

Power District

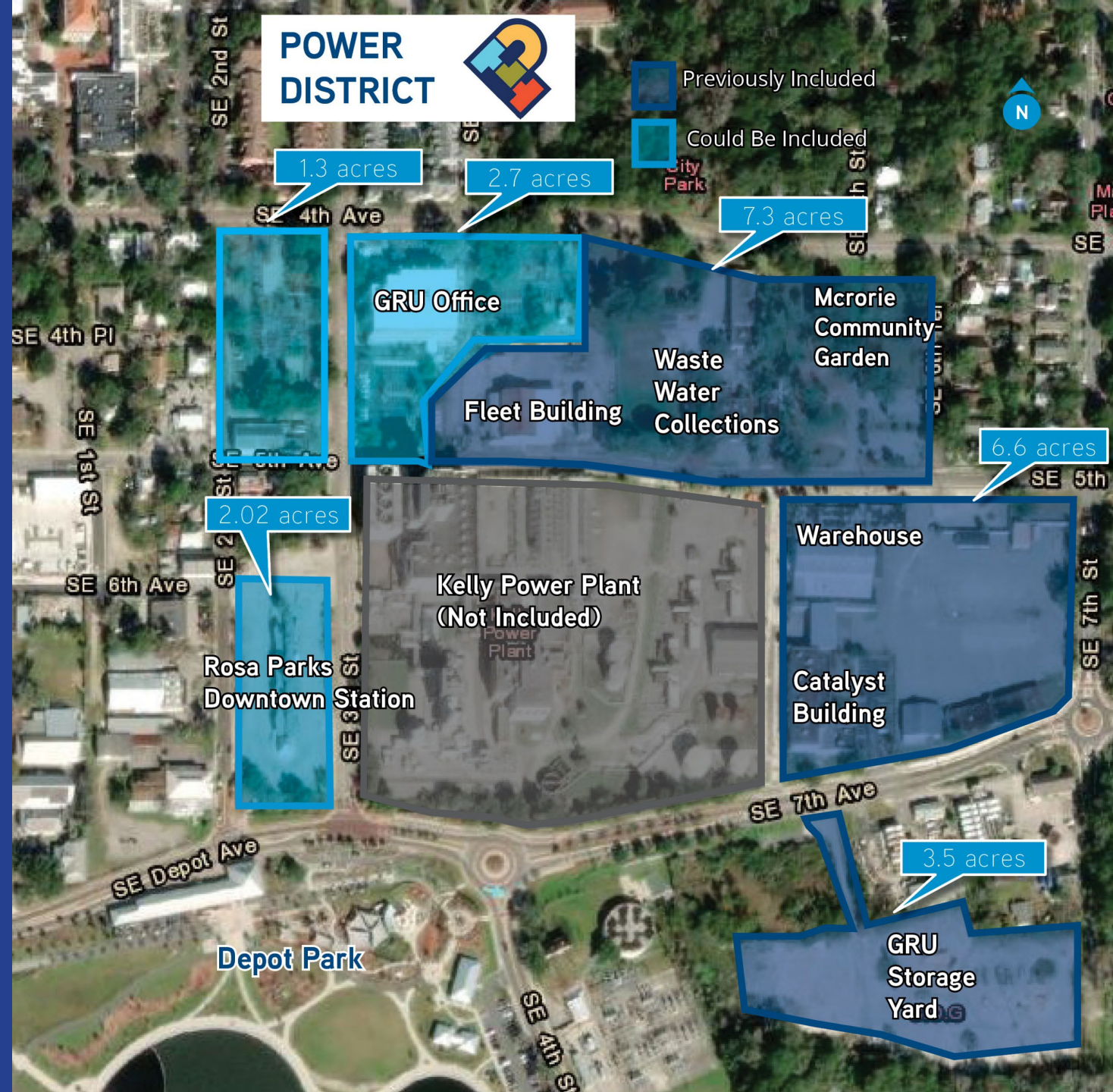
Recommended Next Steps

March 12, 2021

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Recommended Next Steps

1. Define boundaries/surplus property decision for the Power District Offering
2. Update the 2011 MOU document
 - i. Incorporate the agreed upon boundary
 - ii. Define participants and their roles and responsibilities in the process
 1. Including the CRA
 2. Including the City Commission
 - iii. Other needed changes due to the passing of a decade since the last MOU was executed
3. Define Fair Value for GRU property
 - i. Update appraisals of the properties located within the agreed upon boundary based on the uses defined by the updated "Redevelopment Plan Goals"



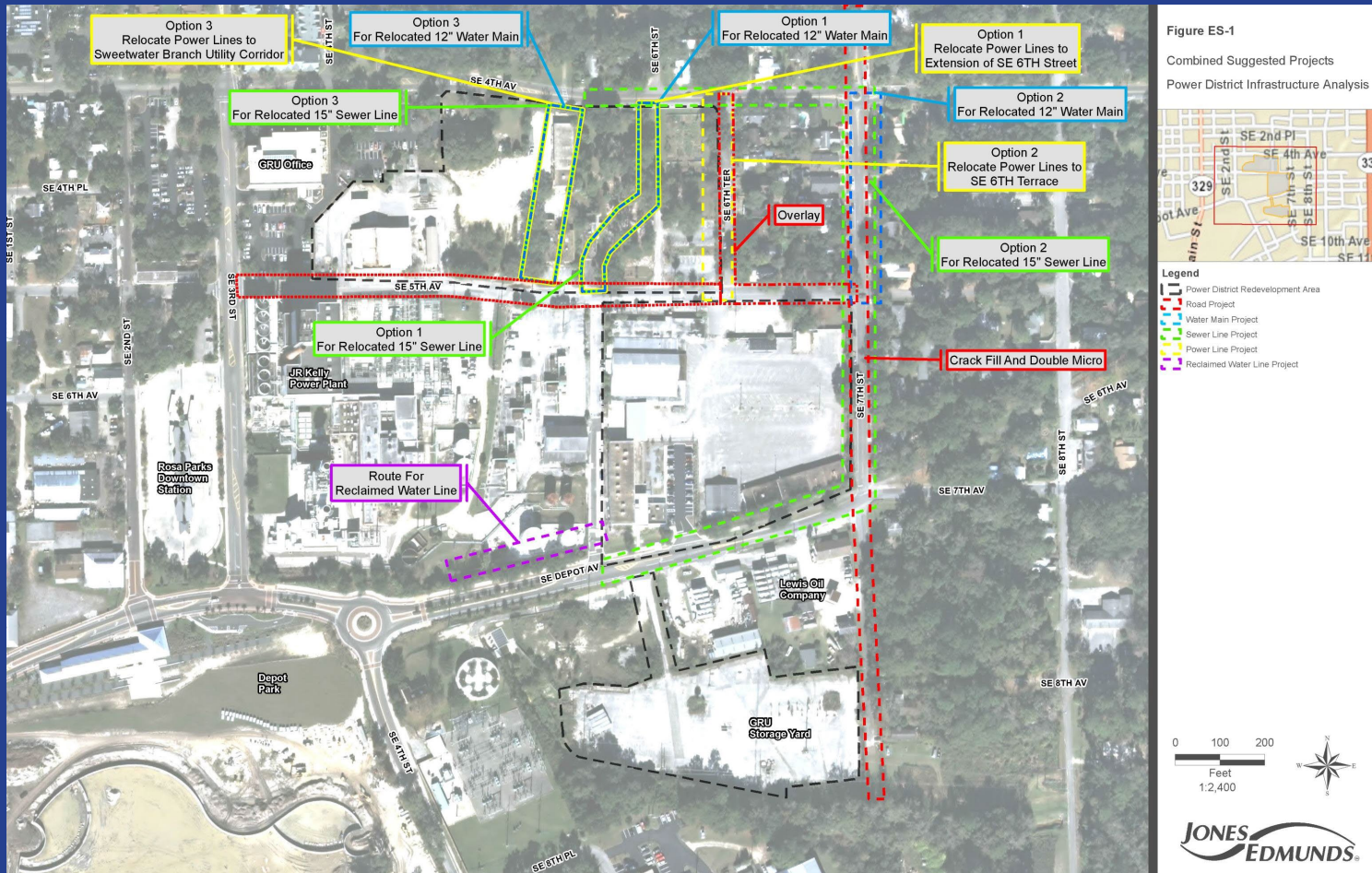
Recommended Next Steps



4. Update or revisit the “Redevelopment Plan Goals” from 2013 to bring the list current and to make the goals more measurable (without definition the land use and zoning will govern)

- i. Define what types of housing will be required (Affordable and by clear definition)
- ii. Building heights at eastern boundaries
- iii. Parking
- iv. Define specific infrastructure requirements
 - 1. SW 6th Street extension between 4th and 5th Avenue
 - 2. Daylighting creek between 4th and 5th Avenue

Recommended Next Steps



5. Update the Infrastructure Analysis report from 2015

i. Suggested projects section

6. Update the Building Needs Assessment Report from 2015

i. Buildings have aged 6 years and their use may have changed or been impacted?

7. Possibly change the land use and zoning of parcel no 12020-017-000, 0.80 acres located in the southwestern corner of SE 4th Avenue and SE 6th Terrace (This is the location of McRorie Gardens, and this parcel's zoning is PS while all the other properties have been changed to U9 or DT zoning)