

PB-19-88TCH

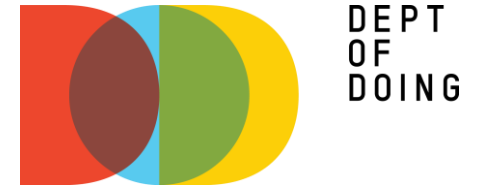
Legistar No. 190292

Add Recreational Vehicle Parks to
I-1, BA, BI, & BT as Permitted Uses
by Right

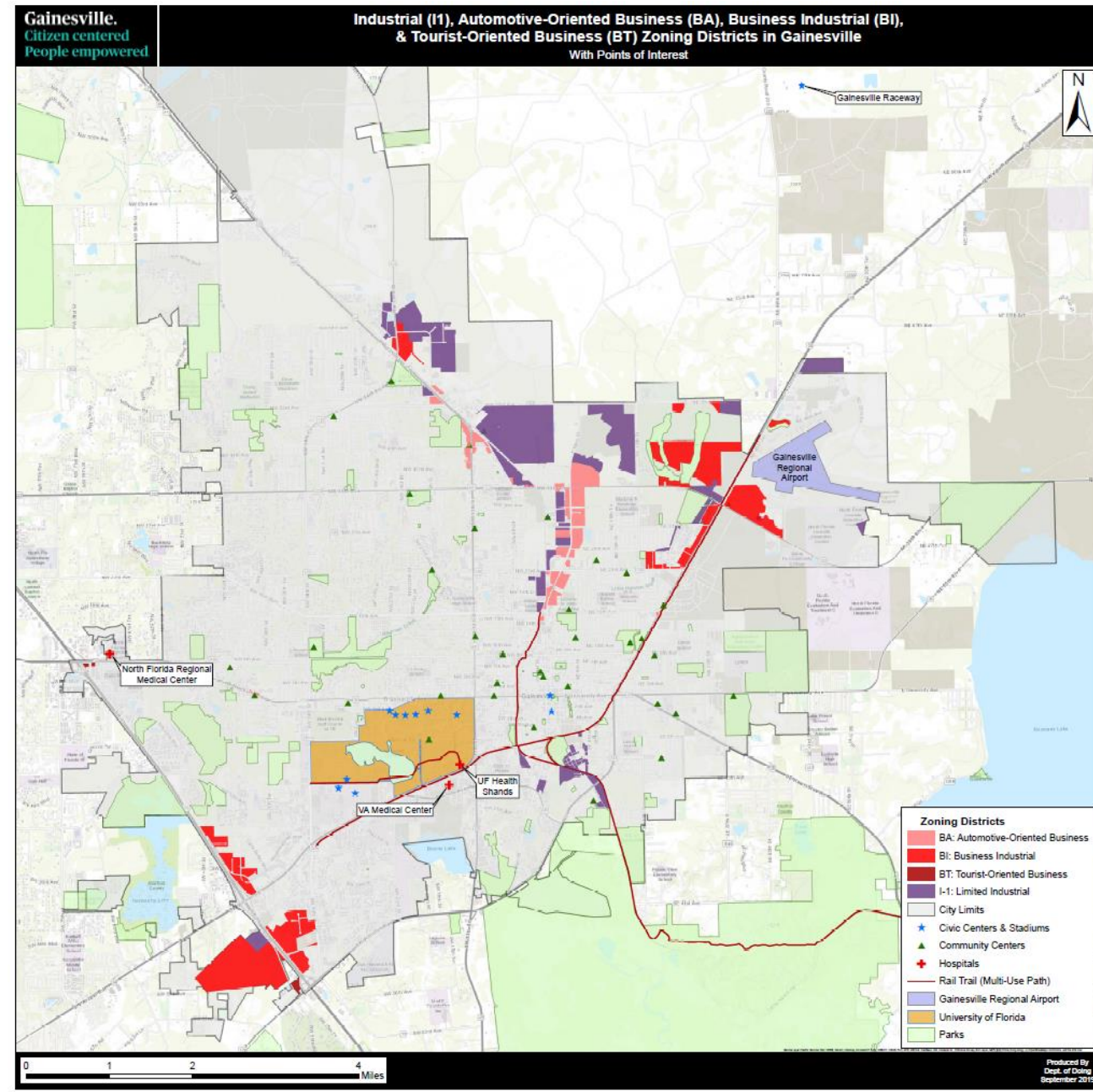
City Commission

February 6, 2020

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I₁, BA, BI, & BT Zoning Districts



Request

- Add definitions to Article II, Section 30-2.1.
- Add Recreational Vehicle Park use to permitted use table in Article IV, Section 30-4.19.
- Add a section in Article V, Division 1, concerning use standards to regulate the proposed use.

Background

Private recreational vehicle parks are not currently allowed as a use in any zoning district of the City.

Proposal

- ***Recreational vehicle*** means any vehicle, not exceeding ~~thirty-five (35)~~ the overall length provided in Florida Statutes for recreational vehicles ~~feet in overall length~~ or eight and one-half (8.5) feet in width, designed and intended for recreational purposes, including camping trailers, travel trailers, boats, campers, ~~pickup truck~~ campers, buses, tent trailers, motor homes, private motor coaches, van conversions, park trailers, fifth-wheel trailers and other similar vehicles with or without motive power, designed and constructed to travel on public thoroughfares.

Proposal

- ***Recreational vehicle park***, means a privately-operated property where one or more lots are rented to users of recreational vehicles on a temporary basis. This includes travel trailers, camping trailers, truck campers, motor homes, private motor coaches, van conversions, park trailers, and fifth-wheel trailers as defined in Florida Statutes. Recreational vehicle parks may contain accessory uses such as, but not limited to, recreational facilities, showers and restroom facilities, laundry facilities, picnic areas, camp stores, on-site manager's residence, RV park office, and pump out/dump stations.

Proposal



	Use- Standard	MU-1	MU-2	OR	OF	CP	BUS	BA	BT	BI	W	I-1	I-2
Offices		P	P	P	P	P	P	P	P	P	P	P	P
Offices, medical and dental		P	P	P	P	P	P	-	P	-	P	-	-
Outdoor storage, principal use	30-5.19	-	-	-	-	-	-	-	-	S	P	P	P
Parking, surface (as a principal use)	30-5.20	-	S	-	-	-	S	P	-	P	P	-	-
Passenger transit or rail stations		S	S	-	-	P	P	P	P	P	P	P	-
Personal services		P	P	P	P	P	P	P	P	P	P	P	P
Places of religious assembly	30-5.21	P	P	P	P	P	P	P	P	P	P	-	-
Public administration buildings		P	P	P	P	P	P	P	P	P	P	P	-
Public maintenance and storage facilities		-	-	-	-	-	-	-	-	P	P	P	P
Public parks		S	S	S	S	P	P	P	P	P	P	P	P
Recreation, indoor		P	P	P	P	P	P	P	P	P	P	P	P
Recreation, outdoor		-	-	-	-	-	S	P	P	S	-	P	P
Recreational vehicle park								P	P	P		P	
Recycling centers		-	S	-	-	-	S	-	-	-	S	S	P
Rehabilitation centers	30-5.24	S	S	S	S	-	S		-	S	-	S	
Research, development and testing facilities		-	-	-	-	P	P	-	-	P	P	P	P

Proposal

Recreational vehicle parks are subject to the following standards:

- A. Minimum lot area shall be 10 acres.
- B. The use is prohibited when abutting property in the Single-Family future land use category.
- C. Connections are required to public utilities, including electric, potable water and wastewater, and solid waste.
- D. The facility must meet the required setbacks for the zoning district, except when abutting property in a residential future land use category, the minimum setback for recreational vehicle parking spaces is 100 feet from the property boundary where it abuts the residential future land use category.

Proposal



- E. Minimum dimensions for recreational vehicle parking spaces: 18 feet width; 28 feet in depth.
- F. Property shall have frontage on a collector or arterial street as determined by the Public Works department.
- G. Ingress and egress shall be from a collector or arterial street as determined by the Public Works department.
- H. One on-site manager's residence is allowed. This may be in the form of a recreational vehicle in a parking space or a residential space within the management office.
- I. Occupancy is limited to a maximum of no more than 60 days within any one hundred twenty (120) day period with the exception of the on-site manager's residence.
- J. Outdoor storage is prohibited, including storage of recreational vehicles and boats.
- K. Open fires are prohibited, except in barbeque pits or grates.
- L. Amplified music is prohibited.
- M. The use of generators is prohibited.
- N. Gated or controlled access is permitted.

Proposal

O. The hours of activity in outdoor common areas, including pools, shall be established on a case-by-case basis at the development plan stage. Outdoor recreation areas and pools may not be located abutting properties in the Single-Family future land use category.

P. Individual recreational vehicle parking spaces may be gravel. All drive lanes shall be paved.

Q. The sale or dispensing of fuels is prohibited, excluding containers already containing propane gas.

R. The use or storage of hazardous materials as regulated by the Alachua County Hazardous Materials Management Code is prohibited.

Proposal

5. Landscaping/Screening requirements:

1. Where recreational vehicle parking spaces are located within 40 feet of an adjacent property, perimeter fencing in the form of an opaque 6-foot tall fence is required.
2. Any pump out/dump station areas shall be screened from roadways and abutting properties.
3. Perimeter landscaping and compatibility buffers must meet the appropriate standard as shown in the Land Development Code.
4. For interior areas of the recreational vehicle park, private, one high quality shade tree as listed on the Gainesville tree list as a species appropriate for “lot” planting is required on average of every ten (10) recreational vehicle parking spaces.
5. If proposed recreational vehicle parking spaces are located within 20 feet of a public right-of-way, it shall be screened by a wall, fence, or hedge.

Staff Recommendation

Approve Petition PB-19-88 TCH