



**City of Gainesville
Department of Doing
Planning Division**

PO Box 490, Station 11
Gainesville, FL 32627-0490
306 NE 6th Avenue
P: (352) 334-5022
F: (352) 334-2648

HISTORIC PRESERVATION BOARD STAFF REPORT

PUBLIC HEARING DATE:

October 01, 2019

ITEM NO:

#6 under New Business

PROJECT NAME AND NUMBER:

HP-19-00073, 1004 SW 1st Avenue

APPLICATION TYPE:

Quasi-Judicial: Relocation of a residential structure on the same lot

RECOMMENDATION:

Staff recommends approval of the application

CITY PROJECT CONTACT:

Jason Simmons

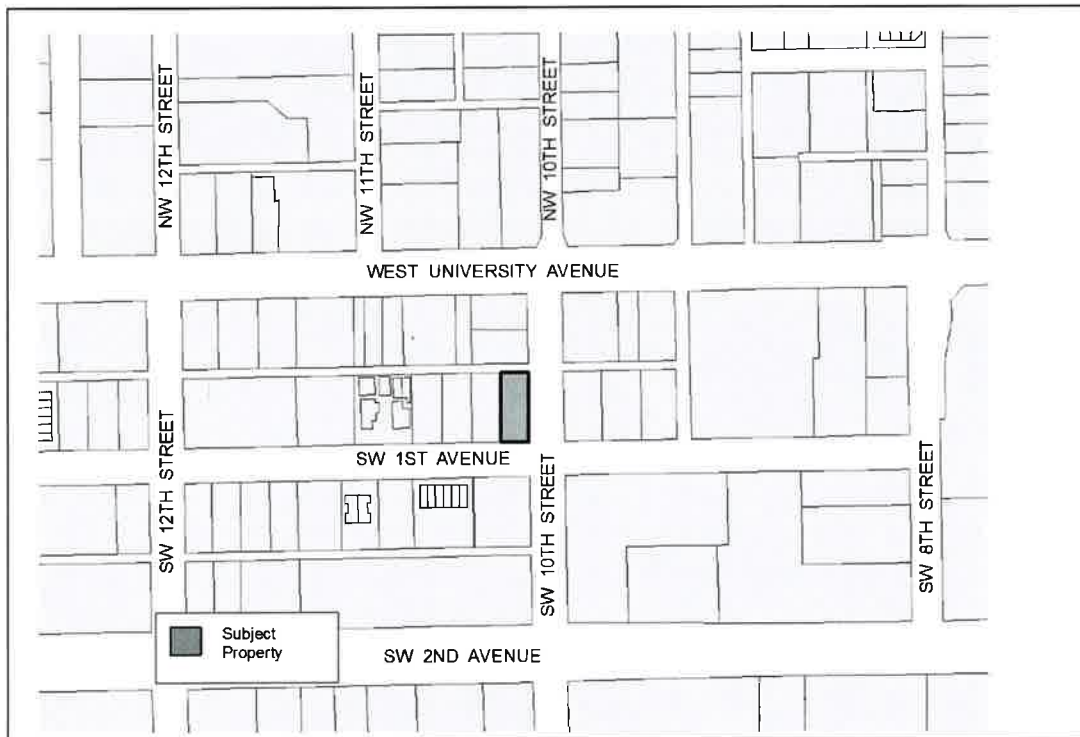


Figure 1: Location Map

APPLICATION INFORMATION:

Agent/Applicant: Barnett Chenault
Property Owner(s): Gregory Stetz

SITE INFORMATION:

Address: 1004 SW 1st Avenue
Parcel Number(s): 13225-001-000
Existing Use(s): Single-Family Residential
Zoning Designation(s): Urban 5
Historic District: University Heights Historic District - South
Historic District Status: Contributing
Date of construction: 1917 (ACPA & 8AL001112)

PURPOSE AND DESCRIPTION:

Barnett Chenault, SVM Architects, agent for Gregory Stetz, owner. Certificate of Appropriateness for the relocation of a two-story single-family house within the existing property. Located at 1004 SW 1st Avenue. This building is contributing to the University Heights Historic District - South. Related to Petitions HP-19-71 and HP-19-72.

STAFF REVIEW AND RECOMMENDATION:

EXISTING

The existing house is two-story, wood-frame construction structure on brick piers, with wood-lapped siding on the lower half of the house, and wood shake siding on the upper half, with an asphalt shingle roof with truncated gables, 2 over 2 and 3 over 1 windows, a brick chimney on the north side of the house, and Craftsman detailing. The square footage of the building is 2,873. The structure is located on the edge of the University Heights Historic District – South. The house is a contributing structure to the historic district and was built in 1917 according to the Alachua County Property Appraisers office. The property is zoned Urban 5 and is approximately 0.13 acres in size.

PROPOSED

The proposal is to relocate the home to the southern portion of its current lot. No changes are to be made to the structure exterior. Once the new foundation is complete the house will be reinforced with I-beams below the floor at key structural points, lifted, and set on a new set of piers. The

movement of the house will allow for more space for the proposed multiple-family development that would be built on the combined development site of 1004 and 1006 SW 1st Avenue.

The property is zoned Urban 5, which is a transect zone. There are building placement requirements in the transect zone to be met by development and redevelopment. SW 10th Street is classified as a Storefront street in the hierarchy of street types, while SW 1st Avenue is designated as a local street. The transect zones have building form standards that determine the location, scale and massing of buildings. These standards will help determine where the house can be moved on the lot to be in compliance with the transect building placement standards.

On a Storefront street, a building has to be between a minimum of 20 feet from the curb and a maximum of 25 feet from the curb. There are also minimum landscape zone, sidewalk zone, and building frontage zone requirements, also known as the Public Realm zones (See Figure 2). On a Storefront street the minimum widths are 5 feet, 10 feet, and 5 feet respectively.

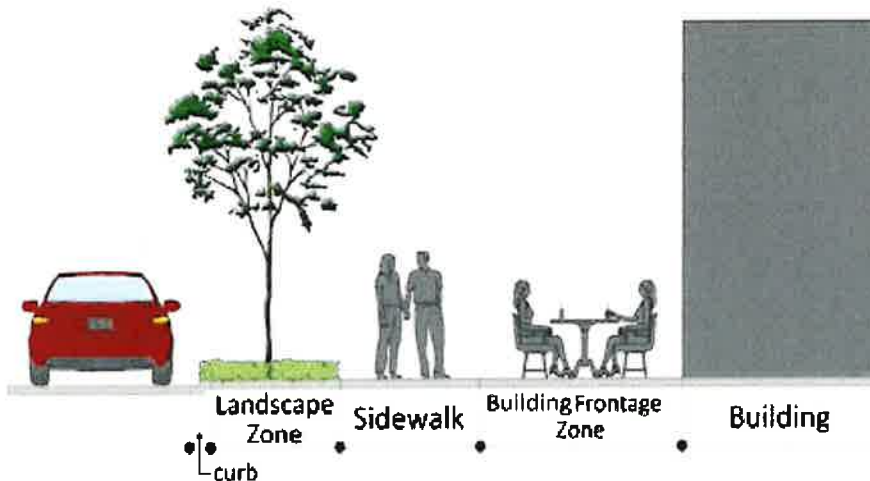


Figure 2: Public Realm Zones

Sheet A1.1.0 shows the 15 foot area for the landscape and sidewalk zones and then the 20 foot distance for the building frontage zone. These are measured from the back of curb and the relocated building would be placed just past the 20 foot point.

On the SW 1st Avenue side, a building has to be between a minimum of 15 feet from the curb and a maximum of 20 feet from the curb. The Public Realm zones for a Local street are all 5 foot minimum widths. Sheet A1.1.0 shows the 10 foot distance to the 15 foot distance from the back of curb with the building placed just past the 15 foot point. The building as indicated can be relocated and meet the building placement requirements of the transect zone.

Basis for Approval – Secretary of the Interior’s Standards for Rehabilitation

Consideration of a Certificate of Appropriateness application is pursuant to Section 30-3.5 of the Land Development Code and the Secretary of Interior’s Standards for Rehabilitation which serves as the basis for the City of Gainesville’s Historic Preservation Rehabilitation and Design Guidelines. The Historic Preservation Board shall adhere to the preservation principles of maintaining historic fabric and compatibility with surrounding properties.

The ***Historic Preservation Rehabilitation and Design Guidelines***, based on the Secretary of Interior Standards for Rehabilitation, has become the authoritative guidelines for rehabilitation. Relocation of historic structures is discussed in the City Of Gainesville’s *Historic Preservation Rehabilitation and Design Guidelines: Relocating Buildings* (see Exhibit 1). As stated in the Guidelines:

“Relocating a building is a last resort to avoid demolition. From a preservation perspective, relocating a building has many negative consequences. First, the context of the building is lost. The association with the surrounding natural and built environment is destroyed. Left behind are sidewalks, retaining walls, and landscape features that make each building unique. Moreover, many of the character-defining features that contribute to the architectural significance of a building have to be removed or are seriously damaged as a result of relocation. These include foundations, porches, chimneys, and interior finishes, particularly plaster. Structural damage can also result. The loss of a building’s historic context and many of its features conflicts with Standard 2. Despite the negatives, relocation is preferable to demolition. This is particularly true with regard to buildings whose significance is primarily architectural. There are several criteria to be considered when reviewing a proposal to move a building to a new site. They are essentially the same as those for compatible infill. The built environment for the new site should be similar to the old one in terms of the age of the surrounding buildings, their height, materials, setback, and architectural detail. If not properly planned and executed, a relocated building can be just as incompatible as a poorly designed infill structure.”

Within the City of Gainesville Land Development Code, Section 30-4.28.F.2., indicates that the Historic Preservation Board will consider certain factors related to the issue of relocation. Those criteria are listed below (Staff responses in **bold**):

a. The historic character and aesthetic interest the building, structure or object contributes to its present setting.

The house is compatible in scale and character with the University Heights South neighborhood, which has provided University-related housing since the early twentieth century. The proposed relocation is of such a short distance that the general setting of the house will only change in terms of its relationship with the corner of SW 10th Street and SW 1st Avenue, since it is proposed to be placed closer to the corner.

b. Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding areas will be.

The structure is located on a property that is part of a proposed multiple-family development to be located at 1004 and 1006 SW 1st Avenue. The proposed development is under consideration by the Historic Preservation Board in a related petition.

c. Whether the building, structure or object can be moved without significant damage to its physical integrity.

Care must be taken during the moving process to ensure that the house retains those features that convey its architectural values and retain integrity of design, workmanship, and feeling. With care the house should be able to be moved closer to the corner of the lot without significant damage to its physical integrity.

d. Whether the proposed relocation area is compatible with the historical and architectural character of the building, structure or object.

The house will remain on the same property and will only be shifted towards the southeast corner of the lot, thus remaining in the same neighborhood and the same historic district.

In addition, to the above criteria, issuance of a Certificate of Appropriateness for relocation is also governed by the guidelines concerning demolition in Section 30-4.28.F.3. Those criteria are listed below:

1. The historic or architectural significance of the building, structure, or object;

The house under consideration for relocation is a contributing structure to the historic district. No changes are proposed for the exterior of the building.

2. The importance of the building, structure, or object to the ambience of a district;

The house is a contributing principal structure in the University Heights Historic District – South neighborhood, which has a collection of buildings and structures of nationally recognized styles of the 1920's and 1940's. The proposed relocation is of such a short distance that the general setting of the house will only change in terms of its relationship with the corner of SW 10th Street and SW 1st Avenue, since it is proposed to be placed closer to the corner.

3. The difficulty or impossibility of reproducing such a building, structure or object because of its design, texture, material, detail, or unique location;

The structure is to be relocated on the same lot with no changes to the exterior.

4. Whether the building, structure, or object is one of the last remaining examples;

The structure is to be relocated on the same lot with no changes to the exterior.

5. Whether there are definite plans for reuse of the property if the proposed demolition is carried out, and what the effect of those plans on the character of the surrounding area would be;

The structure is located on a property that is part of a proposed multiple-family development to be located at 1004 and 1006 SW 1st Avenue. The proposed development is under consideration by the Historic Preservation Board in a related petition.

6. Whether reasonable measures can be taken to save the building, structure, or object from collapse;

The structure is in good condition and is not in danger of collapse.

7. Whether the building, structure, or object is capable of earning reasonable economic return on its value.

The home has been occupied as a rental. It is in good condition and could continue to generate revenue as a rental property.

RECOMMENDATION

Staff recommends approval of the application with the condition that:

1. The owner/developer recycles salvageable material from the structure, to the extent feasible, for re-use elsewhere on the development site.

LIST OF EXHIBITS:

- | | |
|-------------------------|--|
| <u>Exhibit 1</u> | City Of Gainesville <i>Historic Preservation Rehabilitation and Design Guidelines: Relocating Buildings</i> |
| <u>Exhibit 2</u> | COA Application, Pictures |
| <u>Exhibit 3</u> | Existing & Proposed Site Plan, Existing Elevations, Existing Floor Plans |

Exhibit 1 Historic Preservation Rehabilitation and Design Guidelines

THE **HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES**, BASED ON THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION, WHICH HAS BECOME THE AUTHORITATIVE GUIDELINES FOR REHABILITATION STATE:

Demolition

Applicable Secretary Standards

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Demolition is an important issue in historic districts. The main reasons for demolition are institutional and commercial expansion, and condemnation by cities, principally due to fire damage and deterioration.

Demolition exerts a negative impact on historic districts. In many historic districts, zoning, land-use regulations, and market conditions, compatible new construction is often not feasible. Furthermore, eliminating a building from a streetscape leaves a conspicuous void, or the replacement is usually insensitive to the existing historic context.

Demolition of significant buildings, outbuildings, and individual features conflicts with Standards 2 and 4. Demolition alters the essential character and integrity of a building and the district in which it is located in violation of Standard 2. Standard 4 recommends the retention of significant later additions to historic buildings.

In some instances demolition may be appropriate and may even enhance a historic district, building, or site. Non-historic buildings whose designs are not in character with its surroundings can be removed with no negative impact. Likewise, under certain circumstances, non-historic or nonsignificant components of a building complex can be removed. There are several factors to consider in the removal of such components. These include whether the components are secondary structures; lack historical, engineering, or architectural significance; do not comprise a major portion of a historical site; or the absence of persuasive evidence to show that retention of the components is not technically or economically feasible.

Demolition of nonsignificant additions may also be appropriate. Demolition may be undertaken if the addition is less than fifty years old, does not exhibit stylistic details or fine workmanship or materials, was added after the period of significance of the building or district; is so deteriorated it would require reconstruction; or obscures earlier significant features.

Avoid demolition of significant outbuildings and additions. Carriage houses and garages can be significant components of building complexes. Many buildings in a district have had additions, new ornaments, storefronts, porches, windows, wings, and additional stories. These changes might have gained significance in their own right and should be retained under Standard 4. Assessing significance of later additions requires careful professional review and should be done on a case-by case-basis.

Recommended

1. Identify, retain, and preserve buildings which are important in defining the overall historic character of a historic district or neighborhood.
2. Retain the historic relationship between buildings and landscape and streetscape features.
3. Remove nonsignificant buildings, additions, or site features which detract from the historic character of a site or the surrounding district or neighborhood.

Not Recommended

1. Removing buildings which are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
2. Removing historic buildings thus destroying the historic relationship between buildings, features and open space.
3. Removing a historic building in a complex, a building feature, or significant later addition which is important in defining the historic character of a site or the surrounding district or neighborhood.

Staff Approval Guidelines

Staff can approve demolition requests meeting the following conditions:

Selective removal on non-contributing additions, features, or materials that have obscured historic elements;

The structures are shown to be non-contributing axillary structures, garages or carports.

Board Approval Guidelines

Historic or contributing structures in an advanced state of deterioration can be demolished if evidence is presented showing that rehabilitation is unfeasible.



CERTIFICATE OF APPROPRIATENESS APPLICATION

Planning & Development Services 306 N.E. 6th Avenue

Gainesville, Florida 32601

352.334.5022 Fax 352.334.3259

www.cityofgainesville.org/planningdepartment

REQUIREMENTS

CONTACT THE HISTORIC PRESERVATION OFFICE FOR A PRE-APPLICATION CONFERENCE 334.5022

REVIEW THE CHECKLIST FOR A COMPLETE SUBMITTAL (If all requirements are not submitted it could delay your approval.)

PLEASE PROVIDE ONE (1) DISK OR USB FLASH DRIVE CONTAINING ALL OF THE FOLLOWING:

1 ORIGINAL SET OF PLANS TO SCALE SHOWING ALL DIMENSIONS AND SETBACKS.

LIST IN DETAIL YOUR PROPOSED REPAIR AND/OR RENOVATION

A SITE PLAN OR CERTIFIED SURVEY

PHOTOGRAPHS OF EXISTING CONDITIONS

ANY ADDITIONAL BACKUP MATERIALS AS NECESSARY

AFTER THE PRE-CONFERENCE, TURN IN YOUR COMPLETED COA APPLICATION TO THE PLANNING OFFICE (RM 210, THOMAS CENTER-B), PAY APPROPRIATE FEES, AND PICK UP PUBLIC NOTICE SIGN TO BE POSTED 10 DAYS IN ADVANCE OF THE MEETING.

MAKE SURE YOUR APPLICATION HAS ALL THE REQUIREMENTS.

FAILURE TO COMPLETE THE APPLICATION AND SUBMIT THE NECESSARY DOCUMENTATION WILL RESULT IN DEFERRAL OF YOUR PETITION TO THE NEXT MONTHLY

RECEIVED
AUG 05 2019

AUG 05 2019

STAMP

PROJECT TYPE: Addition ☐ Alteration ☐ Demolition ☐ New Construction ☐ Relocation ☒
Repair ☐ Fence ☐ Re-roof ☐ Other ☐

PROJECT LOCATION:

Historic District: **University Heights - South**

Site Address: **1004 SW 1ST Ave., Gainesville, FL 32601**

Tax Parcel # **13225-001-000**

OWNER

Owner(s) Name

Gregory Stetz

Corporation or Company

Steadman Company

Street Address

201 NW 10th Ave.

City State Zip

Gainesville, FL 32601

Home Telephone Number

(352)514-2039

Cell Phone Number

Fax Number

E-Mail Address

greg@vibrant.properties

APPLICANT OR AGENT

Applicant Name

Barnett Chenault

Corporation or Company

SVM Architects

Street Address

1628 NW 6th Street

City State Zip

Gainesville, FL 32609

Home Telephone Number

(352)378-4400

Cell Phone Number

Fax Number

E-Mail Address

barnett@svmarchitects.com

TO BE COMPLETED BY CITY STAFF

(PRIOR TO SUBMITTAL)

Fee: \$ **121.75**

EZ Fee: \$ **60.75**

HP # **19-00073**

Contributing Y ☒ N ☐

Zoning **Urban 5**

Pre-Conference Y ☒ N ☐

Application Complete Y ☒ N ☐

Enterprise Zone Y ☒ N ☐

Request for Modification of Setbacks

Y ☐ N ☐

Received By

Jason Simmons

Date Received

8/5/19

☐ Staff Approval—No Fee (HP Planner initial _____)

☒ Single-Family requiring Board approval (See Fee Schedule)

☐ Multi-Family requiring Board approval (See Fee Schedule)

☐ Ad Valorem Tax Exemption (See Fee Schedule)

☐ After-The-Fact Certificate of Appropriateness (See Fee Schedule)

☐ Account No. 001-660-6680-3405

☐ Account No. 001-660-6680-1124 (Enterprise Zone)

☐ Account No. 001-660-6680-1125 (Enterprise—Credit)

DID YOU REMEMBER?

CHECK YOUR ZONING AND
SETBACKS FOR
COMPLIANCE

REVIEW THE HISTORIC
PRESERVATION
REHABILITATION AND
DESIGN GUIDELINES

REVIEW THE SECRETARY
OF INTERIOR'S STANDARDS
FOR REHABILITATION

CHECK TO SEE IF YOU
WOULD BE ELIGIBLE FOR A
TAX EXEMPTION FOR
REHABILITATION OF A
HISTORIC PROPERTY

THE HPB MEETINGS ARE
HELD MONTHLY AT CITY
HALL, 200 EAST
UNIVERSITY AVE,
GAINESVILLE, FL 32601, CITY
HALL AUDITORIUM AT 5:30PM.
THE SCHEDULE OF MEETINGS
IS AVAILABLE ON THE
PLANNING DEPARTMENT
WEBSITE.

THE HISTORIC PRESERVATION
OFFICE STAFF CAN PROVIDE
ASSISTANCE AND GUIDANCE
ON THE HP BOARD'S REVIEW
PROCESS, AND ARE AVAILABLE
TO MEET WITH PROPERTY
OWNERS OR AGENTS. IF YOU
NEED ASSISTANCE, PLEASE
CONTACT THE HISTORIC
PRESERVATION PLANNER AT
(352) 334-5022 OR (352) 334-
5023.

PERSONS WITH DISABILITIES AND CONTACT INFORMATION

PERSONS WITH DISABILITIES
WHO REQUIRE ASSISTANCE TO
PARTICIPATE IN THE MEETING
ARE REQUESTED TO NOTIFY
THE EQUAL OPPORTUNITY
DEPARTMENT AT 334-5051
(TDD 334-2069) AT LEAST 48
HOURS PRIOR TO THE
MEETING DATE.
FOR ADDITIONAL
INFORMATION, PLEASE CALL
334-5022.

OVERVIEW

The Historic Preservation Board (HPB) is an advisory board to the City of Gainesville's Commission composed of citizens who voluntarily, without compensation commit their time and expertise to the stewardship of historic resources in our community.

The HPB approval is a procedure which occurs for alterations, construction, restorations, or other significant changes to the appearance of an structure in Gainesville's Historic Districts which have an impact on the significant historical, architectural, or cultural materials of the structure and/or the district. The City's historic review guidelines are available online at www.cityofgainesville.org/planningdepartment and within the Land Development Code, Section 30-112.

After submission of an application, the Historic Preservation Planner prepares a written recommendation for the board meeting which addresses whether the proposed changes are compatible with the criteria of the SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION and the City of Gainesville's HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES. Once staff has prepared and completed the staff report, an Agenda of the proposed meeting and the staff report will be posted online approximately 5 to 7 days prior to the HPB meeting and can be found at www.cityofgainesville.org/planningdepartment — Citizen Advisory Boards — Historic Preservation Board.

Public notice signage is required to be posted at the property by the applicant no later than 10 days prior to the scheduled Historic Preservation Board meeting. The notarized *Public Notice Signage Affidavit* must be submitted once the sign is posted.

The applicant and/or owner of the property should be present at the Historic Preservation Board meeting and be prepared to address inquiries from the board members and/or the general public. The HPB meeting is a quasi-judicial public hearing with procedural requirements. The review body may approve, approve with conditions, or deny projects. It is not necessary for owners to be present at the HPB meeting if your COA has been staff approved.

In addition to a Certificate of Appropriateness (COA), a building permit may be required for construction from the Building Department. This is a separate process with submittal requirements. Building permits will not be issued without proof of a COA and the Historic Preservation Planner signing the building permit. After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

CERTIFICATION

BY SIGNING BELOW, I CERTIFY THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AT THE TIME OF THE APPLICATION. I ACKNOWLEDGE THAT I UNDERSTAND AND HAVE COMPLIED WITH ALL OF THE SUBMITTAL REQUIREMENTS AND PROCEDURES AND THAT THIS APPLICATION IS A COMPLETE SUBMITTAL. I FURTHER UNDERSTAND THAT AN INCOMPLETE APPLICATION SUBMITTAL MAY CAUSE MY APPLICATION TO BE DEFERRED TO THE NEXT POSED DEADLINE DATE.

1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Planning and Development Services Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that Certificates of Appropriateness are only valid for one year from issuance.
4. It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.
5. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
6. Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).

SIGNATURES

Owner
Applicant or Agent

Date 8/5/19
Date 8-5-19 2

PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

2-story house, wood-frame construction on brick piers. Features include wood-lapped siding on the lower half, wood shake siding on the upper half, asphalt shingle roof with truncated gables, 2 over 2 and 3 over 1 windows, brick chimney on north face of house, and Craftsman detailing typical in mid-century suburban houses.

This is a contributing structure located at the east end of the University Heights, South Historic District.

Homes in this area contribute to the architectural styling of mid-20th century suburban neighborhoods.

Since this structure is at the far end of the district, there are several non-historic structures surrounding it, including Infinity Hall, a BP gas station, Subway Restaurant, and an apartment building. This house also neighbors Alligator Alley historic apartments.

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

No changes to be made to structure exterior, only relocation is proposed.

DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

Proposing relocation of this structure. Once new foundation is complete, the house will be reinforced with I-beams below the floor at key structural points, lifted, and set on a new set of piers

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b.

Please describe the zoning modification and attach completed, required forms.

N/A

A pre-application conference with the Historic Preservation Planner is required before the submission of a Certificate of Appropriateness (COA) application. A concept review with the City of Gainesville's Historic Preservation Board is optional.

For a single-family structure, accessory structures and all other structures which require Historic Preservation Board review, there is an application fee. Fees vary by the type of building and change annually. Please consult with planning staff or online at www.cityofgainesville.org/planningdepartment to determine the amount of the application fees for your project. There is no fee for a staff approved Certificate of Appropriateness. Please consult the FAQ's *Living and Developing in a Historic District* and the *Historic Preservation Rehabilitation and Design Guidelines* for restoration & rehabilitation that is staff approvable. The COA review time period will not commence until your application is deemed complete by staff.

The application is due by 11:00 a.m. on the application deadline date as noted on the attached annual meeting and cut-off schedule.

THIS CHECKLIST IS A GUIDE TO BE USED FOR PROPER COA SUBMITTAL. SOME ITEMS MAY NOT APPLY TO YOUR PERMIT APPLICATION.

Please provide all documents on one (1) disk or USB Flash Drive. One full sized printed set of drawings may also be requested on a case-by-case basis. Materials will not be returned to applicant.

A completed application may include the following:

SUBMITTAL REQUIREMENT CHECKLIST

		Applicant	HP Planner
Survey and Site Plan	A drawing giving dimensions of property; location of building(s) showing distances from property lines (building set-back lines (dimensioned), names of streets front and sides, and north/south orientation. A current site plan or survey may be submitted for this requirement, if it provides the requested information.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Drawings to Scale <ul style="list-style-type: none"> Elevations Floor Plan Square Footage Dimensions & Height Materials & Finishes 	One complete set of plans (with all (4) exterior elevations) and specifications for the project. All drawings must be clear, concise and drawn to scale. All rooms shall be dimensioned and labeled for use. Height measurement and square footage of different areas shall be on plans. Indicate features on the exterior (i.e.: chimney), the roof pitch, placement of windows and doors and label all materials and textures. A scaled line elevation drawing & footprint drawing is required for all new construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photographs	Photographs of existing building(s) (all facades or elevations of structure) and adjacent buildings. Photographs should clearly illustrate the appearance and conditions of the existing building(s) affected by the proposed project, close-up views of any specific elements under consideration i.e., windows or doors if proposed to be modified or removed, as well as photographic views of its relationship with neighboring buildings. Photos shall be submitted in jpeg or PDF format. (City staff may take photographs of your property prior to the board meeting as part of their review procedure. The photos will be used for presentation to the Historic Preservation Board.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Specific Items	Specific items may be requested, such as landscape plans, wall sections, roof plans, perspective drawings, a model, a virtual illustration and/or verification of economic hardship.	<input type="checkbox"/>	<input type="checkbox"/>
Modification of Existing Zoning	Attach separate form requesting a zoning modification based on competent demonstration by the petitioner of Section 30-112(d)(4)b.	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Report	In the case of demolition provide substantiating report(s) based on competent demonstration by the petitioner of Section 30-112(d)(6)c.	<input type="checkbox"/>	<input type="checkbox"/>
Notarized Consent Letter	Notarized letter of consent from the property owner, if the applicant is not the owner of the property or is in the process of purchasing the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

CERTIFICATE OF APPROPRIATENESS

(TO BE COMPLETED BY CITY STAFF)

IF STAFF APPROVAL ALLOWS THE ISSUANCE OF THE CERTIFICATE OF APPROPRIATENESS, THE BASIS FOR THE DECISION WAS:

☐ This meets the *Secretary of Interior's Standards for Rehabilitation* and the *City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines*.

HISTORIC PRESERVATION PLANNER _____ DATE _____

THE HISTORIC PRESERVATION BOARD CONSIDERED THE APPLICATION OF HP _____ AT THE _____ MEETING. THERE WERE _____ MEMBERS PRESENT.

THE APPLICATION WAS ☐ APPROVED ☐ DENIED BY A _____ VOTE, SUBJECT TO THE FOLLOWING CONDITIONS:

THE BASIS FOR THIS DECISION WAS:

☐ This meets the *Secretary of Interior's Standards for Rehabilitation* and the *City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines*.

CHAIRPERSON _____ DATE _____

It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.

After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

Operator: Michael Hoge

AUG 05 2019

Receipt no: 87765

Item	Description	Account No	Payment	Payment Reference	Paid
HP-19-00073 01004 SW 1ST AVE Stetz Relocation	Cert of Appropriateness - Single Family/Accessory	001-660-6680-3405	CHECK	003718	\$60.75
Total:					\$60.75

Transaction Date: 08/05/2019

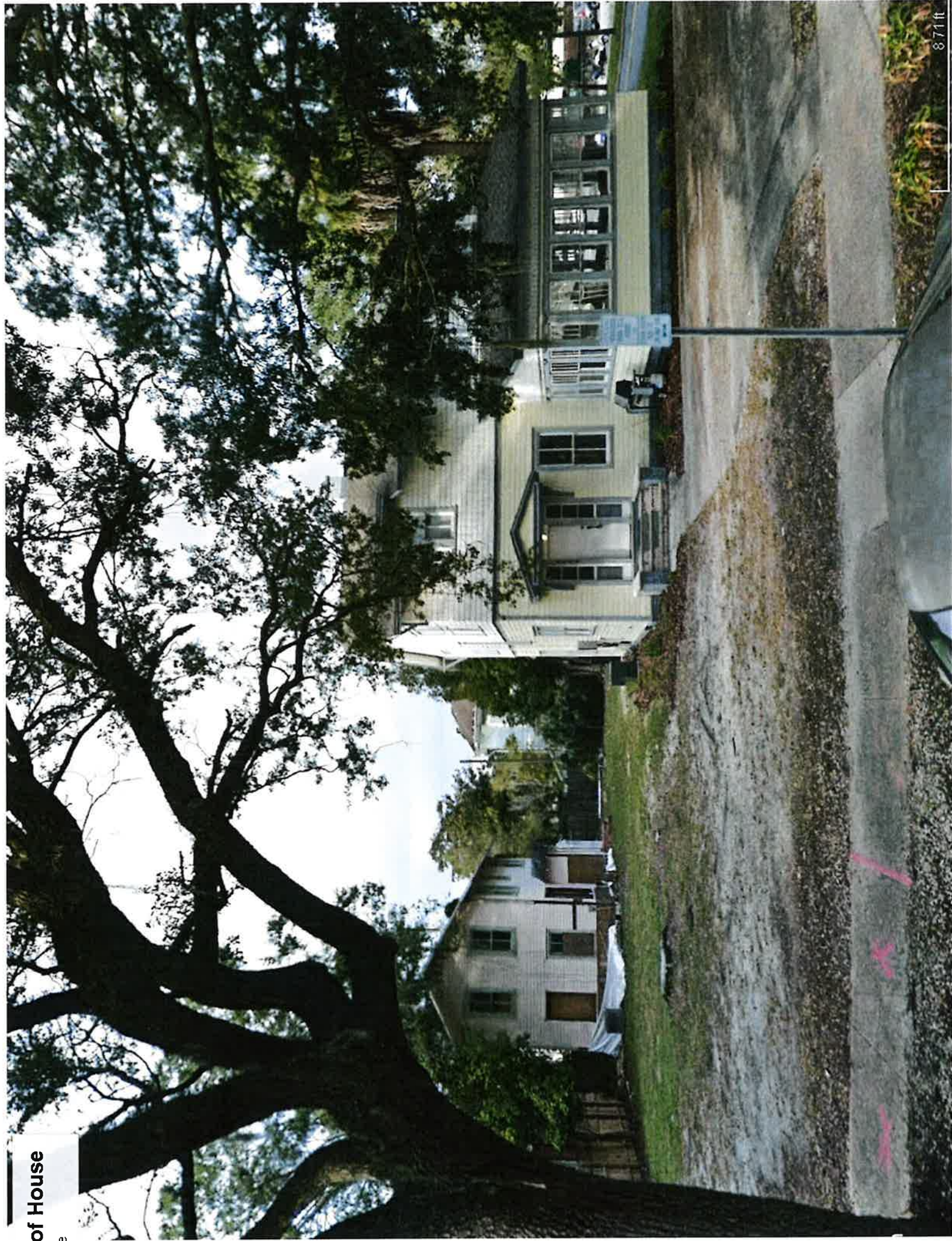
Time: 11:38:39 EDT













THIS PROPERTY IS LOCATED IN FEDERAL
ZONED "X", AREAS DETERMINED TO BE
0.50% ANNUAL CHANCE FLOOD PLAIN,
INTERPOLATED FROM F.I.R.M. PANEL NO.
03090C EFFECTIVE:
6/16/2008.

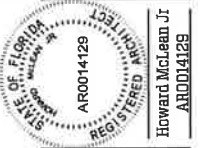
L1 1190.200(0.007)(R.B.)
L2 49.290'(M) 49.290'(B)
49.290'(M) 49.290'(P)
L3 1190.010(0.007)E
121.008(0.007)W 121.008(0.007)W
L4 S89°55'46"W
49.48'(M) 49.48'(P)
L6 49.290'(M) 49.290'(B)
120.87(M) 121.008(P)
L7 S89°55'43"W
120.93'(M) 121.008'(B)

<p>Prepared By:</p>  <p>McMILLEN SURVEYING, INC. 10136 S.W. 10th Ave. Fort Lauderdale, FL 33309 (954) 336-9552 (954) 336-9277</p>	<p>THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 32-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION OF THE PROPERTY DESCRIBED HEREON TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES HEREON.</p> <p><i>Stephen M. McMillen</i> Florida Professional Surveyor Mapper License No. 18B0041 Florida Probationary Surveyor Mapper Business License No. 18B0041</p> <p>STEPHEN M. McMILLEN, P.S.M.</p>  <p>Professional Surveyor & Mapper</p>	<p>PREPARED FOR:</p> <p>JIM STEVENSON COMPANY</p>	<p>Scale: 1"=20'</p> <p>Proj: No 2016-038A</p> <p>Drawn: S.M.M.</p> <p>Chk'd: S.M.M.</p> <p>Dwg Name: 2016-038A</p> <p>Survey Date: 02/20/17</p> <p>Field Book: 133</p>	<p>Pages: 46</p>
<p>NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER</p>			<p>steve@mcsurveying.com</p>	

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GAINESVILLE FL 32609

SKINNER VIGNOLA MCGLEAN, INC.

ARCHITECTS & PLANNERS | FL CERTIFICATE | AA34378



STEADMAN APARTMENTS

GREG STETZ

PROJECT LOCATION:

DESIGN PHASE: SCHEMATIC DESIGN

REVISIONS

SHEET
A0.0.0
EXISTING - SITE
PLAN
1558-5

The site plan illustrates the layout of the proposed development. Key features include:

- PROPOSED - PARKING/APARTMENT**: A large rectangular area labeled "UNITS [1] 985 SF".
- EXISTING BUILDING**: A smaller rectangular area labeled "[5] 1656 SF".
- STAIR TOWER**: Two structures are shown, one labeled "[2] 151 SF" and another labeled "[4] 143 SF".
- Streets**: The plan shows intersections with "N 10TH ST" to the north, "W 10TH ST" to the west, and "S 10TH ST" to the south.
- Other Features**: A "PARKING LOT" is indicated on the left side. A "STREET LIGHT" is located near the intersection of N 10th St and W 10th St. A "CROSS STREET" is also marked.

SCALE: 1/8" = 1'-0"

FLOOR OR WALL SECTION

SECTION IDENTIFIER
SHEET IDENTIFIER

PLAN/SECTION

DETAIL IDENTIFIER
SHEET IDENTIFIER

ROOM NAME

ROOM NAME
ROOM IDENTIFIER

DOOR TYPE IDENTIFIER

INDICATES DOOR NUMBER SEE
DOOR SCHEDULE FOR SIZE AND
TYPE

WINDOW TYPE IDENTIFIER

INDICATES WINDOW NUMBER SEE
WINDOW SCHEDULE FOR SIZE AND
TYPE

LETTER INDICATING REFERENCE
TO SHEET

NUMBER INDICATING NOTE ORDER

ELEVATION HEIGHT

SPOT ELEVATION MARK

PLAN OR SECTION CALLOUT

SECTION IDENTIFIER
SHEET IDENTIFIER

EXTERIOR ELEVATION IDENTIFIER

DETAIL IDENTIFIER
SHEET IDENTIFIER

INTERIOR ELEVATION IDENTIFIER

DETAIL IDENTIFIER
SHEET IDENTIFIER

CURRENT GRID LINES

KEYNOTE

WALL PARTITION TYPE

BREAK LINE

REVISION CLOUD

REVISION IDENTIFIER
REVISION INDICATOR

CONVENTIONAL GRID SYSTEM

GENERAL NOTES - PLAN - FIRST	

Number	Name	Area
FLOOR - FIRST		
1	UNITS	965 SF
2	STAIR TOWER	151 SF
3	MECH	Not Enclosed
4	STAIR TOWER	143 SF
5	EXISTING BUILDING	1656 SF
FLOOR - SECOND		
6	UNITS	6303 SF
7	STAIR TOWER	218 SF
8	EXISTING BUILDING	890 SF
9	EXISTING BUILDING	188 SF
FLOOR - THIRD		
10	UNITS	6303 SF
11	STAIR TOWER	218 SF
FLOOR - FOURTH		
12	UNITS	5248 SF
Grand total: 12		22313 SF



PROJECT LOCATION:
201 Northwest 10th Avenue,
Gainesville, FL 32501

REVISIONS

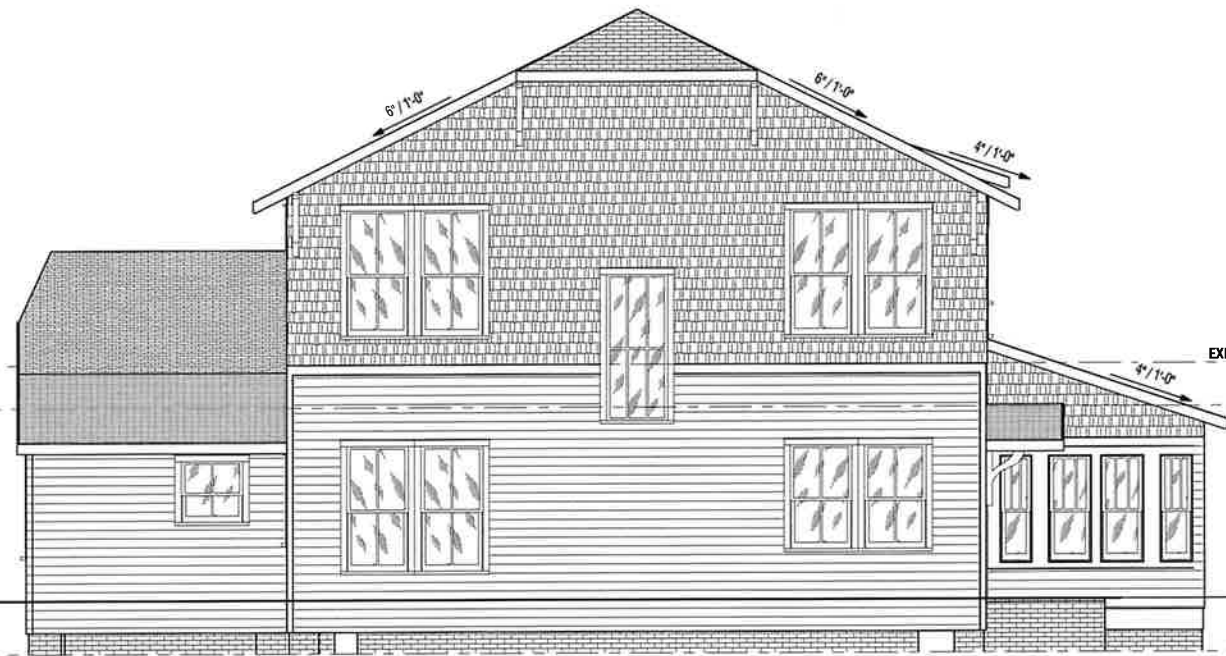
SHEET
A1.1.0
PROPOSED - SITE
PLAN
1558-5



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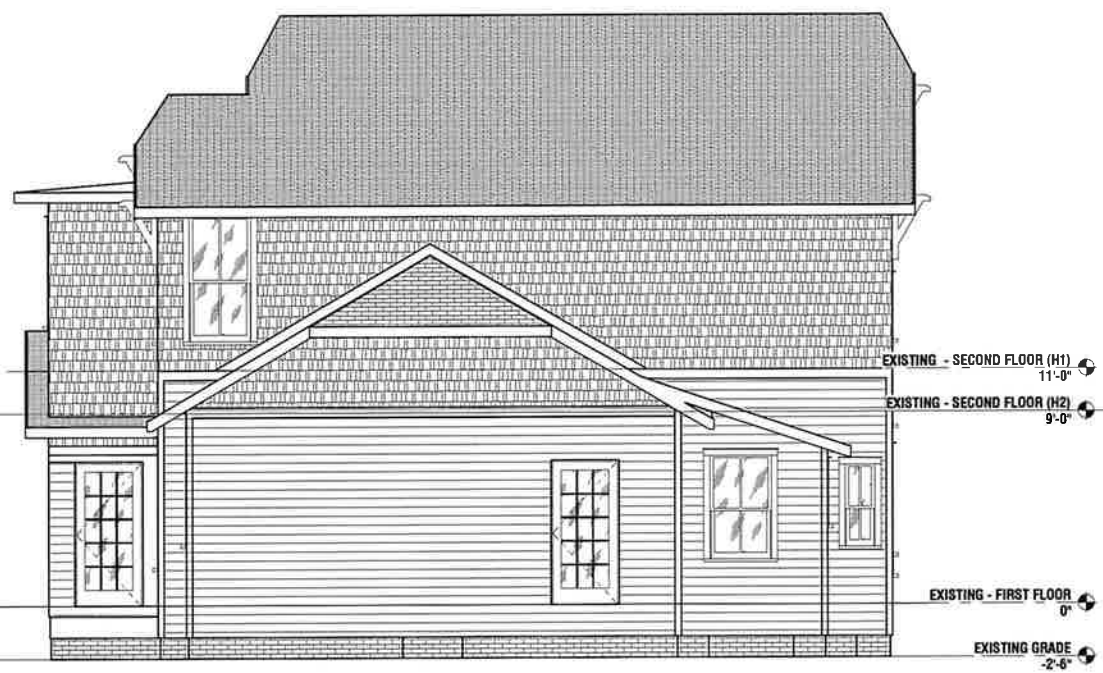
EXISTING - ELEVATION - 1004 (W)
SCALE: 1/4" = 1'-0"



EXISTING - ELEVATION - 1004 (S)
SCALE: 1/4" = 1'-0"



EXISTING - ELEVATION - 1004 (E)
SCALE: 1/4" = 1'-0"



EXISTING - ELEVATION - 1004 (N)
SCALE: 1/4" = 1'-0"

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STATE OF FLORIDA
REGISTERED ARCHITECT
HOWARD MCLEAN, JR.
AR0014129

STEADMAN APARTMENTS
FOR
GREG STETZ

PROJECT LOCATION:
201 Northwest 10th Avenue
Gainesville, FL 32601

DESIGN PHASE: SCHEMATIC DESIGN

REVISIONS

DATE: 08/7/2019
DRAWN BY: DDC
CHECKED BY: HJM

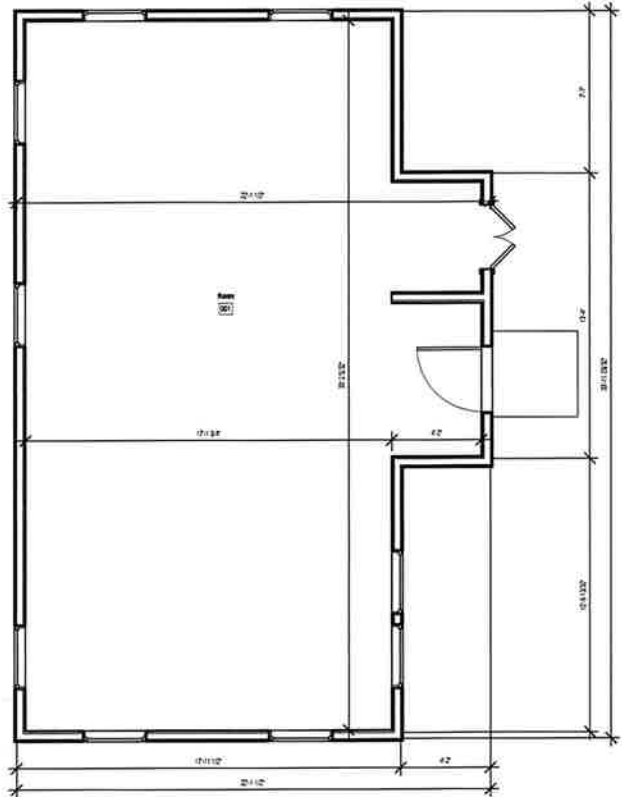
SHEET A0.0.1
EXISTING - ELEVATIONS (H1)
1558-5

LOT 23 AREA		
Number	Name	Area

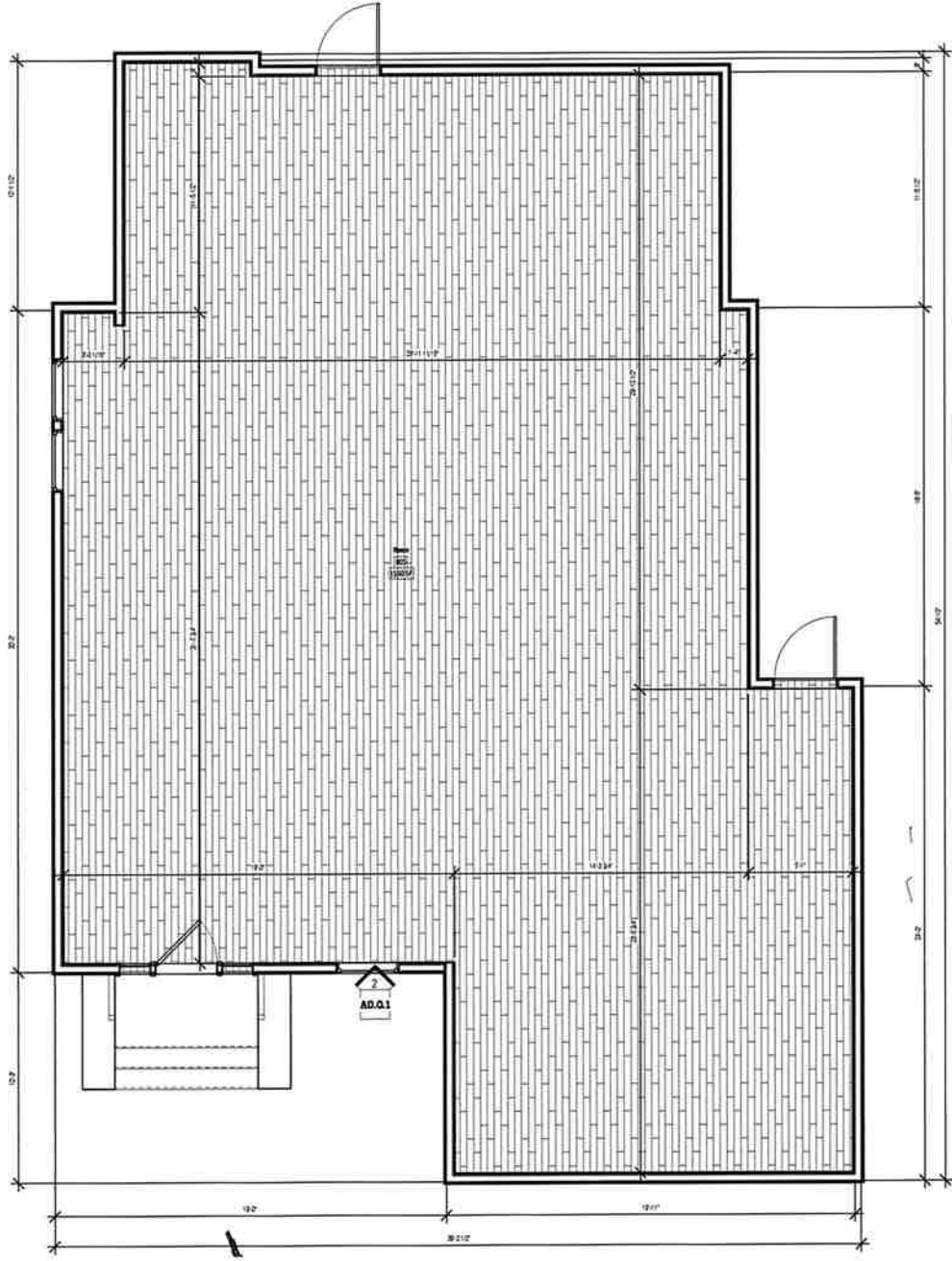
EXISTING GRADE		
003	Room	1550 SF
EXISTING - SECOND FLOOR (H1)		
004	Room	890 SF
Grand total: 2		2440 SF

LOT 24 AREA		
Number	Name	Area

EXISTING GRADE		
001	Room	620 SF
EXISTING - SECOND FLOOR (H1)		
002	Room	569 SF
Grand total: 2		1189 SF



2
A1.0.0*
EXISTING - PLAN - LOT 23
SCALE: 1/4" = 1'-0"



1
A1.0.0*
EXISTING - PLAN - LOT 24
SCALE: 1/4" = 1'-0"

DESIGN PHASE: SCHEMATIC DESIGN

REVISIONS

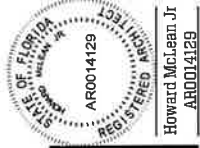
DATE: 08/7/2019
DRAWN BY: DDC
CHECKED BY: HJM

SHEET
A1.0.0*
EXISTING - PLAN
- FLOOR PLANS
1558-5

STEADMAN APARTMENTS

FOR
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