

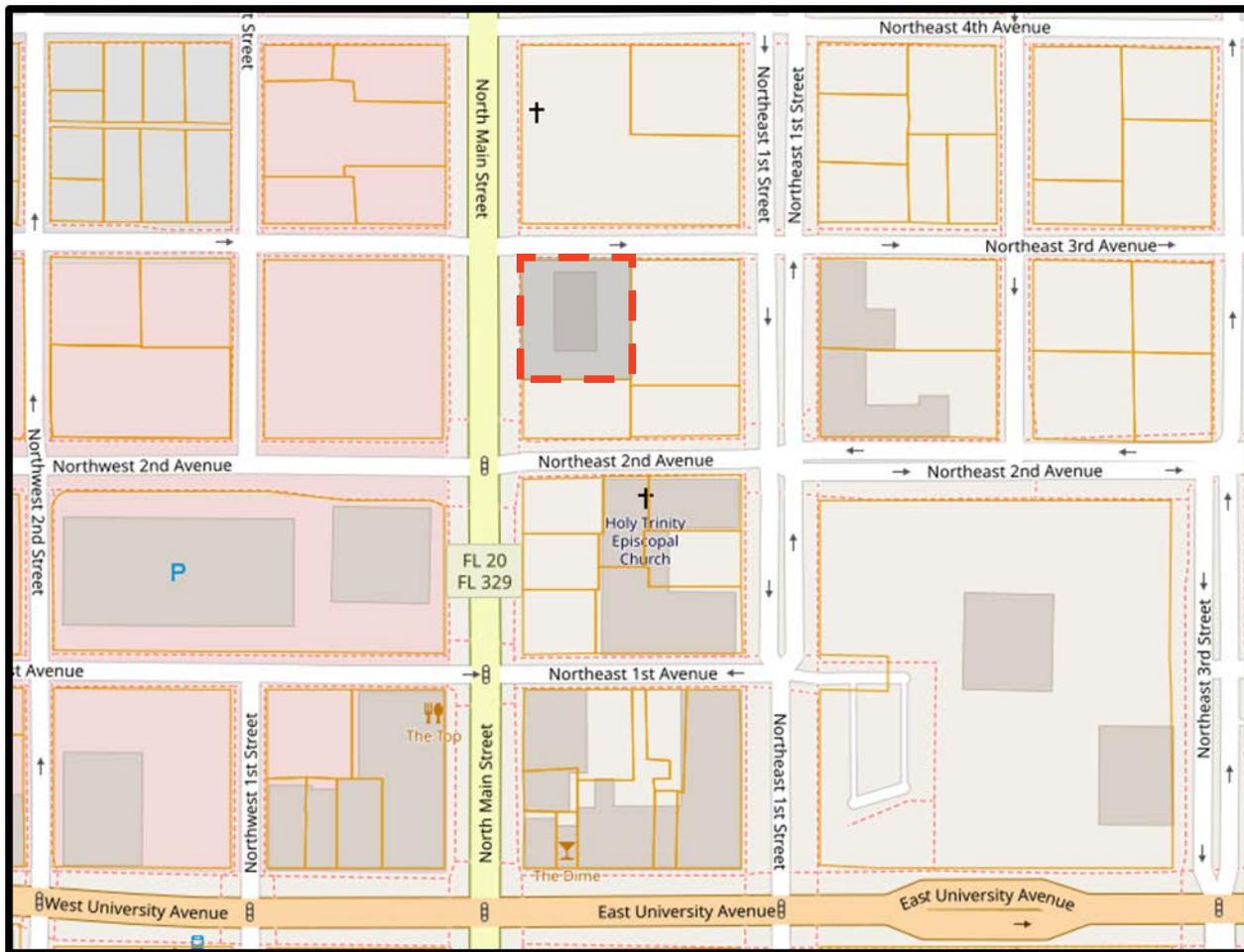


City of Gainesville
Department of Sustainable Development
Planning Division

PO Box 490, Station 11
Gainesville, FL 32627-0490
306 NE 6th Avenue
P: (352) 334-5022
F: (352) 334-2648

HISTORIC PRESERVATION BOARD STAFF REPORT

PUBLIC HEARING DATE: November 10, 2020
ITEM NO: 1 under New Business
PROJECT NAME AND NUMBER: HP-20-101
APPLICATION TYPE: Quasi-Judicial: Addition
RECOMMENDATION: Review Petition HP-20-101
CITY PROJECT CONTACT: Yvette Thomas, Planner IV



Map 1. Site Location Map

APPLICATION INFORMATION:

Agent/Applicant: Keith Perry

Property Owner(s): Keith Perry & Luis D. Rodriguez, ESQ, Historic Masonic LLC

Related Petition(s): HP-19-112

Legislative History: There is an existing petition (HP-19-112) in process for placement on the local register of historic places.

SITE INFORMATION:

Address: 215 N. Main Street

Parcel Number(s): 14730-000-000

Acreage: approximately +/- .3754 acres

Existing Use(s): Commercial

Zoning Designation(s): DT: Downtown

Historic District: In process for placement on local register

Date of construction: c. 1908

PURPOSE AND DESCRIPTION:

Certificate of Appropriateness to construct an addition and update windows on the Masonic Lodge #41. Located at 215 N. Main Street. This building is listed on the National Register of Historic Places.

STAFF REVIEW AND RECOMMENDATION:

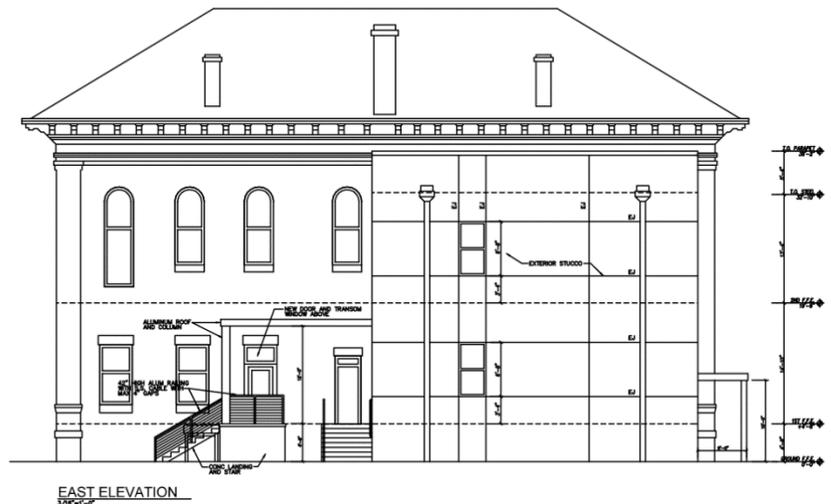
The subject parcel is located at 215 N. Main Street as indicated in Map 1. The Masonic Lodge was built in 1908 in the Italian Renaissance style with a pediment hip roof and wide overhanging eaves and had been well preserved and remained mostly unaltered. The site is currently listed on the National Register of Historic Places and has been since 1998 and was continuously owned and operated as a Masonic Lodge since its construction until recently. There is an existing petition (HP-19-112) in process for placement on the local register of historic places.

PROPOSED

The applicant has done and is proposing extensive repairs to all facades, to include, new clay tile roof, new wood-clad Anderson windows, repair soffits, new downspouts, repointing and repairing all masonry and concrete as well as new mechanical, electrical and fire alarm systems.



There is also a new addition proposed. The two story addition will be located to the rear along NE 3rd Avenue. The addition will be masonry and stucco and used to house the elevator, fire rated exit stairs and two handicap restrooms on both floors. The mechanical equipment will be mounted on the roof and concealed with a parapet wall. A new exterior exit and covered landing is proposed on the east elevation.



None of the exterior walls will be removed with the exception of the wall area below existing window openings located on the rear, east elevation where they will be converted to doorways. One of the openings will be used to access the addition and the other to access the exterior exit and covered landing.

REVIEW

Basis for Review - Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Recommended

1. Place functions and services required for a new use in non-character defining interior spaces rather than installing a new addition.
2. Protect architectural details and features that contribute to the character of the building during the course of constructing the addition.
3. Construct a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
4. Locate an attached exterior addition at the rear or on inconspicuous side of a historic building; and limit its size and scale in relationship to the historic building.
5. Design new additions in a manner that clearly distinguishes historic and non-historic features.
6. Design additional stories, when required for a new use that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

The proposed addition is located to the rear (east elevation) of the building and has no visual impact on the existing, historic façade along N. Main Street. The addition proposes masonry and stucco with wood-clad Anderson Windows to match the existing windows. The change in material, height, and placement clearly distinguishes the historic building from the new addition.

RECOMMENDATION

Staff recommends that the board review the request for the proposed addition for Petition HP-20-101.

DRAFT MOTION(S) FOR CONSIDERATION

I move to approve or deny Petition HP-20-101 with or without conditions;

AND I move that the HPB make the following findings of fact and conclusions of law part of the record:

That HPB case HP-20-101, as presented, is or is not substantially compliant with the Secretary of the Interior's Standards, and the Historic Preservation, Rehabilitation, and Design Guidelines to warrant approval at this time.

LIST OF APPENDICES

Appendix A: Application Materials

A-1 Application

A-2 Drawings

HISTORIC PRESERVATION BOARD (HPB)
Certificate of Appropriateness (COA) Application

Thomas Center - Building B
306 NE 6th Ave Gainesville, FL 32601
352.393.5022
www.cityofgainesville.org
HPB@cityofgainesville.org

USE THIS FORM TO

Apply for approval for projects located within historic districts. Projects may require either a Board-level review or a Staff-level review.

FEES

Once application is submitted it will be reviewed for completeness. Once verified complete, an invoice will be emailed to the applicant.

Type of Review	Fee	EZ Fee
Certificate of Appropriateness (COA); Staff Review	FREE	FREE
Certificate of Appropriateness (COA); Board Review - Single Family Structure or Its Accessory Structure	\$127.50	\$63.75
Certificate of Appropriateness (COA); Board Review - All Other Structures	\$638.25	\$319.13
After-the-Fact Certificate of Appropriateness (COA): If work begun prior to issuance of a COA	\$473.25 + above applicable fee	\$473.25 + above applicable fee

BASIS FOR REVIEW

All applications, whether Staff or Board review, are reviewed for consistency with the City of Gainesville Comprehensive Plan, Land Development Code, and applicable guidelines such as the Guidelines for the Historic Districts are based on the U.S. Secretary of the Interior's Standards for Rehabilitation.

PROJECT TYPE:

- New Construction Addition Alteration Demolition Fence
 Relocation Repair Re-roof Sign Request to lift demolition delay
 Other: _____ Amendment to COA (HP ___ - ___)

APPROVAL TYPE:

See [Certificate of Appropriateness Matrix](#)

- Staff Approval
 Board Approval: Conceptual or Final

PROPERTY INFORMATION: *Property information can be found at the [Alachua County Property Appraiser's Website](#)*

Historic District: Northeast (Duckpond) Southeast Pleasant Street
 University Heights (North) University Heights (South) Not in an HD
 Site Address 215 N MAIN STREET
 Parcel ID #(s) 14730-000-000

OWNER OF RECORD

As recorded with the [Alachua County Property Appraiser](#)

APPLICANT OR AGENT

If other than owner. If an agent will be representing the owner, an [Owner's Authorization For Agent Representation](#) form must be included

Owner(s) Name Keith Perry & Luis D Rodriguez, ESQ	Applicant Name Keith Perry
Company (if applicable) Historic Masonic LLC	Company (if applicable)
Street Address 812 SW 8th St	Street Address 2505 NW 71st Place
City State Zip Gainesville, FL 32601	City State Zip Gainesville, FL 32653
Telephone Number 786-512-3195 Luis	Telephone Number 352-538-1854 Keith
E-Mail Address LuisRodriguez1129@gmail.com	E-Mail Address Kperry@PerryRoofing.com

Historic Preservation Board Meetings are held the 1st Tuesday of the month at 5:30PM in the City Commission Chambers (200 E. University Ave.)

Application Deadline (12:30PM)	Dec 02 2019	Jan 06 2020	Feb 03 2020	Mar 02 2020	Apr 09 2020	May 04 2020	Jun 04 2020	Jul 06 2020	Aug 03 2020	Sep 07 2020	Oct 05 2020	Nov 02 2020
Meeting Date	Jan 07 2020	Feb 04 2020	Mar 03 2020	Apr 07 2020	May 05 2020	Jun 02 2020	Jul 07 2020	Aug 04 2020	Sep 01 2020	Oct 06 2020	Nov 03 2020	Dec 01 2020

IMPORTANT NOTES



PRE-APPLICATION MEETING

To guide you through the process and to ensure that your application is properly processed, you'll need to meet with the Preservation Planner prior to submitting your application. This should be done prior to your anticipated submittal date to allow time for review.

Staff approval applications are accepted on a rolling basis and are generally completed within 5 business days. Please note that projects can only begin after receiving a Certificate of Appropriateness (COA) and a building permit (if required).



CONCEPTUAL APPROVALS

Conceptual approvals are provided by the HPB as a courtesy to the applicant in an effort to allow comment from the Historic Preservation Board during the conceptual design process. The HPB will provide the applicant with feedback and guidance relating to the proposal. In all cases, the applicant must return to the HPB to seek final approval of their projects. There is no additional fee for this review above the Certificate of Appropriateness fee.



APPLICATION REQUIREMENTS

- A complete/ signed application. (If all requirements are not submitted it could delay your approval);
- Proof of Ownership (copy of deed or tax statement);
- A current survey of the property, for new construction and any change to existing footprint. (no older than two years);
- 1 digital set of elevations & plans (to scale);
- Photographs;
- Any additional backup materials, as necessary;
- If applying as an agent, [Owner's Authorization for Agent Representation](#) form must be signed/ notarized and submitted as part of the application;
- For window replacement, a [Window Survey](#) must be completed.

PROJECT DESCRIPTION

DESCRIBE THE PROPOSED PROJECT AND MATERIALS.

Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The project consists extensive exterior repairs to all facades, new clay tile roof, new windows, repair soffits, new downspouts, repointing and repairing all masonry and concrete. The interior configuration shall essential remain as is. The existing restrooms and kitchen will be renovated. There will be new mechanical systems, new electrical system, new fire alarm system.

There will be a new rear masonry and stucco addition to include an elevator, fire rated exit stairs and two handicap restrooms on both floors. The mechanical units shall be mounted on the roof of addition with a parapet wall to conceal them.

There will also be a new exterior exit and covered landing at the north side of the main room. See building plans and elevations.

List proposed materials:

Project Scope	Manufacturer	Product Description	Color (Name/Number)
Exterior Fabric	repair extist.	Masonry work	same as glaze
Doors	TBD		
Windows	Andersen		
Roofing	Claymex Tile	Ceramic Roof Tile	Terra Cotta
Fascia/Trim	repair exist.	n/a	n/a
Foundation	n/a	n/a	n/a
Shutters	n/a	n/a	n/a
Porch/Deck			
Fencing	TBD	TBD	TBD
Driveways/Sidewalks	repair exist.	TBD	TBD
Signage	TBD	TBD	TBD
Other			

PLEASE SUBMIT ALL PRODUCT BROCHURES, PAINT COLOR SAMPLES, AND MATERIAL SAMPLES WITH YOUR APPLICATION.



DID YOU REMEMBER...

- Review the Historic District Application Checklist to ensure you are including all required materials. If all requirements are not submitted, it may delay your approval;
- Review the applicable [Guidelines](#);
- Review the [Secretary of the Interior's Standards](#);
- A pre-application meeting is required before a final application for Board Review can be processed. Please call 352 393-8686 to schedule an appointment.



Please see the City of Gainesville Code of Ordinances for detailed information:

- Historic preservation/conservation overlay* - see Sec. 30-4.28.
- Historic Preservation Board* - see Sec. 30-3.5.
- Variances* - see Sec. 30-3.55.

The Code of Ordinances is available for review at www.municode.com



APPEALS

Board Decisions - Persons with standing, as defined in Section 30-3.58(B) of the Land Development Code, may appeal a decision of the HPB, as outlined in Article III, Division 12 - *Appeals* of the land Development Code.

Administrative Decisions - Persons with standing, as defined in Section 30-3.57(B) of the Land Development Code, may appeal a decision of the HPB, as outlined in Article III, Division 12 - *Appeals* of the land Development Code.

DEMOLITIONS (If Applicable)

Please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object.

"Late 19th & early 20th Century Revival Italian Renaissance" with brick foundation, concrete walls, tile roof and metal soffits. 112-year-old brick Masonic Lodge, filled with original wood, plaster, handmade crown moldings. 20ft vaulted ceilings with original, hand worked plaster. There is no other building in the city that matches the craftsmanship and rich, century-old characteristics of this building.

We intend to restore these beautiful (yet neglected) building characteristics and update the building with code required items such as: updated electrical, windows, new "reheat only" kitchen, HVAC, plumbing and an addition with ADA bathrooms and elevator access.

Discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value.

Extensive masonry repairs were required prior to painting to rehabilitate the exterior. Paint was also necessary to preserve and protect the existing brick from the elements as almost all glaze had worn off. The original brick glaze color was matched as was the new tile roof. Truss work and attic structures as well as foundation all appear to be intact. With all of the upgrades to windows, HVAC, electric, plumbing and ADA accessibility; this will become a revitalized meeting place, capable of hosting weddings, award ceremonies, company meetings and so much more. Bringing much needed revenue to the downtown area.

RELOCATIONS (If Applicable)

For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.)

No relocations other than HVAC being relocated to addition, remove existing HVAC from interior lower meeting room and reduce weight on existing structure and run entirely new duct system to functionally cool space while also improving energy efficiency. Will also improve the esthetics outdoors and improve outdoor space.

Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-4.28(D) of the Land Development Code.

Modification of dimensional requirements. To facilitate new construction, redevelopment, rehabilitation, or relocation of buildings or structures in historic districts or individually listed on the local register, the city manager or designee or the appropriate board within the development review process may determine dimensional requirements such as front, side, and rear setbacks, building height, separation between buildings, floor area ratios, and maximum lot coverage for buildings and structures based on historic development patterns. Any change shall be based on competent demonstration by the petitioner of the following:

- a. *The proposed development will not affect the public safety, health, or welfare of abutting property owners or the district;*
- b. *The proposed change is consistent with historic development, design patterns or themes in the historic district. Such patterns may include reduced front, rear, and side yard setbacks, maximum lot coverage and large floor area ratios;*
- c. *The proposal reflects a particular theme or design pattern that will advance the development pattern of the historic district; and*
- d. *The proposed complies with utility, stormwater, access requirements, and other requirements related to site design in the Land Development Code.*

Where the proposed modification would encroach into a side or rear yard setback that adjoins an existing lot, notice shall be provided to the adjacent property owner. Staff or the appropriate reviewing board will document the basis for its decision. If staff makes the decision, it will provide a written determination on the complete modification request within 21 calendar days of receiving the request. If the adjacent property owner objects to the encroachment in writing within 16 calendar days of the date from which the notice was mailed, the request shall be referred to the development review board, which shall review the request using the same standards in this section used by staff. If the decision is to be made by a board, the board shall hear the objection of the adjacent property owner as part of its public hearing. The remainder of the requirements, regulations and procedures set forth in this chapter shall remain applicable.

Modification of building code requirements. Structures and buildings listed individually on the local register or deemed contributing to the character of a district listed on the local register shall be deemed historic and entitled to modified enforcement of the standard codes where appropriate.

Please describe the requested zoning modification, addressing a through d above:

The requested modification will change the following zoning or building requirement in this manner:

(select only those that apply)

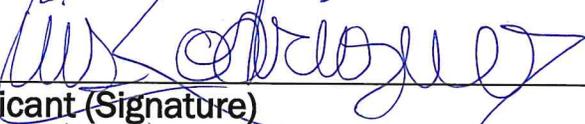
- Front, Side, Or Rear Building Setback Line
- Building Height
- Building Separation
- Floor Area Ration
- Maximum Lot Coverage

<i>Required</i>	<i>Existing</i>	<i>Proposed</i>

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Department of Sustainable Development to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic Preservation Board meeting.
5. I/We understand that the Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such, ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).
6. I/We understand that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville Building Department.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HPB before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
8. I/We understand that any decision of the HPB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the HPB; otherwise the decision of the HPB will be final.
9. I/We understand that Certificates of Appropriateness are only valid for **one (1) year** from issuance.



Applicant (Signature)

10/16/2020

Date

Luis D. Rodriguez, Esq.

Applicant (Print)

i

Please submit this application and all required supporting materials via email to cogplanning@cityofgainesville.org.

Once the application is received and deemed complete we will contact you regarding payment. For questions regarding application submission, please call **352 393-5022**

TO BE COMPLETED BY CITY STAFF		Date Received _____	Received By: _____
HP 20-		<input type="checkbox"/> Staff Approval – No Fee <input type="checkbox"/> Single Family Structure or its Accessory Structure <input type="checkbox"/> Multi-Family requiring Board approval <input type="checkbox"/> Ad Valorem Tax Exemption <input type="checkbox"/> After-The-Fact Certificate of Appropriateness <input type="checkbox"/> Account No. 001-660-6680-3405 <input type="checkbox"/> Account No. 001-660-6680-1124 (Enterprise Zone) <input type="checkbox"/> Account No. 001-660-6680-1125 (Enterprise-Credit)	
Zoning:			
Contributing?	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Pre-Conference?	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Application Complete	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Enterprise Zone?	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Request for Modification of Setbacks?	<input type="checkbox"/> Yes <input type="checkbox"/> No		

HISTORIC PRESERVATION BOARD (HPB)

Owner's Authorization for Agent Representation

USE THIS FORM TO: Grant an agent authorization to represent you in applying for applications to the City of Gainesville Department of Sustainable Development.

I /WE Historic Masonic LLC (Luis D. Rodriguez & Keith Perry)
(print name of property owner(s))

hereby authorize: Joshua Shatkin of Shatkin Architecture LLC
(print name of agent)

to represent me/us in processing an application for: COA
(print type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Luis Rodriguez
(Signature of owner)

(Signature of owner)

Luis D. Rodriguez
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
 ss }
COUNTY OF ALACHUA }

Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization,
this 16th day of October, 2020,
by LUIS D. RODRIGUEZ

Dori Aparicio
Notary Public

DORI APARICIO
Printed Name

Personally Known
OR

Produced Identification ID Produced: FL DL



CERTIFICATE OF APPROPRIATENESS PROCESS FLOWCHART

Pre-Application Conference with Staff and Petitioner
(352) 393-8686 or HPB@cityofgainesville.org

Petitioner submits application materials and corresponding fee
(Refer to submission deadlines)

Staff reviews application

Incomplete
or insufficient
application

Board Approval
Required

Staff Approval
Required

Property is posted no less than ten
days before the board meeting

Written decision issued
within 10 days

Historic Preservation Board Meeting
1st Tuesday of month
5:30 PM City Hall Auditorium
306 NE 6th Avenue

Grant COA
(With or without
conditions)

Deny COA

Continue COA
Additional
Information required

Written decision issued

Can be appealed to City Commission
(must be submitted 30 days following written decision)

Affirm

Amend

Reverse

Court Appeal

Commission issues written decision

TAX SAVINGS FOR OWNERS OF HISTORIC PROPERTIES

The improvements to your historic property may qualify for a property tax exemption. The City of Gainesville permits an Ad Valorem property tax exemption for renovations, rehabilitations, and restorations to contributing properties within Historic Districts.

The amount of the exemption shall be determined by the Alachua County Property Appraiser based upon its usual process for post-construction inspection and appraisal of property following rehabilitation or renovation. The duration of the exemption shall continue regardless of any change in the authority of the City to grant such exemptions or any change in ownership of the property. In order to retain an exemption, however, the historic character of the property, and improvements which qualified the property for an exemption, must be maintained over the period for which the exemption was granted.

This is an excerpt from the Code of Ordinances ARTICLE IV. TAX EXEMPTION FOR HISTORIC PROPERTIES Sec. 25-61—66

An Overview of the Application Process:

An applicant (owner of record or authorized agent) seeking an ad valorem tax exemption for historic properties must file with the city manager or designee the two-part Historic Preservation Property Tax Exemption Application with "Part 1: Preconstruction Application" (Part 1) completed. In addition, the applicant shall submit the following:

- A completed application for a Certificate of Appropriateness for the qualifying restoration, renovation, or rehabilitation.
- An application fee of not more than five hundred dollars (\$500.00) to be determined by the city manager or designee based on the estimated cost of the work to be performed and the administrative costs to be incurred by the city in processing the application and monitoring compliance.

The City of Gainesville Historic Preservation Board (HPB) shall review Part 1 applications for exemptions. The HPB shall determine whether the property is an eligible property and whether the Part 1 proposed improvement is consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and is therefore an eligible improvement.

Upon completion of work specified in the "Part 1" application, the applicant shall submit a "Part 2: Final Application for Review of Completed Work" (Part 2). The HPB shall conduct an inspection of the subject property to determine whether or not the completed improvements are in compliance with the work described and conditions imposed in the approved Part 1 application. Appropriate documentation may include paid contractor's bills and canceled checks, as well as an inspection request by the applicant within two (2) years following approval of the Part 1 application.

On completion of review of the Part 2 application, the HPB shall recommend that the city commission grant or deny the exemption. The recommendation and reasons therefore, shall be provided in writing to the applicant and to the city commission.

A majority vote of the city commission shall be required to approve a Part 2 application and authorize the ad valorem tax exemption. If the exemption is granted, the city commission shall adopt an ordinance.

The property owner shall have the historic preservation exemption covenant recorded in the official records of Alachua County, and shall provide a certified copy of the recorded historic preservation exemption covenant to the city manager or designee.

The effective date of the ad valorem tax exemption shall be January 1 of the year following the year in which the application is approved by the city commission and a historic preservation exemption covenant has been transmitted to the Alachua County Appraiser. Please submit Part 2 applications by the October Historic Preservation Board deadline in order to ensure enough time for it to go before the City Commission and be processed by the Tax Appraiser's office.

To qualify for an exemption, the property owner must enter into a covenant with the City of Gainesville for the term for which the exemption is granted. The covenant shall be binding on the current property owner, transferees, and their heirs, successors, or assigns.

Violation of the covenant or agreement will result in the property owner being subject to the payment of the differences between the total amount of taxes which would have been due in March in each of the previous years in which the covenant or agreement was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in F.S. § 212.12(3), as amended.

Please review City of Gainesville's Code of Ordinances Section 25-61 for qualification and process information. This information is available online at www.municode.com for the City of Gainesville, FL Chapter 25 Section 25-61–25-65.

For an application form, please contact the Department of Sustainable Development at (352) 334-5022 or (352) 334-5023.



City of Gainesville

DEPARTMENT OF SUSTAINABLE DEVELOPMENT

Thomas Center - Building B
306 NE 6th Ave Gainesville, FL 32601
(352) 393-5022
www.cityofgainesville.org
HPB@cityofgainesville.org

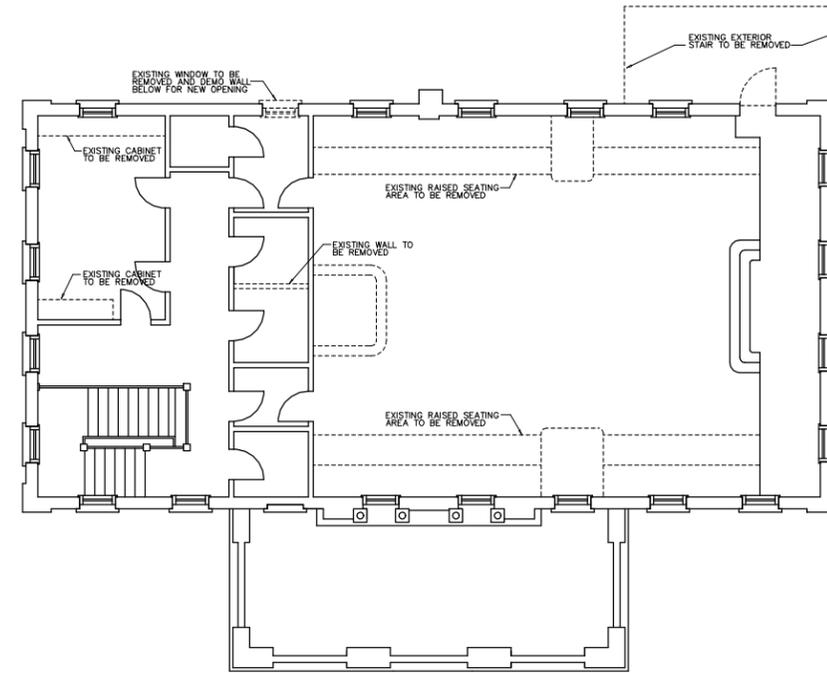
Historic Masonic Gainesville

215 North Main Street, Gainesville, Florida

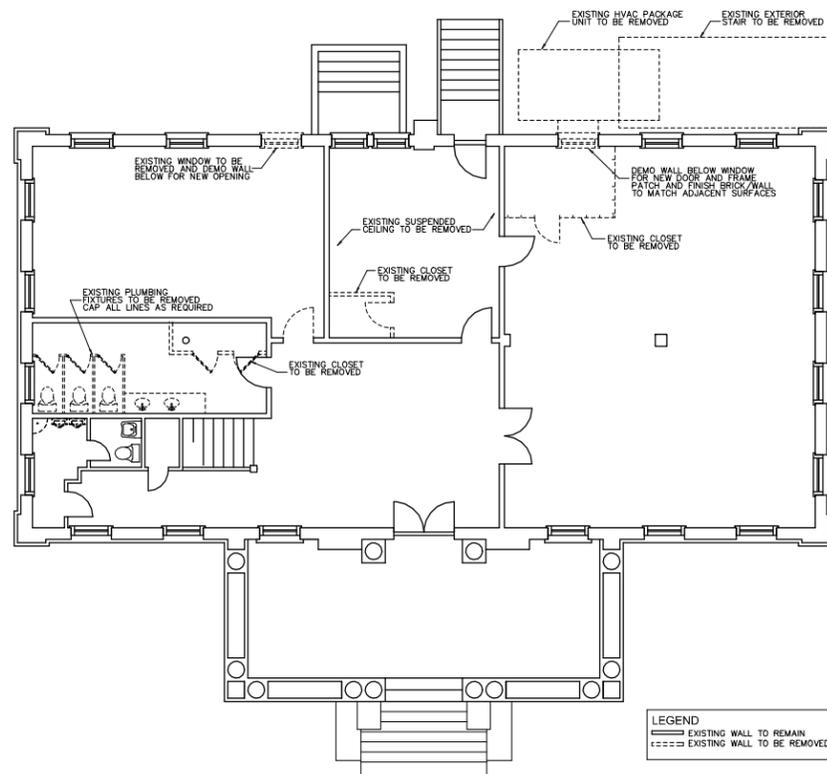


INDEX OF DRAWINGS	
SHT.	SHEET TITLE
A1.0	1ST FLOOR DEMOLITION PLAN 2ND FLOOR DEMOLITION PLAN GROUND FLOOR PLAN
A2.0	1ST FLOOR PLAN
A3.0	2ND FLOOR PLAN
A4.0	DOOR SCHEDULE
A5.0	BUILDING ELEVATIONS
A5.1	CONSTRUCTION DETAILS
A6.0	REFLECTED CEILING PLANS ADDITION ROOF PLAN
A6.0	CONSTRUCTION DETAILS
A7.0	LIFE SAFETY PLANS
A8.0	ADDITION SEWER RISER DIAGRAM ADDITION WATER SUPPLY RISER DIAGRAM GAS RISER DIAGRAM
S1.01	STRUCTURAL NOTES
S2.01	FOUNDATION PLAN AND DETAILS
S3.01	1ST FLOOR FRAMING PLAN AND DETAILS
S3.02	2ND FLOOR FRAMING PLAN AND DETAILS
A4.01	ROOF FRAMING PLAN AND DETAILS
E101	SITE ELECTRICAL PLAN
E201	GROUND FLOOR POWER PLAN
E202	GROUND FLOOR LIGHTING PLAN
E301	1ST FLOOR POWER PLAN
E302	1ST FLOOR LIGHTING PLAN
E401	2ND FLOOR POWER PLAN
E402	2ND FLOOR LIGHTING PLAN
E501	ROOF POWER PLAN
E601	ELECTRICAL RISER AND SCHEDULES
FA-01	FIRE ALARM LEGEND AND NOTES
FA-02	FIRE ALARM PLANS
FA-03	FIRE ALARM RISER AND CALCULATIONS

GENERAL NOTES	
1.	THIS PROJECT CONSISTS OF RENOVATIONS TO THE EXISTING TWO STORY BUILDING AND NEW REAR ADDITION OF TWO AND A HALF STORIES TO INCLUDE NEW RESTROOMS, ELEVATOR AND STAIRS. THERE WILL BE NEW MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS. THE NEW PLUMBING WILL BE CONNECTED TO THE EXISTING CITY SEWER SYSTEM. SEE CIVIL ENGINEER DRAWINGS FOR SITE PLAN AND ALL SITE WORK.
2.	APPLICABLE CODES: FLORIDA BUILDING CODE, 2017 EDITION, WITH SUPPLEMENTS FLORIDA FIRE PREVENTION CODE, 2017 EDITION NATIONAL ELECTRICAL CODE, 2014 EDITION AMERICANS WITH DISABILITIES ACT, 1997 EDITION
3.	ALTERATION - LEVEL 2 PER F.B.C. EXISTING BUILDING
4.	BUILDING AREAS EXISTING BLDG 1ST FLR CONDITIONED 2,944 S.F. 2ND FLR CONDITIONED 2,944 S.F. ADDITION GROUND FLR CONDITIONED 146 S.F. 1ST FLOOR CONDITIONED 885 S.F. 2ND FLOOR CONDITIONED 885 S.F.
5.	OCCUPANCY: ASSEMBLY A-2 1ST FLOOR 130 PEOPLE 2ND FLOOR 165 PEOPLE
6.	CONSTRUCTION TYPE: TYPE V-B
7.	SPRINKLER SYSTEM: NO
8.	FIRE ALARM: YES
9.	NUMBER OF EXITS: 4
10.	OWNER CONTACT: KEITH PERRY 352-373-2724

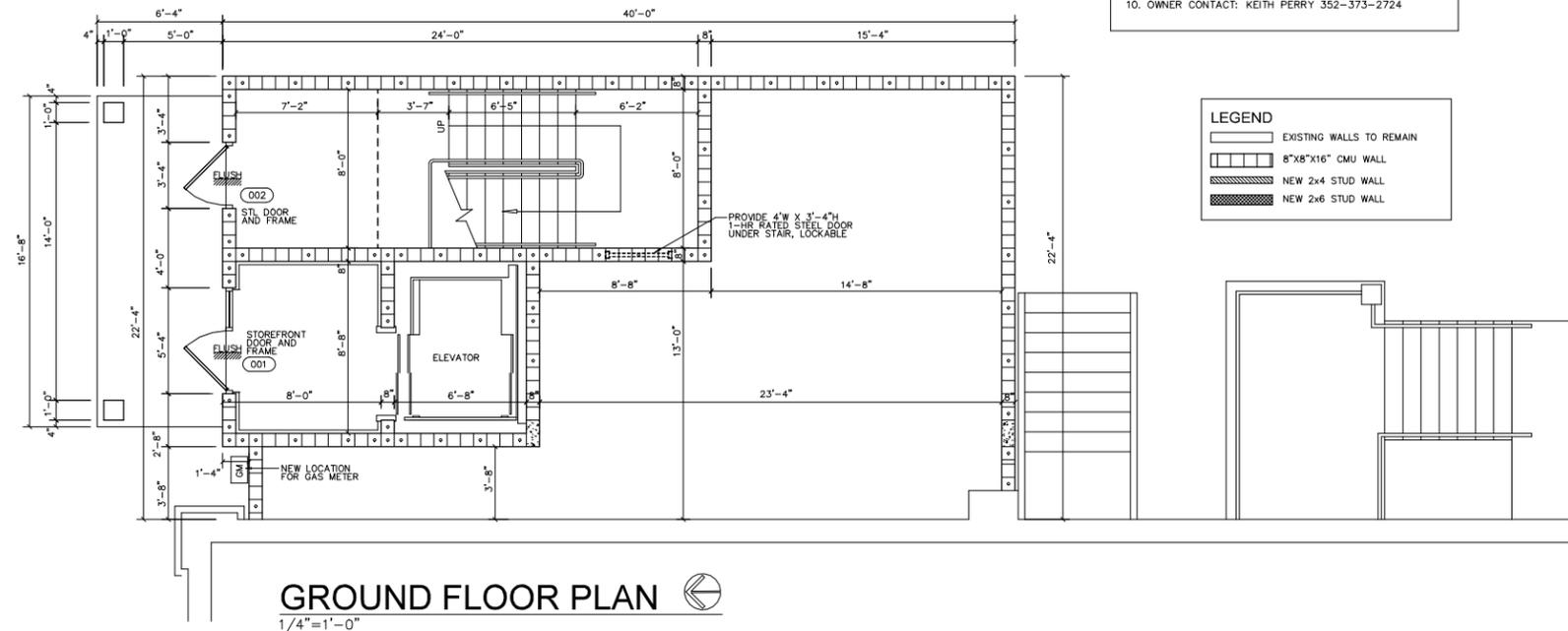


SECOND FLOOR DEMOLITION PLAN
1/8"=1'-0"



FIRST FLOOR DEMOLITION PLAN
1/8"=1'-0"

- DEMOLITION GENERAL NOTES:**
- DEMOLITION CONSIST OF PERFORMING ALL DEMOLITION OF ANY EXISTING CONSTRUCTION WHICH IN ITS PRESENT POSITION WILL INTERFERE WITH THE COMPLETED NEW CONSTRUCTION AND TO PERFORM ANY OTHER CUTTING OR PATCHING OF EXISTING CONSTRUCTION AS SHOWN ON THE DRAWINGS.
 - DEMOLISH AND REMOVE ALL EXISTING WORK INDICATED ON DRAWINGS AS NECESSARY TO RESULT IN THE FINISHED IMPROVEMENTS AND ALTERATIONS SHOWN ON THE DRAWINGS.
 - CONTRACTOR TO VISIT THE SITE OF THE WORK PRIOR TO AUTHORIZATION TO PROCEED TO OBSERVE THE EXISTING CONDITIONS AND FULLY DETERMINE THE EXTENT OF THE DEMOLITION WORK.
 - CONTRACTOR TO COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL DEMOLITION WORK. VERIFY DIMENSIONS PRIOR TO STARTING DEMOLITION.
 - CONTRACTOR SHALL CONTACT ARCHITECT FOR CLARIFICATION IF THERE ARE ANY CONFLICTS BETWEEN ARCHITECTURAL DEMOLITION DRAWINGS AND EXISTING CONDITIONS DURING DEMOLITION WORK.
 - ENSURE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. ERECT AND MAINTAIN TEMPORARY BARRIERS TO PREVENT PEDESTRIAN ACCESS TO WORK AREAS AND PROVIDE PROTECTION TO THE PUBLIC FROM HAZARDS OF THE WORK. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT WORK AND PERSONS.
 - CONTRACTOR SHALL SALVAGE REUSABLE MATERIALS SUCH AS LIGHT FIXTURES, CEILING TILES, DOORS, DOOR FRAMES, HARDWARE, ETC. ANY MATERIALS NOT USED IN THE NEW WORK SHALL BE TURNED OVER TO THE OWNER AND STORED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - AS REMOVAL OF WORK PROGRESSES FROM ONE AREA TO THE NEXT, THE CONTRACTOR SHALL LEAVE THE AREA IN A BROOM CLEAN CONDITION.
 - PROVIDE SHORING AND BRACING TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING DURING DEMOLITION OPERATIONS. REMOVE ONLY AFTER NEW STRUCTURE IS IN PLACE AND CAPABLE OF SUPPORTING SHORED OR BRACED PARTS.
 - CONTRACTOR SHALL INFORM ARCHITECT IF THERE ARE ANY UNFORESEEN STRUCTURES, OBJECTS, OR UNIDENTIFIED UTILITY LINES FOUND DURING DEMOLITION WORK.
 - REMOVE ALL ELECTRICAL OUTLETS, TELEPHONE OUTLETS, LIGHT SWITCHES, AND OTHER DEVICES IN PARTITIONS TO BE DEMOLISHED. ALL ELECTRICAL, TELEPHONE, DATA, AND PLUMBING ITEMS TO BE REUSED SHALL BE REMOVED TO 1/2 INCH BEHIND FINISH OF SURFACE. REMAINING HOLES TO BE CAPPED AND PATCHED TO PROVIDE A FLUSH SURFACE TO MATCH ADJACENT SURFACES.
 - ALL STRUCTURAL ELEMENTS TO REMAIN INTACT, UNLESS OTHERWISE INDICATED.
 - THE ARCHITECT MAKES NO REPRESENTATIONS REGARDING HAZARDOUS MATERIALS ON THE PREMISES, THEIR PRESENCE OR ABSENCE, NOR WILL HE ADVISE OR OTHERWISE ASSIST IN ANY MATTERS CONCERNING OR ASSOCIATED WITH HAZARDOUS MATERIALS.
 - THE OWNER SHALL BE FULLY RESPONSIBLE FOR PROPER ABATEMENT, REPLACEMENT, REMOVAL, OR DISPOSAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING HAZARDOUS MATERIALS. IN THE EVENT THAT THE CONTRACTOR DOES DISCOVER SUCH HAZARDOUS MATERIALS HE SHALL NOTIFY THE OWNER AT ONCE AND SHALL TAKE SUCH ACTION AS THE OWNER SHALL DIRECT.



GROUND FLOOR PLAN
1/4"=1'-0"

SHATKIN ARCHITECTURE
AR 95609
352-222-3443
JOSHUA@SHATKIN.NET
2266 SW 43RD PLACE
GAINESVILLE, FL 32608

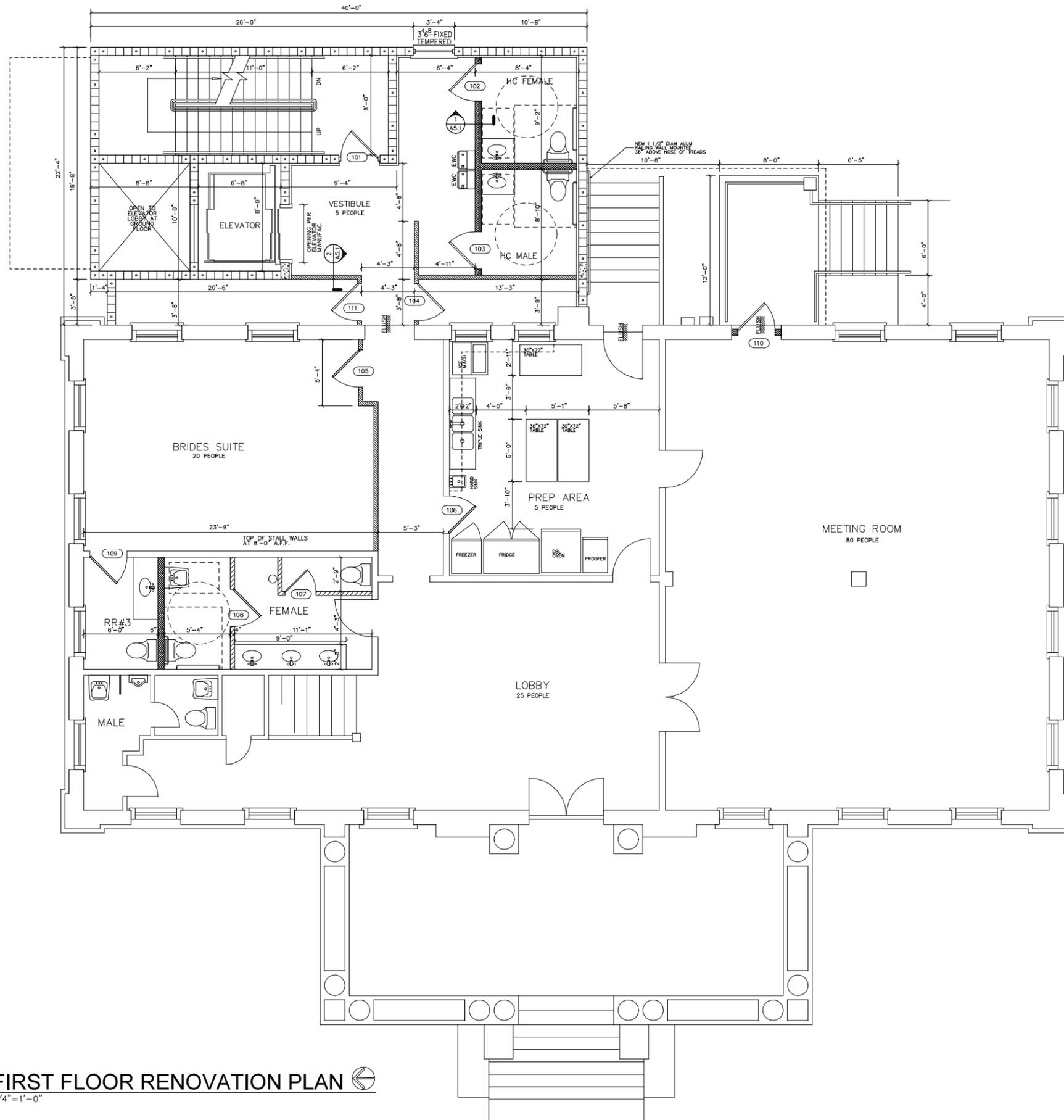
RENOVATIONS TO ADDITION TO EXISTING BUILDING
Historic Masonic Gainesville
215 North Main Street, Gainesville, Florida

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PROJECT: SA-2028
DRAWN BY: J.W.S.
CHECKED:
DATE: 10-5-2020

A1.0

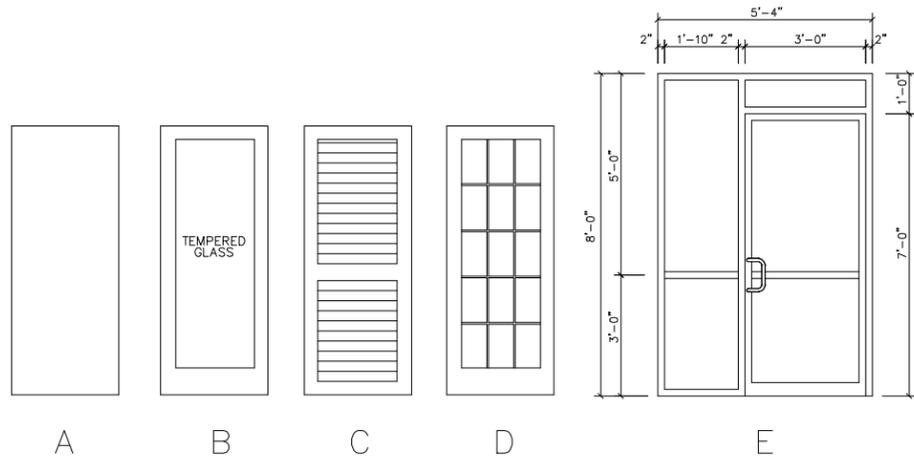


FIRST FLOOR RENOVATION PLAN 
 1/4"=1'-0"

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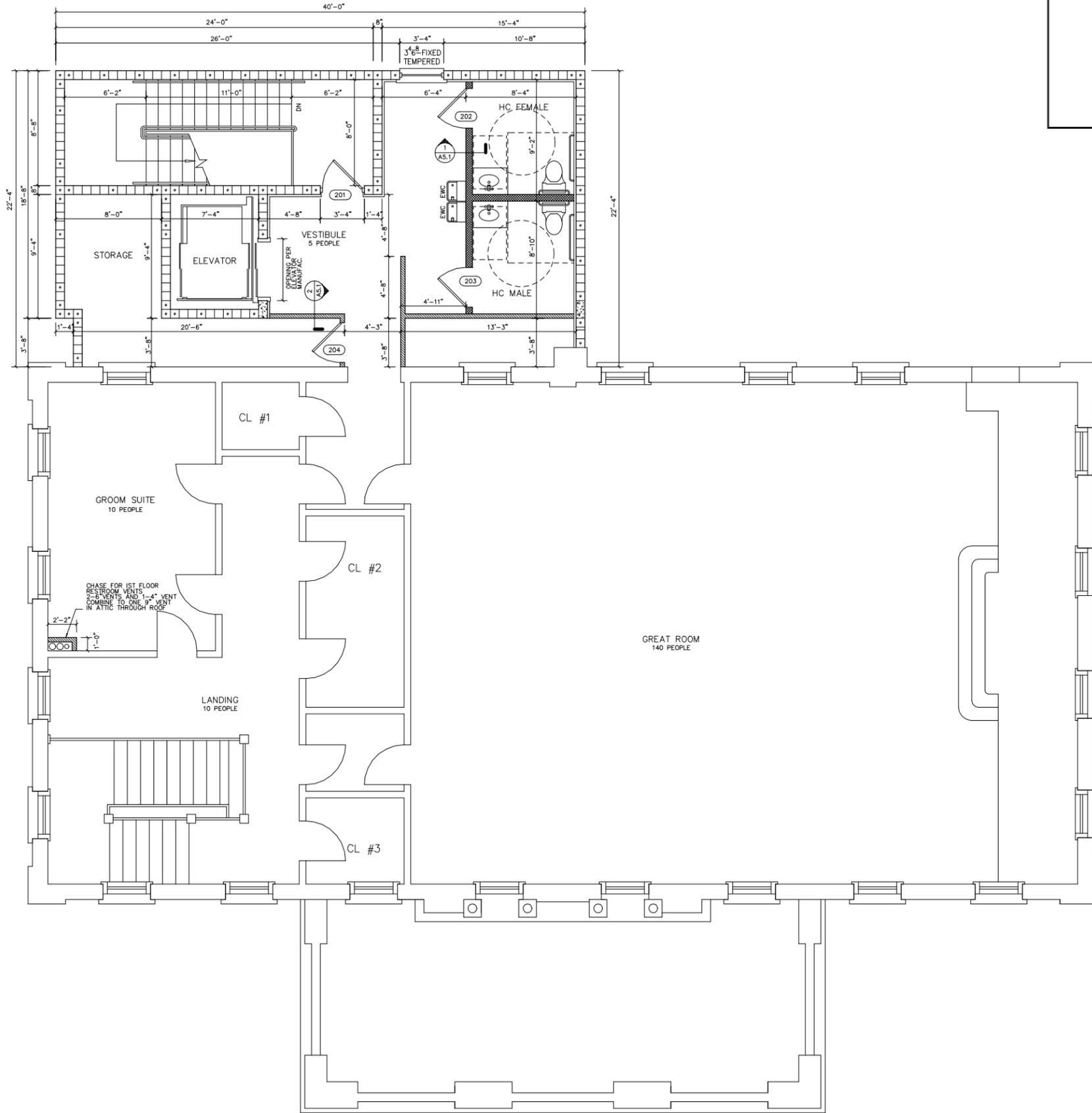
DOOR TYPES SEE DOOR SCHEDULE FOR DIMENSIONS

DOOR SCHEDULE									
DR. #	SIZE			TYPE	DR. MAT'L.	HRDWR TYPE	FRAME MAT.	THRESHLD MAT.	REMARKS
	WIDTH	HT.	THICK.						
001	3'-0"	7'-0"	1 3/4"	A-SWING	METAL		METAL	ALUM	ALL HARDWARE TO MEET EMERGENCY EGRESS REQUIREMENTS
002	3'-0"	7'-0"	1 3/4"	A-SWING	ALUM		ALUM	ALUM	EXTERIOR DOOR, INSULATED EMERGENCY PUSH BAR
101	3'-0"	7'-0"	1 3/4"	A-SWING	METAL		METAL		20 MINUTE RATED DOOR
102	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
103	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
104	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
105	3'-0"	8'-0"	1 3/8"	B-SWING	WOOD		WOOD		WITH LITE
106	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
107	2'-6"	7'-0"	1 3/8"	C-SWING	WOOD		WOOD		
108	3'-0"	7'-0"	1 3/8"	C-SWING	WOOD		WOOD		
109	3'-0"	7'-0"	1 3/8"	C-SWING	WOOD		WOOD		
110	3'-0"	9'-0"	1 3/4"	SWING	WOOD		WOOD	ALUM	EXTERIOR DOOR TO MATCH EXISTING EMERGENCY PUSH BAR
111	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
201	3'-0"	7'-0"	1 3/4"	A-SWING	METAL		METAL		20 MINUTE RATED DOOR
202	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
203	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		
204	3'-0"	7'-0"	1 3/8"	A-SWING	WOOD		WOOD		

HARDWARE TYPE 1: LEVER HANDLE
 HARDWARE TYPE 2: LEVER HANDLE WITH LOCK SET
 HARDWARE TYPE 3: LEVER HANDLE WITH LOCK SET AND DEADBOLT

1. BALLBEARING HINGES AT ALL DOORS (STANLEY OR EQUAL). FINISH TO MATCH HANDLES.
 2. DOOR STOPS AT ALL DOORS (HINGE TYPE).
 3. WEATHER STRIPPING AND DOOR BOTTOMS AT ALL EXTERIOR DOORS.

VERIFY WITH OWNER DOOR HARDWARE AND KEYING OF ALL LOCKS AND COORDINATE WITH SECURITY SYSTEM.



SECOND FLOOR RENOVATION PLAN
 1/4"=1'-0"

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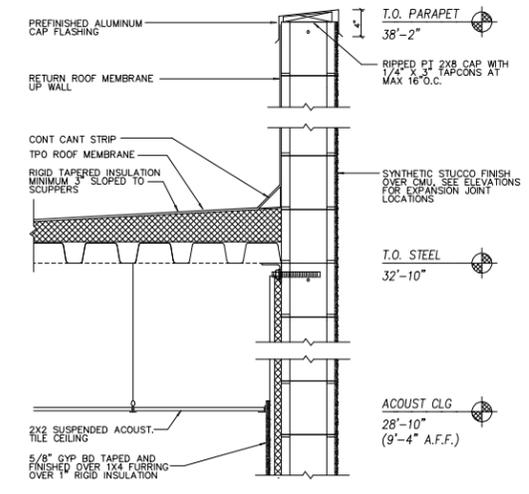
SOUTH ELEVATION
1/8"=1'-0"



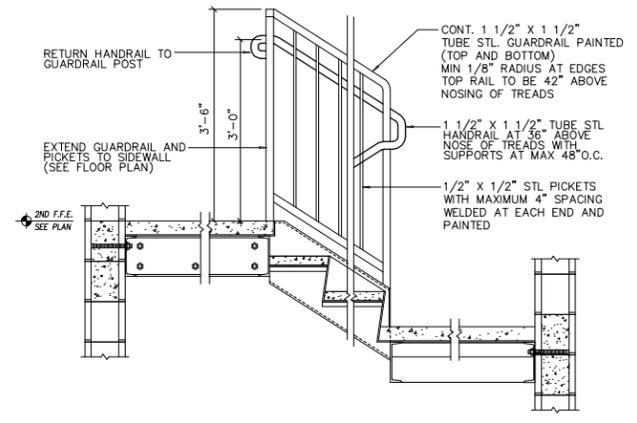
NORTH ELEVATION
1/8"=1'-0"



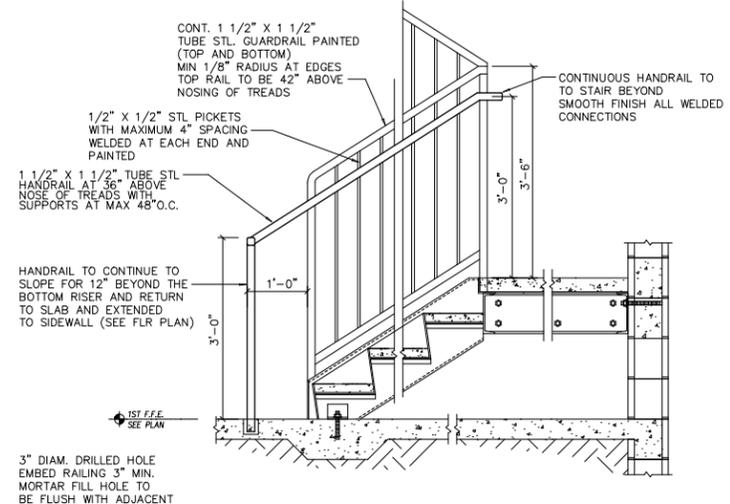
EAST ELEVATION
3/16"=1'-0"



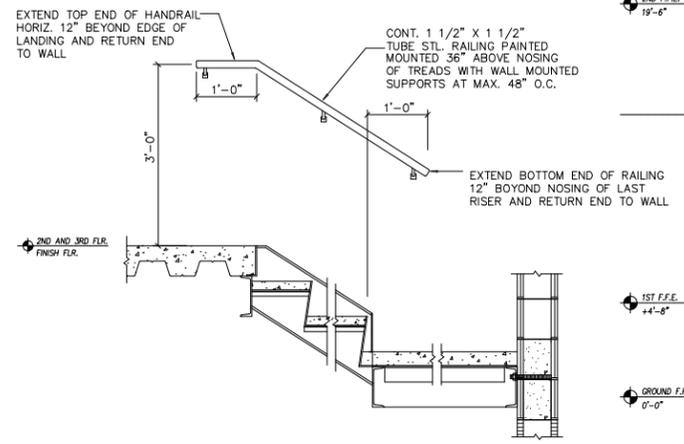
TYPICAL ROOF DETAIL
1"=1'-0" (5) A5.0



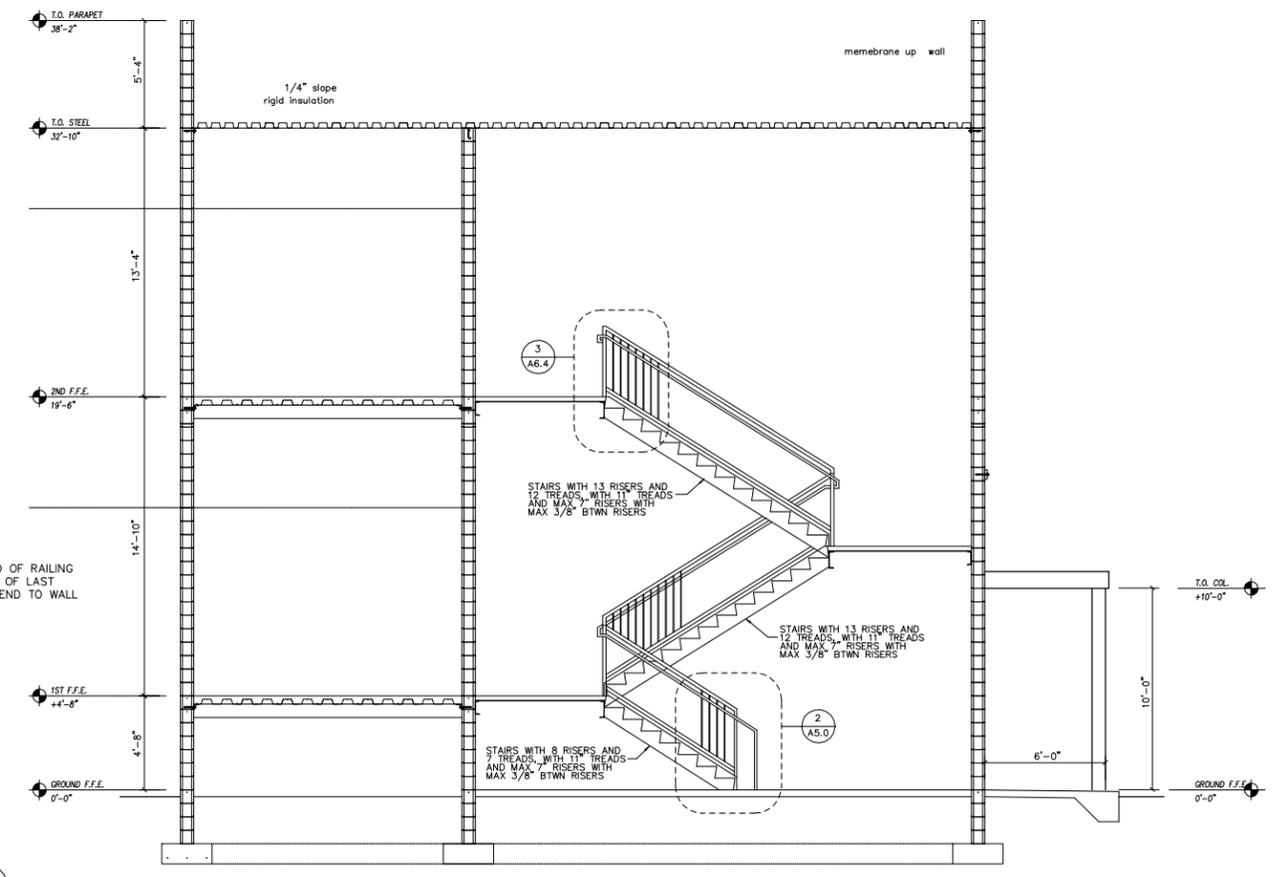
STAIR TOP RAILING DETAIL
3/4"=1'-0" (3) A5.0



STAIR BOTTOM RAILING DETAIL
3/4"=1'-0" (2) A5.0



TYPICAL RAILING DETAIL AT SIDE WALL
3/4"=1'-0" (4) A5.0

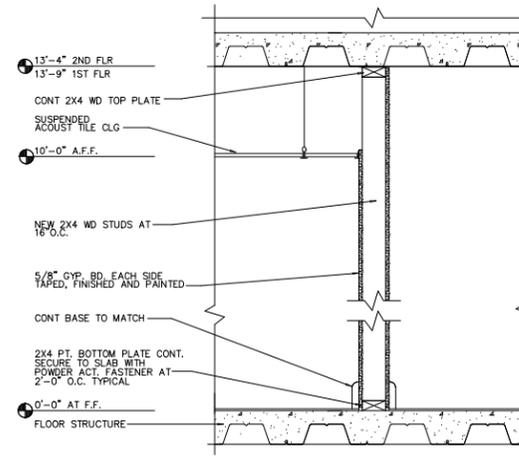


NEW STAIR SECTION
1"=1'-0" (1) A5.0

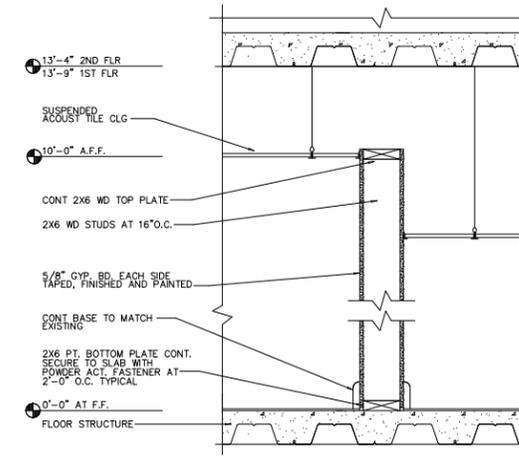
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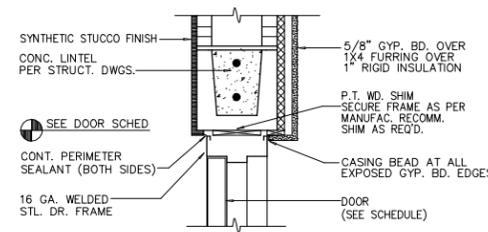
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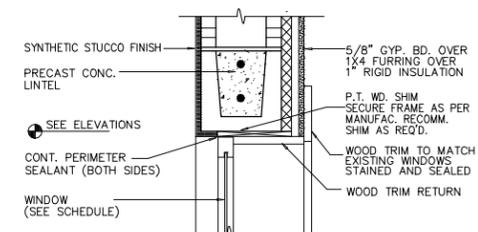
TYPICAL INTERIOR NON-BEARING WALL SECTION 2
1"=1'-0" A5.1



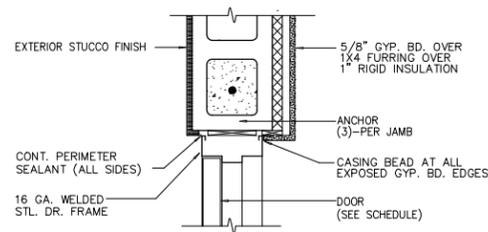
TYPICAL INTERIOR NON-BEARING WALL SECTION 1
1"=1'-0" A5.1



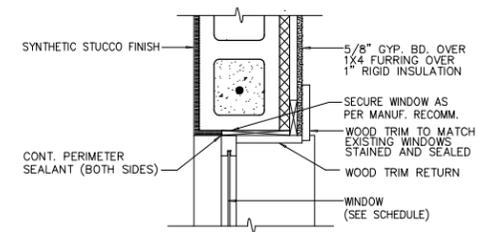
EXTERIOR DOOR HEAD 8
1-1/2"=1'-0" A5.1



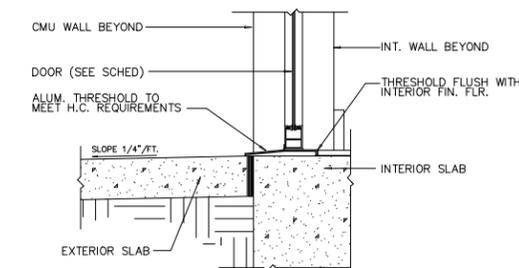
HEAD DETAIL 5
1-1/2"=1'-0" A5.1



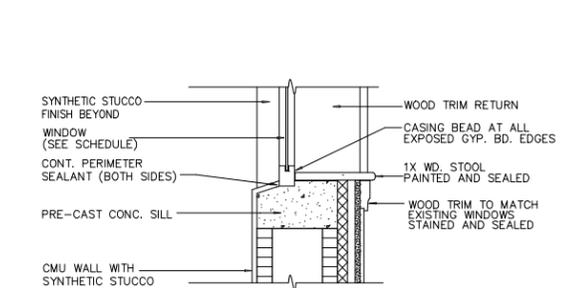
EXTERIOR DOOR JAMB 7
1-1/2"=1'-0" A5.1



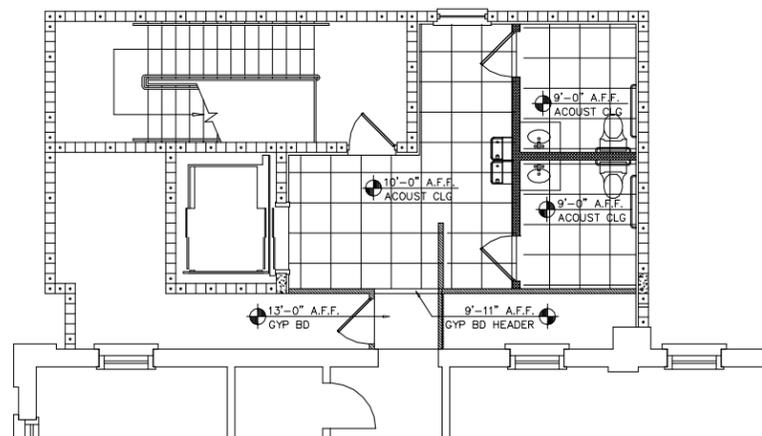
JAMB DETAIL 4
1-1/2"=1'-0" A5.1



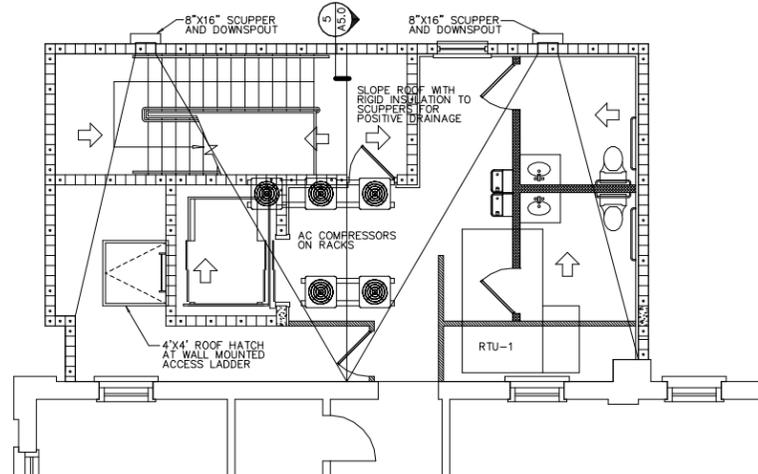
EXTERIOR THRESHOLD DETAIL 6
1-1/2"=1'-0" A5.1



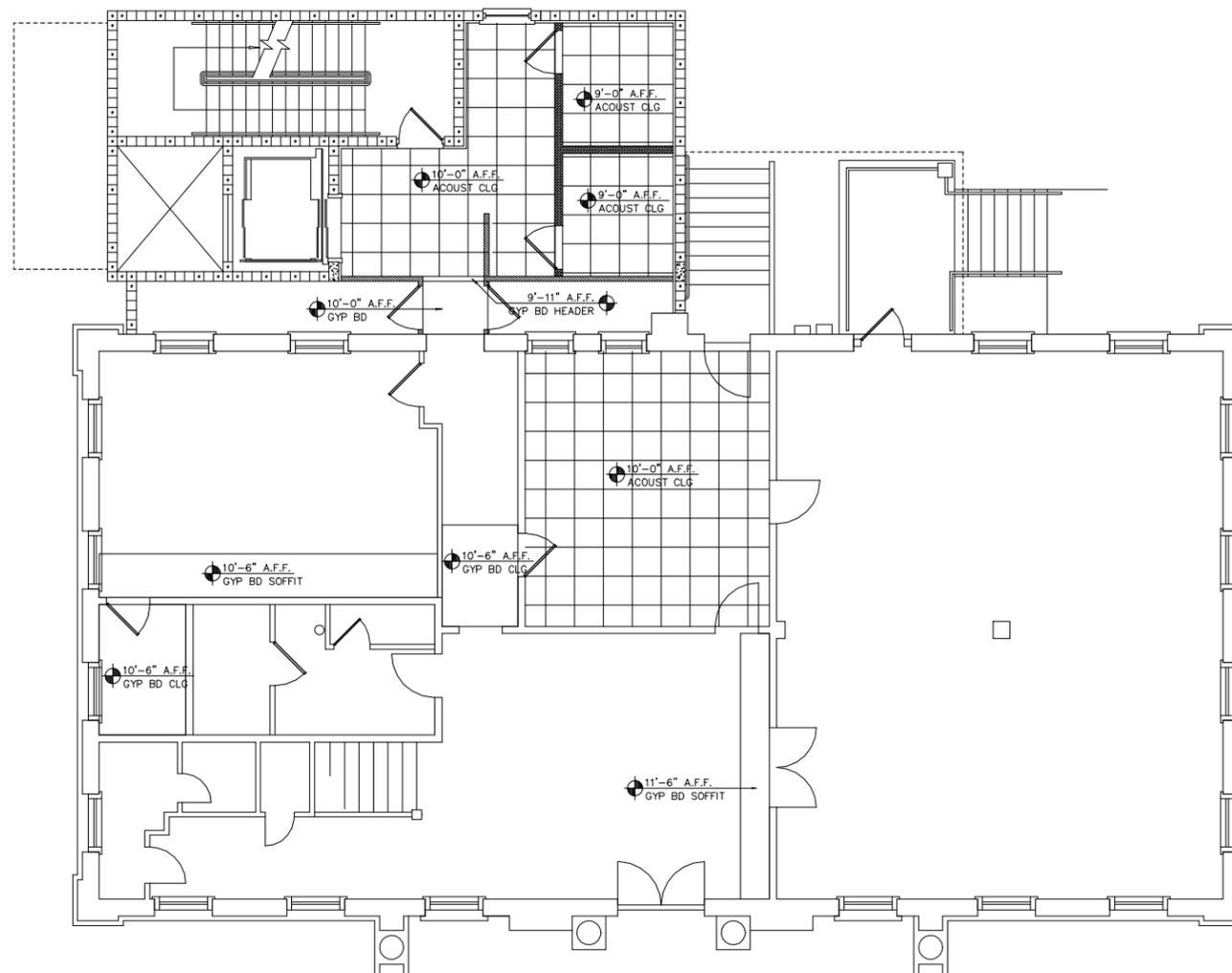
SILL DETAIL 3
1-1/2"=1'-0" A5.1



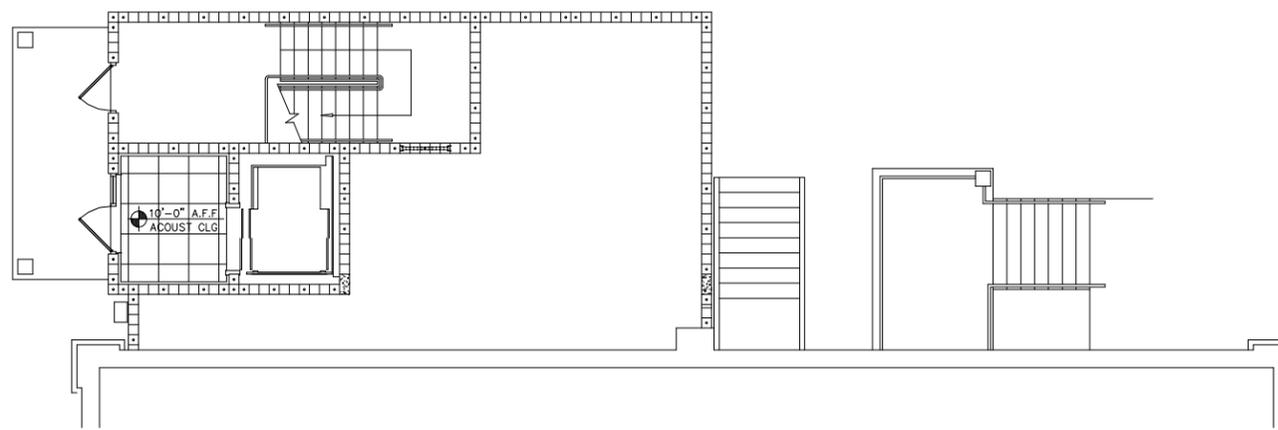
SECOND FLOOR REFLECTED CEILING PLAN
 3/16"=1'-0"



ROOF PLAN
 3/16"=1'-0"



FIRST FLOOR REFLECTED CEILING PLAN
 3/16"=1'-0"

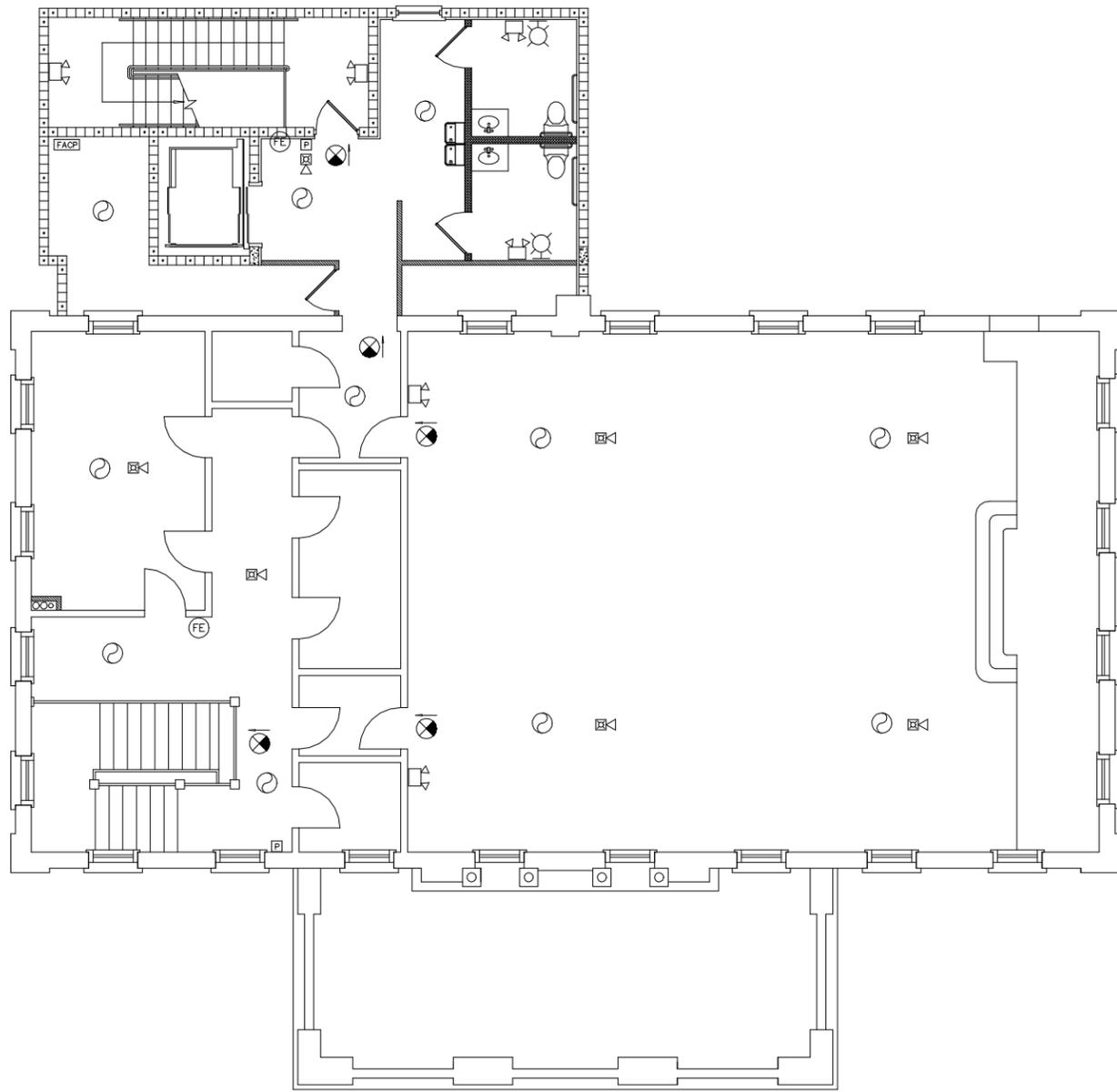


GROUND FLOOR REFLECTED CEILING PLAN
 3/16"=1'-0"

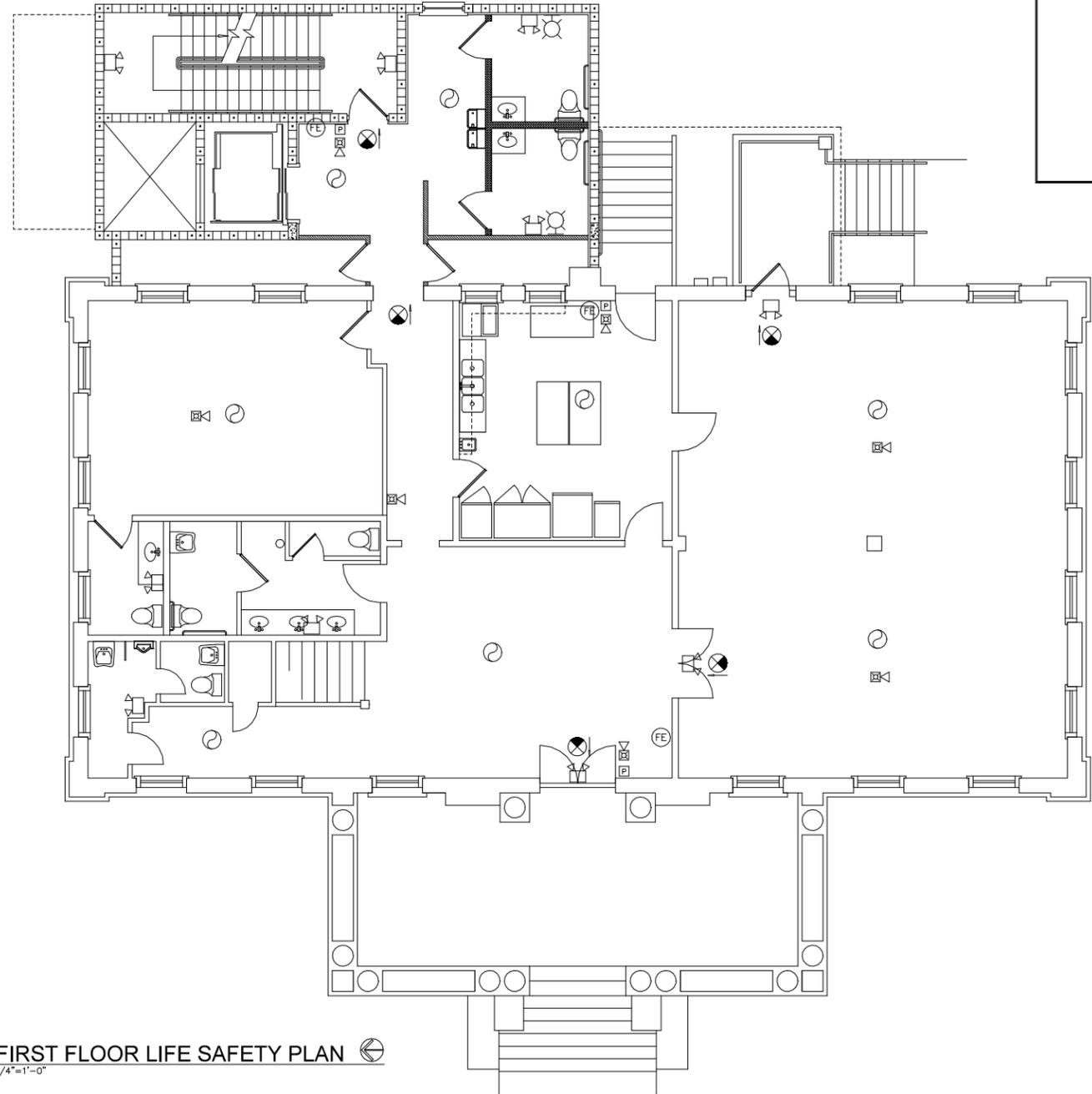
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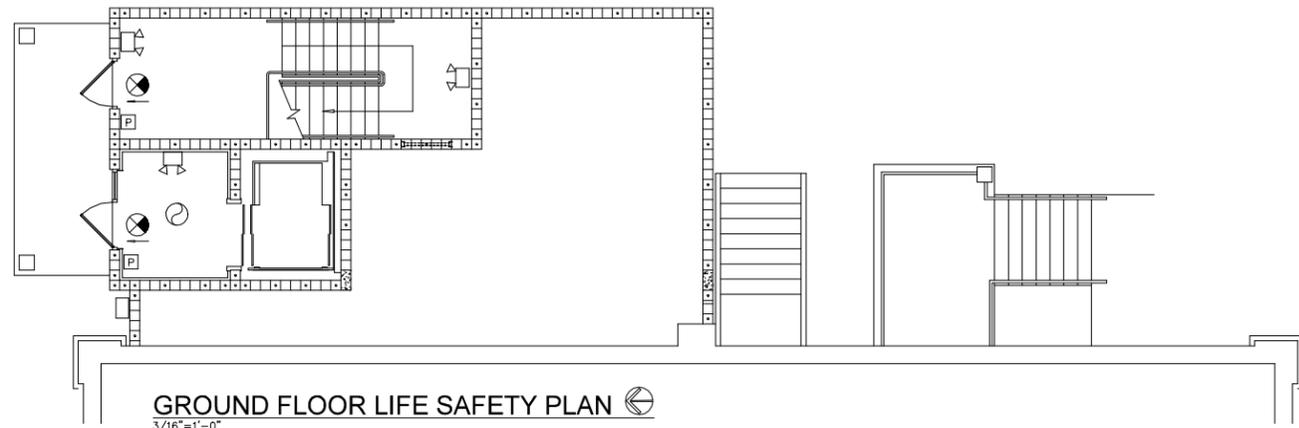


SECOND FLOOR LIFE SAFETY PLAN
1/4"=1'-0"



FIRST FLOOR LIFE SAFETY PLAN
1/4"=1'-0"

LEGEND	
	FIRE ALARM PULL STATION
	CHIME AND STROBE COMBINATION
	WALL MOUNTED STROBE
	EMERGENCY LIGHT WITH BATTERY BACKUP
	ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
	SMOKE DETECTOR
	FIRE EXTINGUISHER

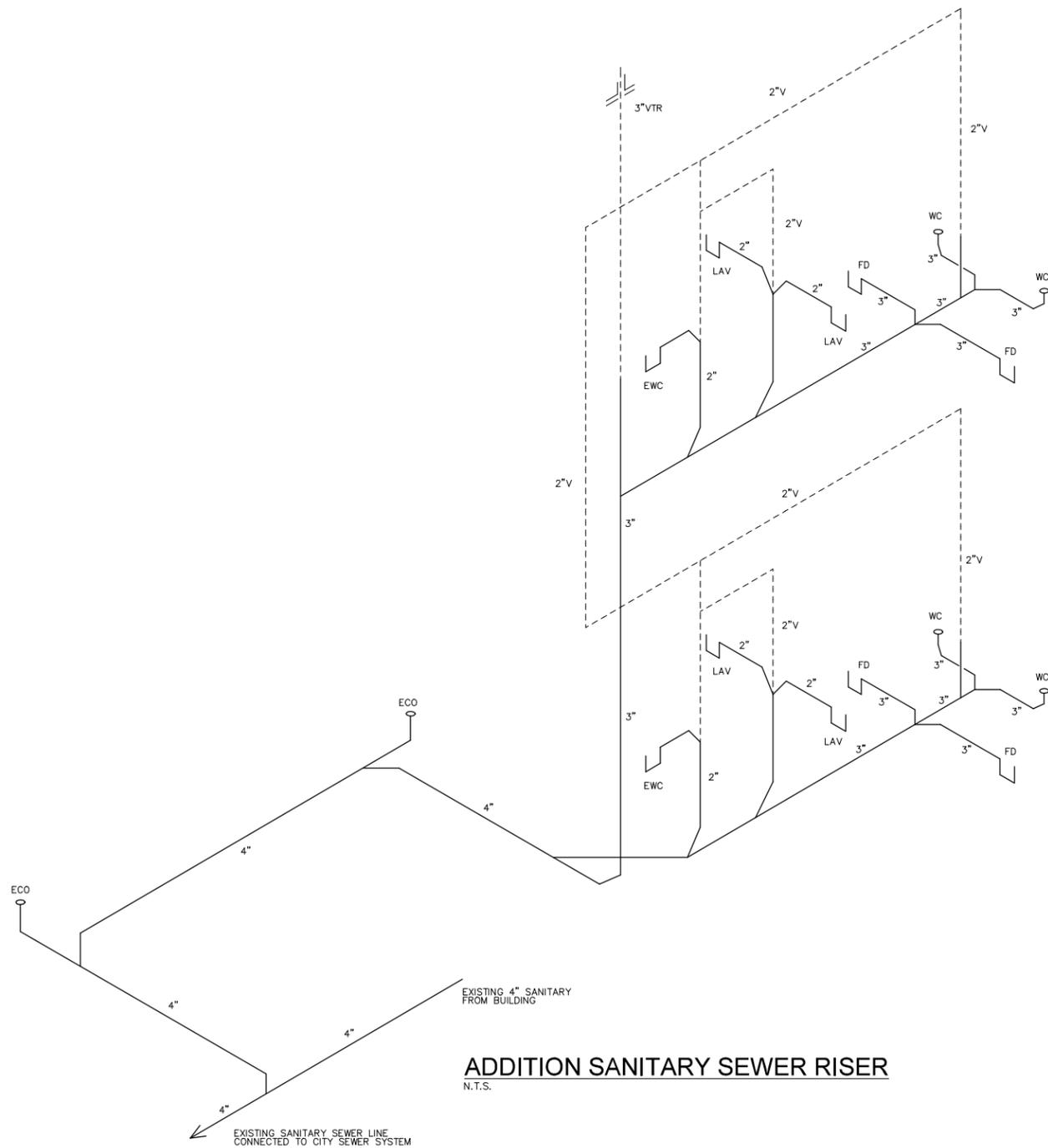


GROUND FLOOR LIFE SAFETY PLAN
3/16"=1'-0"

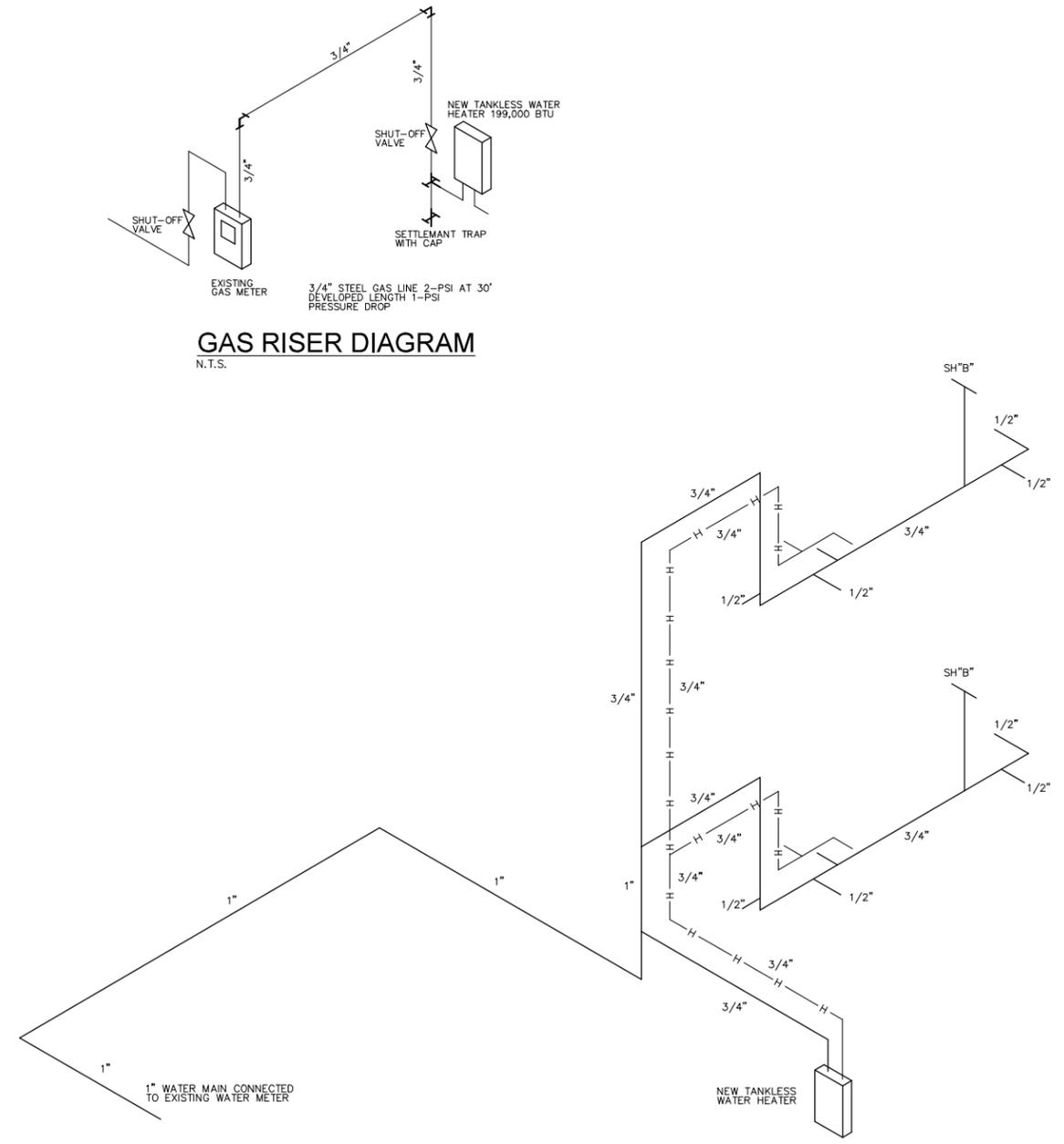
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ADDITION SANITARY SEWER RISER
N.T.S.



ADDITION WATER SUPPLY RISER
N.T.S.

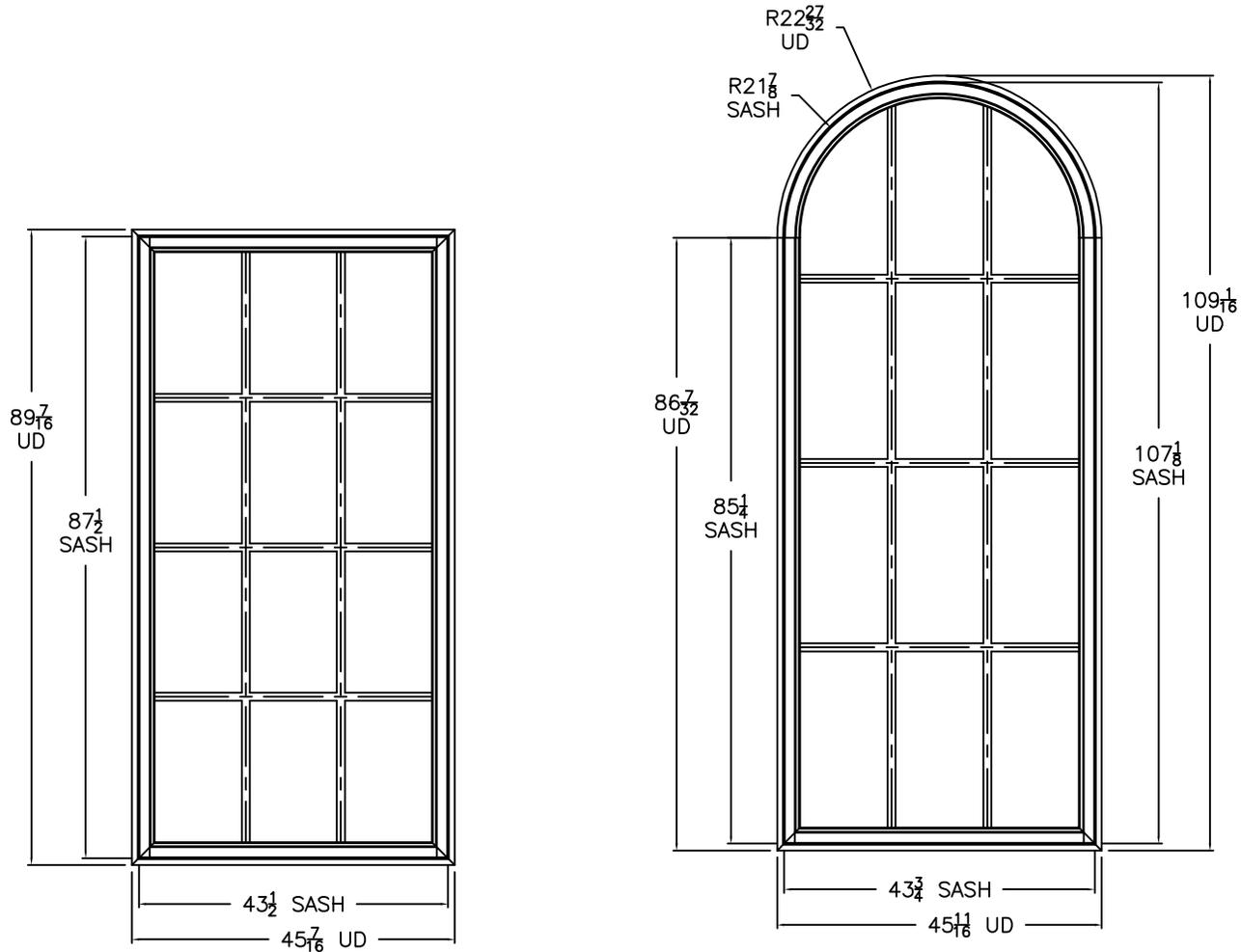
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QUOTE# 361853 SIGNOFF FJP12

EXTERIOR VIEW



Customer: _____

Date: _____

Job #: _____

1-1/8" HDN FDL

Andersen 

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HISTORIC
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