



**City of Gainesville
Department of Doing
Planning Division**

PO Box 490, Station 11
Gainesville, FL 32627-0490
306 NE 6th Avenue
P: (352) 334-5022
F: (352) 334-2648

HISTORIC PRESERVATION BOARD STAFF REPORT

PUBLIC HEARING DATE:	April 6, 2021
ITEM NO:	#6 under New Business
PROJECT NAME AND NUMBER:	HP-21-00024, 517 NE 4 th Street
APPLICATION TYPE:	Quasi-Judicial: Reroof duplex from shingle to metal and add windows to the north elevation.
RECOMMENDATION:	Staff recommends approval of the reroof and the window additions.
CITY PROJECT CONTACT:	Jason Simmons

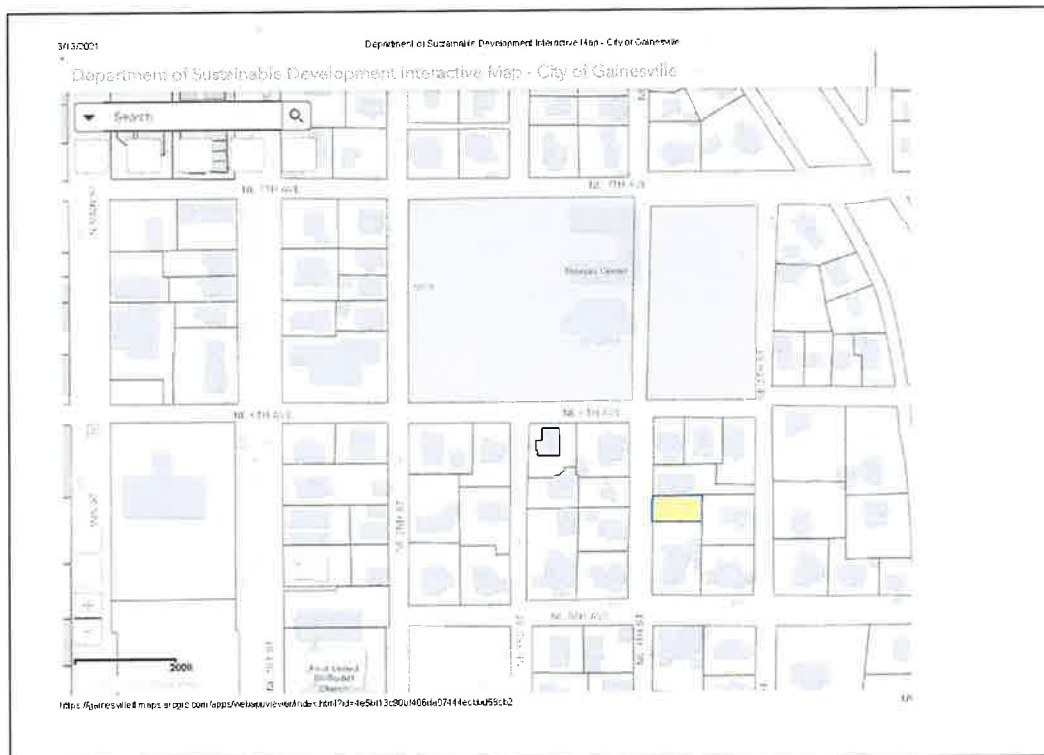


Figure 1: Location Map

APPLICATION INFORMATION:

Agent/Applicant: Lily R. Lewis
Property Owner(s): Lily R. Lewis

SITE INFORMATION:

Address: 517 NE 4th Street
Parcel Number(s): 12596-000-000
Existing Use(s): Duplex
Zoning Designation(s): Urban 2
Historic District: Northeast Residential
Historic District Status: Contributing
Date of construction: c. 1959 (ACPA), c. 1922 per AL00605

PURPOSE AND DESCRIPTION:

Lily R. Lewis, owner. Certificate of Appropriateness to reroof an existing duplex with a metal roof and add windows to the north elevation. Located at 517 NE 4th Street. This building is contributing to the Northeast Residential Historic District.

STAFF REVIEW AND RECOMMENDATION:

EXISTING

The existing residential building is a one story, drop siding wood frame vernacular house with a gable roof and a hip porch secondary roof structure, a brick pier foundation with concrete block infill, a brick chimney located on a lateral slope, double hung 1/1 windows and composition shingles on the roof. The wood porch has Doric columns and a plain balustrade. According to the Florida Master Site File, the house represents a typical Gainesville dwelling of the 1920's. The structure appears on the Sanborn map of 1922.

PROPOSED

The current shingle roof is leaking around the chimney flashing, causing water damage on the first and second floors of the home. Previous repairs around the flashing have been inadequate. The applicant is requesting the removal of the existing shingle roofing system and renailed wood deck to code and replace with a 1 inch standing seam metal roof, 26 gauge with non-painted panels and concealed fasteners over Rhino underlayment. It is to be installed with pancake screws and pop

rivets, 130 mph wind rated. Install deck tite plumbing boots, on ridge ventilation and ridge cap, and install a new drip edge on lower eave area. The panels will have a mill finish (silver) (See Exhibit 3).

Another project associated with this structure is BP-21-00378, which is a remodeling of a guest room. The project involves replacement of drywall, insulation, and floor surfaces, rewiring of electrical components, and adding two windows that are on the north side elevation. The previous owners altered a porch and converted it into a guest room. The old house elevation had windows on this north elevation (See Exhibit 3) and adding windows back to this elevation will restore a historic presence of windows on the north side of the building.

REVIEW

Roofs are a highly visible component of historic buildings and are an integral part of a building's overall design and architectural style. The Historic Preservation Board discussed and adopted a policy on April 2, 2013 concerning styles of metal roofing which would be allowed within the historic districts. The Historic Preservation Board approves metal roofing on a case-by-case basis depending on the style and use of the building. Recommended metal roofing for most buildings in the historic district is a 5-V crimp or standing seam metal, as spacing of these roofs is more sympathetic with historic metal roofs, and exposed fasteners are not as numerous or visible.

The proposed two windows are to be placed on a visible secondary elevation, one of which is on a portion of the building which is less than halfway behind the front of the building and is highly visible from the street. The windows chosen are the Pella (R) 850 Series double hung wood clad windows in a size chosen to match the original windows in the back of the house. The size of the new windows will allow the applicant to preserve the original porch banister that is visible in the interior of the guest room.

Basis for Approval – Secretary of the Interior's Standards for Rehabilitation

Consideration of a Certificate of Appropriateness application is pursuant to Section 30-3.5 of the Land Development Code and the Secretary of Interior's Standards for Rehabilitation which serves as the basis for the City of Gainesville's Historic Preservation Rehabilitation and Design Guidelines. The Historic Preservation Board shall adhere to the preservation principles of maintaining historic fabric and compatibility with surrounding properties.

The ***Historic Preservation Rehabilitation and Design Guidelines***, based on the Secretary of Interior Standards for Rehabilitation, which has become the authoritative guidelines for rehabilitation, list the following:

Roof and Roof Structures

Applicable Secretary Standards

- 2. The historic character of a property shall be retained and preserved. The removal of*

historic materials or alteration of features and spaces that characterize a property shall be avoided.

- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

In planning roof repairs, it is important to identify significant features and materials and treat them with sensitivity under Standards 2 and 5. Under Standard 6, significant features and materials should be repaired rather than replaced. If replacement of a deteriorated feature is necessary, the new materials should closely match the original.

Roofs perform an essential function in keeping a building weather tight. As a result, they are particularly subject to change. In the local district the most common original roofing materials were embossed or crimped sheet metal and sawn wood shingles. Virtually all-original wood shingle coverings have been removed and often replaced with ornamental sheet metal. Such historic changes to roofs have gained significance in their own right and should be respected under Standard 4.

Where existing roofing material is non-original and not significant, there is greater flexibility. The existing roof may be retained, or replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style in compliance with Standards 6 and 9. In reviewing replacement of non-historic roof surfacing, it is important to keep in mind, Standard 9. Even if the existing surfacing is inappropriate, the replacement material must be compatible with the overall design of the building.

Rooftop additions are another common change to historic buildings. They are generally not suitable for smaller buildings of three stories or less or for buildings with very distinctive rooflines. They can, however, meet Standard 9 if certain conditions are met. The addition should be designed to be distinguished from the historic portion of the building; be set back from the wall plane; and be placed so it is inconspicuous when viewed from the street.

Recommended

1. Alterations to the configuration or shape of a historic roof should be confined to portions of the building not visible from the right-of-way.

2. Repointing of chimney mortar joints shall match the existing composition, joint size, and profile.
3. Retain and preserve the roof's shape, historic roofing materials and features.
4. Preserve the original roof form in the course of rehabilitation.
5. Provide adequate roof drainage and insure that the roofing material provides a weather tight covering for the structure.
6. Replace deteriorated roof surfacing with matching materials or new materials, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture.
7. Retain or replace where necessary dormer windows, cupolas, cornices, brackets, chimneys, cresting, weather vanes, and other distinctive architectural or stylistic features that give a roof its essential character.
8. Design rooftop additions, when required for a new use that are set back from a wall plane and are as inconspicuous as possible when viewed from the street.

Not Recommended

1. Removal of existing chimneys is discouraged. Removal of historic or architectural roofing features should be avoided, if possible. If removal is unavoidable, replacement material should match the existing fabric in composition, design, color, texture and other visual qualities.
2. Mortar with high Portland cement content shall not be used.
3. Masonry surfaces shall not be sandblasted.
4. Avoid applying paint or other coatings to roofing materials, which historically have not been painted.

RECOMMENDATION

Staff recommends approval of the reroof from shingle to a standing seam metal roof system and the window additions.

LIST OF EXHIBITS:

- | | |
|-------------------------|---|
| <u>Exhibit 1</u> | <i>City Of Gainesville Historic Preservation Rehabilitation and Design Guidelines: Roof and Roof Structures; Windows, Shutters and Awnings</i> |
| <u>Exhibit 2</u> | COA Application, Florida Master Site File 8AL00605 |
| <u>Exhibit 3</u> | Pictures, Elevations |
| <u>Exhibit 4</u> | Product Information for Roof & Windows |

Exhibit 1 Historic Preservation Rehabilitation and Design Guidelines

THE **HISTORIC PRESERVATION REHABILITATION AND DESIGN GUIDELINES**, BASED ON THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION, WHICH HAS BECOME THE AUTHORITATIVE GUIDELINES FOR REHABILITATION STATE:

Roof and Roof Structures

Applicable Secretary Standards

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*

The roof shape of the building, structure or object shall be visually compatible with the buildings to which it is visually related. It is important to identify, retain and preserve roofs and their functional and decorative features that are important in defining the overall historic character of the building. This includes the roof's shape as hipped, gambrel or mansard; decorative features such as cupolas, cresting and chimneys; and roofing materials such as slate, clay and tile.

Roofs are highly visible components of historic buildings in Gainesville's Historic Districts. They are an integral part of a building's overall design and often help define its architectural style. Examples include mansard and belvederes which are primary features of the Second Empire and the Airplane Bungalow styles, respectively. Materials such as clay tile and ornamental metals which cover roofs in Gainesville are also significant and should be preserved in the course of rehabilitating a building.

Roof forms comprise an important part of streetscapes in the historic district and create a unified rhythm with neighboring buildings. The most numerous residential roof types are gable, hip, or a combination. Other common examples are pyramidal, gambrel, and clipped

gable (jerkinhead). Flat roofs with parapets predominate in commercial buildings in the Pleasant Street District.

In planning roof repairs, it is important to identify significant features and materials and treat them with sensitivity under Standards 2 and 5. Under Standard 6, significant features and materials should be repaired rather than replaced. If replacement of a deteriorated feature is necessary, the new materials should closely match the original.

Roofs perform an essential function in keeping a building weathertight. As a result, they are particularly subject to change. In the local district the most common original roofing materials were embossed or crimped sheet metal and sawn wood shingles. Virtually all original wood shingle coverings have been removed and often replaced with ornamental sheet metal. Such historic changes to roofs have gained significance in their own right and should be respected under Standard 4.

Where existing roofing material is non-original and non-significant, there is greater flexibility. The existing roof may be retained, or replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style in compliance with Standards 6 and 9. In reviewing replacement of non-historic roof surfacing, it is important to keep in mind, Standard 9. Even if the existing surfacing is inappropriate, the replacement material must be compatible with the overall design of the building.

Recommended

1. Alterations to the configuration or shape of a historic roof should be confined to portions of the building not visible from the right-of-way.
2. Repointing of chimney mortar joints shall match the existing composition, joint size, and profile.
3. Retain and preserve the roof's shape, historic roofing materials and features.
4. Preserve the original roof form in the course of rehabilitation.
5. Provide adequate roof drainage and insure that the roofing material provides a weathertight covering for the structure.
6. Replace deteriorated roof surfacing with matching materials or new materials, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture.
7. Retain or replace where necessary dormer windows, cupolas, cornices, brackets, chimneys, cresting, weather vanes, and other distinctive architectural or stylistic features that give a roof its essential character.
8. Design rooftop additions, when required for a new use that are set back from a wall plane and are as inconspicuous as possible when viewed from the street.

Not Recommended

1. Removal of existing chimneys is discouraged. Removal of historic or architectural roofing features should be avoided, if possible. If removal is unavoidable, replacement material should match the existing fabric in composition, design, color, texture and other visual qualities.
2. Mortar with high portland cement content shall not be used.
3. Masonry surfaces shall not be sand-blasted.
4. Avoid applying paint or other coatings to roofing materials which historically have not been painted.

Staff Approval Guidelines

Additions and alterations to the roof that meet all of the following conditions can be approved by staff:

Vents and pipes for water heaters, dryers, stoves, etc., are appropriate;

Skylights which are located on portions of the roof not visible from the right-of-way and have flat surfaces and do not destroy or damage historic roofing features, shapes or materials;

Solar collectors, antennae and satellite dishes which are placed on portions of the roof not visible from the right-of way and do not destroy or damage historic roofing features, shapes or materials;

Replacing non-historic roofing material with a material of similar composition and design provided that the entire structure will be covered;

Replacing historic roofing material with a material of similar composition and design provided that the entire structure will be covered;

Chimneys that are designed in a manner appropriate to the period of the house, placed on the side elevation, located on the exterior of the building and do not destroy or damage historic roofing features, shapes or materials; and

Alterations to non-historic portions of contributing buildings provided they are compatible in scale, design and materials but distinguishable from the historic portions.

Board Approval Guidelines

Rooftop additions are not discouraged if they do not destroy significant historic or architectural fabric and if their design is compatible in size, scale, color, materials and character of the property and the neighborhood.

Rooftop additions should be inconspicuous when viewed from the street and be clearly distinguished from what is historic.

Dormers should be added to portions of the building not visible from the right-of-way. When a dormer must be constructed, the new dormer should generally match the appearance of existing dormers or, if none are present, draw inspiration from the architectural details on the building such as roof pitch, molding or window style. Contemporary dormers would generally detract from the overall historic character of the building.

Roof decks and balconies should only be added to portions of the building not visible from the right-of-way and constructed in a subordinate manner to the historic building.

Roof decks and balconies should be composed of materials that are sympathetic with the historic building.

Roof windows and skylights should be placed on portions of the building not visible from the right-of-way. Flat skylights which project minimally from the roof, are the recommended treatment.

The design of roofing features, shapes or materials which seek to replicate or duplicate a missing historic feature must be documented through historical, physical or photographic sources.

IMPORTANT NOTES



PRE-APPLICATION MEETING

To guide you through the process and to ensure that your application is properly processed, you'll need to meet with the Preservation Planner prior to submitting your application. This should be done prior to your anticipated submittal date to allow time for review.

Staff approval applications are accepted on a rolling basis and are generally completed within 5 business days. Please note that projects can only begin after receiving a Certificate of Appropriateness (COA) and a building permit (if required).



CONCEPTUAL APPROVALS

Conceptual approvals are provided by the HPB as a courtesy to the applicant in an effort to allow comment from the Historic Preservation Board during the conceptual design process. The HPB will provide the applicant with feedback and guidance relating to the proposal. In all cases, the applicant must return to the HPB to seek final approval of their projects. There is no additional fee for this review above the Certificate of Appropriateness fee.



APPLICATION REQUIREMENTS

- A complete/ signed application. (If all requirements are not submitted it could delay your approval);
- Proof of Ownership (copy of deed or tax statement);
- A current survey of the property, for new construction and any change to existing footprint. (no older than two years);
- 1 digital set of elevations & plans (to scale);
- Photographs;
- Any additional backup materials, as necessary;
- If applying as an agent, [Owner's Authorization for Agent Representation](#) form must be signed/ notarized and submitted as part of the application;
- For window replacement, a [Window Survey](#) must be completed.

PROJECT DESCRIPTION

DESCRIBE THE PROPOSED PROJECT AND MATERIALS.

Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Reroof:

Proposed project & Materials (applies to entire roof system):

Remove existing shingle roofing system and reroof wood deck to code; Install 1" Standing Seam Metal Roof 26 ga Non-Painted w/ concealed fasteners over Rhino underlayment; Installed with pancake screws and pop rivets, 130 mph wind rated; Install deck tite plumbing boots, on ridge ventilation and ridge cap; Install new drip edge on lower eave area

Justification:

Current shingle roofing system is leaking around chimney flashing, causing water damage on first and second floors of the home. Previous owners have addressed the chimney flashing area, but the repairs have been inadequate to protect the home. One area of the replaced shingles are visibly falling off.

Alteration:

Addition of 1 single window and 1 triple window as part of owner builder project BP-21-00378.

List proposed materials:

Project Scope	Manufacturer	Product Description	Color (Name/Number)
Exterior Fabric			
Doors			
Windows	Pella	Pella 850 Series, Tradition	Classic White
Roofing	TriCounty Metals	TCM-Lok 1", 26 Gauge	Mill Finish (silver)
Fascia/Trim	Pine window frame	Pine wood trim painted	White (to match)
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Signage			
Other			

PLEASE SUBMIT ALL PRODUCT BROCHURES, PAINT COLOR SAMPLES, AND MATERIAL SAMPLES WITH YOUR APPLICATION.



DID YOU REMEMBER...

- Review the Historic District Application Checklist to ensure you are including all required materials. If all requirements are not submitted, it may delay your approval;
- Review the applicable [Guidelines](#);
- Review the [Secretary of the Interior's Standards](#);
- A pre-application meeting is required before a final application for Board Review can be processed. Please call 352 393-8686 to schedule an appointment.



Please see the City of Gainesville Code of Ordinances for detailed information:

- Historic preservation/conservation overlay* – see Sec. 30-4.28.
- Historic Preservation Board*– see Sec. 30-3.5.
- Variances* – see Sec. 30-3.55.

The Code of Ordinances is available for review at

www.municode.com



APPEALS

Board Decisions - Persons with standing, as defined in Section 30-3.58(B) of the Land Development Code, may appeal a decision of the HPB, as outlined in Article III, Division 12 – *Appeals* of the land Development Code.

Administrative Decisions - Persons with standing, as defined in Section 30-3.57(B) of the Land Development Code, may appeal a decision of the HPB, as outlined in Article III, Division 12 – *Appeals* of the land Development Code.

DEMOLITIONS (If Applicable)

Please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, county, or neighborhood, and feasibility of reproducing such a building, structure, or object.

Reroof: Removal of existing modern shingle roof, which is not historically or architecturally significant and is currently leaking.

Alterations: The space being altered was originally a porch and was converted into a guest room by previous owners. The old house face had windows. Adding windows back to this face of the house will restore the presence of windows on this face of the house.

Discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value.

Reroof: Previous repairs to the shingle roof have been made by previous owners, but the repairs have not been effective in stopping leaks and water damage.

Alterations: The window sizes were chosen to match the original windows in the back of the home, which are most closely located to the proposed new windows. The size of the new windows allows us to preserve the original porch banister that is visible in the interior of the guest room.

RELOCATIONS (If Applicable)

For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.)

Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historic context.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Section 30-4.28(D) of the Land Development Code.

Modification of dimensional requirements. To facilitate new construction, redevelopment, rehabilitation, or relocation of buildings or structures in historic districts or individually listed on the local register, the city manager or designee or the appropriate board within the development review process may determine dimensional requirements such as front, side, and rear setbacks, building height, separation between buildings, floor area ratios, and maximum lot coverage for buildings and structures based on historic development patterns. Any change shall be based on competent demonstration by the petitioner of the following:

- a. *The proposed development will not affect the public safety, health, or welfare of abutting property owners or the district;*
- b. *The proposed change is consistent with historic development, design patterns or themes in the historic district. Such patterns may include reduced front, rear, and side yard setbacks, maximum lot coverage and large floor area ratios;*
- c. *The proposal reflects a particular theme or design pattern that will advance the development pattern of the historic district; and*
- d. *The proposed complies with utility, stormwater, access requirements, and other requirements related to site design in the Land Development Code.*

Where the proposed modification would encroach into a side or rear yard setback that adjoins an existing lot, notice shall be provided to the adjacent property owner. Staff or the appropriate reviewing board will document the basis for its decision. If staff makes the decision, it will provide a written determination on the complete modification request within 21 calendar days of receiving the request. If the adjacent property owner objects to the encroachment in writing within 16 calendar days of the date from which the notice was mailed, the request shall be referred to the development review board, which shall review the request using the same standards in this section used by staff. If the decision is to be made by a board, the board shall hear the objection of the adjacent property owner as part of its public hearing. The remainder of the requirements, regulations and procedures set forth in this chapter shall remain applicable.

Modification of building code requirements. Structures and buildings listed individually on the local register or deemed contributing to the character of a district listed on the local register shall be deemed historic and entitled to modified enforcement of the standard codes where appropriate.

Please describe the requested zoning modification, addressing a through d above:

n/a

The requested modification will change the following zoning or building requirement in this manner:

<i>(select only those that apply)</i>	<i>Required</i>	<i>Existing</i>	<i>Proposed</i>
<input type="checkbox"/> <u>Front, Side, Or Rear Building Setback Line</u>			
<input type="checkbox"/> <u>Building Height</u>			
<input type="checkbox"/> <u>Building Separation</u>			
<input type="checkbox"/> <u>Floor Area Ration</u>			
<input type="checkbox"/> <u>Maximum Lot Coverage</u>			

CERTIFICATION


By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Department of Sustainable Development to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic Preservation Board meeting.
5. I/We understand that the Historic Preservation Board meetings are conducted in a quasi-judicial hearing and as such, ex-parte communications are prohibited (Communication about your project with a Historic Preservation Board member).
6. I/We understand that the approval of this application by the Historic Preservation Board or staff in no way constitutes approval of a Building Permit for construction from the City of Gainesville Building Department.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HPB before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
8. I/We understand that any decision of the HPB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the HPB; otherwise the decision of the HPB will be final.
9. I/We understand that Certificates of Appropriateness are only valid for **one (1) year** from issuance.

Lily R. Lewis
Applicant (Signature)

03/11/2021
Date

Lily R. Lewis
Applicant (Print)



Please submit this application and all required supporting materials via email to cogplanning@cityofgainesville.org.

Once the application is received and deemed complete we will contact you regarding payment. For questions regarding application submission, please call 352 393-5022

TO BE COMPLETED BY CITY STAFF		Date Received <u>3/1/21</u>	Received By: <u>Jason Simmons</u>
HP <u>21-00024</u>		<input type="checkbox"/> Staff Approval – No Fee <input type="checkbox"/> Single Family Structure or its Accessory Structure <input type="checkbox"/> Multi-Family requiring Board approval <input type="checkbox"/> Ad Valorem Tax Exemption <input type="checkbox"/> After-The-Fact Certificate of Appropriateness <input type="checkbox"/> Account No. 001-660-6680-3405 <input type="checkbox"/> Account No. 001-660-6680-1124 (Enterprise Zone) <input type="checkbox"/> Account No. 001-660-6680-1125 (Enterprise–Credit)	
Zoning: <u>Urban 2</u>			
Contributing?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Pre-Conference?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Application Complete	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Enterprise Zone?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Request for Modification of Setbacks?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

City of Gainesville

DEPARTMENT OF SUSTAINABLE DEVELOPMENT

Thomas Center - Building B
306 NE 6th Ave Gainesville, FL 32601
352.393.5022
www.cityofgainesville.org

HISTORIC PRESERVATION BOARD (HPB)

Owner's Authorization for Agent Representation

USE THIS FORM TO: Grant an agent authorization to represent you in applying for applications to the City of Gainesville Department of Sustainable Development.

I /WE _____
(print name of property owner(s))

hereby authorize: _____
(print name of agent)

to represent me/us in processing an application for: _____
(print type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

(Signature of owner)

(Signature of owner)

(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
 ss }
COUNTY OF ALACHUA }

Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization,

this _____ day of _____, 20____,

by _____.

Notary Public

Printed Name

My Commission Expires

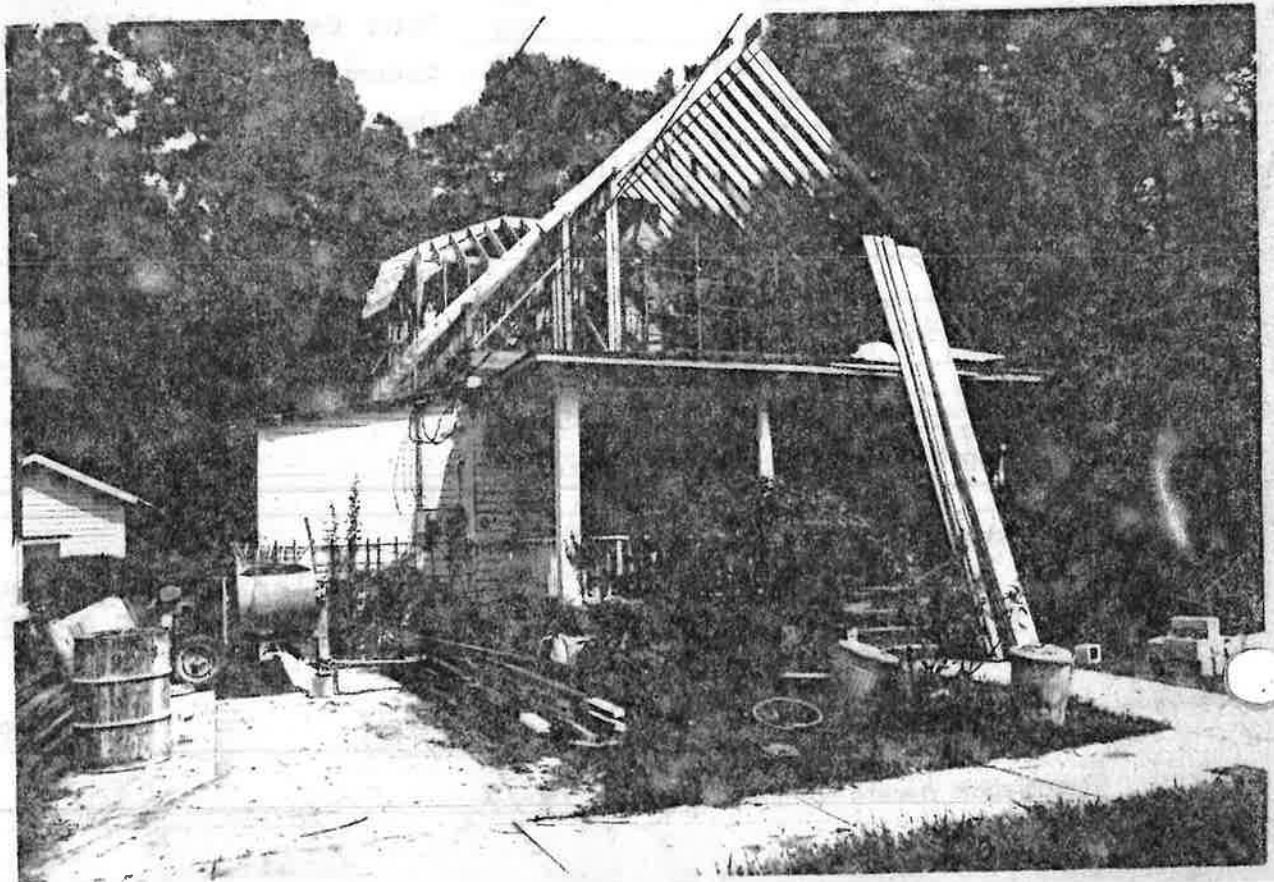
Personally Known
OR

Produced Identification ID Produced: _____

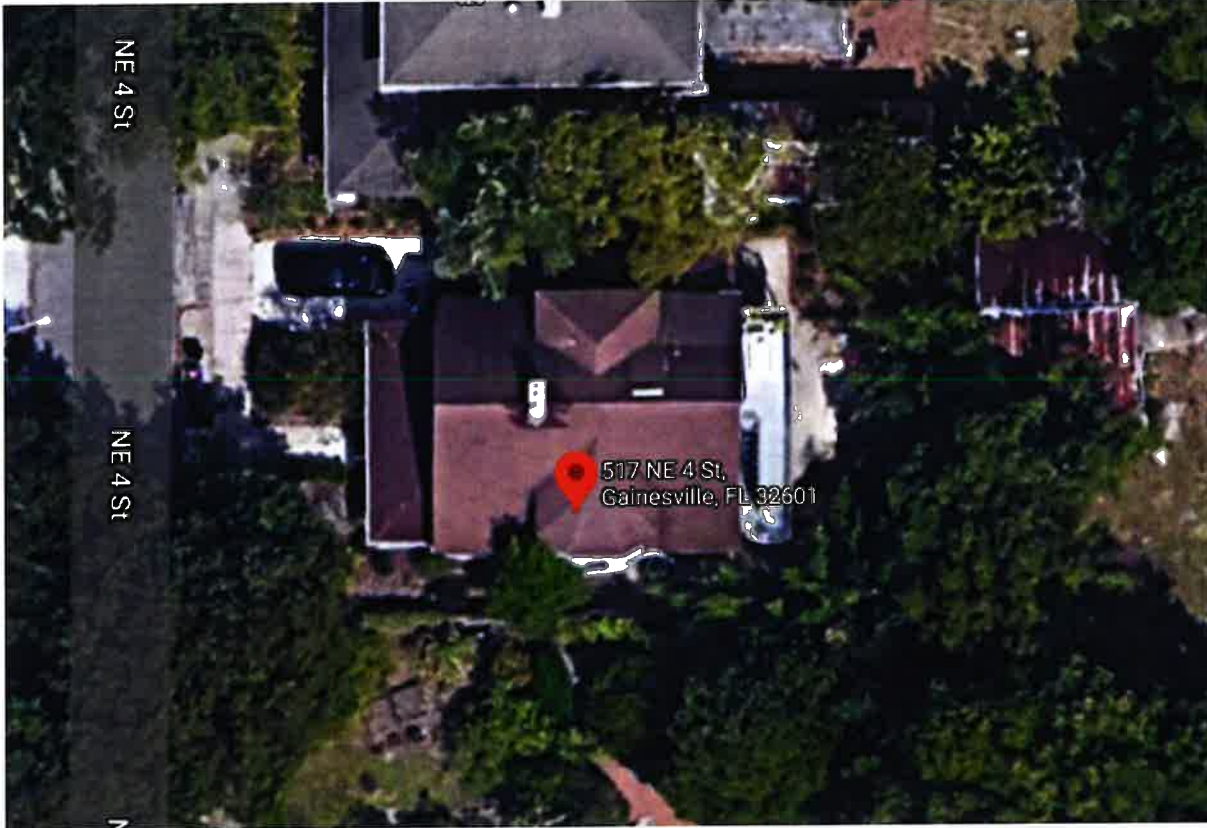
ALTERED

ARCHITECT _____ 872==
BUILDER _____ 874==
STYLE AND/OR MODE Frame Vernacular 964==
PLAN TYPE rectangular, irregular 966==
EXTERIOR FABRIC(S) drop siding 854==
STRUCTURAL SYSTEM(S) wood frame 856==
FOUNDATION: brick piers, concrete block infill 942==
ROOF TYPE: gable 942==
SECONDARY ROOF STRUCTURE(S): hip porch 942==
CHIMNEY LOCATION: lateral slope 942==
WINDOW TYPE: DHS 1/1 942==
CHIMNEY: brick 882==
ROOF SURFACING: composition 882==
INTERIOR WALLS: _____ 882==
~~ORNAMENT INTERIOR:~~ _____ trade 882==
ORNAMENT EXTERIOR: wood porch - doric columns, plain balus- 882==
NO. OF CHIMNEYS 1 952== NO. OF STORIES 1 950==
OTHER (SPECIFY) _____ 954==
Map Reference (incl. scale & date) USGS GAINESVILLE EAST 7.5 1966 809==
Latitude and Longitude: _____

LOCA



517 NE 4th St, Gainesville FL 32601 - Reroof – Existing Roof photos



517 NE 4th St, Gainesville FL 32601 - Reroof – Existing Roof photos



517 NE 4th St, Gainesville FL 32601 - Reroof – Existing Roof photos





517 NE 4th St

3 NEHD 31

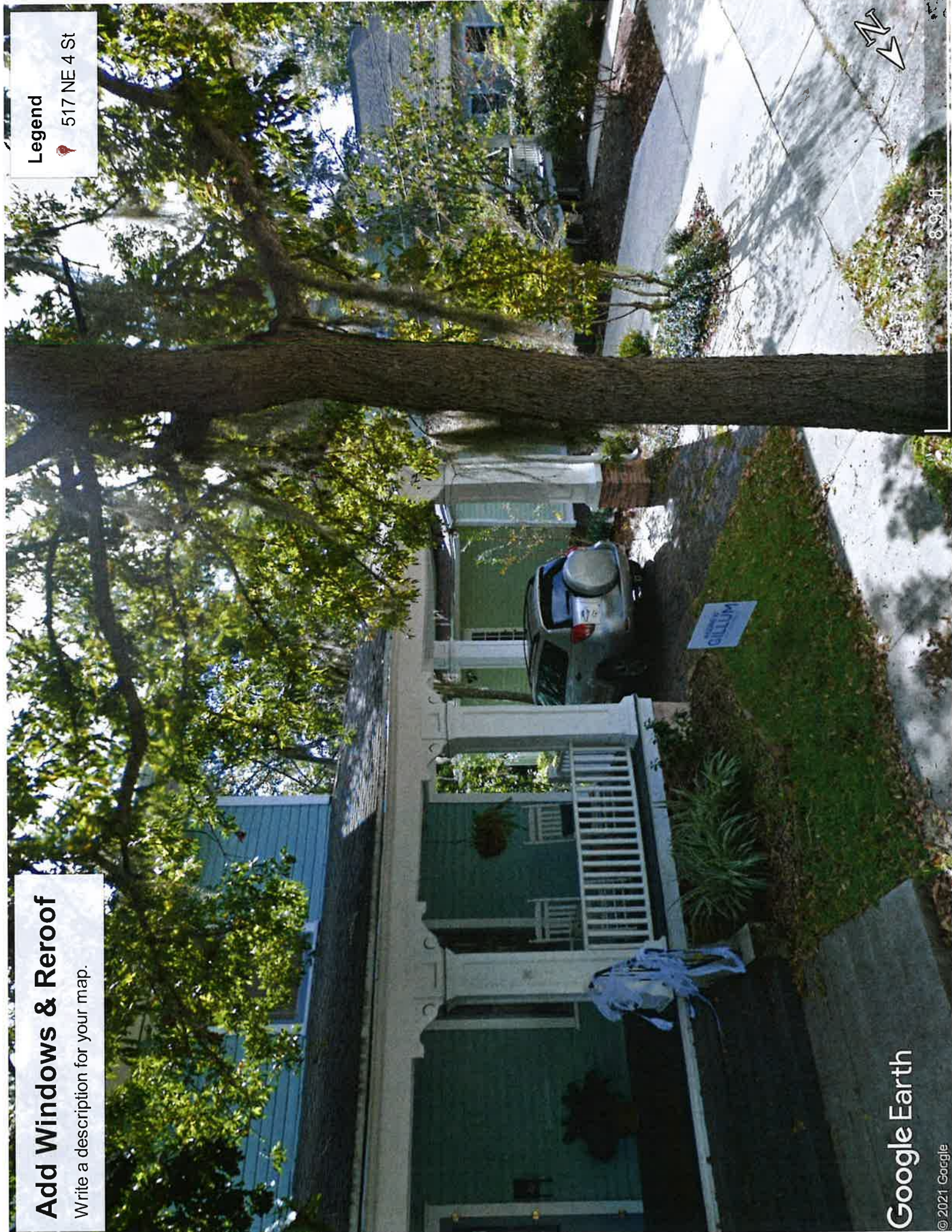
12/8/93

Add Windows & Reroof

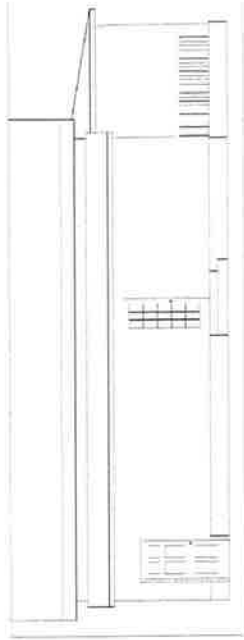
Write a description for your map.

Legend

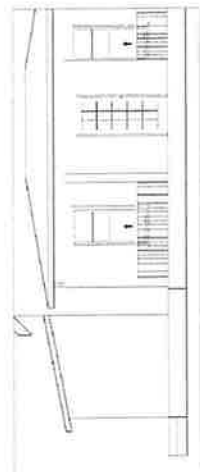
📍 517 NE 4 St



Existing

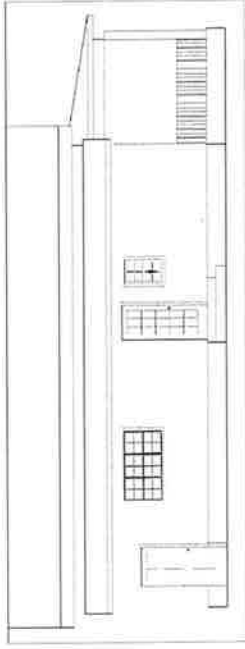


Left Elevation: 1/4" = 1'-0"



Front Elevation: 1/4" = 1'-0"

Proposed



Left Elevation: 1/4" = 1'-0"

EXCISE OF MERIC.
REPLACE EXISTING EXTERIOR AND FLOOR FINISHES, WORK
REMOVED, PER 2 EXISTING



1 FLOOR PLAN PROPOSED
1/4" = 1'-0"





www.TriCountyMetals.com



TCM-LOK

Make Your Next Roof Your Last

OVERVIEW

This panel is manufactured at our TCM plant.

Applications: Residential, Light Commercial

Gauge: 24 gauge, 26 gauge and .032 Aluminum
1.5" only available in 24 gauge

Minimum Slope: 1/4 / 12 - Tube sealant recommended
on pitches below 2 / 12

Panel Profile: 16" and 15" net coverage

Substrate: Galvalume® steel sheet, conforming
to ASTM A792 and .032 Aluminum

Finish: Mill Finish AZ55 Acrylic Coated Galvalume®;
25 year limited warranty

TCM exclusive paint systems:

Core Defender Paint System® 40 / 30 year limited warranty.

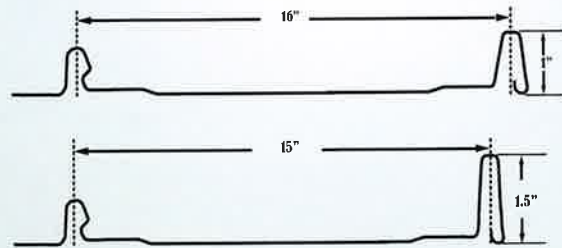
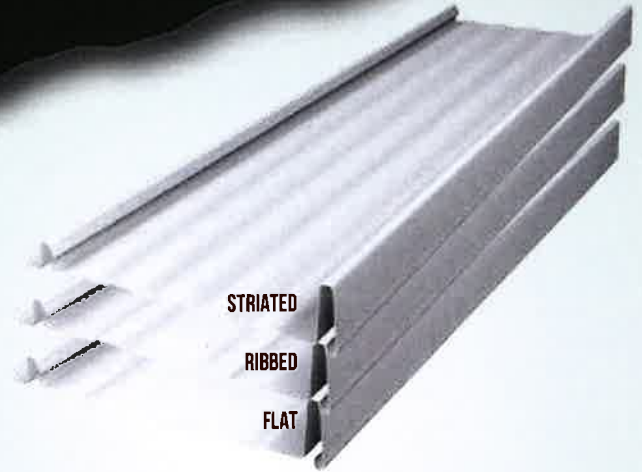
Max Defender Paint System® 35 / 30 year limited warranty.

COLORS

Contact your salesperson for availability information.



Make Your Next Roof Your Last



BENEFITS

- ✓ Superior Energy Star service colors with stability proven through extensive Valspar® testing.
- ✓ Galvalume® Mill finish or painted with TCM exclusive paint system are proven to have long life and low life cycle cost.
- ✓ Hidden fastener system for long life and low maintenance.
- ✓ FL Building Code approved to withstand winds up to 210 mph (when using 1.5" 24 Gauge TCM-LOK over 15/32 plywood with caulk as per HVHZ product approval)

Florida Product Approvals 1" 24 Gauge #4595.8 and #4595.14 , 1" 26 Gauge #4595.14 HVHZ*
and #23302.1 , 1.5" 24 Gauge #4595.9 HVHZ* , and #36904 HVHZ*

*Note: HVHZ Designates this product approval includes HVHZ (High Velocity Hurricane Zone) product approval. For other installation configurations, please inquire with your salesperson for site-specific accommodations.

Trenton 352-463-8400
Ocala 352-622-5500
Brooksville 352-587-8120
Jacksonville 904-490-6004

Live Oak 386-330-0101
Tallahassee 850-574-4001
DeLand 386-738-2579



[Back to Quote](#)



LOWE'S HOME CENTERS, LLC #2365
2564 N.W. 13TH STREET
GAINESVILLE, FL 32609
USA
(352) 367-8900

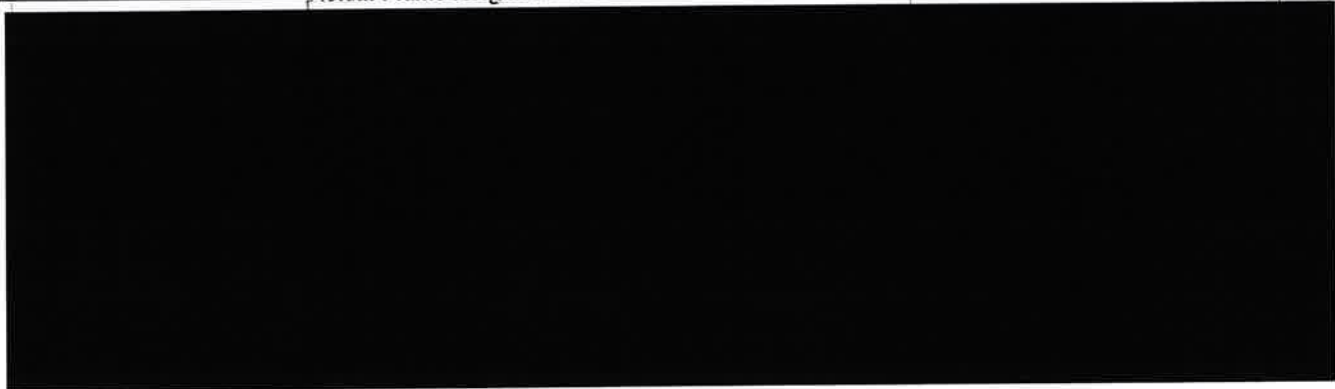
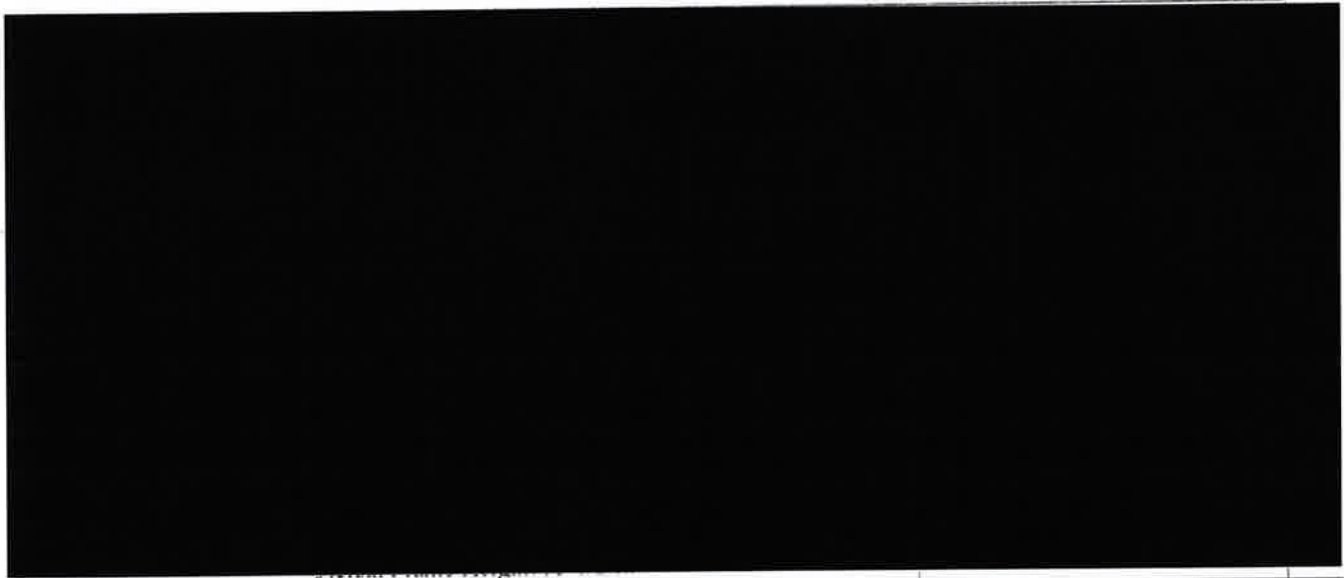


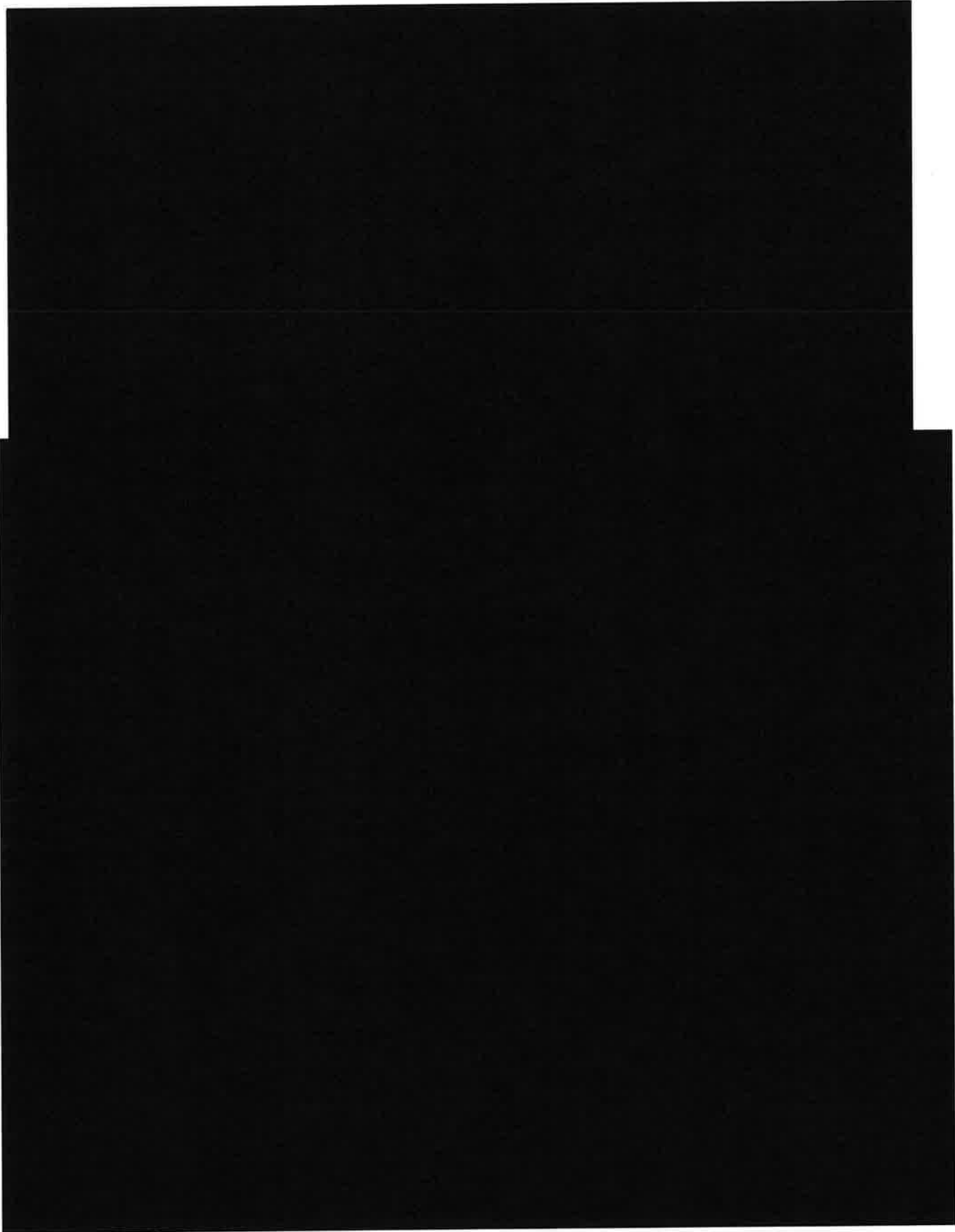
Project #: 671254570
Customer Name: LILY LEWIS
Customer Phone: (352) 215-8692
Customer Address: FNG
GAINESVILLE, FL 32605
USA

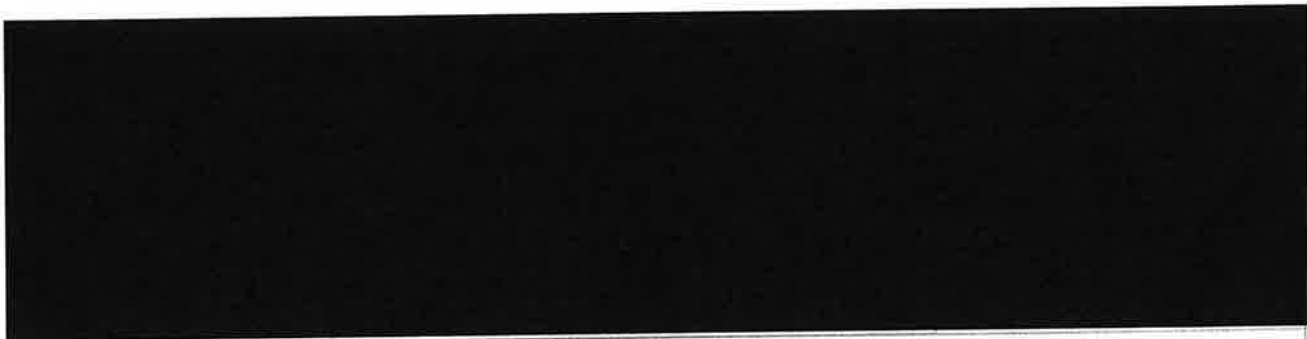
Description: windows

Quote was redacted to remove portions that are not relevant to the COA (i.e. a window option we decided against.

Line Item	Product Code	Unit Price	Quantity	Total Price
Frame Size	Description			



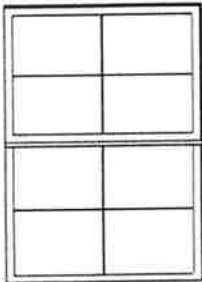




0003

Size = 25-in W x 35 1/2-in

H



Manufacturer: Pella (R) 850 Series

Double Hung NFRC: 0
 Double Hung DP50: Size Tested 29-in x 53-in
 Division: Millwork
 Product: Windows
 Type: Double Hungs
 Manufacturer: Pella (R) 850 Series
 Energy Star (R) Qualified Products Only: No - I would like to view all available product offering.
 Product Family: Full Frame Pella Products
 Style Collection: Traditional
 Room Location: Family Room
 Will This Product Be Installed By Lowe's (R)?: Not Installed By Lowe-fits (R)
 Configuration: 1 Wide
 Actual Frame Width: 25-in
 Actual Frame Height: 35 1/2-in
 Fits Opening Width: 25 3/4-in
 Fits Opening Height: 36 1/4-in
 Operation / Venting: Double Hung
 Venting Height: Equal
 Unit Type: Complete Unit
 Performance Option: Standard
 Exterior Material Type: Clad
 Wood Type: Pine
 Edition: Style
 Actual Base Frame Depth: 5-in
 Actual Base Wall Depth: 3 11/16-in
 Exterior Paint Grade: Standard EnduraClad
 Exterior Color: Classic White
 Interior Finish: Prefinished White
 Exterior Sash / Panel Profile: Ogee
 Interior Sash / Panel Profile: Ogee
 Sash Lugs: No Sash Lugs
 Glazing Type: Insulated
 Insulated Type: Dual
 Glass Strength: Annealed
 Insulated Glass Options: Low-E
 Low-E Glass Style: NaturalSun Low-E Insulating Glass
 Gas Filled: Argon
 High Altitude: Non High Altitude

\$1,198.48

\$1,198.48

Sash Lock: Spoon-Style Lock
 Window Opening Control Device: No Window Opening Control Device
 Sensor Option: No Integrated Sensor
 Hardware Finish: Antique Brass
 Limited Opening Hardware: No Limited Opening Hardware
 Sash Lift: Order Sash Lift
 Sash Lift Shipping Options: Shipped In Unit
 Screen Option: Full Screen
 Screen Style: Standard
 Screen Color: Classic White
 Screen Cloth: InView (TM)
 Grille Type: Integral Light Technology (R) Grilles
 Grille Exterior Profile: Ogee
 Grille Interior Profile: Ogee
 Actual Grille Bar Profile Width: 7/8-in
 Grille Pattern: Traditional
 Upper Grille Division Type: Typical
 Lower Grille Division Type: Typical
 Upper Number Wide: 2
 Upper Number High: 2
 Lower Number Wide: 2
 Lower Number High: 2
 Attachment Method: EnduraClad (R) Exterior Trim
 Installation Method: Full Frame Replacement
 Actual Head Exterior Trim: 3 1/2-in Flat Casing
 Actual Left Jamb Exterior Trim: 3 1/2-in Flat Casing
 Actual Right Jamb Exterior Trim: 3 1/2-in Flat Casing
 Actual Sill Exterior Trim: 3 1/2-in Flat Casing Sill Nose
 Attachment Method Application: Factory Applied
 Exterior Overall Width Including Trim: 31.420000
 Exterior Overall Height Including Trim: 41.920000
 Actual Jamb Extended Wall Depth: 4 9/16-in
 Wall Depth Application: Factory Applied
 Is This A Remake?: No
 Lead Time: 24 Days
 Item Number: 153620

This price reflects a 15% Off Promotion on SOS Pella (R) Windows & Patio Doors - 02/25/21 to 03/10/21

This quote is good 02/25/21 to 03/10/21.

0004

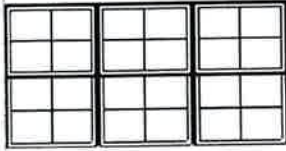
Size = 69-in W x 35 1/2-in H

Manufacturer: Pella (R) 850 Series

Double Hung NFRC: 0
 Double Hung DP50: Size Tested 29-in x 53-in
 Division: Millwork
 Product: Windows

\$3,670.18

\$3,670.18



Type: Double Hungs
Manufacturer: Pella (R) 850 Series
Energy Star (R) Qualified Products Only: No - I would like to view all available product offering.
Product Family: Full Frame Pella Products
Style Collection: Traditional
Room Location: Bedroom 2
Will This Product Be Installed By Lowe's (R)?: Not Installed By Lowe-fts (R)
Configuration: 3 Wide
Actual Frame Width: 69-in
Actual Frame Height: 35 1/2-in
Fits Opening Width: 69 3/4-in
Fits Opening Height: 36 1/4-in
Operation / Venting: Double Hung
Venting Height: Equal
Unit Type: Complete Unit
Performance Option: Standard
Exterior Material Type: Clad
Wood Type: Pine
Edition: Style
Actual Base Frame Depth: 5-in
Actual Base Wall Depth: 3 11/16-in
Exterior Paint Grade: Standard EnduraClad
Exterior Color: Classic White
Interior Finish: Prefinished White
Exterior Sash / Panel Profile: Ogee
Interior Sash / Panel Profile: Ogee
Sash Lugs: No Sash Lugs
Glazing Type: Insulated
Insulated Type: Dual
Glass Strength: Annealed
Insulated Glass Options: Low-E
Low-E Glass Style: NaturalSun Low-E Insulating Glass
Gas Filled: Argon
High Altitude: Non High Altitude
Sash Lock: Spoon-Style Lock
Window Opening Control Device: No Window Opening Control Device
Sensor Option: No Integrated Sensor
Hardware Finish: Antique Brass
Limited Opening Hardware: No Limited Opening Hardware
Sash Lift: Order Sash Lift
Sash Lift Shipping Options: Shipped In Unit
Screen Option: Full Screen
Screen Style: Standard
Screen Color: Classic White
Screen Cloth: InView (TM)
Grille Type: Integral Light Technology (R) Grilles

Grille Exterior Profile: Ogee
 Grille Interior Profile: Ogee
 Actual Grille Bar Profile Width: 7/8-in
 Grille Pattern: Traditional
 Upper Grille Division Type: Typical
 Lower Grille Division Type: Typical
 Upper Number Wide: 2
 Upper Number High: 2
 Lower Number Wide: 2
 Lower Number High: 2
 Attachment Method: EnduraClad (R) Exterior Trim
 Installation Method: Full Frame Replacement
 Actual Head Exterior Trim: 3 1/2-in Flat Casing
 Actual Left Jamb Exterior Trim: 3 1/2-in Flat Casing
 Actual Right Jamb Exterior Trim: 3 1/2-in Flat Casing
 Actual Sill Exterior Trim: 3 1/2-in Flat Casing Sill Nose
 Attachment Method Application: Factory Applied
 Exterior Overall Width Including Trim: 75.420000
 Exterior Overall Height Including Trim: 43.920000
 Actual Jamb Extended Wall Depth: 4 9/16-in
 Wall Depth Application: Factory Applied
 Is This A Remake?: No
 Lead Time: 24 Days
 Item Number: 153620

This price reflects a 15% Off Promotion on SOS Pella (R) Windows & Patio Doors - 02/25/21 to 03/10/21

This quote is good 02/25/21 to 03/10/21.

Project Total: \$7,627.26

Salesperson: PATRICK MILLER (S2365PM1)

Accepted by: _____

Date: 03/10/2021

Print Detailed Quote

This quote is an estimate only and valid for 30 days on all regularly priced items. For promotional items please refer to the dates listed above. This estimate does not include tax or delivery charges. Estimated arrival will be determined at the time of purchase. All of the above quantities, dimensions, specifications and accessories have been verified and accepted by the customer. **** Special order configured products are subject to a 20% restocking fee if returned. ****

COLORS

WOOD TYPES

Choose the wood species that best complements your project.

CUSTOM SOLUTIONS¹



PREFINISHED PINE INTERIOR COLORS

Custom interior finishes, unfinished or primed and ready to paint, are also available.



ALUMINUM-CLAD EXTERIOR COLORS

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus² which also resists chalking and corrosion.³

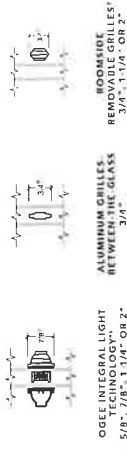


Custom colors are also available⁴.

GRILLES

GRILLES

Choose the look of true divided light or make cleaning easier by selecting grilles between the glass.



ADDED SECURITY

INSYNCTIVE™ TECHNOLOGY

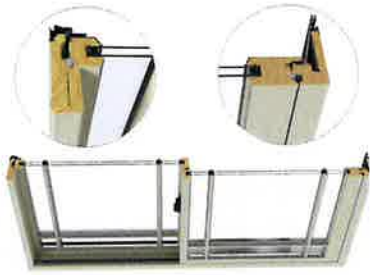
Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors are compatible with major security panel systems. For more information, go to connectpella.com.

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gov.
² Based on comparing us with the top 100 manufacturers of leading national wood window and door patio door brands. See www.pella.com for details, including exceptions and limitations, at any Pella spokeswoman.
³ EnduraClad Plus products and finishes are available with all colors. See your local Pella sales representative for availability.
⁴ Color matched to your product's interior and exterior color.

Pella Architect Series[®] Traditional wood

Exquisitely crafted wood windows that add architectural interest

Double-hung Interior



Double-hung Exterior



- **DESIGNED WITH ARCHITECTURAL INTEGRITY**
Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- **ENHANCED STYLE OPTIONS**
Meet your unique project specifications with extensive size options, grille patterns, finishes, wood types and glass options.
- **EXPANSIVE CUSTOM CAPABILITIES**
Pella's dedicated custom design teams can help bring your project vision to life with virtually unlimited design choices.
- **AUTHENTIC LOOK OF TRUE DIVIDED LIGHT**
Pella's Integral Light Technology® grilles use the industry's only foam spacer to create the most authentic look of true divided light, by casting a more realistic shadow.
- **INTERIOR FINISH OPTIONS**
From light to dark, Architect Series Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in four paints, 11 stains and primed and ready-to-paint.
- **STUNNING HARDWARE**
Choose from Pella's exclusive collection of rich patinas and other timeless finishes.
- **OPTIONAL INTEGRATED SECURITY SENSORS**
Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- **ENERGY STAR® CERTIFIED¹**
Pella products offer energy efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Architect Series Traditional products with triple pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2019.²
- **LONG-LASTING DURABILITY**
Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- **THE BEST LIMITED LIFETIME WARRANTY³**
Pella Architect Series Traditional products are covered by the best limited lifetime warranty for wood windows and patio doors in the industry.⁴
- **TESTING BEYOND REQUIREMENTS**
At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call backs for you.

Fixed and Cascat Paper windows also available

AVAILABLE IN THESE WINDOW & PATIO DOOR STYLES:



PRODUCT SPECIFICATIONS

WINDOW & PATIO DOOR STYLES	MIN. WIDTH	MIN. HEIGHT	MAX. WIDTH	MAX. HEIGHT	PERFORMANCE GRADE	PERFORMANCE VALUES			FRAME / INSTALL
						U FACTOR	SHGC	STC	
AWNING	13 3/4"	13 3/4"	53"	59"	LC40-CW50	0.25-0.29	0.19-0.47	27-33	Fold out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
PRECISION FIT AWNING	17"	17"	53"	29"	R45-CW50	0.28-0.33	0.19-0.47	27-30	Pocket Replacement
CASEMENT	13 3/4"	11 3/4"	41"	96"	CW30-CW50	0.25-0.29	0.18-0.47	28-32	Fold out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
PRECISION FIT CASEMENT	17"	17"	35"	73"	R50-CW50	0.28-0.33	0.19-0.47	27-30	Pocket Replacement
FIXED CASEMENT	10"	10"	144"	144"	CW30-CW50	0.25-0.29	0.19-0.47	28-32	Fold out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
PRECISION FIT FIXED CASEMENT	17"	17"	59"	73"	R50-CW50	0.28-0.33	0.19-0.47	27-30	Pocket Replacement
DOUBLE-HUNG	14"	24 1/2"	54"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	
PRECISION FIT DOUBLE-HUNG	13 1/2"	23 3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	
IN-SWING HINGED PATIO DOOR (SINGLE)	18"	36"	48"	119 1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
IN-SWING HINGED PATIO DOOR (DOUBLE)	36"	36"	96"	119 1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
OUT-SWING HINGED PATIO DOOR (SINGLE)	18"	36"	48"	119 1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	Fold out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
OUT-SWING HINGED PATIO DOOR (DOUBLE)	36"	36"	96"	119 1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
SLIDING PATIO DOOR (O)	30 3/4"	74"	60 3/4"	119 1/2"	LC25-LC70	0.26-0.32	0.15-0.42	-	
SLIDING PATIO DOOR (OX, XO)	59 1/4"	74"	119 1/2"	119 1/2"	LC25-LC70	0.26-0.32	0.15-0.42	29-35	
SLIDING PATIO DOOR (OXO)	90"	74"	180"	119 1/2"	LC25-LC70	0.26-0.32	0.15-0.42	-	
SLIDING PATIO DOOR (OXOX)	116 1/4"	74"	236 3/4"	119 1/2"	LC25-LC70	0.26-0.32	0.15-0.42	-	

WINDOW SIZES AVAILABLE IN 1/8" INCREMENTS
 Special sizes available for more information regarding performance, visit multiple.com/performance
 For more information regarding frame and material types, visit multiple.com

WINDOW HARDWARE

CLASSIC COLLECTION

Get a timeless look with authentic styles in classic finishes.



RUSTIC COLLECTION

Create a distinct and charming look with distressed finishes.



WINDOW HARDWARE CONTINUED

ESSENTIAL COLLECTION

Select from popular designs and finishes to suit every style.



PATIO DOOR HARDWARE

Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.

CLASSIC COLLECTION



RUSTIC COLLECTION

Stand out with bold looks, created in collaboration with Baldwin hardware, to obtain an utterly unique aesthetic.

BALDWIN



ESSENTIAL COLLECTION

Elevate your style and transform your project with elegant selections.

