NIGHTTIME HOURS, THE FIXTURES SHALL BE MOUNTED ON THE UNDERSIDE OF THE GARAGE CEILING STRUCTURE.
- TYPE W IS A FULL CUT-OFF LED WALL SCONCE IN USE AROUND THE BUILDING PERIMETER FOR SECURITY PURPOSES, THE FIXTURE SHALL BE MOUNTED AT 10FT AFG.
- TYPE C IS A FULL CUT-OFF LED DOWNLIGHT IN USE ABOVE THE TRANSFORMER AND GENERATOR FOR SECURITY PURPOSES, THE FIXTURE SHALL BE MOUNTED ON THE UNDERSIDE OF THE CEILING ABOVE.

PHOTOMETRIC STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Code
LEVEL 1 ENTRANCE AREA (DAY)	+	59.0 fc	76.6 fc	38.0 fc	2.0:1	1.6:1	30-344(e)(5)(c)
LEVEL 1 VERTICAL ILLUMINANCE (DAY)	+	4.4 fc	6.4 fc	3.5 fc	1.8:1	1.3:1	30-344(e)(5)(c)
LEVEL 1 ENTRANCE AREA (NIGHT)	+	7.6 fc	9.6 fc	5.3 fc	1.8:1	1.4:1	30-344(e)(5)(c)
LEVEL 1 VERTICAL ILLUMINANCE (NIGHT)	+	3.2 fc	3.8 fc	3.0 fc	1.3:1	1.1:1	30-344(e)(5)(c)
LEVEL 1 RAMP (DAY)	+	14.5 fc	39.4 fc	4.1 fc	9.6:1	3.5:1	30-344(e)(5)(c)
LEVEL 1 RAMP (NIGHT)	+	12.4 fc	31.5 fc	3.9 fc	8.1:1	3.2:1	30-344(e)(5)(c)
MEZZ LEVEL RAMP (DAY)	+	12.9 fc	47.4 fc	5.5 fc	8.6:1	2.3:1	30-344(e)(5)(c)
MEZZ LEVEL RAMP (NIGHT)	+	11.1 fc	19.4 fc	3.2 fc	6.1:1	3.5:1	30-344(e)(5)(c)
MEZZ LEVEL ENTRY (DAY)	+	52.0 fc	63.0 fc	35.0 fc	1.8:1	1.5:1	30-344(e)(5)(c)
MEZZ LEVEL VERTICAL ILLUMINANCE (DAY)	+	4.2 fc	5.1 fc	2.7 fc	1.9:1	1.6:1	30-344(e)(5)(c)
MEZZ LEVEL ENTRY (NIGHT)	+	8.6 fc	11.2 fc	5.9 fc	1.9:1	1.5:1	30-344(e)(5)(c)
MEZZ LEVEL VERTICAL ILLUMINANCE (NIGHT)	+	4.1 fc	5.0 fc	2.6 fc	1.9:1	1.6:1	30-344(e)(5)(c)
NORTH PROPERTY LINE- UNIVERSITY AVE	+	0.1 fc	0.1 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)
SOUTH PROPERTY LINE- ALLEY	+	0.9 fc	5.6 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)
SOUTH RECEIVING PROPERTY LINE	+	0.1 fc	0.5 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)
WEST PROPERTY LINE- SW 12TH ST	+	0.4 fc	1.9 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)
WEST RECEIVING PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)
EAST PROPERTY LINE	+	0.2 fc	1.0 fc	0.0 fc	N / A	N / A	30-344(d)(3)(b)



UPPER GARAGE LEVEL PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES

- HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
- GARAGE IS FULLY ENCLOSED, NO LIGHT WILL PROPAGATE OUTWARDS.
- FIXTURES IN GARAGE ENTRY AREAS WILL BE CONTROLLED TO OPERATE AT REDUCED LEVELS (10%) DURING NIGHTTIME HOURS AS REQUIRED BY 30-344.
- LIGHT TRESPASS VALUES ARE INDICATED ON SHEET E-1.

HUNTER DESIGN AND CONSULTING, INC.

735 ARLINGTON AVE N, STE 308

ST PETERSBURG, FL 33701

352-238-6366

florida ca #31946, pe #76961

HUB ON CAMPUS

SITE LIGHTING PLAN

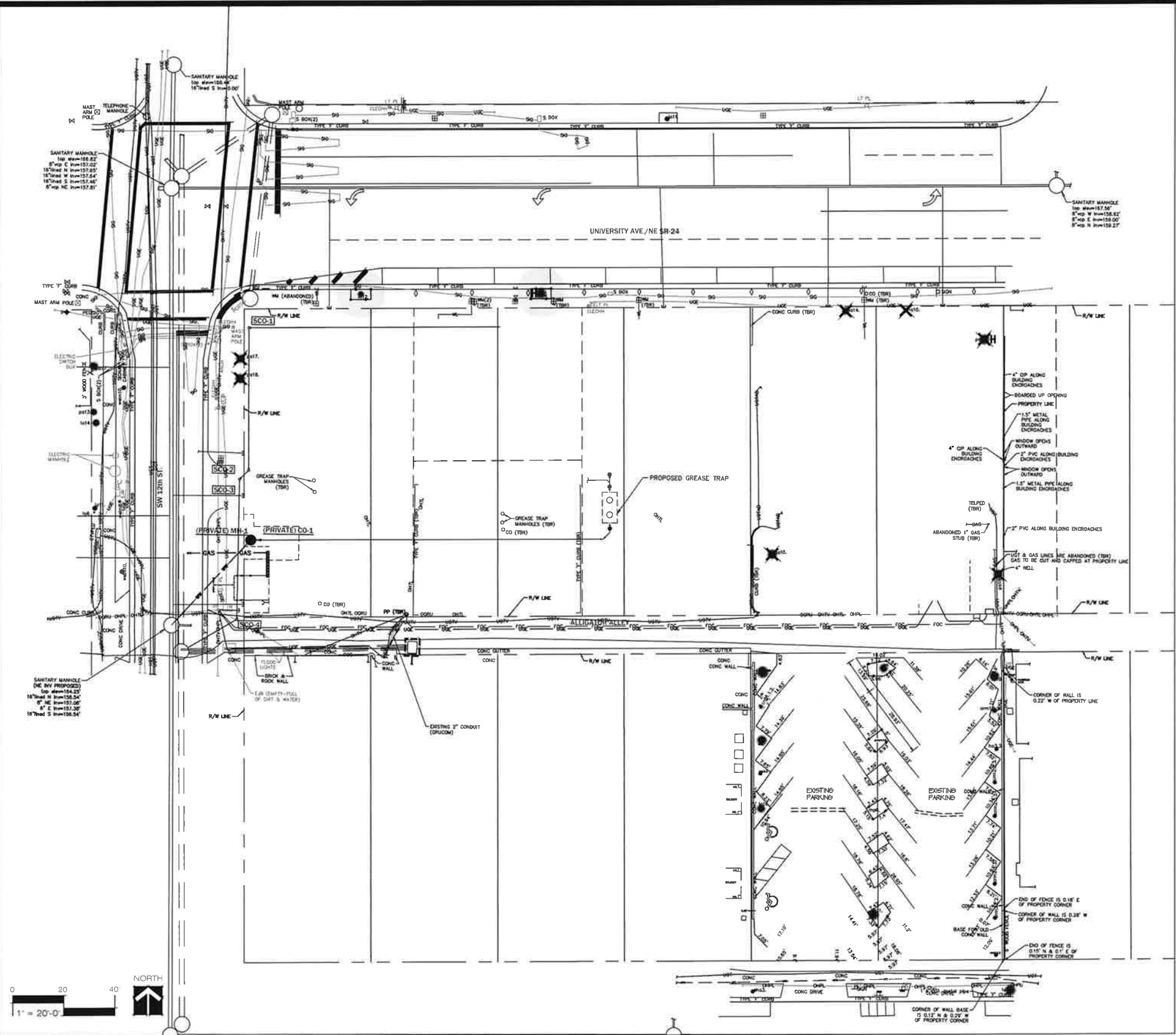
GAINESVILLE, FLORIDA

PROJECT INFORMATION
PROJECT NUMBER: 17039
DRAFTED: K. HUNTER
DESIGNED: K. HUNTER
REVIEWED: K. HUNTER
ISSUE DATE: 6/19/17

REVISIONS

SHEET NUMBER

E-2



TREE REMOVAL MITIGATION CALCULATIONS

HERITAGE TREE MITIGATION

THE FOLLOWING ARE THE HERITAGE TREES TO BE REMOVED
THE MITIGATION STATED FOR EACH TREE IS PER THE REQUEST OF THE URBAN FORESTRY
INSPECTOR DURING THE SITE VISIT.

QTY	TREE	CALIPER	MITIGATION
1	CARYA ILLINOIENSIS	20"	APPRAISAL VALUE

HERITAGE TREE APPRAISAL VALUES

TREE APPRAISAL VALUE IS CALCULATED AS FOLLOWS PER SEC. 30-23 OF THE CITY OF GAINESVILLE LAND
DEVELOPMENT CODE

TRUNK AREA X UNIT FACTOR FOR SQUARE INCH PRICE OF \$40.00 X 55% DIMINUTION RATING

QTY	SPECIES	TRUNK DIAMETER	TREE APPRAISAL VALUE
1	CARYA ILLINOIENSIS	20"	\$ 6,908.00

TOTAL TREE APPRAISAL COST \$ 6,908.00

REGULATED TREE TWO FOR ONE MITIGATION

MITIGATION IS AT 2 TREE FOR EACH REGULATED TREE REMOVED.

QTY	SPECIES	SIZE	QTY TO BE MITIGATED
1	ILEX OPACA	10"	2 TREES
1	ILEX OPACA	14"	2 TREES
1	SABAL PALMETTO	17"	2 TREES
3	SABAL PALMETTO	18"	6 TREES

TOTAL MITIGATION REQUIREMENT 12 TREES

PROPOSED TREES

STREET TREES:
UNIVERSITY AVENUE:
TOTAL LINEAR FT 300 LF
REQUIREMENT: AVERAGE 1 TREE PER 40 LF 7.5 TREES

PROVIDED:
EXISTING LARGE SHADE TREES 2 TREES
PROPOSED LARGE SHADE TREES 6 TREES

SW 12TH STREET:
TOTAL LINEAR FT 105 LF
REQUIREMENT: AVERAGE 1 TREE PER 40 LF 3 TREES

PROVIDED:
PROPOSED TREES 4 TREES

MITIGATION SUMMARY

TOTAL MITIGATION REGULATED TREES REQUIRED 12 TREES
(2-INCH TREES)

PROPOSED TREES
3-INCH TREES - 1.5 TREE EQUIVALENT
6 TREES X 1.5 TREE EQUIVALENT 9 TREES

(2-INCH TREES)
TOTAL PROPOSED TREES 4 TREES
13 TREES

TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE
HARDWOODS 8" AND GREATER AND PINES 12" AND
GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

LOCATION	SIZE/COMMON NAME
pa17	20" CARYA ILLINOIENSIS
o20	20" ILEX OPACA
o17	17" ILEX OPACA
o14	14" ILEX OPACA
o10	10" ILEX OPACA
o8	8" ILEX OPACA
o6	6" ILEX OPACA
o4	4" ILEX OPACA
o2	2" ILEX OPACA

pa17. TREES TO BE REMOVED

H HERITAGE TREE



PREPARED BY:



3459 NW 13th Avenue
Gainesville, Florida 32605
Ph. 352-373-8220 Fax 866-845-7717
LC 28000252

PREPARED FOR:

CORE SPACES
CHICAGO, IL

PROJECT:

HUB ON CAMPUS
UNIVERSITY
OF FLORIDA

SHEET TITLE:

TREE
MITIGATION

PROJECT PHASE:

CITY / GRU
RESUBMITTAL

ISSUE DATE:

JUNE 19, 2017

REVISIONS	NO.	DATE	COMMENTS

PROFESSIONAL SEAL:

LAWRENCE E. TEAGUE
FLORIDA: LA0001582

PROJECT NUMBER:

17022.1

DRAWN BY:

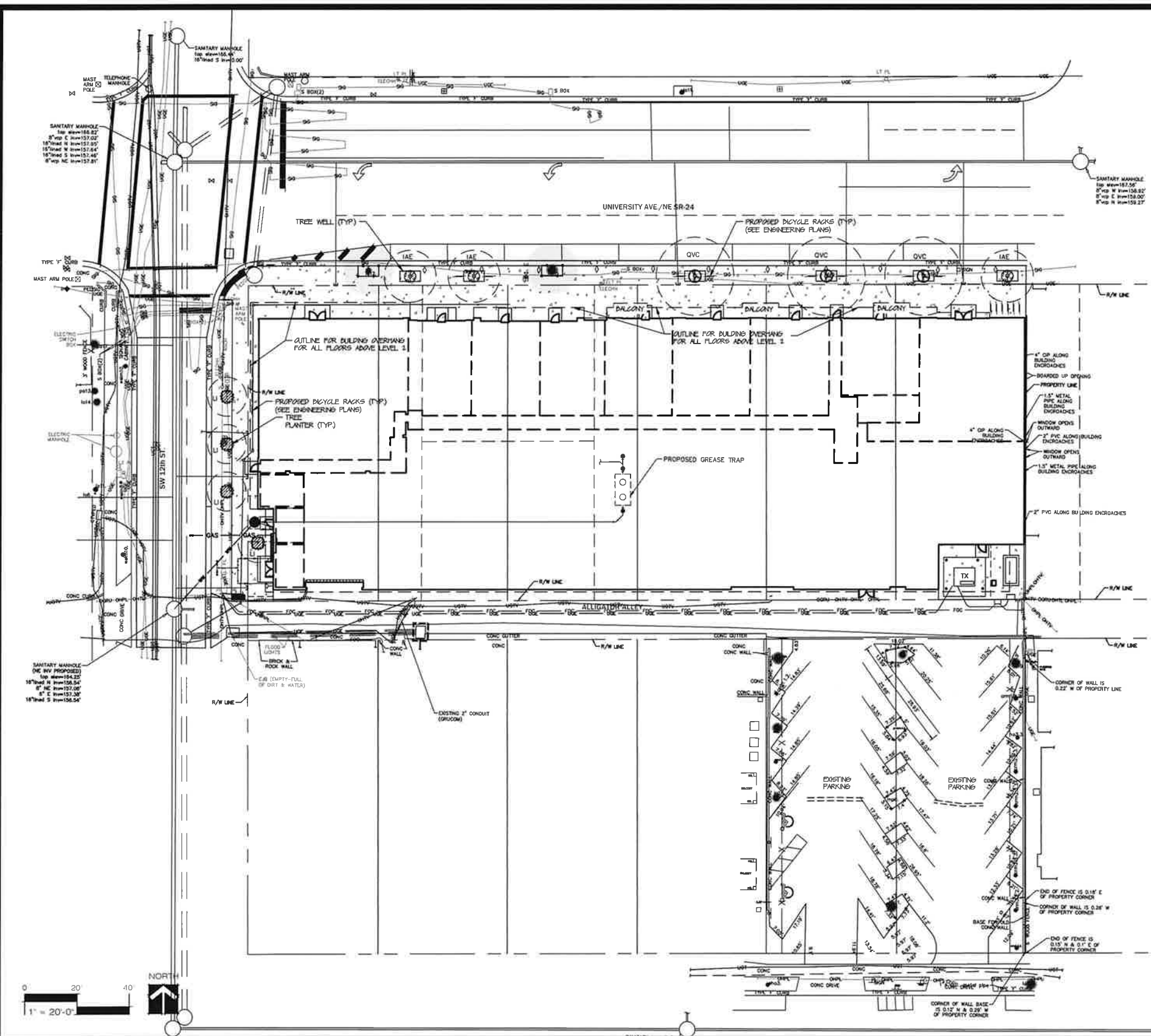
ALZ

CHECKED BY:

LET

SHEET NUMBER:

L-101

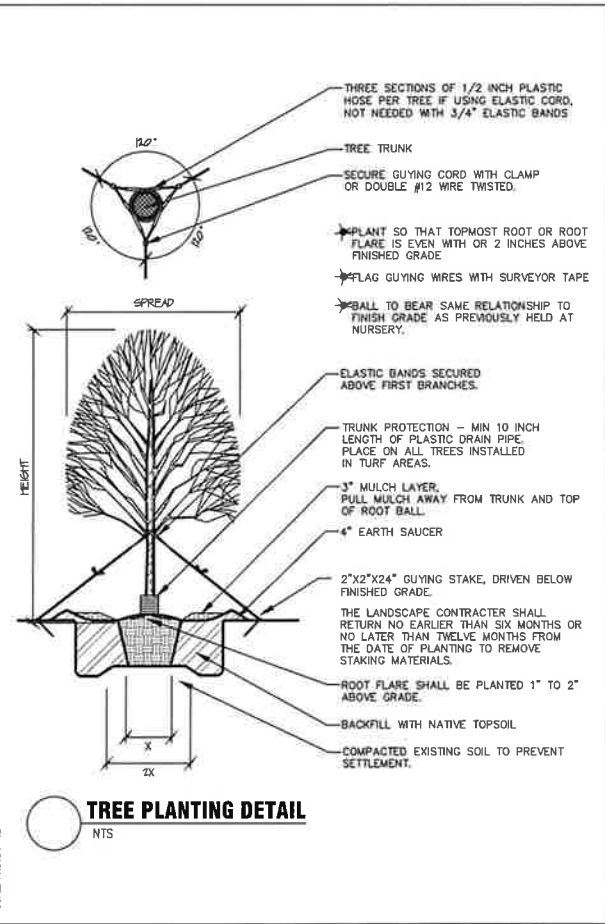


PLANT MATERIAL SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER HT X WIDTH (Caliper)	FLA NATIVE	DROUGHT TOLERANCE
TREES						
IAE	3	Ilex x attenuata 'Eagleston'	Eagleston Holly	65 Gal 12' x 5' (3.5" cal)	As Shown	Y H
LI	4	Lagerstroemia	Crape Myrtle 'Natchez'	30 Gal 8-10' x 4' (2" cal)	As Shown	Y M
QVC	3	Quercus virginiana 'Cathedral Oak'	Cathedral Live Oak	65 Gal 12' x 5' (3.5" cal)	As Shown	Y H

LANDSCAPE NOTES - GENERAL

- GENERAL**
MULCH ALL LANDSCAPE AREAS WITH A THREE (3) INCH MINIMUM LAYER OF PINE BARK MULCH EXCEPT IN THE RETENTION AREAS WHERE PINE STRAW IS REQUIRED.
- CMD. CONCRETE, MORTAR, EXISTING WEEDS AND GRASSES, AND ANY OTHER FOREIGN MATERIALS SHALL BE REMOVED FROM PLANTING AREAS TO A DEPTH OF THREE (3) FEET.
- REQUIRED FILL FOR PLANTING AREAS SHALL BE FLORIDA SOURCED, FREE OF WEED SEEDS, AND WITH A pH OF 5.5 TO 6.5.
- OWNER RESPONSIBLE FOR THE SURVIVAL OF ALL PLANTING MATERIAL FOR ONE (1) YEAR AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- TREE INSTALLATION**
CALL THE URBAN FORESTRY INSPECTOR FOR A PRE-SITE VISIT BEFORE THE INSTALLATION OF PLANT MATERIALS AT 352-393-8188.
- ALL PROPOSED TREES TO BE A MINIMUM SEVEN (7) FT IN HEIGHT AND TWO (2) INCH CALIPER UNLESS SPECIFIED BY THE LANDSCAPE ARCHITECT.
- SHADE TREES REQUIRE A MINIMUM OF 420 CUBIC FEET OF ROOTZONE VOLUME.
- ALL PROPOSED TREES TO MAINTAIN GRU MANDATED OFFSETS FROM UNDERGROUND UTILITY LINES PER SECTION 30-25(1). NO UNDERGROUND UTILITY LINES SHALL NOT BE LOCATED WITHIN THE ROOTZONE VOLUME.
- ALL TREES IN SOO AREAS TO BE PROTECTED FROM MOWERS AND STRING TRIMMERS BY
a. A FOUR (4) FOOT MINIMUM DIAMETER MULCH RING AROUND THE TRUNK BASE
b. A TEN (10) INCH PLASTIC PROTECTOR (CORRUGATED DRAIN PIPE) AROUND THE TRUNK BASE
- TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED, THE TOPMOST ROOT SHOULD BE 1 TO 2 INCHES ABOVE THE SURROUNDING GRADE.
- TREES TO BE STAKED IF DEEMED NECESSARY. IF STAKED, GUYING TO BE A BIO-DEGRADABLE MATERIAL. STAKING TO BE REMOVED WITHIN ONE YEAR OF INSTALLATION.
- INVASIVE EXOTIC PLANT MATERIAL**
ALL INVASIVE EXOTIC SPECIES TO BE REMOVED FROM SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- GRASSING**
ALL DISTURBED UNPAVED AREAS SHALL BE GRASSED, MULCHED OR PLANTED. AREAS TO BE TURF GRASS SHALL BE GRADED SMOOTH AND EITHER GRASSED WITH SOD THAT IS CERTIFIED FREE OF NOXIOUS WEEDS OR SEEDS BY A HYDRO-SEED PROCESS OR SEEDS WITH A STRAW MULCH COVER.
- PLANT MATERIAL**
ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER, GRADED IN ACCORDANCE WITH FLORIDA DIVISION OF PLANT INDUSTRY'S GRADES AND STANDARDS FOR NURSERY PLANTS.
- IRRIGATION NOTES**
LANDSCAPE IRRIGATION TO BE PROVIDED BY AN AUTOMATIC IRRIGATION SYSTEM.
- THE IRRIGATION SYSTEM SHALL PROMOTE WATER CONSERVATION BY UTILIZING METHODS SUCH AS DRIP IRRIGATION, EFFICIENT SPRINKLER ZONING, AND REDUCED RUN TIMES AS PLANTS BECOME MORE ESTABLISHED.
- BUBBLERS TO BE PROVIDED FOR EACH PROPOSED TREE TO INSURE THE ENTIRE ROOT BALL IS IRRIGATED.



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PREPARED FOR:
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CHICAGO, IL

PROJECT:
HUB ON CAMPUS
UNIVERSITY OF FLORIDA

SHEET TITLE:
LANDSCAPE PLAN

PROJECT PHASE:
CITY / GRU RESUBMITTAL

ISSUE DATE:
JUNE 19, 2017

REVISIONS		
NO.	DATE	COMMENTS

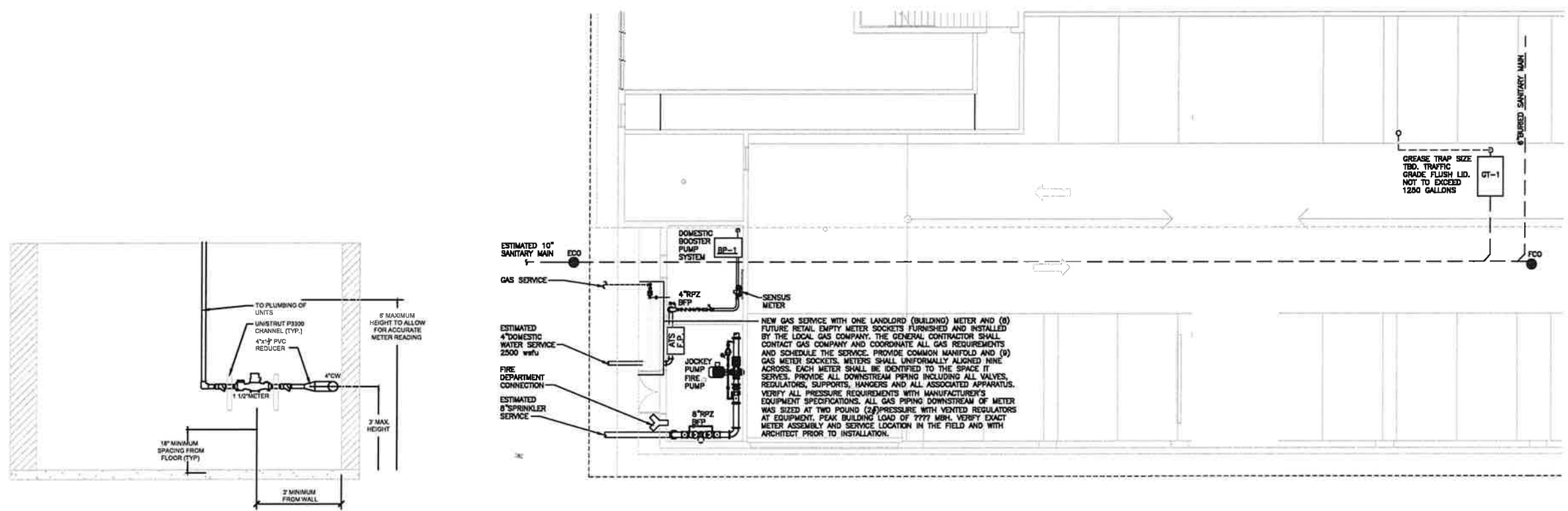
PROFESSIONAL SEAL:

LAWRENCE E. TEAGUE
FLORIDA: LA0001582

PROJECT NUMBER:
17022.1

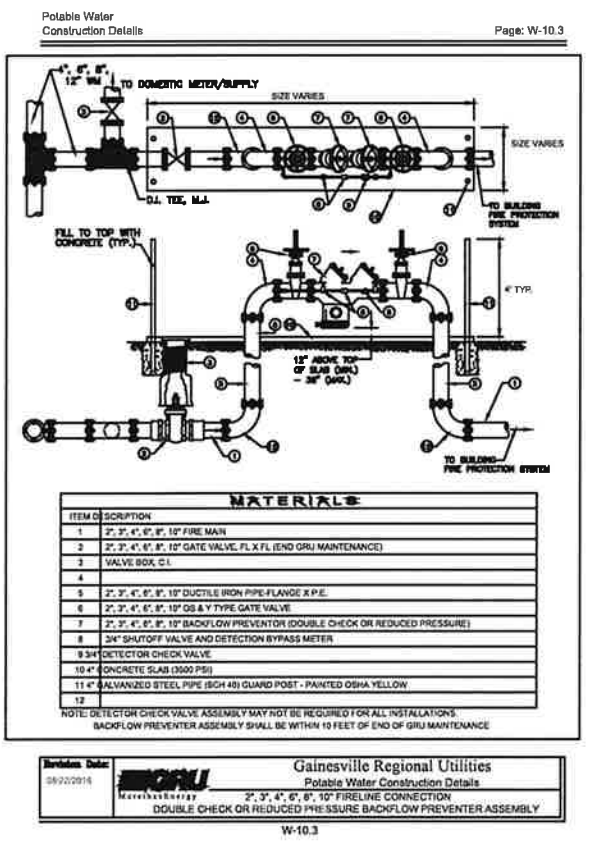
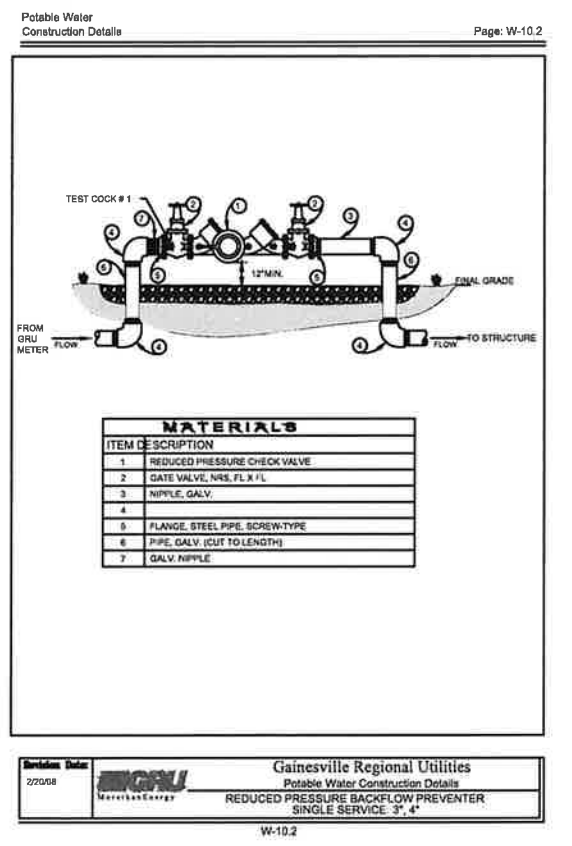
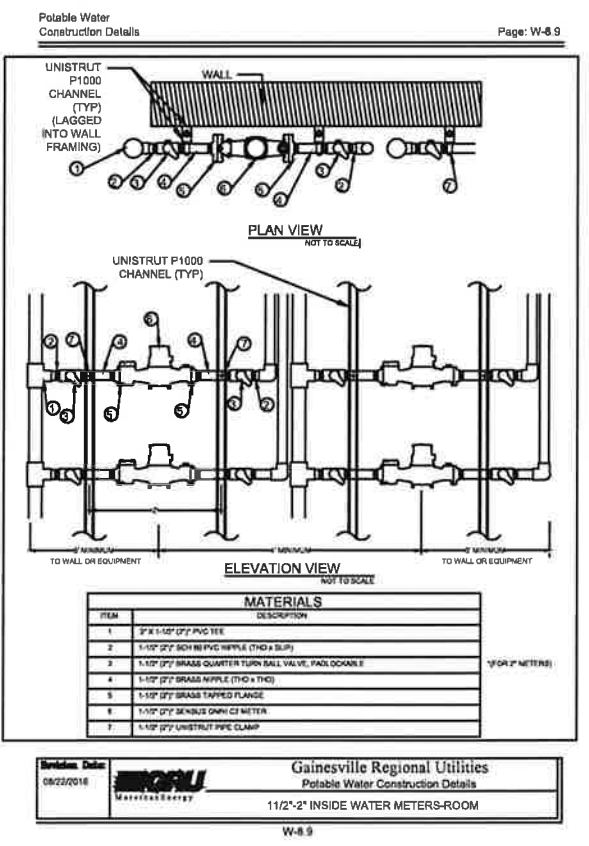
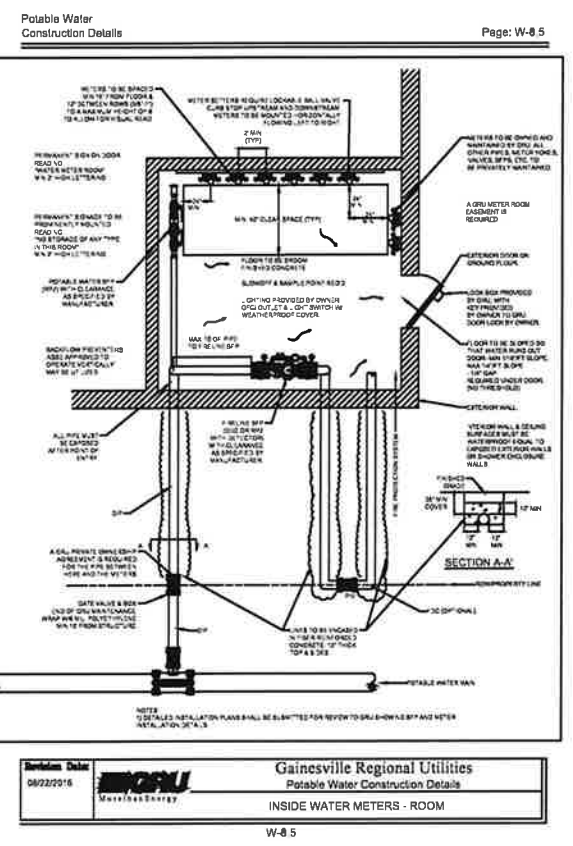
DRAWN BY: ALZ
CHECKED BY: LET

SHEET NUMBER:
L-201



2
P01 WATER METER ELEVATION
SCALE: 1/2" = 1'-0"

1
P01 WATER METER PLAN
SCALE: 1/8" = 1'-0"



APPROVALS

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

DRAWN BY: SE
CHECKED BY: DL
PROJECT MNGR: DL

NO	DATE	DESCRIPTION
1	08/18/17	CITY/GRU RESUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRELIMINARY NOT FOR CONSTRUCTION

HUB ON CAMPUS - GAINESVILLE

1105 - 1131 W UNIVERSITY AVE. GAINESVILLE, FL

MYEFSKI ARCHITECTS

630 DAVIS STREET | 5TH FLOOR
EVANSTON, ILLINOIS 60201
TELEPHONE 847.440.8994
FACSIMILE 847.440.8995

JOB NO: 16007
DATE: 06.19.2017

WATER METERS **P01**

BOUNDARY AND TOPOGRAPHIC SURVEY

OF
LOTS 7, 8, 17, & 18 OF BLOCK 2 OF UNIVERSITY PLACE, A SUBDIVISION AS
PER PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 77 OF THE PUBLIC
RECORDS OF ALACHUA COUNTY, FLORIDA
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA
FOR
CORE CAMPUS INVESTMENT PARTNERS, LLC

TREE LEGEND:
ONLY TREES WITH A DIAMETER 8" AND GREATER
AND PLANTED LANDSCAPE TREES
WERE LOCATED FOR THIS SURVEY.
(DIAMETER MEASURED 4.5' ABOVE GRADE)

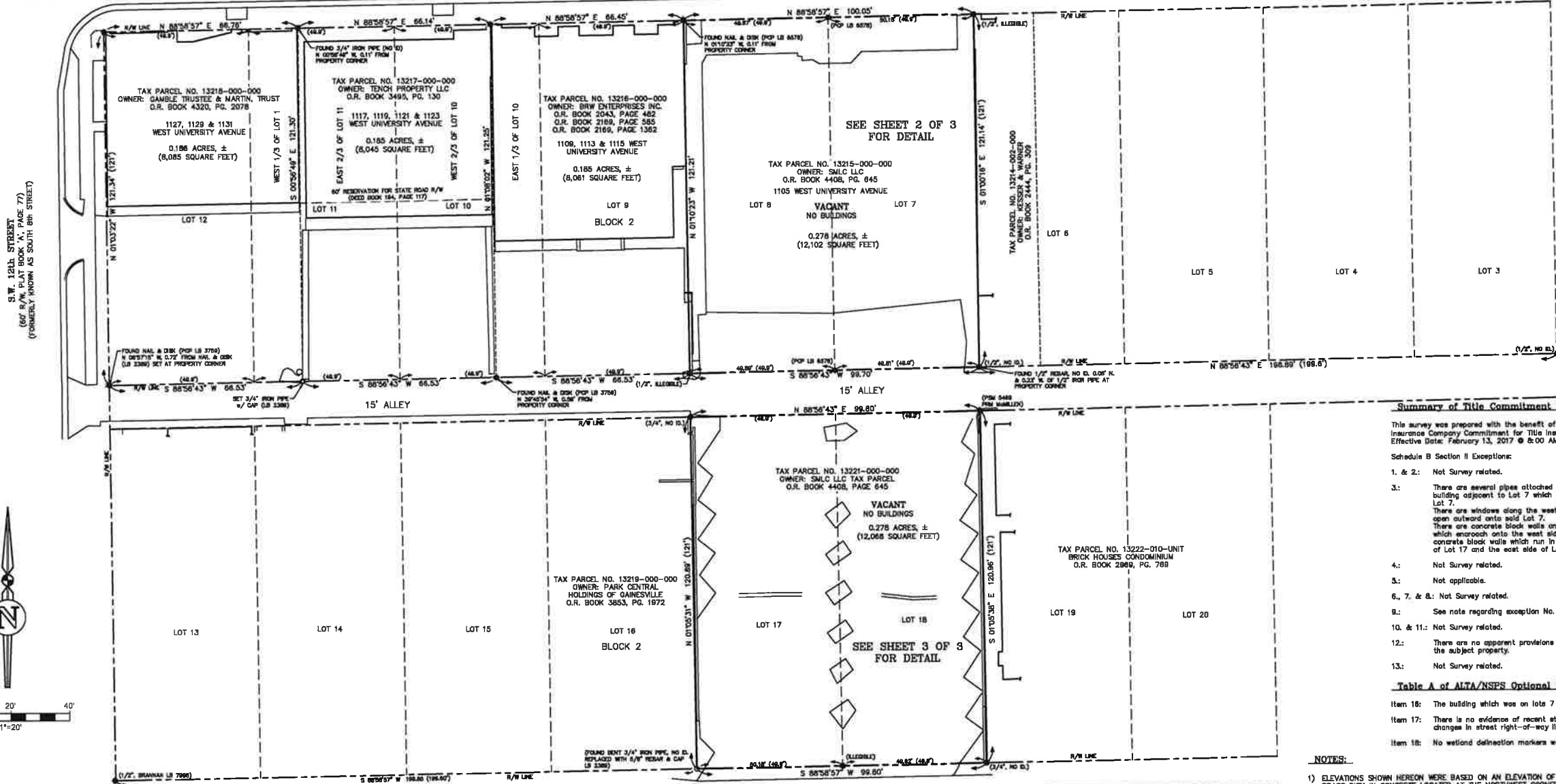
- SIZE/COMMON NAME Genus species
- 3" CRAPPE MYRTLE *Lagerstroemia indiana*
 - 10" WINGED ELM *Ulmus alatus*
 - 14" AMERICAN HOLLY *Ilex opaca*
 - 11" LIVE OAK *Quercus virginiana*
 - 8" RED MAPLE *Acer rubrum*
 - 13" PALM *Sabal palmetto*
 - 20" PECAN *Carya sp.*
 - 3" SHUMARD OAK *Quercus shumardii*

LEGAL DESCRIPTION:

TAX PARCEL NOS. 13215-000-000 AND 13221-000-000 (AS PER O.R. BOOK 4408, PAGE 645)

LOTS SEVEN (7), EIGHT (8), SEVENTEEN (17) AND EIGHTEEN (18), OF BLOCK TWO (2), OF THE W.R. THOMAS REAL ESTATE COMPANY'S SUBDIVISION PORTION OF THE SOUTH 1/2 (S 1/2) OF SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, KNOWN AS "UNIVERSITY PLACE" IN THE CITY OF GAINESVILLE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK "A", PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

WEST UNIVERSITY AVENUE (STATE ROAD No. 24 & 26)
(60' R/W AS PER R/W MAP FOR ROAD NO. 28 STATE OF FLORIDA STATE ROAD
DEPARTMENT SECTION No. 2807-107, SHEET 7 OF 10, LAST REVISED 04/23/96)
(FORMERLY KNOWN AS WEST LIBERTY ST.)



Summary of Title Commitment Review:

This survey was prepared with the benefit of and in reference to the First American Title Insurance Company Commitment for Title Insurance with a File Number: 12183.1(10-084), Effective Date: February 13, 2017 @ 8:00 AM.

Schedule B Section II Exceptions:

1. & 2.: Not Survey related.
- 3.: There are several pipes attached to the outside of the west side of the building adjacent to Lot 7 which serve said building and encroach onto said Lot 7.
There are windows along the west side of the building adjacent to Lot 7 which open outward onto said Lot 7.
There are concrete block walls and a portion of a concrete dumpster pad which encroach onto the west side of Lot 17. It is unknown who owns the concrete block walls which run in a North-South direction along the west side of Lot 17 and the east side of Lot 18.
- 4.: Not Survey related.
- 5.: Not applicable.
- 6., 7. & 8.: Not Survey related.
- 9.: See note regarding exception No. 3.
10. & 11.: Not Survey related.
- 12.: There are no apparent provisions of the Plat of University Place which affect the subject property.
- 13.: Not Survey related.

Table A of ALTA/NSPS Optional Requirements:

- Item 18: The building which was on lots 7 and 8 was demolished in the past year.
- Item 17: There is no evidence of recent street or sidewalk construction or repairs or changes in street right-of-way lines.
- Item 18: No wetland delineation markers were observed.

NOTES:

- 1) ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 137.86 FEET (NGVD 1928 DATUM) ON "BM 003" A BRASS DISK IN CONCRETE LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF NEWELL DRIVE AND MUSEUM ROAD AS PER "SURVEY FOR UNIVERSITY OF FLORIDA PHYSICAL PLANT DEPARTMENT" PREPARED BY JOHN W. MYERS & ASSOCIATES, P.A., WITH A PROJECT NO. M-3830-88, DRAWING NO. B-808 AND A SURVEY DATE OF 11-7-96. FOR THE PURPOSES OF THIS SURVEY, THIS ELEVATION WAS CONVERTED TO 136.81 FEET (NAVD 1988 DATUM) WITH CORPSON V6.0.1, U.S. ARMY CORPS OF ENGINEERS.
- 2) BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF N 88°58'57" E ON THE NORTH LINE OF BLOCK 2 OF UNIVERSITY PLACE, PLAT BOOK "A", PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
- 3) BEARINGS AND DISTANCES SHOWN IN PARENTHESES () REFER TO LEGAL DESCRIPTION OR RECORDED PLAT WHERE THEY DIFFER FROM FIELD MEASUREMENT.
- 4) ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
- 5) THIS SURVEY CONSISTS OF 3 SHEETS AND IS NOT VALID WITHOUT ALL SHEETS.
- 6) NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR. THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

UTILITY LOCATION NOTE:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN WERE BASED ON ABOVE GROUND FIXTURES, UTILITY COMPANY MAPS AVAILABLE TO THE SURVEYOR, AND ELECTRONIC DETECTION METHODS. UNLESS NOTED OTHERWISE ON THE GRAPHIC PORTION OF THIS SURVEY, NO UTILITIES WERE UNCOVERED TO VERIFY THEIR LOCATION.

NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED BY THE SURVEYOR THAT THE LOCATIONS SHOWN REPRESENT THE ACTUAL LOCATIONS OF THOSE UTILITIES, THE UTILITY TYPE, OR THAT NO OTHER UTILITIES EXIST ON THE SITE.

PRIOR TO THE DESIGN OF UTILITY CONNECTIONS, THE PROPOSED CONNECTION POINTS SHOULD BE EXCAVATED AS NECESSARY TO CONFIRM THEIR EXACT LOCATION, DEPTH AND CHARACTERISTICS.

IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 556, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770.



VICINITY MAP:
SCALE: 1" = 100'

LEGEND OF SYMBOLS & ABBREVIATIONS:

- | | |
|--|---|
| A/O = AIR CONDITIONER COMPRESSOR PAD | ○ = MANHOLE |
| CP = CAST IRON PIPE | ○ = PARKING METER |
| COL = COLUMN | ○ = POWER POLE |
| CONC = CONCRETE | ○ = SET 5/8" REBAR & CAP (LB 2389) |
| CABLE = CABLE TELEVISION PEDESTAL | ○ = SET NAIL & DISK (LB 2389) |
| CTHWD = DUCTILE IRON PIPE | ○ = SIGN |
| EJB = ELECTRICAL JUNCTION BOX | ○ = TELEPHONE PEDESTAL |
| ELEV = ELEVATION | ○ = WATER METER |
| FIBER = FIBER OPTIC CABLE JUNCTION BOX | ○ = WATER VALVE |
| ID = IDENTIFICATION | ○ = ELEVATION CONTOUR LINE |
| INT = INVERT | ○ = FENCE LINE |
| NO = NUMBER | ○ = OVERHEAD GUCOM LINE |
| O.R. = OFFICIAL RECORDS BOOK | ○ = OVERHEAD POWER LINE |
| PEDESTAL = PEDESTRIAN SIGNAL POST | ○ = OVERHEAD TELEPHONE LINE |
| POLY = POLY-VINYL CHLORIDE | ○ = OVERHEAD TELEVISION LINE |
| PCP = REINFORCED CONCRETE PIPE | ○ = FIBER OPTIC CABLE LINE |
| RIGHT = RIGHT OF WAY | ○ = UNDERGROUND ELECTRIC LINE |
| S BOX = TRAFFIC SIGNAL JUNCTION BOX | ○ = UNDERGROUND GAS LINE |
| VCP = VITRIFIED CLAY PIPE | ○ = UNKNOWN UNDERGROUND UTILITY LINE (PROBABLY GAS) |
| W = WITH | ○ = UNDERGROUND GUCOM LINE |
| W/ = GUY ANCHOR | ○ = UNDERGROUND TELEPHONE LINE |
| W/ = TRAFFIC BOLLARD | ○ = UNDERGROUND TELEPHONE LINE (ABANDONED) |
| W/ = SANITARY CLEAN-OUT | ○ = UNDERGROUND CABLE TELEVISION LINE |
| W/ = FOUND IRON PIPE (size, ID) | ○ = UNDERGROUND UNIVERSITY OF FLORIDA COMMUNICATIONS LINE |
| W/ = FOUND NAIL & DISK (ID) | ○ = UNDERGROUND TRAFFIC SIGNAL LINE |
| W/ = FOUND REBAR & CAP (size, ID) | ○ = UNKNOWN UNDERGROUND UTILITY LINE |
| W/ = ELECTRICAL HANDHOLE | ○ = UNDERGROUND WATER LINE |
| W/ = FIRE HYDRANT | ○ = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY |
| W/ = LIGHT POLE | ○ = SPOT ELEVATION |

**ALTA/NSPS
Land Title Survey**

ALTA/NSPS Certification:

To Core Campus Investment Partners, LLC, a Delaware limited liability company; First American Title Insurance Company; Holden, Carpenter & Roscoe, PL

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16, 17 and 18 of Table A thereof. The fieldwork was completed on 03/28/17.

Date of Plat or Map: 03/23/17

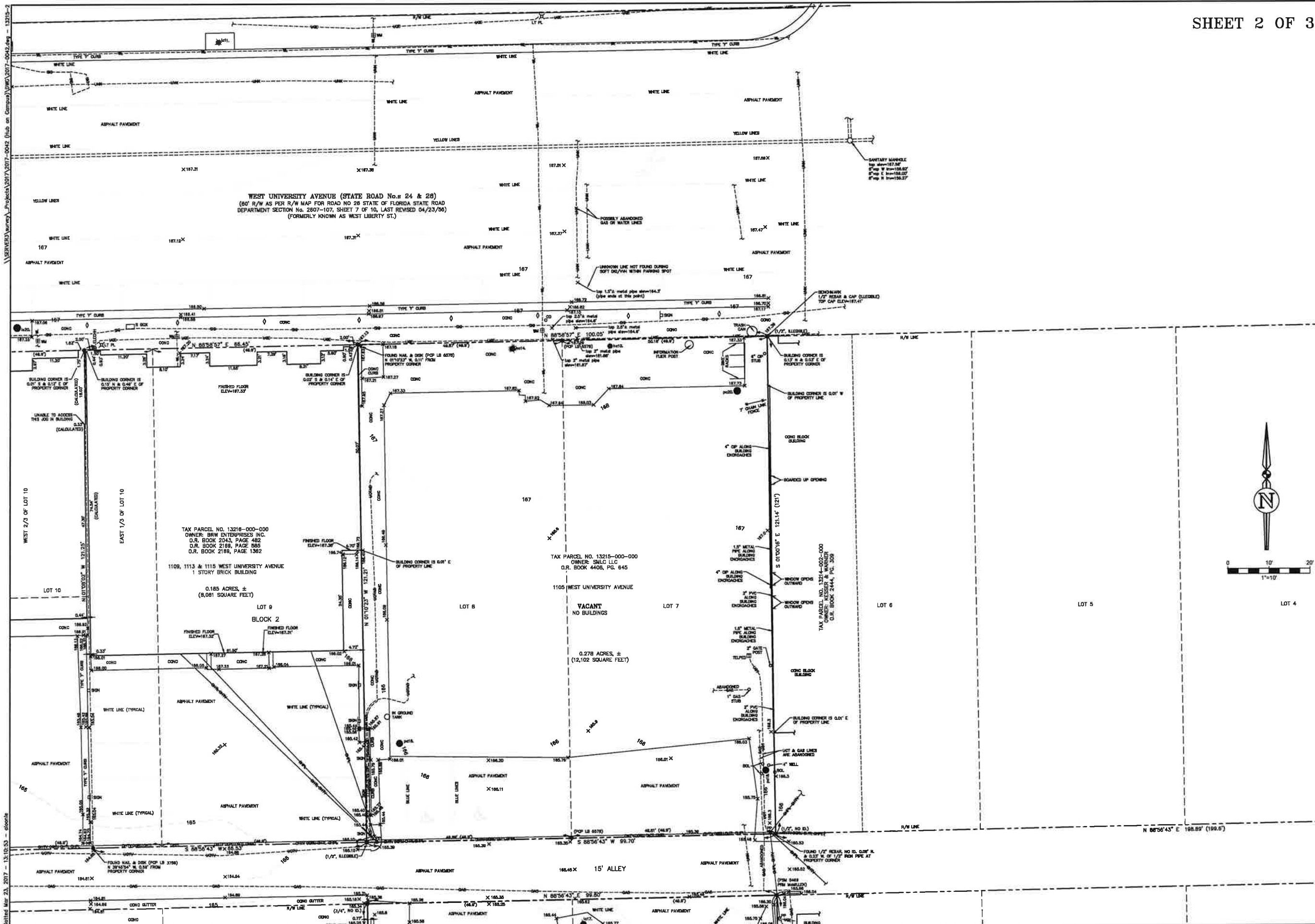
eds engineers-surveyors-planners, inc.
Corporate Authorization No. 2359
By: Robert W. Grover PSM 4239
email: RGrover@edsi.com

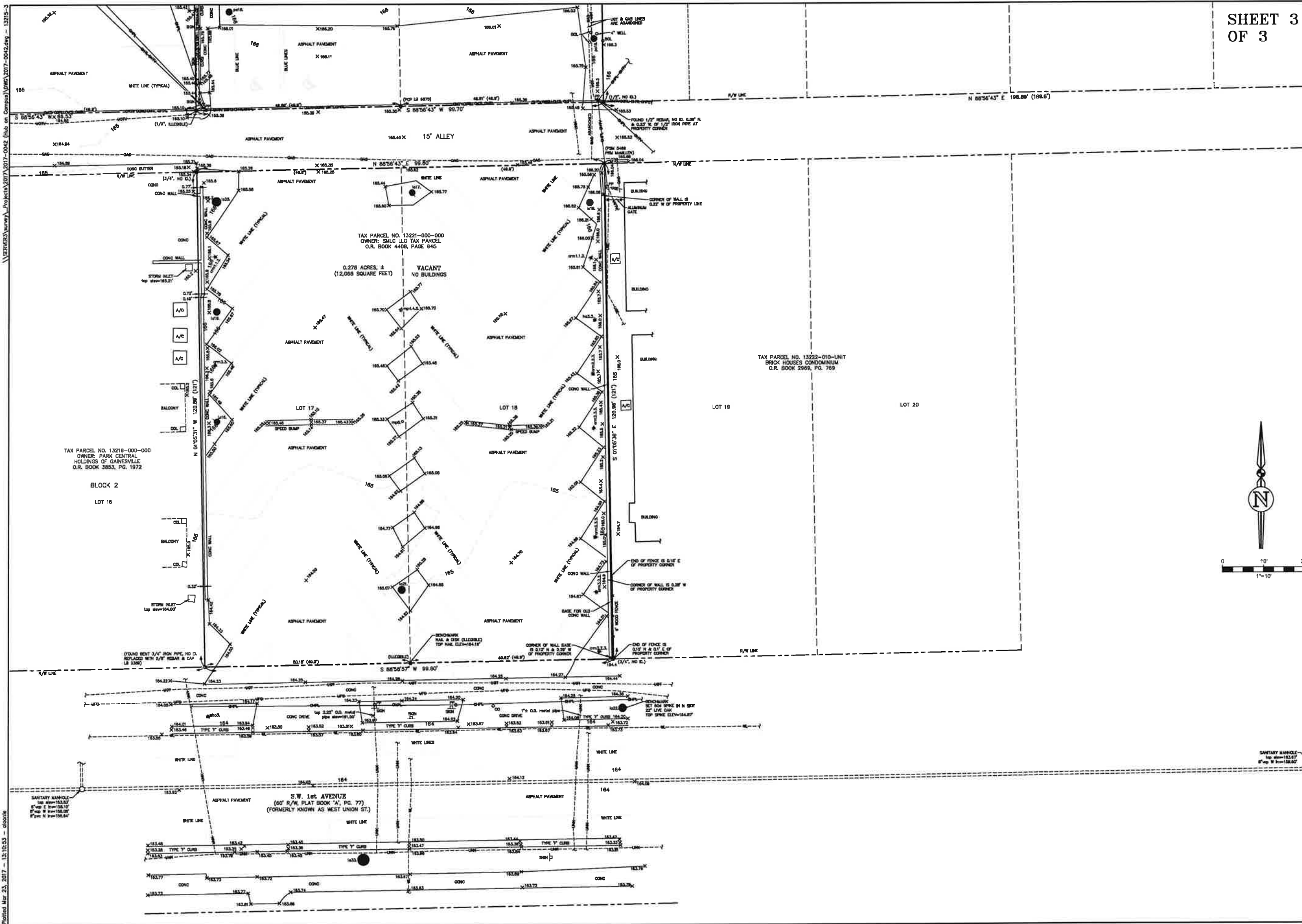
FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) "X" (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 120005084L. COMMUNITY NUMBER: 123107. PANEL: 30400. EFFECTIVE DATE: JUNE 18, 2008. SAID MAP DESCRIBES ZONE(S) "X" (UNSHADED) AS BEING A RARE OCCURRENCE OF FLOODING WITH AN ANNUAL CHANCE EXCEEDING 1%.

eds engineers-surveyors-planners, inc.
2044 N.W. 42nd ST. GAINESVILLE, FLORIDA 32608-4404
TEL: (352) 336-1100
F: (352) 336-1101
www.edsi.com

eds engineers-surveyors-planners, inc.
Professional Authorization No. 4239
SEE ALTA/NSPS CERTIFICATION MAP
B.G.
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, COMPILED 03/20/17

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPMERS IN CHAPTER 464.17, FLORIDA STATUTES, AND THE ALTA/NSPS CERTIFICATION MAP. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 03/20/17.
PREPARED FOR: SEE ALTA/NSPS CERTIFICATION
Sheet No.: V-001





FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN
ZONE(G), "C" (UNSHARED). AS DESIGNATED ON THE FLOOD
INSURANCE RATE MAP NUMBER 1200100314. COMMUNITY
INSURANCE RATE MAP NUMBER: 123017. PANEL: 03140. EFFECTIVE DATE:
JUNE 18, 2008. SAID MAP DESCRIBES ZONE(G)"C" (UNSHARED)
AS BEING SUBJECTS REFERENCED TO BE SUBJECTS OF THE FLOOD INSURANCE



2404 N.W. 42nd ST., GAINESVILLE, FLORIDA 32606-6602
TEL. (352) 373-3541 FAX. (352) 373-7249
LB 2389

2017-0042 500	Green	A.L.	4239
SEE ALTA/NISPS CERTIFICATION FOR SIGNATURE AND ORIGINAL RAISED SEAL			4239
Check	B.G.		

1600	27-46	03/20/17	03/23/17
Published	Traps	Survey Date	Survey Completed

PREPARED FOR: SEE ALTA/NISPS CERTIFICATION

THIS SURVEY MEETS THE REQUIREMENTS OF PARAGRAPH 46 AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-7, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.0627 (2016), FLORIDA STATUTES.

Sheet No.:
V-003

ALL OF LOT 12 AND THE WEST 1/3 OF LOT 11 OF BLOCK 2 OF UNIVERSITY PLACE, A SUBDIVISION AS PER PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA
FOR
CORE CAMPUS INVESTMENT PARTNERS, LLC

Location
 species
 quantity
 date

3* GRAPE MYRTLE *Lagerstroemia indica*
 10* WINGED ELM *Ulmus alata*
 14* AMERICAN HOLLY *Ilex opaca*
 11* LIVE OAK *Quercus virginiana*
 6* RED MAPLE *Acer rubrum*
 13* PALM *Sabal palmetto*
 20* PECAN *Carya sp.*
 3* SHUMARD *Quercus shumardii*

LEGAL DESCRIPTION:

TAX PARCEL NO. 13218-000-000 (AS PER O.R. BOOK 4320, PAGE 2078)
ALL OF LOT 12 AND THE WEST 1/3 OF LOT 11, BLOCK 2 OF UNIVERSITY PLACE SUBDIVISION AS PER PLAT THEREOF
RECORDED IN PLAT BOOK "A", PAGE 77, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, BEING MORE
PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SAID LOT 12 WHICH IS ALSO THE NORTHWEST CORNER OF SAID BLOCK 2; THENCE RUN EAST ALONG THE NORTH BOUNDARY LINE OF SAID LOT 12, 66.67 FEET; THENCE RUN SOUTH ALONG THE WEST BOUNDARY LINE OF SAID LOT 12, 121 FEET; THENCE RUN EAST ALONG THE SOUTH BOUNDARY LINE OF SAID LOTS 11 AND 12, 66.67 FEET; TO THE SOUTHWEST CORNER OF SAID LOT 12; THENCE RUN NORTH ALONG THE WEST BOUNDARY LINE OF SAID LOT 12, WHICH IS ALSO THE WEST BOUNDARY LINE OF SAID BLOCK 2, 121 FEET TO THE POINT OF BEGINNING.



Summary of Title Commitment Review:

This survey was prepared with the benefit of and in reference to the First American Title Insurance Company Commitment for Title Insurance with an Agents File Reference: 16-1116.2DE. Effective Date: December 20, 2016 @ 11:00 PM:

Schedule B Section II Exceptions:

- 1.: Not Survey related.
- 2.a. & b.: Not Survey related.
- 2.c.: The building encroaches 0.12"-0.15" into the State Road No. 26 Right-of-Way on the north side of the building.
- 2.d. & e.: Not Survey related.
- 3.: Not applicable.
- 4.: There are no apparent provisions of the Plat of University Place which affect the subject property.
- 5.: Not Survey related.

Table A of ALTA/NSPS Optional Requirements:

- Item 16: There is no evidence of earth moving work, building construction or building additions.
- Item 17: There is no evidence of recent street or sidewalk construction or repairs or changes in street right-of-way lines.
- Item 18: No wetland delineation markers were observed.

NOTES:

- 1) ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 137.68 FEET (NGVD 1929 DATUM) ON "BM 003" A BRASS DISK IN CONCRETE LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF NEWELL DRIVE AND MUSEUM ROAD AS PER 'SURVEY FOR: UNIVERSITY OF FLORIDA PHYSICAL PLANT DEPARTMENT' PREPARED BY JOHN W. MYERS & ASSOCIATES, P.A., WITH A PROJECT NO. 86-3030-86, DRAWING NO. E-605 AND A SURVEY DATE OF 11-7-86. FOR THE PURPOSES OF THIS SURVEY, THIS ELEVATION WAS CONVERTED TO 136.81 FEET (NAVD 1988 DATUM) WITH CORPSSON v6.01. U.S. ARMY CORPS OF ENGINEERS.
- 2) BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF N 68°58'57" E ON THE NORTH LINE OF BLOCK 2 OF UNIVERSITY PLACE, PLAT BOOK 'A', PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
- 3) BEARINGS AND DISTANCES SHOWN IN PARENTHESES () REFERRING TO B-D DESCRIPTION OR RECORDED PLAT WHERE THEY DIFFER FROM FIELD MEASUREMENT.
- 4) ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
- 5) THIS SURVEY CONSISTS OF 2 SHEETS AND IS NOT VALID WITHOUT BOTH SHEETS.
- 6) NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR, THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

UTILITY LOCATION NOTE:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN WERE BASED ON ABOVE GROUND FIXTURES, UTILITY COMPANY MAPS AVAILABLE TO THE SURVEYOR, AND ELECTRONIC DETECTION METHODS. UNLESS NOTED OTHERWISE ON THE GRAPHIC PORTION OF THIS SURVEY, NO UTILITIES WERE UNCOVERED TO VERIFY THEIR LOCATION.

NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED BY THE SURVEYOR THAT THE LOCATIONS SHOWN REPRESENT THE ACTUAL LOCATIONS OF THOSE UTILITIES, THE UTILITY TYPE, OR THAT NO OTHER UTILITIES EXIST ON THE SITE.

PRIOR TO THE DESIGN OF UTILITY CONNECTIONS, THE PROPOSED CONNECTION POINTS SHOULD BE EXCAVATED AS NECESSARY TO CONFIRM THEIR EXACT LOCATION, DEPTH AND CHARACTERISTICS.

IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 556, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770.



VICINITY MAP
SCALE: 1" = 1000'

ALTA/NSPS Certification:

To Core Campus Investment Partners, LLC; First American Title Insurance Company; Salter Federal, P.A.;

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2015 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16, 17 and 18 of Table A thereof. The fieldwork was completed on 03/20/17.

Date of Plot or Map: 03/23/17

eda engineers-surveyors-planners, inc.
Corporate Authorization No. 2389
By: Robert W. Grover PSM 4239
email: RGrover@edapl.com

LEGEND OF SYMBOLS & ABBREVIATIONS:

- | | | | | | |
|--------|---|--------------------------------|-------|---|---|
| A/D | = | AIR CONDITIONER COMPRESSOR PAD | O | = | MANHOLE |
| AP | = | CAST IRON PIPE | P | = | PARKING METER |
| CLJL | = | COLUMBIUM | PF | = | POWER POLE |
| CONC | = | CONCRETE | R | = | SET 5'LB REBAR & CAP (LB 2368) |
| CTVPE | = | CABLE TELEVISION PEDESTAL | S | = | SET NAIL & DISK (LB 2368) |
| DUC | = | DUCTILE IRON PIPE | SIG | = | SIGN |
| EJB | = | ELECTRICAL JUNCTION BOX | T | = | TELEPHONE PEDESTAL |
| ELEV | = | ELEVATION | TM | = | WATER METER |
| FIBS | = | FIBER OPTIC CABLE JUNCTION BOX | TV | = | WATER VALVE |
| ID | = | IDENTIFICATION | W | = | ELEVATION CONTOUR LINE |
| INV | = | INVERT | X | = | FENCE LINE |
| No. | = | NUMBER | -GSM- | = | OVERHEAD GRUOM LINE |
| O.R. | = | OFFICIAL RECORDS BOOK | -PWR- | = | OVERHEAD POWER LINE |
| PED | = | PEDESTRIAN SIGNAL POST | -TEL- | = | OVERHEAD TELEPHONE LINE |
| PVC | = | POLY-VINYL CHLORIDE | -TUV- | = | OVERHEAD TELEVISION LINE |
| RCF | = | REINFORCED CONCRETE PIPE | -FIB- | = | FIBER OPTIC CABLE |
| R/W | = | RIGHT OF WAY | -UG- | = | UNDERGROUND ELECTRIC LINE |
| S BOX | = | TRAFFIC SIGNAL JUNCTION BOX | -GAS- | = | UNDERGROUND GAS LINE |
| SCF | = | STRIPPED CLAY PIPE | -UTL- | = | UNDERGROUND UTILITY LINE (PROBABLY GAS) |
| W | = | WITH | -GRU- | = | UNDERGROUND GRUOM LINE |
| ANCH G | = | GUY ANCHOR | -TEL- | = | UNDERGROUND TELEPHONE LINE |
| B | = | BELL BOLLARD | -ABN- | = | UNDERGROUND TELEPHONE LINE (ABANDONED) |
| C | = | SANITARY CLEAN-OUT | -CBL- | = | UNDERGROUND CABLE TELEVISION LINE |
| D | = | FOUND IRON PIPE (also ID) | -UNV- | = | UNDERGROUND UNIVERSITY OF FLORIDA COMMUNICATIONS LINE |
| F | = | FOUND NAIL & DISK (ID) | -SIG- | = | UNKNOWN UNDERGROUND TRAFFIC SIGNAL LINE |
| L | = | FOUND REBAR & CAP (#size, ID) | -UTI- | = | UNKNOWN UNDERGROUND UTILITY LINE |
| ELPH H | = | ELECTRICAL HANDHOLE | -WTR- | = | UNDERGROUND WATER LINE |
| FL | = | FIRE FLOYDANT | Q | = | SIZE OF MATERIAL AS PROVIDED BY UTILITY COMPANY |
| LT | = | LOT POLE | EX | = | SPOT ELEVATION |

S.W. 1st AVENUE
(60' R/W, PLAT BOOK 'A', PG. 77)
(FORMERLY KNOWN AS WEST UNION ST.)

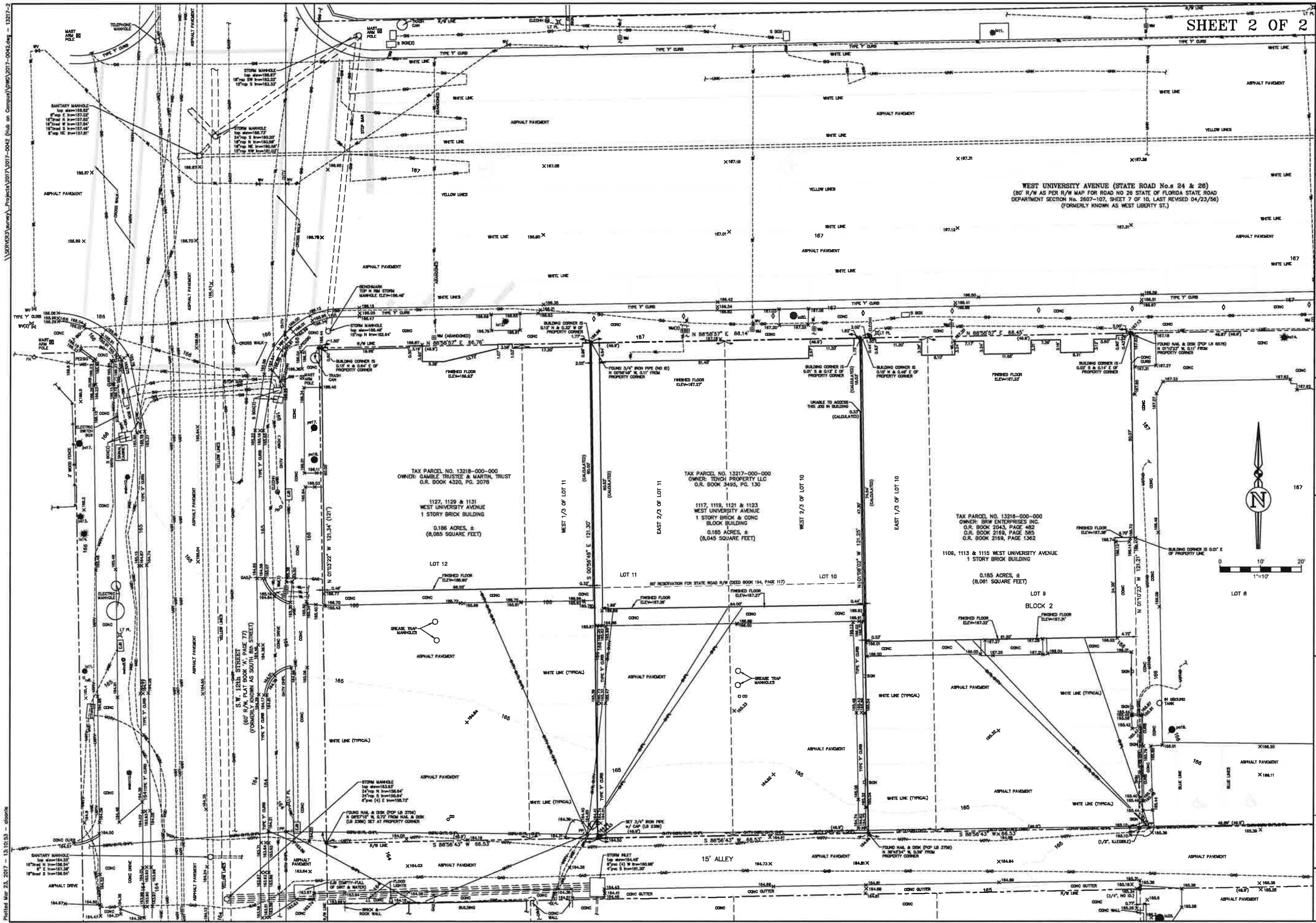


da engineers-surveyors-planners, inc.
LB 2389
2424 N.W. 43rd ST., GAINESVILLE, FLORIDA 32605 6607
TEL. (352) 373-3541 FAX. (352) 373-7429

Drawn	AL	4239
Check	B.G.	4239
SEE ALTA/NSPS CERTIFICATION FOR SIGNATURE AND ORIGINAL RAISED SEAL		

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2016), FLORIDA STATUTES.

V-001



SHEET 2 OF 2

WEST UNIVERSITY AVENUE (STATE ROAD No. 24 & 26)
(60' R/W AS PER R/W MAP FOR ROAD NO. 26 STATE OF FLORIDA STATE ROAD
DEPARTMENT SECTION No. 2607-107, SHEET 2 OF 10, LAST REVISED 04/23/56)
(FORMERLY KNOWN AS WEST LIBERTY ST.)

TAX PARCEL NO. 13218-000-000
OWNER: GAMBLE TRUSTEE & MARTIN, TRUST
O.R. BOOK 4320, PG. 2078

1127, 1129 & 1131
WEST UNIVERSITY AVENUE
1 STORY BRICK BUILDING
0.185 ACRES, ±
(8,055 SQUARE FEET)

TAX PARCEL NO. 13317-000-000
OWNER: TENCH PROPERTY LLC
O.R. BOOK 3495, PG. 130

1117, 1119, 1121 & 1123
WEST UNIVERSITY AVENUE
1 STORY BRICK & CONC
BLOCK BUILDING
0.185 ACRES, ±
(8,045 SQUARE FEET)

TAX PARCEL NO. 13218-000-000
OWNER: BRW ENTERPRISES INC.
O.R. BOOK 2043, PAGE 482
O.R. BOOK 2169, PAGE 585
O.R. BOOK 2169, PAGE 1362

1106, 1113 & 1115 WEST UNIVERSITY AVENUE
1 STORY BRICK BUILDING
0.185 ACRES, ±
(8,061 SQUARE FEET)



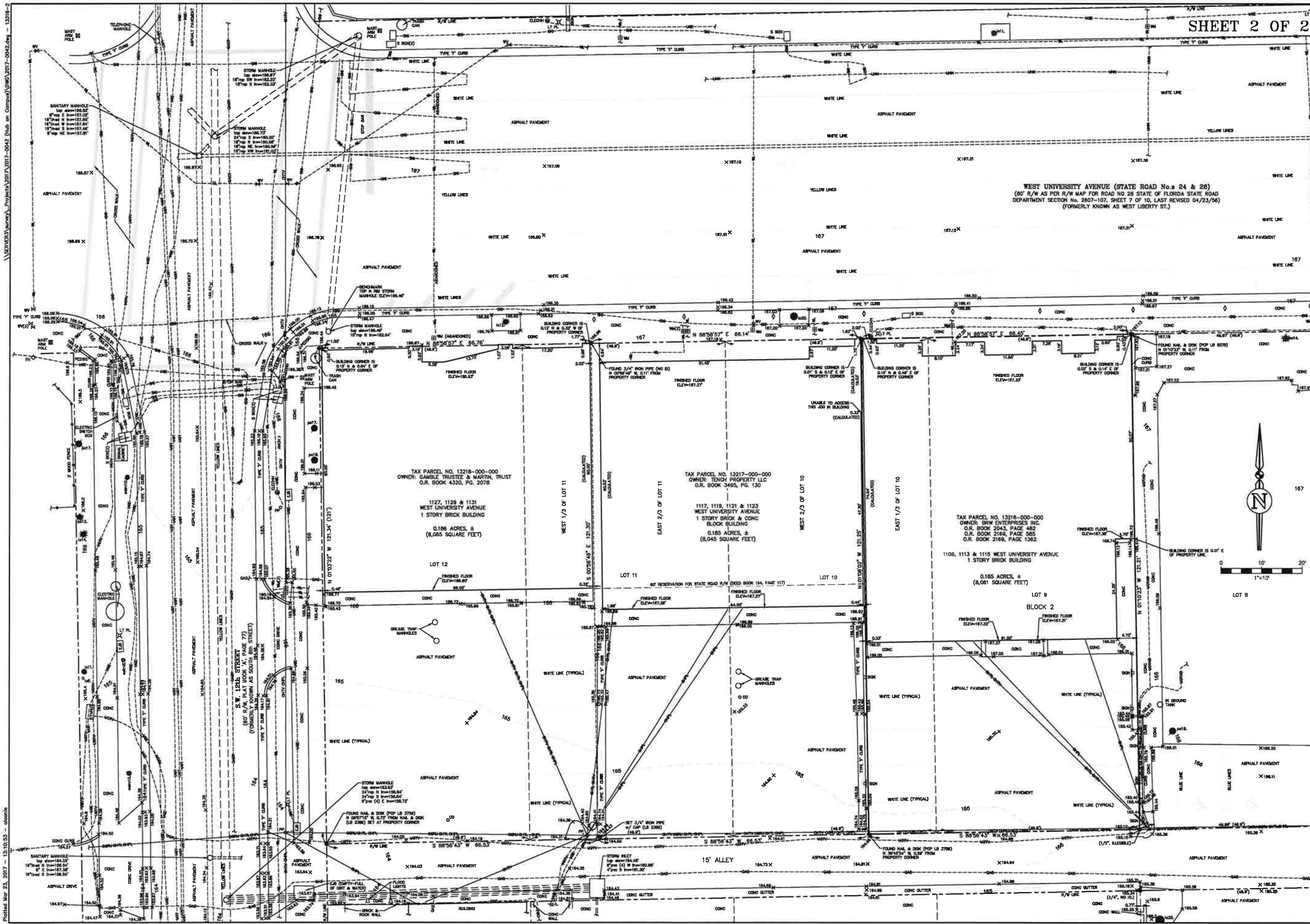
FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN
ZONE(S) "X" (UNSHADED) AS DESIGNATED ON THE FLOOD
INSURANCE RATE MAP NUMBER 1200000314, COMMUNITY
NUMBER 1200000314, PANEL 0314B, EFFECTIVE DATE:
JUNE 16, 2004. SAID MAP DESCRIBES ZONE(S) UNSHADED
AS BEING AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL
CHANCE FLOODPLAIN.

eda engineers-architects-planners, inc.
1334 N.W. 45th ST. GAINESVILLE, FLORIDA 32608-4607
TEL: 352-336-1234 FAX: 352-336-1235
www.eda-engineers.com

Project No. 2017-0042
Drawing No. 500
Scale: AS SHOWN
Date: 03/22/17
Prepared by: [Signature]
Checked by: [Signature]
Reviewed by: [Signature]

THIS SURVEY MEETS THE STANDARDS OF PRACTICE, AS SET FORTH BY THE FLORIDA
SURVEYING BOARD, AND THE SURVEYOR'S CERTIFICATION IS
ADMINISTRATIVE CODE, FURNISHING THE ACTION REQUIRED BY THE
FLORIDA STATUTES.
THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 03/22/17
PREPARED FOR: SEE ALTA/NSPS CERTIFICATION
Sheet No.:

V-002



SHEET 2 OF 2

WEST UNIVERSITY AVENUE (STATE ROAD No. 24 & 26)
(60' R/W AS PER R/W MAP FOR ROAD NO. 26 STATE OF FLORIDA STATE ROAD
DEPARTMENT SECTION No. 2607-107, SHEET 7 OF 10, LAST REVISED 04/23/96)
(FORMERLY KNOWN AS WEST LIBERTY ST.)

TAX PARCEL NO. 13216-000-000
OWNER: GAMBLE TRUSTEE & MARTIN, TRUST
O.R. BOOK 4320, PG. 2078
1127, 1128 & 1131
WEST UNIVERSITY AVENUE
1 STORY BRICK BUILDING
0.185 ACRES, ±
(8,085 SQUARE FEET)

TAX PARCEL NO. 13217-000-000
OWNER: TENCH PROPERTY LLC
O.R. BOOK 3495, PG. 130
1117, 1118, 1121 & 1123
WEST UNIVERSITY AVENUE
1 STORY BRICK & CONC
BLOCK BUILDING
0.185 ACRES, ±
(8,045 SQUARE FEET)

TAX PARCEL NO. 13216-000-000
OWNER: BRW ENTERPRISES INC.
O.R. BOOK 2043, PAGE 482
O.R. BOOK 2189, PAGE 585
O.R. BOOK 2189, PAGE 1382
1109, 1113 & 1115 WEST UNIVERSITY AVENUE
1 STORY BRICK BUILDING
0.185 ACRES, ±
(8,061 SQUARE FEET)

FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN
ZONE(6) "X" UNSHADED, AS DESIGNATED ON THE FLOOD
INSURANCE RATE MAP NUMBER 1200000314, COMMUNITY
NUMBER 120007, PANEL 03140, EFFECTIVE DATE:
JUNE 14, 2008. SAID MAP DESCRIBES ZONE(6) "X" UNSHADED
AS BEING "XASAS" DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODING AREA.

eda
eda engineers-surveyors-planners, inc.
2601 N.W. 49th St., Gainesville, FL 32608-6607
TEL: 352.336.4600
FAX: 352.336.4601
www.eda-engineers.com

Project No. 2017-0042 500
Drawing No. 03/23/17
Scale 1"=10'
Date 03/23/17
Prepared by SEE ALTA/NRPS CERTIFICATION
Checked by
Designed by
Reviewed by
In Charge by
Title Block

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA
ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007 (2)(D), FLORIDA STATUTES.
THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 03/23/17.
PREPARED FOR: SEE ALTA/NRPS CERTIFICATION
Sheet No. V-002

BOUNDARY AND TOPOGRAPHIC SURVEY

OF
LOT 9 AND THE EAST 1/3 OF LOT 10 OF BLOCK 2 OF UNIVERSITY PLACE, A
SUBDIVISION AS PER PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 77
OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA
FOR
CORE CAMPUS INVESTMENT PARTNERS, LLC

LEGAL DESCRIPTION:

TAX PARCEL NO. 13218-000-000 (AS PER O.R. BOOK 2168, PAGE 1362)

LOT 9 AND THE EAST 1/3 OF LOT 10, IN BLOCK 2, W. R. THOMAS REAL ESTATE COMPANY'S SUBDIVISION KNOWN AS
UNIVERSITY PLACE, IN THE SOUTH 1/2 OF SECTION 5, TOWNSHIP 10 SOUTH, RANGE 20 EAST, ACCORDING TO PLAT
BOOK "A", AT PAGE 77 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

WEST UNIVERSITY AVENUE (STATE ROAD No. 24 & 26)
(80' R/W AS PER R/W MAP FOR ROAD NO. 28 STATE OF FLORIDA STATE ROAD
DEPARTMENT SECTION No. 2807-107, SHEET 7 OF 10, LAST REVISED 04/23/96)
(FORMERLY KNOWN AS WEST LIBERTY ST.)

SIZE / COMMON NAME / Genus species
3" CROOKED MYRTLE *Lagerstroemia indica*
10" WINGED ELM *Ulmus alata*
14" AMERICAN HOLLY *Ilex opaca*
11" LIVE OAK *Quercus virginiana*
8" RED MAPLE *Acer rubrum*
13" PALM *Sabal palmetto*
20" PECAN *Carya sp.*
3" SHUMARD OAK *Quercus shumardii*

ONLY TREES WITH A DIAMETER 8" AND GREATER
AND PLANTED LANDSCAPE TREES
WERE LOCATED FOR THIS SURVEY.
(DIAMETER MEASURED 4.5' ABOVE GRADE)

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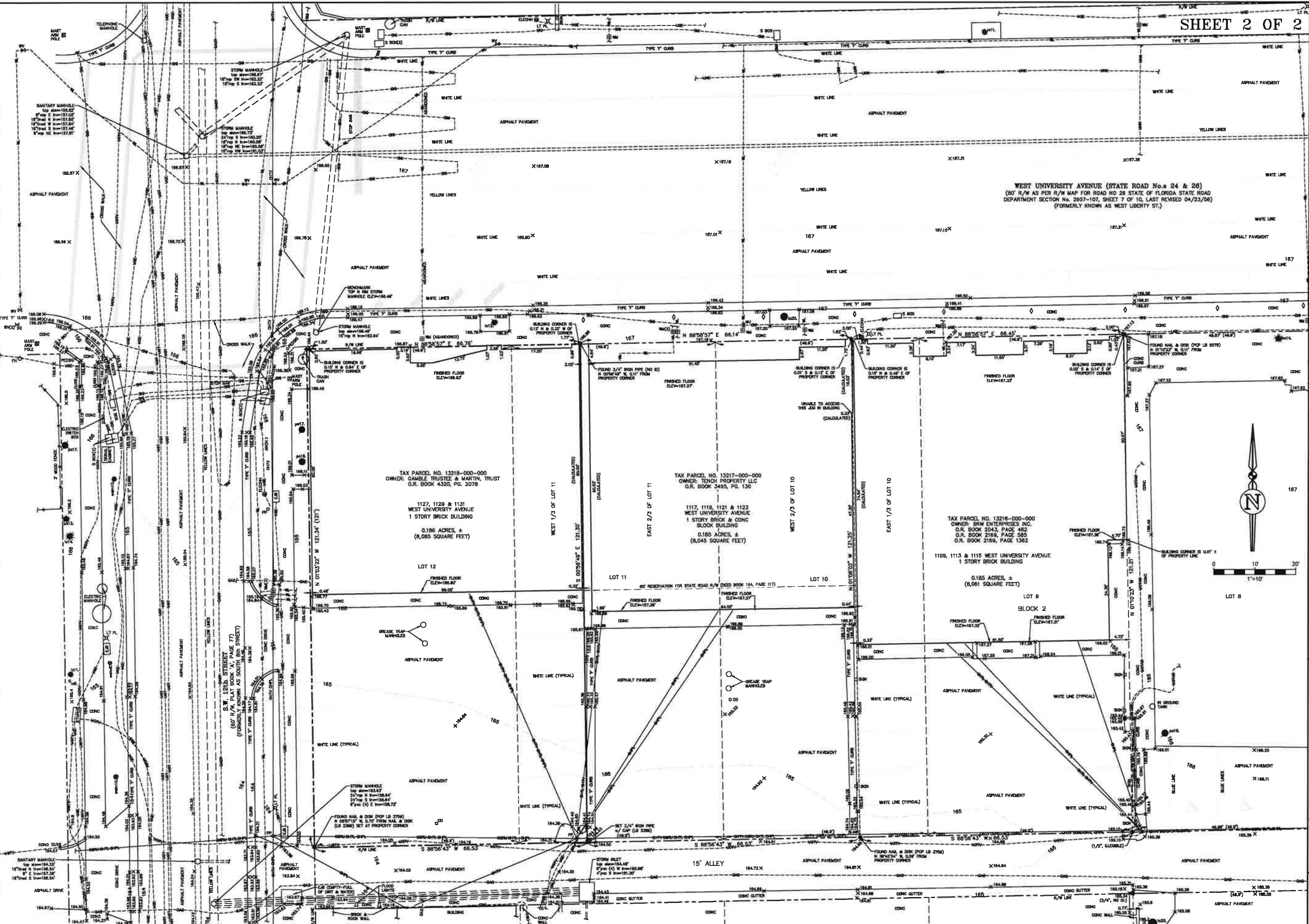
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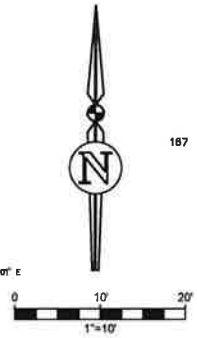
SHEET 2 OF 2

WEST UNIVERSITY AVENUE (STATE ROAD No. 24 & 28)
(60' R/W AS PER R/W MAP FOR ROAD NO. 26 STATE OF FLORIDA STATE ROAD
DEPARTMENT SECTION No. 2007-107, SHEET 7 OF 10, LAST REVISED 04/23/06)
(FORMERLY KNOWN AS WEST LIBERTY ST.)

TAX PARCEL NO. 13218-000-000
OWNER: GAMBLE TRUSTEE & MARTIN, TRUST
O.R. BOOK 4320, PG. 2078
1127, 1129 & 1131
WEST UNIVERSITY AVENUE
1 STORY BRICK BUILDING
0.186 ACRES, ±
(8,085 SQUARE FEET)

TAX PARCEL NO. 13217-000-000
OWNER: TENCH PROPERTY LLC
O.R. BOOK 3495, PG. 130
1117, 1119, 1121 & 1123
WEST UNIVERSITY AVENUE
1 STORY BRICK & CONC
BLOCK BUILDING
0.185 ACRES, ±
(8,045 SQUARE FEET)

TAX PARCEL NO. 13216-000-000
OWNER: BRW ENTERPRISES, INC.
O.R. BOOK 2043, PAGE 482
O.R. BOOK 2169, PAGE 585
O.R. BOOK 2169, PAGE 1362
1109, 1113 & 1115 WEST UNIVERSITY AVENUE
1 STORY BRICK BUILDING
0.185 ACRES, ±
(8,061 SQUARE FEET)



FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN
ZONE(9) - UNDESIGNATED AS DESIGNATED ON THE FLOOD
INSURANCE RATE MAP NUMBER 1200100314 - COMMUNITY
NUMBER: 1200100314 - PANEL: 0340 - EFFECTIVE DATE:
JUNE 18, 2008 - SAID MAP DESCRIBES ZONE(9) UNDESIGNATED
AS BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN.

eda engineers-surveyors-planners, inc.
1301 NW 13th Ave, Suite 200, Fort Lauderdale, FL 33311
TEL: 352.379.3501 FAX: 352.379.7149
www.eda-engineers.com

Project No.	2017-0042
Sheet No.	2
Drawn By	AL
Checked By	B.G.

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 65-17, FLORIDA
STATUTES, AND THE PROFESSIONAL SURVEYOR'S SEAL.
THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 03/23/17

Prepared For: SEE ALTA/NSPS CERTIFICATION

Sheet No: V-002