



## HISTORIC PRESERVATION BOARD (HPB)

September 1, 2020 (Virtual Meeting)

Staff Report | HPB 20-40

# City of Gainesville

## DEPARTMENT OF SUSTAINABLE DEVELOPMENT

Thomas Center - Building B  
306 NE 6th Ave Gainesville, FL 32601  
352.393.5022  
[www.cityofgainesville.org](http://www.cityofgainesville.org)  
[HPB@cityofgainesville.org](mailto:HPB@cityofgainesville.org)

<b>Owner/Applicant:</b>	Doug Nesbit - Atlantic Design & Construction, agent for Andrew Martin & Sarah Farmerie, owners.
<b>Property Address:</b>	633 NE 6th Street
<b>Parcel(s):</b>	12396-000-000
<b>Year Built:</b>	1917 (Sanborn)
<b>Contributing Status:</b>	Contributing
<b>District:</b>	NE Residential Historic District
<b>FL Master Site File #:</b>	8AL644
<b>Current zoning:</b>	RSF3
<b>Existing uses on the site:</b>	Single-Family Residential
<b>Requested action:</b>	Certificate of Appropriateness (COA) to construct an accessory dwelling unit, swimming pool, and addition. (Quasi-Judicial)

All required application materials have been received. All fees have been paid. All required notices have been made.



Figure 1- Location Map

## SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

This contributing frame-vernacular house is one of 5 identical adjacent houses (see figure 2).

The applicant is seeking to construct a number of new elements as part of the rehabilitation of this contributing property.

Proposed alterations include:

- Two-story addition at the rear of the primary structure;
- Construct a carport at the south elevation;
- Demolish an existing non-contributing shed;
- Construct a two-story garage/ accessory dwelling unit (approx. 485 sq. ft. footprint);
- Construct an in-ground swimming pool with screen enclosure.

The applicant is requesting a modification of existing zoning requirements to allow for the carport to encroach 4' into the side-yard setback.

### September Update:

The applicant has provided a revised application addressing board concerns.

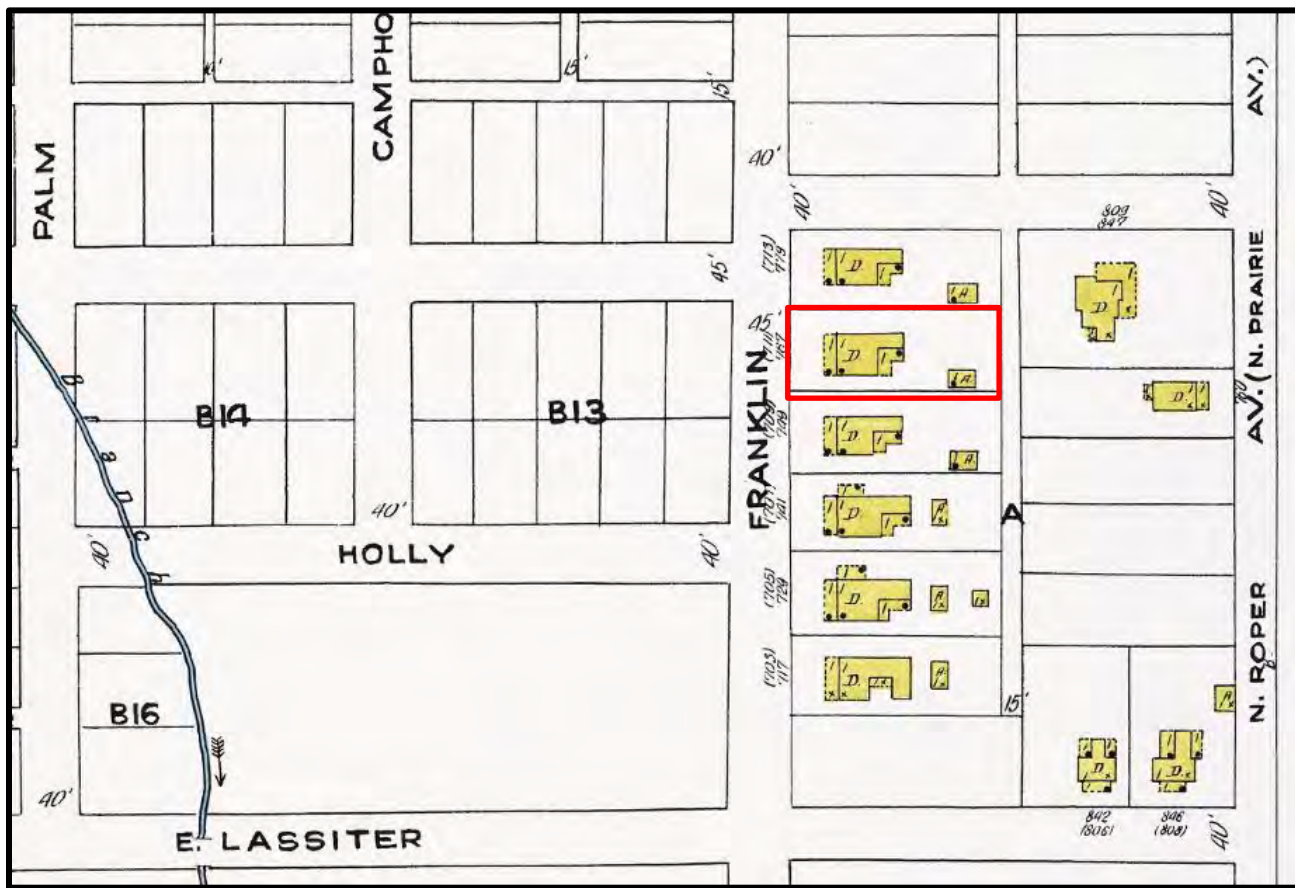


Figure 2 - 1922 Sanborn Fire Insurance Map

## **APPLICABLE GUIDELINES:**

### **Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **Historic Preservation Rehabilitation and Design Guidelines**

#### ***Additions to Existing Buildings*** (pg. 90)

New additions should be designed to minimize the impact on the visual character and materials of the historic structure. The applicant should take care to preserve as much of the original building wall as possible by utilizing existing openings for passageways rather than increasing their size.

New additions should be compatible in terms of mass, materials, vertical or horizontal projection, relationship of solids and voids, symmetry or asymmetry and size and scale with the principal structure. However, the character of the historic resource should be identifiable after the addition is constructed. Additions should be constructed in a manner that clearly distinguishes the footprint and plan for the historic building.

#### ***Recommended***

1. Place functions and services required for a new use in non-character defining interior spaces rather than installing a new addition.
2. Protect architectural details and features that contribute to the character of the building during the course of constructing the addition.
3. Construct a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
4. Locate an attached exterior addition at the rear or on inconspicuous side of a historic building; and limit its size and scale in relationship to the historic building.

5. Design new additions in a manner that clearly distinguishes historic and nonhistoric features.
6. Design additional stories, when required for a new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

***Not Recommended***

1. Expanding the size of a historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.
2. Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.
3. Designing a new addition so that its size and scale are out of proportion to the historic building, thus, diminishing its historic character.
4. Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.
5. Imitating a historic style or period of architecture in new additions, especially those used for contemporary uses.
6. Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.
7. Using the same wall plane, roof line, cornice height, materials, siding lap or window type to make additions appear to be part of a historic building.
8. Adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades.

***New Garages, Carport, Accessory and Other Structures*** (pg. 123)

Attaching a new garage to a historic house or enclosing a historic porte cochere or carport to accommodate the function is discouraged.

New garages should not be placed to the front of a house. The garage should be compatible with the materials, design, and architectural features of the principal building.

If proposed, garages should be detached, placed at the rear of the property, and accessible from mid-block alleyways when possible.

**Recommended**

1. The design of landscape features should complement the character of the principal structure.
2. Swimming pools should be located at the rear of a structure and not be visible from the front of the property.

[City of Gainesville Comprehensive Plan: Historic Preservation Element](#)  
[City of Gainesville Code of Ordinances](#)

**ANALYSIS:**

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The contributing primary structure, which was constructed in 1917, retains its original footprint. As is common with historic homes, the original L-shaped porch at the rear of the home has since been enclosed. Although the rear of the home has been altered by the enclosure, the original form of the home is still discernable and a clear evolution of the structure is visible.

The proposed new two story addition represents a significant alteration to the original form of the rear portion of the home; both in layout and loss of historic fabric. As the addition is located at the rear of the home, the proposed work will not have a negative visual impact to the front elevation of the property. The proposed addition does not comply with SOIS numbers 2, 3, 9, & 10.

The proposed accessory dwelling unit/garage will be located at the southeast corner of the property behind the primary structure. Although a portion of the structure will be visible from the right-of-way, it will not have a negative visual impact on the property of character of the neighborhood. It will be constructed utilizing materials compatible with the primary structure. Staff notes that the south and east elevations of the ADU have minimal fenestration, which visually creates a great deal of mass to the structure. The massing of the structure could be lessened on these elevations by the addition of architectural features.

Residential swimming pools were rare during this home's period of construction. The addition of swimming pools is a common amenity sought to take advantage of Florida's climate. Although permissible through the current Historic Preservation, Rehabilitation, and Design Guidelines, screen enclosures represent a modern evolution in swimming pool design and should be discouraged.

A modification of setbacks is being requested to allow for the construction of a carport at the south elevation. Given the openness of this type of structure, staff finds that granting the request would not have a negative impact on the contributing structure or the character of the neighborhood.

**September Update:**

The applicant has made several changes to the proposed design based on board discussion at its last meeting.

## STAFF RECOMMENDATION:

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Staff finds that the requested action, as presented, is consistent with the Secretary of the Interior's Standards, and the Historic Preservation, Rehabilitation, and Design Guidelines.

**Staff recommends:**

**Approval of HP-20-40**

## MOTION TO CONSIDER:

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I move to **approve or deny** HPB case number HP-20-40 **with or without** conditions;

AND I move that the HPB make the following findings of fact and conclusions of law part of the record:

That HPB case HP-20-40, as presented, **is or is not** substantially compliant with the Secretary of the Interior's Standards, and the Historic Preservation, Rehabilitation, and Design Guidelines to warrant approval at this time.

## LIST OF EXHIBITS:

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**EXHIBIT 1      HP-20-40 Application and Backup Materials**

**EXHIBIT 2      HP-20-40 Revisions**

Respectfully Submitted,



**Salvatore J. Cumella**  
**Historic Preservation Planner**

## PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

The existing structure is a single story wood framed house on a brick pier foundation. Horizontal wood siding wraps the structure. The house displays a gable roof that runs across the north/south direction with a smaller hip roof covering the front porch. The original columns on the porch remain unaltered with masonry lower sections & upper wood carpentry details. The doors and windows are mostly the original wooden fenestration of the dwelling throughout, with the exception of some rear aluminum windows more recently added. There is a wooden deck located on the rear elevation that steps onto the back yard. The backyard has a small wood shed strapped to a temporary block foundation. A wooden privacy fence surrounds the lot up to the mid-section of the dwelling on the north and south side elevations

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

This proposal includes the reconfiguration of the rear section of the house from a single story to a two-story floorplan. The direction of the roof remains perpendicular to the main gable roof, and it covers the second-floor addition and a proposed screened porch on the rear elevation. On the south side elevation, a carport extends out over the driveway, providing side access and protection from the rain into the main dwelling. At the end of the driveway, a proposed garage with a bonus apartment above is located on the rear south/east corner of the lot. The roof on this secondary building runs in the same direction as the two-story addition, and it also displays matching roof slopes. Lastly, an inground swimming pool with a screened enclosure will be added on the north/east section of the lot, connecting the garage side entrance with the main building's rear entrance.

Wood framing and painted wood exterior siding will be installed to match the existing historical novelty horizontal lap siding. VERTICAL BOARD AND BATTEN SIDING WILL BE INSTALLED ON THE GARAGE AND STANDING SEAM ROOF WILL REPLACE THE EXISTING ROOFING. Window & door replacements will be a close match to the original fenestration materials of the building to preserve the original characteristics displayed on the front elevation.

## DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

Removal of existing wood shed.

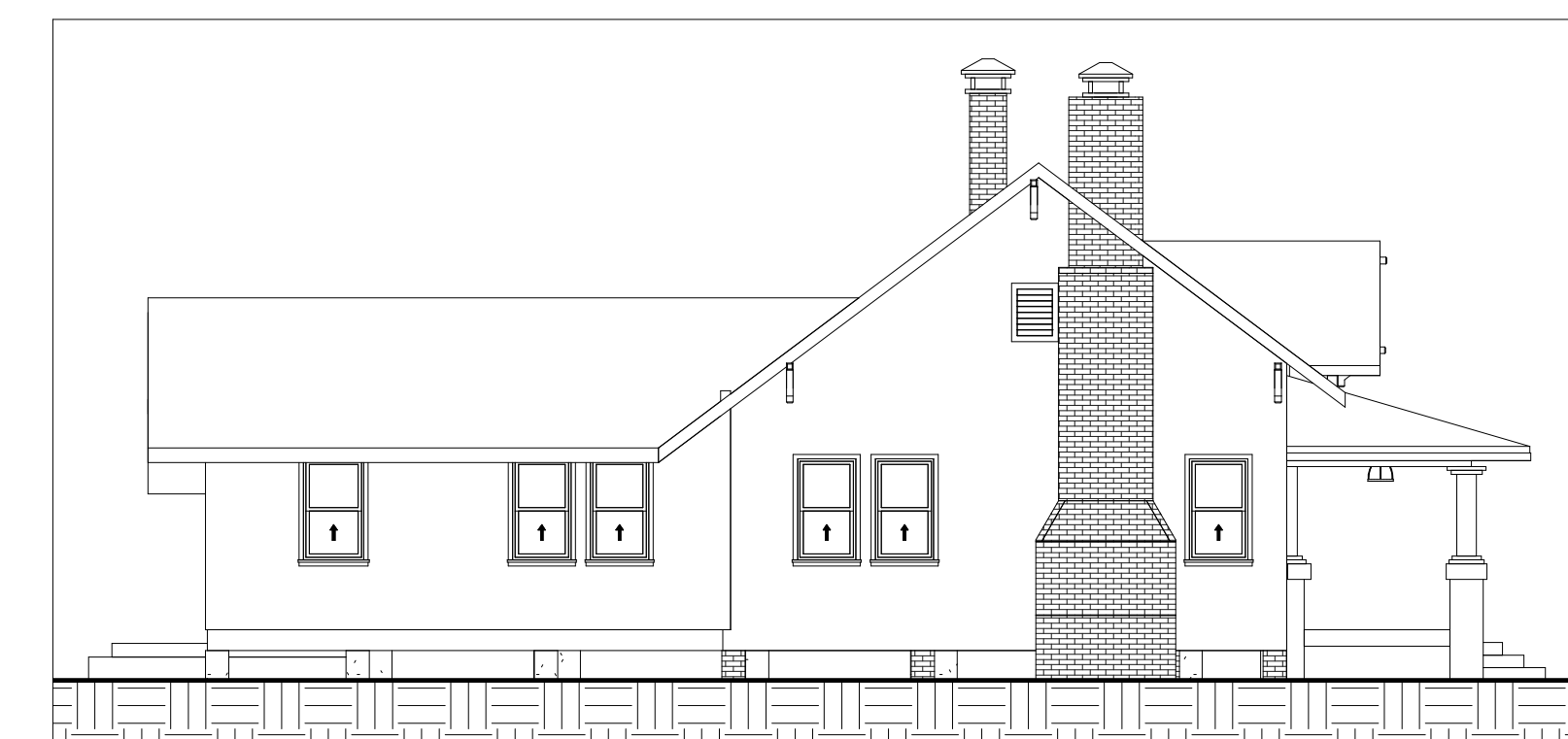
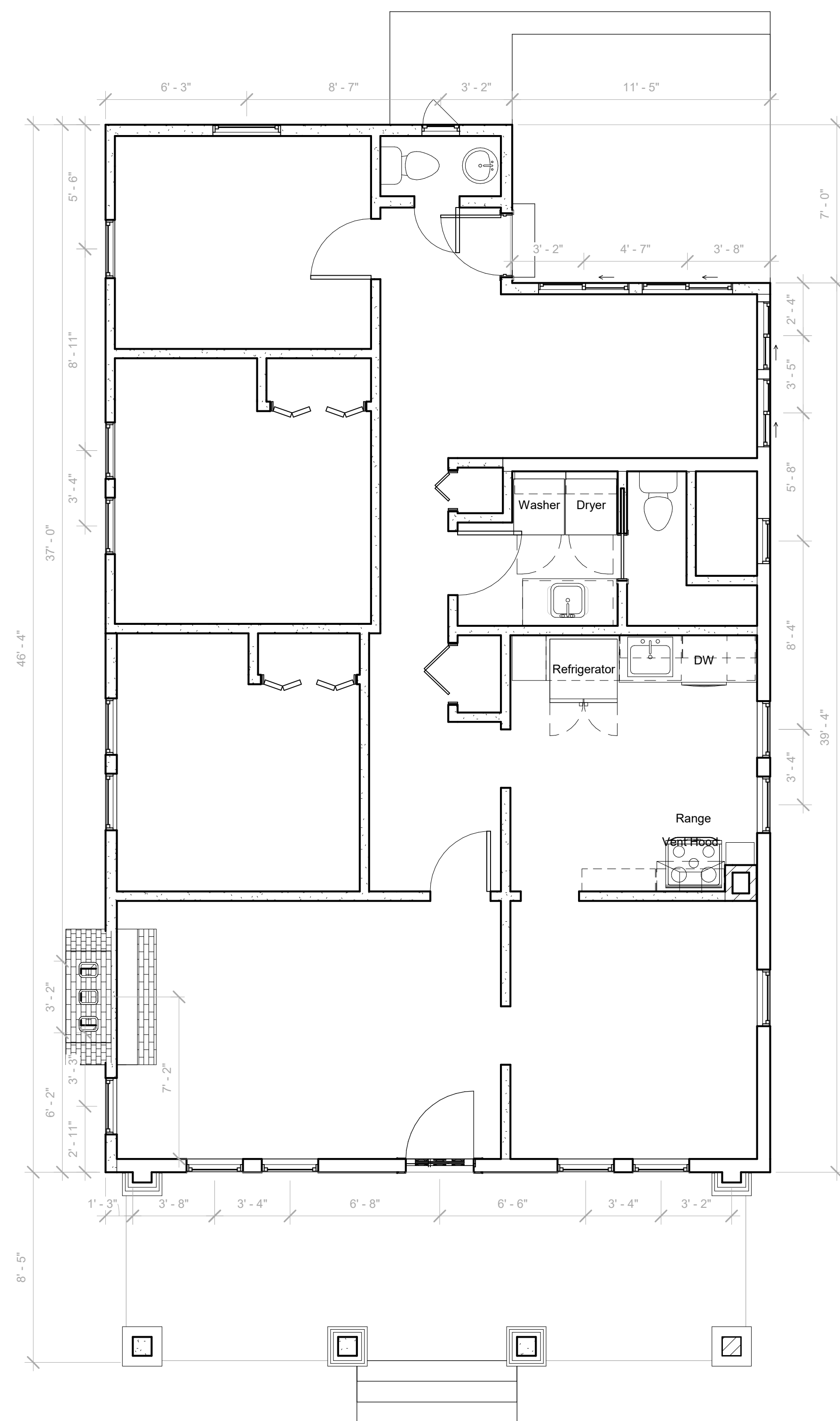
## MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b.

Please describe the zoning modification and attach completed, required forms.

We petition for a zoning modification to allow for encroachment over the building setback line on the south side. The structure is a carport located directly over the driveway and the garage, which will encroach 4'-0" into the existing 7'-6" BSL





AREA	SQFT
EXISTING LIVING	1,296
EXISTING PORCH	224
TOTAL UNDER ROOF	1,520

1502 NW 6TH ST  
GAINESVILLE FL 32601  
352.378.0521  
www.atlanticd.com

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MARTIN  
ENTIRE HOUSE  
REMODEL

633 NE 6th St

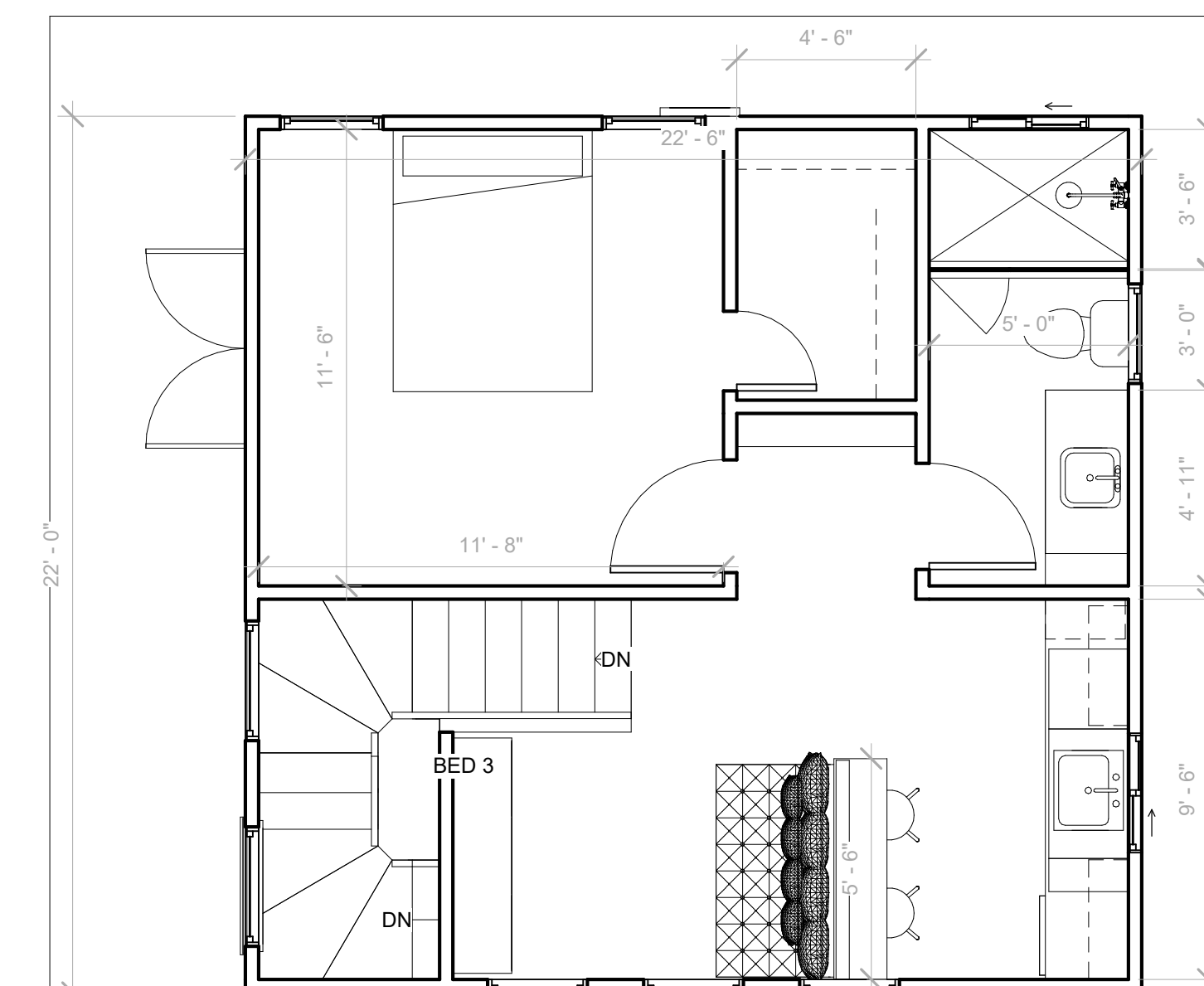
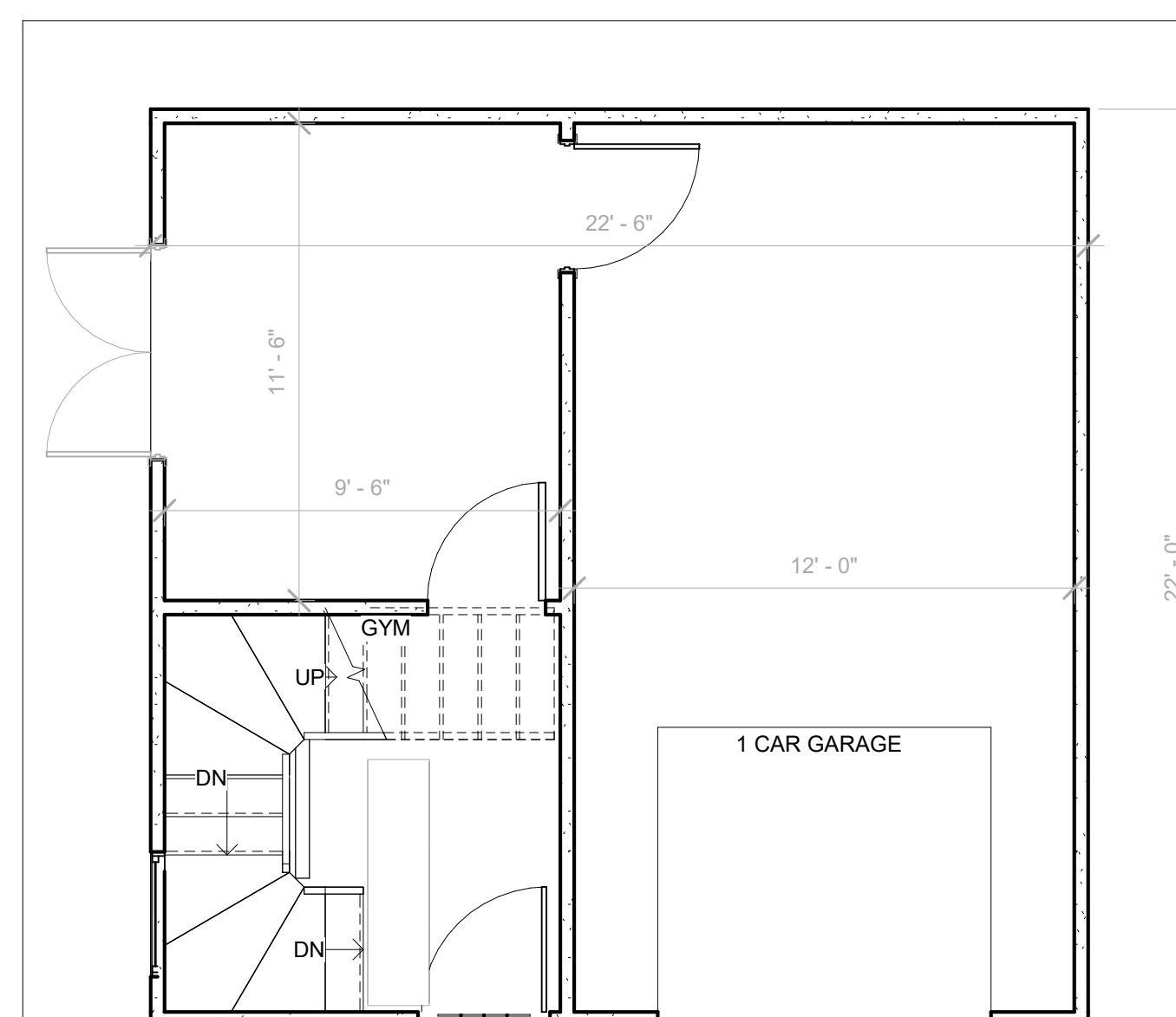
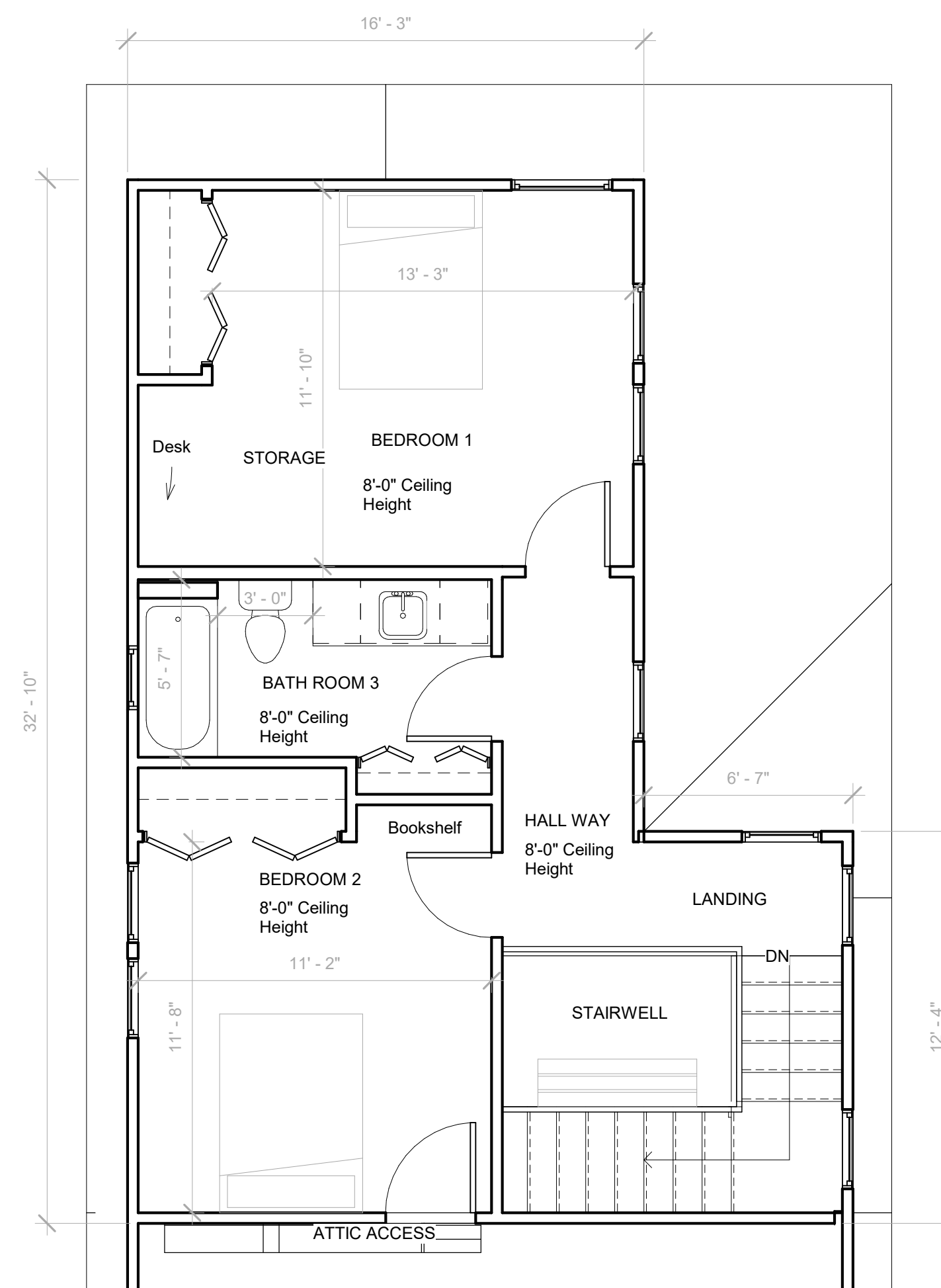
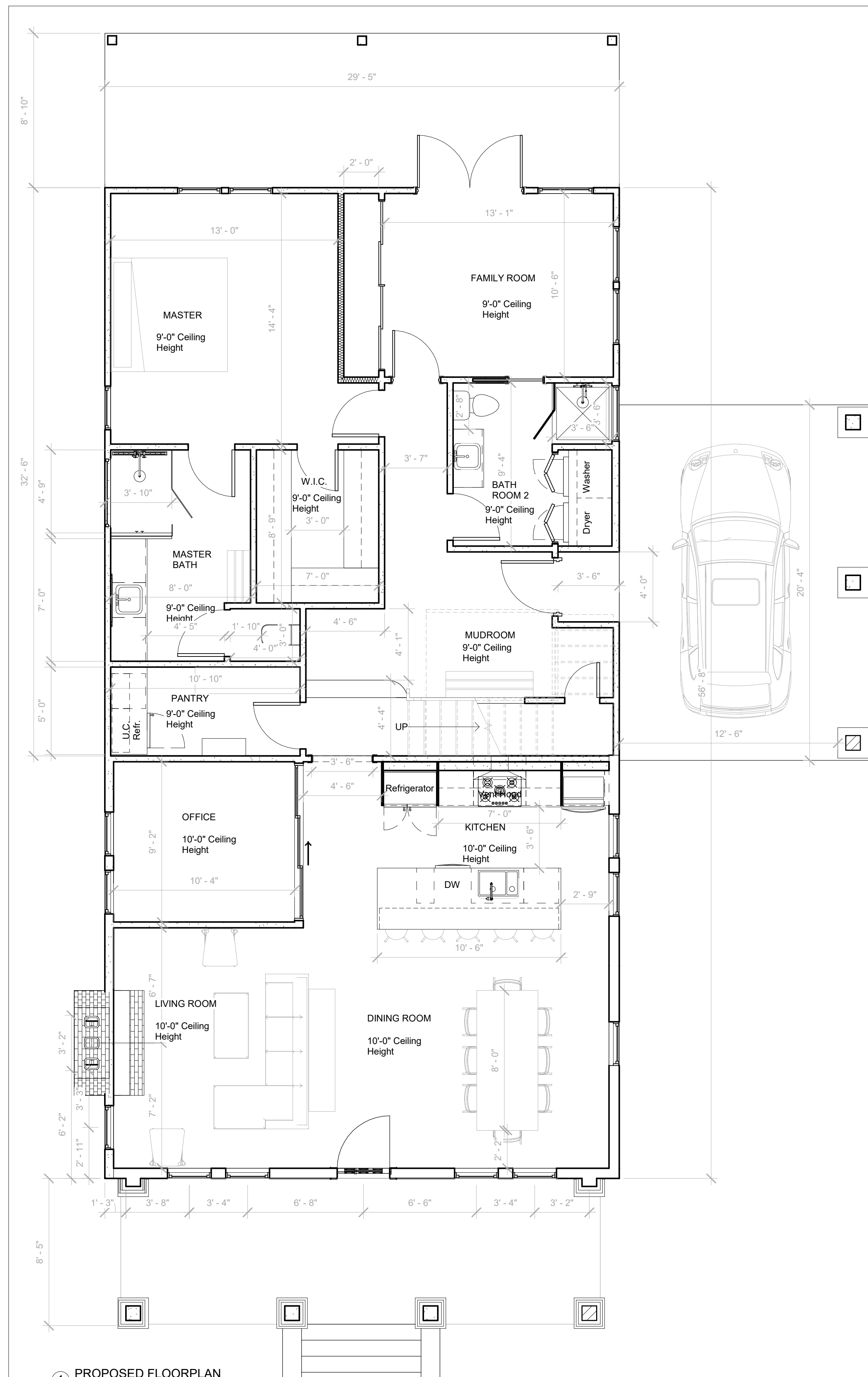
## EXISTING PLANS

Project number	
Date	8/13/20
Drawn by	ALEX RAMOS
Checked by	SAM KRAGIEL

A101

Scale	As indicated
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PROPOSED CONDITIONED	
AREA	SQFT
PROPOSED 2ND FLOOR	615
PROPOSED 1ST FLOOR	1,667
PROPOSED APARTMENT	224
TOTAL CONDITIONED	2,506

PROPOSED UNCONDITIONED	
AREA	SQFT
CAR PORT	265
BACK PORCH	260
GARAGE	271
TOTAL UNCONDITIONED	796

[illegible]

MARTIN  
ENTIRE HOUSE  
REMODEL

633 NE 6th St

## Proposed Floorplans

Project number	
Date	8/13/20
Drawn by	Sam Kragiel
Checked by	Suzanne Kragiel & Doug Nestor
A102	
Scale	1/4" = 1'-0"



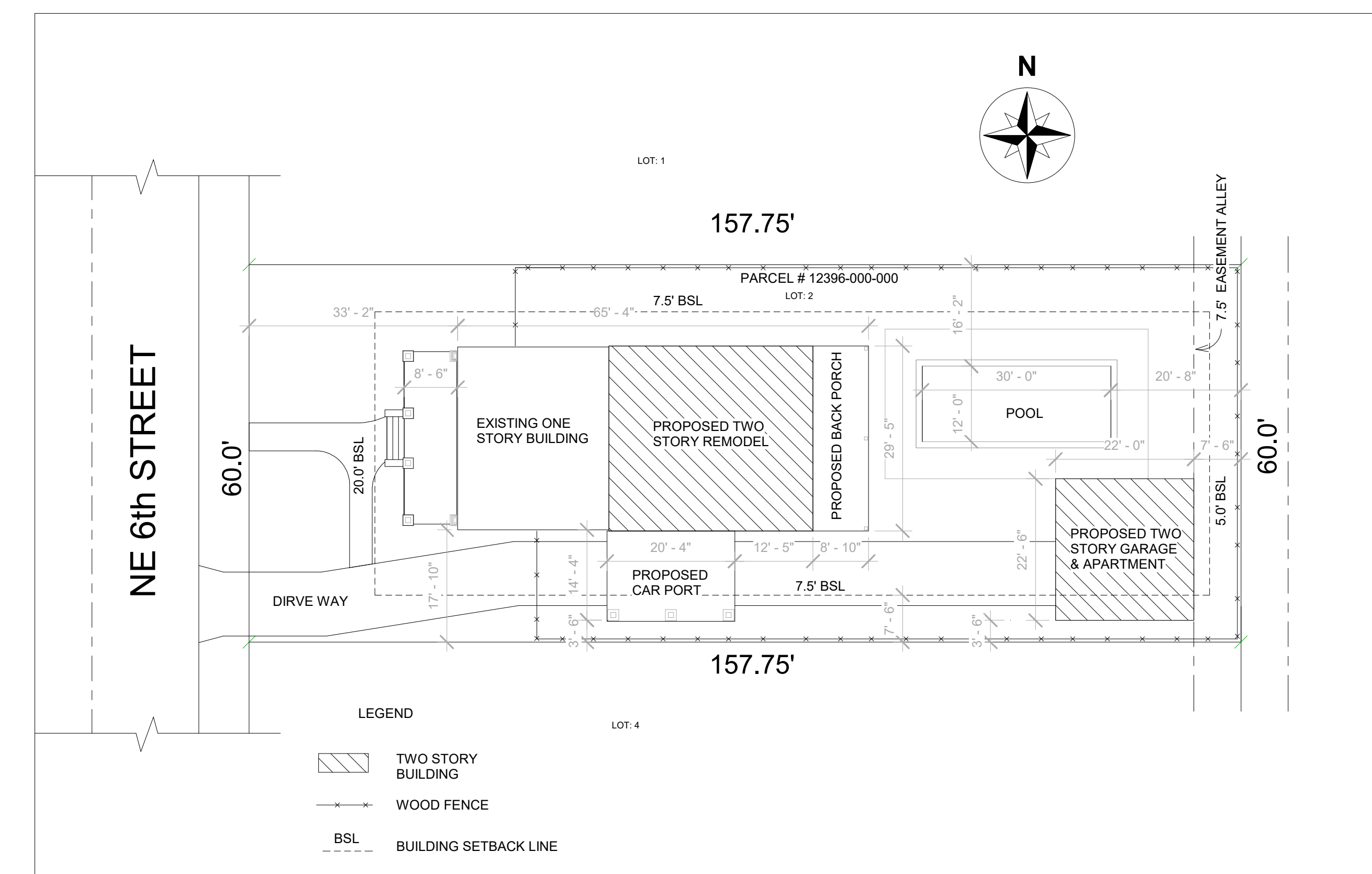
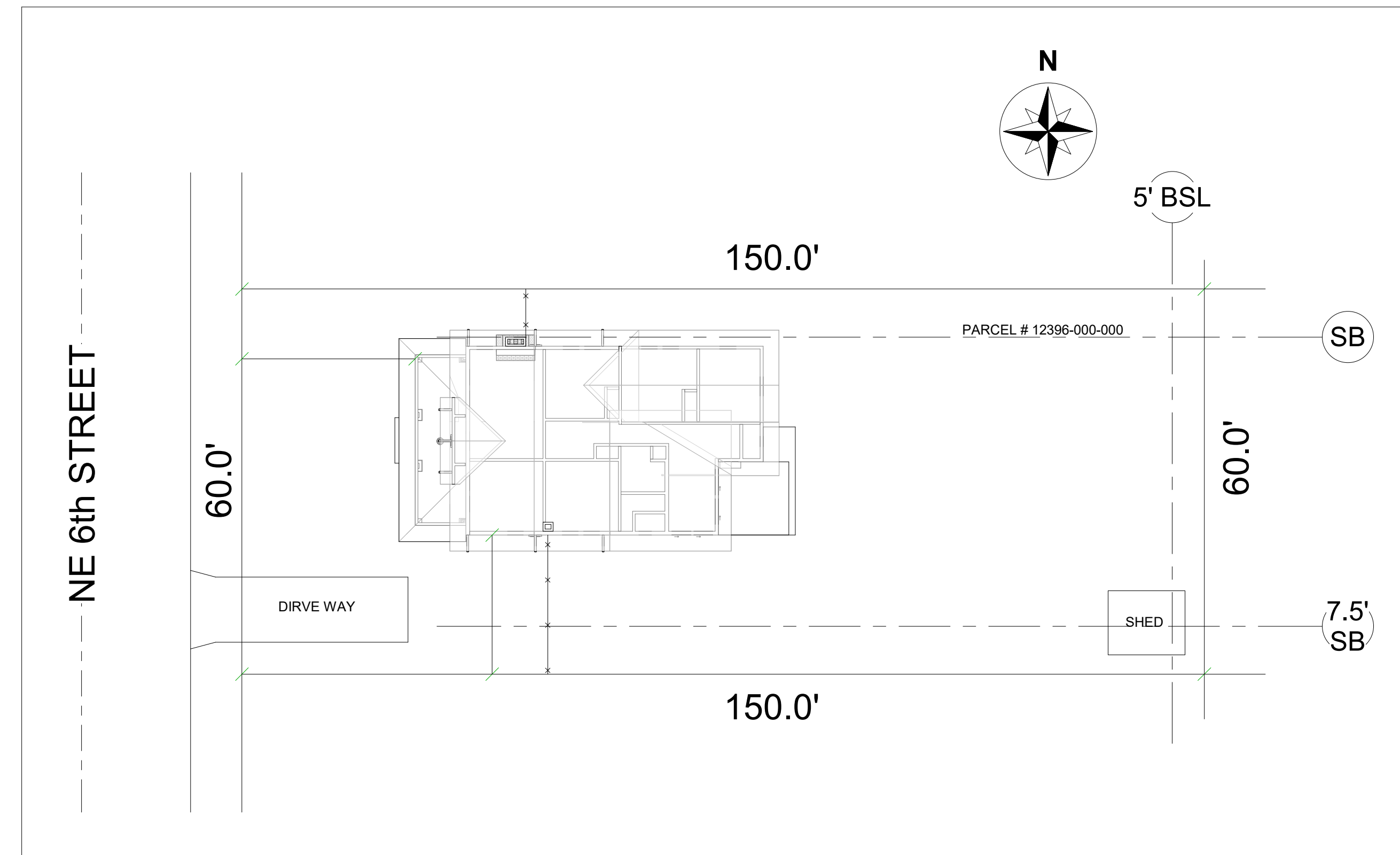
**ATLANTIC DESIGN HOMES**

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[www.atlanticdc.com](http://www.atlanticdc.com)

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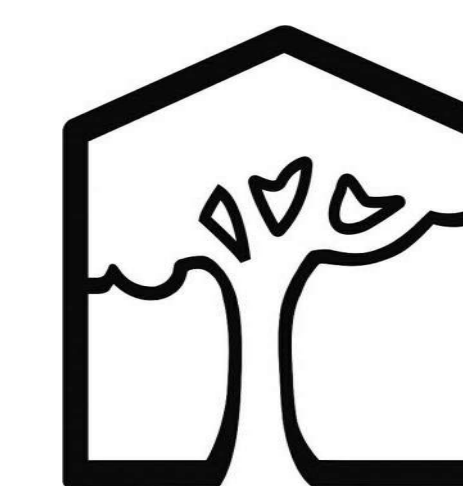
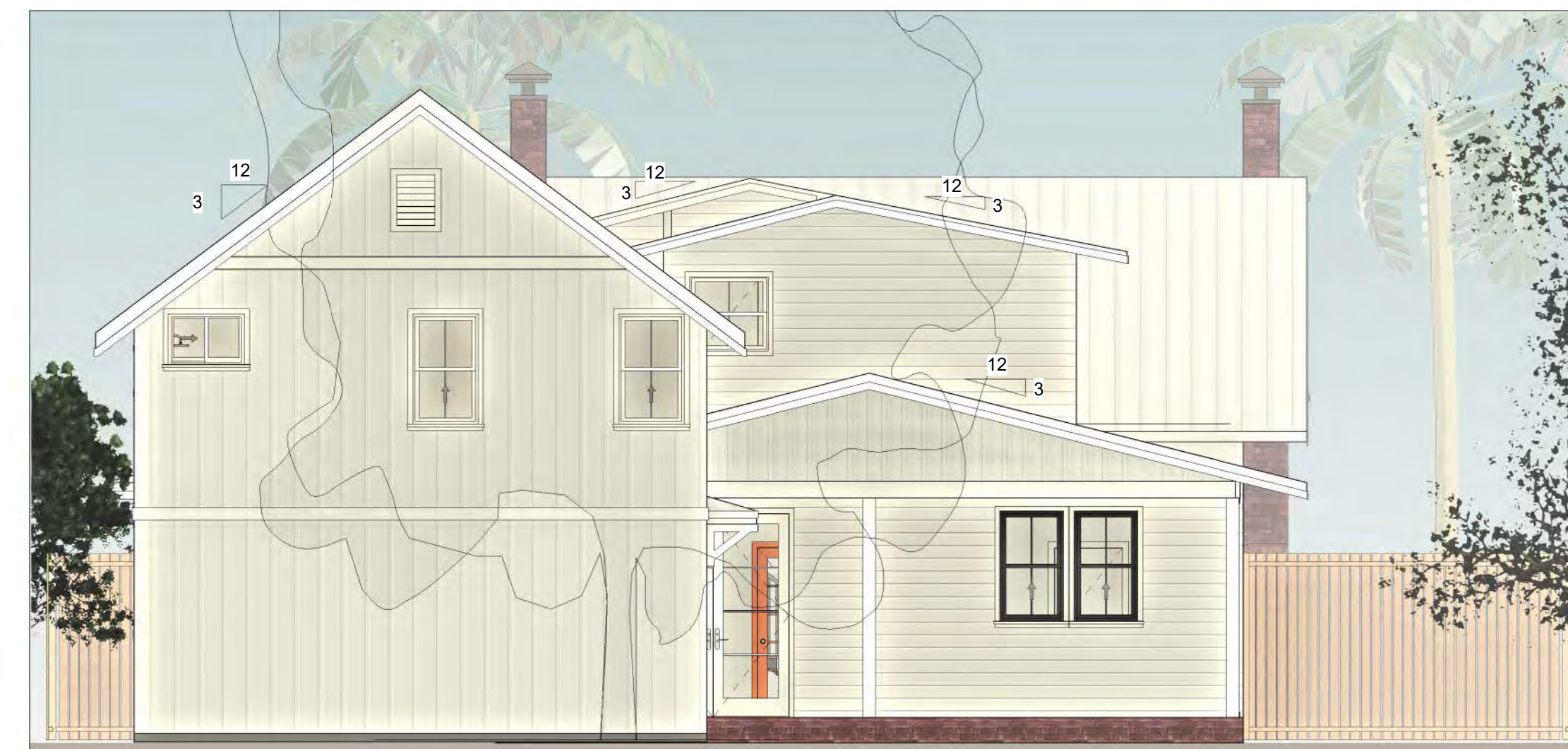
MARTIN  
ENTIRE HOUSE  
REMODEL

633 NE 6th St

## Site Plans

Project number	
Date	8/13/20
Drawn by	Alex Ramos
Checked by	Sam Kragiel
A103	
Scale	1/16" = 1'-0"





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REMODEL

633 NE 6th St

# PROPOSED ELEVATION DRAWINGS

Project number	
Date	8/13/20
Drawn by	Sam Kragiel
Checked by	Suzanne Kragiel and Doug Nesbit
<b>A104</b>	
Scale	As indicated





① 3D Right



② 3D Left



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[illegible]

MARTIN  
ENTIRE HOUSE  
REMODEL

633 NE 6th St

### 3d Views

Project number	
Date	8/13/20
Drawn by	Sam Kragiel
Checked by	Doug Nesbit
A105	
Scale	



FRONT ELEVATION & TWO STORY ADJACENT HOUSE



FRONT ELEVATION  
633 NE 6th Street, Gainesville, FL 32601



DRIVEWAY BETWEEN 1 STORY & 2 STORY HOUSES  
633 NE 6th Street, Gainesville, FL 32601



NORTH ELEVATION  
629 NE 6th Street, Gainesville, FL 32601



NORTH ELEVATION  
629 NE 6th Street, Gainesville, FL 32601

EXISTING HOME



RIGHT ELEVATION  
633 NE 6th Street, Gainesville, FL 32601



VIEW OF REAR ENTRANCE  
633 NE 6th Street, Gainesville, FL 32601



REAR ELEVATION  
633 NE 6th Street, Gainesville, FL 32601



LEFT ELEVATION  
633 NE 6th Street, Gainesville, FL 32601

NORTH SIDE



VIEW OF NORTH PROPERTY LINE  
637 NE 6th Street, Gainesville, FL 32601

EXISTING SHED



633 NE 6th Street, Gainesville, FL 32601

TWO STORY HOUSE

WITHIN LESS THAN 0.5 MILES



TWO STORY HOUSE  
620 NE 6th Avenue, Gainesville, FL 32601



TWO STORY HOUSE  
620 NE 6th Avenue, Gainesville, FL 32601

## Summary:

We disagree with city Staff's recommendation for denial of the alteration of the rear of the primary structure. We have taken the standards and guidelines of the Secretary of the Interior and the City of Gainesville regarding preservation of historic structures into account when designing the proposed changes. The proposal represents our best effort to provide the uses necessary for our clients and their family while also preserving as much of the original structure and historic elements as possible.

Please review the responses specific to each of Staff's noted guidelines below:

The applicable guidelines from the Secretary of the Interior's Standards for Rehabilitation as noted by city staff:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Our goal from the beginning of the design process has been to preserve the front facade of the property. The three sides of the main structure that are visible to the public will be left intact. There are no changes proposed to window or door openings, the front porch or dormer details. We recognize that some removal of historic materials will occur, but we have worked to avoid it as much as possible and to limit it to the rear of the structure.



3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

As stated above, the intention is to keep as much of the original structure intact and period appropriate as possible. There are no plans of adding details not consistent with the original design to the front facade or side elevations of the structure.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

We have endeavored to minimize demolition of historic materials and keep any demolition to the rear of the structure outside of the view of the front facade. The new addition to the rear of the main structure will be differentiated from the original with siding details and architectural style. The design does not extend past the original width or height of the main house in order to protect the historical integrity of the property.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While unlikely to be removed, the new addition could be removed and the front portion of the home preserved to maintain its essential, original form.

Applicable guidelines from The City of Gainesville Historic Preservation Rehabilitation and Design Guidelines as noted by city staff:

**Additions to Existing Buildings** (pg. 90)

New additions should be designed to minimize the impact on the visual character and materials of the historic structure. The applicant should take care to preserve as much of the original building wall as possible by utilizing existing openings for passageways rather than increasing their size.

New additions should be compatible in terms of mass, materials, vertical or horizontal projection, relationship of solids and voids, symmetry or asymmetry and size and scale with the principal structure. However, the character of the historic resource should be identifiable after the addition is constructed. Additions should be constructed in a manner that clearly distinguishes the footprint and plan for the historic building.

We have kept visual impact to a minimum while preserving as much of the historic structure as possible, while achieving the necessary uses for the owners. The height and width of the addition do not exceed the front facade of the main structure and the symmetry of the main structure is repeated in the addition. The addition will be clearly distinguishable from the historic property.

## **Recommended**

1. Place functions and services required for a new use in non-character defining interior spaces rather than installing a new addition.

The functions and services required are not possible in the existing home.

2. Protect architectural details and features that contribute to the character of the building during the course of constructing the addition.

The existing architectural details and features will be protected and restored as part of the construction process.

3. Construct a new addition so that there is the least possible loss of historic materials and so that character- defining features are not obscured, damaged, or destroyed.

While there will be some loss of historic materials in the rear additions of the property, by preserving the front main structure, the intention is to minimize that loss and preserve the most character defining features.

4. Locate an attached exterior addition at the rear or on inconspicuous side of a historic building; and limit its size and scale in relationship to the historic building.

The attached addition will be the rear of the historic building and its height and width are limited to that of the historic structure.

5. Design new additions in a manner that clearly distinguishes historic and non-historic features.

The new addition will be clearly distinguishable from the historic structure.

6. Design additional stories, when required for a new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

The second story is set in from the wall plane of first floor and has limited visibility from the street.

### **Not Recommended**

1. Expanding the size of a historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.

The new uses could not be met in the existing interior spaces.

2. Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

The new addition is set to the rear of the historic structure and the design preserves its character defining features.

3. Designing a new addition so that its size and scale are out of proportion to the historic building, thus, diminishing its historic character.

The height and width and scale of the addition are in proportion with the historic structure.

4. Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.

The new work will not appear to be part of the historic building. It will differ in detail and architectural style while not clashing with the existing structure.

5. Imitating a historic style or period of architecture in new additions, especially those used for contemporary uses.

There is no plan to imitate historic details in the new addition.

6. Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

The main historic structure remains the front facade of the home and is the most dominant, visible and character defining portion of the home.

7. Using the same wall plane, roof line, cornice height, materials, siding lap or window type to make additions appear to be part of a historic building.

While some wall planes line up, the roof lines, eave detail, siding detail and new windows will serve to distinguish the addition from the historic structure.

8. Adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades.

The addition height will not be more than the existing building and the new roof will not be visible from the front elevation.

## Summary:

We disagree with city Staff's recommendation for denial of the alteration of the rear of the primary structure. We have taken the standards and guidelines of the Secretary of the Interior and the City of Gainesville regarding preservation of historic structures into account when designing the proposed changes. The proposal represents our best effort to provide the uses necessary for our clients and their family while also preserving as much of the original structure and historic elements as possible.

Please review the responses specific to each of Staff's noted guidelines below:

The applicable guidelines from the Secretary of the Interior's Standards for Rehabilitation as noted by city staff:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Our goal from the beginning of the design process has been to preserve the front facade of the property. The three sides of the main structure that are visible to the public will be left intact. There are no changes proposed to window or door openings, the front porch or dormer details. We recognize that some removal of historic materials will occur, but we have worked to avoid it as much as possible and to limit it to the rear of the structure.



3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

As stated above, the intention is to keep as much of the original structure intact and period appropriate as possible. There are no plans of adding details not consistent with the original design to the front facade or side elevations of the structure.

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

We have endeavored to minimize demolition of historic materials and keep any demolition to the rear of the structure outside of the view of the front facade. The new addition to the rear of the main structure will be differentiated from the original with siding details and architectural style. The design does not extend past the original width or height of the main house in order to protect the historical integrity of the property.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While unlikely to be removed, the new addition could be removed and the front portion of the home preserved to maintain its essential, original form.

Applicable guidelines from The City of Gainesville Historic Preservation Rehabilitation and Design Guidelines as noted by city staff:

**Additions to Existing Buildings** (pg. 90)

New additions should be designed to minimize the impact on the visual character and materials of the historic structure. The applicant should take care to preserve as much of the original building wall as possible by utilizing existing openings for passageways rather than increasing their size.

New additions should be compatible in terms of mass, materials, vertical or horizontal projection, relationship of solids and voids, symmetry or asymmetry and size and scale with the principal structure. However, the character of the historic resource should be identifiable after the addition is constructed. Additions should be constructed in a manner that clearly distinguishes the footprint and plan for the historic building.

We have kept visual impact to a minimum while preserving as much of the historic structure as possible, while achieving the necessary uses for the owners. The height and width of the addition do not exceed the front facade of the main structure and the symmetry of the main structure is repeated in the addition. The addition will be clearly distinguishable from the historic property.

## **Recommended**

1. Place functions and services required for a new use in non-character defining interior spaces rather than installing a new addition.

The functions and services required are not possible in the existing home.

2. Protect architectural details and features that contribute to the character of the building during the course of constructing the addition.

The existing architectural details and features will be protected and restored as part of the construction process.

3. Construct a new addition so that there is the least possible loss of historic materials and so that character- defining features are not obscured, damaged, or destroyed.

While there will be some loss of historic materials in the rear additions of the property, by preserving the front main structure, the intention is to minimize that loss and preserve the most character defining features.

4. Locate an attached exterior addition at the rear or on inconspicuous side of a historic building; and limit its size and scale in relationship to the historic building.

The attached addition will be the rear of the historic building and its height and width are limited to that of the historic structure.

5. Design new additions in a manner that clearly distinguishes historic and non-historic features.

The new addition will be clearly distinguishable from the historic structure.

6. Design additional stories, when required for a new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

The second story is set in from the wall plane of first floor and has limited visibility from the street.

### **Not Recommended**

1. Expanding the size of a historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.

The new uses could not be met in the existing interior spaces.

2. Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

The new addition is set to the rear of the historic structure and the design preserves its character defining features.

3. Designing a new addition so that its size and scale are out of proportion to the historic building, thus, diminishing its historic character.

The height and width and scale of the addition are in proportion with the historic structure.

4. Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.

The new work will not appear to be part of the historic building. It will differ in detail and architectural style while not clashing with the existing structure.

5. Imitating a historic style or period of architecture in new additions, especially those used for contemporary uses.

There is no plan to imitate historic details in the new addition.

6. Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

The main historic structure remains the front facade of the home and is the most dominant, visible and character defining portion of the home.

7. Using the same wall plane, roof line, cornice height, materials, siding lap or window type to make additions appear to be part of a historic building.

While some wall planes line up, the roof lines, eave detail, siding detail and new windows will serve to distinguish the addition from the historic structure.

8. Adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades.

The addition height will not be more than the existing building and the new roof will not be visible from the front elevation.

FRONT ELEVATION & TWO STORY ADJACENT HOUSE



FRONT ELEVATION  
633 NE 6th Street, Gainesville, FL 32601



DRIVEWAY BETWEEN 1 STORY & 2 STORY HOUSES  
633 NE 6th Street, Gainesville, FL 32601



NORTH ELEVATION  
629 NE 6th Street, Gainesville, FL 32601



NORTH ELEVATION  
629 NE 6th Street, Gainesville, FL 32601

EXISTING HOME



RIGHT ELEVATION  
633 NE 6th Street, Gainesville, FL 32601



VIEW OF REAR ENTRANCE  
633 NE 6th Street, Gainesville, FL 32601



REAR ELEVATION  
633 NE 6th Street, Gainesville, FL 32601



LEFT ELEVATION  
633 NE 6th Street, Gainesville, FL 32601

NORTH SIDE



VIEW OF NORTH PROPERTY LINE  
637 NE 6th Street, Gainesville, FL 32601

EXISTING SHED



633 NE 6th Street, Gainesville, FL 32601

TWO STORY HOUSE

WITHIN LESS THAN 0.5 MILES



TWO STORY HOUSE  
620 NE 6th Avenue, Gainesville, FL 32601



TWO STORY HOUSE  
620 NE 6th Avenue, Gainesville, FL 32601



## PROJECT DESCRIPTION

1. DESCRIBE THE EXISTING CONDITIONS AND MATERIALS Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions as well as the surrounding context.

The existing structure is a single story wood framed house on a brick pier foundation. Horizontal wood siding wraps the structure. The house displays a gable roof that runs across the north/south direction with a smaller hip roof covering the front porch. The original columns on the porch remain unaltered with masonry lower sections & upper wood carpentry details. The doors and windows are mostly the original wooden fenestration of the dwelling throughout, with the exception of some rear aluminum windows more recently added. There is a wooden deck located on the rear elevation that steps onto the back yard. The backyard has a small wood shed strapped to a temporary block foundation. A wooden privacy fence surrounds the lot up to the mid-section of the dwelling on the north and south side elevations

2. DESCRIBE THE PROPOSED PROJECT AND MATERIALS Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

This proposal includes the reconfiguration of the rear section of the house from a single story to a two-story floorplan. The direction of the roof remains perpendicular to the main gable roof, and it covers the second-floor addition and a proposed screened porch on the rear elevation. On the south side elevation, a carport extends out over the driveway, providing side access and protection from the rain into the main dwelling. At the end of the driveway, a proposed garage with a bonus apartment above is located on the rear south/east corner of the lot. The roof on this secondary building runs in the same direction as the two-story addition, and it also displays matching roof slopes. Lastly, an inground swimming pool with a screened enclosure will be added on the north/east section of the lot, connecting the garage side entrance with the main building's rear entrance.

Wood framing and painted wood exterior siding will be installed to match the existing historical novelty horizontal lap siding. VERTICAL BOARD AND BATTEN SIDING WILL BE INSTALLED ON THE GARAGE AND STANDING SEAM ROOF WILL REPLACE THE EXISTING ROOFING. Window & door replacements will be a close match to the original fenestration materials of the building to preserve the original characteristics displayed on the front elevation.

## DEMOLITIONS AND RELOCATIONS (If Applicable)

Especially important for demolitions, please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object. For demolitions, discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value. For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.) Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

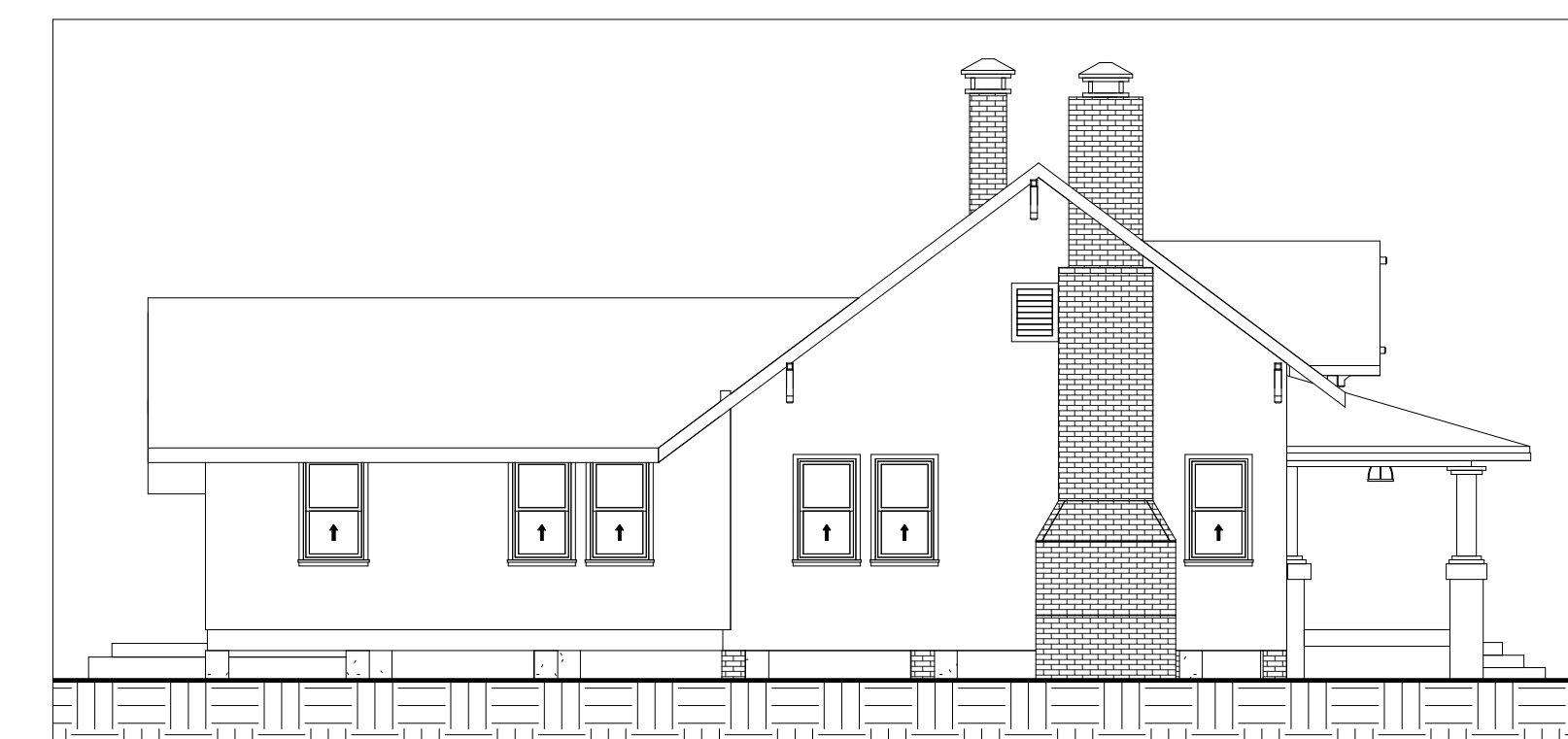
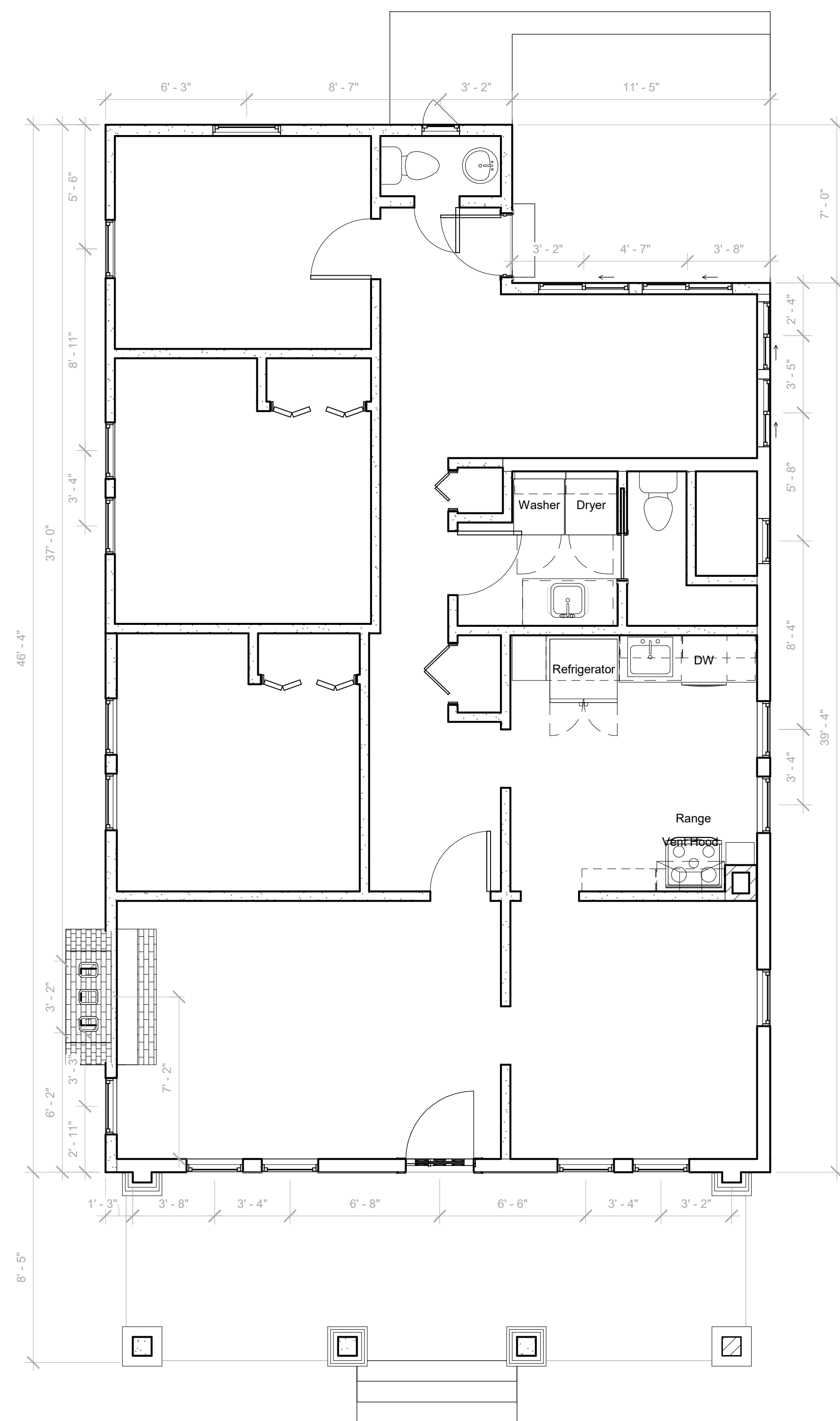
Removal of existing wood shed.

## MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-112(d)(4)b.

Please describe the zoning modification and attach completed, required forms.

We petition for a zoning modification to allow for encroachment over the building setback line on the south side. The structure is a carport located directly over the driveway and the garage, which will encroach 4'-0" into the existing 7'-6" BSL



AREA	SQFT
EXISTING LIVING	1,296
EXISTING PORCH	224
TOTAL UNDER ROOF	1,520

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ENTIRE HOUSE  
REMODEL

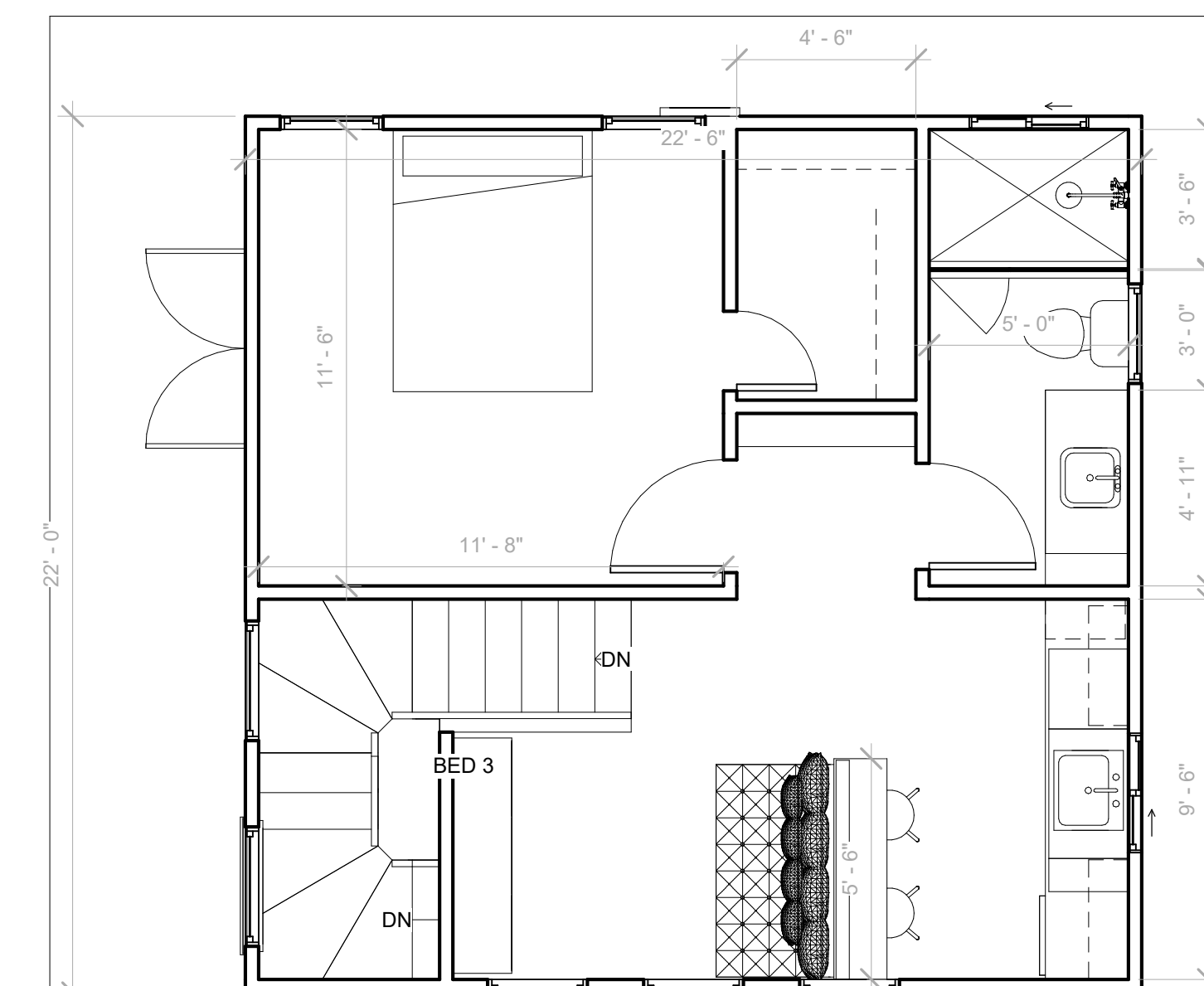
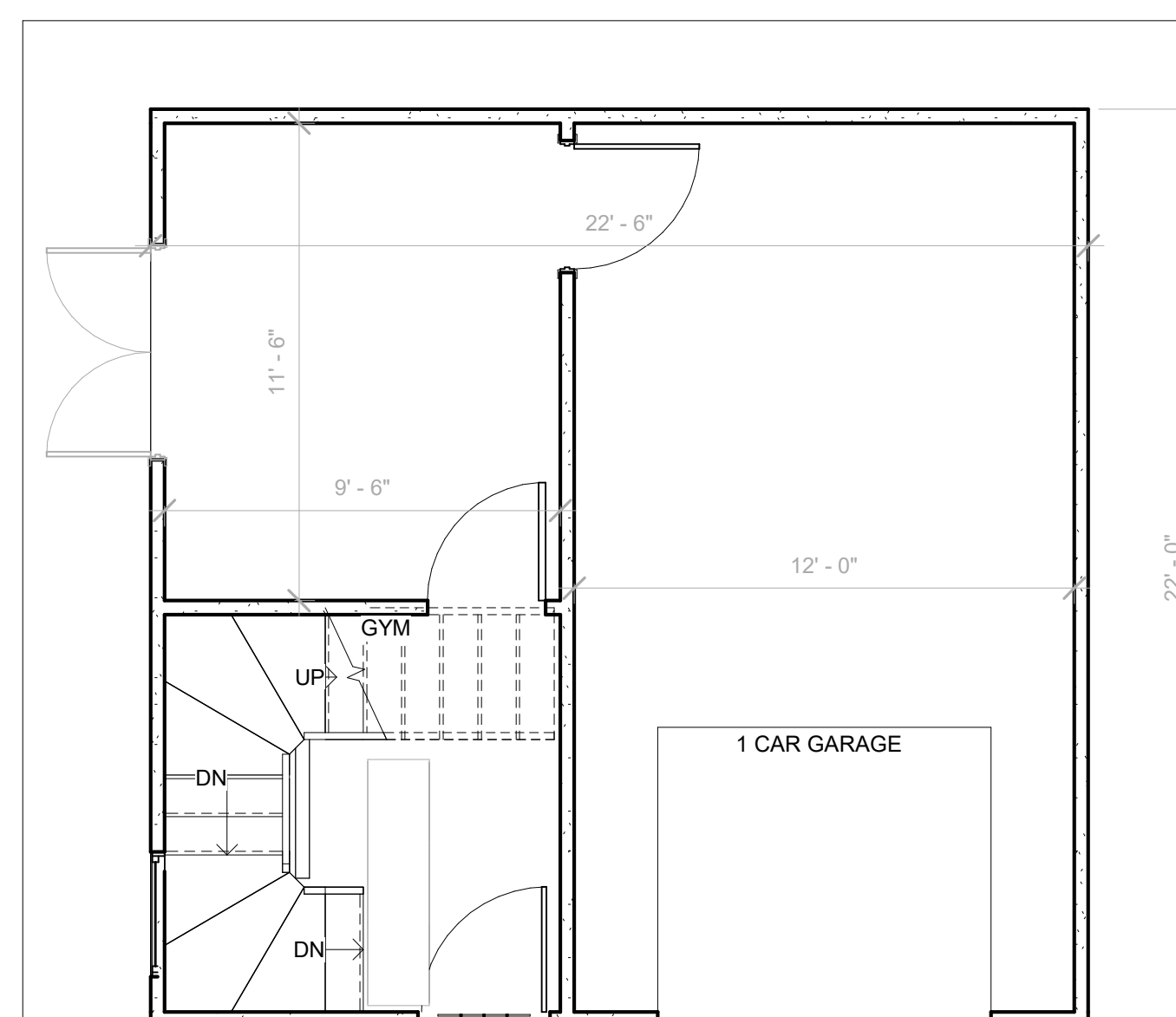
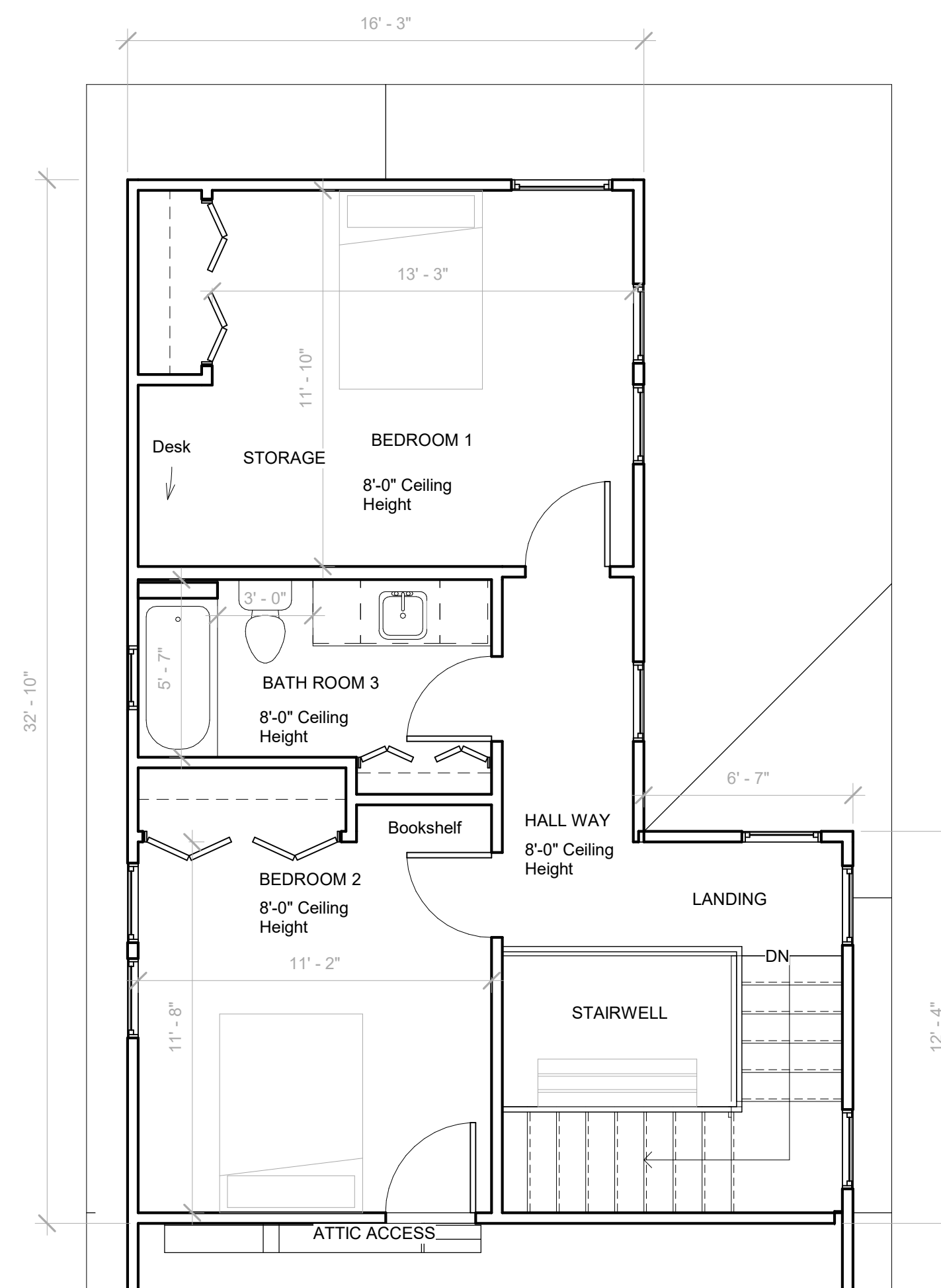
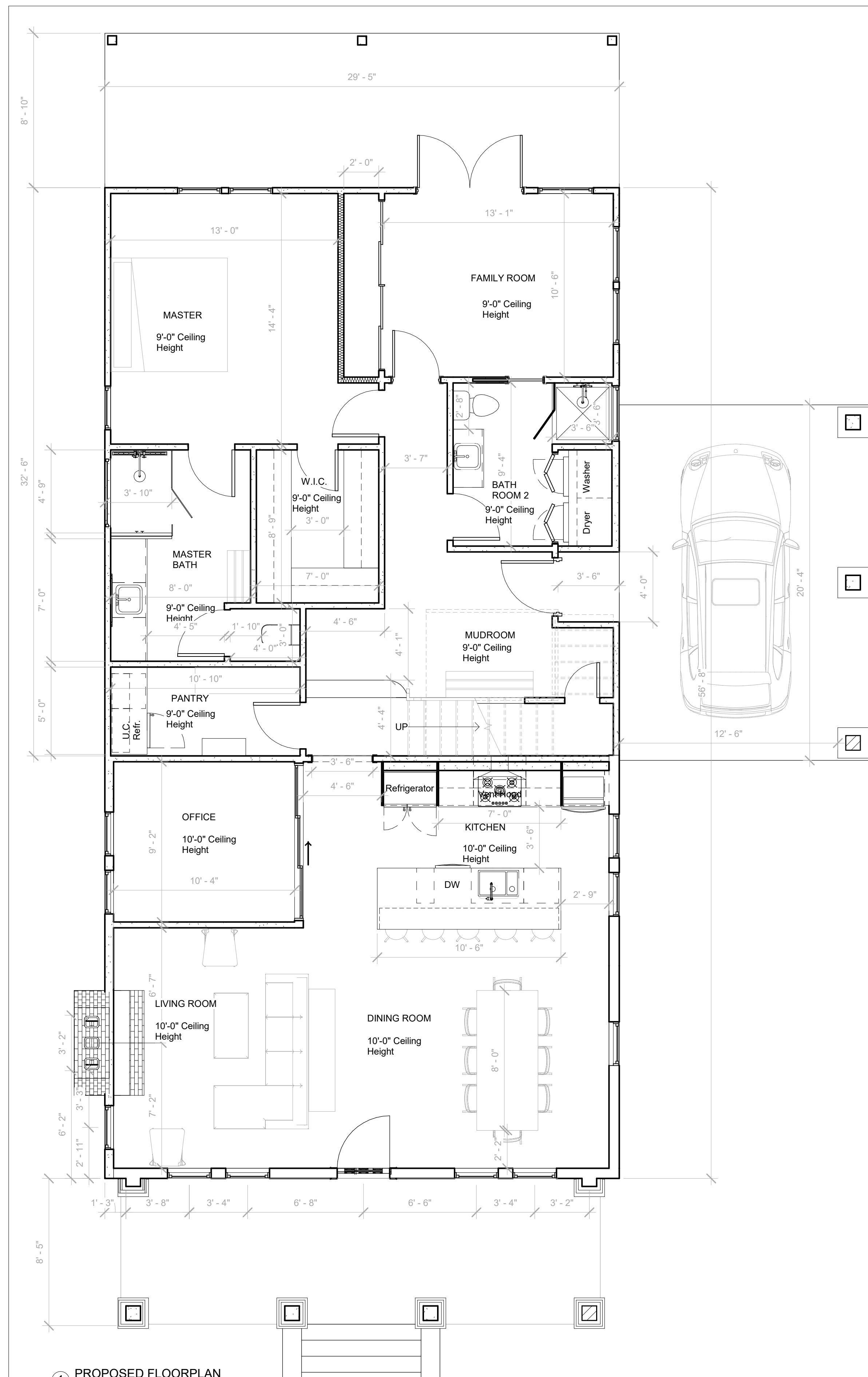
633 NE 6th St

## EXISTING PLANS

Project number	
Date	8/13/20
Drawn by	ALEX RAMOS
Checked by	SAM KRAGIEL

A101

Scale	As indicated
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PROPOSED CONDITIONED	
AREA	SQFT
PROPOSED 2ND FLOOR	615
PROPOSED 1ST FLOOR	1,667
PROPOSED APARTMENT	224
TOTAL CONDITIONED	2,506

PROPOSED UNCONDITIONED	
AREA	SQFT
CAR PORT	265
BACK PORCH	260
GARAGE	271
TOTAL UNCONDITIONED	796

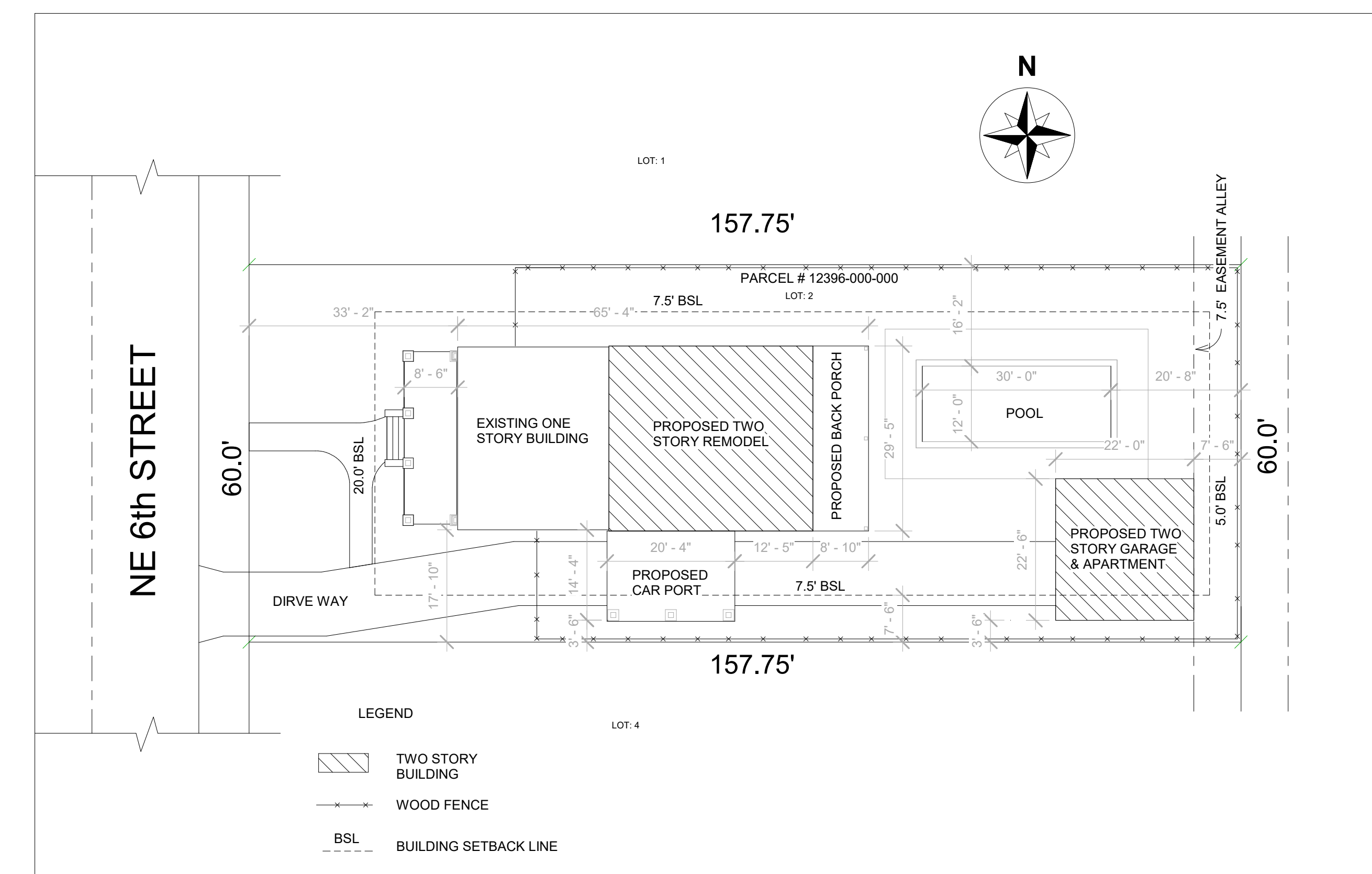
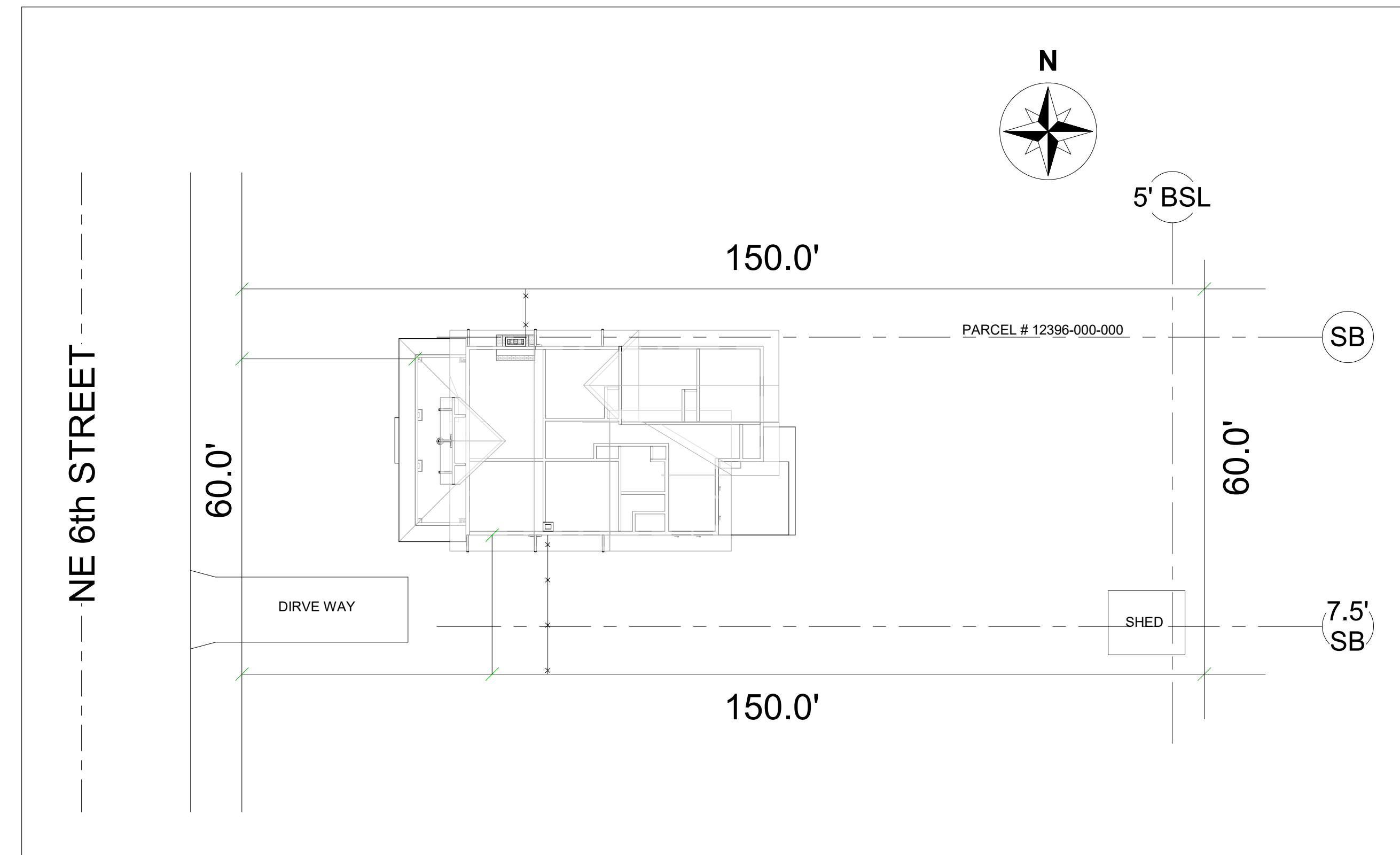
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633 NE 6th St

## Proposed Floorplans

Project number	
Date	8/13/20
Drawn by	Sam Kragiel
Checked by	Suzanne Kragiel & Doug Nestor
A102	
Scale	1/4" = 1'-0"



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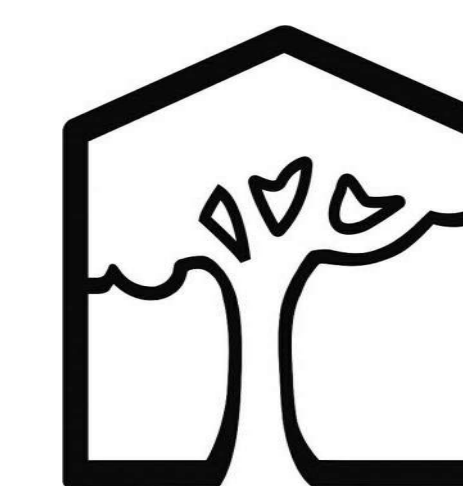
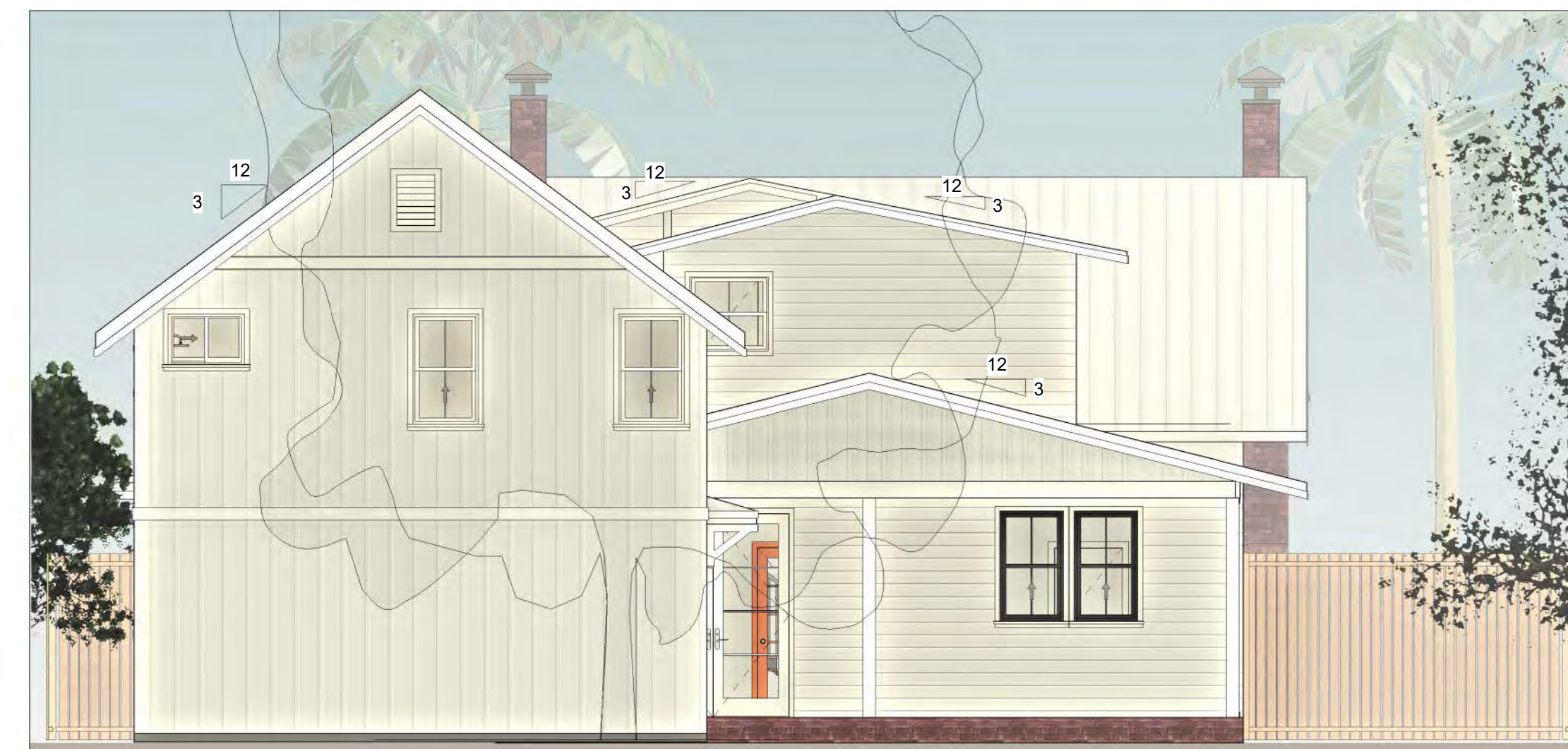
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633 NE 6th St

## Site Plans

Project number	
Date	8/13/20
Drawn by	Alex Ramos
Checked by	Sam Kragiel
A103	
Scale	1/16" = 1'-0"





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633 NE 6th St

# PROPOSED ELEVATION DRAWINGS

Project number	
Date	8/13/20
Drawn by	Sam Kragiel
Checked by	Suzanne Kragiel and Doug Nesbit
<b>A104</b>	
Scale	As indicated





① 3D Right



② 3D Left



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### 3d Views

Project number	
Date	8/13/20
Drawn by	Sam Kragiel
Checked by	Doug Nesbit
A105	
Scale	