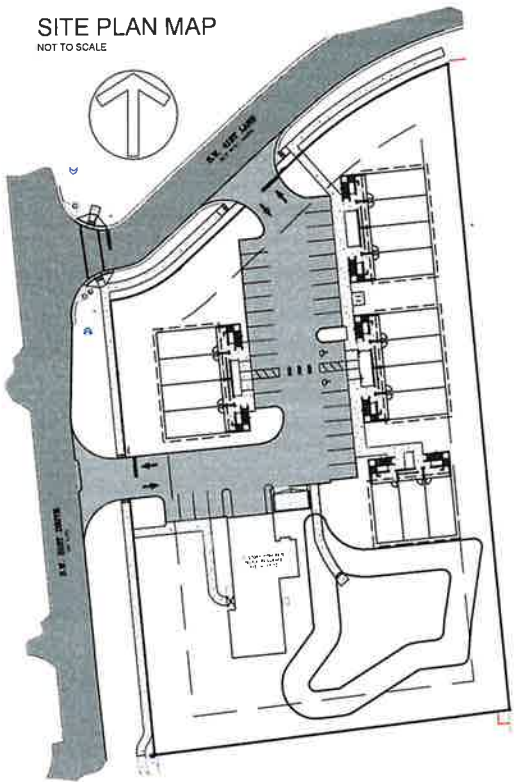


Appendix E
Development Plan

SERENOLA MANOR APARTMENTS

INTERMEDIATE SITE DEVELOPMENT PLAN

SITE PLAN MAP
NOT TO SCALE



PROJECT INFORMATION

PROJECT NAME: SERENOLA MANOR APARTMENTS

OWNER: SAIL SILBER
3434 SW 24TH AVE, SUITE A
GAINESVILLE, FL 32607

LOCATION: 4021 SW 31ST DR
GAINESVILLE, FL 32608
TAX PARCEL # 07240-000-000

CIVIL ENGINEER: CHRISTOPHER A. GMIER, PE
GMIER ENGINEERING, LLC
(352) 281-4828
2803 NW 13TH ST BOX 314
GAINESVILLE, FL 32609

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR MULTI-FAMILY 2 STORY APARTMENT BUILDINGS CONSISTING OF 30 UNITS IN ADDITION TO AN EXISTING THREE-BEDROOM HOUSE

ZONING: RMFS
LAND USE: RESIDENTIAL MEDIUM DENSITY
PROPOSED USE: RESIDENTIAL MULTI-FAMILY
SITE AREA: 1.45 ACRES
31 TOTAL DWELLING UNITS
19.87 DWELLING UNITS PER ACRE
BUILDING DATA: GROSS FL AREA: 6 UNIT 3850 SF
8 UNIT 5115 SF
BUILDING STORIES: 2 STORY
BUILDING HEIGHT: 17' - 125'
BUILDING SPRINKLED: YES

LOT COVERAGE: BLDG1: 2,558 SF
BLDG2: 2,558 SF
BLDG3: 2,558 SF
BLDG4: 1,923 SF
EX-HOUSE: 2,882 SF
TOTAL BLDG FOOTPRINT: 12,281 SF
COVERAGE: 19.45%

VEHICLE PARKING: REQUIRED: 1 SPACE PER BEDROOM = 1 X 33 BEDROOMS = 33 SPACES
PROPOSED: 2 HIC + 2 GARAGE + 31 REGULAR SPACES = 35 TOTAL SPACES
BIKE PARKING: REQUIRED: 10% OF REQUIRED VEHICLE PARKING = 35 X 10% = 3.5 SPACES OR 2 RACKS
PROPOSED: 4 SPACES OR 2 RACKS
SCOOTER PARKING: REQUIRED: NONE

1. IN BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL NEW BUILDINGS WHERE RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ
2. THE SITE IS LOCATED WITHIN THE IDYLWOOD-SERENOLA SPECIAL AREA PLAN
3. THE PROPOSED DEVELOPMENT IS NOT LOCATED WITHIN A FLOOD, FIRE, GREENWAY, GATEWAY, SURFACE WATER, NATURE PARK, OR UPLAND PROTECTION DISTRICT. SITE IS NOT AFFECTED BY CREEK SETBACKS
4. SITE IS LOCATED WITHIN THE TERTIARY WETFIELD DISTRICT
5. SITE CONTAINS AN OLD STORMWATER MANAGEMENT FACILITY THAT SHOWS CHARACTERISTICS OF WETLANDS. THE PROPOSED DEVELOPMENT HAS PROPOSED A NEW STORMWATER FACILITY OUTSIDE THE LIMITS OF THIS AREA AND HAS MAINTAINED SETBACKS TO ASSURE THIS AREA WOULD NOT BE DISTURBED
6. THE PROJECT IS OUTSIDE THE AIRPORT RUNWAY CLEAR ZONE. IT IS WITHIN SUBZONE 2 OF THE AIRPORT HEIGHT NOTIFICATION ZONE BUT DOES NOT EXCEED THE POTENTIAL AIRPORT OBSTRUCTION HEIGHT OF 200 FT - IT IS OUTSIDE SUBZONE C OF THE AIRPORT NOISE ZONE AND IS NOT LOCATED WITHIN THE EDUCATIONAL FACILITY RESTRICTED AREAS - PER GAINESVILLE LAND DEVELOPMENT CODE, CHAPTER 30, APPENDIX F
7. PARKING LOT LIGHTING TO MEET CITY OF GAINESVILLE ORDINANCES. LIGHTS ARE TO BE FULL CUTOFF LUMINARIES, SHIELDED FROM SHINING ON ADJACENT PROPERTIES. LIGHT POLES WILL NOT BE LOCATED IN REQUIRED LANDSCAPE ISLANDS. LIGHTING TO BE IN CONFORMANCE WITH SECTION 30-330 OF THE GAINESVILLE CODE
8. BUILDING SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE. THERE ARE NO SPECIAL FIRE CONCERNS FOR THIS BUILDING OR ITS INTENDED USE. FIRE HYDRANTS AND STABILIZED SURFACES SHALL BE IN PLACE PRIOR TO THE ACCUMULATION OF COMBUSTIBLE MATERIALS ON SITE
9. THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION. AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241. THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN, AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16))
10. TREE BARRICADES SHALL BE ERECTED AT THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGHOUT ALL PHASES OF CONSTRUCTION. NO MATERIALS SHALL BE STORED, VEHICLES PARKED OR EQUIPMENT STOCKED PILED WITHIN THE LIMITS OF THE TREE BARRICADES
11. ROOTS 1" OR LARGER WHICH ARE CUT OR EXPOSED SHALL BE CUT CLEANLY AND COVERED WITH CLEAN TOPSOIL
12. ALL REQUIRED EXITS ARE TO OPEN ONTO A LANDING. THE SAME ELEVATION AND WIDTH AS THE FINISHED FLOOR AND DOORWAY FROM WHICH IT IS EXITING
13. A LEVEL 5' X 5' LEVEL PLATFORM SHALL BE PLACED AT ALL REQUIRED EXITS
14. THIS SITE SHALL MEET PERFORMANCE STANDARDS AS OUTLINED IN SECTION 30-345 OF THE LAND DEVELOPMENT REGULATIONS
15. ALL NEW UTILITIES ARE TO BE UNDERGROUND. ALL UTILITIES CONSTRUCTION TO CONFORM TO GRU STANDARDS AND SPECIFICATIONS
16. THE METHOD AND MANNER OF PERFORMING THE WORK AND QUALITY OF MATERIALS USED FOR CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT AND THE FDOT
17. NO WORK SHALL BE DONE NOR MATERIALS USED WITHIN THERE WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070). THE CONTRACTOR SHALL FURNISH THE CITY EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK DONE AND MATERIALS USED ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS
18. SITE SHALL COMPLY WITH ALL PDPS CRITERIA DURING AND AFTER CONSTRUCTION
19. CALL PARKS DIVISION @ 334-2171 FOR BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK BEGINS. REFER TO THE BARRICADE DETAIL ON THE PLANTING PLAN. BARRICADES SHOULD BE AT 25 OF THE DRILLING FOR REGULATED TREES AND AT THE DRILLING FOR HAZARDOUS TREES. IF CLEARING AND GRUBBING WORK IS REQUIRED WITHIN THESE LIMITS IT SHALL BE DONE BY HAND
20. REMOVE ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS BUILDERS SAND, CONCRETE, MORTAR, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIAL FROM PAINTING BEDS AND AREAS TO BE SCODED. CLEAN FLORIDA FILL Ph 3 S-5-S SHALL BE INSTALLED PRIOR TO THE PLANTING OF ANY TREES OR SHRUBS
21. ALL INVASIVE NON-NATIVE SPECIES ARE TO BE REMOVED FROM THIS SITE PRIOR TO THE CERTIFICATE OF OCCUPANCY

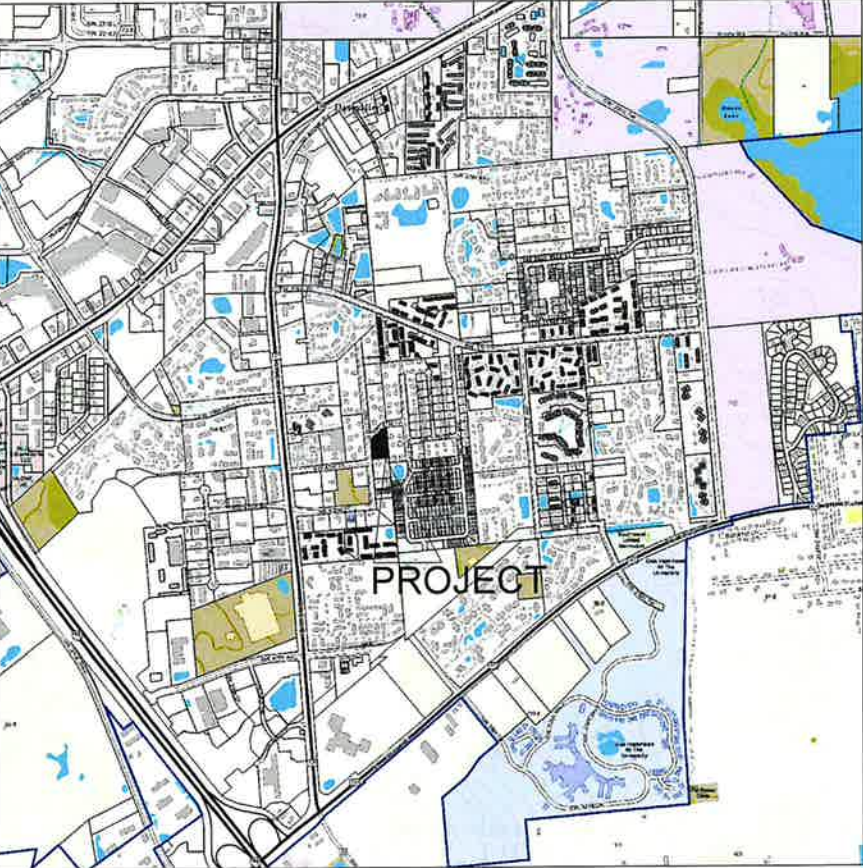
TPMA ZONE: C
TRIP GENERATION FROM ITE MANUAL - 9TH EDITION - PROPOSED USE - ITE CODE 220 - APARTMENTS
AAOT = 109.23 TRIPS, AM PEAK = 9.24 TRIPS, PM PEAK = 13.13 TRIPS

STORMWATER MANAGEMENT UTILITY
TOTAL IMPERVIOUS AREA = 29,215 SF
TOTAL SEMI IMPERVIOUS AREA (IE GRASS PARKING) = 0 SF
SMF 10
LOWEST DISCHARGE ELEVATION (FT) 76.75
RETENTION VOLUME BELOW LOWEST DISCHARGE ELEVATION (CF) 13,860 CF
RETENTION AREA AT LOWEST DISCHARGE ELEVATION (FT) 6.013 SF

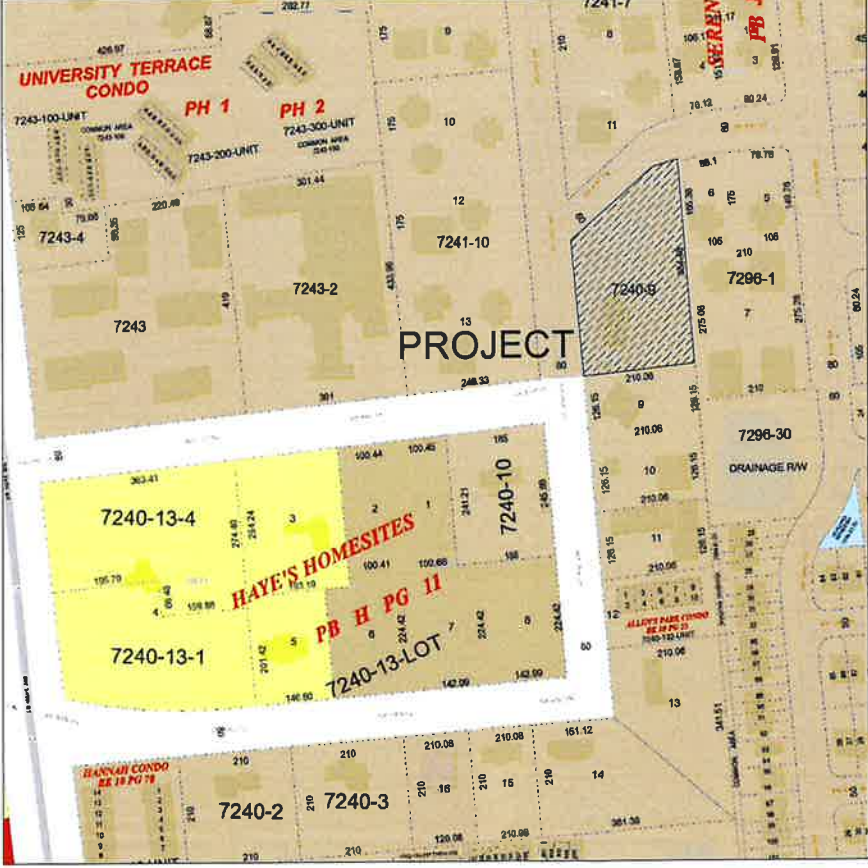
GRU NOTES
A. FOR REVIEW ONLY
B. WATER / WASTEWATER / RECLAIMED WATER SYSTEM DESIGN IS IN ACCORDANCE WITH GRU DESIGN STANDARDS
C. ELECTRIC DESIGN PROVIDED BY GRU ENERGY DELIVERY
D. ELECTRIC DESIGN SHOWN ON SITE PLANS FOR COORDINATION PURPOSES ONLY
E. GAS DESIGN PROVIDED BY GRU ENERGY DELIVERY

SHEET INDEX

- C-000 COVER & SHEET INDEX
- C-010 NOTES, EROSION CONTROL, & DEMOLITION PLAN
- C-100 SITE & HORIZONTAL CONTROL PLAN
- C-200 PAVING, GRADING, DRAINAGE, & UTILITY PLAN
- E-1 PHOTOMETRIC PLANS
- L1 LANDSCAPE PLAN
- 1 OF 1 BOUNDARY, TOPOGRAPHIC & TREE SURVEY
- ARCH PLANS 6 UNIT - 2 STORY - FLOOR PLANS AND ELEVATIONS
- ARCH PLANS 8 UNIT - 2 STORY - FLOOR PLANS AND ELEVATIONS
- ARCH PLANS DUMPSTER DETAIL
- ARCH PLANS EX SINGLE FAMILY HOUSE - FLOOR PLANS



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

FOR REVIEW ONLY
CONCEPTUAL
NOT CONTRACT DOCUMENTS
PERMITTING / DESIGN REVISIONS
2017-06-02 CITY - GRU INITIAL SUBMITAL
2017-09-02 CITY - GRU RESUBMITAL
PRICING
CONSTRUCTION

ENGINEER OF RECORD:
CHRISTOPHER A. GMIER
FL PE # 71108
2017-09-02



CLIENT: SAIL SILBER
DESIGN: C.A. GMIER, PE
QUALITY CONTROL: C.A. GMIER, PE
GAINESVILLE APP # 18-0045
CENG PROJECT # 18-0045

SERENOLA
MANOR
APARTMENTS

COVER AND
SHEET INDEX

C-000

PERMITTING, CONSTRUCTION STANDARDS, SUBMITTALS, REQUESTS FOR INFORMATION, INSPECTIONS, TESTING, PUNCH LISTS, RECORD DRAWINGS, AND AS-BUILTS

1. SITE CLEARING AND DEMOLITION MAY NOT BE ABLE TO BEGIN UNTIL CERTAIN PERMITS HAVE BEEN ISSUED AND MAY REQUIRE PRE-CONSTRUCTION MEETINGS, INSPECTIONS, CLEARANCES THESE PERMITS ARE TYPICALLY ISSUED BY THE APPLICABLE WATER MANAGEMENT DISTRICT AND THE MUNICIPALITY.
2. OTHER PERMITS ARE REQUIRED PRIOR TO COMPLETING OTHER SITE COMPONENTS SUCH AS THE UTILITY CONSTRUCTION PERMITS, DRIVEWAY CONNECTION PERMITS, ROW USE PERMITS, ETC.
3. CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND OBTAINING ALL REQUIRED PERMITS, BONDS, TESTING, INSPECTIONS, CERTIFICATIONS, ETC. PRIOR TO AND DURING CONSTRUCTION (E.G. FDEP CQP, DEWATERING, MOT, WATERSEWER INSPECTIONS).
4. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
5. THE CONTRACTOR IS RESPONSIBILITY TO VERIFY THE CONSTRUCTION STANDARDS APPLICABLE TO EACH PORTION OF THE PROJECT. A SUGGESTED LIST OF APPLICABLE STANDARDS TYPICALLY ACCOMPANY THIS NOTE ON THIS PLAN SHEET.
6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PROCUREMENT OF MATERIALS AND INSTALLATION (E.G. PRECAST STRUCTURES, MANUFACTURED ITEMS). FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED TO THE ENGINEER FOR RESPONSE BEFORE COMMENCING THE RELATED WORK VIA THE OWNER'S CONSTRUCTION DOCUMENTATION PROCESS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING A LIST INSPECTIONS AND FIELD VISITS DESIRED BY THE OWNER AND THE ENGINEER AND REASONABLY SCHEDULING THOSE INSPECTIONS.
9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING ALL INSPECTIONS REQUIRED BY THE REVIEWING AGENCIES AS LISTED IN THE PERMITS, INSPECTOR'S REQUEST, OR IMPLIED BY THE DESIGN STANDARDS.
10. CONTRACTOR SHALL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING OF MATERIALS, SOILS, UTILITIES, ETC. THE TESTING SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, CONSTRUCTION STANDARDS, INSPECTOR'S REQUEST, DESIGN REPORTS, AND STANDARD PAVING AND GRADING TESTING. THIS SHALL INCLUDE DENSITY TESTING IN ALL PAVEMENT AREAS, UTILITY TRENCH COMPACTION ESPECIALLY UNDER ROADS AND OTHER PAVED AREAS, CONCRETE, AND OTHER MATERIALS TESTING.
11. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR ALL RETESTING COSTS AND ANY RECONSTRUCTION REQUIRED TO MEET THE TESTING REQUIREMENTS.
12. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER THE SCHEDULE OF PUNCH LIST SITE VISITS WITH THE CONSTRUCTION SCHEDULE TO AVOID REPEAT VISITS. A TIMELINE OF ADDRESSING THE PUNCH LIST ITEMS SHALL BE PROVIDED IN A TIMELY MANNER ANY DISPUTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER.
13. RECORD DRAWINGS ARE DEFINED AS NOTES AND OTHER DOCUMENTATION COLLECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AS IT RELATES TO INSTALLATION PROGRESS, FIELD CONDITIONS, MEANS, METHODS, DEVIATIONS, AND OTHER VARIATIONS FROM THE CONTRACT DOCUMENTS. THE DOCUMENTATION MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE, HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE COST OF THE CONTRACTOR UTILIZING STANDARD METHODS.
14. CONTRACTOR SHALL CONFIRM REQUIREMENTS TO PROVIDE COMPLETE AS-BUILT INFORMATION TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES AT THE COST OF THE CONTRACTOR. AS-BUILTS ARE DEFINED AS A DRAWING PRODUCED BY A REGISTERED LAND SURVEYOR BASED ON FIELD MEASUREMENTS OF THE FINISHED SITE IMPROVEMENTS WITH LOCATIONS, ELEVATIONS, AND DESCRIPTION OF IMPROVEMENTS. THEY SHOULD MEET REVIEWING AGENCIES REQUIREMENTS PER PERMIT AND CLOSEOUT REQUIREMENTS. THEY SHOULD ALSO MEET THE OWNER'S NEED FOR LENDING, WARRANTY, AND OTHER REQUIREMENTS.
15. AS-BUILTS CONTAIN AT A MINIMUM: BUILDING LOCATION AND FINISHED FLOOR ELEVATIONS; ACCESSIBLE ROUTE AND PARKING GRADES; PAVEMENT GRADE BREAKS; GRAVITY STRUCTURE TOP ELEVATIONS AND PIPE SIZES AND INVERTS; PRESSURE SYSTEM FITTINGS AND VALVES; SAMPLING POINTS, STORMWATER FACILITY TOP AND BOTTOM PERIMETERS AND OTHER FEATURES; OUTFALL STRUCTURE DETAILS, ETC. AND OTHER LOCATIONS WHERE FIELD CONDITIONS DO NOT MATCH THE CONTRACT DOCUMENTS.
16. ADDITIONAL AS-BUILT INFORMATION MAY BE REQUIRED DURING CONSTRUCTION INSTALLATIONS AT CRITICAL AREAS. THIS INCLUDES BUT IS NOT LIMITED TO PIPE CROSSINGS OF WATER MAINS WITH LESS THAN 18 INCHES OF CLEARANCE OR WHEN PARALLEL UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

DESIGN ELEMENTS AND INFORMATION FURNISHED BY OTHERS

1. THE ENGINEER AND ITS CONSULTANTS PREPARED THESE PLANS AND DESIGN DOCUMENTS THROUGH THE USE OR RELIANCE UPON DESIGN ELEMENTS AND INFORMATION ORDINARILY OR CUSTOMARILY FURNISHED BY OTHERS, INCLUDING, BUT NOT LIMITED TO, SURVEYORS, GEOTECHNICAL ENGINEERS, ENVIRONMENTAL CONSULTANTS, ARCHITECTS, BUILDING SYSTEMS ENGINEERS, SPECIALTY CONTRACTORS, MANUFACTURERS, SUPPLIERS, AND THE PUBLISHERS OF TECHNICAL STANDARDS. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR DESIGN ERROR AND OMISSIONS RESULTING FROM THE QUALITY OF THIS INFORMATION.
2. ALL POINTS OF COORDINATION OR INTERFACE BETWEEN THESE PLANS AND DESIGN DOCUMENTS AND THE PLANS AND DESIGN DOCUMENTS OF OTHERS MUST BE COMPARED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCURING MATERIALS AND INSTALLATION.

UTILITY LOCATES, RELOCATION, PROTECTION, AND TERMINATION

1. UTILITY LOCATES SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE INITIATION OF SITE CONSTRUCTION.
2. PROPOSED UTILITY TAPS AND CROSSINGS SHALL BE PHYSICALLY LOCATED AND VERIFIED BY THE CONTRACTOR AS SOON AS PRACTICABLE AND SHALL CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
3. UTILITY RELOCATION, SUPPORT, PROTECTION, TERMINATION, CAPPING, AND REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR WITH UTILITY COMPANIES. ADEQUATE TIME SHALL BE PROVIDED FOR PROPER COORDINATION AND TO MINIMIZE SERVICE INTERRUPTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES TO THE UTILITY COMPANY FOR THEIR SERVICES.

WORK WITHIN THE CITY OF GAINESVILLE ROW

1. THE PERMITS, MANNER OF PERFORMING THE WORK, AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT.
2. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070), AND THE CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
3. THE PUBLIC WORKS DEPARTMENT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THE ROW TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORNE BY THE DEVELOPER.
4. ALL WORK WITHIN OR ON CITY OWNED OR MAINTAINED FACILITIES, ROW OR EASEMENT WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
5. THE CONTRACTOR SHALL PROVIDE THE CITY WITH AN AS-BUILT SURVEY OF THE RETENTION / DETENTION BASIN AND ASSOCIATED STRUCTURES. PREPARED BY A REGISTERED LAND SURVEYOR. THE SURVEY SHALL BE SUBMITTED ON PAPER COPY AND ELECTRONICALLY (PDF, AUTOCAD, CAD).
6. ANY CONSTRUCTION IN THE CITY OF GAINESVILLE PUBLIC ROW WILL REQUIRE PERMITS FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK. A MOT PERMIT IS REQUIRED FOR ANY ACTIVITY IN THE ROW THE EITHER DIRECTLY OR INDIRECTLY AFFECTS VEHICULAR OR PEDESTRIAN TRAFFIC. OPEN CUT RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH FOOT INDEX 307, AND USING THE FLOWABLE FILL OPTION.

WARRANTIES

1. IF NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL IMPROVEMENTS SHALL BE WARRANTED BY THE CONTRACTOR TO THE OWNER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. THIS WARRANTY WILL ALSO EXTEND TO THE MAINTENANCE ENTITY OF ANY OTHER IMPROVEMENTS INCLUDING ROADS, SIDEWALKS, UTILITIES, STORM PIPING, ETC. OR TO THE EXTENT REQUIRED BY THEIR APPLICABLE DESIGN STANDARDS.

GENERAL AND MISCELLANEOUS NOTES

1. THESE PLANS, DESIGN DOCUMENTS, AND NOTES ARE NOT EXHAUSTIVE. ALL THE APPLICABLE CONSTRUCTION AND MAINTENANCE STANDARDS THAT ARE LISTED, REFERENCED, OR IMPLIED ARE INCLUDED IN THE CONTRACT DOCUMENTS BY REFERENCE.
2. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE REVIEWING AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
3. THE REPAIR OF DAMAGE EITHER ABOVE OR BELOW GROUND BY THE CONTRACTOR OR SUB-CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE WILL BE IN THE OPINION OF THE OWNER, APPLICABLE AGENCY, OR ENGINEER. ALL REPAIRS SHALL BE MADE AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THE PARTICULAR ENTITY.
4. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT, SIDEWALKS, AND GRADING AROUND BUILDINGS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED AREAS OF POOR DRAINAGE PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, INSPECTED, AND TESTED PRIOR TO PAVEMENT BASE OR SIDEWALK INSTALLATION.

EROSION CONTROL AND STABILIZATION

1. CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE NOI AND APPROPRIATE FEE TO SECURE A FDEP GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (COP) AT LEAST TWO DAYS BEFORE CONSTRUCTION BEGINS. A PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OR IF THE PROJECT IS PART OF A LARGE DEVELOPMENT THAT WILL ULTIMATELY DISTURB ONE OR MORE ACRES.
2. PROJECTS THAT DISCHARGE STORMWATER TO AN MS4, A COPY OF THE NOI MUST ALSO BE SUBMITTED TO THE OPERATOR OF THE MS4.
3. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AND IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO MINIMIZE EROSION AND SEDIMENTATION FROM STORMWATER DISCHARGES DURING CONSTRUCTION. THE ENGINEER SHOULD NOT BE LISTED AS THE OPERATOR AS THEY DO NOT HAVE OPERATIONAL CONTROL OVER THE PROJECT.
4. WHEN THE OPERATOR CHANGES, THE NEW OPERATOR SHOULD OBTAIN PERMIT COVERAGE AT LEAST 2 DAYS BEFORE ASSUMING CONTROL OF THE PROJECT, AND THE PREVIOUS OPERATOR SHOULD FILE AN NPDES STORMWATER NOTICE OF TERMINATION WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROLS UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED.
6. ALL DISTURBED AND OPEN AREAS OF THE SITE SHALL BE SOODED UNLESS INDICATED OTHERWISE.

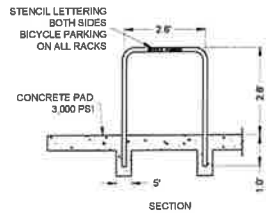
TREE PRESERVATION AND DEMOLITION

1. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE INDICATED TO REMAIN UNDISTURBED PER THE REVIEWING AGENCIES REQUIREMENTS. INSPECTIONS MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION.
2. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
3. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR REMOVED SHALL CONFORMED WITH THE REVIEWING AGENCY AND THE OWNER. THE PROTECTION OR REMOVAL IS AT THE COST OF THE CONTRACTOR.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. DISTURBED AREAS SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, MISCELLANEOUS VEGETATION, DELETERIOUS MATERIAL, DEBRIS, ETC.
6. ALL ITEMS TO BE REMOVED OR SALVAGED MAY NOT BE DEPICED ON THE PLANS OR SURVEY. CONTRACTOR SHALL BE AWARE OF ALL EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS AND CONFIRM AN INVENTORY WITH THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR SALVAGE OF ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, ETC., AND THEIR APPURTENANCES UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE PROPERLY DISPOSED IN A LEGAL MANNER.
8. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.

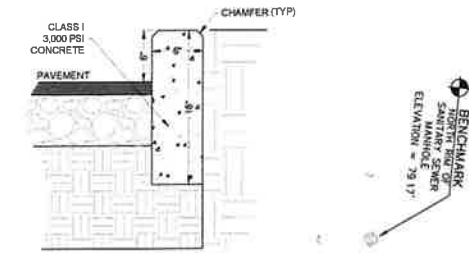
STORMWATER MINIMUM OPERATION AND MAINTENANCE STANDARDS

1. THE OPERATION AND MAINTENANCE ENTITY IS THE PROPERTY OWNER UNLESS OTHERWISE SPECIFIED.
2. IN ACCORDANCE WITH SECTION 372.41(2)(b), F.S., UNLESS REVOKED OR ABANDONED, ALL STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, RESERVOIRS, APPURTENANT WORKS, OR WORKS PERMITTED UNDER PART IV OF CHAPTER 372, F.S., MUST BE OPERATED AND MAINTAINED IN PERPETUITY. THE OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DESIGN, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE AGENCY, AND INCORPORATED INTO ANY PERMIT ISSUED.
3. UPON COMPLETION OF THE PERMITTED STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, RESERVOIRS, APPURTENANT WORKS, OR WORKS, THE AGENCY SHALL HAVE PERIODIC INSPECTIONS MADE TO ENSURE THE PROJECT WAS CONSTRUCTED AND IS BEING OPERATED IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT, AND IN A MANNER THAT PROTECTS THE PUBLIC HEALTH AND SAFETY AND THE NATURAL RESOURCES OF THE STATE. NO PERSON SHALL REFUSE IMMEDIATE ENTRY OR ACCESS TO ANY AUTHORIZED REPRESENTATIVE OF THE DISTRICT OR DEP WHO REQUESTS ENTRY FOR PURPOSES OF SUCH INSPECTION AND PRESENTS APPROPRIATE CREDENTIALS.
4. INSPECTIONS MAY BE PERFORMED BY AGENCY STAFF DURING AND AFTER CONSTRUCTION, WHEN NEEDED TO ENSURE A PROJECT IS BEING OPERATED AND MAINTAINED IN PERPETUITY. THE PERMIT MAY REQUIRE THE OPERATION AND MAINTENANCE ENTITY TO CONDUCT THE PERIODIC INSPECTIONS. THE REQUIRED INSPECTION SCHEDULE FOR A SPECIFIC PROJECT WILL BE SPECIFIED IN THE PERMIT.
5. SOME PROJECTS THAT DO NOT CONSIST OF OR INCLUDE A STORMWATER MANAGEMENT SYSTEM, DAM, IMPOUNDMENT, RESERVOIR, OR APPURTENANT WORK, WHETHER DESIGNED BY A REGISTERED PROFESSIONAL OR NOT, ALSO MAY BE REQUIRED IN THE PERMIT TO BE REGULARLY INSPECTED AND MONITORED TO ENSURE CONTINUED COMPLIANCE WITH PERMIT CONDITIONS AND THE FUNCTIONING OF THE PROJECT. THIS MAY INCLUDE INDIVIDUAL PERMITS ISSUED FOR ACTIVITIES AT A PRIVATE RESIDENTIAL SINGLE-FAMILY RESIDENCE. FOR EXAMPLE, A RESIDENTIAL FILL PAD MAY HAVE BEEN PERMITTED WITH SPECIFIC REQUIREMENTS FOR SOLE DRAINAGE OR RUNOFF. A DOCK LOCATED IN WATERS WITH SENSITIVE RESOURCES MAY HAVE BEEN PERMITTED WITH CONDITIONS PROHIBITING MOORING IN CERTAIN LOCATIONS. LIMITING THE NUMBER OR SIZE OF BOATS TO BE MOORED AT THE DOCK, OR WITH REQUIREMENTS FOR HANDRAILS OR OTHER ASSOCIATED STRUCTURES. THE PERMIT WILL SPECIFY THE PERIODIC INSPECTIONS THAT WILL BE REQUIRED, AND HOW THE RESULTS OF THE INSPECTIONS ARE TO BE EITHER RETAINED BY THE PERMITTEE OR REPORTED TO THE AGENCY. EXAMPLES WHERE MONITORING AND REPORTING BY SUCH PERSONS MAY BE REQUIRED FOR SUCH ACTIVITIES ARE:

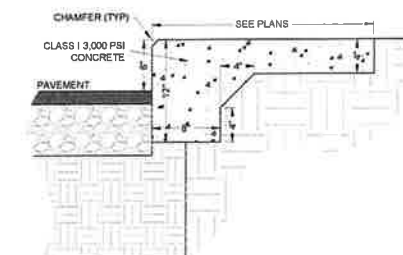
1. THE FOLLOWING ARE EXAMPLES OF ACTIVITIES AS DISCUSSED ABOVE THAT ARE SUBJECT TO AN INITIAL INSPECTION PRIOR TO CONVERSION TO THE OPERATION PHASE, AND THEN SUBJECT TO ROUTINE INSPECTIONS DURING THE OPERATION AND MAINTENANCE PHASE. THE INSPECTION FREQUENCY DURING THE OPERATION AND MAINTENANCE PHASE WILL BE DETERMINED IN THE PERMIT:
 1. SINGLE-FAMILY DOCK (TO VERIFY THAT HANDRAILS ARE CONSTRUCTED AND ARE MAINTAINED TO PREVENT MOORING OF VESSELS IN SHALLOW WATERS).
 2. MULTI-STOP DOCKING FACILITY (TO VERIFY MAINTENANCE OF MANATEE PROTECTION SIGNS, SEWAGE PUMP-OUT FACILITIES, OR OVER-WATER FUELING OPERATIONS).
 3. SINGLE-FAMILY LOT FILL (TO VERIFY LAWN GRADING AND GLOPING IS MAINTAINED TO REDUCE DISCHARGES OF NUTRIENTS FROM LAWN RUNOFF ENTERING SENSITIVE WATERS).
 4. SEAWALLS OR RIP RAP (TO VERIFY INTEGRITY OF SYSTEM OR SHORELINE PLANTINGS).
 5. LANDS WITHIN A CONSERVATION EASEMENTS (FOR ENCROACHMENTS, ALTERATIONS, OR EXOTIC/INVASIVE VEGETATION REMOVAL) IN ACCORDANCE WITH A PERMIT UNDER THIS CHAPTER;
 6. MITIGATION SITES (TO DETERMINE COMPLIANCE WITH SUCCESS CRITERIA, INCLUDING THE STATUS OF EXOTIC SPECIES REMOVAL), AND OTHER DREDGING OR FILLING (FOR EXAMPLE, DREDGED MATERIAL SITES AND DAMS TO ENSURE FUNCTIONING AND STABILITY OF Dikes AND CONTROL STRUCTURES).
2. THE EFFICIENCY OF STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, AND MOST OTHER PROJECTS NORMALLY DECREASES OVER TIME WITHOUT PERIODIC MAINTENANCE. FOR EXAMPLE, A SIGNIFICANT REDUCTION IN THE FLOW CAPACITY OF A STORMWATER MANAGEMENT SYSTEM OF TEN CAN BE ATTRIBUTED TO PARTIAL BLOCKAGES OF ITS CONVEYANCE SYSTEM. ONCE FLOW CAPACITY IS COMPROMISED, FLOODING MAY RESULT. THEREFORE, OPERATION AND MAINTENANCE ENTITIES MUST PERFORM PERIODIC INSPECTIONS TO IDENTIFY IF THERE ARE ANY DEFICIENCIES IN STRUCTURAL INTEGRITY, DEGRADATION DUE TO INSUFFICIENT MAINTENANCE, OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR THE WATER RESOURCES. IF DEFICIENCIES ARE FOUND, THE OPERATION AND MAINTENANCE ENTITY WILL BE RESPONSIBLE FOR CORRECTING THE DEFICIENCIES SO THAT THE PROJECT IS RETURNED TO THE OPERATIONAL FUNCTIONS REQUIRED IN THE PERMIT AND CONTEMPLATED BY THE DESIGN OF THE PROJECT AS PERMITTED. THE CORRECTIONS MUST BE DONE A TIMELY MANNER TO PREVENT COMPROMISES TO FLOOD PROTECTION AND WATER QUALITY.
3. INSPECTION AND REPORTING FREQUENCIES WILL BE INCLUDED AS PERMIT CONDITIONS BASED ON SITE SPECIFIC OPERATIONAL AND MAINTENANCE REQUIREMENTS, CONSIDERING THINGS AS:
 1. THE TYPE, NATURE, AND DESIGN OF THE DESIGN AND PERFORMANCE STANDARDS PROPOSED, INCLUDING ANY ALTERNATIVE DESIGNS SUCH AS PERVIOUS PAVEMENT, GREEN ROOFS, CISTERNS, MANAGED AQUATIC PLANT SYSTEMS, STORMWATER-HARVESTING, WETLAND TREATMENT TRAINS, LOW IMPACT DESIGNS, ALUM OR POLYMER INJECTION SYSTEMS;
 2. THE PROXIMITY OF RECEIVING WATERS CLASSIFIED AS OUTSTANDING FLORIDA WATERS IN RULE 62-302.200, F.A.C., OR IMPAIRED FOR CONSTITUENTS LIKELY TO BE CONTAINED IN DISCHARGES FROM THE PROJECT;
 3. THE NATURE OF THE SITE, SUCH AS WHETHER IT IS PART OF A PORT OR LANDFILL, WHETHER IT WILL IMPOUND MORE THAN 40 ACRES FEET OF WATER, OR WILL INCLUDE ABOVE GROUND IMPOUNDMENTS;
 4. THE TOPOGRAPHY, RAINFALL PATTERNS, AND ADJACENT DEVELOPMENT SURROUNDING THE ACTIVITY SITE, INCLUDING ANY SPECIAL-BASIN DESIGNATIONS WITHIN THE DISTRICT IN WHICH THE ACTIVITY IS LOCATED, AS IDENTIFIED IN PARAGRAPH 62-330.301(1)(b), F.A.C.;
 5. THE NATURE OF THE UNDERLYING SOILS, GEOLOGY, AND GROUNDWATER, AND HYDROLOGY;
 6. THE POTENTIAL FOR CONSTRUCTION AND OPERATION OF THE PROJECT TO CAUSE HARM TO PUBLIC HEALTH, SAFETY, OR WELFARE, OR HARM TO WATER RESOURCES, WATER QUALITY STANDARDS, OR WATER QUALITY; AND
 7. PRIOR COMPLIANCE HISTORY WITH THE PROPOSED DESIGN AND PERFORMANCE TYPE, INCLUDING WHETHER THE ACTIVITY CHARACTERISTICS ARE LIKELY TO POSE MORE THAN A MINIMAL RISK FOR HARM.
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 1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;
 2. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE;
 3. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SWIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES. OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL OR BY OTHER LAWFUL MEANS; AND
 4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM UNOPERABLE.
5. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY. IN ACCORDANCE WITH THE REPORTING SECTION, BELOW SECTION 372.41(4)(b), F.S., SHALL BE FOR FLOWING WATER. THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY. IN ACCORDANCE WITH THE REPORTING SECTION, BELOW SECTION 372.41(4)(b), F.S., SHALL BE FOR FLOWING WATER. 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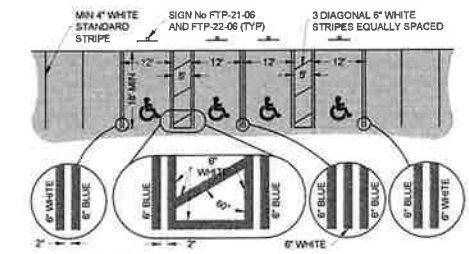
BIKE RACK
DETAIL
NOT TO SCALE



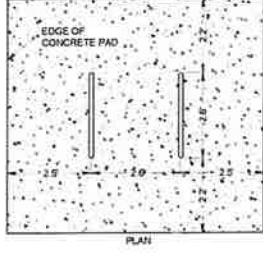
6" CURB DETAIL
NOT TO SCALE



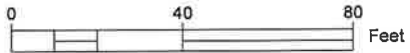
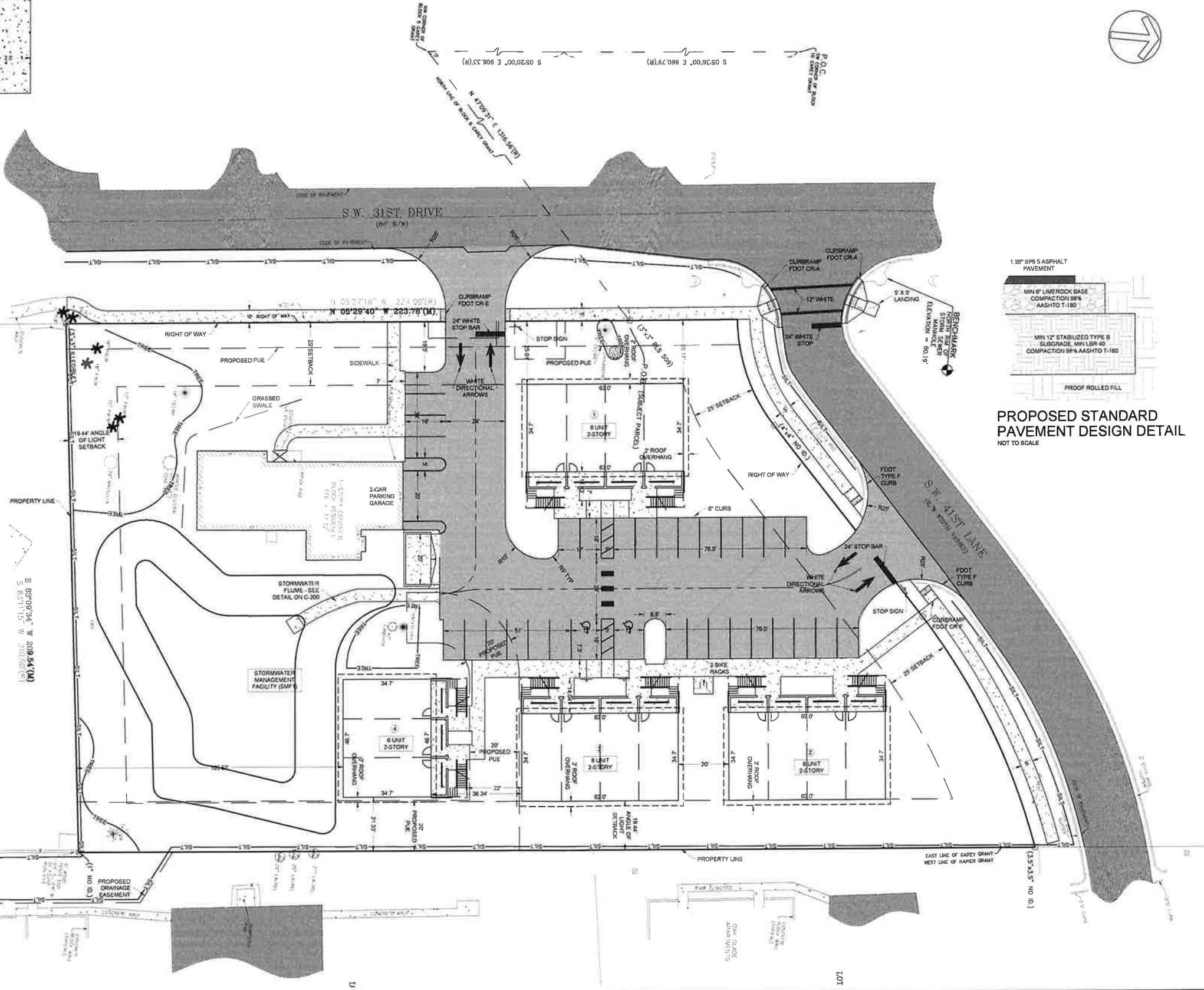
STEP-UP SIDEWALK WITH
THICKENED EDGE DETAIL
NOT TO SCALE



ACCESSIBLE PARKING PAVEMENT
MARKING DETAIL
NOT TO SCALE



LOT 9
HAYES EQUESTRIAN
PLANT BOOK "H", PAGE 11



PROPOSED STANDARD
PAVEMENT DESIGN DETAIL
NOT TO SCALE

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CONCEPTUAL
NOT CONTRACT DOCUMENTS
PERMITTING LOCAL REVIEW
2017-06-02 CITY - GRU INITIAL SUBMITTAL
2017-09-02 CITY - GRU RESUBMITTAL
PRICING:
CONSTRUCTION:

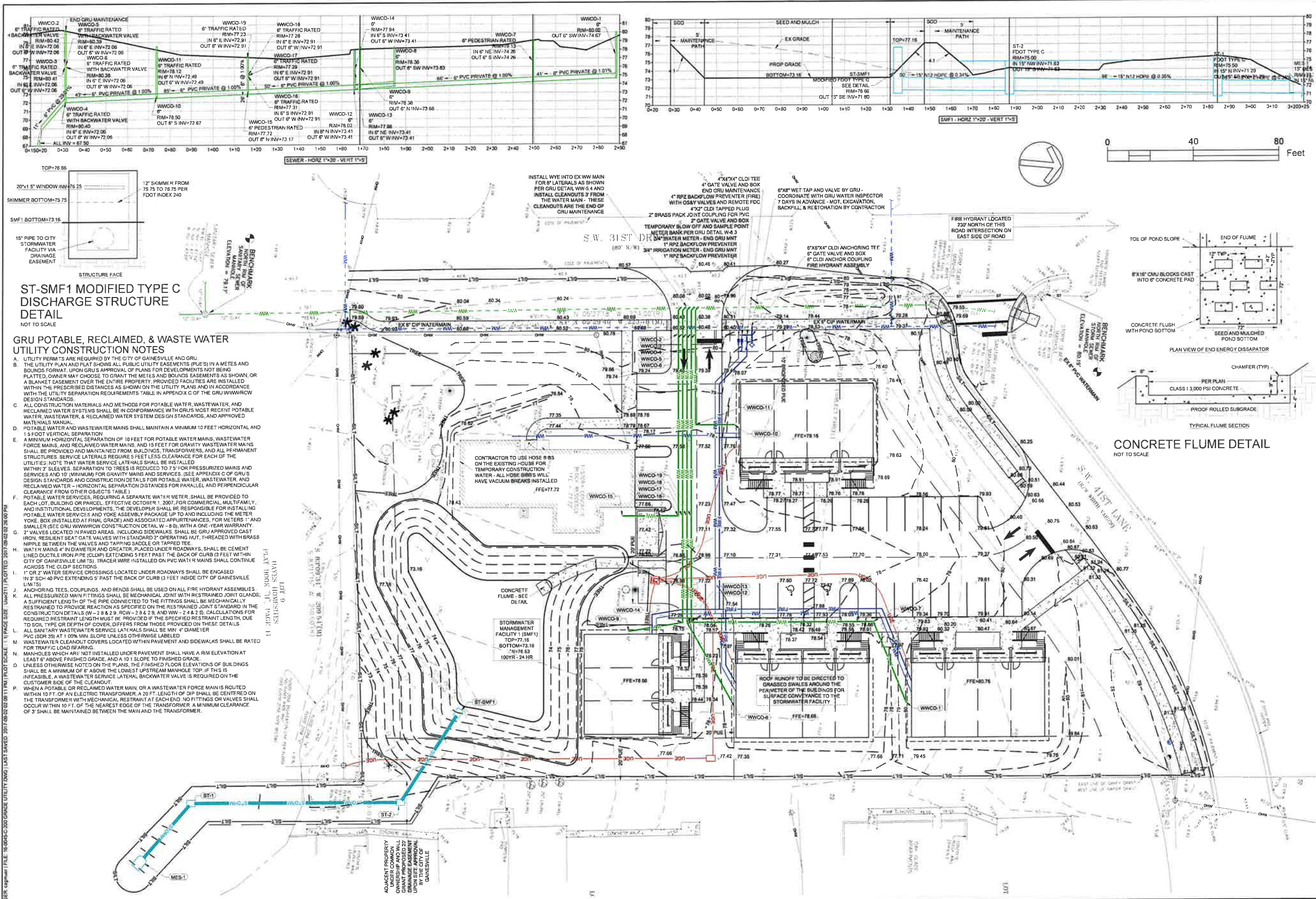
ENGINEER OF RECORD:
CHRISTOPHER A. OMUEH
FL PE # 11509
2017-09-02



CLIENT:
SAUL SILBER
DESIGN:
C.A. OMUEH, PE
C.A. OMUEH, PE
QUALITY CONTROL:
C.A. OMUEH, PE
CONSULTANT APP #
SERENOLA APP #
C-100 PROJECT #

SERENOLA
MANOR
APARTMENTS

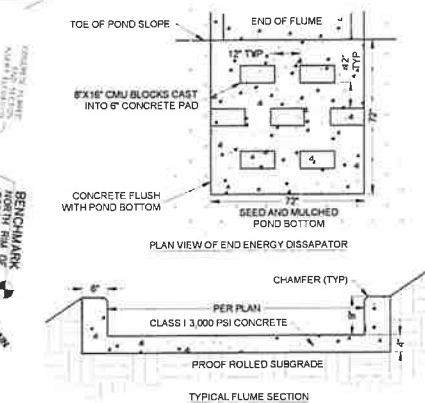
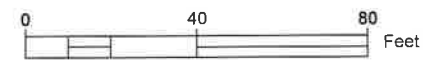
SITE,
DEVELOPMENT,
& HORIZONTAL
CONTROL PLAN
C-100



**ST-SMF1 MODIFIED TYPE C
DISCHARGE STRUCTURE
DETAIL**
NOT TO SCALE

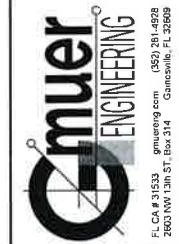
**GRU POTABLE, RECLAIMED, & WASTE WATER
UTILITY CONSTRUCTION NOTES**

- A. UTILITY PERMITS ARE REQUIRED BY THE CITY OF GAINESVILLE AND GRU. THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR A BLANKET EASEMENT OVER THE ENTIRE PROPERTY. PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU WWWRCW DESIGN STANDARDS.
- C. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS SHALL BE IN CONFORMANCE WITH GRU'S MOST RECENT POTABLE WATER, WASTEWATER, & RECLAIMED WATER SYSTEM DESIGN STANDARDS, AND APPROVED MATERIALS MANUAL.
- D. POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 15 FOOT VERTICAL SEPARATION.
- E. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS, AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES. NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3' SLEEVES. SEPARATION TO TREES IS REDUCED TO 7' 5" FOR PRESSURIZED MAINS AND SERVICES AND 10' (MINIMUM) FOR GRAVITY MAINS AND SERVICES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE).
- F. POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKES ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKES. BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU WWWRCW CONSTRUCTION DETAIL W-8-0), WITH A ONE-YEAR WARRANTY. 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
- H. WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS). TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CULP SECTIONS.
- I. 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3 FEET INSIDE CITY OF GAINESVILLE LIMITS).
- J. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES. ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS. A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS (W-2 & 2.9, RCW-2 & 2.9, AND WW-2 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH DUE TO SOIL TYPE OR DEPTH OF COVER OFFERS FROM THOSE PROVIDED ON THESE DETAILS.
- L. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN 4" DIAMETER PVC (SDR 35) AT 100% MIN. SLOPE UNLESS OTHERWISE LABELED.
- M. WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS SHALL BE RATED FOR TRAFFIC LOAD BEARING.
- N. MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
- O. UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE IS REQUIRED ON THE CUSTOMER SIDE OF THE CLEANOUT.
- P. WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.



CONCRETE FLUME DETAIL
NOT TO SCALE

FOR REVIEW ONLY
CONCEPTUAL
NOT CONTRACT DOCUMENTS
PERMITTING (DESIGN REVISIONS
2017-06-05 CITY - GRU INITIAL SUBMITTAL
2017-06-05 CITY - GRU RE-SUBMITTAL
ENGINEER OF RECORD
CHRISTOPHER A. GMIER
FL PE # 1559
2017-08-02

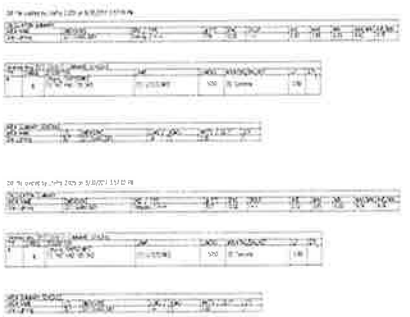


CLIENT:	SALL SILBER
DESIGN:	C.A. GMIER/PE
QUALITY CONTROL:	C.A. GMIER/PE
CONSTRUCTION SUPERVISOR:	DB-18-48 BDA
DATE:	16-04-05

**SERENOLA
MANOR
APARTMENTS**

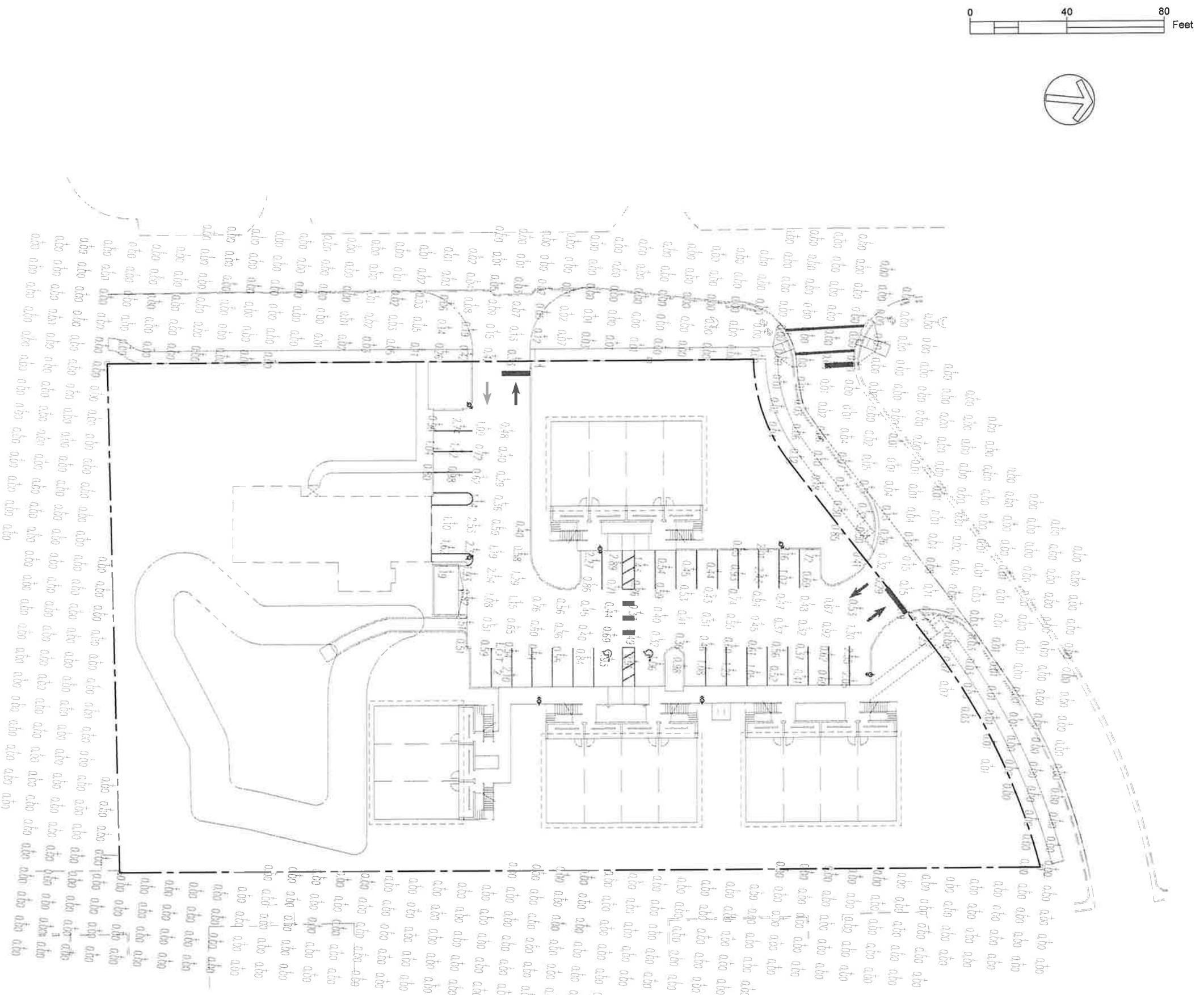
**PAVING,
GRADING,
DRAINAGE, &
UTILITY PLAN**

C-200

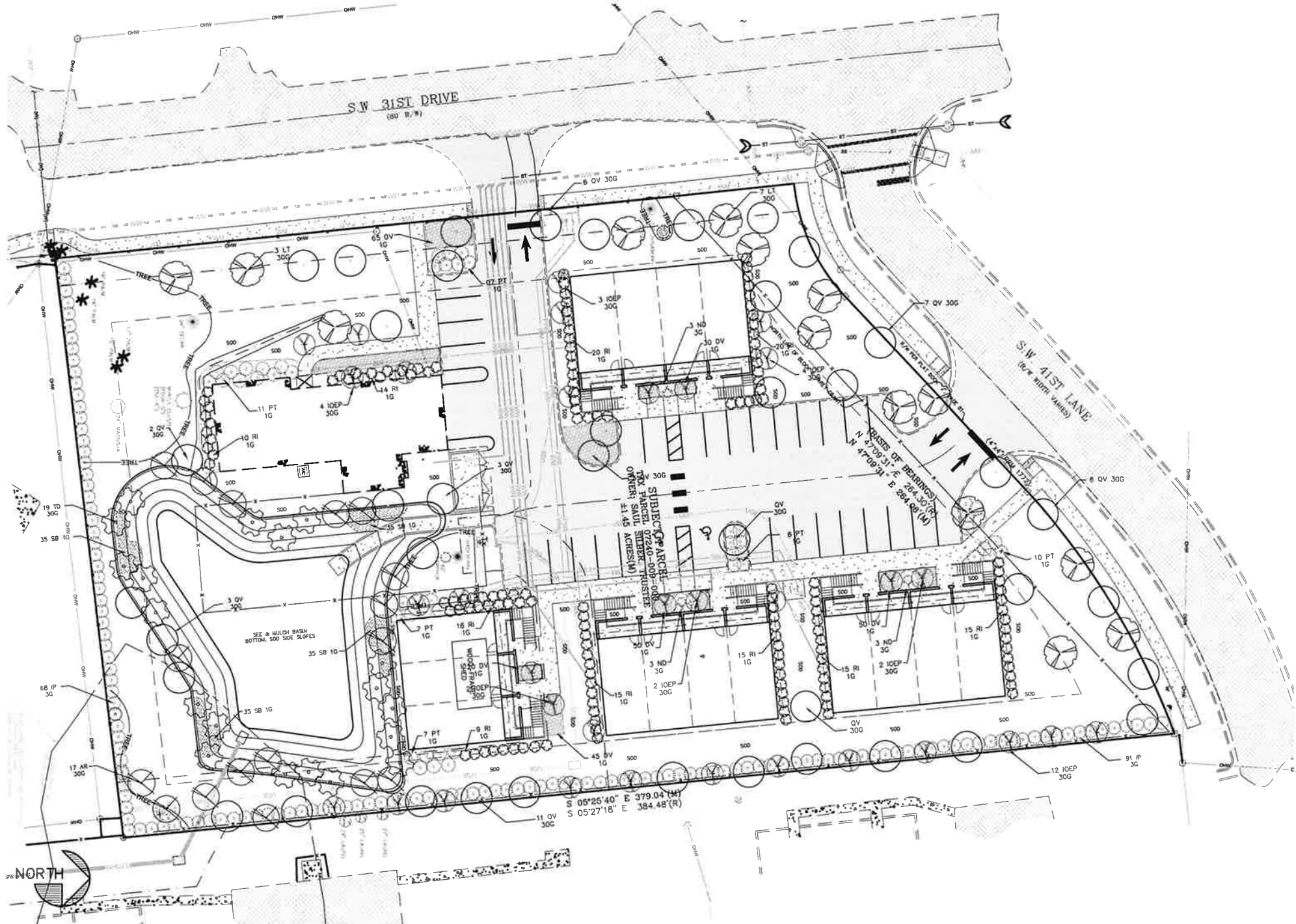


LIGHTING NARRATIVE
THE FOLLOWING IS INTENDED TO SERVE AS A DESIGN NARRATIVE AND WAIVER REQUEST FOR THE ABOVE REFERENCED PROJECT.

THIS PROJECT CONSISTS OF 4 NEW APARTMENT BUILDINGS ON A FORMER SINGLE FAMILY PROPERTY WITHIN AN AREA OF MAINLY MULTI-FAMILY DEVELOPMENTS AND RENTAL PROPERTIES. THE PROPOSED PARKING AREA WILL BE LIGHTED USING POLE MOUNT FULL, OUT-OFF LED LIGHTING MOUNTED AT 19FT PER 30-344(E)(4)(D)(2). LIGHTING SCONCES AT DOOR LOCATIONS WILL BE SIGNIFICANTLY SHIELDED FROM EXTERNAL VISIBILITY BY THE PROPOSED COURTYARD SCREEN WALLS AND THEREFORE HAVE NOT BEEN MODELED. HOWEVER, THEY ARE ALSO PROPOSED TO BE FULL OUT-OFF LED LIGHTING OVERALL, THIS DESIGN PROVIDES SAFE LIGHTING FOR BUILDING PATRONS AND VEHICLES WHILE CONFORMING WITH THE INTENT OF 30-344 AND MINIMIZING IMPACT ON NEIGHBORING PROPERTIES.



FOR REVIEW ONLY		PERMITTING DESIGN REVISIONS 2017-09-24 LAYOUT FOR CLIENT APPROVAL 2017-09-24 LAYOUT FOR CLIENT APPROVAL 2017-09-22 CITY - GRU SUBMITTAL 2017-09-22 CITY - GRU RESUBMITAL		CONCEPTUAL NOT CONTRACT DOCUMENTS	
		PRICING		CONSTRUCTION	
CLIENT :		SAIL SILBER			
DESIGN :		C.A. GAUER, PE			
QUALITY CONTROL :		C.A. GAUER, PE			
GAINESVILLE APP #		006-16-48-57A			
SUNNYSIDE APP #		110-2			
GEORGIA PROJECT #		16-00045			
SERENOLA MANOR APARTMENTS					
PHOTOMETRIC PLAN					
E-1					



NOTE:
AN AUTOMATIC DRIP IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL NEWLY PLANTED PLANTS. EACH TREE SHALL REQUIRE A MIN. OF ONE BUBBLER AT THE BASE OF THE TREE IN ORDER TO SUPPLY A READILY AVAILABLE WATER SUPPLY DURING THE ESTABLISHMENT PERIOD OF ONE YEAR.
LANDSCAPE CONTRACTOR SHALL CONFIRM THAT ALL LIMEROCK AND CONSTRUCTION DEBRIS HAS BEEN REMOVED TO A MIN DEPTH OF 18" FROM AREAS TO BE LANDSCAPED AND THAT THE PLANTING LOAM IS OF PH 5.5 - 6.5

COMPOSITE PLANT LIST:						
PLANT LIST (NOTE: GALLON SIZES ARE GIVEN AS A REFERENCE. SIZES SPECIFIED IN NOTES TAKE PRECEDENCE.)						
SYM	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	NOTES	
TREES	AR	ACRE RUBRUM	17 EA.	30 GAL.	10' X 4' min., TOTAL CALIPER 1 1/2", Florida Fancy No. 1 min.	
	IOEP	ILEX OPACA 'EAST PALATKA'	33 ea.	30 gal.	8" - 10" X 4' - 6' min., 2 1/2" CALIP. min., Central main leader, Florida Fancy No. 1 min.	
	LT	LIRIODENDRON TULIPIFERA	14 ea.	30 gal.	10' - 12' X 4' - 6' min., 2 1/2" Calp., Central Main leader, Florida Fancy No. 1 min.	
	OV	QUERCUS VIRGINIANA	41 EA.	30 GAL.	10' - 12' X 4' - 6' min., 2 1/2" CALIP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.	
	TD	TAXODIUM DISTICHUM	19 ea.	30 gal.	10' X 4' min., TOTAL CALIPER 1 1/2", Florida Fancy No. 1 min.	
SHRUBS	IF	ILLICUM FLORIDANUM	159 ea.	3 gal.	18" X 12" min., Florida Fancy No. 1 min., 3' o.c.	
	PT	PITTOSPORUM TOBIRA	50 ea.	3 gal.	24" X 18" min., Florida Fancy No. 1 min., 2' o.c.	
	ND	NANDINA DOMESTICA	9 ea.	3 gal.	24" X 18" min., Florida Fancy No. 1 min., 6-8 STALKS MIN.	
	RI	RAPHIDOLEPIS INDICA	151 EA.	1 GAL.	12" X 12" MINIMUM, FLORIDA FANCY NO. 1 MIN., 2' o.c.	
	SR	SPARTINA BAKERI	140 ea.	1 gal.	Full Pots, Florida Fancy No. 1 min., 18" o.c.	
GROUND COVERS	SD	PASPALUM NOTATUM	TBD	TBD	TO BE WEED AND PEST FREE FOR A PERIOD OF 90 DAYS.	
	SEED	PASPALUM NOTATUM	TBD	TBD	TO BE SOWN GROWN AND PLANTED WITHIN 2 DAYS OF HARVESTING.	
MULCH		PINE BARK CHIPS	TBD		3" UNIFORM THICK LAYER OF MULCH MINIMUM.	

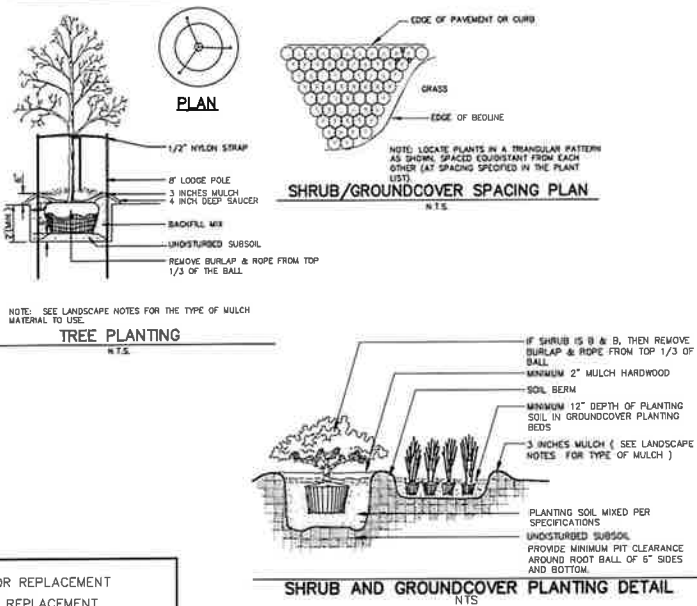
PLANTING PLAN

SCALE: 1" = 20'

LANDSCAPE SPECIFICATIONS

- Substitutions of plant material will not be permitted unless authorized in writing by the Landscape Architect or designee. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for the use of the nearest equivalent size or variety with corresponding adjustment of Contract Price.
- Sod shall be nursery grown sod as classified by the American Sod Producers Association.
- Sod shall be certified free of noxious weeds by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry, have been cut regularly at a height of 1 1/2 inches and held together firmly when a 16 inch x 24 inch piece is picked up with only one hand. The sod shall have its roots embedded in a layer of clean soil 3/4 inch to 1 inch thick.
- Sod shall be harvested, delivered and transplanted within a period of 48 hours unless a suitable preservation method is approved prior to delivery.
- Provide all plant materials as indicated on the drawing. The sizes that are indicated are the minimum acceptable sizes.
- All plant material not otherwise specified as specimen shall be **FLORIDA GRADE No. 1** or better quality graded in accordance with Grades and Standards for Nursery Plants published by the State of Florida, Department of Agriculture. Plants judged to be not in accordance with said standards will be rejected.
- The number of plants specified shall take precedence over the graphic plant symbols. The Contractor shall verify all quantities required for the completion of the work and shall be responsible for the supply and installation of all plants and materials indicated on the drawings and specifications.
- The Contractor shall notify the Landscape Architect or designee "IMMEDIATELY" of any discrepancies in the plans or specifications.
- Protect the work, the public, and property owner from injury or loss arising in connection with this contract. Provide adequate barricades, night lights, etc. to protect the public. The Contractor shall be responsible for any damage or injury due to his act or neglect.
- Plants and planting areas shall be mulched within two days after planting with a three inch deep layer of the prescribed mulch material, entirely covering the pit or bed around each point, but not within 6" of tree trunks.
- As planting operations proceed, all rope, wire, burlap, empty containers, racks, clods and all other debris shall be removed daily, and the site kept neat at all times.
- Any excess excavated topsoil or rich loam shall be placed as directed by the Owner or his Representative.
- After planting operations are finished, all paved areas which may have become strewn with soil or other material shall be thoroughly cleaned by sweeping, and, if necessary, washing.
- The Landscape Architect or designee reserve the right to inspect the work during the execution of the contract. The Contractor shall review the entire project with the Landscape Architect and the Owner for final inspection to obtain approval for final payment.
- For a period of one year from and after the date of the Final Acceptance of his work, Contractor shall promptly and properly repair or replace all defective materials, equipment, plants, or workmanship which becomes evident during that period, and shall do so at no additional cost to the owner.
- MAINTENANCE:** the holder of the certificate of occupancy shall be the responsible party for the maintenance of all landscape areas which shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free from refuse and debris. All planted areas shall be provided with a readily available water supply to ensure continuance of vigorous healthy growth and development. Maintenance shall include the replacement of all dead plant material.
- Trees not within planting beds shall be sleeved with 10" of plastic tubing to protect trunks from mower/trimmer damage.
- Trees will be staked as needed and will be removed after one year. (owner shall remove any tree staking)
- Landscape installation Contractor shall arrange an on-site meeting with the Landscape Architect (352-318-4773) and the City of Gainesville Urban Forest Team (352-393-8188) for a TREE barricade inspection and a pre-site inspection before demolition or clearing grubbing work begins.
- No asphalt, concrete, limerock, or construction debris is allowed in landscape beds. If area must be excavated, soil in planting beds shall be replaced with high quality deep fill of pH. 5.5-6.5.
- New trees to be installed shall have planting pit twice the diameter of the container. The first root arising from the trunk shall be at or above surface grade when planting is completed.

LANDSCAPE INSTALLATION DETAILS



TREE REPLACEMENT CHART:

HIGH QUALITY HERITAGE TREE 1EA. 50" RED OAK INCH FOR INCH REPLACEMENT 20 LIVE OAKS PLANTED FOR REPLACEMENT
HERITAGE TREE 1EA. 42" RED CEDAR INCH FOR INCH REPLACEMENT 17 LIVE OAKS PLANTED FOR REPLACEMENT
REGULATED TREES VARIES = 30 TREES TOTAL REGULATED TREES TO BE REMOVED AT 2 FOR 1 REPLACEMENT
60 REPLACEMENT TREES REQUIRED = 60 TREES PLANTED AS REPLACEMENT SEE PLANT LIST

SERENOA APARTMENTS ADDITIONS
PREPARED FOR: SAUL SILBER & DEVELOPMENT, INC.
CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA

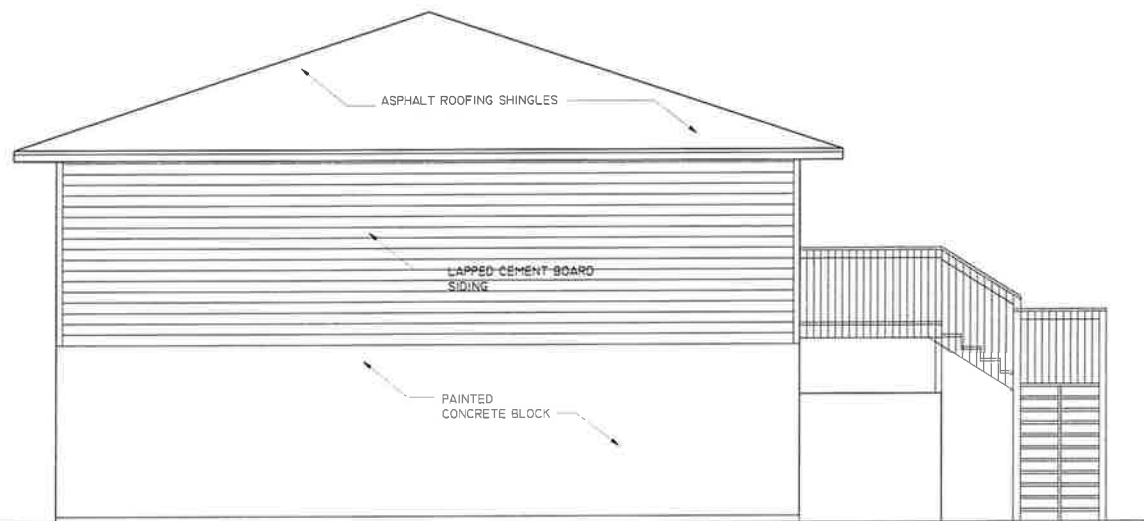
LANDSCAPE PLAN

STEVEN PATRICK LOUGHE
Landscape Architect
Irrigation Designer
8013 S.W. 102nd AVENUE
Gainesville, Florida 32608
(352) 318-4773
FL REG. NO. LA0001596

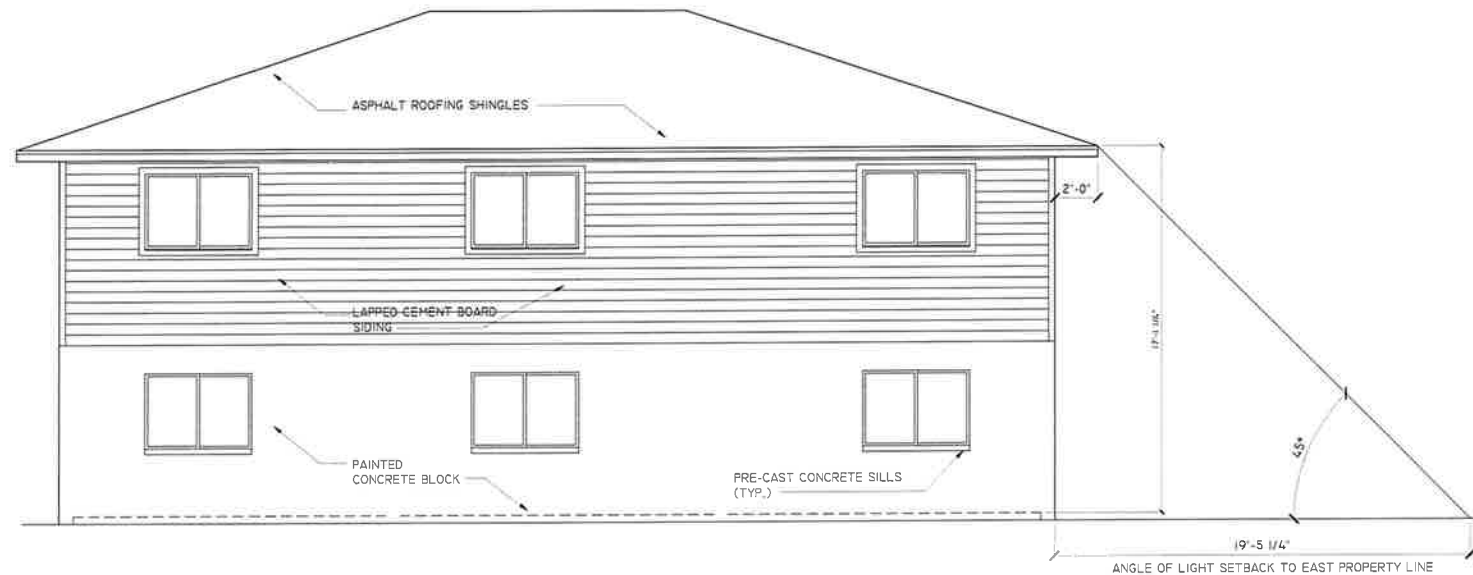
DATE: 08/25/2017
SCALE: 1" = 20'
DRAWN BY: S.P.L.
DESIGNED: S.P.L.
PROJECT NO.: ADI-0058-16
FILE NAME: SERENITY REV 08/25/2017

SHEET NO. *

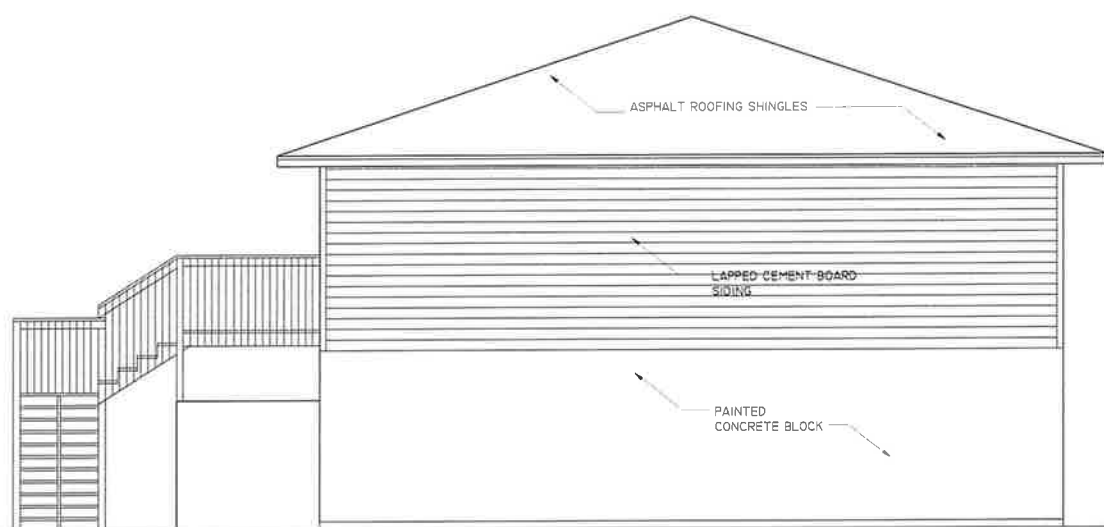
L1



LEFT ELEVATION (EAST)
1/4" = 1' - 0"



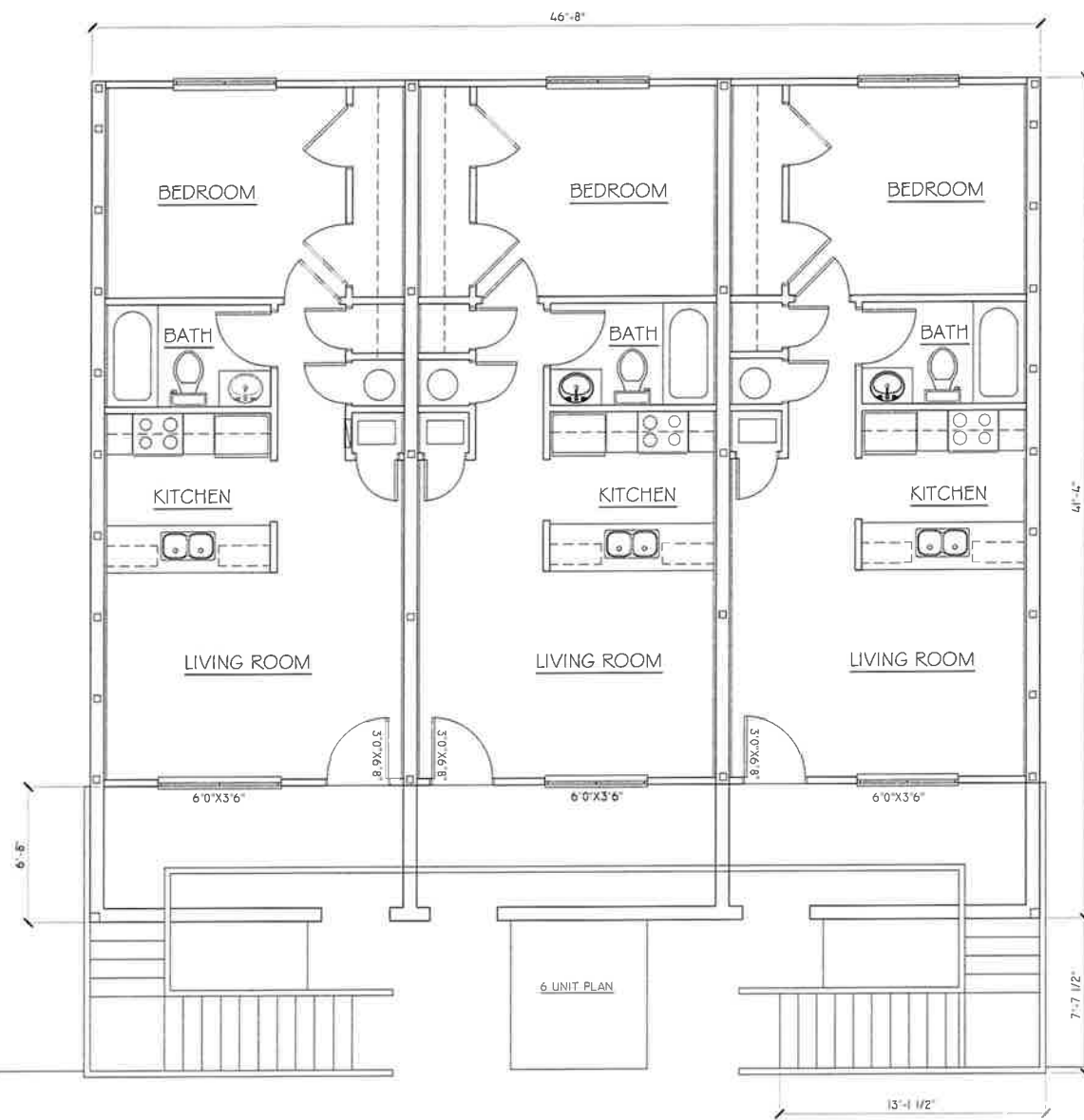
REAR ELEVATION (SOUTH)
1/4" = 1' - 0"



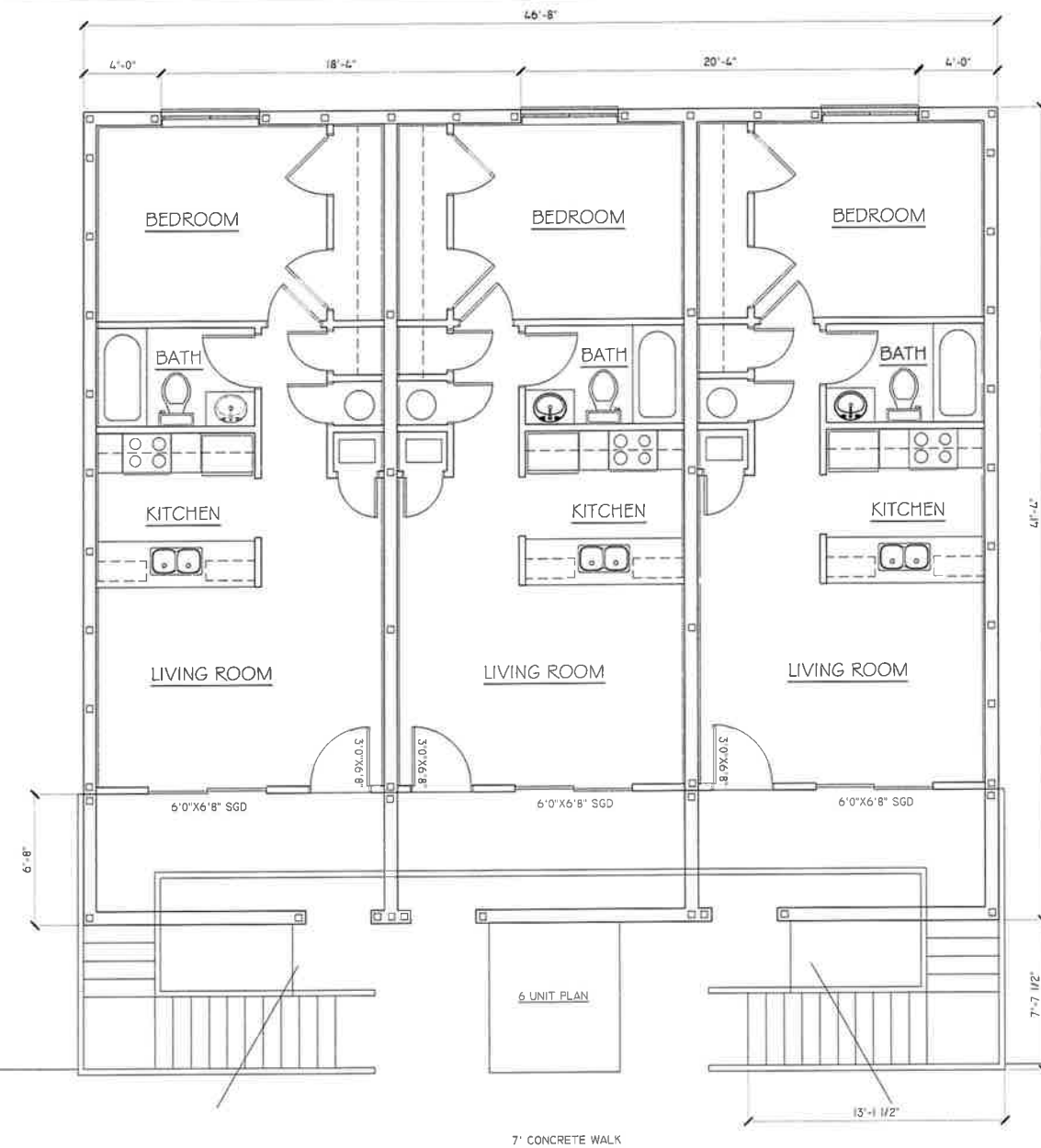
RIGHT ELEVATION (WEST)
1/4" = 1' - 0"



FRONT ELEVATION (NORTH)
1/4" = 1' - 0"



SECOND FLOOR PLAN
1/4" = 1' - 0"



FIRST FLOOR PLAN
1/4" = 1' - 0"

juris luzins
architect PLLC
jurisluzins@cox.net
9320 nw 13 th pl 224-8673 gainesville florida

sheet description	FLOOR PLAN
drawn by	JL
checked	JL

2 STORY 6-PLEX BUILDING
4021 SW 31ST DRIVE
GAINESVILLE, FLORIDA

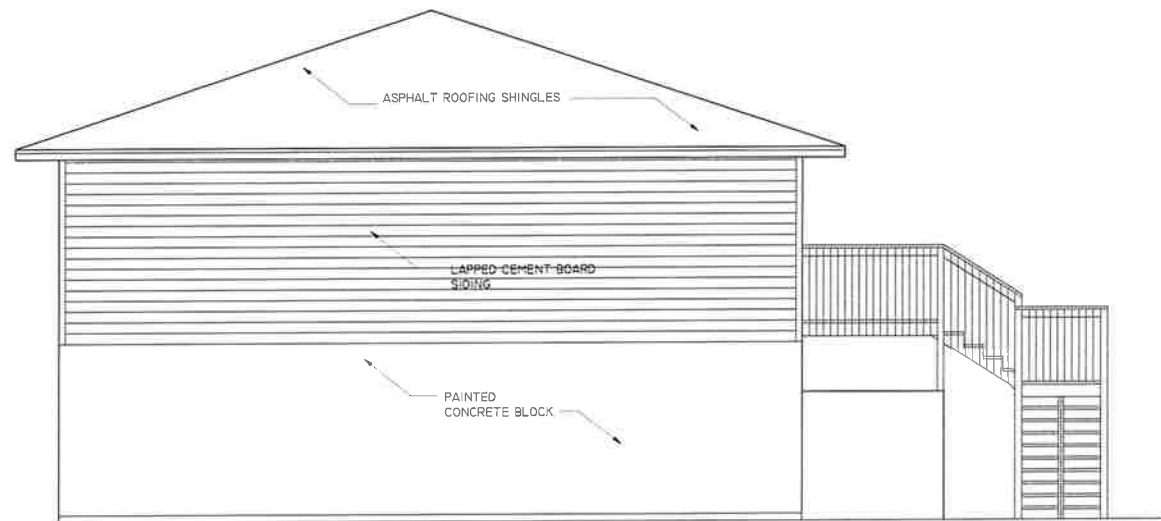
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1585

date
27 JULY 16
revised

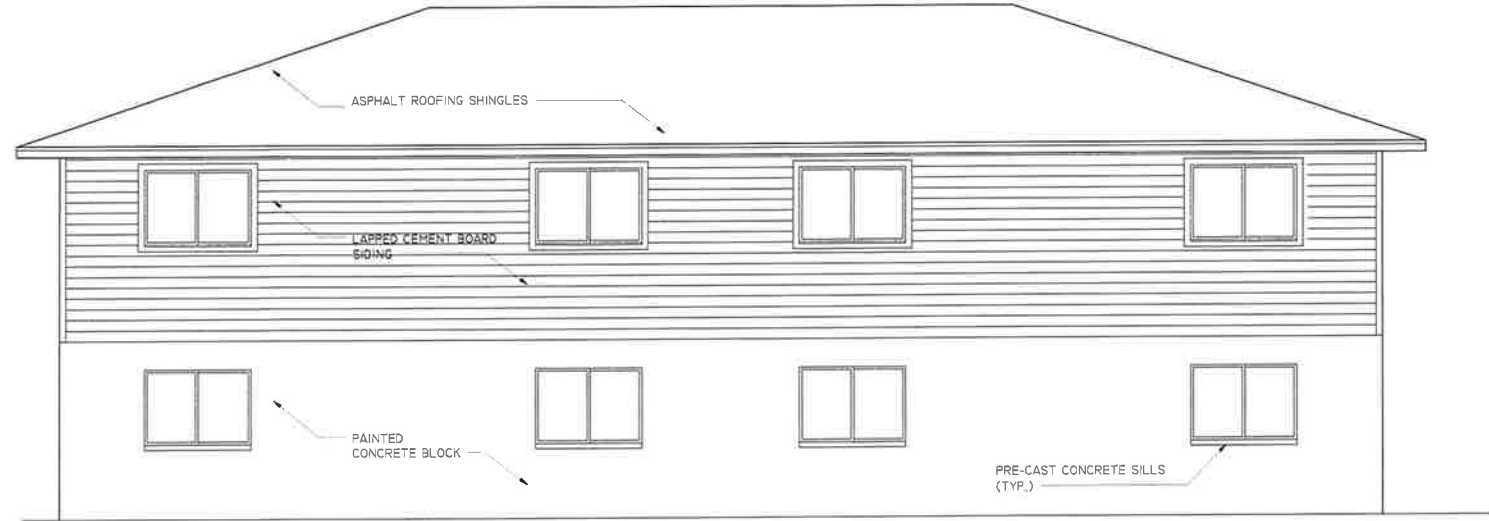
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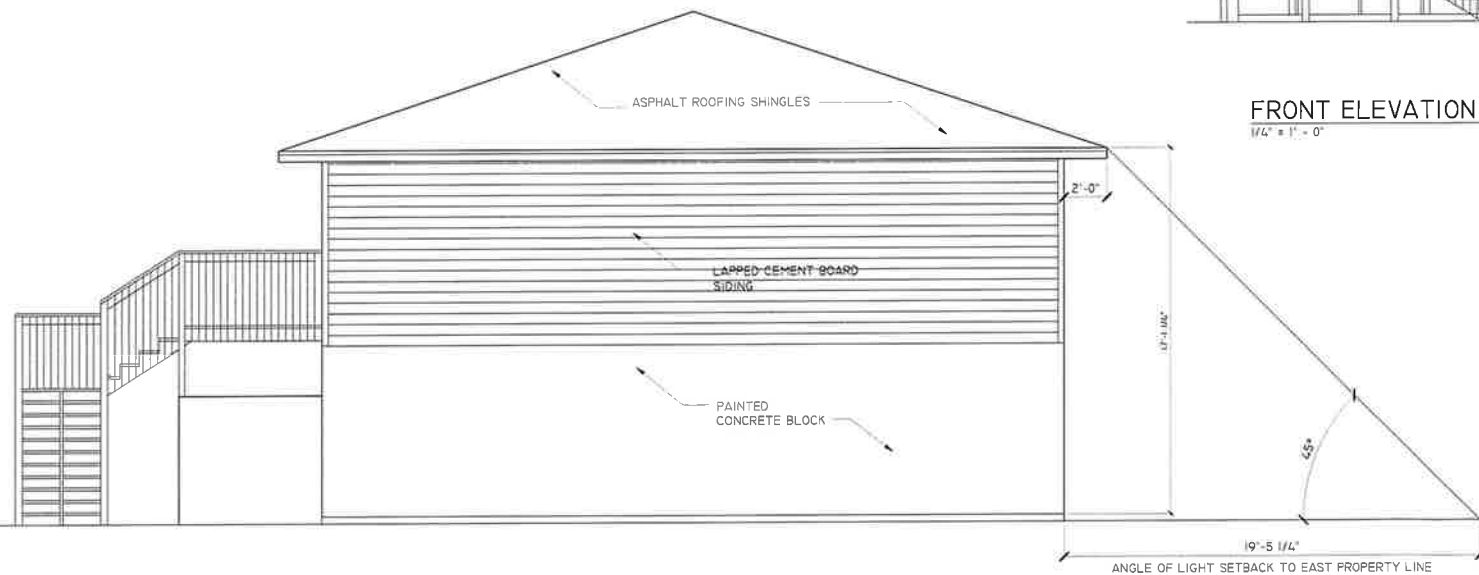
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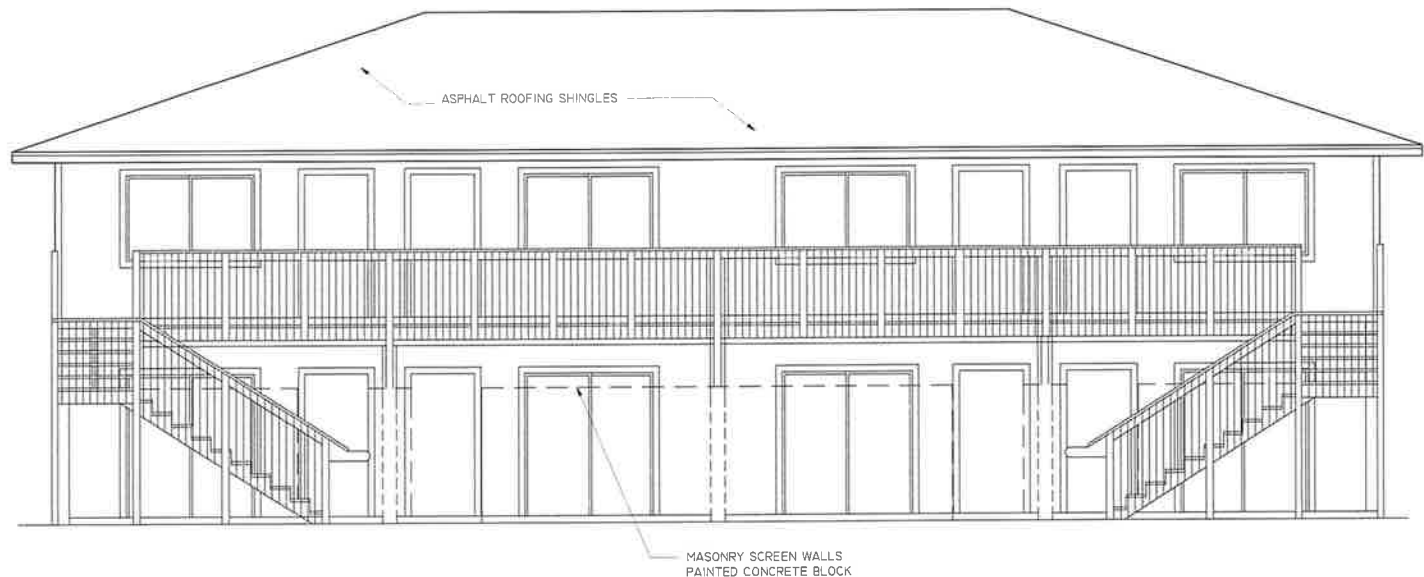
LEFT ELEVATION
1/4" = 1' - 0"



REAR ELEVATION
1/4" = 1' - 0"



RIGHT ELEVATION
1/4" = 1' - 0"



FRONT ELEVATION
1/4" = 1' - 0"

juris luzins
architect PLLC
jurisluzins@cox.net
9320 nw 13 th pl 224-8673
gainesville florida

sheet description	checked
ELEVATIONS	JL
drawn by	JL

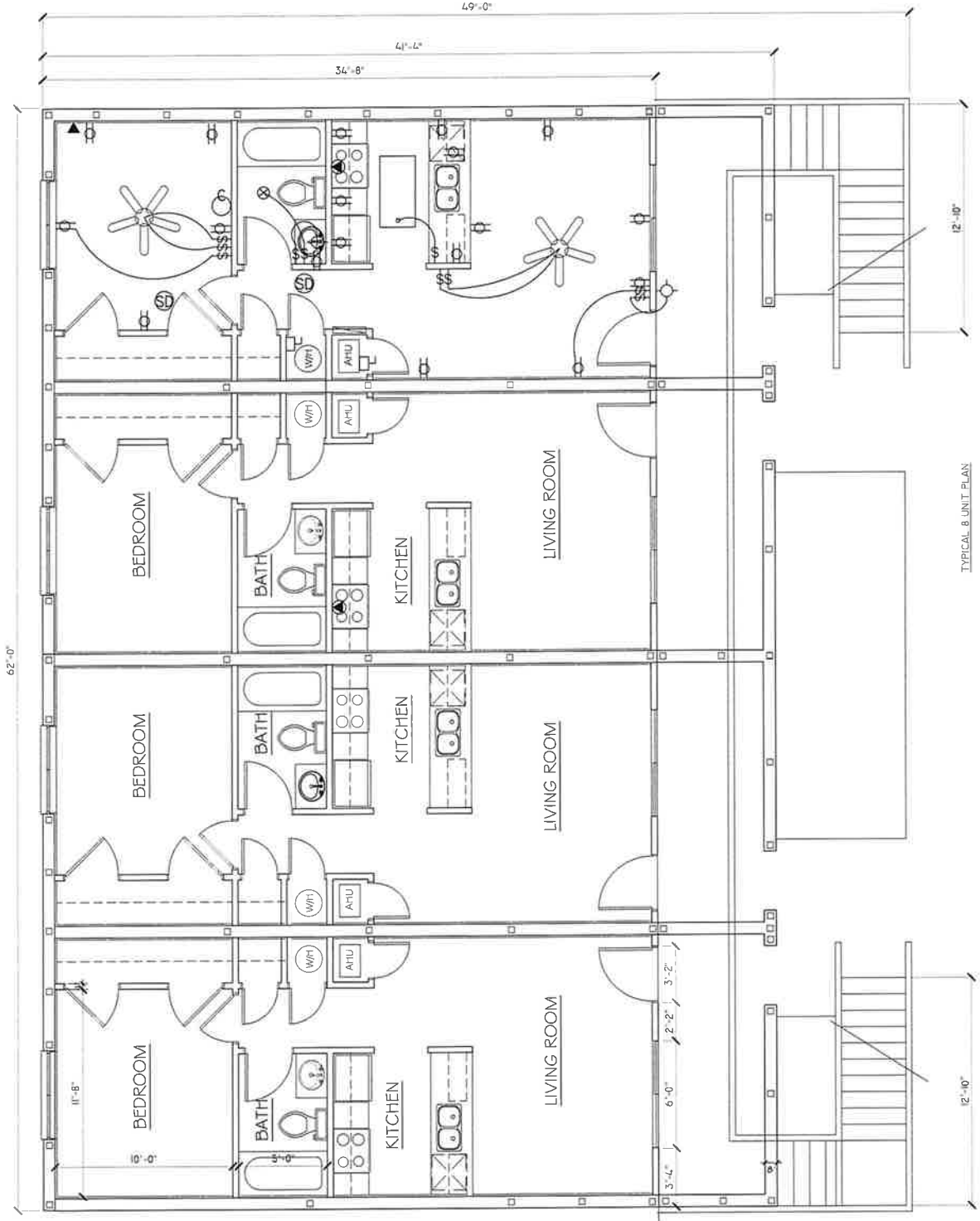
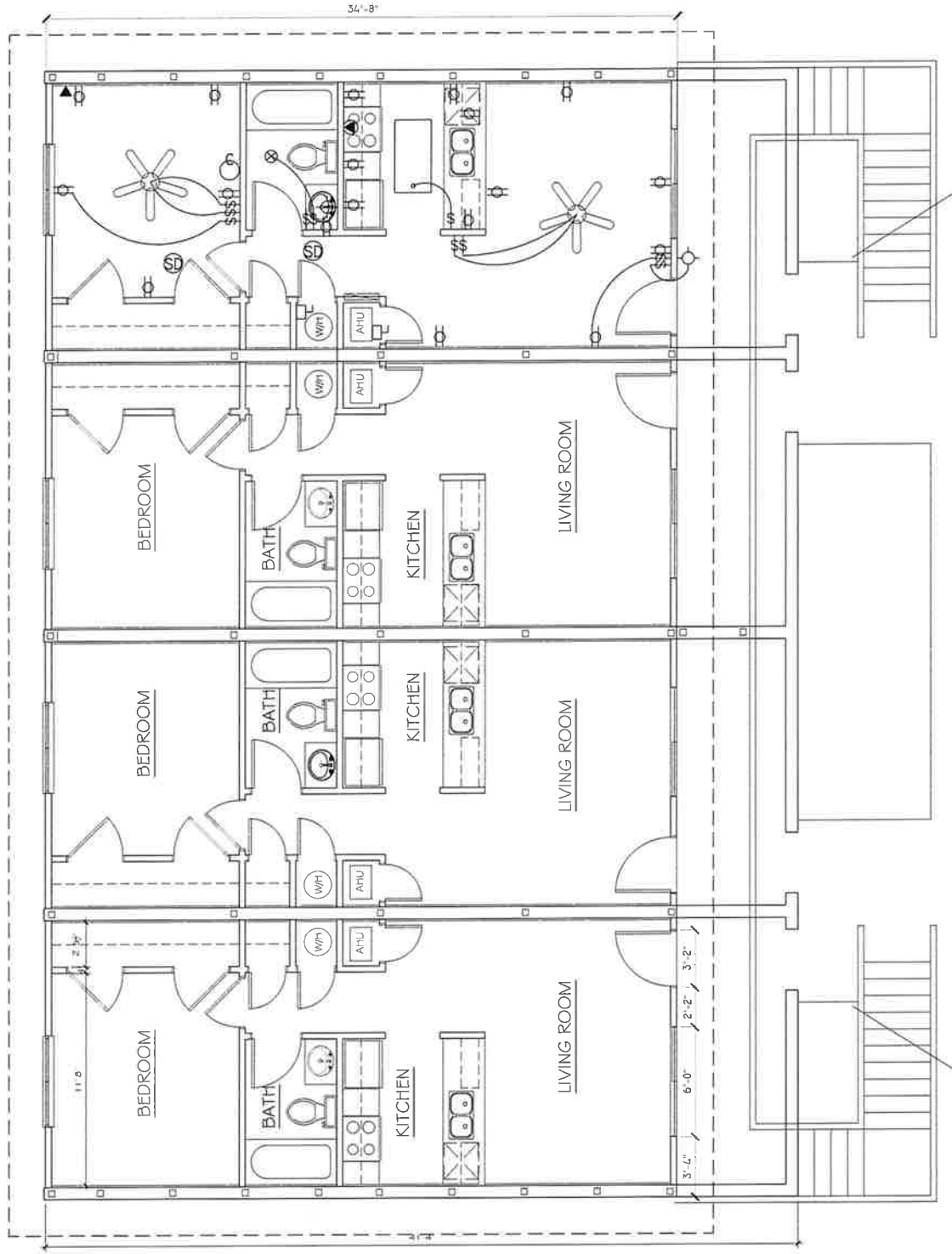
2 STORY 8-PLEX BUILDING
4021 SW 31ST DRIVE
GAINESVILLE, FLORIDA

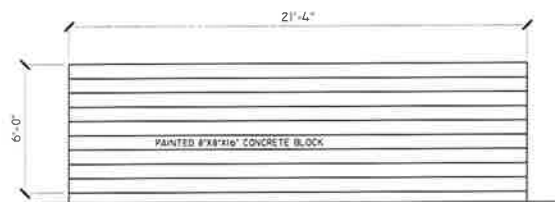
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date
10 MAY 17
revised
4 AUG., 17

sheet
3
of
6

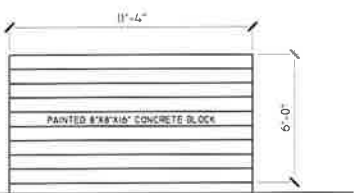
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REAR

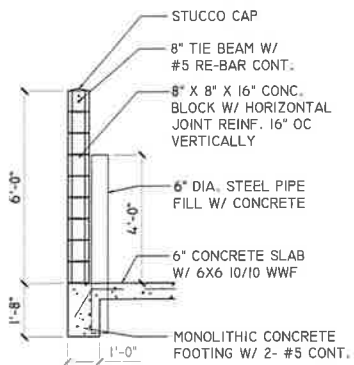
1/4" = 1' = 0"



RIGHT SIDE

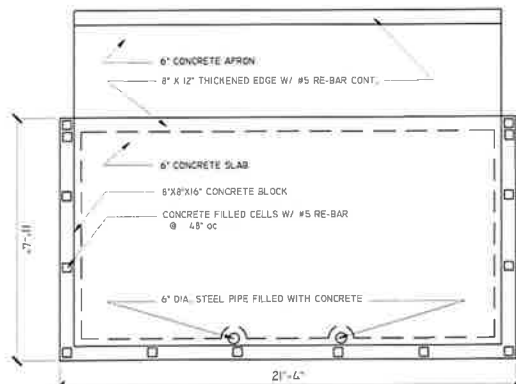
1/4" = 1' = 0"

LEFT SIDE SIMILAR



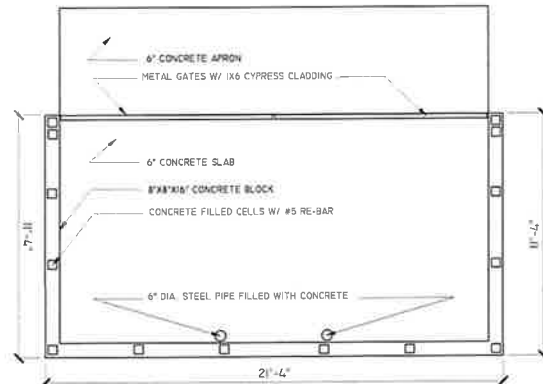
SECTION

3/8" = 1' = 0"



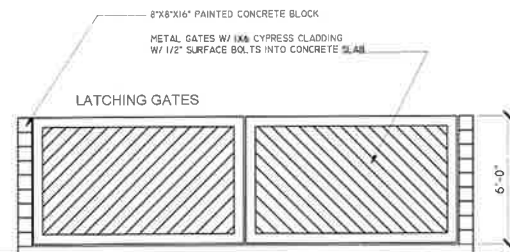
FOUNDATION PLAN

1/4" = 1' = 0"



PLAN

1/4" = 1' = 0"



DUMPSTER ENCLOSURE FRONT

1/4" = 1' = 0"

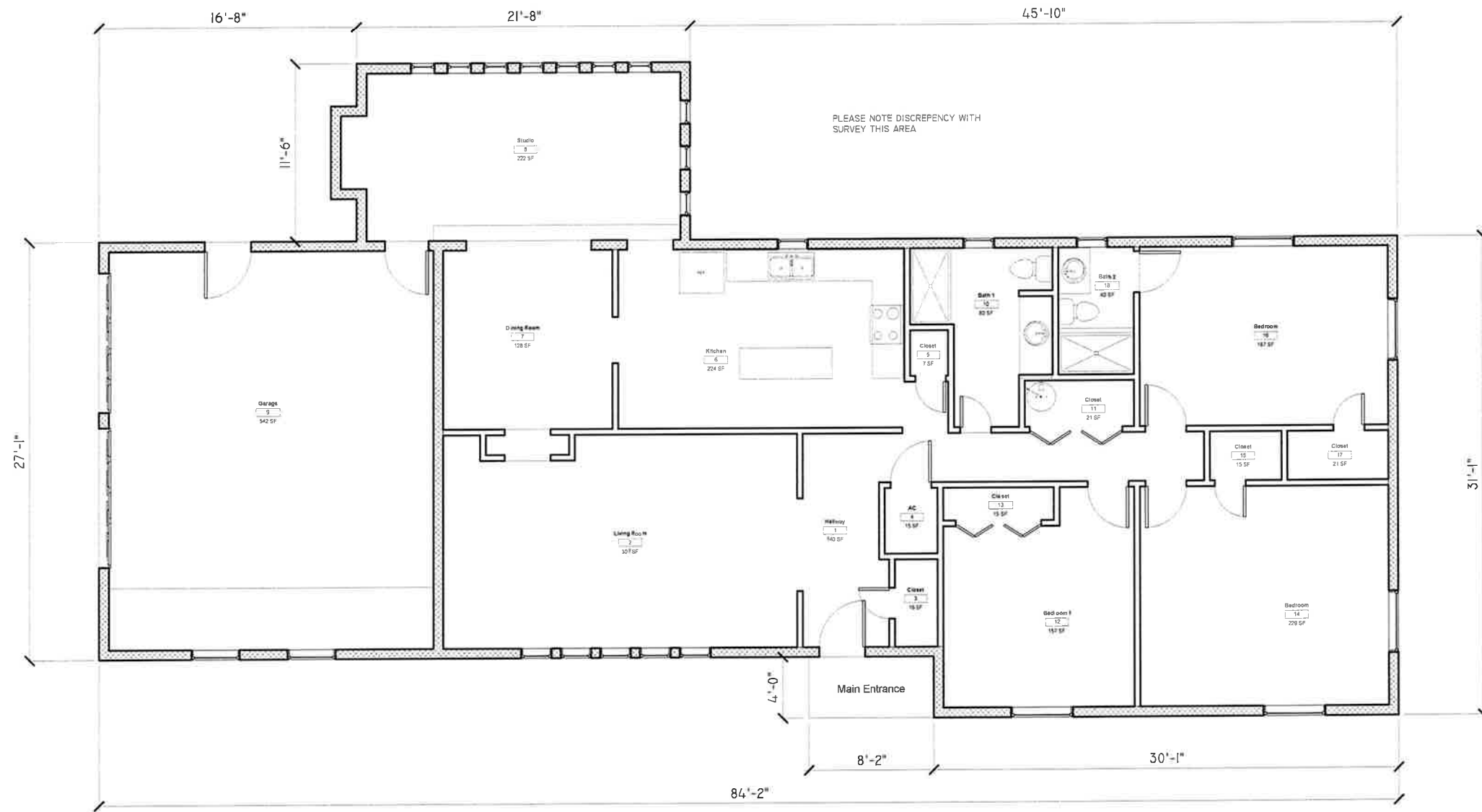
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FLOOR FRAMING SECTIONS & DUMPSTER PLAN	JL	JL

DUMPSTER ENCLOSURE
SERENOLA MANOR APARTMENTS
3000 BLK. 41ST LANE
GAINESVILLE, FLORIDA

file no. 1580	date 10 MAY 17 revised 4 AUG., 17
sheet 6 of 6	

fla. reg. no. AR0007907

juris luzins
architect PLLC
jurisluzins@cox.net
9320 nw 13 th pl 224-8673
gainesville florida



EXISTING FLOOR PLAN

sheet description	FLOOR PLAN
drawn by	JL
checked	JL

MULTI-FAMILY DEVELOPMENT
4021 SW 31ST DRIVE
GAINESVILLE, FLORIDA

file no.	1585
date	27 JULY 16
revised	
sheet	1
of	1

fla. reg. no.	AR0007907
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