



**City of Gainesville
Department of Doing
Planning Division**

PO Box 490, Station 11
Gainesville, FL 32627-0490
306 NE 6th Avenue
P: (352) 334-5022
F: (352) 334-2648

HISTORIC PRESERVATION BOARD STAFF REPORT

PUBLIC HEARING DATE:

October 01, 2019

ITEM NO:

#3 under New Business

PROJECT NAME AND NUMBER:

HP-19-00071, 1006 SW 1st Avenue

APPLICATION TYPE:

Quasi-Judicial: Demolition of a residential structure

RECOMMENDATION:

Staff recommends approval of the application

CITY PROJECT CONTACT:

Jason Simmons

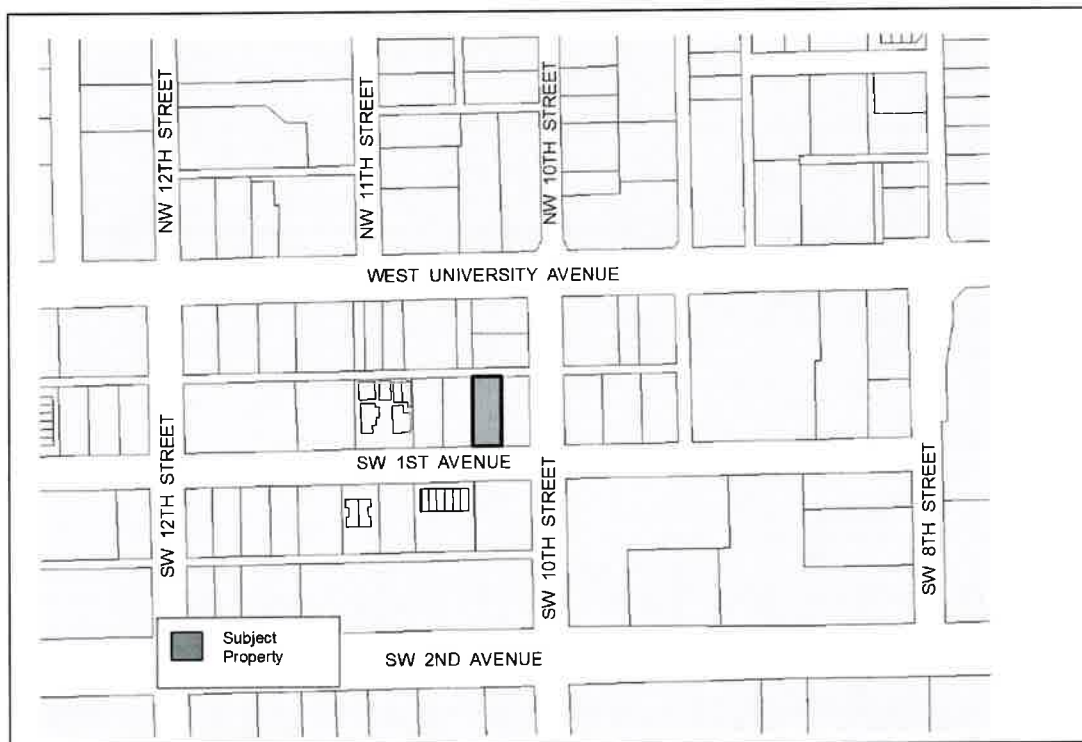


Figure 1: Location Map

APPLICATION INFORMATION:

Agent/Applicant: Barnett Chenault
Property Owner(s): Gregory Stetz

SITE INFORMATION:

Address: 1006 SW 1st Avenue
Parcel Number(s): 13225-000-000
Existing Use(s): Single-Family Residential
Zoning Designation(s): Urban 5
Historic District: University Heights Historic District - South
Historic District Status: Contributing
Date of construction: c. 1926 (ACPA)

PURPOSE AND DESCRIPTION:

Barnett Chenault, SVM Architects, agent for Gregory Stetz, owner. Certificate of Appropriateness for the demolition of a residential structure. Located at 1006 SW 1st Avenue. This building is contributing to the University Heights Historic District - South.

STAFF REVIEW AND RECOMMENDATION:

EXISTING

The existing house is two-story, wood-frame construction structure on brick piers, with wood-lapped siding, gable asphalt shingle roof, 2 over 2 windows, a brick chimney on the north side of the house, and Craftsman detailing. The square footage of the building is 1,256. The structure is located on the edge of the University Heights Historic District – South. The house is a contributing structure to the historic district and was built in 1926 according to the Alachua County Property Appraisers office.

PROPOSED

The proposal is to demolish the structure to allow space for a new multiple-family residential building. The current condition of the house involves renovation work that was done without permits. Electrical and plumbing work was done poorly and there was improper removal of bearing walls that is affecting the structural stability of the house. There is termite damage and rot that has contributed to the structural instability, leading to a wall in the center of the building that is bowing

under pressure. There are some issues with floor instability and windows have fallen out which has led to plant growth on the inside of the structure (See Feasibility Study in Exhibit 2).

Basis for Approval – Secretary of the Interior's Standards for Rehabilitation

Consideration of a Certificate of Appropriateness application is pursuant to Section 30-3.5 of the Land Development Code and the Secretary of Interior's Standards for Rehabilitation which serves as the basis for the City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines. The Historic Preservation Board shall adhere to the preservation principles of maintaining historic fabric and compatibility with surrounding properties.

The ***Historic Preservation Rehabilitation and Design Guidelines***, based on the Secretary of Interior Standards for Rehabilitation, which has become the authoritative guidelines for rehabilitation, list the following:

Within the City of Gainesville Land Development Code, Section 30-4.28.F.3., indicates that the Historic Preservation Board will consider certain factors related to the issue of demolition. Those criteria are listed below (Staff responses in **bold**):

1. The historic or architectural significance of the building, structure, or object;

The structure under consideration for demolition is a contributing structure to the historic district. Demolition of this resource would reduce the historic inventory in this neighborhood, which has a mix of historic structures and new construction that is compatible with the historic structures in the neighborhood.

2. The importance of the building, structure, or object to the ambience of a district;

The accessory structure is compatible in scale and character with the house on the adjacent lot, which is a contributing principal structure on the adjacent property, and the University Heights Historic District – South neighborhood, which has a collection of buildings and structures of nationally recognized styles of the 1920's and 1940's. The proposed new construction should be compatible with the house and the district in general in order to maintain the ambience of the district.

3. The difficulty or impossibility of reproducing such a building, structure or object because of its design, texture, material, detail, or unique location;

The structure could be reproduced with a similar design, texture, materials, and details.

4. Whether the building, structure, or object is one of the last remaining examples;

The structure is not one of the last remaining examples of its type.

5. Whether there are definite plans for reuse of the property if the proposed demolition is carried out, and what the effect of those plans on the character of the surrounding area would be;

This petition involves the demolition of the single-family structure and another COA petition involves the review of a proposal for the new construction of a multiple-family building on the lot. The design includes historical details that would be compatible with the historic district and the principal structure on the adjacent property.

6. Whether reasonable measures can be taken to save the building, structure, or object from collapse;

The structure is not in good condition and there is concern about the removal of load-bearing walls that increase the danger of collapse.

7. Whether the building, structure, or object is capable of earning reasonable economic return on its value.

The structure would need extensive renovation in order to be capable of earning a reasonable economic return on its value.

RECOMMENDATION

Staff recommends approval of the application with the condition that:

1. The owner/developer recycles salvageable material from the structure, to the extent feasible, for re-use elsewhere on the development site.

LIST OF EXHIBITS:

- | | |
|-------------------------|--|
| <u>Exhibit 1</u> | City Of Gainesville <i>Historic Preservation Rehabilitation and Design Guidelines: Demolition</i> |
| <u>Exhibit 2</u> | COA Application & Feasibility Study |
| <u>Exhibit 3</u> | Pictures |

Exhibit 1 Historic Preservation Rehabilitation and Design Guidelines

THE **HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES**, BASED ON THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION, WHICH HAS BECOME THE AUTHORITATIVE GUIDELINES FOR REHABILITATION STATE:

Demolition

Applicable Secretary Standards

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Demolition is an important issue in historic districts. The main reasons for demolition are institutional and commercial expansion, and condemnation by cities, principally due to fire damage and deterioration.

Demolition exerts a negative impact on historic districts. In many historic districts, zoning, land-use regulations, and market conditions, compatible new construction is often not feasible. Furthermore, eliminating a building from a streetscape leaves a conspicuous void, or the replacement is usually insensitive to the existing historic context.

Demolition of significant buildings, outbuildings, and individual features conflicts with Standards 2 and 4. Demolition alters the essential character and integrity of a building and the district in which it is located in violation of Standard 2. Standard 4 recommends the retention of significant later additions to historic buildings.

In some instances demolition may be appropriate and may even enhance a historic district, building, or site. Non-historic buildings whose designs are not in character with its surroundings can be removed with no negative impact. Likewise, under certain circumstances, non-historic or nonsignificant components of a building complex can be removed. There are several factors to consider in the removal of such components. These include whether the components are secondary structures; lack historical, engineering, or architectural significance; do not comprise a major portion of a historical site; or the absence of persuasive evidence to show that retention of the components is not technically or economically feasible.

Demolition of nonsignificant additions may also be appropriate. Demolition may be undertaken if the addition is less than fifty years old, does not exhibit stylistic details or fine workmanship or materials, was added after the period of significance of the building or district; is so deteriorated it would require reconstruction; or obscures earlier significant features.

Avoid demolition of significant outbuildings and additions. Carriage houses and garages can be significant components of building complexes. Many buildings in a district have had additions, new ornaments, storefronts, porches, windows, wings, and additional stories. These changes might have gained significance in their own right and should be retained under Standard 4. Assessing significance of later additions requires careful professional review and should be done on a case-by case-basis.

Recommended

1. Identify, retain, and preserve buildings which are important in defining the overall historic character of a historic district or neighborhood.
2. Retain the historic relationship between buildings and landscape and streetscape features.
3. Remove nonsignificant buildings, additions, or site features which detract from the historic character of a site or the surrounding district or neighborhood.

Not Recommended

1. Removing buildings which are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
2. Removing historic buildings thus destroying the historic relationship between buildings, features and open space.
3. Removing a historic building in a complex, a building feature, or significant later addition which is important in defining the historic character of a site or the surrounding district or neighborhood.

Staff Approval Guidelines

Staff can approve demolition requests meeting the following conditions:

Selective removal on non-contributing additions, features, or materials that have obscured historic elements;

The structures are shown to be non-contributing axillary structures, garages or carports.

Board Approval Guidelines

Historic or contributing structures in an advanced state of deterioration can be demolished if evidence is presented showing that rehabilitation is unfeasible.



CERTIFICATE OF APPROPRIATENESS APPLICATION

Planning & Development Services 306 N.E. 6th Avenue

Gainesville, Florida 32601

352.334.5022 Fax 352.334.3259

www.cityofgainesville.org/planningdepartment

REQUIREMENTS

CONTACT THE HISTORIC PRESERVATION OFFICE FOR A PRE-APPLICATION CONFERENCE 334.5022

REVIEW THE CHECKLIST FOR A COMPLETE SUBMITTAL (If all requirements are not submitted it could delay your approval.)

PLEASE PROVIDE ONE (1) DISK OR USB FLASH DRIVE CONTAINING ALL OF THE FOLLOWING:

1 ORIGINAL SET OF PLANS TO SCALE SHOWING ALL DIMENSIONS AND SETBACKS.

LIST IN DETAIL YOUR PROPOSED REPAIR AND/OR RENOVATION

A SITE PLAN OR CERTIFIED SURVEY

PHOTOGRAPHS OF EXISTING CONDITIONS

ANY ADDITIONAL BACKUP MATERIALS AS NECESSARY

AFTER THE PRE-CONFERENCE, TURN IN YOUR COMPLETED COA APPLICATION TO THE PLANNING OFFICE (RM 210, THOMAS CENTER-B), PAY APPROPRIATE FEES, AND PICK UP PUBLIC NOTICE SIGN TO BE POSTED 10 DAYS IN ADVANCE OF THE MEETING.

MAKE SURE YOUR APPLICATION HAS ALL THE REQUIREMENTS.

FAILURE TO COMPLETE THE APPLICATION AND SUBMIT THE NECESSARY DOCUMENTATION WILL RESULT IN DEFERRAL OF YOUR PETITION TO THE NEXT MONTHLY

RECEIVED

AUG 15 2019

STAMP

PROJECT TYPE: Addition ☐ Alteration ☐ Demolition ☒ New Construction ☐ Relocation ☐
Repair ☐ Fence ☐ Re-roof ☐ Other ☐

PROJECT LOCATION:

Historic District: University Heights - South

Site Address: 1006 SW 1st Ave., Gainesville, FL 32601

Tax Parcel # 13225-000-000

OWNER

Owner(s) Name

Gregory Stetz

Corporation or Company

Steadman Company

Street Address

201 NW 10th Ave.

City State Zip

Gainesville, FL 32601

Home Telephone Number

(352)514-2039

Cell Phone Number

Fax Number

E-Mail Address

greg@vibrant.properties

APPLICANT OR AGENT

Applicant Name

Barnett Chenault

Corporation or Company

SVM Architects

Street Address

1628 NW 6th Street

City State Zip

Gainesville, FL 32609

Home Telephone Number

(352)378-4400

Cell Phone Number

Fax Number

E-Mail Address

barnett@svmarchitects.com

TO BE COMPLETED BY CITY STAFF

(PRIOR TO SUBMITTAL)

Fee: \$ **121.50**

EZ Fee: \$ **60.75**

HP # **19-00071**

Contributing Y ☒ N ☐

Zoning **Urban 5**

Pre-Conference Y ☒ N ☐

Application Complete Y ☒ N ☐

Enterprise Zone Y ☒ N ☐

Request for Modification of Setbacks

Y ☐ N ☒

Received By

Jason Simmons

Date Received

8/5/19

☐ Staff Approval—No Fee (HP Planner initial _____)

☒ Single-Family requiring Board approval (See Fee Schedule)

☐ Multi-Family requiring Board approval (See Fee Schedule)

☐ Ad Valorem Tax Exemption (See Fee Schedule)

☐ After-The-Fact Certificate of Appropriateness (See Fee Schedule)

☐ Account No. 001-660-6680-3405

☐ Account No. 001-660-6680-1124 (Enterprise Zone)

☐ Account No. 001-660-6680-1125 (Enterprise—Credit)

DID YOU REMEMBER?

CHECK YOUR ZONING AND
SETBACKS FOR
COMPLIANCE

REVIEW THE HISTORIC
PRESERVATION
REHABILITATION AND
DESIGN GUIDELINES

REVIEW THE SECRETARY
OF INTERIOR'S STANDARDS
FOR REHABILITATION

CHECK TO SEE IF YOU
WOULD BE ELIGIBLE FOR A
TAX EXEMPTION FOR
REHABILITATION OF A
HISTORIC PROPERTY

THE HPB MEETINGS ARE
HELD MONTHLY AT CITY
HALL, 200 EAST

UNIVERSITY AVE,
GAINESVILLE, FL 32601, CITY
HALL AUDITORIUM AT 5:30PM.
THE SCHEDULE OF MEETINGS
IS AVAILABLE ON THE
PLANNING DEPARTMENT
WEBSITE.

THE HISTORIC PRESERVATION
OFFICE STAFF CAN PROVIDE
ASSISTANCE AND GUIDANCE
ON THE HP BOARD'S REVIEW
PROCESS, AND ARE AVAILABLE
TO MEET WITH PROPERTY
OWNERS OR AGENTS. IF YOU
NEED ASSISTANCE, PLEASE
CONTACT THE HISTORIC
PRESERVATION PLANNER AT
(352) 334-5022 OR (352) 334-
5023.

PERSONS WITH DISABILITIES AND CONTACT INFORMATION

PERSONS WITH DISABILITIES
WHO REQUIRE ASSISTANCE TO
PARTICIPATE IN THE MEETING
ARE REQUESTED TO NOTIFY
THE EQUAL OPPORTUNITY
DEPARTMENT AT 334-5051
(TDD 334-2069) AT LEAST 48
HOURS PRIOR TO THE
MEETING DATE.
FOR ADDITIONAL
INFORMATION, PLEASE CALL
334-5022.

OVERVIEW

The Historic Preservation Board (HPB) is an advisory board to the City of Gainesville's Commission composed of citizens who voluntarily, without compensation commit their time and expertise to the stewardship of historic resources in our community.

The HPB approval is a procedure which occurs for alterations, construction, restorations, or other significant changes to the appearance of an structure in Gainesville's Historic Districts which have an impact on the significant historical, architectural, or cultural materials of the structure and/or the district. The City's historic review guidelines are available online at www.cityofgainesville.org/planningdepartment and within the Land Development Code, Section 30-112.

After submission of an application, the Historic Preservation Planner prepares a written recommendation for the board meeting which addresses whether the proposed changes are compatible with the criteria of the SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION and the City of Gainesville's HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES. Once staff has prepared and completed the staff report, an Agenda of the proposed meeting and the staff report will be posted online approximately 5 to 7 days prior to the HPB meeting and can be found at www.cityofgainesville.org/planningdepartment — Citizen Advisory Boards — Historic Preservation Board.

Public notice signage is required to be posted at the property by the applicant no later than 10 days prior to the scheduled Historic Preservation Board meeting. The notarized *Public Notice Signage Affidavit* must be submitted once the sign is posted.

The applicant and/or owner of the property should be present at the Historic Preservation Board meeting and be prepared to address inquiries from the board members and/or the general public. The HPB meeting is a quasi-judicial public hearing with procedural requirements. The review body may approve, approve with conditions, or deny projects. It is not necessary for owners to be present at the HPB meeting if your COA has been staff approved.

In addition to a Certificate of Appropriateness (COA), a building permit may be required for construction from the Building Department. This is a separate process with submittal requirements. Building permits will not be issued without proof of a COA and the Historic Preservation Planner signing the building permit. After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

CERTIFICATION

BY SIGNING BELOW, I CERTIFY THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AT THE TIME OF THE APPLICATION. I ACKNOWLEDGE THAT I UNDERSTAND AND HAVE COMPLIED WITH ALL OF THE SUBMITTAL REQUIREMENTS AND PROCEDURES AND THAT THIS APPLICATION IS A COMPLETE SUBMITTAL. I FURTHER UNDERSTAND THAT AN INCOMPLETE APPLICATION SUBMITTAL MAY CAUSE MY APPLICATION TO BE DEFERRED TO THE NEXT POSED DEADLINE DATE.

1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Planning and Development Services Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that Certificates of Appropriateness are only valid for one year from issuance.
4. It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.
5. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
6. Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).

SIGNATURES

Owner

Applicant or Agent

Date

Date

8/5/19

8-5-19 2

PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

2-story house, wood-frame construction on brick piers. Features include wood-lapped siding, gable asphalt shingle roof, 2 over 2 windows, brick chimney on north face of house, and Craftsman detailing typical in mid-century suburban houses.

This is a contributing structure located at the east end of the University Heights, South Historic District. Homes in this area contribute to the architectural styling of mid-20th century suburban neighborhoods. Since this structure is at the far end of the district, there are several non-historic structures surrounding it, including Infinity Hall, a BP gas station, Subway Restaurant, and an apartment building. This house also neighbors Alligator Alley historic apartments.

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

N/A (Proposed construction of new structure detailed in separate COA)

DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

Proposing demolition of this structure. Previous owner renovated the interior without a permit. Electrical and plumbing work done poorly, improper removal of bearing walls is affecting structural stability of the home. Termite damage and rot has contributed much to structural instability, wall at center of building is bowing under pressure, floor wobbles in areas, windows have fallen out leading to plant growth on the interior.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b.

Please describe the zoning modification and attach completed, required forms.

N/A

A pre-application conference with the Historic Preservation Planner is required before the submission of a Certificate of Appropriateness (COA) application. A concept review with the City of Gainesville's Historic Preservation Board is optional.

For a single-family structure, accessory structures and all other structures which require Historic Preservation Board review, there is an application fee. Fees vary by the type of building and change annually. Please consult with planning staff or online at www.cityofgainesville.org/planningdepartment to determine the amount of the application fees for your project. There is no fee for a staff approved Certificate of Appropriateness. Please consult the *FAQ's Living and Developing in a Historic District* and the *Historic Preservation Rehabilitation and Design Guidelines* for restoration & rehabilitation that is staff approvable. The COA review time period will not commence until your application is deemed complete by staff.

The application is due by 11:00 a.m. on the application deadline date as noted on the attached annual meeting and cut-off schedule.

THIS CHECKLIST IS A GUIDE TO BE USED FOR PROPER COA SUBMITTAL. SOME ITEMS MAY NOT APPLY TO YOUR PERMIT APPLICATION.

Please provide all documents on one (1) disk or USB Flash Drive. One full sized printed set of drawings may also be requested on a case-by-case basis. Materials will not be returned to applicant.

A completed application may include the following:

SUBMITTAL REQUIREMENT CHECKLIST

		Applicant	HP Planner
Survey and Site Plan	A drawing giving dimensions of property; location of building(s) showing distances from property lines (building set-back lines (dimensioned), names of streets front and sides, and north/south orientation. A current site plan or survey may be submitted for this requirement, if it provides the requested information.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Drawings to Scale <ul style="list-style-type: none"> Elevations Floor Plan Square Footage Dimensions & Height Materials & Finishes 	One complete set of plans (with all (4) exterior elevations) and specifications for the project. All drawings must be clear, concise and drawn to scale. All rooms shall be dimensioned and labeled for use. Height measurement and square footage of different areas shall be on plans. Indicate features on the exterior (i.e.: chimney), the roof pitch, placement of windows and doors and label all materials and textures. A scaled line elevation drawing & footprint drawing is required for all new construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photographs	Photographs of existing building(s) (all facades or elevations of structure) and adjacent buildings. Photographs should clearly illustrate the appearance and conditions of the existing building(s) affected by the proposed project, close-up views of any specific elements under consideration i.e., windows or doors if proposed to be modified or removed, as well as photographic views of its relationship with neighboring buildings. Photos shall be submitted in jpeg or PDF format. (City staff may take photographs of your property prior to the board meeting as part of their review procedure. The photos will be used for presentation to the Historic Preservation Board.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Specific Items	Specific items may be requested, such as landscape plans, wall sections, roof plans, perspective drawings, a model, a virtual illustration and/or verification of economic hardship.	<input type="checkbox"/>	<input type="checkbox"/>
Modification of Existing Zoning	Attach separate form requesting a zoning modification based on competent demonstration by the petitioner of Section 30-112(d)(4)b.	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Report	In the case of demolition provide substantiating report(s) based on competent demonstration by the petitioner of Section 30-112(d)(6)c.	<input type="checkbox"/>	<input type="checkbox"/>
Notarized Consent Letter	Notarized letter of consent from the property owner, if the applicant is not the owner of the property or is in the process of purchasing the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

CERTIFICATE OF APPROPRIATENESS

(TO BE COMPLETED BY CITY STAFF)

IF STAFF APPROVAL ALLOWS THE ISSUANCE OF THE CERTIFICATE OF APPROPRIATENESS, THE BASIS FOR THE DECISION WAS:

☐ This meets the *Secretary of Interior's Standards for Rehabilitation* and the *City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines*.

HISTORIC PRESERVATION PLANNER _____ DATE _____

THE HISTORIC PRESERVATION BOARD CONSIDERED THE APPLICATION OF HP _____ AT THE _____ MEETING. THERE WERE _____ MEMBERS PRESENT.

THE APPLICATION WAS ☐ APPROVED ☐ DENIED BY A _____ VOTE, SUBJECT TO THE FOLLOWING CONDITIONS:

THE BASIS FOR THIS DECISION WAS:

☐ This meets the *Secretary of Interior's Standards for Rehabilitation* and the *City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines*.

CHAIRPERSON _____ DATE _____

It is understood that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville's Building Department.

After the application approval, the COA is valid for one year.

Please post the CERTIFICATE OF APPROPRIATENESS at or near the front of the building.

Operator: Michael Hoge

AUG 05 2019

Receipt no: 87760

Item	Description	Account No	Payment	Payment Reference	Paid
HP-19-00071 1006 SW 1ST AVE Stetz Property Demolition	Cert of Appropriateness - Single Family/Accessory	001-660-6680-3405	CHECK	003719	\$60.75
Total:					\$60.75

Transaction Date: 08/05/2019

Time: 11:24:02 EDT



Feasibility Study

1006 SW 1st Avenue

Gainesville, FL 32601

I am one of the owners of 1006 SW 1st Avenue. I am a licensed general contractor in the State of Florida (License: CGC1519257). I have extensive experience with historic houses, remodeling, and historic preservation. I own a company that furnishes historic house parts and work to preserve homes and architectural features. I have restored and remodeled some of the country's greatest historic houses. As a matter of fact, I live in the Duckpond in a historic house, and own several prominent historic buildings that I have worked tirelessly to restore. If you visit Grove Street you will see how we are repurposing existing structures and breathing new life for small businesses and the local community.

I am also responsible for restoring the main house on the property at 1004 SW 1st Avenue, which happened at great expense. There is no one better suited to give you a feasibility analysis of the house at 1006 SW 1st Avenue. I spoke with contractors and engineers and they offered to provide certified letters (at the cost of several thousand dollars). My license and experience more than qualify me to make the following statements.

It is not possible for us to restore this structure without completely rebuilding it, and the costs associated with that would present a major financial hardship. It will cost more to rebuild it than it would to build a new structure that is up to current building codes and aligned with historic board overlays.

1. There is extensive termite damage that will require the house be gutted and reframed. It affects the framing, interior walls, stairwell, flooring, subflooring, windows, and doors.
2. There is structural damage to the exterior balloon framed walls as well as the interior load bearing walls. Interior walls have been removed by a previous owner, and some added, without consideration of the foundation and structural deflection systems. The load bearing wall at the stairwell is buckling. We are unsure of what is causing this without removing the plaster. Portions of the house move and have major deflection when you walk through them. It is very apparent that someone has manipulated the structural systems negatively.
3. The house is covered in lead paint. Any work will require extensive lead remediation work. The unlicensed work that has happened there has permeated the property, including the area underneath the house, with lead paint and the house or the entire 1st floor needs to be removed in order to properly remediate the lead paint.
4. The previous owner, Lap Bui, did extensive interior remodeling without a permit. He removed all historic components worth any value. When we bought the house it was because code enforcement was fining him and he needed to get out of the problems he created.
5. All of the mechanical systems, including the HVAC, electrical, and plumbing were installed and modified without a permit, incorrectly, and present an immediate hazard to the house. We have seen electrical splices in the walls that are connected by wire nuts and pulled behind the plaster. The house is a mixture of cloth sheathed wire and new Romex wire. The electrical

panels have been manipulated and circuits improperly designed to accommodate additional rooms added by the previous owner without a permit.

6. The previous owner added two bathrooms and a kitchen without a permit and the work needs to be removed.
7. A previous code violation shows that the former owner disconnected the plumbing system and allowed sewage waste to pool and drain underneath the building for an unspecified amount of time. We believe there is a substantial amount of fecal matter underneath the house that has seeped into the soils and it needs to be removed. Previous tenants report this was ongoing for at least a year duration and the entire house smelled like fecal matter consistently until they called code enforcement. We believe the contamination to be extensive and removing it will affect foundations of the house. I believe the excessive fecal water undermined some of the foundation piers as the house bounces when you walk through it.
8. While the roof has been updated in the past couple of years, we believe it was done only after large amounts of water damage penetrated the house. Water has damaged the lathe and plaster on the ceilings. We were unable to find permitting records for the shingle roof. Interior wood lathe acted as structural reinforcement of the house. Much of it is missing and been replaced with ¾" to ½" gypsum plasterboard with an unknown screw pattern.
9. All of the windows have been damaged beyond repair and would need to be replaced. Homeless people have broken into the house and caused damage and ripped out portions of the home. Homeless people lit fires using some of the building components. The first floor is missing most of the original windows and frames. The second floor is missing all of the interior trim and window weights. Most if not all of the original glass in the windows is missing, broken, or has been replaced with modern non wavy glass.
10. The interior stairwell is unsafe. Termites ate portions of the hand rail and the posts and the stairwell currently does not have hand rail or rail supports. The wall that supports the stairwell shows signs of structural buckling.
11. Previous remodeling work used glues and other adhesives that have damaged the original wood floors. Large sections of the original wood floors have been cut out and it is very difficult to patch and replace such large sections.
12. Almost all of the original interior doors and trim are missing from the house. They were removed and replaced with modern and inexpensive hollow doors.
13. There is no insulation in the building and it will need to be brought up to current energy codes.

When I restored 1004 SW 1st Avenue we discovered that the entire house had to be reframed. We started out thinking there was just a little damage, but ultimately, we found unsafe conditions throughout the house. The same previous owner, Lap Bui, had modified that house. He had cut structural supports, rewired the house, and made many of the same modifications. Ultimately, it cost about \$165 / SF to rebuild that house. Once we started we decided to finish it because our crews were mobilized already. It created a massive financial challenge for us- one which we aren't able to undertake again.

In the case of 1006, it is in worse shape than 1004. There is structural damage and extensive termite damage well beyond what we could see at 1004. The house is missing large portions of its original

components. As the house is smaller, I suspect it would cost about \$175-\$185 per SF to remediate the house, and that doesn't begin to address contamination underneath the home.

As someone who specializes in remodeling and has extensive experience with historic homes, this house does not present itself as a unique or distinguishing home. The main house at 1004 does... hence one of the reasons we underwent such a painful remodeling process. I personally would never have requested to tear the main house down as I believe it is a fine and unique example of architecture from that time period.

I would also like to note that this property is on the end of a historic street, and is about to be surrounded by multiple 8 story buildings that dwarf this building. Many of the neighbors believe the historic designations on this street present a financial hardship for properties owners, and that hardship has been challenged and successfully removed through the court system on a state and federal level. It could be argued it is unreasonable that this small portion of the street should have such designation while those directly to the north, south, west, and east, are not subjected to the same restrictions yet have similar properties that are being torn down in place of high rises. They've asked me to join a lawsuit against the city regarding this. As this is my only house on this street, granting me the permissions I ask for will ensure that I construct a beautiful historic minded building and remove myself from their discussions.

It's my preference you understand my legitimate and well founded concerns about the house being too expensive to repair / remodel and the existing issues with the house. It will cost substantially less to build a beautiful new structure than it would to rebuild this one. Moving it will only cause even more cost burden as ultimately the house has to be essentially rebuilt no matter where it is.

You have my word that if you grant my request to demolish this structure and move 1004 to a better location on the site, that I will invest substantially into building a gem for the neighborhood. I will not cut corners on the construction and have instructed my team to design a building that looks like a perfect example of architecture. I will attempt to save and reuse whatever materials we can from the structure and use them.... But keep in mind that isn't many because of the extent of the damage.

SVM has presented a basic elevation. I will work to include more architectural details and improve the design prior to construction.

One of my contemporary's, John Flemming, has done a pretty good job of building historic looking homes in the area. He had the same requirements that I did including shifting and demolishing some structures. These things are needed in order to justify an investment into the property. John never had to deal with the fact he's about to be surrounded by high rises. Without being granted both requests, the project isn't feasible. I would like to show the city that I can build a beautiful new building that looks like it's been in place for a hundred years. That will be our goal- a seamless blend. Please give me a chance to show you that I do this better than Trimark.

Sincerely,



Gregory Stetz

352 514 2039

EXHIBIT

abbies

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