



City of Gainesville
Department of Doing
Planning Division

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CITY DEVELOPMENT REVIEW BOARD STAFF REPORT

PUBLIC HEARING DATE: September 25, 2018

ITEM NO: 3

PROJECT NAME AND NUMBER: Alive Church, DB-18-96 SPA

APPLICATION TYPE: Development Plan Review (Quasi-Judicial)

CITY PROJECT CONTACT: Bedez E. Massey, Planner

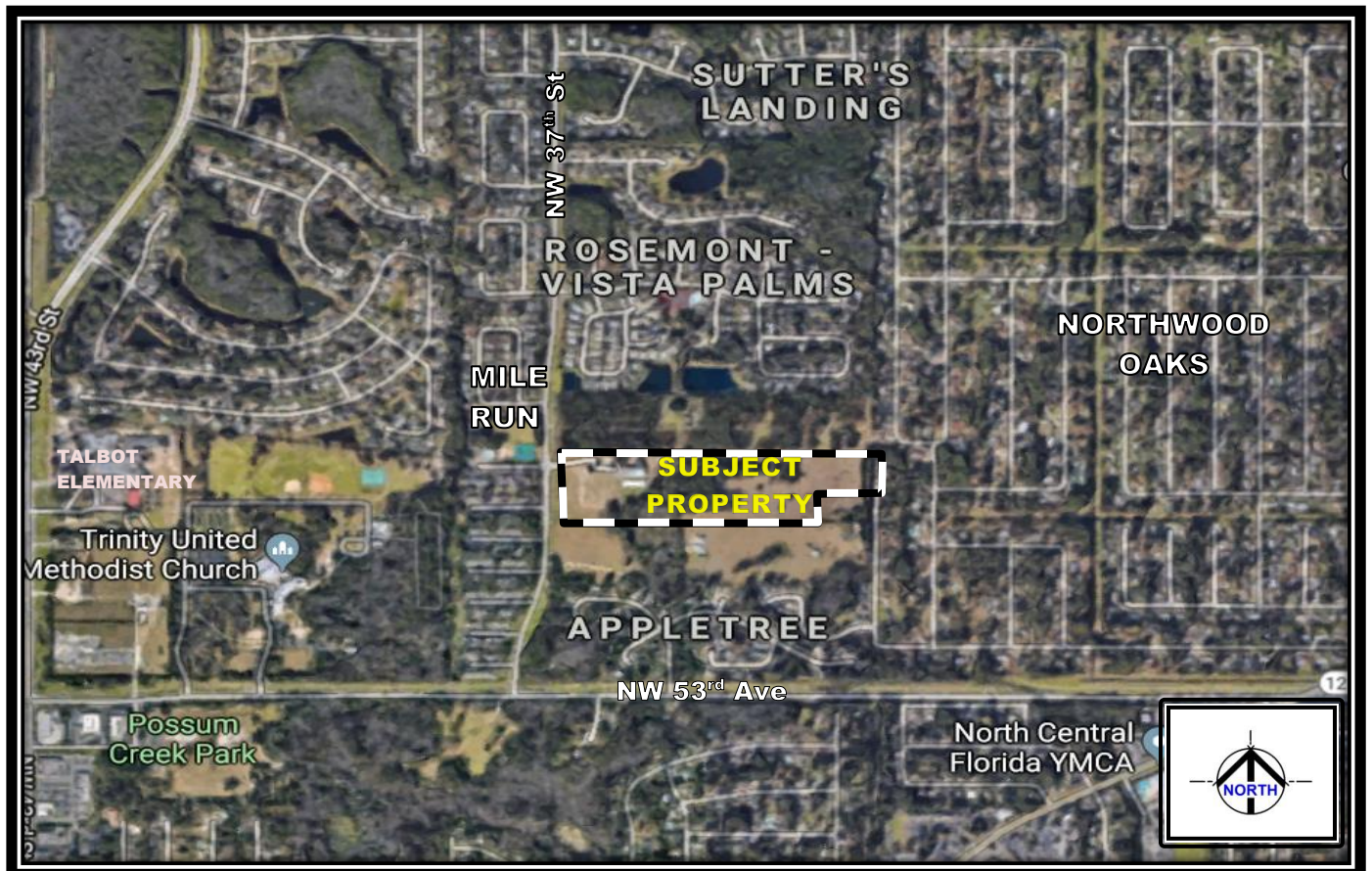


Figure 1: Location Map

APPLICATION INFORMATION:

Agent/Applicant: eda, engineers-surveyors-planners, inc.
Property Owner(s): Spirit of Faith Christian Center
Related Petition(s): None
Legislative History: Petition PB-13-17 SUP: Eng, Denman & Associates, Inc., agent for Dove Charismatic Ministries, Inc. Request for a Special Use Permit with a Master Plan to allow expansion of an existing place of religious assembly.

Staff to City Plan Board on March 28, 2013 – Approve with staff conditions.
City Plan Board Action on March 28, 2013 – Approval with staff's conditions (Vote: 6-0)

Petition 156SUP-97PB: James Meehan, agent for Dove Charismatic Ministries, Inc. A special use permit with associated development plan review for expansion of an existing church for the addition of a day care center and school.

Staff to City Plan Board on December 18, 1997 – Approve with staff conditions.
City Plan Board Action on December 18, 1997 – Approval with staff's conditions, as amended (Vote: 4-1)

EXPIRED: 12/18/98

Neighborhood Workshop: April 9, 2018

SITE INFORMATION:

Address: 5805 NW 37th Street
Parcel Number(s): 06015-008-000
Acreage: ±19.96
Existing Use(s): Place of Religious Assembly
Land Use Designation(s): Single-Family (SF)
Zoning Designation(s): RSF-2: Single-Family Residential
Overlay District(s): None
Transportation Mobility Program Area (TMPA): Zone B
Census Tract: 18.03
Water Management District: Suwanee River Water Management District
Special Feature(s): Heritage Oaks
Annexed: 1992
Code Violations: No open cases

ADJACENT PROPERTY CHARACTERISTICS:

	EXISTING USE(S)	LAND USE DESIGNATION(S)	ZONING DESIGNATION(S)
North	Single-family Residential	SF	RSF-2
South	Single-family Residential	SF	RSF-2
East	Right-of-way/ Single-family Residential	NA/ SF	NA/ RSF-1
West	Right-of-way/ Multi-family Residential	NA/ RL	NA/ PD

PURPOSE AND DESCRIPTION:

The purpose of this application is to implement an approved Special Use Permit (SUP) and Phase 2 of an associated Master Plan (see Exhibit D-5). The City Plan Board approved the SUP and Master Plan in 2013 to establish a place of religious assembly with an associated daycare/private school on the subject property (see Figure 1) and within a single-family residential zoning district. The applicant is requesting preliminary and final development plan approval to construct a building addition, as well as provide new off-street parking, utilities, lighting, sidewalks, landscape material, and stormwater facilities. The building addition will include event space, restrooms, vestibules, equipment rooms, and an outdoor patio.

The subject property is located within a predominantly single-family residential area, in which appropriate utilities are available. The principal use is religious assembly, with no daycare center or private school. Two principal buildings and four accessory structures occupy the subject property. The principal buildings were constructed circa 1987-1992. The accessory structures were added sometime after 1992. The applicant will maintain the four storage structures and construct an addition that will create one church building.

The subject property abuts two local streets, where there are currently no sidewalks. The main point of ingress/egress is a two-way driveway on NW 37th Street that connects to asphalt and grass parking areas located between the right-of-way and the two principal buildings. According to the approved Special Use Permit, only emergency or pedestrian access is allowed on NW 34th Street, and sidewalks are required along the abutting right-of-ways only as part of the first development plan for new buildings in Phase 2. The applicant will maintain the current pattern of vehicular and pedestrian access to public right-of-way and only provide new concrete sidewalks for pedestrian access to the principal building.

The required minimum number of vehicle parking spaces for places of religious assembly is 1 for each 4 seats, or 1 for each 40 square feet of floor area in principal area(s) of assembly. The applicant proposes a new parking standard in Exhibit D-6 that is based on both criteria and subject to board approval. The new parking standard is intended to provide a sufficient number of vehicle parking spaces for existing and proposed uses on the subject property and prevent excess parking.

Drainage facilities on the subject property consist of a single stormwater basin that discharges into an existing wetland located to the south of the principal buildings. Remaining runoff on the subject property that does not drain to the existing stormwater basin sheet flows into this wetland and a smaller wetland located to the east of the principal buildings. The applicant will provide a new stormwater conveyance system that consists of two above-ground dry retention basins that will provide water quality treatment, recovery, and attenuation in accordance with applicable requirements. No impacts on wetlands or wetland buffers are proposed.

Landscape material on the subject property includes large heritage trees located near existing wetlands. Perimeter buffers that include shade trees and shrubs screen the subject property from the right-of-way and adjacent residential development. The applicant intends to preserve and enhance the existing landscape material on the subject property to comply with current Land Development Code requirements applicable to the building addition and expanded off-street parking area. The new landscape material will be planted compatible with proposed parking lot lighting and other utilities.

The subject property is located within Zone B of the Transportation Mobility Program Area (TMPA), which will require the applicant to meet criteria in Transportation Mobility Element, Policy 10.1.4 and 10.1.6 to mitigate traffic impacts. The applicant is required to provide evidence of having met the TMPA criteria before a final development order is granted.

This application is for one of two places of religious assembly that has co-existed with single-family residential developments in the surrounding area for the past 20 years. Trinity United Methodist, also a large church complex, is located less than a ¼ mile to the west of the subject property. As shown in Figure 1, other community-level facilities in the area surrounding the subject property are Talbot Elementary School and Possum Creek Park.

STAFF ANALYSIS AND RECOMMENDATION:

ANALYSIS

According to Future Land Use Element, Policy 1.1.1, of the City Comprehensive Plan, communities shall be “*integrated with housing, shops, workplaces, schools, parks and civic facilities essential to the daily life of the residents*”. This application supports the intent of this policy, which is to provide community-level institutional facilities within close proximity to single-family residential development. The regulations of the City Land Development Code (see Exhibits B-1 and B-2) and Special Use Permit (SUP) conditions (see Exhibit D-4) will ensure the subject property is used and designed appropriately. All inconsistencies noted between the applicant’s first submittal and applicable requirements are reflected in the staff conditions in Appendix C and have been determined to be resolvable before the issuance of the final development order.

RECOMMENDATION

Staff recommends that the application be approved, subject to the conditions recommended in Appendix C of the staff report.

DRAFT MOTION FOR CONSIDERATION

I move that Petition DB-18-96 SPA be approved, subject to the conditions provided in Appendix C of the staff report.

BACKGROUND:

The subject property is the former site of Dove World Outreach Center Ministries, Inc., which received a Special Use Permit (SUP) and associated development plan approval to expand the existing church for a day center and private school on December 18, 1997. After the approved SUP expired on December 18, 1998, the owner filed for the approval of a second SUP with a two-phase Master Plan to allow a place of religious assembly and associated day care center and private school on the subject property. The second SUP was approved on March 28, 2013, with conditions. The subject property has since come under new ownership, and Phase 1 of the Master Plan has been implemented. The current owner is requesting approval of this petition to implement Phase 2 of the Master Plan.

POST-APPROVAL REQUIREMENTS:

The applicant must submit all required documents, meeting board-approved conditions, to the City Planning Division on a designated resubmittal date. Once it is determined that all submittal requirements and board-approved conditions have been met, the applicant can be issued a final development order.

LIST OF APPENDICES:

Appendix A Comprehensive Plan Goals, Objectives and Policies

Exhibit A-1: Future Land Use Element, Policy 1.1.1

Appendix B Land Development Code Regulations

Exhibit B-1: Article IV. Zoning. Division 3. Residential, Section 30-4.16. Permitted Uses

Exhibit B-2: Article V. Use Standards, Section 30-5.7. Day Care Centers; and Section 30-5.21. Places of Religious Assembly

Appendix C Technical Review Committee (TRC) Conditions

Appendix D Supplemental Documents

Exhibit D-1: Application

Exhibit D-2: Neighborhood Workshop Documents

Exhibit D-3: General Performance Standards Letter

Exhibit D-4: Special Use Permit Final Order Letter & Conditions

Exhibit D-5: Approved Master Plan

Exhibit D-6: Parking Calculation Letter and Layout – Alive Church

Appendix E Development Plan

Appendix A

Comprehensive Plan Goals, Objectives and Policies

Goals, Objectives & Policies



Future Land Use Element

- GOAL 1** **IMPROVE THE QUALITY OF LIFE AND ACHIEVE A SUPERIOR, SUSTAINABLE DEVELOPMENT PATTERN IN THE CITY BY CREATING AND MAINTAINING CHOICES IN HOUSING, OFFICES, RETAIL, AND WORKPLACES, AND ENSURING THAT A PERCENTAGE OF LAND USES ARE MIXED, AND WITHIN WALKING DISTANCE OF IMPORTANT DESTINATIONS.**
- Objective 1.1** **Adopt urban design principles that adhere to timeless (proven successful), traditional principles.**
- Policy 1.1.1 To the extent possible, all planning shall be in the form of complete and integrated communities containing housing, shops, workplaces, schools, parks and civic facilities essential to the daily life of the residents.
- Policy 1.1.2 To the extent possible, neighborhoods should be sized so that housing, jobs, daily needs and other activities are within easy walking distance of each other.
- Policy 1.1.3 Neighborhoods should contain a diversity of housing types to enable citizens from a wide range of economic levels and age groups to live within its boundaries.
- Policy 1.1.4 The City and its neighborhoods, to the extent possible, shall have a center focus that combines commercial, civic, cultural, and recreational uses.
- Policy 1.1.5 The City, to the extent possible, should contain an ample supply of squares, greens, and parks with frequent use encouraged through placement, definition and design.

Appendix B

Land Development Code Regulations

DIVISION 3. RESIDENTIAL

Section 30-4.16. Permitted Uses.

The following table contains the list of uses allowed, and specifies whether the uses are allowed by right (P), accessory to a principal use (A), or by special use permit approval (S). Blank cells indicate that the use is not allowed. No variances from the requirements of this section shall be allowed.

Table V - 4: Permitted Uses in Residential Districts.

USES	Use Standards	RSF-1 to 4	RC	MH	RMF-5	RMF-6 to 8
Accessory dwelling units	30-5.33	-	A	A	A	A
Adult day care homes	30-5.2	P	P	P	P	P
Assisted living facilities		-	-	-	P	P
Attached dwellings (up to 6 attached units)		-	-	-	P	P
Bed and breakfast establishments	30-5.4	S	P	P	P	P
Community residential homes (up to 6 residents)	30-5.6	P	P	P	P	P
Community residential homes (7 to 14 residents)	30-5.6	-	-	-	-	P
Community residential homes (over 14 residents)	30-5.6	-	-	-	-	P
Day care centers	30-5.7	-	P	P	P	P
Dormitory, small	30-5.8	-	-	-	-	P
Dormitory, large	30-5.8	-	-	-	-	S
Emergency shelters		-	-	-	-	P
Family child care homes	30-5.10	P	P	P	P	P
Fowl or livestock (as an accessory use)	30-5.36	-	-	-	-	-
Mobile homes		-	-	P	-	-
Multi-family dwellings		-	-	-	P	P
Multi-family, small-scale (2-4 units per building)		-	p ¹	-	P	P
Places of religious assembly	30-5.21	S	P	P	P	P
Libraries		-	S	S	S	S
Public parks		P	P	P	P	P
Schools (elementary, middle and high)		S	P	P	P	P
Single-family dwellings		P	P	P	P	P
Skilled nursing facility		-	-	-	-	S
Social service homes/halfway houses	30-5.26	-	-	-	-	S

LEGEND:

P = Permitted by right; S = Special Use Permit; A = Accessory; Blank = Use not allowed.

1 = No more than 2 dwellings units per building are permitted in the RC district.

1. Additional screening may be required to visually shield the use from the public right-of-way.
2. No merchandise, equipment, machinery, materials, motor vehicles or other items shall be stored above the height of the landscape buffer strip.

B. *Hazardous materials*. Compliance with the county hazardous materials code is required.

Section 30-5.20. Parking, Surface.

Surface parking lots as a temporary use are allowed in the U9 and DT districts subject to special use permit approval and the following requirements:

- A. Surface parking shall be permitted only when the surface parking will be replaced with either a building or structured parking in accordance with an approved master plan.
- B. Surface parking shall be paved.
- C. Surface parking shall have either perimeter landscaping or perimeter garden walls in accordance with the landscape regulations as provided in this Land Development Code.
- D. Surface parking shall be in compliance with all lighting and stormwater regulations in this Land Development Code.
- E. Any special use permit approved pursuant to this section shall be valid for a period not to exceed 5 years. The City Plan Board may extend a special use permit approved under this section for an additional period not to exceed 5 years if the applicant demonstrates that development in accordance with the approved master plan has commenced.

Section 30-5.21. Places of Religious Assembly.

- A. Within the RSF-1, RSF-2, RSF-3, RSF-4 and U1 districts, places of religious assembly are allowed upon the granting of a special use permit, subject to the following additional dimensional requirements:
 1. Minimum lot area shall be one acre for each place of religious assembly with a building code capacity of 100 persons or less plus an additional one-half (½) acre for each additional 50 persons of building code capacity.
 2. Minimum yard setbacks:
 - a. Front: 25 feet.
 - b. Side, interior: 50 feet, unless the proposed use is adjacent to a non-residential district, in which case the district setbacks shall apply.
 - c. Side, street: 25 feet.
 - d. Rear: 50 feet, unless the proposed use is adjacent to a non-residential district, in which case the district setbacks shall apply.
- B. *Day care centers and schools as accessory uses*. Within the RSF-1, RSF-2, RSF-3, RSF-4 and U1 districts, day care centers and schools may be allowed as accessory uses to places of religious assembly upon the granting of a special use permit; within all other districts, day care centers and schools are permitted accessory uses to any lawful place of religious assembly provided, in all cases, that the requirements and limitations for day care centers and schools as listed in this article are met.

1 C. *Food distribution centers for the needy as accessory uses.* The City Manager or designee may issue a
2 permit for a food distribution center for the needy in conjunction with a place of religious assembly
3 subject to meeting the standards of Section 30-5.12 and the following additional restrictions:

- 4 1. No more than 20 meals may be served in a 24-hour period.
- 5 2. The place of religious assembly can physically provide an indoor eating area meeting all state,
6 county and city codes for the proposed use.
- 7 3. No food distribution center for the needy may be closer than 1,320 feet from any other place of
8 religious assembly having a food distribution center for the needy.
- 9 4. Each place of religious assembly shall file with the City Manager or designee a management
10 program addressing hours of operation, personnel, management of solid waste, litter and
11 lighting. The name, address, and phone number of the person responsible for the facility shall
12 be kept up-to-date.
- 13 5. Information shall be displayed including the name of the facility, hours of operation and other
14 functional information.

15 D. *Residences for destitute people as accessory uses.* The City Manager or designee may issue a permit
16 for a residence for destitute people in conjunction with a place of religious assembly subject to
17 meeting the standards of Section 30-5.22 and the following additional restrictions:

- 18 1. The total number of beds shall not exceed 20.
- 19 2. Meals may be provided only to residents.
- 20 3. No one over the age of 18 may be admitted as a resident without submitting a written report
21 issued by the city police department stating that the person has no outstanding warrants for his
22 or her arrest and is not a "dangerous person", as defined in Article II.
- 23 4. Each place of religious assembly shall file with the City Manager or designee a management
24 program addressing hours of operation, personnel, management of solid waste, litter and
25 lighting. The name, address, and phone number of the person responsible for the facility shall
26 be kept up-to-date.
- 27 5. Each place of religious assembly shall provide an indoor area meeting all state, county and city
28 codes for use as a residence for destitute people. The area shall be inspected and approved by
29 the building official prior to being used as a residence for destitute people, either on a
30 temporary or recurring basis.
- 31 6. There shall be at least one staff person or volunteer on site, and a director or administrator on-
32 call, when anyone is sheltered overnight in a residence for destitute people.

33 **Section 30-5.22. Residences for Destitute People.**

34 Except when provided as an accessory use to places of religious assembly, residences for destitute
35 people shall be regulated as follows:

- 36 A. *Spacing and location.* Residences for destitute people shall not be located closer than 1,320 feet
37 from any social service home, halfway house or rehabilitation center and shall not be closer than
38 2,000 feet from any other residence for destitute people, food distribution center for the needy or
39 combination thereof. All measurements shall be measured from the nearest property line of the
40 above-listed facilities to the nearest property line of the proposed facility.

Appendix C









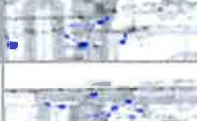
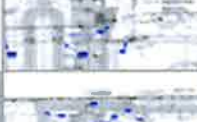
Technical Review Committee (TRC) Conditions

Changemarks Report

Project Name and Number: Alive Church, DB-18-96 SPA

Application Type: Development Plan Review (Quasi-Judicial)






Public Hearing Date: 25-Sep-18

Cycle	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date
1	False	Unresolved	Transportation Mobility		L001 LANDSCAPE NOTES & DETAILS.pdf	NW 37th Street	Changemark note #01	NW 37th Street is not included among the roadways listed in the annual Level of Service Report produced by the North	08/20/2018 1:27 PM
1	False	Unresolved	Urban Forestry		L001 LANDSCAPE NOTES & DETAILS.pdf	Urban Forestry	Invasive removal plan	As discussed during the site visit, please include a general plan discussing the exotic invasive vegetation removal	08/20/2018 1:16 PM
1	False	Unresolved	Urban Forestry		L002 PLANT SCHEDULE, LANDSCAPE PLAN, & CALCULATIONS.pdf	Urban Forestry	Parking lot landscaping	Sec. 30-8.4. A. requires a perimeter landscape buffer of 5 ft between any parking area and street or adjacent property.	08/20/2018 1:13 PM
1	False	Unresolved	Urban Forestry		L002 PLANT SCHEDULE, LANDSCAPE PLAN, & CALCULATIONS.pdf	Urban Forestry	Terminal landscape islands	Terminal landscape islands with a high quality shade tree approved for lot planting shall enclose each row.	08/20/2018 1:13 PM
1	False	Unresolved	Urban Forestry		L002 PLANT SCHEDULE, LANDSCAPE PLAN, & CALCULATIONS.pdf	Urban Forestry	Head to head parking	Per Sec. 30-8.4.B.2., all parking lots with 2 or more rows of interior parking shall contain 8-ft wide landscape	08/20/2018 1:13 PM
1	False	Unresolved	Transportation Mobility		C0.00 COVER SHEET.pdf	TMPA criteria	Changemark note #02	This development is located in Zone B of the Transportation Mobility Program Area and must meet all relevant	08/20/2018 1:09 PM
1	False	Unresolved	Electric East		C4.00 UTILITY PLAN.pdf	Electric West	Relocate secondary conductors	Existing secondary conductors are in conflict with proposed building addition. Please relocate meter and secondary	08/20/2018 8:26 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Sanitary sewer and cleanouts	Where does this sanitary sewer line connect to GRU sewer? Please show connection on plans. Are	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	water Main	Please specify size and material of water main.	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Water Service	Please specify size and material of water service. Please provide a water fitting schedule showing all fire	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Temporary water source	Please identify temporary water source.	08/16/2018 11:47 AM









Changemarks Report

1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Identify unknown line	Please identfiy and confirm unknown line is abandoned.	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	GREase trap	If addition includes kitchen facilites, please contact Natalia Larson at 352-393-1698 about grease trap requirements.	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Sewer lateral	Sewer lateral exceeds the mamximum length allowed for a 6-inch lateral (100 ft.). Please move MH 1 further east	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Sewer main	Per FDEP requirements, sanitary sewer collection systems must be a minimum of 8-inch. Please increase pipe	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Sewer main cannot be under street frontage trees	Please move sanitary sewer main so it is not under the street front tree canopy.	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	Please show connection	Where does SS main under the road end? Please show connection to proposed gravity main.	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_Barbara Misener	PUE	Is this GRU sewer? If so, please provide PUE.	08/16/2018 11:47 AM
1	False	Unresolved	Water-Waste Water		C0.30 DEMOLITION PLAN.pdf	WWW_BJM	Lift station, cleanouts and force main to be removed	Since you are building a structure over the exisiting cleanout, liftstation, and forcemain you will need to	08/16/2018 11:24 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	WWW_BJM	Pease provide correct storm pipe invert	Please double check and provide correct invert for storm pipe.	08/16/2018 11:21 AM
1	False	Unresolved	Water-Waste Water		L002 PLANT SCHEDULE, LANDSCAPE PLAN, & CALCULATIONS.pdf	WWW_Barbara Misener	encasing water line	Water line needs to be encased in steel casing past the drip line of each tree. In instances where two trees are	08/16/2018 11:14 AM
1	False	Unresolved	Water-Waste Water		L002 PLANT SCHEDULE, LANDSCAPE PLAN, & CALCULATIONS.pdf	WWW_Barbara Misener	Gravity sewer main cannot be under street frontage trees	Please move proposed gravity sewer so it is not under street frontage trees,	08/16/2018 11:14 AM
1	False	Unresolved	Gas		L002 PLANT SCHEDULE, LANDSCAPE PLAN, & CALCULATIONS.pdf	GRU Gas	GRU GAS	Add note for clearances if trees are replaced. RSL 8.16.18.	08/16/2018 8:11 AM
1	False	Unresolved	Transportation Mobility		C0.00 COVER SHEET.pdf	Policy 10.1.6	Changemark note #01	Please amend note #18 on sheet C0.00 to say that, âThis site is located in Zone B of the Transportation Mobility	08/15/2018 6:03 PM

Changemarks Report

1	False	Unresolved	Gas		C4.00 UTILITY PLAN.pdf	GRU Gas	GRU GAS	Add note to locate and protect existing gas piping. 8.16.18	08/16/2018 7:40 AM
1	False	Unresolved	Gas		C0.30 DEMOLITION PLAN.pdf	GRU Gas	GRU GAS	Add gas note to locate and protect existing gas piping. 8.16.18. RSL	08/16/2018 8:33 AM
1	False	Unresolved	Water-Waste Water		C4.00 UTILITY PLAN.pdf	W-WW Russ	Please show location of	Please show location of water meter	08/15/2018 1:34 PM
1	False	Unresolved	Public Works - Design		C1.00 DIMENSION PLAN.pdf	RM	Gore area	This gore area should be removed. Striping for the travel lane should remain.	08/14/2018 5:11 PM
1	False	Unresolved	Public Works - Design		C1.00 DIMENSION PLAN.pdf	RM	Deflection angle	Please show that the the deflection angle meets FDOT Greenbook criteria.	08/14/2018 5:11 PM
1	False	Unresolved	Water-Waste Water		C0.30 DEMOLITION PLAN.pdf	WWW_Barbara Misener	Private lift station	Please contact Patrick Moran or Greg Owen at ACEPD if existing private lift station and/or force main is going to	08/13/2018 2:21 PM
1	False	Unresolved	Planners		C0.00 COVER SHEET.pdf	Current Planning - Massey	Cover Sheet	The approved SUP requires a street buffer along NW 37th Street and a compatibility buffer along the northern edge	08/10/2018 2:54 PM
1	False	Unresolved	Planners		C0.00 COVER SHEET.pdf	Current Planning - Massey	Cover sheet	The approved SUP requires a compatibility buffer along the northern edge of the site.	08/10/2018 2:54 PM
1	False	Unresolved	Planners		C0.00 COVER SHEET.pdf	Current Planning - Massey	Cover Sheet	The approved SUP requires a street buffer along NW 37th Street and NW 34th Street. Please show compliance on	08/10/2018 2:54 PM
1	False	Unresolved	Planners		C0.00 COVER SHEET.pdf	Current Planning - Massey	Cover Sheet	Please specify on the Cover Sheet the phases represented by the highlighted portion of the subject property in the Vicinity	08/10/2018 2:54 PM
1	False	Unresolved	Planners		C0.00 COVER SHEET.pdf	Current Planning - Massey	Cover Sheet	Please state whether or not the subject property is w/n a historic district.	08/10/2018 2:54 PM
1	False	Unresolved	Planners		C0.00 COVER SHEET.pdf	Current Planning - Massey	Cover Sheet	As per the SUP approved in 2013, a raised median with marked crosswalk, signage, and ADA compliant sidewalk	08/10/2018 2:54 PM
1	False	Unresolved	Planners		C1.00 DIMENSION PLAN.pdf	Current Planning - Massey	Dimension Plan	As per the previously approved SUP, as part of Phase 2, the owner/applicant is required to install sidewalks along the	08/10/2018 4:42 PM

Changemarks Report

1	False	Unresolved	Planners		C1.00 DIMENSION PLAN.pdf	Current Planning - Massey	Dimension Plan	Please show phase lines on sheets of the development plan that show a plan view of the subject property.	08/10/2018 4:42 PM
1	False	Unresolved	Planners		C1.00 DIMENSION PLAN.pdf	Current Planning - Massey	Dimension Plan	As per the approved SUP, the 10-foot wide landscape buffer shall also be delineated along the south property line.	08/10/2018 4:42 PM
1	False	Unresolved	Planners		C1.00 DIMENSION PLAN.pdf	Current Planning - Massey	Dimension Plan	Please show setbacks from the building addition to adjacent property lines.	08/10/2018 4:42 PM
1	False	Unresolved	Planners		C1.00 DIMENSION PLAN.pdf	Current Planning - Massey	Dimension Plan	The development plan shall include the location and details of the required enclosure for solid waste collection facilities,	08/10/2018 4:42 PM
1	False	Unresolved	Public Works Solid Waste		C1.00 DIMENSION PLAN.pdf	Solid Waste	Solid Waste	Need to indicate on site plans where trash dumpster & recycling containers will be located.	08/03/2018 4:19 PM
1	False	Unresolved	Real Estate		C4.00 UTILITY PLAN.pdf	GRU Real Estate	Show & Label PUE's Over GRU Maintained Utilities	Show & label 20' wide PUE over GRU maintained water and hydrant (shown as GRU maintained in our utility maps).	08/02/2018 3:11 PM
1	False	Unresolved	Gainesville Fire Rescue Department		C4.00 UTILITY PLAN.pdf	Burgett	Changemark #01	When the north parking is put in be sure not to block or obstruct acces to the FDC and Hydrant. It appears as	08/02/2018 2:54 PM
1	False	Unresolved	Gainesville Fire Rescue Department		C0.00 COVER SHEET.pdf	Burgett	Changemark #01	1. Please add a note to the cover sheet: The development shall comply with The Florida Fire Prevention Code.	08/02/2018 2:51 PM

Appendix D

Supplemental Documents

PLAN REVIEW APPLICATION

OVERVIEW:

Project Name: Alive Church	Tax Parcel Number: 06015-008-000
Property Address: 5805 NW 37th Street, Gainesville, FL 32653	
First Step Meeting Date: 02/27/18	GRU Project Meeting Date: 02/27/18

Proposed Uses/Type of Development (Check all that apply)

<input type="checkbox"/> Residential	Density	<input type="checkbox"/> Non-residential
<input type="checkbox"/> Multi-family	Units/acre:	<input type="checkbox"/> Commercial <input type="checkbox"/> Office
Total Units:	Total bedrooms:	<input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Other Church
Gross floor area: 4920 SF		

PROJECT MANAGEMENT:

Owner(s) of Record (please print)		
Name: Spirit of Faith Christian Center		
Mailing Address: 5805 NW 37th Street, Gainesville, FL 32653		
Phone: 352-505-0192 Fax: E-Mail: neilquistwite1@gmail.com		

Applicant/Engineer of Record/Project Coordinator (please print)		
Name: eda engineers-surveyors-planners, inc.		
Mailing Address: 2404 NW 43rd Street, Gainesville, FL 32606		
Phone: 352-373-3541 Fax: 352-373-7249 E-Mail: sreyes@edafl.com		

Project Coordinator Name: Stephanie Sutton ssutton@edafl.com - and - permitting@edafl.com

FEES:

Level of Review (check one)		Special Use Permit	Enterprize Zone
MINOR	INTERMEDIATE	MAJOR	CONCEPT
<input type="checkbox"/>	<input checked="" type="checkbox"/> 4	<input type="checkbox"/>	<input type="checkbox"/>

Fees are determined at First Step Meeting or GRU Project Meeting and are based on level of review and EZ Zone. More information about EZ Zones can be found at

<http://cityofgainesville.org/Portals/0/plan/2015%20Web%20Docs/landdevfees151001.pdf>

Plan Review Fee: \$ 4,254.25 (intermediate plan review)

GRU Fee: \$ GRU Business Acct No.: 2000-4743-2159

Plan review fee will be paid by: Alive Church/Spirit of Faith Christian Center

Name: Neil Guistwite E-Mail: neilquistwite1@gmail.com Phone: 352-505-0192

Applicant Signature: Stephanie SuttonDigitally signed by Stephanie Sutton
DN: cn=Stephanie Sutton, o=eda engineers -
surveyors - planners, inc., ou,
email=ssutton@edafl.com, c=US
Date: 2018.07.02 14:10:00 -0400Date: 7/2/18

THIS SECTION FOR OFFICE USE ONLY

Petition Number:

SUFFICIENCY CHECKLIST BELOW. PLEASE FILL OUT

Reviewer Comment	Met Y/N/NA	Sheet #
PLANNING: Wellfield exemption and protection permit provided	N/A	
PLANNING: Property owner authorization provided	Y	
PLANNING: Neighborhood workshop information provided	Y	
PLANNING: First Step Meeting held	Y	2/27/18
PLANNING: Stormwater Management Plan provided	Y	
PLANNING: Signed Concurrency Exemption or Long Form provided	N/A	
PLANNING: Fire Flow Calculations provided	Y	Attached
PLANNING: Environmental mitigation plan for impacted environmental areas provided	Y	C3.00
PLANNING: Photometric plan/ lighting plan provided	Y	E Series
PLANNING: Landscape plan provided	Y	L Series
PLANNING: Construction staging plan provided	Y	C0.30
PLANNING: Boundary survey with a legal description provided	Y	V-001
PLANNING: Utility Plan provided	Y	C4.00
PLANNING: Building elevations with basic floorplans provided	Y	C1.00
PLANNING: Trip generation study provided	Y	C0.00
PLANNING: Traffic study provided	N/A	
PLANNING: [Insert Comments]	N/A	
GRU GENERAL - Is this plan review 2 or greater? If yes, were all previous comments addressed?	N	
GRU GENERAL - Did you coordinate with Electric Engineer or tech and provide a layout on plan? If yes, provide name	N/A	existing service
Include contact information, Owners name, project name, address and phase(s)	Y	C0.00
GRU GENERAL - Clear and legible plans on 24" x 36" sheets	Y	All
GRU GENERAL - GRU Energy Delivery Electric System Design reflecting proposed W/W utility design. Note on cover page/plans as Electric Design Provided by GRU Energy Delivery.	Y	C4.00
GRU GENERAL - ALL GRU standard utility notes must be shown on utility plans (see Section 1. III.C.21 of the GRU Water/Wastewater Design Standards)	Y	C4.00
GRU GENERAL - Project location map with North Arrow	Y	C0.00
GRU GENERAL - On utility master site plan show and label all existing & proposed utilities (note 'end of GRU maintenance')	Y	C4.00
GRU GENERAL - Existing and proposed easements	Y	C4.00
GRU GENERAL - Right-of-way lines	Y	C1.00
GRU GENERAL - Parcels and/or lot numbers of site location and adjacent property	Y	C0.00
GRU GENERAL - Street names	Y	C0.00
GRU GENERAL - Proposed structures (i.e. buildings, walls fences, signs)	Y	All
GRU GENERAL - Proposed subdivision plat, if project is a subdivision	N/A	
GRU GENERAL - Signed & sealed boundary survey, including legal description and parcel number(s)	Y	V-001

GRU GENERAL - Proposed off-site utility extensions to the point of availability, showing the affected offsite parcels/properties/proposed easements	Y	C4.00
GRU GENERAL - Landscape Plan reflecting all proposed Utility locations	Y	L Series
GRU GENERAL - Building minimum finished floor elevations	Y	C1.00
GRU GENERAL -Building footprints (for commercial projects), labeled building setback lines and build-to lines, decorative masonry walls, fences, signs and landscaped buffer areas	Y	C1.00
GRU GENERAL Utility Space Allocation cross sections for each different road section, alleys and PUEs including street and locations if roads or alleys are included in project	N/A	
GRU GENERAL Identify lot numbers and street names in some fashion (names may change prior to permit issuance)	Y	C0.00
GRU W-WW - Application by engineer that W/WW/RCW system design is in accordance with GRU Design Standards. (note: Final plans shows valid P.E. license and reads Professional Engineer)	Y	C2.00
GRU W-WW - Potable and wastewater demand calculations	Y	Attached
GRU W-WW - AutoCAD Drawing file of Water and Wastewater Utilities with pipe sizes, fittings, and valves clearly labeled (this file will be used by GRU Strategic Planning to model the proposed water system)	Y	
GRU W-WW - In all cases, signed and sealed NFPA 1 and ISO fire flow calculations See Appendix E of Water/Wastewater Standards for a copy of ISO 2008	Y	Attached
GRU W-WW - Copy of Development Master Plan including Phasing Schedule, unless plans include all potential future development	N/A	
GRU W-WW - Show temporary construction water source with reduced pressure back flow preventer (RPBFP)	Y	C4.00
GRU W-WW - Indicate and label source of irrigation water if there is landscaping	N/A	
GRU W-WW - If water/wastewater infrastructure is illegible on Master Plan, provide on multiple sheets	Y	C4.00
GRU W-WW - If WW service is provided, then plan and profile views are required for gravity sewer and force mains. All WW system plan and profile sheets at 1" = 30' max horizontal scale and 1" = 5' max vertical scale. (Exceptions accepted at GRU discretion	Y	C4.00
"GRU W-WW - All materials clearly labeled (pipe including diameter, material and slope, valves, fire hydrants, fire sprinkler lines, water meters, RPBFP, fittings, manholes including elevations, services, clean outs with top and invert elevations, sizes, types, slopes and associated appurtenances"	Y	C4.00

"GRU W-WW - Show and label connections to existing utilities. Label existing facilities which cross or are adjacent to the property as well as elevations (manhole tops and inverts), pipe diameter and material of all existing W/WW, Electric, Gas, GruCom and Stormwater facilities which cross and/or are adjacent to the property"	Y	C4.00
GRU W-WW - Existing and proposed site contours must be shown on utility plan	Y	C4.00
"GRU W-WW - Master paving and drainage plan reflecting all stormwater facilities, retention or detention ponds with elevations (clearly indicate design high water level and 100 year flood elevations)"	Y	C2.00
"GRU W-WW Standard WW Pump Station design drawings for GRU O&M stations (Private O&M WW pump stations shall include signed and sealed design calculations, i.e. system head curve, pump curve/specs, If lift station is included in project)"	N/A	
GRU ELECTRIC: All Proposed electric infrastructure shown to scale per EDSG	Y	C4.00
GRU ELECTRIC Proposed meter/service delivery point shown	Y	C4.00
"GRU ELECTRIC If using GRU Rental Lights, GRU will provide conduit layout. Owner to provide photometric plan. (Note: provide copy of waiver application that is submitted to the City)"	Y	E Series
"GRU ELECTRIC - All electric equipment, cable/conduits must be contained within a PUE û coordinate with GRU Real Estate "	Y	C4.00
GRU ELECTRIC - Provide proper clearances around all electric structures and equipment as per EDSG	Y	C4.00
GRU ELECTRIC - Provide required voltage (single phase or three phase)and any load information that you have	Y	Attached
GRU GAS - Gas shown on plans	N/A	
GRU GAS - Gas usage statement: include notes on items contractor will provide to mitigate aid in construction costs and whether there will be natural gas generator on-site	N/A	
GRU GAS - Gas meter location	N/A	
GRU GAS - Acceptable service delivery point	N/A	
"GRU GAS - Include gas department notification statements, one week for demolition services, 72 hours prior to casing installations, one week for gas main installations and 72 hours for meter se"	N/A	
GRU GRUCom - Are you considering GRUCom services	N	

PUBLIC NOTICE SIGNAGE AFFIDAVIT

Petition Name ALIVE CHURCH - PARKING
Applicant (Owner or Agent) eda Engineers - Surveyors - planners, inc
Tax parcel(s) 6015-8 RSF-2

Being duly sworn, I depose and say the following:

1. That I am the owner or authorized agent representing the application of the owner and the record title holder(s) of the property described by the tax parcel(s) listed above;
2. That this property constitutes the property for which the above noted petition is being made to the City Of Gainesville;
3. That this affidavit has been executed to serve as posting of the "Notice of Proposed Land Use Action" sign(s) which describes the nature of the development request, the name of the project, the anticipated hearing date, and the telephone number(s) where additional information can be obtained. In addition, the applicant has securely posted the sign(s) on the property along each street frontage, at intervals of not more than four hundred (400) feet, and set back no more than ten (10) feet from the street and visible from the street. If the property does not abut a public right-of-way, signs have been placed at the nearest public right-of-way with an indication of the location of the subject property.
4. That the applicant has posted the sign(s) at least fifteen (15) days prior to the scheduled public hearing date; or for Historic Preservation Certificate of Appropriateness applications, at least ten (10) days prior to the scheduled public hearing date.
5. That the applicant shall maintain the signs(s) as provided above until the conclusion of the development review and approval process and that the signs shall be removed within ten (10) days after the final action has been taken on the development application.
6. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

7. Melissa Watson
8. Applicant (signature)

Melissa Watson
Applicant (print name)

**STATE OF FLORIDA,
COUNTY OF ALACHUA**

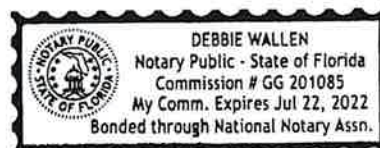
Before me the undersigned, an officer duly commissioned by the laws of the State of Florida, on this 7th day of September, 2018, personally appeared who having been first duly sworn deposes and says that he/she fully understands the contents of the affidavit that he/she signed.

Debbie Wallen Notary

Public

My Commission expires: 07/22/22

RECORDING SPACE



Form revised on March 11, 2014. Form location: <http://www.cityofgainesville.org/PlanningDepartment.aspx>

FOR OFFICE USE ONLY

Petition Number _____ Planner _____

ALIVE CHURCH

CITY OF GAINESVILLE
NOTICE
OF PROPOSED
LAND USE ACTION

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:
DEVELOPMENT PLAN REVIEW FOR THE
CONSTRUCTION OF AN ADDITION TO AN EXISTING
CHURCH WITH ASSOCIATED PAVING, GRADING, AND
STORMWATER IMPROVEMENTS. ZONED: RSF-2 (SINGLE FAMILY RESIDENTIAL)
PETITION DB-18-96 SPA

WHEN: Sept 25, 2018 @ 6:30 am

WHERE: CITY HALL AUDITORIUM
300 E UNIVERSITY AVE

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT AT 334-5023
Additional details will be posted on our website prior to the meeting.
Please visit us at www.cityofgainesville.org/planningdepartment

Memorandum



03/14/18

Kimberly Kanemoto/Ken Blake

Rosa Trautz

Neighborhood Workshop – Alive Church

03/21/18

Minimum is 2 columns wide by 2 inches long, but as close to that as possible with clear, readable text

PUBLIC NOTICE

A neighborhood workshop will be held to discuss a proposed Development Plan located on tax parcel number 06015-008-000 located at 5805 NW 37th Street in Gainesville. This is not a public hearing. The purpose of this meeting is to inform neighboring property owners of the proposed development and to seek their comments.

The meeting will be held April 9, 2018 at 6:00 p.m. at Alive Church, located at 5805 NW 37th Street, Gainesville, Florida 32653.



Contact: Sergio Reyes, PE
eda engineers-surveyors-planners, inc.
Phone: (352) 373-3541

TODAY IN HISTORY

In 1944, in occupied Rome, the Nazis executed more than 300 civilians in reprisal for an attack by Italian partisans the day before that killed 32 German soldiers.

In 1989, the supertanker Exxon Valdez ran aground on a reef in Alaska's Prince William Sound and began leaking an estimated 11 million gallons of crude oil.

TODAY'S BIRTHDAYS

Actor R. Lee Ermy is 74. Former Washington Gov. Christine Gregoire is 71. Rock musician Dougie Thomson (Supertramp) is 67. Fashion designer Tommy Hilfinger is 67. Comedian Louie Anderson is 65. Actress Donna Pescow is 64. Actor Robert Carradine is 64. Former Microsoft CEO Steve Ballmer is 62. Actress Kelly LeBrock is 58. Rhythm-and-blues DJ Rodney "Koolhaire" Terry (Ghettown DJ) is 57. TV personality Star Jones is 56. Country-rock musician Patterson Hood (Drive-By Truckers) is 54. Actor Peter Jacobson is 53. Rock singer-musician Sharon Corr (The Corrs) is 48. Actress Lauren Bowles is 48. Actress Lara Flynn Boyle is 48. Rapper Maseo (AKA P.A. Pasemaster Mase) is 48. Actress Megyn Price is 47. Actor Jim Parsons is 45. Christian rock musician Chad Butler (Switchfoot) is 44.

LOTTERY

Friday, March 23
Pick 2
 Early drawing: 4-8
 Night drawing: 4-7
Pick 3
 Early drawing: 1-9-8
 Night drawing: 6-5-3
Pick 4
 Early drawing: 4-6-8-0
 Night drawing: 9-5-9-7
Pick 5
 Early drawing: 1-6-0-0-7
 Night drawing: 1-7-6-5-3
Fantasy 5
 7-8-10-32-36
Lucky Money
 14-26-27-44 L8: 14
Mega Millions
 4-8-23-53-59 PB: 17

PREVIOUS RESULTS

Fantasy 5 — Thursday
 8-9-16-24-33
Match...Payoff...Winners
 5-of-5...\$204,362.23...1
 4-of-5...\$134,500...245
 3-of-5...\$10...8,802

Protesters gather in support of gun control

By Ashraf Khalil
 The Associated Press

WASHINGTON — Washington is preparing for a massive rally in support of gun control, one that organizers hope will prove that the country has reached an emotional tipping point on gun violence, with teenagers seizing the initiative and leading the demand for change.

The nation's capital is generally nonchalant about protests, but Saturday's gathering has prompted more attention and speculation than usual.

Estimates on crowd size are notoriously unreliable but organizers are hoping to draw 500,000 protesters; that would match last year's women's march and make this one of the largest Washington protests since the Vietnam era. It would also bolster claims that the nation is ready to enact sweeping changes to its gun control laws. More than 800 other concurrent marches are planned in cities across America and dozens of locations overseas.

"I look at the younger kids and the future generations and I never want them to go through what we went through or see what we saw," said 15-year-old Kayla Renert, a student at Marjory Stoneman Douglas High School in Parkland where 17 people were killed on Feb. 14.

Renert, who sheltered in a classroom during the attack and had a friend wounded in the leg, was on a bus bringing her to Washington from the airport after flying up from



Terri Robinowitz, center, holds a framed photo of her granddaughter Alyssa Alhadeff, who was killed in the shootings at Marjory Stoneman Douglas High School, with Alyssa's parents, Lori Alhadeff and Ian Alhadeff, right, as lawmakers and gun control activists gather Friday at the U.S. Capitol in Washington. (J. SCOTT APPLEWHITE/THE ASSOCIATED PRESS)

Florida Friday morning. She pointed out that the Parkland shooting wasn't even the most recent school shooting in the United States. One student was wounded and another later died from her wounds after being shot Tuesday in southern Maryland; the 17-year-old gunman was also killed.

"We keep saying, 'Oh this is going to be the last time.' But there's already been another time," Renert said.

Many of the protesters spoke pointedly about how their parents and others of their generation had failed to bring about the changes they are demanding. They

present the youth-led nature of the current movement as proof that they will succeed where their predecessors had failed.

"I'm here because previous generations couldn't do what we're doing right now," said Charlie Shebes, 16, another student from the high school, on a flight from Ft. Lauderdale. "I want to see safer schools. I want to see changes in gun laws."

The students have tapped into a powerful current of pro-gun control sentiment that has been building for years. They have also partnered with well-funded liberal groups such as

Everytown for Gun Safety, the gun control advocacy group founded by former New York mayor and billionaire Michael Bloomberg.

Polls indicate that public opinion nationwide may indeed be shifting on an issue that has simmered for generations, and through dozens of mass shootings. A new poll conducted by The Associated Press-NORC Center for Public Affairs Research, found that 69 percent of Americans think gun laws in the United States should be tightened. That's up from 61 percent who said the same in October of 2016 and 55 percent when the

AP first asked the question in October of 2013. Overall, 90 percent of Democrats, 50 percent of Republicans and 54 percent of gun owners now favor stricter gun control laws.

"To me, it feels like this is THE moment when it's all going to change," said Anne Tumlinson, who will be hosting about a half dozen high school demonstrators from Jacksonville in her Washington home. A grassroots campaign among Washington residents resulted in more than 1,500 Washingtonians offering their homes to underage out-of-town demonstrators.

But even with claims of historic social momentum on the issue of gun control, the AP poll also found that nearly half of Americans do not expect elected officials to take action. One of the questions facing march organizers and participants will be how to translate this one-day event, regardless of turnout, into meaningful legislative change.

One way is by channeling the current energy into mid-term congressional elections this fall. Students in Florida have focused on youth voter registration and there will be a registration booth at the Saturday rally.

"We're pushing the message of now is the time for action but also November is going to be the time for action. It's the time to make our voice heard when we're voting," said Alex Wind, a 17-year-old student from MSD. "We are the age of people that don't vote normally. We're going to change that."

Foreign adoptions by US families drop by 12 percent

By David Cray
 The Associated Press

NEW YORK — The number of foreign children adopted by U.S. parents dropped more than 12 percent last year, accelerating a decline that's now continued for 13 years, according to new State Department figures. Sharp drops in adoptions from China and Congo more than offset notable increases from

many countries, including India, Colombia and Nigeria.

The department's report for the 2017 fiscal year, released Friday, shows 4,714 adoptions from abroad, down from 5,372 in 2016 and nearly 80 percent below the high of 22,884 in 2004. The number has fallen every year since then.

China, as has been the case for several years, accounted for the most children adopted in the U.S. But its total of 1,905 was down 15 percent from 2016 and far below a peak of 7,903 in 2005.

Suzanne Lawrence, the State Department's special adviser on children's issues, attributed the lower numbers to increased interest in domestic adoption among China's growing middle class. She also said new Chinese regulations affecting non-governmental organizations had disrupted partnerships involving some U.S.

adoption agencies.

In 2016, Congo was second after China, accounting for 359 adoptions. The number fell to four in 2017 as the Congolese government — which has been concerned about adoption fraud — halted international adoptions pending a possible overhaul of regulations.

Replacing Congo as No. 2 in the new report was Ethiopia, accounting for 313 adoptions. It was followed by South Korea, Haiti, India, Ukraine, Colombia and Nigeria.

According to the new report, 83 children were adopted from the United States to seven foreign countries, including 41 to Canada.

Lawrence noted that international adoptions have been declining worldwide, and said the United States accounts for half of the total.

However, the National Council for Adoption, and many of the adoption agencies it represents,

have faulted the State Department for failing to reverse the decline in foreign adoptions. This constituency has decried a newly implemented accrediting system that will subject them to tighter monitoring and oversight, and raise fees either for the agencies or for the families they serve.

"The number of orphaned, abandoned, and relinquished children worldwide continues to grow, yet international adoptions continue to decline," Chuck Johnson, CEO of the adoption council, said in an email. "Does the number have to reach zero before top officials at the Department of State will admit that their policies are failing children miserably?"

Johnson called on Congress and President Donald Trump's administration to investigate whether officials in the department's Office of Children's Issues were "purposefully sabotaging intercountry adoption."

Thus far, the State Department has taken a tough stance in the face of such criticism, warning that foreign adoptions by U.S. families might grind to a halt if the new accrediting system is disrupted.

Assistant Secretary of State Carl Risch, whose dossier includes the Office of Children's Issues, issued a statement Thursday saying

efforts to maintain international adoption as a viable option "are greatly undermined when foreign countries lose trust in our accreditation system."

"The Department will continue its efforts to ensure that the best interests of children and families, both birth and adoptive, are paramount and that they are protected," he said, stressing the need for stringent oversight of U.S. adoption agencies and foreign adoption practices.

Concerns about corruption, child-trafficking and baby-selling have prompted the United States to suspend adoptions from several countries in recent years, including Cambodia, Guatemala and Nepal. Domestically, the State Department shut down an Ohio-based adoption agency 14 months ago after alleging extensive improprieties in handling international adoptions.

Among other efforts to improve adoption practices, the department is pressuring the agencies to comply with requirements by foreign governments to regularly submit post-adoption reports on the welfare of the adopted children. Negligence in this regard had prompted some countries to warn they might reconsider their support for adoptions to the U.S.

ANNUAL SALES EVENT
40% OFF MSRP
 FROM THESE LEADERS IN OUTDOOR COMFORT AND VALUE

Woodward | Midway
 Lloyd/Flanders

Sisset's Home & Patio

3429 W. University Ave | 352.224.5192
 Mon-Fri 10 am - 5:30 pm | Sat 10 am - 5 pm
 A portion of all proceeds go to animal rescue. sissets.com

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Contact: Sergio Reyes, PE
 eda engineers - surveyors - planners, inc.
 (352) 373-3541

Neighborhood Workshop Notice
06017-001-004 Alive Church
AHO P A & CHARLOTTE
3727 NW 59TH PL
GAINESVILLE FL 32653-0830

Neighborhood Workshop Notice
06017-013-020 Alive Church
ALTY MEGHAN
3735 NW 56TH LN
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06015-010-000 Alive Church
BAGGALEY DAVID C & LISA M
5589 NW 37TH ST
GAINESVILLE FL 32653-0802

Neighborhood Workshop Notice
06017-013-003 Alive Church
BALDWIN NOEMI M TRUSTEE
3701 S GEORGE MASON DR APT 314
FALLS CHURCH VA 22041

Neighborhood Workshop Notice
06014-011-034 Alive Church
BEACHY M E & ELISA
5833 NW 33RD TER
GAINESVILLE FL 32653-1714

Neighborhood Workshop Notice
06014-011-045 Alive Church
BEAULIEU LARRY E JR
303 N 32ND ST
NEDERLAND TX 77627-7013

Neighborhood Workshop Notice
06017-040-007 Alive Church
BELL & BELL & BOLES & GOLDBERG
3725 NW 58TH PL
GAINESVILLE FL 32609

Neighborhood Workshop Notice
06017-013-044 Alive Church
BERNAL & FIGUEROA
3455 NW 61ST PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-030 Alive Church
BOOTH LINDA LEE
3730 NW 56TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-004 Alive Church
BOSWELL GERALD J
2330 NW 13TH ST
GAINESVILLE FL 32609-2838

Neighborhood Workshop Notice
06014-010-054 Alive Church
BUCK PAMELA
5610 NW 33RD ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-035 Alive Church
CALVIN & KNAPP JR
5909 NW 33RD TER
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-040-009 Alive Church
CANNON NANCY M
3717 NW 58TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-029 Alive Church
CARROLL DEBORAH A
3724 NW 56TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-010-082 Alive Church
CITY OF GAINESVILLE FLORIDA
PO BOX 490
GAINESVILLE FL 32627

Neighborhood Workshop Notice
06017-040-006 Alive Church
CONNELLY & CONNELLY
6310 NW 93RD TER
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-027 Alive Church
DANKERS & MELSON
3714 NW 56TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-028 Alive Church
DOVE SHELLY M
3720 NW 56TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06015-007-000 Alive Church
DOWLING LAVERNE LIFE ESTATE
5614 NW 52ND AVE
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-044 Alive Church
DREGO ROBERT & SUSAN
4103 HICKORY FAIRWAY DR
WOODSTOCK GA 30188

Neighborhood Workshop Notice
06017-013-001 Alive Church
DUPRE LARRY D
3700 NW 56TH LN
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-005 Alive Church
ESKIN & ESKIN
3718 NW 56TH LN
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-040-013 Alive Church
FOLKERTH P DOUGLAS & LESLIE
3701 NW 58TH PL
GAINESVILLE FL 32653-0841

Neighborhood Workshop Notice
06017-013-050 Alive Church
FOX & GRIGGS W/H
10028 NW 52ND TER
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-022-048 Alive Church
FROST JESSICA R
3706 NW 55TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-022 Alive Church
GABB WAYNE & MAGALI
3713 NW 58TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-046 Alive Church
GIDDINGS & MARKS H/W
5915 NW 33RD ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-042 Alive Church
GREENSHIELDS JAMES JR
5908 NW 33RD TER
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-041 Alive Church
HADDLE SHIRLEY B
5920 NW 33RD TER
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-021 Alive Church
HASSIE AMI J
3731 NW 56TH LN
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-007 Alive Church
HENDRIX CHARLES R
3728 NW 56TH LN
GAINESVILLE FL 32653-0826

Neighborhood Workshop Notice
06014-028-004 Alive Church
HOCTOR THOMAS S
5631 NW 34TH ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-023 Alive Church
HUANG & WATTS W/H
100 COUNTRY COVE DR
CLINTON MS 39056-9792

Neighborhood Workshop Notice
06017-022-047 Alive Church
IRVING CONRADE III & LATONYA
NICOLE
3712 NW 55TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-024 Alive Church
JENNINGS STEPHEN
15010 SW 162ND ST
ARCHER FL 32618-4726

Neighborhood Workshop Notice
06017-001-002 Alive Church
JONES JEAN M
PO BOX 14227
GAINESVILLE FL 32604

Neighborhood Workshop Notice
06017-040-011 Alive Church
JONES LASHAWNDA
3709 NW 58TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-047 Alive Church
KELLY KIMBERLY C & KENNETH M JR
3713 NW 56TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-047 Alive Church
KUCK HILKEN V & KENDRA L
5728 NW 33RD ST
GAINESVILLE FL 32653-1725

Neighborhood Workshop Notice
06014-028-005 Alive Church
LEE ERNEST & GLORIA P
5621 NW 34TH ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-001-001 Alive Church
LIGHTSEY LOUISE L
3711 NW 59TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-046 Alive Church
LITTLETON JUDITH L
3719 NW 56TH PL
GAINESVILLE FL 32653-0828

Neighborhood Workshop Notice
06017-013-026 Alive Church
MAMATSIOS MARIA L
3733 NW 58TH PL
GAINESVILLE FL 32653-0841

Neighborhood Workshop Notice
06017-013-031 Alive Church
MCELROY ROBERT B
3734 NW 56TH PL
GAINESVILLE FL 32653-0828

Neighborhood Workshop Notice
06017-013-025 Alive Church
MELLMAN RICHARD & SIMA
3711 NW 56TH LN
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-032 Alive Church
MERRITT LISA GAYE
5910 NW 33RD ST
GAINESVILLE FL 32653-1721

Neighborhood Workshop Notice
06017-022-049 Alive Church
MIHALISIN LINDA
3702 NW 55TH PL
GAINESVILLE FL 32653-0814

Neighborhood Workshop Notice
06017-104-000 Alive Church
MILE RUN MULTI-FAMIL HOMEOWNERS
4121 NW 37TH PL STE B
GAINESVILLE FL 32606-8147

Neighborhood Workshop Notice
06017-001-049 Alive Church
MILE RUN RECREATIONAL ASSOC %
FRAN POLLARD WATSON REALTY
4516 NW 23RD AVE
GAINESVILLE FL 32606

Neighborhood Workshop Notice
06017-001-003 Alive Church
MONK ADAM JOEL & TAYSIR
3721 NW 59TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06017-013-048 Alive Church
MORROW ALAN R
PO BOX 357039
GAINESVILLE FL 32635

Neighborhood Workshop Notice
06017-022-046 Alive Church
NORTHROP GRACE M
3716 NW 55TH PL
GAINESVILLE FL 32653-0814

Neighborhood Workshop Notice
06017-040-008 Alive Church
PERDOMO PERLA A
3721 NW 58TH PL
GAINESVILLE FL 32653-0841

Neighborhood Workshop Notice
06015-009-000 Alive Church
PREVATT VIRGINIA M
5716 NW 34TH ST
GAINESVILLE FL 32606

Neighborhood Workshop Notice
06017-013-045 Alive Church
RATLIFF GLENDA FAYE
3723 NW 56TH PL
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-033 Alive Church
REIFFERS W T
5832 NW 33RD ST
GAINESVILLE FL 32653-1773

Neighborhood Workshop Notice
06014-011-048 Alive Church
SALAS ANTHONY TYLER & LAURA P
5712 NW 33RD ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice
06014-011-043 Alive Church
SALVESON DIANE D
5830 NW 33RD TER
GAINESVILLE FL 32653-1713

Neighborhood Workshop Notice
06017-040-012 Alive Church
SATCHER LISA
4002 NW 32ND ST
GAINESVILLE FL 32605

Neighborhood Workshop Notice
06014-028-003 Alive Church
SIKES ANTONIO E & JENNIFER R
5709 NW 34TH ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice

06017-013-002 Alive Church
SIMMONS SHARLA S
2909 NE 156TH AVE
GAINESVILLE FL 32609

Neighborhood Workshop Notice

06014-028-001 Alive Church
SOOHOO HANG T SEK & RANEE HART
5803 NW 34TH ST
GAINESVILLE FL 32653-2189

Neighborhood Workshop Notice

06015-008-000 *** Alive Church
SPIRIT OF FAITH CHRISTIAN CENTER
5805 NW 37TH ST
GAINESVILLE FL 32653-0806

Neighborhood Workshop Notice

06017-013-049 Alive Church
STAT PROPERTIES LLC
1943 NW 104TH WAY
GAINESVILLE FL 32606

Neighborhood Workshop Notice

06017-013-008 Alive Church
THOMPSON JOYCE
3732 NW 56TH LN
GAINESVILLE FL 32653

Neighborhood Workshop Notice

06014-010-053 Alive Church
TINCKHAM R D & JUDITH
5630 NW 33RD ST
GAINESVILLE FL 32653-1759

Neighborhood Workshop Notice

06014-028-002 Alive Church
TOUZARD & TOUZARD
5727 NW 34TH ST
GAINESVILLE FL 32653

Neighborhood Workshop Notice

06017-013-006 Alive Church
VIEWPOINT INVESTMENTS LLC
1624 SW 188TH ST
NEWBERRY FL 32669

Neighborhood Workshop Notice
5th Avenue
ROBERTA PARKS
616 NW 8 ST
GAINESVILLE, FL 32602

Neighborhood Workshop Notice
CITY OF GAINESVILLE
ATTN: MIKE HOGUE
PO BOX 490 MS 11
GAINESVILLE, FL 32627

Neighborhood Workshop Notice
Ashton
ROXANNE WATKINS
4415 NW 58 AVE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Azalea Trails
MARIE SMALL
1265 SE 12 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
REGINA HILLMAN
506 NW 30 STREET
GAINESVILLE, FL 32607

Neighborhood Workshop Notice
Capri
JOHN DOLES
4539 NW 37 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Carol Estates South
BECKY RUNNESTRAND
1816 NE 16 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Cedar Grove II
HELEN HARRIS
1237 NE 21 ST
GAINESVILLE, FL 32641

Neighborhood Workshop Notice
Creekwood
HELEN SCONYERS
2056 NW 55 BLVD.
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Debra Heights
SARAH POLL
PO BOX 14198
GAINESVILLE, FL 32604

Neighborhood Workshop Notice
Northwood at Possum Creek
WES WHEELER
4728 NW 37 WAY
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641

Neighborhood Workshop Notice
Edgewood Hills
BONNIE O'BRIAN
2329 NW 30 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
LEE NELSON
DIRECTOR OF REAL ESTATE - UF
PO BOX 113135
GAINESVILLE, FL 32611-3135

Neighborhood Workshop Notice
Gateway Park
HAROLD SAIJE
1716 NW 10 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Golfview
CHRIS MONAHAN
222 SW 27 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice
Greater Northeast Community
MIRIAM CINTRON
915 NE 7 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Grove Street
MARIA HUFF-EDWARDS
1102 NW 4 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Hazel Heights
ALLAN MOYNIHAN
PO BOX 357412
GAINESVILLE, FL 32635

Neighborhood Workshop Notice
Hibiscus Park
CAROL BISHOP
2616 NW 2 AVE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice
Hidden Lake
GEORGE KASNIC
2116 NW 74 PL
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Highland Court Manor
DAVID SOUTHWORTH
3142 NE 13 ST
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Ironwood
NANCY TESTA
4207 NE 17 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Kensington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

Neighborhood Workshop Notice
Kingswood Court
JOHN ORTON
5350 NW 8 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Kirkwood
JANE BURMAN-HOLTON
701 SW 23 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Lampighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Landmark Woods
JACK OSGARD
4332 NW 12 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Las Pampas
PETER JANOSZ
3418 NW 37 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Woodland Terrace
PETER PRUGH
207 NW 35 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Lincoln Estates
DORIS EDWARDS
1040 SE 20 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Mason Manor
JOANNA LEATHERS
2550 NW 13 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
North Lincoln Heights
ANDREW LOVETTE SR.
430 SE 14 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Northeast Neighbors
SHARON BAUER
1011 NE 1 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Northwest Estates
VERN HOWE
3710 NW 17 LN
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Oakview
DEBRA BRUNER
914 NW 14 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Appletree
JUDITH MORROW
3616 NW 54 LANE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Pine Park
DELORES BUFFINGTON
721 NW 20 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Kirkwood
KATHY ZIMMERMAN
1127 SW 21 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Pleasant Street
DOTTY FAIBISY
505 NW 3 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Porters Community
GIGI SIMMONS
712 SW 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Rainbows End
JOE THOMAS
5014 NW 24 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Rainbows End
SYLVIA MAGGIO
4612 NW 21 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Raintree
RONALD BERN
1301 NW 23 TER
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Ridgeview
ROB GARREN
1805 NW 34 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Ridgewood
KERRI CHANCEY
1310 NW 30 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Royal Gardens
DOUGLAS BURTON
2720 NW 27 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Shadow Lawn Estates
CONNIE SPITZNAGEL
3521 NW 35 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
South Black Acres
DEANNA MONAHAN
14 SW 32 ST
GAINESVILLE, FL 32607

Neighborhood Workshop Notice
Southeast Evergreen Trails
MAUREEN RESCHLY
1208 SE 22 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice
Springhill/Mount Olive
VIVIAN FILER
1636 SE 14 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice
Springtree
KATHY MEISS
2705 NW 47 PL
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Stephen Foster
ROBERT PEARCE
714 NW 36 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
Suburban Heights
BETH GRAETZ
4321 NW 19 AVE
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Sugarfoot Community/Anglewood
HEATHER REILLY
426 SW 40 TERRACE
GAINESVILLE, FL 32607

Neighborhood Workshop Notice
Sugarhill
CYNTHIA COOPER
1441 SE 2 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Sutters Landing
PETER REBMAN
3656 NW 68 LN
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST, #210 CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

Neighborhood Workshop Notice
University Village
BRUCE DELANEY
1710 NW 23 ST
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Forest Ridge/Henderson Heights
JUANITA CASAGRANDE
1911 NW 22 DRIVE
GAINESVILLE, FL 32605-3953

Neighborhood Workshop Notice
Appletree
CHRIS GARCIA
5451 NW 35 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Neighborhood Workshop Notice
Duckpond
STEVE NADEAU
2821 NW 23 DR
GAINESVILLE, FL 32605

Neighborhood Workshop Notice
Duckpond
MELANIE BARR
216 NE 5 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Front Porch Florida, Duval
JUANITA MILES HAMILTON
2419 NE 8 AVE
GAINESVILLE, FL 32641

Neighborhood Workshop Notice
Porters
RUBY WILLIAMS
237 SW 6 ST
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Porters
INA HINES
320 SW 5 AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
School Board
VICK McGRATH
3700 NE 53 AVE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
University of Florida
LINDA DIXON
PO BOX 115050
GAINESVILLE, FL 32611

Neighborhood Workshop Notice
University Park
MEL LUCAS
620 E UNIVERSITY AVE
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Millennium Bank
DANNY GILLILAND
4340 NEWBERRY RD
GAINESVILLE, FL 32607

Neighborhood Workshop Notice
Florida Bank
LAUDE ARNALDI
13840 W NEWBERRY RD
NEWBERRY, FL 32669

Neighborhood Workshop Notice
LARRY SCHNELL
2048 NW 7 LN
GAINESVILLE, FL 32603

Neighborhood Workshop Notice
MAC McEACHERN
1020 SW 11 TER
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Stephen Foster Neighborhood Assoc, Inc
MARIA PARSONS
439 NW 37 AVENUE
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
BOBBIE DUNNELL
3118 NE 11 TER
GAINESVILLE, FL 32609

Neighborhood Workshop Notice
JAMES WOODLAND
225 SE 14 PL
GAINESVILLE, FL 32601

Neighborhood Workshop Notice
Bivens North Association
PENNY WHEAT
2530 SW 14 DR
GAINESVILLE, FL 32608

Neighborhood Workshop Notice
STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

Neighborhood Workshop Notice
BELLINGTON'S CUSTOM SERVICE
% BRAXTON LINTON
1907 SE HAWTHORNE RD
GAINESVILLE, FL 32641

Neighborhood Workshop Notice
KAREN BILLINGS
2123 NW 72 PL
GAINESVILLE, FL 32653

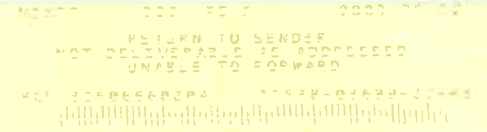


engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
PM 2 L



Neighborhood Workshop Notice
06015-009-000 Alive Church
PREVATT VIRGINIA M
5716 NW 34TH ST
GAINESVILLE FL 32606



32653-498662

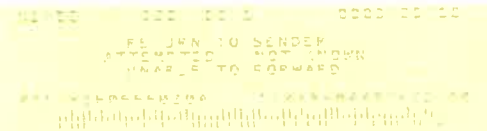


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2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
PM 1 L



Neighborhood Workshop Notice
Lampighter
LARRY NICHOLSON (PROP MGR)
5200 NE 50 DR
GAINESVILLE, FL 32609



32629-2634

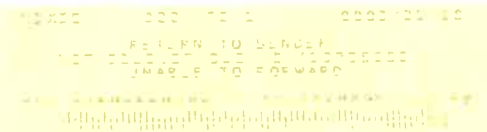


engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
PM 4 L



Neighborhood Workshop Notice
Duval
GILBERT S MEANS, SR
2153 SE HAWTHORNE RD, #111
PO BOX 7
GAINESVILLE, FL 32641



32645-975699

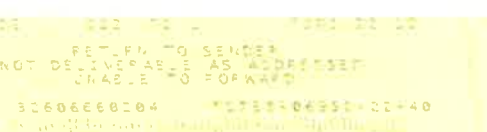


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2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
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Neighborhood Workshop Notice
06017-194-009 Alive Church
MILE RUN MULTI-FAMIL HOMEOWNERS
4121 NW 37TH PL STE B
GAINESVILLE FL 32606-8147



32606-8147

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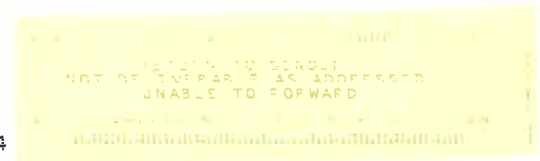
engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
PM 4 1



Neighborhood Workshop Notice
STEWART WELLS
6744 NW 36 DR
GAINESVILLE, FL 32653

32653-988644



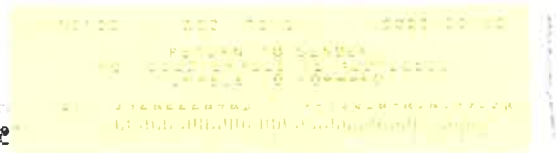
engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
PM 4 1



Neighborhood Workshop Notice
06017-040-012 Alive Church
SATCHEL LISA
4002 NW 32ND ST
GAINESVILLE FL 32605

32605-54050



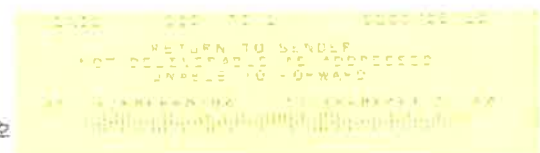
engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE
FL 320
22 MAR '18
PM 4 1



Neighborhood Workshop Notice
University Park
JIMMY HARNSBERGER
402 NW 24 ST
GAINESVILLE, FL 32604

32607-255502



(11)



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE

FL 320
22 MAR '18
PM 4 1



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0000255201 MAR 22 2018
MAILED FROM ZIP CODE 32606

Return to Sender

Neighborhood Workshop Notice

Ashton
ASHTON HOMEOWNERS ASSOC
5200 NW 43 ST STE 102
GAINESVILLE, FL 32606

Return to Sender

NIXIE 322 SE 1 7203/28-18

RETURN TO SENDER
INSUFFICIENT ADDRESS
UNABLE TO FORWARD

32606-448527

EC: 32606660204 *1435-04113-22-40



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE

FL 320
22 MAR '18
PM 4 1



UNITED STATES POSTAGE
FIRST CLASS
02 1P \$ 000.47⁰
0000255201 MAR 22 2018
MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice

Kennington Park
MAXINE HINGE
5040 NW 50 TER
GAINESVILLE, FL 32606

NIXIE 322 SE 1 7203/28-18

RETURN TO SENDER
INSUFFICIENT ADDRESS
UNABLE TO FORWARD

32606-431740

EC: 32606660204 *1438-04571-22-40



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE

FL 320
22 MAR '18
PM 4 1



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FIRST CLASS
02 1P \$ 000.47⁰
0000255201 MAR 22 2018
MAILED FROM ZIP CODE 32606

Neighborhood Workshop Notice

Northwood
SUSAN W. WILLIAMS
PO BOX 357492
GAINESVILLE, FL 32653

RETURN TO SENDER
NOT DELIVERABLE TO ADDRESSEE
UNABLE TO FORWARD

32835-745292



engineers • surveyors • planners, inc
2404 NW 43rd Street
Gainesville, FL 32606

JACKSONVILLE

SZ < FL 320
QM 22 MAR '18
PM 4 1



UNITED STATES POSTAGE
FIRST CLASS
02 1P \$ 000.47⁰
0000255201 MAR 22 2018
MAILED FROM ZIP CODE 32606

Return to Sender

*No longer resides
at TCFOA*

Neighborhood Workshop Notice

Turkey Creek Forest Owners Assn
ATTN: RITA SMITH
8620 NW 13 ST CLUBHOUSE OFFICE
GAINESVILLE, FL 32653

RETURN TO SENDER
NOT DELIVERABLE TO ADDRESSEE
UNABLE TO FORWARD

32653-733993



Neighborhood Meeting - Sign-in Sheet

[illegible]

Neighborhood Meeting Minutes

Project: Proposed Development Plan

Meeting Date & Time: April 9, 2018 at 6:00 PM

Location: Alive Church
5805 NW 37th Street, Gainesville, Florida 32653

Community Participants: 4

Attendees: As listed on attached Sign-in-Sheet

Engineer/Planner: Sergio Reyes, PE

Owner: Neil Guistwite -Church representative

Meeting Minutes:

- Sergio introduced eda and the project, a proposed development plan for construction of a 4,920 SF building addition to an existing church with associated parking, utilities, and stormwater improvements. The project is located at 5805 NW 37th St. on Tax Parcel 06015-008-000. The project site is located on approximately 19.96 (+/-) acres and contains an existing church. The site has an existing Special Use Permit for a Place of Religious Assembly. The building addition will connect the two existing buildings. Also, the proposed improvements include the paving of the driveways for the grass parking, and stormwater facilities for all the improvements.

Q: Are there going to be additional church service times?

A: No, they are not expecting to add new services. The church will continue to operate as it is now.

Q: Do you expect the church to continue growing its membership?

A: No. The direction for churches and this church is to have several satellite campuses so they can better serve the community over the whole city.

Q: Is the noise level going to be increased?

A: The church is working on modifying their amplification system, so no noise can be heard from adjacent properties. They have made some adjustments already that have reduced the volume. The neighbors agreed that the noise has been reduced considerably.



July 11, 2018

City of Gainesville
302 NE 6th Avenue
Gainesville, FL 32601

**Re: Alive Church Development Plan Application
 General Standards Letter**

To Whom It May Concern:

In accordance with Section 30-8.2 of the City of Gainesville Land Development Code (LDC), the following letter indicates how this project meets the general standards as follow:

1. *Fire and explosion hazards:* No storage of flammable or explosive materials is proposed at the site. All the uses proposed will be in accordance with the RSF2 zoning category.
2. *Radiation:* No sources of ionizing radiation will be handled on-site.
3. *Electromagnetic radiation:* No sources of electromagnetic radiation will be handled on-site.
4. *Waste disposal:* The wastewater from the site will be handled by the central sewer system of Gainesville Regional Utilities. Waste disposal from the site, including stormwater, will meet state, federal, and local agency guidelines.
5. *Vibration:* There will be no heavy equipment in use or located on the site. Therefore, there will be no on-site earth-born vibration that will exceed the limits as set forth in this section.
6. *Sound:* There will be no heavy equipment in use or located on the site and no manufacturing. Therefore, sounds on-site will not exceed the limits set forth by City of Gainesville ordinance.
7. *Heat, cold, dampness or movement of air:* No activities will take place on-site that will produce adverse effects on the temperature, motion or humidity of the atmosphere beyond the lot lines.
8. *Odor:* There will be no adverse odors produced on-site. No manufacturing or chemical operations will occur on the site. The development will consist of use allowed by the RSF2 zoning only.
9. *Air quality:* All development on site will maintain air quality levels that comply with state and national ambient air quality standards

10. ***Air pollution emissions:*** No manufacturing or chemical operations will occur on the site. No air pollution emissions will be produced on-site.
11. ***Other air pollution:*** There will not be an excess amount of dust or airborne particulate matter generated on this site. No air pollution will be created associated with the development of this site that will exceed the standards set by the Florida Department of Environmental Protection, or successor agency, or any governmental entity with regulatory jurisdiction, whichever standards are more stringent.
12. ***Toxics:*** There will be no emissions of toxic or noxious matter on this site. No manufacturing or chemical operations will occur on the site
13. ***Utility service:*** Utility service on-site shall comply with the requirements of this provision and be installed underground.

Sincerely,

A black and white image of a handwritten signature, which appears to read "Sergio Reyes", written in cursive over a horizontal line.

Sergio Reyes, P.E.
President/Principal



Clay Sweger
Eng, Denman and Associates, Inc.
2404 NW 43rd Street
Gainesville, FL 32606

RE: Petition PB-13-17 - Spirit of Faith Church

Mr. Sweger:

This letter is to inform you that the City Plan Board approved the above-referenced petition on **March 28, 2013**, subject to the approved conditions listed here:

Condition 1. The maximum capacity for the place of religious assembly shall be 1800 persons. In addition, a day care center with a maximum of 150 students and a private school with a maximum of 300 students may be allowed as accessory uses.

Condition 2. Development of the site must be consistent with the approved SUP master plan (Exhibit D) and the requirements of the Technical Review Committee and the Land Development Code. Phases 1 and 2 shall be as depicted on the master plan.

Condition 3. A street buffer shall be provided along NW 37th Street as part of the development of Phase 1, prior to issuance of the first certificate of occupancy on the site.

Condition 4. With the first development plan for new buildings in Phase 2, a street buffer shall be provided along NW 34th Street, and a compatibility buffer shall be provided along the northern edge of the site.

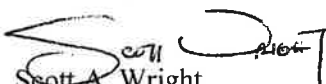
Condition 5. Sidewalks shall be constructed along the paved frontages of NW 37th Street and NW 34th Street as part of the first development plan for new buildings in Phase 2. At the intersection of NW 37th Street and NW 58th Place, a raised median with marked crosswalk, signage, and ADA-compliant sidewalk connections shall be installed at the intersection, in accordance with Chapter 3C and Section 2B-45 of the Manual for Uniform Traffic Control Devices (MUTCD).

Condition 6. No more than a double-loaded row of parking shall be located between the street and any new buildings along NW 37th Street.

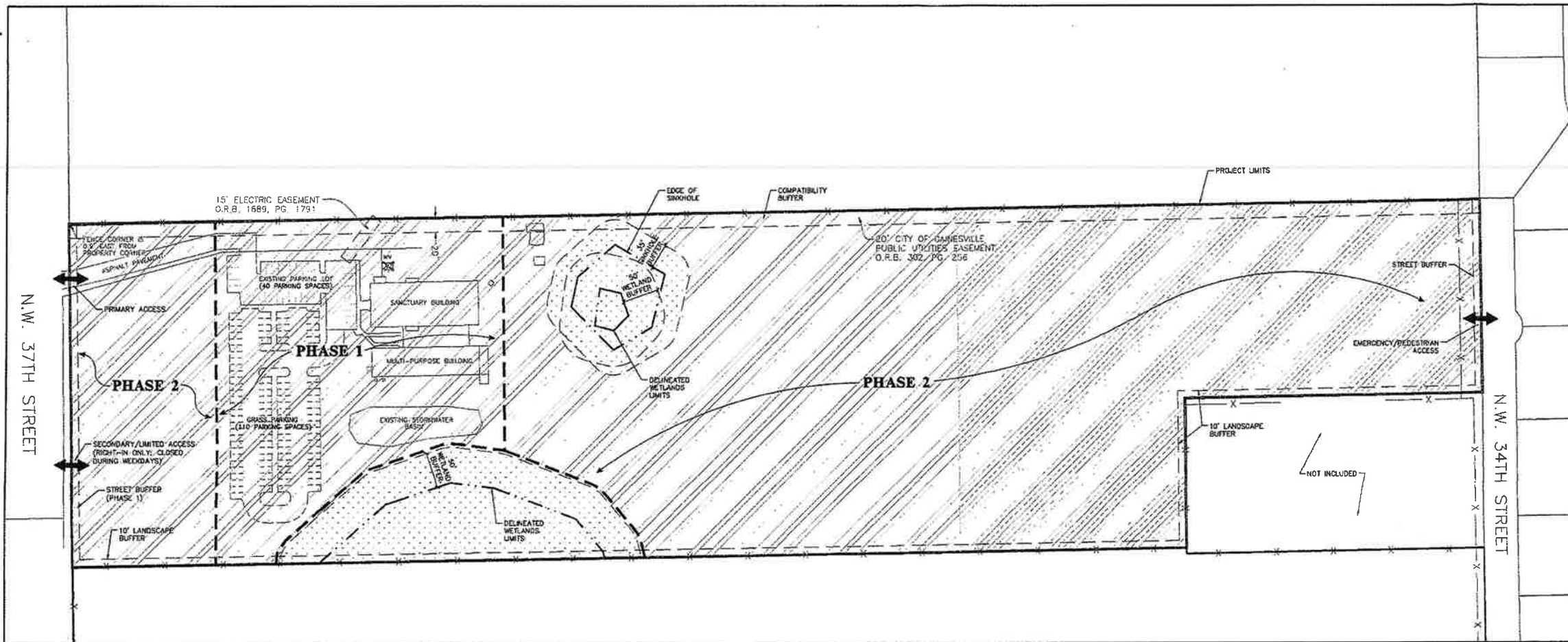
Condition 7. The two wetlands shown on the master plan shall be completely preserved with the required 50-foot buffer areas.

The special use permit is valid for a period of one (1) year from the date of board approval. If an application for a building permit is not filed with the Building Department by the expiration date, the approval becomes null and void. Prior to the expiration date, you may request an extension from the Planning and Development Services Department. If you have any questions, do not hesitate to contact me at (352) 334-5023.

Sincerely,


Scott A. Wright
Senior Planner

Xc: File



PROJECT INFORMATION:

1. ZONING:	RSF-2
2. FUTURE LAND DESIGNATION:	SINGLE FAMILY (SF)
3. MAX. BUILDING HEIGHT:	THREE (3) STORIES
4. MAX. IMPERVIOUS AREA:	50%
5. MAX. BUILDING COVERAGE:	25%
6. MINIMUM BUILDING SETBACKS:	
FRONT:	25 FEET
SIDE:	50 FEET OR 45-DEGREE ANGLE OF LIGHT OBSTRUCTION, WHICHEVER IS GREATER.
REAR:	50 FEET OR 45-DEGREE ANGLE OF LIGHT OBSTRUCTION, WHICHEVER IS GREATER.
7. THIS SPECIAL USE PERMIT (SUP) IS VALID THROUGH THE YEAR 2033 (20 YEARS).	
8. FUTURE DEVELOPMENT PLANS FOR ALL PROPOSED EXPANSION OF EXISTING FACILITIES SHALL BE REVIEWED BY THE DEVELOPMENT REVIEW BOARD (DRB) FOR CONSISTENCY WITH THIS MASTER PLAN.	
9. LAND USE AREAS AND PHASE LINES ARE APPROXIMATE AND MAY BE ADJUSTED SLIGHTLY AT THE DEVELOPMENT REVIEW STAGE.	

PHASING TABLE

PHASE	YEARS	FACILITIES
1	2013-2014	• RENOVATION/REMODEL OF EXISTING BUILDINGS
2	2014-2033	• FOUR ADDITIONAL BUILDINGS (NON-ACCESSORY) AT A MAXIMUM OF 200,000 SQUARE FEET • ASSOCIATED INFRASTRUCTURE IMPROVEMENTS (PARKING, DRIVEWAYS, SIDEWALKS, UTILITIES, STORMWATER, ETC.) • ACTIVE RECREATION/SPORTS FACILITIES

NOTE:
PHASE 2 MAY HAVE SEVERAL SUB-PHASES IN WHICH IMPROVEMENTS MAY OCCUR. NOT ALL THE ALLOWABLE USES/IMPROVEMENTS ALLOWED IN THIS PHASE HAVE TO OCCUR AT ONE TIME. MULTIPLE DEVELOPMENT PLANS MAY BE PRESENTED DURING THIS TIME FRAME.

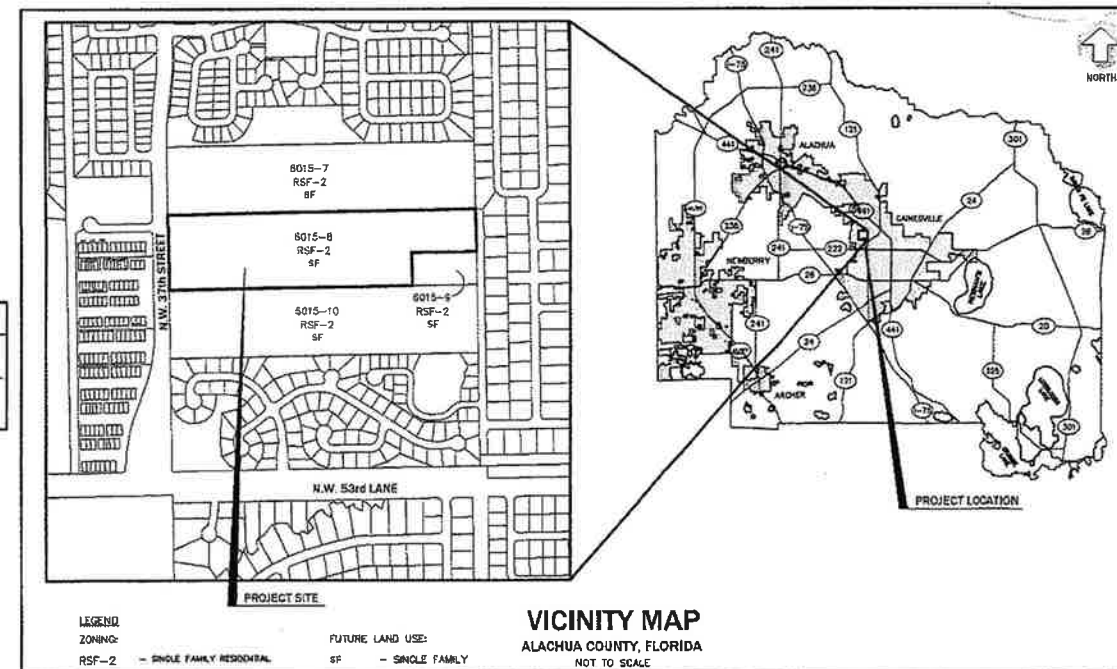
LAND USE DATA TABLE

#	LAND USE	LEGEND	PERMITTED IMPROVEMENTS	ACREAGE	PERCENTAGE
1.	CHURCH CAMPUS • SANCTUARY (1,800 MAX) • PRIVATE SCHOOL (300 MAX) • DAY CARE/CHILD CARE (150 MAX) • GYMNASIUM • KITCHEN/CATERING • SUNDAY SCHOOL • FELLOWSHIP HALL • CHURCH OFFICE • LIBRARY • EDUCATION FACILITIES • CHAPEL • COLLECTION OF FOOD AND CLOTHING TO DISTRIBUTE TO THE COMMUNITY (OFF SITE)		MAXIMUM 200,000 S.F. BUILDING COVERAGE, DRIVEWAYS, TRAFFIC CIRCULATION, PARKING AREA, STORMWATER FACILITIES, MULTI-USE PATHWAYS AND ACCESSORY USES. SPECIFIC ACTIVITIES WITHIN THE CAMPUS ARE INDICATED IN THE SUP JURISDICTION REPORT.	11 Ac.	55%
2.	ACTIVE RECREATION/SPORTS FACILITIES		ACTIVE RECREATION AREAS, ATHLETIC FIELDS AND COURTS, ACCESSORY STRUCTURES, TRAFFIC CIRCULATION, PARKING AREAS, MULTI-USE PATHWAYS AND STORMWATER AREAS.	6 Ac.	30%
3.	CONSERVATION/BUFFER AREAS		MULTI-USE PATHWAYS AND ELEVATED BOARDWALKS.	3 Ac.	15%
4.	TOTAL:			20 Ac.	100%

PARKING CALCULATIONS

PHASE	USE	REQUIRED	PROVIDED
1	SANCTUARY	1 SPACE/4 SEATS	600 SEATS/4 = 150 SPACES
2	TO BE DETERMINED AT TIME OF DEVELOPMENT (BASED ON PROPOSED USES)		

NOTE:
THE DEVELOPMENT SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-5 (a) & (b)).



RECEIVED
APR 9 2013
PLANNING DIVISION



NORTH

SCALE: 1" = 80'

80 40 0 80

GRAPHIC SCALE



ENG. DEBRAH L. ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
1000 S. GAINESVILLE BLVD., SUITE 200
GAINESVILLE, FL 32609
(352) 336-1000

Project: SPIRIT OF FAITH CHURCH
CITY OF GAINESVILLE, FLORIDA

CONCEPT PLAN

Project Name: SPECIAL USE PERMIT
Designed: TAT
Drawn: TAT
Project No: 12-219
Date: 03/28/13
Sheet No: C1.00

C1.00



engineers • surveyors • planners

September 4, 2018

Bedez Massey
Planning & Development Services Department
City of Gainesville
306 NE 6th Avenue
Gainesville, FL



RE: Parking Calculation Letter – Alive Church

Dear Ms. Massey:

This letter is an explanation of the parking calculations associated with the proposed building addition at Alive Church. The calculations outlined in this letter demonstrate that the proposed standard will provide appropriate parking to serve all the existing and proposed uses at the Alive Church campus.

Section 30-7.5 of the Land Development Code establishes the required parking for places of religious assembly as “1 for each 4 seats, or 1 for each 40 square feet of floor area in principal area(s) of assembly.”

Using the parking standard indicated above, the following shows the calculation for Alive Church (using the seats in the church and the square footage in principal areas of assembly (within existing and proposed buildings):

- a. 425 seats in church: $425/4 = 106$ parking spaces
- b. Assembly space (south building area less bathroom area) = 4,917 square feet = $4,917/40 = 123$ parking spaces

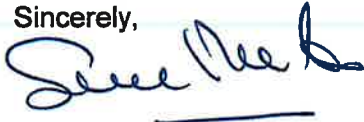
Total spaces per above calculations: 229 spaces. At this time, 229 parking spaces are provided (69 paved parking spaces and 160 grass parking spaces).

Up to 70% of the required vehicle parking spaces for places of religious assembly can be unpaved parking facilities per the Land Development Code (Section 30-7.2.C.2.a). In this case, 69 paved parking spaces out of a total of 229 parking spaces (30% paved parking spaces and 70% unpaved parking spaces) are being provided.

The attached layout is consistent with LDC Code Section 30-7.2.C.2. requirements that “unpaved spaces shall be located on the periphery of any paved parking areas in locations that will receive less use than those paved and more remotely located to the use served.”. The paved spaces are all located closest to the church buildings. The unpaved, grass spaces are located more distant from the paved parking areas and the church buildings (on the periphery of the paved parking areas)

I believe that this letter should provide you with the necessary information to approve the proposed parking for this project. If you have any questions while processing this application, please let me know.

Sincerely,



Sergio Reyes, P.E.
President/Principal



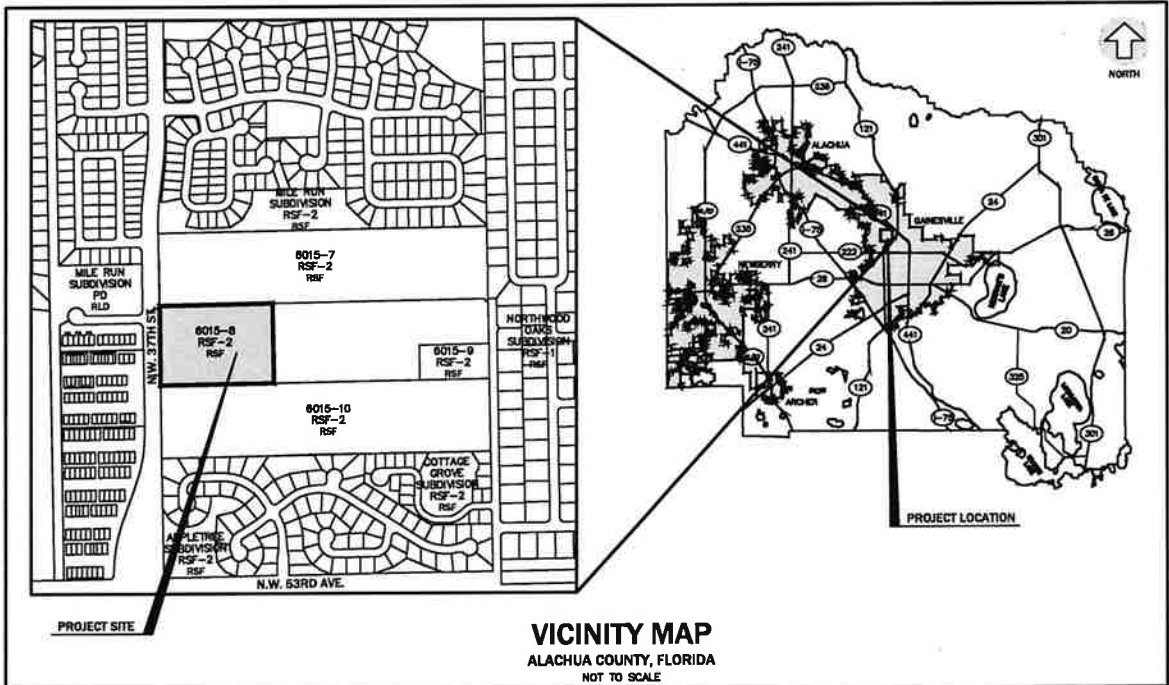
Appendix E

Development Plan

ALIVE CHURCH

CITY OF GAINESVILLE, FLORIDA

DEVELOPMENT INFORMATION		
1.	PROJECT OWNER:	SPIRIT OF FAITH CHRISTIAN, CEN
2.	NAME OF PROJECT:	ALIVE CHURCH
3.	PROJECT DESCRIPTION:	A PROPOSED BUILDING ADDITION WITH ASSOCIATED PAVING, GRADING, AND UTILITY IMPROVEMENTS.
4.	PROJECT ADDRESS:	8505 N.W. 37TH STREET GAINESVILLE, FLORIDA 32653
5.	TAX PARCEL NUMBER:	08019-008-000
6.	SECTION/TOWNSHIP/RANGE:	SECTION 14, TOWNSHIP 9 SOUTH, RANGE 19 EAST
7.	ZONING:	RSF2
8.	FUTURE LAND DESIGNATION:	SFR
9.	THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT OR FLOOD PLAIN	
10.	IRRIGATION SYSTEM IS NOT PROVIDED FOR LANDSCAPED AREAS	
11.	THIS PROJECT IS NOT AFFECTED BY THE GATEWAY, GREENWAY, SURFACE WATER, WELL FIELD OR NATURE PARK DISTRICTS.	
12.	NO SPECIAL FIRE PROTECTION CONCERNS ARE PROPOSED ON THIS BUILDING ADDITION. THE BUILDING ADDITION SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.	
13.	THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.	
14.	TRASH AND RECYCLING FACILITIES ARE EXISTING AND LOCATED ON SITE.	
15.	FIRE HYDRANTS AND STABILIZED SURFACES MUST BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE.	
16.	IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHA.	
17.	THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION PER GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16).	
18.	THIS SITE IS LOCATED IN ZONE B OF THE MOBILITY PROGRAM AREA (TMPA) AND WILL COMPLY WITH THE APPLICABLE PROVISIONS OF TRANSPORTATION MOBILITY ELEMENT POLICIES 10.1.4 AND 10.1.13.	
19.	THE PROPOSED BUILDING SHALL COMPLY WITH THE CURRENT EDITION OF THE FLORIDA BUILDING CODE.	



LEGEND:

ZONING:
PD - PLANNED DEVELOPMENT
RSF-1 - SINGLE-FAMILY RESIDENTIAL
RSF-2 - SINGLE-FAMILY RESIDENTIAL

FUTURE LAND USE:
RLD - RESIDENTIAL LOW DENSITY
RSF - SINGLE FAMILY RESIDENTIAL

IMPERVIOUS AREA CALCULATIONS				
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	ACREAGE (AC.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	328,712	7.55	100
2.	EXISTING BUILDING COVERAGE:	15,227	0.35	4.6
3.	EXISTING IMPERVIOUS AREA:	21,780	0.50	6.6
4.	EXISTING IMPERVIOUS AREA TO BE REMOVED:	15,997	0.36	4.8
5.	PROPOSED BUILDING COVERAGE:	21,428	0.48	6.5
6.	PAVEMENT AND SIDEWALK AREA:	78,157	1.81	24.0
7.	TOTAL IMPERVIOUS AREA:	100,583	2.30	30.5
8.	PROPOSED GRASS PARKING AREA:	51,367	1.18	15.6
9.	OPEN AREA:	131,182	3.01	39.9

PARKING CALCULATIONS				
#	DESCRIPTION	CRITERIA	REQUIRED	PROVIDED
1.	VEHICULAR PARKING	1 PARKING SPACE PER 4 SEATS OF MAXIMUM SEATING CAPACITY IN PRINCIPLE AREA(S) OF ASSEMBLY	1 SPACE / 4 SEATS X 400 SEATS = 100 SPACES	337 INCLUDES 8 HANDICAP SPACES
2.	BICYCLE PARKING	10% OF REQUIRED NUMBER OF VEHICLE PARKING	100 SPACES X 10% = 10 SPACES	10 SPACES
3.	MOTORCYCLE PARKING	1 MOTORCYCLE SPACE PER 40 VEHICLE SPACES REQUIRED	1 SPACE / 40 SPACES X 100 SPACES = 3 SPACES	3 SPACES

BUILDING INFORMATION	
BUILDING HEIGHT:	3SF-4"
SPRINKLERED:	YES
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	A-3, B, E
NUMBER OF STORIES:	2
GROSS FLOOR AREA:	
1ST FLOOR	21,428
2ND FLOOR	2,437
TOTAL GROSS FLOOR AREA:	23,863
BUILDING AREA:	
1ST FLOOR	21,428
2ND FLOOR	2,437
TOTAL BUILDING AREA UNDER ROOF:	23,863

TRIP GENERATION								
EXISTING								
SITE LAND USE 560 CHURCH								
18,943 SF GFA								
				TRIP DISTRIBUTION		PROJECT TRIPS		
PERIOD	RATE	PER UNIT	TRIPS	ENTER	EXIT	IN	OUT	
AM	0.33	18.94	8.28	80%	40%	3.75	2.50	
PM	0.49	18.94	9.28	45%	55%	4.18	5.11	
WEEKDAY	8.85	18.94	131.85	50%	50%	65.93	65.93	
SUNDAY	27.83	18.94	623.40	50%	50%	261.70	261.70	
PROPOSED								
SITE LAND USE 560 CHURCH								
23,863 SF GFA								
				TRIP DISTRIBUTION		PROJECT TRIPS		
PERIOD	RATE	PER UNIT	TRIPS	ENTER	EXIT	IN	OUT	
AM	0.33	23.86	7.87	80%	40%	4.72	3.15	
PM	0.49	23.86	11.89	48%	52%	5.26	6.43	
WEEKDAY	8.85	23.86	185.85	50%	50%	82.92	82.92	
SUNDAY	27.83	23.86	659.33	50%	50%	329.67	329.67	
SUMMARY								
		AM	PM	WEEKDAY	SUNDAY			
EXISTING		8.25	9.28	131.85	623.40			
PROPOSED		7.87	11.89	185.85	659.33			
NET		1.82	2.41	34.19	135.94			

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C0.00	COVER SHEET
C0.10	LEGEND, SYMBOLS, AND NOTES
C0.30	DEMOLITION PLAN
C1.00	DIMENSION PLAN
C2.00	PAVING, GRADING, AND DRAINAGE PLAN
C2.10	BASIN DETAILS
C2.20	PAVING, GRADING, AND DRAINAGE DETAILS AND NOTES
C3.00	STORMWATER POLLUTION PREVENTION PLAN
C4.00	UTILITY PLAN
C5.00	DRIVEWAY PLAN
C5.10	LANDSCAPE BUFFER PLAN
A1.01-A2.01	ARCHITECTURAL PLANS
E	SITE PHOTOMETRIC PLANS
L001-L002	LANDSCAPE PLANS
V-001-V002	BOUNDARY AND TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION	
LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 4211, PAGE 34)	
THE SOUTH 480.84 FEET OF THE NORTH 3963.70 FEET OF THE EAST THREE-QUARTERS (E 3/4) OF THE EAST ONE-HALF (E 1/2), LESS THE SOUTH 210.00 FEET OF THE EAST 420.00 FEET OF SECTION 14, TOWNSHIP 9 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA.	
LESS AND EXCEPT	
A PARCEL OF LAND BEING SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:	
FOR A POINT OF REFERENCE, COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 14, THENCE RUN NORTH 00°05'08" EAST, ALONG THE EAST LINE OF SAID SECTION, AND THE WEST RIGHT-OF-WAY LINE OF N.W. 34TH STREET, A DISTANCE OF 1770.87 FEET TO THE POINT OF BEGINNING OF THE HEREAFTER DESCRIBED PARCEL; THENCE RUN NORTH 47°02'29" WEST, A DISTANCE OF 36.64 FEET; THENCE RUN SOUTH 89°46'27" EAST, A DISTANCE OF 27.00 FEET TO THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE OF N.W. 34TH STREET; THENCE RUN SOUTH 00°05'08" WEST, ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING.	

eds40
engineers • surveyors • planners
2404 N.W. 14th St., Suite 200, Gainesville, FL 32609-4646
TEL: 352.372.3841 FAX: 352.372.7249
www.eds40.com mail@eds40.com

ALIVE CHURCH
CITY OF GAINESVILLE, FLORIDA

COVER SHEET

Project: CITY SUBMITTAL
Design: S. J. Brown, M. J. Brown, T. R. Brown
Project No: 17-267 Date: 07/10/18
Professional Engineer of Record:
S. J. Brown, P.E. No. 12573
S. J. Brown, P.E. No. 12573
Engineer's Certificate No.

Sheet No.:

C0.00

\\server1\Engineering\Drawings\2017\Drawings\Current\DWG\01018-03-05-04.dwg, 1/22/2018 9:33:56 AM, mbarbapara, DWG to PDF, p43

EXISTING SYMBOLS & ABBREVIATIONS	
C/L	= CENTERLINE
CONC	= CONCRETE
COR	= CORNER
DA	= DELTA (CENTRAL) ANGLE
R	= RADIUS
A	= ARC
T	= TANGENT
CHORD	= CHORD BEARING
CD	= CHORD DISTANCE
DUP	= DUCTILE IRON PIPE
ELEV	= ELEVATION
ELM	= ELLIPTICAL CORRUGATED METAL PIPE
ERF	= ELLIPTICAL REINFORCED CONCRETE PIPE
D	= IDENTIFICATION
IN	= INVERT
F.D.O.T.	= FLORIDA DEPARTMENT OF TRANSPORTATION
F.F.	= FINISHED FLOOR
M.E.R.	= MITERED END SECTION
No.	= NUMBER
O.R.	= OFFICIAL RECORDS BOOK
PAGES	= PAGES
PVC	= POLY-VINYL CHLORIDE
RCP	= REINFORCED CONCRETE PIPE
R/W	= RIGHT OF WAY
SEC 28-5-18	= SECTION 28, TOWNSHIP 5 SOUTH, RANGE 18 EAST
TRANS	= ELECTRICAL TRANSFORMER PAD
W/	= WITH
ANCH 6"	= GUY ANCHOR
W/O	= WATER BLOW OFF
SD	= SANITARY CLEAN-OUT
FOUND	= FOUND CONCRETE MONUMENT (also, ID)
FOUND	= FOUND DRILL HOLE
FOUND	= FOUND IRON PIPE (also, ID)
FOUND	= FOUND NAIL & DISC (ID)
FOUND	= FOUND REBAR & CAP (also, ID)
FOUND	= FOUND SPIKE
FOUND	= GAS METER
FOUND	= GAS VALVE
FOUND	= GUY POLE
FOUND	= ELECTRICAL HANDHOLE
FOUND	= FIRE HYDRANT
FOUND	= IRRIGATION VALVE
FOUND	= LIGHT POLE
FOUND	= MAIL BOX
FOUND	= MANHOLE
FOUND	= POWER POLE
FOUND	= SET 5/8" REBAR & CAP (LB 2389)
FOUND	= SET CONCRETE MONUMENT (PRM LB 2389)
FOUND	= SET NAIL & DISC (PRM LB 2389)
FOUND	= SET SPIKE
FOUND	= SET SPOLE
FOUND	= SION
FOUND	= TELEPHONE RISER
FOUND	= CABLE TELEVISION RISER
FOUND	= WATER METER
FOUND	= WATER VALVE
FOUND	= ELEVATION CONTOUR LINE
FOUND	= FENCE LINE
FOUND	= OVERHEAD GUY WIRE
FOUND	= OVERHEAD POWER LINE
FOUND	= OVERHEAD TELEPHONE LINE
FOUND	= SANITARY SEWER LINE
FOUND	= UNDERGROUND ELECTRIC LINE
FOUND	= UNDERGROUND GAS LINE
FOUND	= UNDERGROUND TELEPHONE LINE
FOUND	= UNDERGROUND CABLE TELEVISION LINE
FOUND	= UNDERGROUND WATER LINE
FOUND	= SPOT ELEVATION
TREE LEGEND	
THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)	
LOCUS	SIZE / COMMON NAME
loc10	= 10" BAY
loc11	= 11" CHINA BERRY
loc12	= 12" CEDAR
loc13	= 13" CHERRY
loc14	= 14" CHINESE TALLOW
loc15	= 15" HICKORY
loc16	= 16" LAUREL OAK
loc17	= 17" LIVE OAK
loc18	= 18" MAGNOLIA
loc19	= 19" PALM
loc20	= 20" PINE
loc21	= 21" POST OAK
loc22	= 22" SUGARBERRY
loc23	= 23" SWEETGUM
loc24	= 24" TURKEY OAK
loc25	= 25" UNIDENTIFIED TREE
loc26	= 26" WATER OAK
LEGEND	
	TREE BARRICADE
	SILT FENCE
	EXISTING FEATURES TO BE REMOVED (TBR)
	LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
	LIMITS OF ASPHALT PAVEMENT
	LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
	PEDESTRIAN WALKWAY (SEE SHEET C2.10 FOR DETAILS, MATERIAL AND INSTALLATION)
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED CONTOUR ELEVATION
	EXISTING CONTOUR ELEVATION

PROPOSED UTILITY SYMBOLS	
	WATER MAIN, PROPOSED
	WATER MAIN, EXISTING
	WASTEWATER GRAVITY MAIN, PROPOSED
	PLUG END AND CAP
	BLOW-OFF ASSEMBLY
	GATE VALVE & BOX
	BUTTERFLY VALVE
	PLUG VALVE
	SWING CHECK VALVE
	BACK FLOW PREVENTER
	REDUCED PRESSURE ZONE BFP
	DOUBLE CHECK BFP
	DUAL CHECK VALVE
	AIR RELEASE VALVE
	REDUCER FITTING
	PRESSURE REGULATOR
	POST INDICATOR VALVE
	CLEAN OUT OR ROOF DRAIN LATERAL
	FITTING W/ THRUST BLOCK
	FIRE HYDRANT W/ THRUST BLOCK
	FIRE HYDRANT ASSEMBLY
	POTABLE WATER METER
	SINGLE SERVICE WATER METER
	DUAL SERVICE WATER METER
	GANG WATER METER ASSEMBLY
	ELECTRIC TRANSFORMER
	ELECTRIC POWER POLE
	RECLAIMED WATER METER ASSEMBLY
	RECLAIMED WATER MAIN, PROPOSED
	PLUG END AND CAP
	BLOW-OFF ASSEMBLY
	GATE VALVE & BOX
	REDUCER FITTING
	WASTEWATER (PRESSURE) MAIN, PROPOSED
	SANITARY SEWER MAIN, PROPOSED
	SANITARY SEWER MAIN, EXISTING
	SANITARY SEWER MANHOLE, PROPOSED
	SANITARY SEWER MANHOLE, EXISTING
	SANITARY SEWER PLUG
	PLUG VALVE
	SEWER LATERAL, SINGLE SERVICE
	GATE VALVE
	CHECK VALVE
	AIR RELEASE VALVE

GENERAL NOTES	
1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.	
2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND/OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY. CONTACT ENGINEER OF RECORD IMMEDIATELY WITH ANY DISCREPANCIES.	
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED. BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.	
4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.	
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION/REQUIREMENTS.	
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS, TO THE OWNER'S ENGINEER FOR REVIEW. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.	
7. SAFETY:	
A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.	
B. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA.	
C. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS.	
D. ALL TRAFFIC CONTROL, MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.	
E. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.	
F. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.	
8. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.	
9. CONTRACTOR IS REQUIRED TO SECURE A FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES) PERMIT BEFORE BEGINNING CONSTRUCTION.	
10. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE UPON REQUEST.	
11. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS.	
12. CITY:	
A. ALL WORK WITHIN OR ON CITY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. THE COORDINATE SYSTEM SHALL BE FLORIDA STATE PLANE COORDINATES, NAD 83 ZONE NORTH US SURVEY FEET. VERTICAL COORDINATES SHALL BE REFERENCED TO THE NAVD 88 DATUM WITH ELEVATIONS GIVEN IN US SURVEY FEET.	
AS-BUILT PLANS SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AS SIGNED AND SEALED PLANS AND AN ELECTRONIC DRAWING FILE. GUIDANCE ON PREPARATION OF AS-BUILT PLANS CAN BE FOUND IN CHAPTER 4 OF THE FDOT OFFICE OF CONSTRUCTION, PREPARATION AND DOCUMENTATION MANUAL. AS-BUILT PLANS FOR DRIVEWAY PERMITS MAY BE REQUIRED ON A CASE BY CASE BASIS.	
THE ENGINEER OF RECORD SHALL FILE AS-BUILT PLANS OR RECORD DRAWINGS WITH THE PUBLIC WORKS DEPARTMENT UPON COMPLETION OF ANY IMPROVEMENTS FOR WHICH CHANGES HAVE BEEN APPROVED DURING THE CONSTRUCTION PROCESS. THE REQUIREMENT FOR AN AS-BUILT PLAN OR RECORD DRAWING WILL BE DETERMINED ON A CASE BY CASE BASIS, DEPENDING ON THE SCOPE OF THE CHANGES.	
RECORD DRAWINGS SHALL BE LEGIBLY MARKED TO DOCUMENT ACTUAL CONSTRUCTION. ALL CHANGES TO FINAL UTILITY LOCATIONS INCLUDING HORIZONTAL AND VERTICAL LOCATIONS SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS AND INCLUDE ALL MANHOLES, HYDRANTS, VALVES, VALVE BOXES, AND STRUCTURES. RECORD DRAWINGS SHALL ALSO DOCUMENT ACTUAL INSTALLED PIPE MATERIALS. RECORD DRAWINGS SHALL CLEARLY SHOW AND DOCUMENT ALL FIELD CHANGES OF DIMENSION AND DETAIL. RECORD DRAWINGS SHALL INCLUDE ALL DETAILS NOT ON THE ORIGINAL DRAWINGS, BUT CONSTRUCTED.	
12. COUNTY:	
A. ALL WORK WITHIN OR ON COUNTY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE COUNTY OWNED OR MAINTAINED AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. THE COORDINATE SYSTEM SHALL BE FLORIDA STATE PLANE COORDINATES, NAD 83 ZONE NORTH US SURVEY FEET. VERTICAL COORDINATES SHALL BE REFERENCED TO THE NAVD 88 DATUM WITH ELEVATIONS GIVEN IN US SURVEY FEET.	
13. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEMS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.	

CONSTRUCTION NOTES	
1. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES; AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS/INDEXES 600 THROUGH 685 (LATEST EDITIONS).	
2. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.	
3. ANY SIDEWALK WHICH BECOMES UNDERMINED MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.	
4. DISTURBED AREA WITHIN THE R-O-W WILL BE COMPACTED TO 98% OF MAXIMUM DENSITY AND SOODED.	
5. STOCKPILING OF MATERIAL IS NOT ALLOWED ON ROADWAYS OR SIDEWALKS. ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALKS ARE TO BE SWEEP DAILY AS PART OF DAILY CLEANUP.	
6. ANY PORTION OF ROADWAYS OR SIDEWALKS THAT SUSTAIN EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF APPLICABLE AGENCIES, SHALL BE REPAIRED AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THAT PARTICULAR AGENCY.	
7. CONSTRUCTION MUST BE PER THE APPROVED SITE PLAN OF THE DRG (OR EQUIVALENT). DEVIATIONS IN ROADWAY, UTILITY OR DRAINAGE CONSTRUCTION WILL REQUIRE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER OR THE DIRECTOR OF PUBLIC SERVICES (OR EQUIVALENT). NOTE: SIGNIFICANT CHANGES FROM THE DRG PLAN FOR REVIEW THROUGH THE DRG AND MAY CAUSE PROJECT DELAYS.	
8. OFF-SITE OR ROADWAY R-O-W CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVED R-O-W PERMIT(S). A COPY OF THE APPROVED R-O-W PERMIT MUST BE KEPT ON-SITE AND READILY AVAILABLE DURING ALL CONSTRUCTION ACTIVITIES WITHIN THE R-O-W.	
9. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.	
10. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.	
11. CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.	
12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.	
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.	
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED UTILITIES. THE CERTIFICATION PROCESS, ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY. BOTH PAPER AND AUTOCAD FILES SHALL BE PROVIDED.	
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. BOTH PAPER AND AUTOCAD SHALL BE PROVIDED.	
EROSION CONTROL NOTES	
1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN, THE SEDIMENTATION PLAN, THE PLAN NARRATIVE, ATTACHMENTS REFERENCED BY THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.	
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.	
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.	
4. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.	
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.	
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.	
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.	
8. RUBBISH, TRASH, CARGAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER RUNOFF.	
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.	
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.	
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.	
12. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.	
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STABILIZATION, SEDIMENT BASINS, ETC.) AS NEEDED FOR EACH STAGE OF SITE WORK / GRADING.	
14. NO GRADING, CLIPPING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED BETWEEN ALL DISTURBED AREAS AND WATER BODIES, WATERCOURSES OR WETLANDS AND ANY CONVEYANCES SUCH AS DRAINAGE DITCHES, STORM DRAINS, AND INLETS.	
15. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRECEDING ANY DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSTALL ALL EROSION AND PREVENTION STRUCTURES SHOWN ON THE PLANS AT A MINIMUM AND IN FULL CONFORMANCE WITH ALL APPLICABLE WATER MANAGEMENT DISTRICT PERMITS AND REGULATIONS.	
16. ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.	
17. ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN, SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRADING. UNLESS OTHERWISE NOTED, ALL SLOPES STEEPER THAN 4:1 SHALL BE SOODED.	

PAVING, GRADING, AND DRAINAGE NOTES	
1. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/THA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.	
2. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SOODED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.	
3. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.	
4. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.	
5. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.	
6. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.	
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DE-WATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.	
8. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOO, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION IMPROVEMENTS TO FOLLOW.	
9. SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.	
10. IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.	
11. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND ROPEING AND REQUIRE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.	
12. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.	
13. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.	
14. REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY THE CONTRACTOR AND IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.	
15. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.	
16. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.	
17. PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPES SHALL NOT EXCEED SLOPES OF 14 HORIZONTAL TO 1 VERTICAL.	
18. FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS, IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.	
19. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE PROJECT. ALL DELETERIOUS SUBSURFACE MATERIAL (E.G. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE FILLLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.	
20. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS.	
21. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.	
22. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURBS AND GUTTERS CALLED FOR IN THESE PLANS.	
23. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION.	
24. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.	
25. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR. ALL SURVEY COSTS WILL BE CONTRACTORS RESPONSIBILITY.	
26. FINAL GRADES SHOWN INCLUDE SOIL HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.	
27. IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREAS AT NO ADDITIONAL COST TO THE OWNER.	
28. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.	
29. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.	
30. ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED.	
31. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.	
32. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS. THE VARIOUS AGENCIES AND PERMIT CONDITIONS, SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.	
33. THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.	
34. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE RE-INSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RE-CLEAN PIPES AND INLETS FOR THESE PURPOSES.	



Project

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Legend, Symbols, and Notes

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Comment

Date

Iss

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- Diagram illustrating a tree burial site. The diagram shows a cross-section of the ground with a tree trunk. The tree trunk is supported by a 1" x 4" wood bracing. The bracing is attached to a 2" x 4" wood bracing pole. The pole is supported by a bury post. The ground is covered with orange-mesh construction fencing. The diagram is labeled with the following components:
- TREE TRUNK
 - 1" x 4" WOOD BRACING
 - 2" x 4" WOOD BRACING POLE
 - ORANGE-MESH CONSTRUCTION FENCING
 - BURY POST






NOTES:

1. TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
2. EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSITUATED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ENDS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
3. NO GRADING WITHIN FENCING, ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
4. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
5. THE AREA ENCLOSED MUST BE AT OR OUTSIDE THE DRILLPIE FOR ALL HERITAGE AND CHAMPION TREES AND ALL REGULATED PINE AND PALM TREES. BE EQUAL TO 2/3 OF THE DRILLPIE OF THE TREE GAINED FOR ALL OTHER REGULATED SPECIES, OR AT THE TREE ROOT PLANT WHERE ALLOWED BY CONSTRUCTION LIMITS.

TREE BARRICADE FENCING DETAIL

MT9

LEGEND

- | | |
|---|---|
|  | SILT FENCE |
|  | TREE BARRICADE |
|  | EXISTING FEATURES TO BE REMOVED (TBR) |
|  | LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED |
|  | EXISTING TREE TO BE REMOVED |

X p120 **EXISTING TREE TO BE REMOVED**



NORTH

SCALE: 1" = 30'

GRAPHIC SCALE

eds 40

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EST. 1986
2406 N.W. 42nd ST., GAINESVILLE, FLORIDA 32608-4602
TEL.: (352) 373-3541 FAX: (352) 373-7249
www.edsll.com mail@edsll.com

ALIVE CHURCH
CITY OF GAINESVILLE, FLORIDA

DEMOLITION PLAN

Projects

Chest tubes

CITY SUBMITTAL

Designated S.P. Drawn: WJL Check:

Project No. 31-247	Date 07/1/96
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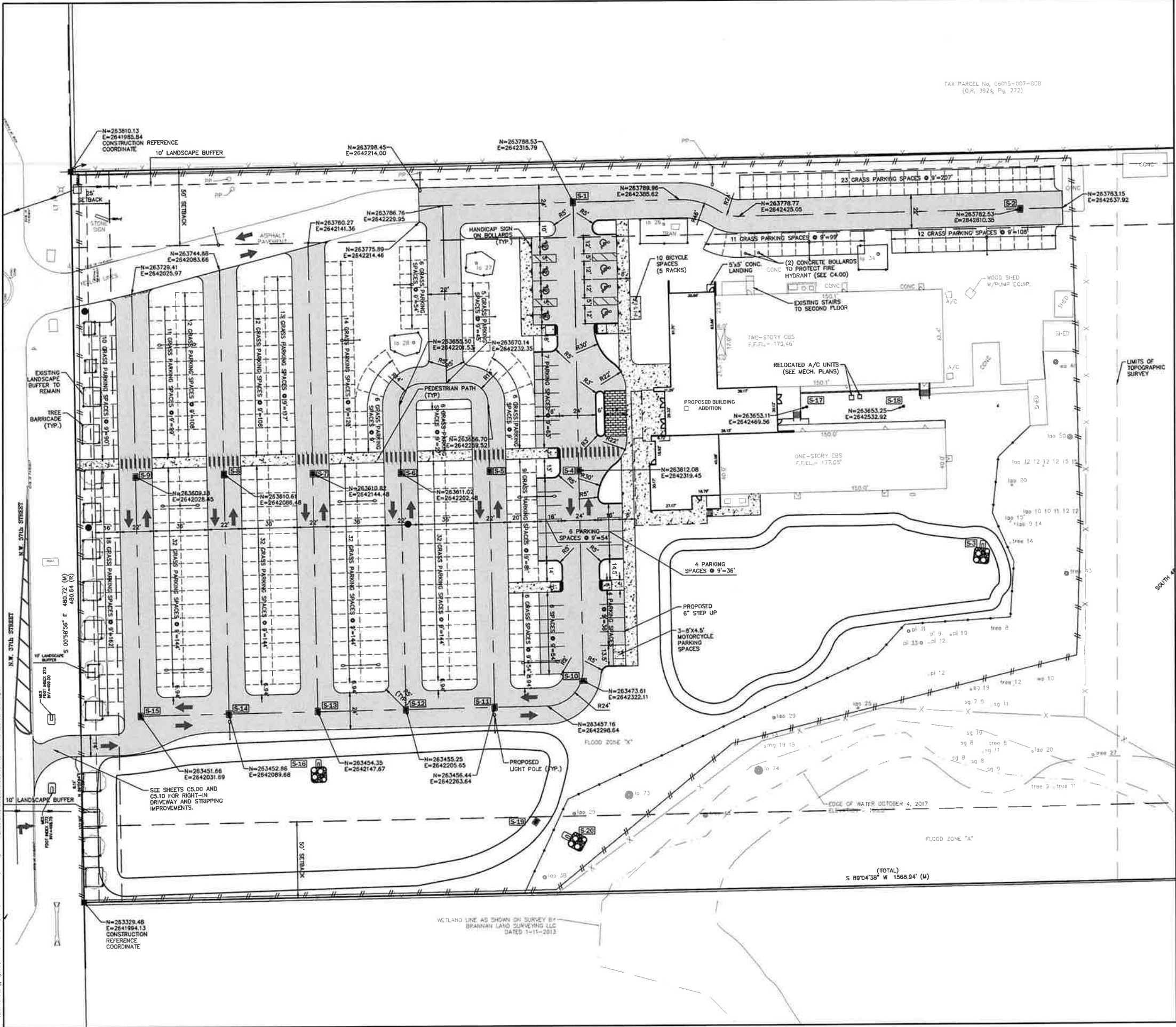
Professional Engineer of Mecc

15/12/2015

Engineer's Certificate No. 17311

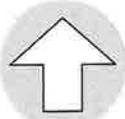
Sheet No.:

C0.30



GENERAL NOTES

1. ALL PARKING LOT DIMENSIONS AND RADII SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NOT CURB PROPOSED. ALL RADIAL PARKING IS 9' MIN. WIDTH AT NARROWEST POINT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
3. ELECTRIC SERVICE TO BE COORDINATED WITH G.R.U. ELECTRIC ENGINEERING DEPARTMENT.
4. SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.
5. SEE SHEET C2.00 PAVING GRADING AND DRAINAGE PLAN FOR STORMWATER STRUCTURE SCHEDULE WITH COORDINATE TIE-DOWN LOCATIONS OF STORM STRUCTURES.
6. SEE SHEET C4.00 UTILITY PLAN FOR WASTE WATER STRUCTURE SCHEDULE WITH COORDINATE TIE-DOWN LOCATIONS.



NORTH

SCALE: 1" = 30'



GRAPHIC SCALE



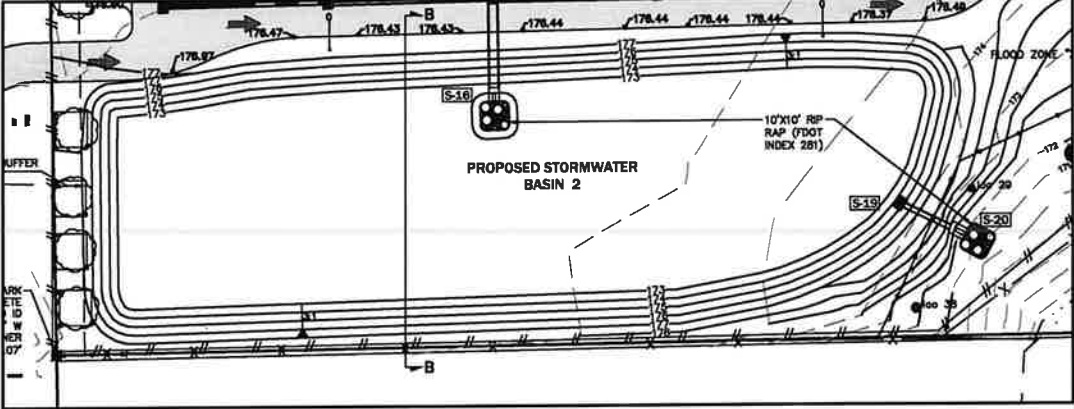
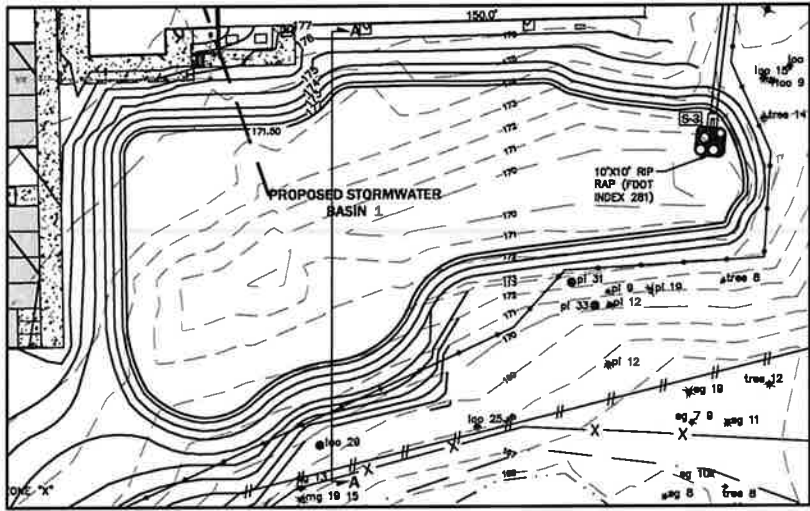
ALVIE CHURCH
CITY OF GAINESVILLE, FLORIDA

DIMENSION PLAN

Project phase:	CITY SUBMITTAL
Design:	S.S. (Drawn: M.B.)
Project No.:	16-247
Date:	07/10/18
Professional Engineer of Record:	SE 16011, State of Florida, License No. 27111
Engineer:	SE 16011, State of Florida, License No. 27111

Sheet No.:

C1.00



CITY OF GAINESVILLE
STORMWATER MANAGEMENT
SUMMARY SHEET

THE PUBLIC WORKS DEPARTMENT IS REQUESTING YOUR ASSISTANCE IN ORDER TO STREAMLINE SITE PLAN REVIEW AND TO ASSURE ACCURATE DATA IS UTILIZED IN THE STORMWATER MANAGEMENT UTILITY PROGRAM. PLEASE PROVIDE THE STORMWATER MANAGEMENT DATA REQUESTED IN SECTION II BELOW. THIS INFORMATION IS REQUIRED FOR FINAL SITE PLAN SUBMITTALS ONLY. IF THERE ARE ANY QUESTIONS REGARDING THIS FORM, PLEASE CALL ROCK WELTZER, P.E. DEVELOPMENT REVIEW ENGINEER, AT 334-2051. YOUR HELP IS APPRECIATED.

I. GENERAL

A. SITE PLAN No. _____ E. PROJECT NAME: ALIVE CHURCH
B. TAX PARCEL No. 06015-008-000 F. ADDRESS: 5805 N.W. 37TH STREET
C. TAX MAP No. _____
D. FINAL SITE PLAN SIGN OFF _____ INITIALS _____

II. SITE INFORMATION

A. TOTAL IMPERVIOUS AREA ON SITE: 100,883 s.f.

B. STORMWATER MANAGEMENT BASIN DATA

Basin No.	Retention Volume (cfs)	Retention Volume Surface Water Area (sq ft)	Elevation At Which Surface Water Discharge Begins from Basin (ft.-m)
1	43,153	18,517	174.00
2	95,782	28,285	174.75
3			
4			
5			
6			
TOTAL	138,935	47,802	

NOTES:

- PLEASE MAKE SURE THAT THE BASIN NUMBERS GIVEN ABOVE CORRESPOND WITH THOSE ON THE SITE PLAN.
- RETENTION VOLUME IS THAT VOLUME OF WATER STORED WITHIN THE BASIN WHICH "LEAVES" THE BASIN ONLY BY PERCOLATION INTO THE GROUND OR INTO AN UNDERDRAIN SYSTEM.
- "RETENTION VOLUME SURFACE WATER AREA" IS THAT AREA DEFINED BY THE MAXIMUM RETENTION VOLUME WATER SURFACE LEVEL.

PREPARED BY: SERGIO REYES
PETITIONER'S ENGINEER

DATE: 07/13/18

MAINTENANCE NOTES

1. MAINTENANCE RESPONSIBILITY:

WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING STORMWATER MANAGEMENT SYSTEM.

2. MAINTENANCE PLAN:

- BASINS SHALL BE MOWED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.
- BASIN SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPED CLEAN MORE OFTEN AS THE CONDITION DICTATES.
- BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).
- BASIN THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.
- THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.



NORTH
scale



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TEL: (352) 379-5841 FAX: (352) 379-2448
www.eds4u.com mail@eds4u.com

ALIVE CHURCH
CITY OF GAINESVILLE, FLORIDA

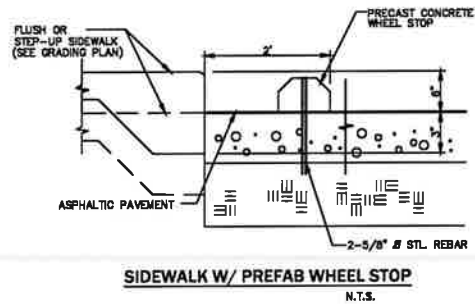
BASIN DETAILS

Project: CITY SURMITAL
Design: S.R. Reyes, M.A.S. Checked: TAR
Project No. 18-000 Date: 07/10/18
Professional Engineer of Record:
Sergio L. Reyes, P.E. License No. 1357311
Engineer Seal

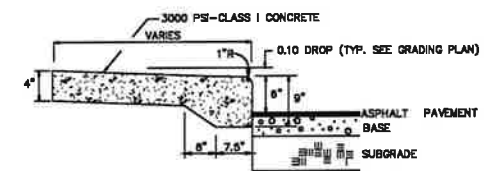
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C2.10

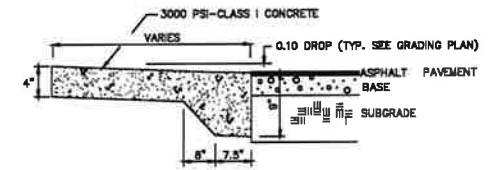
\\SRV183\eng\spec\alve Church 2017\Plan\Current\DWG\A46207.DWG, C2.20-P00 DETAILS, 7/20/2018 4:52:21 AM, mlatrone.dwg to 016.pdf



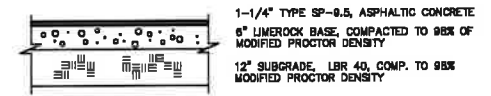
SIDEWALK W/ PREFAB WHEEL STOP
N.T.S.



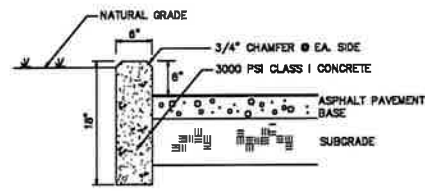
TYPICAL STEPUP SIDEWALK
N.T.S.



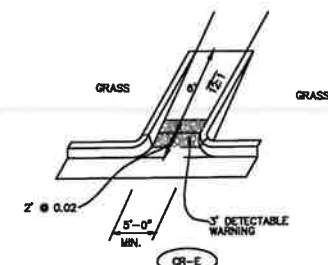
TYPICAL FLUSH SIDEWALK DETAIL
N.T.S.



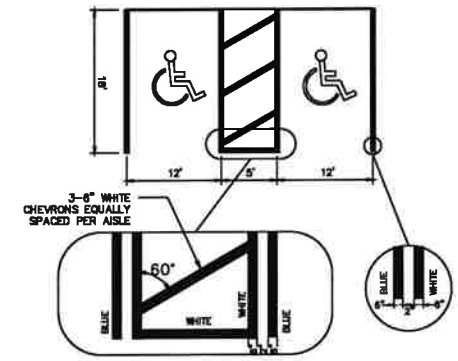
TYPICAL ASPHALT PAVEMENT DETAIL
N.T.S.



6" STANDARD CURB DETAIL
N.T.S.



CURB RAMP (TYP.)
N.T.S.



HANDICAP STRIPING DETAIL
N.T.S.



SIGN NOTES:
1. SIGN TO BE MADE OF 0.063" STEEL PAINTED WITH TRAFFIC PAINT
2. HANDICAP SIGN TO BE AS SHOWN ABOVE OR AS REQUIRED BY LOCAL CODE PAINT SIGN BLUE AND WHITE
HANDICAP PARKING SIGN DETAIL
N.T.S.

PAVING, GRADING AND DRAINAGE
SPECIFICATIONS

1. GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.O.D.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.O.D.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
 - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE "B" CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 180 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
 - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-PG 67-22 ASPHALT BINDER. NO RAP (RECLAIMED ASPHALT PAVEMENT) MATERIAL IS ALLOWED TO BE USED IN ASPHALT MIX.
4. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBS SHALL BE CLASS I CONFORMING TO SECTION 348.
5. REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 430.
6. ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
7. ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.O.D.T. AND M.U.T.C.D. STANDARDS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
9. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT SUBGRADE AND BASE COURSE. IN ACCORDANCE WITH THE DESIGN SECTION, A MINIMUM OF 3 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
10. LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
11. ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
12. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE, AND WASTED DEBRIS, EXISTING TREES AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH 5.5-6.5.
13. TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.
14. CITY RIGHT-OF-WAY:
 - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE COUNTY ROW SHALL CONFORM TO THE REQUIREMENT SPECIFIED BY THE PUBLIC WORKS DEPARTMENT.
 - B. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-8070), AND THE CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
 - C. THE PUBLIC WORKS DEPARTMENT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THE ROW TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORNE BY THE DEVELOPER.
15. COUNTY RIGHT-OF-WAY:
 - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE COUNTY ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT.
 - B. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE ROW, WITHOUT INSPECTION BY THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT (482-2147), AND THE CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
16. STATE RIGHT-OF-WAY:
 - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
 - B. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY AND STATE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-8070), AND FOOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.

SCALES:
AS SHOWN

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1832 NW 1st St., Suite 100
Gainesville, FL 32601
TEL: 352.377.3441 FAX: 352.377.2749
www.edsfl.com mail@edsfl.com

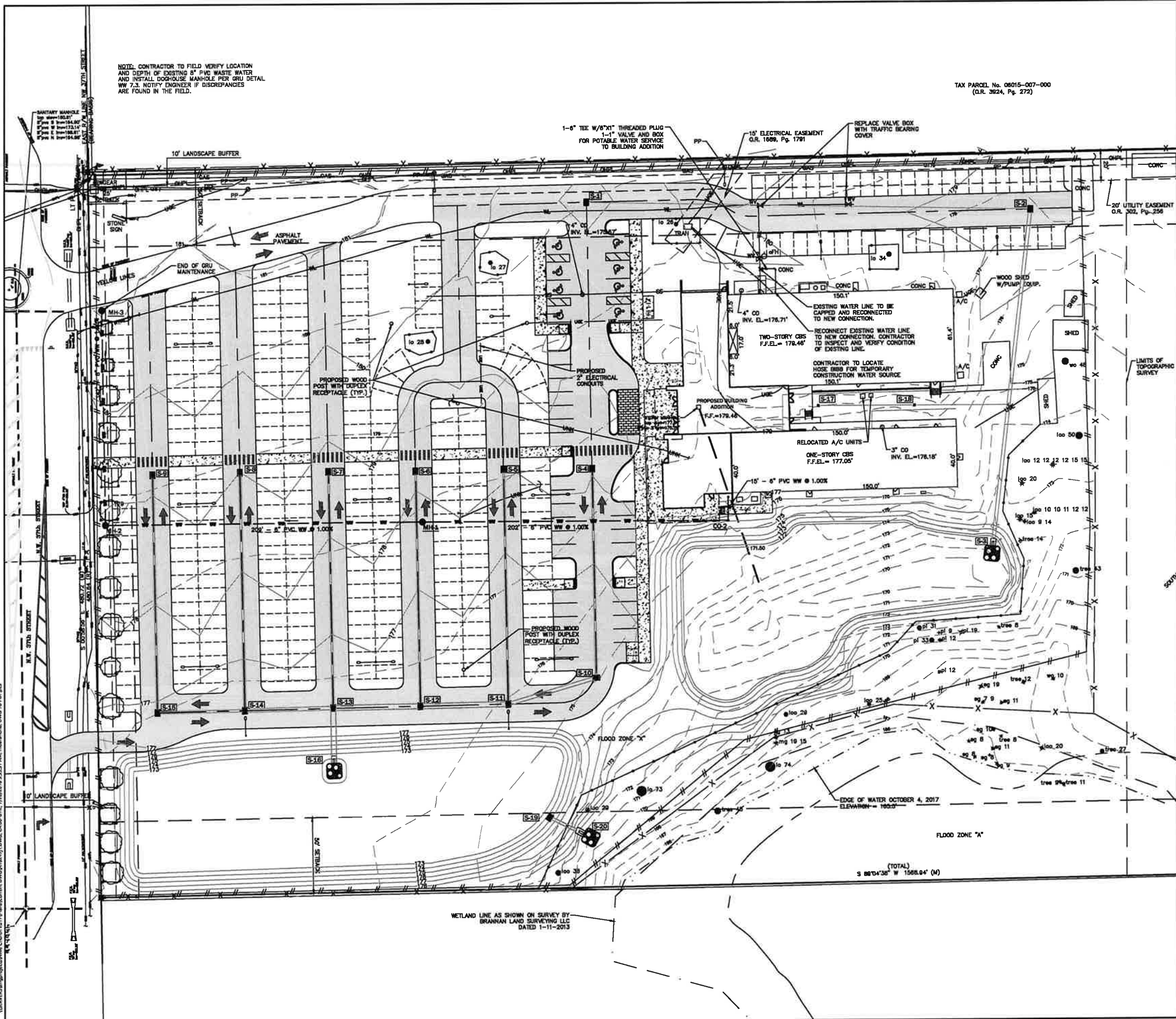
ALIVE CHURCH
CITY OF GAINESVILLE, FLORIDA

PAVING, GRADING, AND DRAINAGE DETAILS AND NOTES

Project:	CITY SUBMITTAL
Design:	SAP (Smith, Mac)
Project No.:	17-262
Project Date:	07/20/18
Professional Engineer of Record:	
Professional Engineer License No.:	12345
Engineer:	Sergio L. Lopez, P.E.
Engineer License No.:	12345

Sheet No.:

C2.20



NOTE: CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 8" PVC WASTE WATER AND INSTALL DOORHOUSE MANHOLE PER GRU DETAIL WW 7.3. NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND IN THE FIELD.

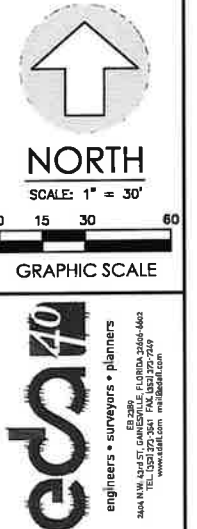
TAX PARCEL No. 08015-007-000 (O.R. 3824, Pg. 272)

GRU UTILITY NOTES

1. A SEPARATE UTILITY PERMIT WILL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED UTILITIES (WATER & WASTEWATER).
2. THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR GRANT A BLANKET EASEMENT OVER THE ENTIRE PROPERTY, PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/WW/ROW DESIGN STANDARDS.
3. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
4. POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
5. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRANTY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES. NOTE: THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKES ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKES, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/ROW CONSTRUCTION DETAIL W-1.0), WITH A ONE-YEAR WARRANTY.
6. POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKES ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKES, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/ROW CONSTRUCTION DETAIL W-1.0), WITH A ONE-YEAR WARRANTY.
7. 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESIDENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
8. WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS) TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
9. 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3' INSIDE CITY OF GAINESVILLE LIMITS).
10. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
11. ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.8 & 2.8, ROW-2.8 & 2.8, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
12. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 35) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
13. WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS ADJACENT TO PAVED AREAS SHALL BE RATED FOR TRAFFIC LOAD BEARING. WASTEWATER CLEANOUT COVERS IN OTHER SIDEWALKS/WALKWAYS SHALL BE BRASS WITH A SQUARE RECESS.
14. MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
15. UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF CLEANOUT.
16. WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.
17. A/C CONDENSATE SHALL NOT FLOW INTO WASTEWATER SYSTEM.

WASTEWATER STRUCTURE SCHEDULE		
STRUCTURE	STRUCTURE DATA	NORTHING/EASTING
MH-1	TOP EL.=177.72 E 6" INV.=170.07 W 6" INV.=169.97	N 283577.3334 E 2842207.0897
MH-2	TOP EL.=178.84 E 6" INV.=167.87 N 6" INV.=167.77	N 283576.0721 E 2841987.4482
MH-3 DOORHOUSE MH	TOP EL.=180.87 S 6" INV.=180.35	N 283718.3484 E 2841984.8830

SANITARY CLEANOUT SCHEDULE		
CLEANOUT	CLEANOUT DATA	CLEANOUT DEPTH
CO-1	TOP EL.=178.26 INV.=172.26	7.01'
CO-2	TOP EL.=178.15 INV.=172.10	4.06'







ALIVE CHURCH
CITY OF GAINESVILLE, FLORIDA

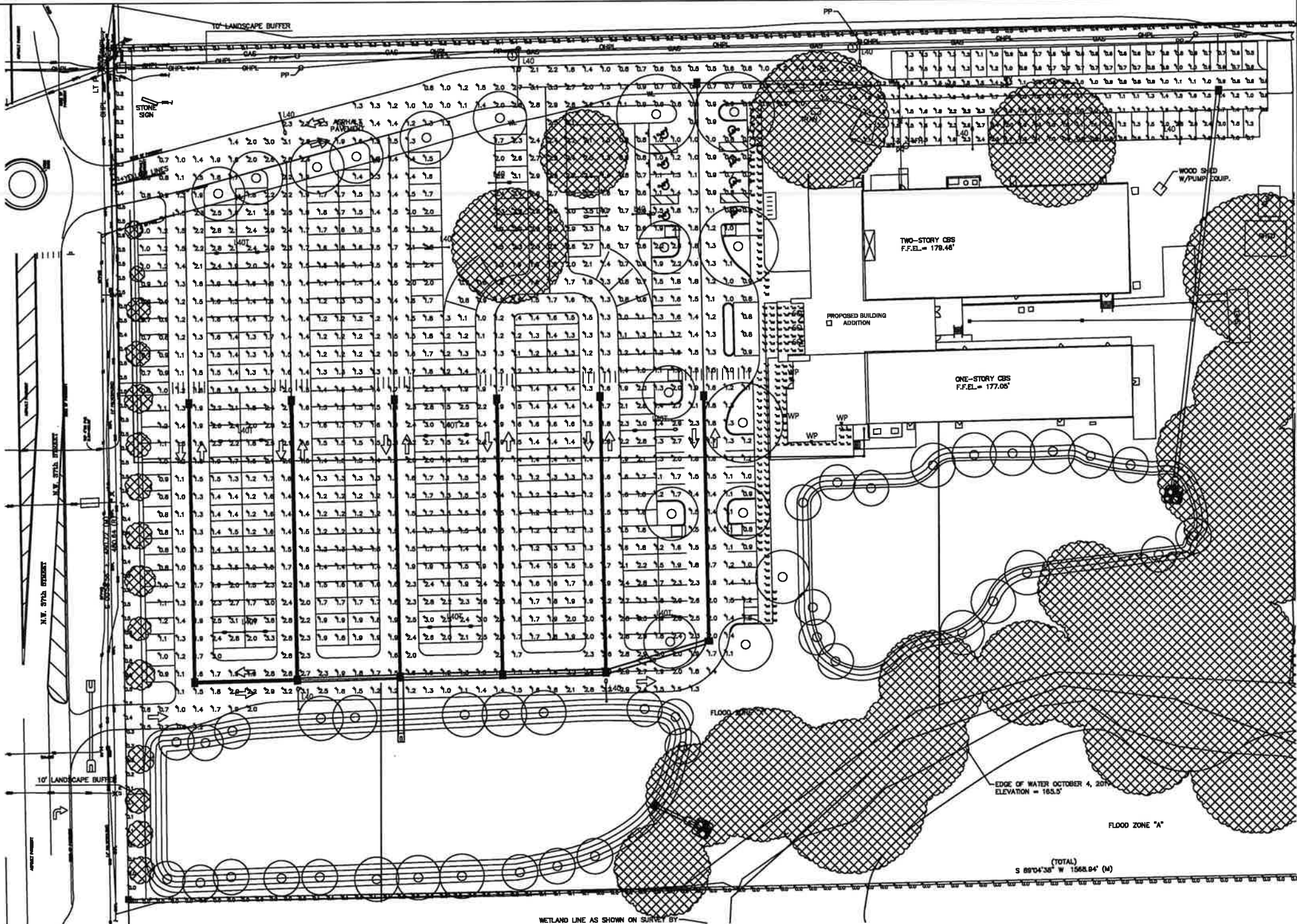
UTILITY PLAN

Project: CITY SUBMITTAL
Design: S.D. (Owner: 300.0) (Weekend: TWR)
Project No: C-247 (Date: 07/10/18)
Professional Engineer of Project: [Signature]
Engineer: J. [Signature] (Date: 07/10/18)
Sheet No: C4.00

C4.00

Photometric Statistics						
Description	Avg	Max	Min	Max/Min	Avg/Min	Code
ENTRY WALK	1.0 fc	1.9 fc	0.5 fc	3.8:1	2.0:1	30-6.12(E)(3)(a)
MAIN ENTRY	4.2 fc	6.6 fc	1.2 fc	5.5:1	3.5:1	30-6.12(E)(3)(a)
SIDE ENTRY	2.4 fc	3.6 fc	1.5 fc	2.4:1	1.8:1	30-6.12(E)(3)(a)
SIDE PARKING LOT	1.3 fc	2.7 fc	0.5 fc	5.4:1	2.8:1	30-6.12(E)(4)(b)
MAIN PARKING LOT	1.6 fc	3.6 fc	0.5 fc	7.2:1	3.2:1	30-6.12(E)(4)(b)
NORTH PROP LINE	0.3 fc	0.5 fc	0.1 fc	5.0:1	3.0:1	30-6.12(D)(2)(b)(ii)
SOUTH PROP LINE	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	30-6.12(D)(2)(b)(ii)
WEST PROP LINE	0.4 fc	0.6 fc	0.0 fc	N/A	N/A	30-6.12(D)(2)(b)(iv)

Fixture Schedule for Photometrics							
Symbol	Label	QTY		Catalog Number	Description	Lamp	Number Lamps
	L40	11	GE LIGHTING SOLUTIONS (BY GRU)	ERLH-0-13-C3-30-A-GRAY-GLR-052 (GRU STOCK #58337-5)	Evolve LED Roadway Streetlight-ERLH	LED	1
	L40T	7	GE LIGHTING SOLUTIONS (BY GRU)	TWO ERLH-0-13-C3-30-A-GRAY-GLR-052 (GRU STOCK #58337-5)	Evolve LED Roadway Streetlight-ERLH	LED	1
	WP	4	PHILIPS GARDCO	111L-1BL-550-NW-G2-3	111 Mini Sconce LED	LEDGINE 3 IP20 WITH 16 CREE XPG2 LEDS	1
	60	3	PEACHTREE LIGHTING	88LRD 20 35K SH	FABRICATED METAL HOUSING, EXTRUDED FINNED METAL HEAT SINK, 1 WHITE CIRCUIT BOARD WITH ONE 60 LED ARRAY	SIXTY WHITE LIGHT EMITTING DIODES (LEDs), VERTICAL BASE-UP POSITION.	1



FIXTURE SCHEDULE NOTES.

1. FIXTURE TYPE '60' IS A RECESSED LED CEILING MT FIXTURE. DUE TO THE RECESSED NATURE OF THE FIXTURE, THE INSTALLATION IS FULL CUT-OFF.
2. FIXTURE TYPE 'WP' IS A FULL CUT-OFF, WALL MT LED FIXTURE.
3. FIXTURE TYPES 'L40' AND 'L40T' ARE FULL CUT-OFF, POLE MT, ROADWAY TYPE LED FIXTURES BY GRU. THE FIXTURES SHALL BE INSTALLED ON A 30FT DIRECT-BURY WOOD POLE (GRU STOCK #77306-9) W/ 5FT BELOW GRADE AND ON 10FT ARM (GRU STOCK #52573-1).
4. DUE TO THE FULL CUT-OFF NATURE OF ALL PROPOSED FIXTURES, THE LIGHT LEVELS AT 5FT ABOVE THE FIXTURE ARE 0.0FC BY DEFINITION IN ACCORDANCE WITH 30-6.12(D)(1)(b).

PHOTOMETRIC NARRATIVE

THE FOLLOWING IS INTENDED TO SERVE AS A DESIGN NARRATIVE FOR THE PHOTOMETRIC ANALYSIS AND SITE LIGHTING DESIGN.

THIS DESIGN ENCOMPASSES LIGHTING FOR A PROPOSED CHURCH ADDITION AND ASSOCIATED PARKING AREAS. THE SITE IS LOCATED EAST OF NW 37TH STREET. THERE ARE SINGLE-FAMILY RESIDENCES TO THE NORTH AND SOUTH SIDES.

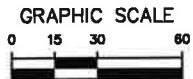
PROPOSED SITE LIGHTING IS ACCOMPLISHED WITH POLE MOUNTED LED FIXTURE PROVIDED BY GRU. SECURITY LIGHTING IS COMPRISED OF BUILDING MOUNTED, FULL CUT-OFF LED FIXTURES THAT WILL OPERATE FROM DUSK-TO-DAWN IN ACCORDANCE WITH 30-6.12(D)(1)(g).

LIGHT TRESPASS VALUES ARE WITHIN REQUIRED LIMITATIONS AT ALL POINTS.

OVERALL, THIS DESIGN PROVIDES SAFE LIGHTING FOR PATRONS WHILE CONFORMING WITH THE PROVISIONS OF 30-6.12 AND MINIMIZING IMPACT ON NEIGHBORING PROPERTIES.

SITE PHOTOMETRIC PLAN

SCALE: 1" = 30'-0"



PLAN NOTES

1. FIXTURE TO BE MOUNTED ON EXISTING UTILITY POLE.

GENERAL NOTES

1. HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
2. FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
3. POLES SHALL BE LOCATED MINIMUM 24" BEHIND CURB.

HUNTER DESIGN AND CONSULTING, INC.

735 ARLINGTON AVE N, STE 308

ST. PETERSBURG, FL 33701

352-238-6366

FLORIDA CA #31946, PE #76961

ALIVE CHURCH
SITE LIGHTING PLAN

GAINESVILLE, FLORIDA

PROJECT INFORMATION

PROJECT NUMBER: 18038
DRAFTED: K. HUNTER
DESIGNED: K. HUNTER
REVIEWED: K. HUNTER
ISSUE DATE: 7/23/18

REVISIONS

SHEET NUMBER

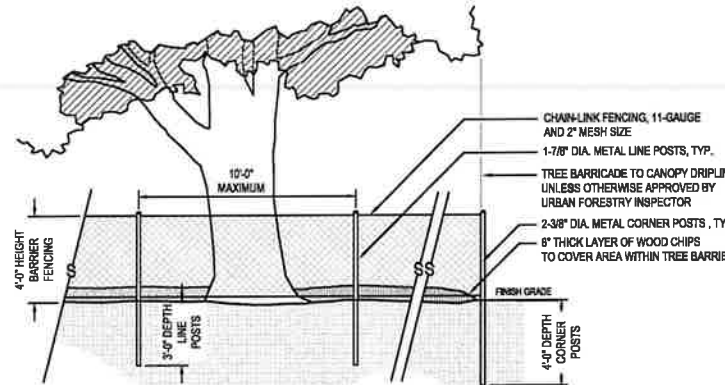
E-1

LANDSCAPE NOTES

- PRE-CONSTRUCTION MEETING:** CONTACT THE CITY OF GAINESVILLE URBAN FORESTRY INSPECTOR AT 352-334-5023 TO SCHEDULE A TREE BARRICADE INSPECTION AND TO REVIEW PROPOSED LANDSCAPE MATERIALS BEFORE BEGINNING ANY CLEARING, SITE WORK, OR INSTALLATION ACTIVITIES. CONTACT A MINIMUM OF THREE DAYS PRIOR TO REQUESTED MEETING DATE.
- EXISTING TREE PROTECTION:** PROTECTIVE BARRIERS SHALL BE CONSTRUCTED AS INDICATED IN DEMOLITION PLANS TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS. PROTECTED TREES SHALL INCLUDE THOSE TREES THAT HAVE NOT BEEN PERMITTED NOR DESIGNATED FOR REMOVAL AS SHOWN IN DEMOLITION PLANS BY EITHER THE TERMS OF THE PERMIT OR APPROVED DEVELOPMENT ORDER. PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES, OR STORED MATERIALS. BARRIERS SHALL BE INSPECTED BY THE URBAN FORESTRY INSPECTOR PRIOR TO PROCEEDING WITH SITE WORK. SEE TREE PROTECTION DETAILS FOR SPECIFIC REQUIREMENTS FOR BOTH REGULATED TREES AND HIGH-QUALITY, HERITAGE TREES.
- EXISTING UTILITIES:** LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL - SEE LOGO BELOW.
- INVASIVE SPECIES:** REMOVE INVASIVE, NONNATIVE PLANT SPECIES AS LISTED ON THE FLORIDA PROHIBITED AQUATIC PLANTS LIST OR THE FLORIDA NOXIOUS WEED LIST FROM THE SITE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. ALL HERBICIDE APPLICATIONS TO CONTROL INVASIVE, NONNATIVE PLANTS IN WETLAND OR UPLAND SET-ASIDE AREAS, INCLUDING BUFFERS, SHALL BE APPLIED BY A CONTRACTOR LICENSED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF AGRICULTURAL ENVIRONMENTAL SERVICES, WITH A CURRENT CERTIFICATION IN NATURAL AREAS WEED MANAGEMENT.
- PLANTING PREPARATION:** REMOVE ALL CONSTRUCTION DEBRIS, LIMESTONE, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH pH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTINGS.
- PRUNING:** IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI A300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH—SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.
- MINIMUM PLANTING AREA:** A MINIMUM ROOTZONE VOLUME OF 700 CUBIC FEET SHALL BE PROVIDED FOR STREET TREES. IF STREET TREES SHARE A ROOTZONE, VOLUME SHALL BE A MINIMUM OF 550 CUBIC FEET. ALL OTHER REQUIRED SHADE TREES SHALL BE HAVE A MINIMUM OF 420 CUBIC FEET OF ROOTZONE VOLUME. PROVIDE A MINIMUM THREE FOOT DEEP PLANTING DEPTH FOR ALL PROPOSED PLANTING AND TURF AREAS.
- PLANT MATERIAL, GENERAL:** ALL PLANT MATERIALS SHALL MEET FLORIDA NUMBER 1 REQUIREMENTS AS PER THE MOST CURRENT EDITION OF "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS", FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- PROPOSED TREES:** ALL TREES TO BE A MINIMUM OF SEVEN FEET TALL AND HAVE A MINIMUM TRUNK CALIPER OF TWO INCHES. TREES SHALL BE IN 30-GALLON MINIMUM CONTAINERS OR, IF FIELD GROWN, HAVE A MINIMUM ROOTBALL DIAMETER OF 28 INCHES. NEW TREES LOCATED OUTSIDE OF LARGER PLANTING AREAS TO HAVE 10" OF PLASTIC DRAIN TUBING INSTALLED AROUND THE BASE OF THEIR TRUNK TO PROTECT FROM MOWER AND STRING TRIMMER IMPACTS.
- NEW TREE STAKING:** IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS. PROPOSED STAKING METHOD TO BE APPROVED BY URBAN FORESTRY INSPECTOR PRIOR TO INSTALLATION.
- SOD:** ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUND COVER PLANTINGS SHALL BE SODDED. SEE CIVIL PLANS FOR SODDING INFORMATION FOR STORMWATER FACILITIES. SOD SHALL BE SAND-GROWN, STRONGLY ROOTED, WITHOUT SYNTHETIC STABILIZING MATERIALS, FREE OF PESTS, AND CERTIFIED FREE OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
- MULCHING:** FOUR INCHES OF MULCH SHALL COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUND COVER PLANTING AREAS. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE BARK "MINI NUGGETS" MULCH IN ALL AREAS EXCEPT STORMWATER FACILITIES, IN WHICH PINE STRAW SHALL BE USED. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES.
- IRRIGATION:** AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR DEVELOPMENT. IRRIGATION DESIGN SHALL PROMOTE WATER CONSERVATION METHODS AND SHALL INCLUDE TWO BUBBLERS OR MICRO-SPRAYS AT EACH NEW TREE.
- RESPONSIBILITY:** OWNER IS RESPONSIBLE FOR THE SURVIVAL OF PLANTINGS AND REMOVAL OF ALL TREE STAKING, IF INSTALLED, FOR ONE YEAR FOLLOWING RECEIPT OF CERTIFICATE OF OCCUPANCY. IF A TREE THAT IS REQUIRED FOR MITIGATION OR TO FULFILL THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE DIES OR IS SEVERELY DAMAGED, AS DETERMINED BY THE CITY MANAGER OR DESIGNEE, THEN THE TREE MUST BE REPLACED WITHIN SIX MONTHS OF THE DETERMINATION.
- TRANSPORTATION MOBILITY PROGRAM AREA:** THIS PROJECT IS LOCATED WITHIN ZONE B OF THE T.M.P.A. AS SUCH, PROPOSED STREET TREES ALONG NW 37th STREET TO BE 65-GAL. SIZE, 14-18" HEIGHT, AND 3.5" CALIPER, MIN.

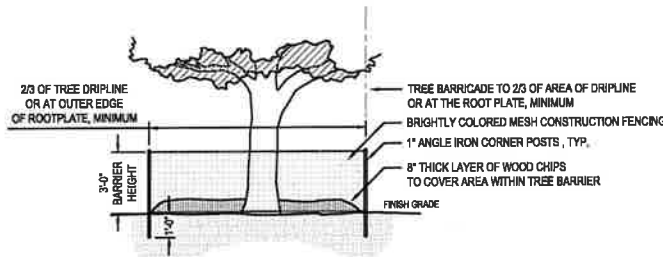


- NOTE:
- DO NOT STORE MATERIALS OR ALLOW ENCROACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA. NO BUILDING MATERIALS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS, EXCEPT SHORT-DURATION PLACEMENTS OF CLEAN FILL SOIL THAT WILL NOT HARM THE TREE.
 - NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL.
 - LANDSCAPE PREPARATION IN THE PROTECTED AREA SHALL BE LIMITED TO SHALLOW DISCING OF THE AREA. DISCING SHALL BE LIMITED TO A DEPTH OF FOUR INCHES UNLESS SPECIFICALLY APPROVED OTHERWISE.
 - TREE BARRIERS TO REMAIN IN PLACE UNTIL LANDSCAPING OPERATIONS BEGIN. ONCE REMOVED, VEHICLE AND EQUIPMENT TRAFFIC AND STORAGE OF MATERIALS WITHIN AREA SHALL BE MINIMIZED AS MUCH AS POSSIBLE.



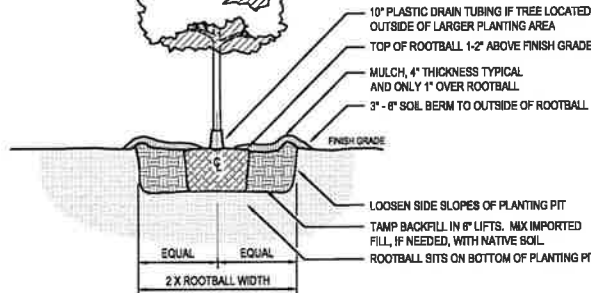
1 TREE PROTECTION: HIGH-QUALITY, HERITAGE TREE
SCALE: N.T.S.

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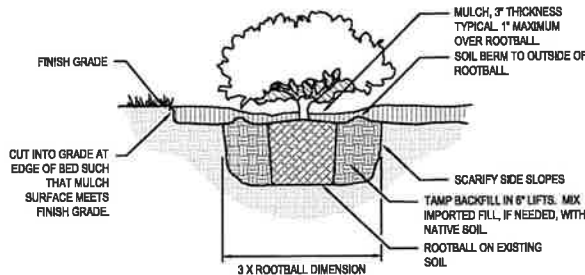


2 TREE PROTECTION: TYPICAL REGULATED TREE
SCALE: N.T.S.

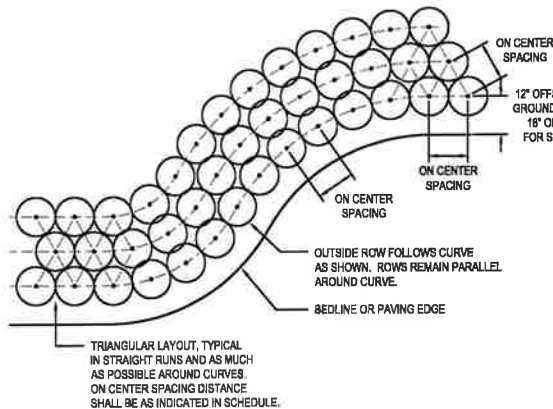
- NOTE:
- ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.
 - REMOVE TREE FROM CONTAINER OR REMOVE UPPER 1/3 OF BURLAP AND WIRE MESH FOR TAB TREES.
 - SLICE ROOTBALL VERTICALLY ON OUTSIDE EDGES OF AND AROUND ROOTBALL.
 - TREE TO BE PLUMB. STAKE TREE IF NEEDED. SUBMIT TREE STAKING DETAILS AND LAYOUT FOR APPROVAL.



3 TREE PLANTING DETAIL
SCALE: N.T.S.



4 SHRUB AND ORNAMENTAL GRASS PLANTING DETAIL
SCALE: N.T.S.



5 SHRUB AND ORNAMENTAL GRASS LAYOUT DETAIL
SCALE: N.T.S.

PROJECT NAME:
**Alive Church
Building &
Parking
Expansion**

5805 NW 37th Street
Gainesville, FL 32653

for
Alive Church

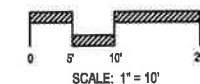
SUBCONSULTANT:

SCALE:

PROJECT NO: 18-029
CLIENT'S NO.:
ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 23 JULY 2018
REVISIONS:

SCALE:



SHEET TITLE:
**Plant Schedule,
Landscape Plan
& Calculations**

SHEET NUMBER:

L.002

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
AR	8	Acer rubrum 'Florida Flame'	Florida Flame Red Maple	30 gal., 11' ht. x 48" sprd., 2" cal.	As shown	
BN	10	Betula nigra 'Duraheat'	Duraheat River Birch	30 gal., 11' ht. x 48" sprd., 2" cal.	As shown	
MGB	8	Magnolia grandiflora 'Bracken Brown Beauty'	Bracken's Southern Magnolia	30 gal., 11' ht. x 48" sprd., 2" cal.	As shown	Full to ground
QV	4	Quercus virginiana	Southern Live Oak	30 gal., 11' ht. x 48" sprd., 2" cal.	As shown	
TD	15	Taxodium distichum	Bald Cypress	30 gal., 10' ht. x 48" sprd., 2" cal.	As shown	
UA	13	Ulmus alata	Winged Elm	30 gal., 11' ht. x 48" sprd., 2" cal.	As shown	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
MC	77	Muhlenbergia capillaris	Pink Muhly	1 gal., 18" ht., full	30" o.c.	
PQ	65	Paspalum quadrifarium	Crowgrass	1 gal., 18" ht., full	38" o.c.	
TF	74	Triplaris dactyloides	Fakahatchee Green	1 gal., 18" ht., full	38" o.c.	
VM	143	Viburnum coccineum 'Mrs Shillers Delight'	Mrs Shillers Delight Viburnum	3 gal., 24" ht. x 18" sprd.	24" o.c.	
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	
SOD		Paspalum notatum 'Argentine'	Bahia Grass	sod	Sand grown and weed free	

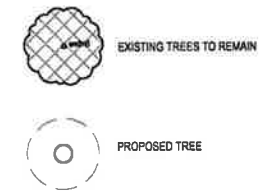
SPECIFIC LANDSCAPE REQUIREMENTS

- TREE SPECIES DIVERSITY**
 - LDC SEC. 30-8.3.A.6. DEVELOPMENTS WHICH REQUIRE 18 OR MORE SHADE TREES SHALL HAVE AT LEAST FOUR DIFFERENT HIGH QUALITY SHADE TREE SPECIES.
 - REQUIRED: 4 SHADE TREE SPECIES TOTAL.
 - PROVIDED: 6 SHADE TREE SPECIES TOTAL.
- COMPATIBILITY BUFFERS**
 - LDC SEC. 30-8.3.A.7. COMPATIBILITY BUFFERS: PER CHART A. LAND USE BUFFER TYPES. SITE IS ZONED RSF-2. ADJACENT PARCELS ARE ALSO ZONED RSF-2.
 - REQUIRED: NO COMPATIBILITY BUFFERS ARE REQUIRED.
 - PROVIDED: NONE.
- PROJECT ROADWAY FRONTAGE**
 - LDC SEC. 30-8.3.A.7. STREET LANDSCAPING: 1 HIGH QUALITY SHADE TREE/ 30-50 LINEAR FEET OF STREET FRONTAGE MINUS DRIVEWAY WIDTHS. MIN. TREE SPACING OF 25 FT. AND MAX. OF 60 FT. STREET TREES SHALL BE HIGH QUALITY SHADE TREES AND SHALL BE PLANTED IN TREE LAWNS WITH A MINIMUM WIDTH OF EIGHT FEET, OR WITHIN TREE WELLS WITH MINIMUM FOUR-FOOT BY FOUR-FOOT SURFACE OPENINGS. WHERE POSSIBLE, STREET TREES SHALL BE PLANTED BETWEEN THE STREET AND THE PUBLIC SIDEWALK. PRESERVED TREES MAY BE UTILIZED TO MEET REQUIREMENT.
 - PROPOSED TREE PLANTINGS ALONG CITY OF GAINESVILLE ROADWAYS SHALL ADHERE TO THE LATEST EDITION OF THE CITY OF GAINESVILLE'S "ENGINEERING, DESIGN, AND CONSTRUCTION MANUAL" PER SEC 30-8.3.A.7. THIS MANUAL FURTHER SPECIFIES THAT ROADWAY DESIGN WITHIN

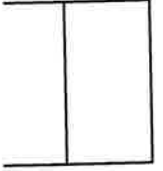
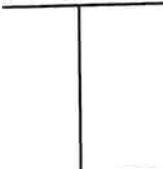
- THE CITY OF GAINESVILLE SHALL ADHERE TO THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS (FLORIDA GREENBOOK).
- REQUIRED: NW 37th STREET + 445 LF/50 = 9 CANOPY TREES
- PROVIDED: NW 37th STREET = 15 CANOPY TREES (EXISTING TO REMAIN)
- STORMWATER MANAGEMENT FACILITY**
 - LDC SEC. 30-8.6. LANDSCAPING OF STORMWATER MANAGEMENT AREAS: 1 HIGH QUALITY SHADE TREES PER 35 LINEAR FEET (ON AVERAGE) OF BASIN PERIMETER WITH MINIMUM TREE SPACING OF 10 FEET. 25% OF PLANTING AREAS/LITTORAL ZONE SHALL BE LANDSCAPED WITH SHRUBS, GROUNDCOVERS, NATIVE PERENNIALS, OR AQUATIC PLANTS.
 - POND 1 REQUIRED: TOTAL TOP OF BANK/BASIN PERIMETER = 820 LF/35 = 18 TREES. TOTAL LITTORAL PLANTING AREA OF BASIN= TOP 2' OF POND = 3,598 x 25% = 900 SF.
 - POND 1 PROVIDED: 18 TREES. PROPOSED LITTORAL PLANTING AREA = 920 SF.
 - POND 2 REQUIRED: TOTAL TOP OF BANK/BASIN PERIMETER = 750 LF/35 = 20 TREES. TOTAL LITTORAL PLANTING AREA OF BASIN= TOP 2' OF POND = 4,390 x 25% = 1,098 SF.
 - POND 2 PROVIDED: 22 PROPOSED TREES + 4 EXISTING TREES TO REMAIN. PROPOSED LITTORAL PLANTING AREA = 1,232 SF.
 - VEHICULAR USE AREAS**
 - LDC SEC. 30-8.4. VEHICULAR USE AREAS: PERIMETER - ALL VEHICULAR USE AREAS SEPARATED FROM ADJACENT STREET AND ADJACENT PROPERTIES BY 8' WIDE PERIMETER LANDSCAPE AREA UNLESS SCREENED BY BUILDINGS/STRUCTURES OR PARKING IS CONTIGUOUS WITH ADJACENT

- SITE PER AGREEMENT, 1 HIGH QUALITY SHADE TREES PER 35 LINEAR FEET ON AVERAGE EXCLUDING DRIVEWAYS. TREE ON CENTER SPACING MAX. OF 55' AND MIN. OF 25'. SHRUBS AROUND PERIMETER FOR CONTINUOUS VISUAL SCREEN OF 75% OPACITY AND TO REACH A HEIGHT OF 3' IN THREE YEARS. EXISTING VEGETATION TO REMAIN MAY BE APPROVED TO PROVIDE ABOVE SCREENING.
- REQUIRED:
- EXISTING VEGETATION OF ADJACENT PARCEL TO THE NORTH FULFILLS NORTHERN REQUIREMENT, PLANTINGS ARE REQUIRED ALONG NW 37th STREET FRONTAGE AND ALONG SOUTHERN PERIMETER.
 - NW 37th STREET FRONTAGE = 280 LF/35 = 8 CANOPY TREES PLUS CONTINUOUS HEDGE.
 - SOUTHERN PERIMETER = 345 LF/35 = 11 CANOPY TREES PLUS CONTINUOUS HEDGE.
- PROVIDED:
- NW 37th STREET FRONTAGE = 11 CANOPY EXISTING TREES AND EXISTING HEDGE FILLED IN AS REQUIRED FOR CONTINUOUS SCREEN
 - SOUTHERN PERIMETER, PROVIDED SOUTH OF ENTRY DRIVE = 12 PROPOSED TREES AND CONTINUOUS HEDGE BETWEEN PARKING AND SOUTHERN PROPERTY LINE.
- INTERIOR - FOR PAVED PARKING AREAS, LANDSCAPE ISLANDS THE SIZE OF A PARKING SPACE EVERY 10 PARKING SPACES AND INCLUDING ONE HIGH QUALITY SHADE TREE. AN 8' WIDE LANDSCAPE STRIP WITH SHADE TREES EVERY 50 FT. ON AVERAGE BETWEEN PARKING ROWS AND TO ALLOW FOR 2' VEHICLE OVERHANG. INTERIOR TREE PLANTINGS ARE NOT REQUIRED WITHIN GRASS PARKING AREAS.
- REQUIRED: 1 SHADE TREE WITHIN PARKING ISLANDS OF PAVED PARKING AREAS
- PROVIDED: 1 SHADE TREE WITHIN PARKING ISLANDS OF PAVED PARKING AREAS

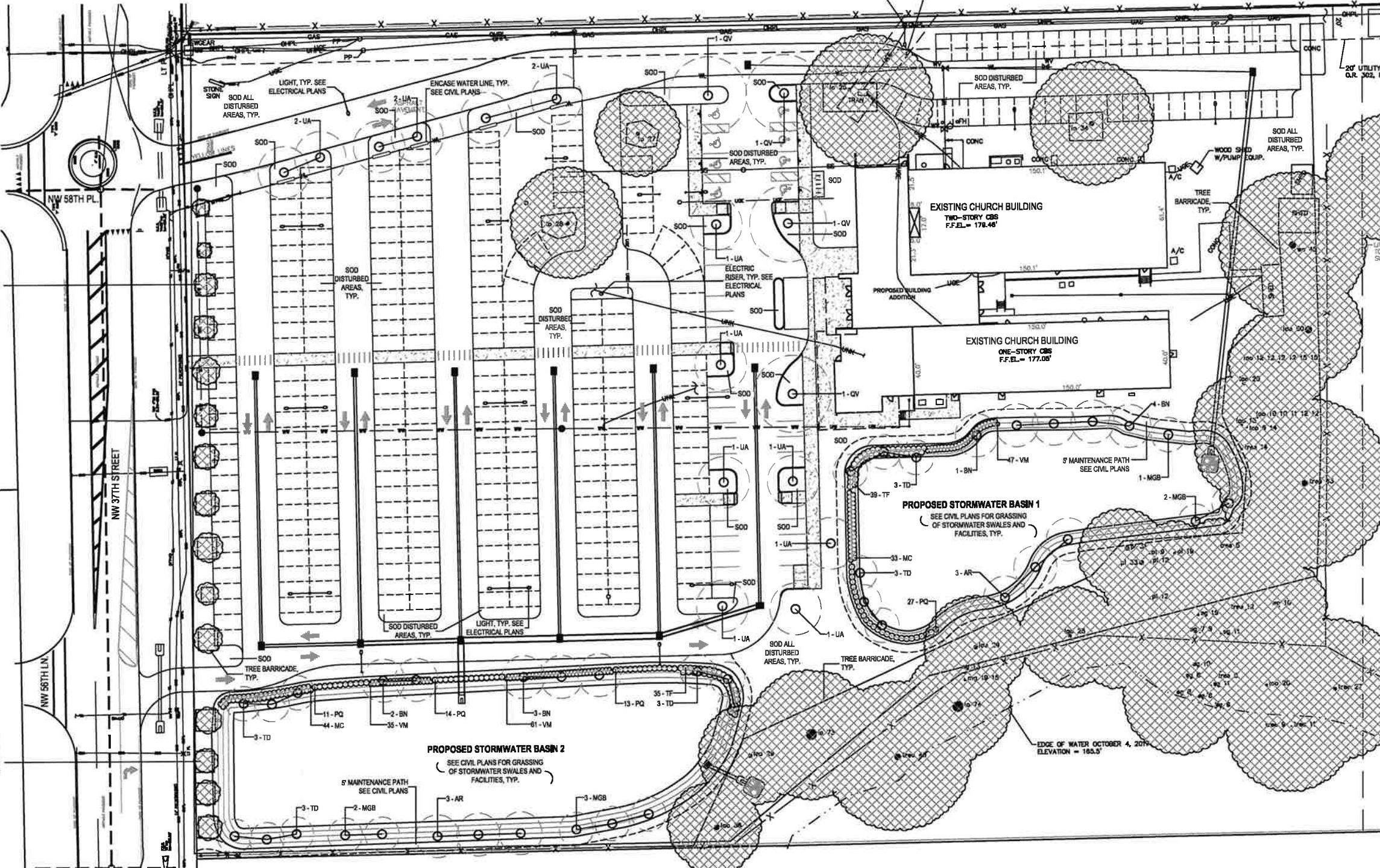
LEGEND



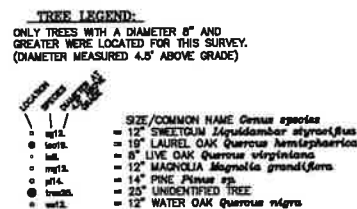
PRESERVE EXISTING TREE AND SHRUB PLANTINGS BETWEEN PROPOSED PARKING AND WESTERN PROPERTY LINE. ADD SHRUBS TO MATCH EXISTING WHERE NEEDED TO PROVIDE CONTINUOUS HEDGE. IF EXISTING TREES ARE REMOVED, REPLACE WITH CANOPY TREES TO MATCH SPECIES REMOVED AND OF AN INSTALLED SIZE OF 65-GAL. CONTAINER, 14-18" HEIGHT, AND 3.5" CALIFER, MIN.



PRESERVE EXISTING TREES BETWEEN PROPOSED STORMWATER POND AND WESTERN PROPERTY LINE. IF THESE TREES ARE REMOVED, REPLACE WITH TREES OF A SPECIES AND SIZE AS THOSE PROPOSED WITHIN STORMWATER POND.



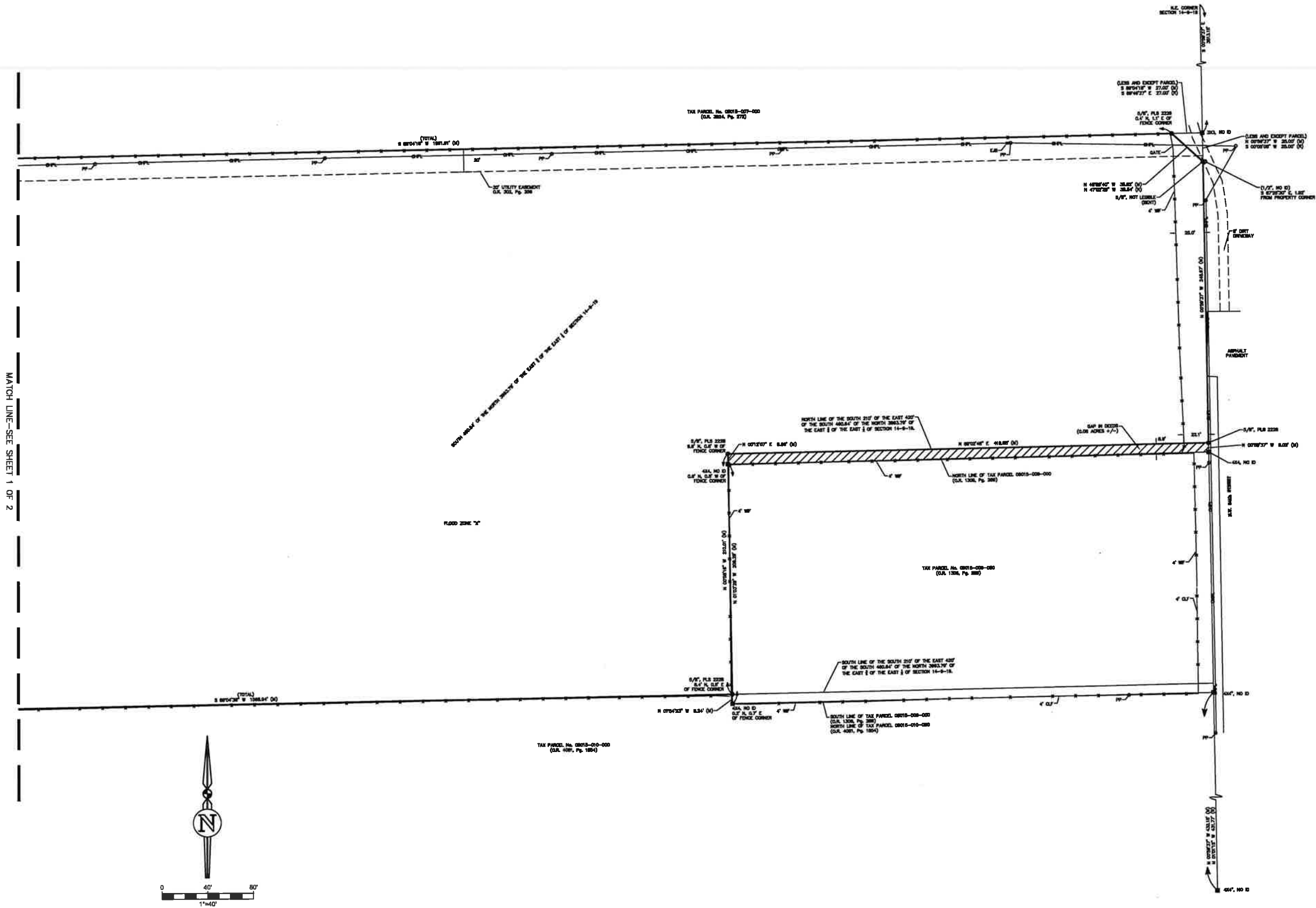
OF
ALIVE CHURCH
IN
SECTION 14, TOWNSHIP 9 SOUTH, RANGE 19 EAST, CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA



6) THIS SURVEY CONSISTS OF TWO (2) SHEETS AND IS NOT VALID WITH ALL 2 SHEETS.

V-001

BOUNDARY AND TOPOGRAPHIC SURVEY
OF
ALIVE CHURCH
IN
SECTION 14, TOWNSHIP 9 SOUTH, RANGE 19 EAST, CITY OF GAINESVILLE, ALACHUA COUNTY, FLORIDA



FLOOD INSURANCE RATE MAP STATEMENT THE REAL PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE (A) A/A (UNSHADDED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 12202Z-1, PANEL 1, COMMUNITY NUMBER: 12202Z-1. SAID MAP DESCRIBES ZONE (A) A/A (UNSHADDED) AS BEING "AREAS OF NO BASE FLOOD ELEVATION DETERMINATION" AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".		No.	Date	Comment
		1	05/15/18	ADDED SEWER LINE

eda engineers-surveyors-planners, Inc. 11220 W. US HWY 19, SUITE 200 GAINESVILLE, FL 32609-4604 TEL: 352-372-5841 FAX: 352-372-7569 E-MAIL: info@eda.com	
Project No. 2018-0247	Scale A.P.
Drawn A.P.	Check A.P.
SEE SHEET 1 OF 2 FOR SIGNATURE	
NOT VALID FOR THE CONSTRUCTION OF THE FLOOD INSURANCE RATE MAP OF A FLOOD INSURANCE RATE MAP.	

070	31-38	10/30/17	05/15/18	05/15/18
Prepared For:	Alive Church	Survey Date:	Survey Date:	Survey Date:
THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF SURVEYING AND MAPPING, INC. (FBSM) AND THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007 (2)(b), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 05/15/18.				

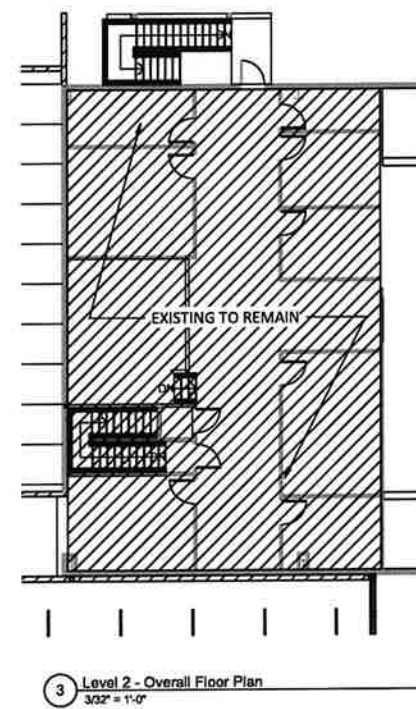
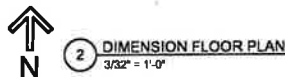
Sheet No.: V-002

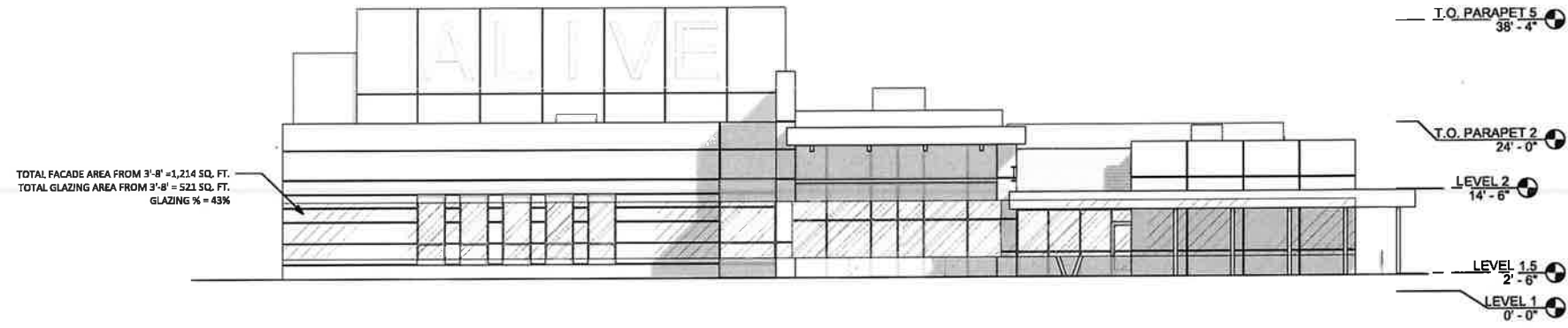
UPON INFORMATION FURNISHED BY OTHERS, WHILE THE ARCHITECT IS BELIEVED TO BE RELIABLE, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DIMENSIONS OR THE DIMENSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCORRECT INFORMATION PROVIDED TO THE ARCHITECT. THOSE DIMENSIONS AND CONDITIONS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE ARCHITECT, ALL WORK SHALL COMPLY WITH ANY AND ALL APPLICABLE CODES AND ORDINANCES. SUPERINTENDENTS ARE TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ALL INFORMATION, DESIGN AND BUILDING TECHNIQUES HELD WITHIN ARE THE EXCLUSIVE PROPERTY OF THE PARTIES NOTED ON THE IT-BLOCK.

**ALIVE CHURCH
GAINESVILLE
FLORIDA**

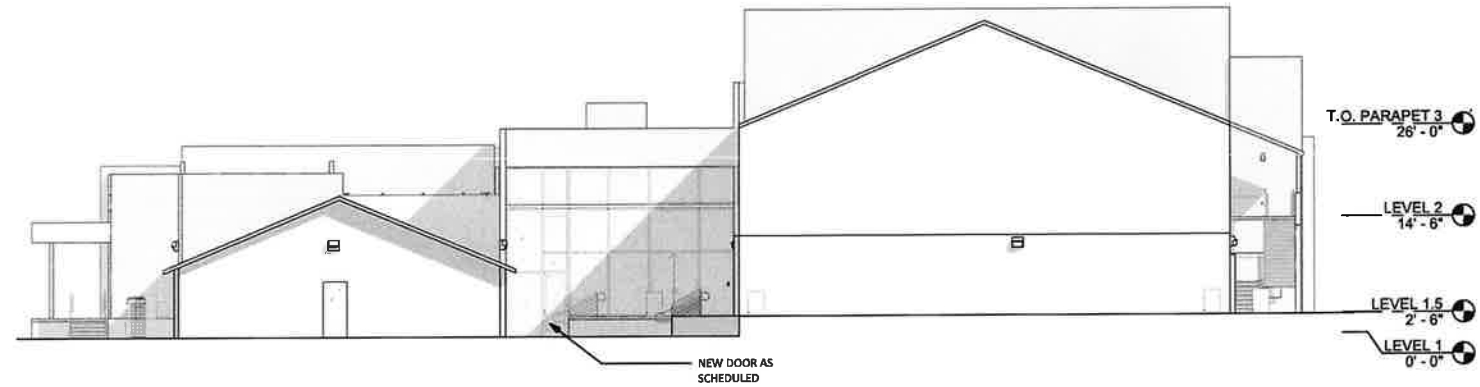
SHEET NO.

A1.01

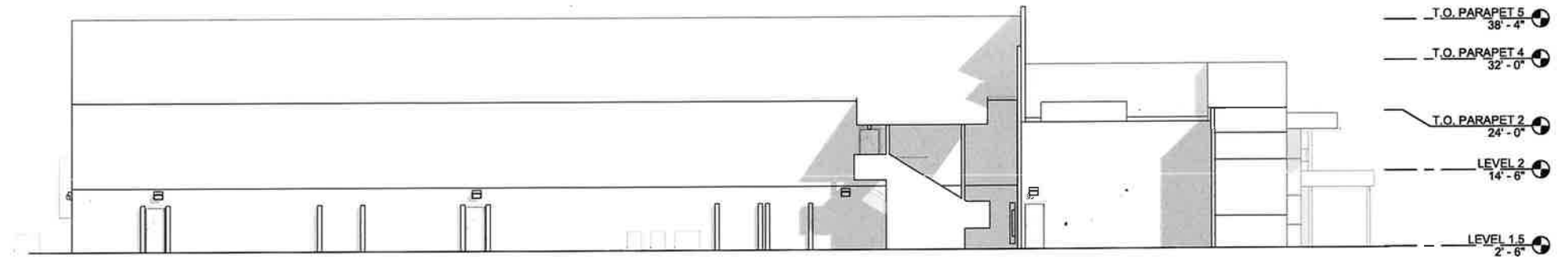




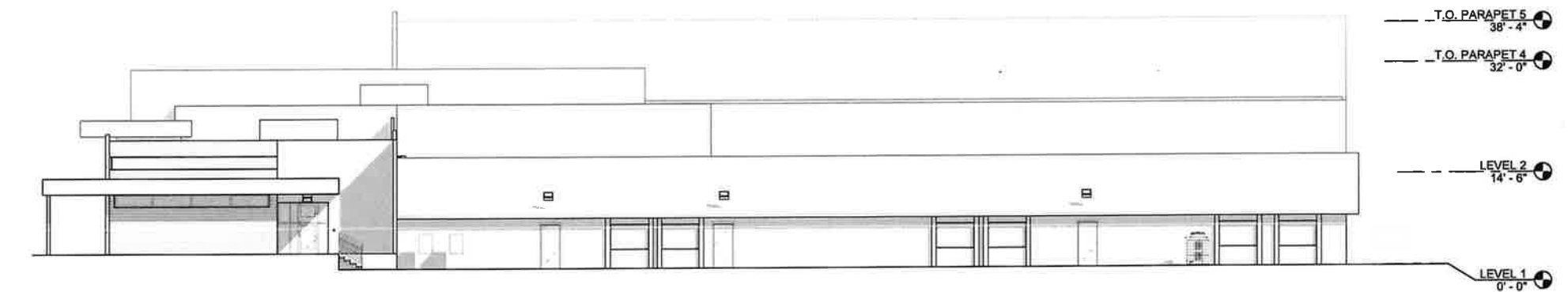
1 West Exterior Elevation
3/32" = 1'-0"



2 East Exterior Elevation
3/32" = 1'-0"



3 North Exterior Elevation
3/32" = 1'-0"



4 South Exterior Elevation
3/32" = 1'-0"

JAMES
BLYTHE
REGISTERED ARCHITECT
3917 NW 97TH BLVD.
GAINESVILLE, FL 32606
ARM4452

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ALIVE CHURCH
GAINESVILLE
FLORIDA

DRAWING DATE: PROJECT STATUS

7/9/2018

CONSTRUCTION

DOCUMENTS

REVISION DATE: / REVISED BY:

PROJECT NUMBER

Project Number

DRAWING TITLE

EXTERIOR

ELEVATIONS

SHEET NO.

A2.01