



Department of Doing
Planning Division
PO Box 490, Station 11
Gainesville, FL 32602-0490

306 N.E. 6th Avenue
P: (352) 334-5022
P: (352) 334-5023
F: (352) 334-2648

TO: Historic Preservation Board

Item Number: 2

FROM: Department of Doing, Planning Staff

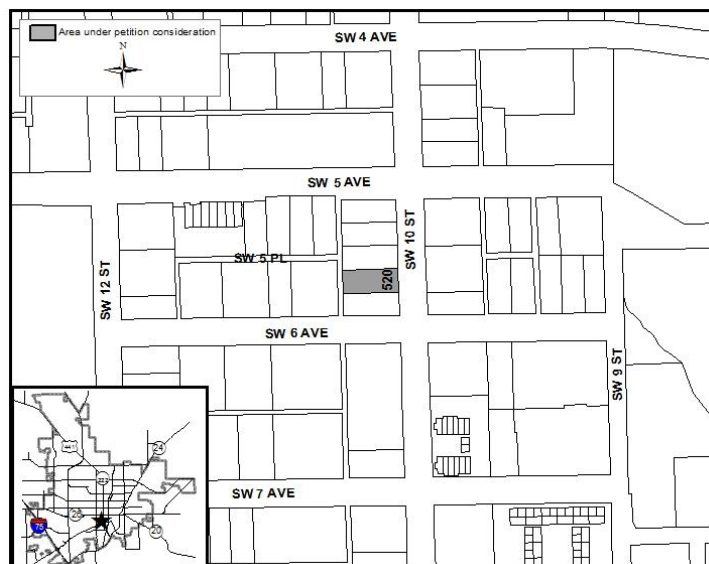
DATE: January 2, 2018

SUBJECT: Petition HP-17-71. Peter McNiece, owner. Howard McLean, agent. Application for Certificate of Appropriateness for exterior alterations to house, including front porch enclosure, side entry modification, rear entry and two new windows. Located at 520 SW 10th Street. The property is contributing to the University Heights Historic District – South.

Recommendation

Staff recommends conditional approval of Petition HP-17-71:

- For the rear entry, submit an elevation of the door installation that shows how the new opening will relate to the existing window opening with brick detailing. It is recommended that as much of the brick detailing be retained as possible.
- For the new window at the front porch enclosure, use a wood, clad or fiberglass sash window, with 3/1 true divided lights and profiles to match as closely to the historic as possible. Submit window cutsheet and profiles for Staff review.
- For the attic windows, vinyl can be used as long as: the window trim around the window will match the dimension in depth and width of the existing vent trim, so that the window is well recessed into the masonry opening, and the glazing in the new windows shall not be mirrored or tinted glass. Submit window cutsheet and dimensioned trim detail showing recess for Staff Review.



Project Description

The property is located at 520 SW 10th Street between SW 5th and SW 6th Avenues. The 0.14 acre parcel (13154-000-000) is zoned Urban 5 and has two contributing structures, a house and a small accessory structure used as a garage. According to the FMSF, the house was built c. 1912. It is a one-story chert cottage with brick quoins and detailing. The roof is an intersecting gable form with asphalt shingles. Windows are wood 3/1 double-hung sash, some in a paired configuration.

The house has been used as a rental property for numerous years and will be undergoing a major interior renovation for use as a single-family, owner-occupied home. The proposed scope of work under review is for the exterior alterations only.

Proposed Scope of Work

The proposed work includes:

- Enclosure of the existing recessed entry with a door and a window.
- Installation of wrought iron railing and a wood pergola over the raised front patio.
- Installation of new side entry with new shed roof.
- Installation of new rear door.
- Installation of four fixed windows at existing attic vents.

Review of Scope of Work

The review is based on the Secretary of the Interior's Standards for Rehabilitation (SOIS) and the City of Gainesville's *Historic Preservation Rehabilitation & Design Guidelines*.

Guidelines: Entries, Porches and Balconies

The enclosure of the recessed entry involves installing a new door with sidelights and installing a new window and wood panel into the existing masonry openings. This enclosed space would be less than 100 sf and create an entry foyer for the house.

The guidelines for *Entries, Porches and Balconies* state that "Although porch enclosures are generally not recommended, they can meet standards 5, 9, and 10 under limited circumstances."

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The guidelines recommend maintaining the openness of porches through the use of transparent materials such as glass or screens, retaining existing openings, and “permitting enclosures in such a way that if removed, the form and integrity of the porch would remain” (p. 108). It is not recommended to “Enclosing porches in a manner that destroys their historical appearance” (p. 108)

The Board Approval Guidelines state: “Original door openings and features such as transoms, sidelights, and doors should be retained” (p. 109).

Staff finds the existing recessed entry is smaller than the porches that the guidelines refer to, and as such, enclosure for continued use as a covered entry is an appropriate use of the space. The proposal maintains the existing masonry openings with brick detailing, which are character-defining features of the house. The front opening will be infilled with a window to match the configuration of existing windows, as well as a small wood panel at the base, which signifies an infill better than new chert would. The new doors are located on the side of the recessed entry. Staff finds the proposal for entry enclosure appropriate as the work is compatible, retains the character-defining features of the house, and is removable without damaging the historic property.

The project also proposes a new wood pergola over the front raised patio, new wrought iron railing around the patio and a new entry covering with a shed roof and wood brackets over the side entry.

Staff finds that the pergola over the front patio does not destroy significant architectural features and can be viewed as a landscape element as it is over an open patio. It is also positioned under the eave line of the existing roof, so its height does not change the existing outer form of the house. Staff finds the installation of the metal railing acceptable, though questions if wood wouldn't be more appropriate, as there is no other metal decoration on the house. Staff finds the side entry cover also appropriate as it is on the secondary façade of the house and is simple in design and does not detract from the cottage-character of the house.

Guidelines: Doors and Entrances

The project proposes a new ThermaTru 965 HD fiberglass door with ¾ lite art glass, 2 lower panels and flanking sidelights at the new porch enclosure. The existing front door is likely original to the house. It is wood with three lights; two of the lights have been replaced with art glass; the door will be retained within the new enclosed foyer.

The new side entry door will also be fiberglass with glass and one sidelight. The side door and stucco bay on the south facade is not original. The new side entry will also contain a small panel of wood shakes, a material seen in a similar chert house at 1122 SW 3rd Avenue in the same historic district.

A new door and opening is proposed for the rear elevation, where a window will be removed and a new fiberglass door with glass will be installed.

The guidelines state it is recommended to “Retain and repair historic door openings, doors, screen doors, trim and details ... where they contribute to the architectural character of the building” and “Place new entrances on secondary elevations away from the main elevation” (p. 112). The Board Approval Guidelines state: “The board may consider new designs that utilize different materials for entry projects provided the new entry does not destroy contributing architectural features of the main entrance (113).

Staff finds the proposal for the new doors and sidelights appropriate as the new designs of the doors with art glass maintain a clear distinction between old and new and the installation of the front and side doors does not destroy significant architectural features on the primary and secondary façade. Staff finds the proposal of the side entry with new wood shake panels compatible, as the existing is not historic and the new entry will be flush within the existing wall on the secondary façade of the house. For the rear entry, Staff does not find a new entry on the rear faced of the house objectionable but requests an elevation of the door installation that shows how the new opening will relate to the existing window opening with brick detailing. It is recommended that as much of the brick detailing be retained as possible.

Guidelines: Windows

The project proposes the infill of an existing recessed entry opening with a new 3/1 vinyl window and wood panel. The window will receive a new exterior wood screen to match the existing screens on the house; the screen will be more visible from the exterior than the window. The interior renovation will be removing the attic and creating double-height spaces within the house. The proposal for installation of a fixed vinyl window in the four vent spaces is to allow more natural light into the interior spaces.

The guidelines allow for new windows to be constructed on non-historic materials, as long as the new windows consider the qualities of the existing window and aim to match as many as possible (p. 102). Further the addition of modern windows on visible, primary elevation is considered inappropriate by the guidelines (p. 103).

Staff finds the proposal for a new vinyl window with internal muntins inappropriate per the guidelines as vinyl does not typically meet the profile depth of wood windows, the window does not have true divided lights, the window is on the front façade of the house, and the location of the meeting rail/ proportion of the drawn window does not match the existing windows. Further, as the window is for a new infill of the porch enclosure, it should be compatible with the historic windows adjacent to it. The existing windows of the house are wood, 3/1 double-hung with true divided light. Staff recommends a wood, clad or fiberglass sash window, with 3/1 true divided lights and profiles to match as closely to the historic as possible. As the new window will match existing in proportion and meeting rail location, Staff finds the wood panel at the bottom of the infill appropriate.

Staff does not find the use of vinyl windows in the attic vent locations objectionable as they are well above grade, and as long as the window trim around the window will match the dimension in depth and width of the existing vent trim, so that the window is well recessed into the

masonry opening. Further the glazing in the new windows shall not be mirrored or tinted glass (p. 104).

Staff recommends conditional approval of Petition HP-17-71.

Respectfully submitted,



Andrew Persons
Interim Principal Planner

Prepared by:



Cleary Larkin, AIA
Planner

List of Exhibits

Exhibit 1	Certificate of Appropriateness Application
Exhibit 2	Photos of Existing
Exhibit 3	Proposed Materials
Exhibit 4	Drawings

<div style="display: flex; justify-content: space-between; align-items: center;"><div style="text-align: left;"><p>CITY OF GAINESVILLE <small>every path starts with passion FLORIDA</small></p></div><div style="text-align: center;"><h2 style="margin: 0;">CERTIFICATE OF APPROPRIATENESS APPLICATION</h2></div></div>	
REQUIREMENTS CONTACT THE HISTORIC PRESERVATION OFFICE FOR A PRE-APPLICATION CONFERENCE 334.5022 REVIEW THE CHECKLIST FOR A COMPLETE SUBMITTAL (If all requirements are not submitted it could delay your approval.) PLEASE PROVIDE ONE (1) DISK OR USB FLASH DRIVE CONTAINING ALL OF THE FOLLOWING: 1 ORIGINAL SET OF PLANS TO SCALE SHOWING ALL DIMENSIONS AND SETBACKS. LIST IN DETAIL YOUR PROPOSED REPAIR AND/OR RENOVATION A SITE PLAN OR CERTIFIED SURVEY PHOTOGRAPHS OF EXISTING CONDITIONS ANY ADDITIONAL BACKUP MATERIALS AS NECESSARY AFTER THE PRE-CONFERENCE, TURN IN YOUR COMPLETED COA APPLICATION TO THE PLANNING OFFICE (RM 210, THOMAS CENTER-B), PAY APPROPRIATE FEES, AND PICK UP PUBLIC NOTICE SIGN TO BE POSTED 10 DAYS IN ADVANCE OF THE MEETING. MAKE SURE YOUR APPLICATION HAS ALL THE REQUIREMENTS. FAILURE TO COMPLETE THE APPLICATION AND SUBMIT THE NECESSARY DOCUMENTATION WILL RESULT IN DEFERRAL OF YOUR PETITION TO THE NEXT MONTHLY	Planning & Development Services 306 N.E. 6th Avenue Gainesville, Florida 32601 352.334.5022 Fax 352.334.3259 www.cityofgainesville.org/planningdepartment
PROJECT TYPE: Addition <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> New Construction <input type="checkbox"/> Relocation <input type="checkbox"/> Repair <input type="checkbox"/> Fence <input type="checkbox"/> Re-roof <input type="checkbox"/> Other <input type="checkbox"/>	
PROJECT LOCATION: Historic District: UNIVERSITY HEIGHTS - SOUTH Site Address: 520 SW 10TH STREET, GAINESVILLE FL 32601 Tax Parcel # 13154-000-000	
OWNER PETE MCNIECE Owner(s) Name HOME OWNER Corporation or Company 520 SW 10TH STREET Street Address GAINESVILLE, FL 32607 City State Zip 352-514-8992 Home Telephone Number Cell Phone Number Fax Number pmcniece@gmail.com E-Mail Address	APPLICANT OR AGENT HOWARD MCLEAN Applicant Name SVM ARCHITECTS Corporation or Company 1628 NW 6TH ST. Street Address GAINESVILLE, FL 32609 City State Zip 352-378-4400 Home Telephone Number N/A Cell Phone Number N/A Fax Number HOWARD@SVMARCHITECTS.COM E-Mail Address
TO BE COMPLETED BY CITY STAFF (PRIOR TO SUBMITTAL) HP # <u>HP-17-00071</u> Contributing Y <input checked="" type="checkbox"/> N <input type="checkbox"/> Zoning <u>Urban 5</u> Pre-Conference Y <input type="checkbox"/> N <input type="checkbox"/> Application Complete Y <input type="checkbox"/> N <input type="checkbox"/> Enterprise Zone Y <input checked="" type="checkbox"/> N <input type="checkbox"/> Request for Modification of Setbacks Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Received By <u>Jason Simmons</u> Date Received <u>12/4/17</u>	
Fee: \$ 57.88 <u>115.75</u> EZ Fee: \$ <u>57.88</u> <input type="checkbox"/> Staff Approval—No Fee (HP Planner initial _____) <input checked="" type="checkbox"/> Single-Family requiring Board approval (See Fee Schedule) <input type="checkbox"/> Multi-Family requiring Board approval (See Fee Schedule) <input type="checkbox"/> Ad Valorem Tax Exemption (See Fee Schedule) <input type="checkbox"/> After-The-Fact Certificate of Appropriateness (See Fee Schedule) <input type="checkbox"/> Account No. 001-660-6680-3405 <input type="checkbox"/> Account No. 001-660-6680-1124 (Enterprise Zone) <input type="checkbox"/> Account No. 001-660-6680-1125 (Enterprise—Credit)	

RECEIVED

DEC 4 2017

PLANNING DIVISION

STAMP

PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

There are two existing structures on this lot. One is a single family residential approx 1320 sq. ft., and the other is a detached garage/shed that is about 240 sq. ft. The lot itself is 6,000 sq. ft. Both buildings on the property are single story and made up of chert stone construction with red brick trim.

The property is partially surrounded by wood privacy fence, and only has a hand full of trees that will remain unaffected during this project.

There are (3) houses immediately surrounding the house. (1) is a two story, lapsiding structure immediately to the south, (1) is a single story similarly built house of chert and brick immediately to the north, (1) is a two-story lapsiding structure immediately to the Northwest.

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

1. The proposed project is to enclose the front porch overhang by adding double front doors, and infilling with a matching window.

2. We will be replacing the existing round attic louver vent with a round window. The architectural brick trim will remain.

3. We will remove the stucco alteration that was added on the south wall, and infill with materials more appropriate for the period.

4. We will remove the rotting wood railing on the front porch and replace with wrought iron railing.

5. We will refinished the spauling concrete porch.

6. We propose to add a wood pergola to the front porch and a shed roof over the side entrance.

DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

No demolition or relocation required.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

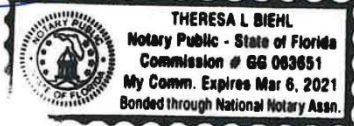
Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b.

Please describe the zoning modification and attach completed, required forms.

No modifications are required.



PROPERTY OWNER AFFIDAVIT

Owners Name: PETE MCNIECE			
Address: 520 SW 10TH STREET, GAINESVILLE, FL 32601		Phone: 352-514-8992 Email: pmcniece@gmail.com	
Agent Name: HOWARD MCLEAN, SVM ARCHITECTS			
Address: 1628 NW 10TH STREET, GAINESVILLE, FL 3209		Phone: 352-378-4400 Email: HOWARD@SVMARCHITECTS.COM	
Parcel No.: 13154-000-000			
Acreage: 6000 SQ. FT.	S: 05	T: 10	R: 20
<p>I hereby certify that: I am the owner of the subject property or a person having a legal or equitable interest therein. I authorize the above listed agent to act on my behalf for the purposes of this application.</p> <p>Property owner signature: <u><i>Pete McNiece</i></u></p> <p>Printed name: PETE MCNIECE</p> <p>Date: 11/31/17</p>			
<p>The foregoing affidavit is acknowledged before me this <u>31</u> day of <u>November</u>, 2017, by <u>Pete McNiece</u>, who is/are personally known to me, or who has/have produced _____ as identification.</p> <div style="text-align: right;"> NOTARY SEAL</div> <p style="text-align: right;">Signature of Notary Public, State of <u>FL</u></p> <p style="text-align: center;"><u><i>[Signature]</i></u></p>			



Top: Front (east) view of house from SW 10th Street

Bottom: View of front recessed entry to the right and raised patio to the left



Top and Bottom: Details of front recessed entry to the right and raised patio to the left. The wood railing is not original to the house. The raised patio has a chert base and a concrete slab on top. 5



Top: Detail of existing opening (south) to recessed entry.

Bottom: Detail of existing front door (left) and existing recessed entry opening (right) which faces the street.



Top: South side of house, facing the driveway.

Bottom: Detail of side entry. Note stucco projecting enclosure, not original to the house.



Top: Detail of existing attic vent; there are four total, one on every gable end of the house. All four vents are proposed to be replaced with a fixed window.

Bottom: Rear (west) elevation of house. The window on the left is proposed to be replaced with a door.



Chert House with cedar shakes at 1122 SW 3rd Avenue in the University Heights- South Historic District.



Proposed Doors: ThermaTru 965 HD fiberglass.



Proposed windows: similar to this vinyl window with 3/1 interior muntins.

520 SW 10TH STREET
GAINESVILLE FL, 32601

TITLE			
Y.O.	COVER SHEET		
ARCHITECTURALS			
AO10	ARCHITECTURAL SITE PLAN		
AO11	CODE SUMMARY, ABBREVIATIONS		
AO12	LIFE SAFETY PLAN		
AO13	EXISTING - PLAN		
AO14	EXISTING - ELEVATIONS		
A11	PROPOSED - PLAN		
A12	PROPOSED - RCP		
A13	PROPOSED - ELEVATIONS - EXTERIOR		
A141	PROPOSED - WALL SECTIONS		
A80	UL ASSEMBLIES		
A81	UL PENETRATIONS		

1. DRAWINGS ARE ISOMETRIC TO CONVEY EXISTING NEW CONDITIONS
ADDITIONAL WORK NOT PERFECTLY NOTED ON THE DRAWING, BUT YET ARE
APPARENT TO FIELD INSPECTION SHALL BE CONSIDERED AS PART OF THIS
CONTRACTOR. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR VERIFYING ALL
EXISTING CONDITIONS.

2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY
ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

3. NO INSTRUCTION, REVISIONS, ADDITIONS, DELETIONS, SPECIFICATIONS OR
DETAILS OTHER THAN THE INFORMATION CONTAINED HEREIN BEFORE SHALL
GOVERN THE PROJECT UNLESS THEY ARE IN WRITING AND APPROVED BY THE
ARCHITECT, OWNER AND CONTRACTOR IN THE FORM OF A CHANGE ORDER.

5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S
INSTRUCTIONS. IT IS GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY AND
APPROVE ALL DIMENSIONS OF EQUIPMENT AND MATERIAL WITH SUPPLIERS
PRIOR TO ORDERING AND / OR INSTALLATION OF ALL PRODUCTS.

6. RFIs - SUBMIT ALL QUESTIONS ON RFI DOCUMENT PROVIDED IN BID
DOCUMENTS WITH DATE OF REQUEST. ARCHITECT WILL PROVIDE RESPONSE AS
QUICKLY AS PRACTICAL.

7. UPON GENERAL CONTRACTOR APPROVAL, ALL SUBMITTALS ARE TO BE SENT
FROM THE SUBCONTRACTOR TO THE GENERAL CONTRACTOR FOR REVIEW AND
SUBMISSION TO THE ARCHITECT. THE SUBCONTRACTOR IS TO FLAG ANY
SUBSTITUTIONS. THE FULL SUBMITTAL PACKAGE IS TO BE SENT
ELECTRONICALLY IN PDF FORMAT ON EITHER CD, FTP WEBSITE FOR DOWNLOAD,
OR DROP BOX TO THE ARCHITECT WITHIN TWO WEEKS OF AWARD. ALL
SUBMITTALS ARE TO BE REVIEWED BY GC PRIOR TO SUBMISSION TO THE
ARCHITECT. ALL NON-REVIEWED SUBMITTALS WILL BE REJECTED. THE ARCHITECT
WILL SUBMIT TO THE PROJECT MANAGER COPIES OF ALL REJECTED SUBMITTALS
AND APPROVED SUBSTITUTIONS. ALL APPROVED SUBMITTALS AND CUT-
SHEETS ARE TO BE MADE AVAILABLE PERMANENTLY ON THE JOB SITE FOR
FUTURE REFERENCE DURING CONSTRUCTION MEETINGS. TIMELINESS OF
SUBMITTALS IS OF EXTREME IMPORTANCE DUE TO PROJECT SCHEDULE. LATE
SUBMITTALS WILL BE BACKCHARGED FROM THE SCHEDULE OF VALUES. ANY
REVIEWS AFTER THIRD WEEK SHALL BE BORNE BY GENERAL CONTRACTOR @ A
RATE OF \$200 PER SUBMITTAL.

8. PROJECT MAY INCLUDE MISCELLANEOUS STANDARD DETAILS. GC IS TO
REVIEW ALL TO VERIFY ALL ARE AFFICABLE. SOME DETAILS MAY BE MIRRORED
FOR THIS PROJECT COORDINATE W/ FLOOR PLAN.

11. SEE L.S. SERIES DRAWINGS FOR CODE DATA & LIFE SAFETY INFORMATION.

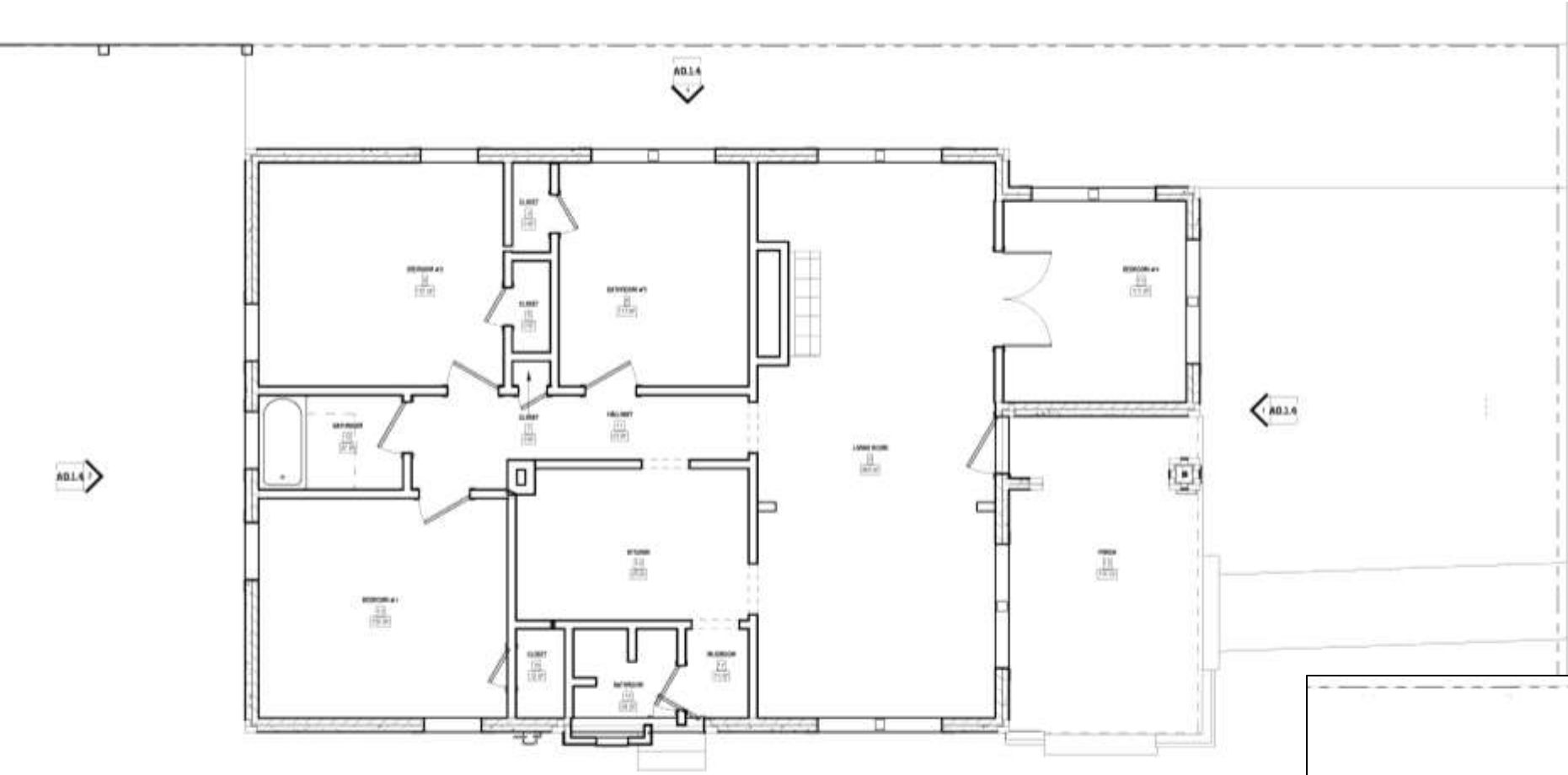
13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL
SUBCONTRACTORS TO VISIT THE JOBSITE AND FAMILIARIZE THEMSELVES WITH
ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES BETWEEN
EXISTING FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS ARE TO BE
BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY PRIOR TO BIDS BEING DUE.
OWNER WILL PROVIDE DIRECTION TO GENERAL CONTRACTOR FOR BIDDING
PURPOSES TO ASSURE APPROPRIATE SCOPE IS INCLUDED WITHIN BID.

14. CONTRACTOR IS TO COORDINATE WITH TENANTS, LANDLORDS AND/OR
SURROUNDING TENANT'S/LANDOWNERS WHEN PERFORMING ANY WORK. THERE
SHALL NOT BE ANY DISRUPTION OF SERVICES FOR THE SURROUNDING
TENANT'S/LANDOWNERS DURING THE CONSTRUCTION / RELOCATION AND/OR
EXPANSION AND/OR RENOVATION OF THE FACILITY.

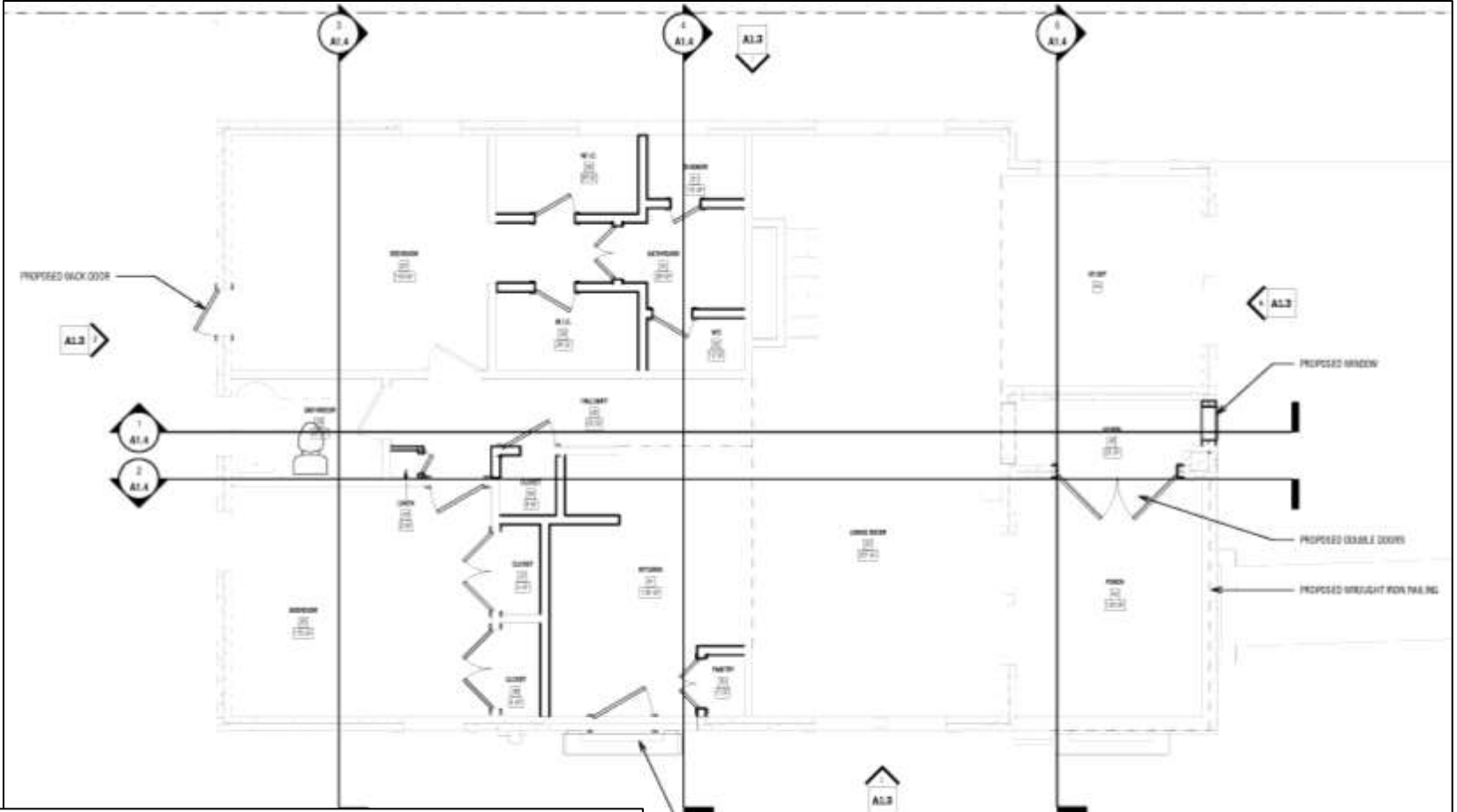
A detailed map of the project location at 520 Southwest 10th Street. The map shows a grid of streets including Stackum Rd, SW 4th Ave, SW 5th Ave, SW 6th Ave, SW 7th Ave, SW 8th Ave, SW 9th Ave, SW 10th Ave, SW 11th Ave, SW 12th Ave, SW 13th St, SW 14th St, SW 15th St, SW 16th St, SW 17th St, SW 18th St, SW 19th St, SW 20th St, SW 21st St, SW 22nd St, SW 23rd St, SW 24th St, SW 25th St, SW 26th St, SW 27th St, SW 28th St, SW 29th St, SW 30th St, SW 31st St, SW 32nd St, SW 33rd St, SW 34th St, SW 35th St, SW 36th St, SW 37th St, SW 38th St, SW 39th St, SW 40th St, SW 41st St, SW 42nd St, SW 43rd St, SW 44th St, SW 45th St, SW 46th St, SW 47th St, SW 48th St, SW 49th St, SW 50th St, SW 51st St, SW 52nd St, SW 53rd St, SW 54th St, SW 55th St, SW 56th St, SW 57th St, SW 58th St, SW 59th St, SW 60th St, SW 61st St, SW 62nd St, SW 63rd St, SW 64th St, SW 65th St, SW 66th St, SW 67th St, SW 68th St, SW 69th St, SW 70th St, SW 71st St, SW 72nd St, SW 73rd St, SW 74th St, SW 75th St, SW 76th St, SW 77th St, SW 78th St, SW 79th St, SW 80th St, SW 81st St, SW 82nd St, SW 83rd St, SW 84th St, SW 85th St, SW 86th St, SW 87th St, SW 88th St, SW 89th St, SW 90th St, SW 91st St, SW 92nd St, SW 93rd St, SW 94th St, SW 95th St, SW 96th St, SW 97th St, SW 98th St, SW 99th St, SW 100th St. Landmarks include Norman Field, Campus USA Credit Union, Windsor Hall Luxury Dorm, Campus Walk Apartments, and Jlee Pit. A black line and pin indicate the project location at 520 Southwest 10th Street.

DESIGN PHASE: COA SUBMITTAL

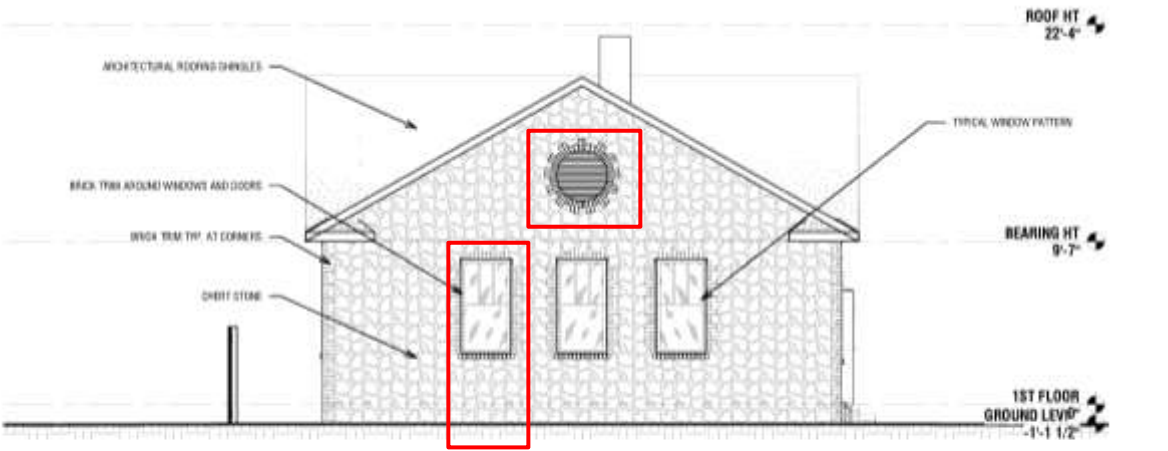




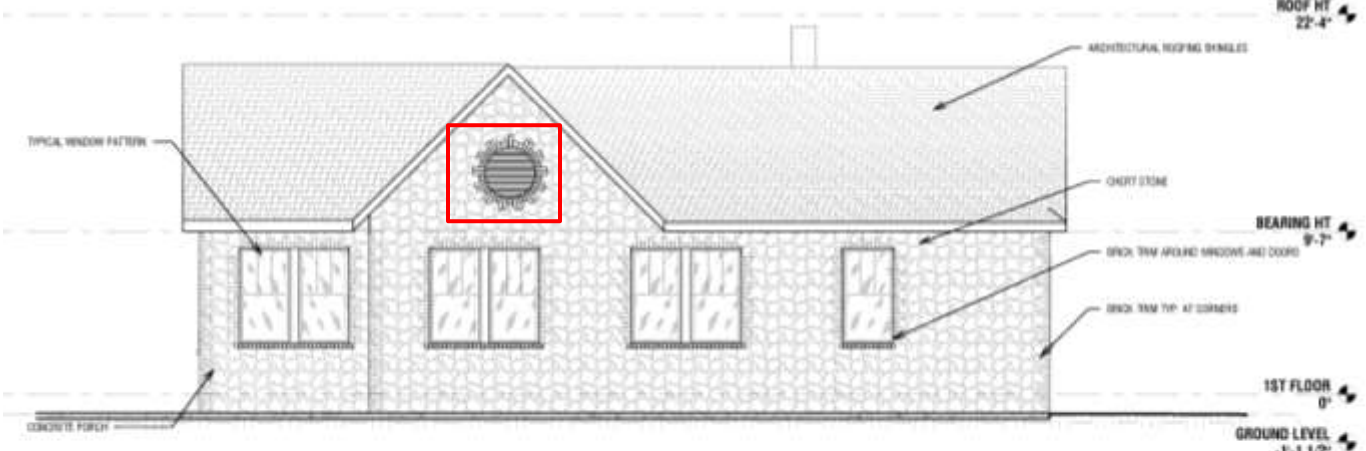
EXISTING - FLOORPLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"



PROPOSED - PLAN - FIRST
SCALE: 1/4" = 1'-0"



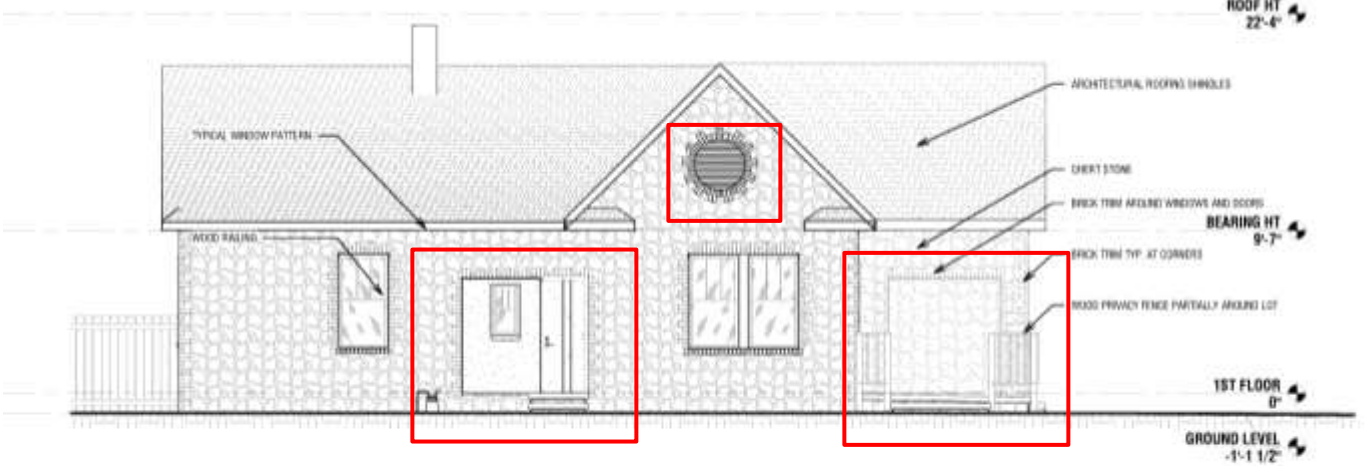
EXISTING - ELEVATION - WEST
SCALE: 3/16" = 1'-0"



EXISTING - ELEVATION - NORTH
SCALE: 3/16" = 1'-0"

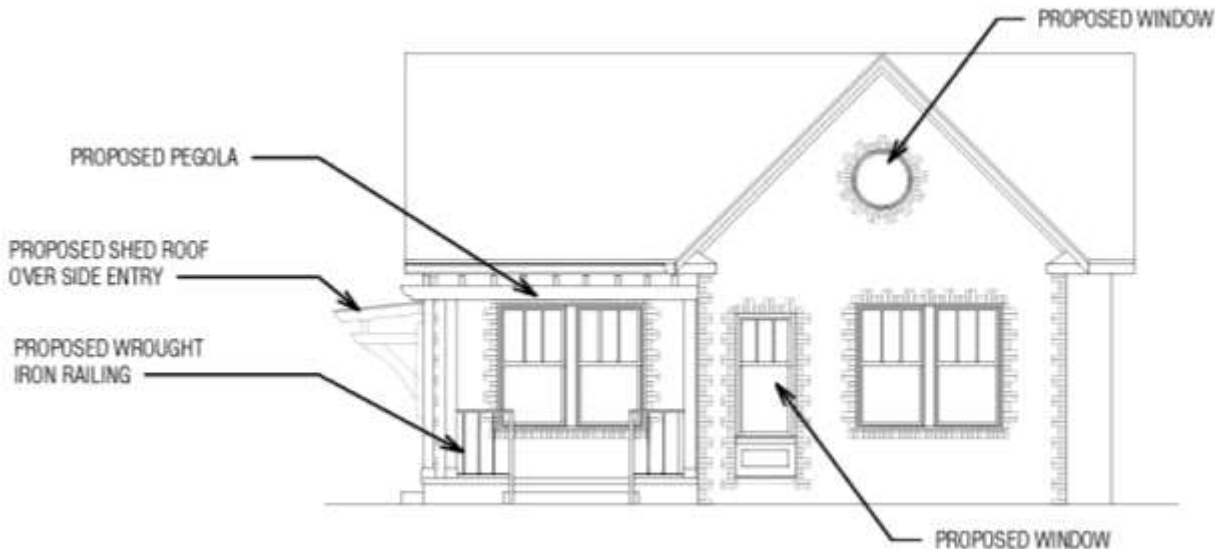


EXISTING - ELEVATION - EAST
SCALE: 3/16" = 1'-0"

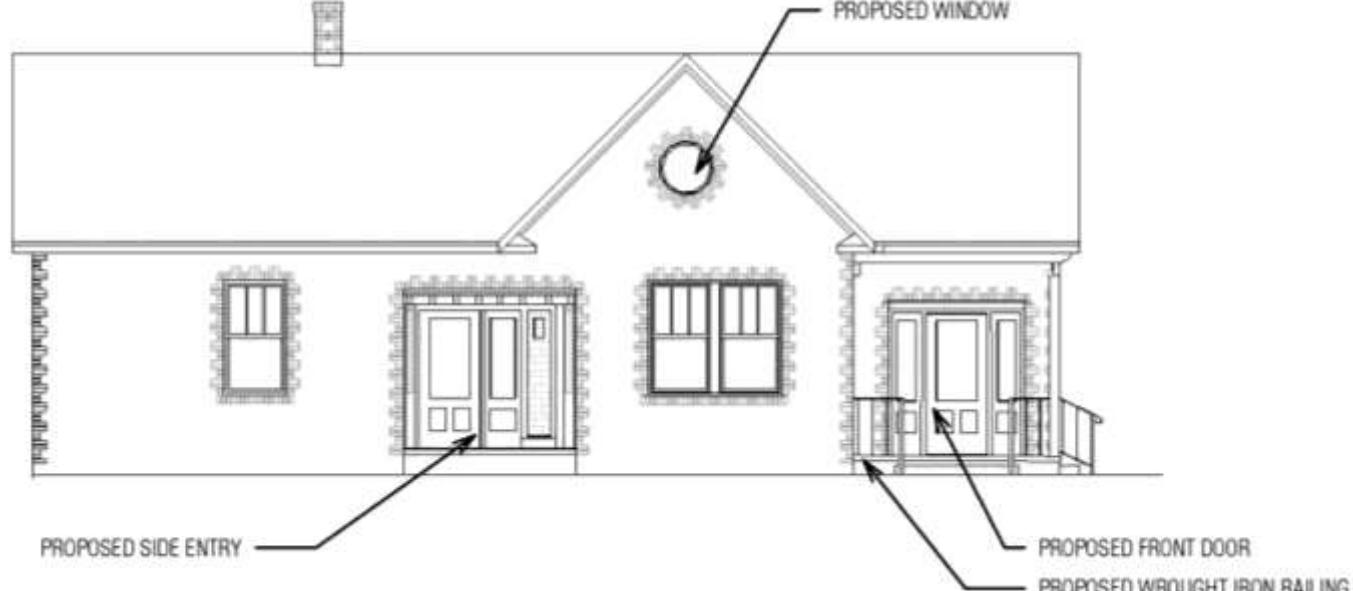


EXISTING - ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"

Areas of proposed work



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION