

LEGISTAR NO.  
201050

## SECTION A: APPLICANT INFORMATION

Applicant Name: GLENN HOCH SHITAMA Business Name: AKIRA WOOD INC

Business Federal ID#: 59-1997257 Year Established: 1977 Legal Structure: S Corp.

Is the business currently registered with the City of Gainesville to pay local business tax?: YES

Is the business registered with the City of Gainesville as (check all that apply):  
☒ Small  
☒ Local  
☒ Diverse

Applicant Mailing Address: 619 SOUTH MAIN STREET GAINESVILLE FLORIDA 32601  
Street City State Zip Code

Telephone: 352.375.0691 E-Mail: HOCH@AKIRAWOOD.COM Website: WWW.AKIRAWOOD.COM

Has the Applicant previously received CRA or GCRA business improvement grant funds?

☐ Yes ☒ No If Yes, when? \_\_\_\_\_

## SECTION B: PROPERTY OWNER INFORMATION (If different than applicant)

Property Owner Name: BAIRD CENTER ASSOCIATION INC

Mailing Address: 619 SOUTH MAIN STREET GAINESVILLE FLORIDA 32601  
Street City State Zip Code

Telephone: 352.258.2772 E-Mail: CELESTEAS@GMAIL.COM

## SECTION C: BUILDING INFORMATION

Project Building Address: 619 SOUTH MAIN STREET GAINESVILLE FLORIDA 32601  
Street City State Zip Code

## SECTION D: DESCRIPTION OF WORK

Please describe the following, use additional paper if necessary:

What improvements are to be done?

See BID Narrative & Specifications, site plan, and sheet A1.

If this is a historic building, what restoration work will be done?

See BID Narrative & Specifications, site plan, and sheet A1.

Is this Project necessary to retain or attract new tenants? If to attract new tenants, how many new jobs are expected to be created?

Yes, we are using this grant for improvements to attract new tenants and retain our current tenants. We expect to create at least twenty new jobs.

Does the Project correct exterior code deficiencies? If so, please explain.

Yes, storefront entrances will be engineered for impact. Also, handicap access will be improved around the property.

Explain what if any sustainable/environmental upgrades will be completed.

LED lighting will be installed at exterior. All new entries will be engineered from river recovered Florida heart cypress.

Describe in more detail the proposed improvements: the new primary colors, a description of materials to be used, what if any construction methods will be used for the improvement, the Applicant may provide pictures that illustrate examples of the final Project.

See BID Narrative & Specifications, site plan, and sheet A1. Color palette to include light grey, charcoal, and terracotta red.

Estimated number of months from potential grant approval to project completion: 4-5 months

Any other applicable information concerning this proposed improvement.

This application to be submitted in conjunction with a separate business improvement grant for 601 S. Main Street. Both grant proposals are in the context of more extensive improvements taking place at all properties comprising the historic Baird Center.

Check which Tier you qualify for and are applying to.

- ☐ Tier 1 (up to \$10,000)
- ☐ Tier 2 (up to \$30,000)
- ☐ Tier 3 (up to \$50,000)
- ☒ Tier 4 (up to \$150,000)

## SECTION E: CONTRACTOR'S COST ESTIMATES


Appliant must develop and provide your scope of work to the GCRA as an attachment to this application. The scope of work must detail work to be performed and must separate out any non-grant applicable work from grant applicable work. You must attach at least two cost estimates from different contractors for the scope of work. (It is recommended that you have at least three price quotes). You must provide copies of the selected prime contractor's general liability insurance certificate and contractor's license.

The below is a synopsis of your received bids. The original bids must be included with the application. Please place in the #1 position the desired prime contractor selected for this Project. If multiple contractors are going to be used their work must have comparable bids and they are to be provided.

Name of Contractor #1: AKIRA WOOD, LLC Cost Estimate: \$ 295,900<sup>00</sup>

Name of Contractor #2: JOYNEX CONSTRUCTION PARTNERS, LLC Cost Estimate: \$ 317,286<sup>00</sup>

Name of Contractor #3: GREEN BUILDING COOP LLC Cost Estimate: \$ 349,227<sup>75</sup>

Revised 4/16/21 



## SECTION F. OWNER CONSENT FORM

The undersigned acknowledges and represents the following to be true and correct statements and consents to be bound by the statements contained herein:

The Owner BAIRD CENTER ASSOCIATION INC is the fee simple title holder of the Property described in the Business Improvement Grant program Agreement dated 03/17/2021 (the "Agreement") between the Gainesville Community Reinvestment Area, a Department of the City of Gainesville ("GCRA") and AKIRA WOOD INC (the "Applicant"); and

The Owner agrees that the Property will be benefitted from the Project to be undertaken pursuant to the Agreement; and

In consideration of the benefit to the Property, the Owner agrees to be bound by Section 2.04 of the Agreement, agrees to execute and be bound by the Façade Preservation Easement attached as Exhibit "B" to the Agreement, and agrees to be bound by Article 4. Indemnification, Article 8. Dispute Resolution and Article 10. Miscellaneous of the Agreement.

This Consent and Acknowledgment is executed by the Owner on 03/26/2021

Signed, sealed & delivered In the Presence of:

Owner:

Kinnon Thomas

Print name: KINNON THOMAS

Print title (if applicable): PRESIDENT

Name:

Gordon Hoch Suter

Name:

JUDSON HAYES

STATE OF FLORIDA

COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 26th day of MARCH,

2021, by KINNON THOMAS, who is personally known to me or who has

produced \_\_\_\_\_ as identification.

Andrea D. Leland Notary Public, State of Florida

My commission expires \_\_\_\_\_





## SECTION G: ACKNOWLEDGEMENT AND SIGNATURES

By signing and submitting this application, the Applicant (and Building Owner if not Applicant) certifies, attests, and agrees to the following:

1. Applicant/Building Owner has been provided a copy of and has read, understands, and will comply with the Business Improvement Grant Program guidelines. Applicant's failure to comply with the Guidelines will result in ineligibility to participate in this Program.
2. Applicant/Building Owner certifies that all information in the application and furnished in support of this application is true and complete to the best of Applicant's knowledge and belief. Any false statement will be grounds for immediate termination of the Application and subject the Applicant to financial responsibility. Applicant has a continuing obligation to inform the GCRA (in writing) of any changes relative to the information provided in this application.
3. Applicant/Building Owner understands that the Business Improvement Grant Program will pay no more than 50 percent of GCRA approved Project costs, and the Applicant/Building Owner is responsible for any remaining costs or overages.
4. The Building has no existing code violations and the Applicant/Building Owner is not named in any outstanding code enforcement liens.
5. Applicant/Building Owner has chosen and approve of the contractors and the scope of work as listed in this application.
6. The GCRA/City's financial responsibility under this Program is solely limited to payment to the Applicant up to the approved reimbursement amount for work completed in accordance with the Business Improvement Grant Program. GCRA/City expressly disclaims any other liability, warranty, or guarantee, expressed or implied, for the work completed.
7. Upon completion of the Project and inspection by GCRA, and prior to disbursement of grant funds by the GCRA, the Applicant/Building Owner agrees to execute and deliver to the GCRA an Affidavit of Completion and a Façade Preservation Easement as provided by the GCRA to the Applicant. Additionally, the Applicant/Building Owner must provide to GCRA color photographs of the improved upon building showing all exterior sides of the building upon Project completion.
8. The required Facade Preservation Easement must ensure that the Applicant/Building Owner maintains the Project work in good condition and without material change for a period of five years after the completion of work under this Program. The GCRA will record the executed Easement.
9. Approval under this Program does not constitute a permit or approval of the City and the Applicant is responsible for obtaining such permits, if required, by the City or any other governmental entity.
10. The GCRA/City does not discriminate on the basis of race, color, gender, age, religion, national origin, marital status, sexual orientation, gender identity, or disability (protected characteristics), and will not allow any such discrimination by or against its employees or citizens utilizing GCRA programs.
11. The Applicant/Building Owner shall not assign or attempt to assign, directly or indirectly, any rights under this Agreement or under any instrument referred to herein without the prior written consent of the City in each instance. Any assignee shall be bound by all the terms of this Agreement and associated documents.
12. The Applicant/Building Owner and the City each binds itself, its partners, successors, legal representatives, and assigns of such other party in respect to all covenants of this Agreement.
13. This Agreement and any associated documents will be construed in accordance with and governed by the laws of the State of Florida, without giving effect to its provisions regarding choice of laws.
14. This Agreement and payment of any Program funding is subject to the availability of funding.
15. All activities authorized by this Agreement are subject to and must be performed in accordance with the provisions of this Agreement and all applicable federal, state, and local laws.
16. The Applicant/Building Owner agrees to waive any right to, hold harmless, and indemnify the City (which includes the GCRA), its officials, agents, and employees from suits, actions, damages, liability, expenses, losses, and costs, including but not limited to reasonable attorney's fees, in connection with this Agreement and any Program administration herein. This provision shall survive termination of this Agreement.
17. Nothing in this Agreement may be interpreted as a waiver of the City's sovereign immunity as granted under Section 768.28, Florida Statutes.
18. The Applicant/Building Owner acknowledges that the City has the right and responsibility to enforce this Agreement

Upon execution by the Applicant/Building Owner and the GCRA, this document constitutes a binding agreement between the GCRA and the Applicant/Building Owner.



## SECTION H: PROGRAM APPLICATION CHECKLIST

- ☑ Completed application form.
- ☑ Proof of building ownership shown by either a copy of the deed or county tax records.
- ☑ Copy of current City of Gainesville business tax license or proof of recent payment.
- ☑ GCRA Owner Consent documentation signed by all applicable parties. Evidence of agreement with Business Improvement Grant Program requirements by building owner, if different from the Applicant. This evidence must be in the form of GCRA Owner Consent Form (page 12) that has been properly notarized.
- ☑ Photographs of every external wall of the Project building showing existing conditions and their relationship (if any) to the transit corridor.
- ☑ Sketches and/or digital illustrations of elevations of proposed improvements.
- ☑ A minimum of two cost estimates from different sources. These cost estimates MUST be for the same improvements. Estimates should be broken out in detail, especially if any interior work is being done as this allows the GCRA to compare based on only grant allowable work being performed.
- ☑ Selected contractor's general liability insurance certificate and contractor's license (The Applicant can choose to use the more expensive quotation, but the GCRA matching grant funds will not exceed the lowest cost estimate).

Submit completed applications by mail or in person to:

Gainesville Community Reinvestment Area  
Attn: Business Improvement Grant Program  
2153 SE Hawthorne Road, Suite 223  
Gainesville, FL 32641



Your payment was processed, Print this tax receipt for your records. It was also sent to kyra@akirawood.com



## Online Business Tax Receipt<sup>(1)</sup>

Business Name **AKIRA WOOD, INC.**

Business Tax ID **10264**

This constitutes your business tax receipt for 10/1/2020 - 9/30/2021.

Your business tax(es) for the fiscal year **10/1/2020 - 9/30/2021** are as follows:

### Business Categories

ID	Service Name	Tax Amount	Explanation of Calculations
6260	MANUFACTURING-CABINETS	\$105.00	Fee schedule range from 7 to 13. Amount is \$105.00. Value submitted for taxation is 8.
****	Payment	(\$105.00)	Posted on 9/23/2020
<b>TOTAL DUE:</b>		<b>\$0.00</b>	

Please note that the maximum charge for any single service is \$525

Amount Due on **Wednesday, September 23, 2020** is **\$0.00**

(1) This page will serve as your business tax receipt for the fiscal year 10/1/2020 - 9/30/2021.

Payments must be time-stamped by 11:59 pm on Thursday, October 01, 2020 in order to avoid late fees.

Please, note that a home occupation permit may be required for this location, someone will contact you upon review of the Information

ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
13055 001 001		3600

R

UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDO AS**  
AMENDED BK 9 PG 29 UNIT 1B OR  
3862/0492



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32601

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	7.8935	148,790		148,790	1,174.47
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY GENERAL	1.1289	148,790		148,790	167.97
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP35 PROJECT (S01)	1.5000	148,790		148,790	223.19
SCHL DISCRNRY & CN (S01)	0.7480	148,790		148,790	111.29
SCHL GENERAL	3.6670	148,790		148,790	545.61
SCHOOL VOTED (S01)	1.0000	148,790		148,790	148.79
ST JOHNS RIVER WATER MGT DISTR	0.2287	148,790		148,790	34.03
CHILDREN'S TRUST	0.5000	148,790		148,790	74.40
36 CITY OF GAINESVILLE	5.2974	148,790		148,790	788.20
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$3,267.95

Inc.

ENTERED JAN 21

PAID JAN 29 2021

WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT [www.AlachuaCollector.com](http://www.AlachuaCollector.com) AND SIGN UP FOR E-BILLS!

**PAY ONLINE WITH E-CHECK**



SCAN TO PAY

PAY ONLY ONE AMOUNT. ⬇️

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
360 GAINESVILLE FIRE			179.59
NON-AD VALOREM ASSESSMENTS			\$179.59

**COMBINED TAXES AND ASSESSMENTS** \$3,447.54

If Paid/Postmarked By Please Pay	Nov 30, 2020 3,309.64	Dec 31, 2020 3,344.11	Jan 31, 2021 3,378.59	Feb 28, 2021 3,413.06	Mar 31, 2021 3,447.54
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**JOHN POWER, CFC** REAL ESTATE 2020  
ALACHUA COUNTY TAX COLLECTOR  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 001 001	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT	
IF PAID/POSTMARKED BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2020	3,309.64
<input type="checkbox"/> Dec 31, 2020	3,344.11
<input checked="" type="checkbox"/> Jan 31, 2021	3,378.59
<input type="checkbox"/> Feb 28, 2021	3,413.06
<input type="checkbox"/> Mar 31, 2021	3,447.54
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>	

1 13055001001 2020 1

Please Retain this Portion for your Records. Receipt Available Online.

RETURN WITH PAYMENT



ACCOUNT NUMBER	ESCROW/CD	MILLAGE CODE
13055 001 000		3600

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3 - 113

**AKIRA WOOD INC**  
619 S MAIN ST STE A  
GAINESVILLE FL 32601-6700

UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDOMINIUM BK**  
3 PG 25 UNIT 1 AMENDED IN CONDO  
BK 9 PG 29 UNIT 1A OR 3538/0376

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	129,760		129,760	1,024.26
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	129,760		129,760	146.49
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	129,760		129,760	194.64
SCHL DISCRNRY & CN (S01)	0.7480	129,760		129,760	97.06
SCHL GENERAL	3.6670	129,760		129,760	475.83
SCHOOL VOTED (S01)	1.0000	129,760		129,760	129.76
ST JOHNS RIVER WATER MGT DISTR	0.2287	129,760		129,760	29.68
CHILDREN'S TRUST	0.5000	129,760		129,760	64.88
36 CITY OF GAINESVILLE	5.2974	129,760		129,760	687.39
<b>TOTAL MILLAGE 21.9635 AD VALOREM TAXES</b>					<b>\$2,849.99</b>

Inc.

ENTERED JAN 21

PAID JAN 29 2021

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**PAY ONLINE WITH E-CHECK**



SCAN TO PAY

PAY ONLY ONE AMOUNT.

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	UNIT RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00 @ 62.26	62.26
360 GAINESVILLE FIRE		167.71
<b>NON-AD VALOREM ASSESSMENTS</b>		<b>\$229.97</b>

**COMBINED TAXES AND ASSESSMENTS \$3,079.96**

If Paid/Postmarked By Please Pay	Nov 30, 2020 2,956.76	Dec 31, 2020 2,987.56	Jan 31, 2021 3,018.36	Feb 28, 2021 3,049.16	Mar 31, 2021 3,079.96
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**JOHN POWER, CFC**

ALACHUA COUNTY TAX COLLECTOR

REAL ESTATE 2020  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 001 000	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST STE A  
GAINESVILLE FL 32601-6700

AMOUNT DUE - PAY ONLY ONE AMOUNT	
IF PAID/POSTMARKED BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2020	2,956.76
<input type="checkbox"/> Dec 31, 2020	2,987.56
<input checked="" type="checkbox"/> Jan 31, 2021	3,018.36
<input type="checkbox"/> Feb 28, 2021	3,049.16
<input type="checkbox"/> Mar 31, 2021	3,079.96
<b>PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a></b>	

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ACCOUNT NUMBER	ESCROW/CD	MILLAGE CODE
13055 002 000		3600

R



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32601

619 S MAIN ST  
**THE BAIRD CENTER CONDOMINIUM BK**  
3 PG 25 UNIT 2 OR 2143/2063 & OR  
2143/2119

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	459,724		459,724	3,628.83
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	459,724		459,724	518.98
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	459,724		459,724	689.59
SCHL DISCRNRY & CN (S01)	0.7480	459,724		459,724	343.87
SCHL GENERAL	3.6670	459,724		459,724	1,685.81
SCHOOL VOTED (S01)	1.0000	459,724		459,724	459.72
ST JOHNS RIVER WATER MGT DISTR	0.2287	459,724		459,724	105.14
CHILDREN'S TRUST	0.5000	459,724		459,724	229.86
36 CITY OF GAINESVILLE	5.2974	459,724		459,724	2,435.34
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$10,097.14

Inc.

ENTERED JAN 21

PAID JAN 29 2021

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**PAY ONLINE WITH E-CHECK**



SCAN TO PAY

PAY ONLY ONE AMOUNT. (U)

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	UNIT RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00 @ 62.26	62.26
360 GAINESVILLE FIRE		813.47
NON-AD VALOREM ASSESSMENTS		\$875.73

**COMBINED TAXES AND ASSESSMENTS** \$10,972.87

If Paid/Postmarked By Please Pay	Nov 30, 2020 10,533.96	Dec 31, 2020 10,643.68	Jan 31, 2021 10,753.41	Feb 28, 2021 10,863.14	Mar 31, 2021 10,972.87
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**JOHN POWER, CFC**

ALACHUA COUNTY TAX COLLECTOR

REAL ESTATE 2020  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 002 000	619 S MAIN ST	

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AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT		
IF PAID/POSTMARKED BY	PLEASE PAY	
<input type="checkbox"/> Nov 30, 2020	10,533.96	
<input type="checkbox"/> Dec 31, 2020	10,643.68	
<input checked="" type="checkbox"/> Jan 31, 2021	10,753.41	
<input type="checkbox"/> Feb 28, 2021	10,863.14	
<input type="checkbox"/> Mar 31, 2021	10,972.87	
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>		

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ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
8031		3600

APPLICABLE VALUES AND EXEMPTIONS BELOW

619 S MAIN ST



6 - 1689

AKIRA WOOD INC  
HOCH SHITAMA BAIRD CENTER  
619 S MAIN ST STE A  
GAINESVILLE FL 32601-6700



AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	7.8935	235,006	25,000	210,006	1,657.68
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY GENERAL	1.1289	235,006	25,000	210,006	237.08
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP35 PROJECT (S01)	1.5000	235,006	25,000	210,006	315.01
SCHL DISCRNRY & CN (S01)	0.7480	235,006	25,000	210,006	157.08
SCHL GENERAL	3.6670	235,006	25,000	210,006	770.09
SCHOOL VOTED (S01)	1.0000	235,006	25,000	210,006	210.01
ST JOHNS RIVER WATER MGT DISTR	0.2287	235,006	25,000	210,006	48.03
CHILDREN'S TRUST	0.5000	235,006	25,000	210,006	105.00
36 CITY OF GAINESVILLE	5.2974	235,006	25,000	210,006	1,112.49
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$4,612.47

Inc.

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PAY ONLINE WITH E-CHECK



SCAN TO PAY

PAY ONLY ONE AMOUNT. U

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	UNIT RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS		\$0.00

COMBINED TAXES AND ASSESSMENTS \$4,612.47

If Paid/Postmarked By Please Pay	Nov 30, 2020 4,427.97	Dec 31, 2020 4,474.10	Jan 31, 2021 4,520.22	Feb 28, 2021 4,566.35	Mar 31, 2021 4,612.47
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JOHN POWER, CFC

ALACHUA COUNTY TAX COLLECTOR

TANGIBLE PROPERTY 2020  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
8031	619 S MAIN ST	

AKIRA WOOD INC  
HOCH SHITAMA BAIRD CENTER  
619 S MAIN ST STE A  
GAINESVILLE FL 32601-6700

AMOUNT DUE - PAY ONLY ONE AMOUNT	
IF PAID/POSTMARKED BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2020	4,427.97
<input type="checkbox"/> Dec 31, 2020	4,474.10
<input type="checkbox"/> Jan 31, 2021	4,520.22
<input type="checkbox"/> Feb 28, 2021	4,566.35
<input type="checkbox"/> Mar 31, 2021	4,612.47
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>	

2 00008031 2020 6

Please Retain this Portion for your Records. Receipt Available Online.

RETURN WITH PAYMENT



ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
13055 003 000		3600

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619 S MAIN ST  
THE BAIRD CENTER CONDOMINIUM BK  
3 PG 25 UNIT 3 OR 2143/2063 & OR  
2143/2119



AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	143,695		143,695	1,134.26
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	143,695		143,695	162.22
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	143,695		143,695	215.54
SCHL DISCRNRY & CN (S01)	0.7480	143,695		143,695	107.48
SCHL GENERAL	3.6670	143,695		143,695	526.93
SCHOOL VOTED (S01)	1.0000	143,695		143,695	143.70
ST JOHNS RIVER WATER MGT DISTR	0.2287	143,695		143,695	32.86
CHILDREN'S TRUST	0.5000	143,695		143,695	71.85
36 CITY OF GAINESVILLE	5.2974	143,695		143,695	761.21
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$3,156.05

INC

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**PAY ONLINE WITH E-CHECK**

**SCAN TO PAY**

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00	@ 62.26	62.26
360 GAINESVILLE FIRE			834.16
NON-AD VALOREM ASSESSMENTS			\$896.42

PAY ONLY ONE AMOUNT. (U)

<b>COMBINED TAXES AND ASSESSMENTS</b>	\$4,052.47
---------------------------------------	------------

If Paid/Postmarked By Please Pay	Nov 30, 2020	Dec 31, 2020	Jan 31, 2021	Feb 28, 2021	Mar 31, 2021
	3,890.37	3,930.90	3,971.42	4,011.95	4,052.47

**JOHN POWER, CFC** REAL ESTATE 2020  
ALACHUA COUNTY TAX COLLECTOR  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 003 000	619 S MAIN ST	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT		
IF PAID/POSTMARKED BY	PLEASE PAY	
<input type="checkbox"/> Nov 30, 2020	3,890.37	
<input type="checkbox"/> Dec 31, 2020	3,930.90	
<input type="checkbox"/> Jan 31, 2021	3,971.42	
<input type="checkbox"/> Feb 28, 2021	4,011.95	
<input type="checkbox"/> Mar 31, 2021	4,052.47	
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>		

1 13055003000 2020 1

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RETURN WITH PAYMENT

ACCOUNT NUMBER	ESCROW/CD	MILLAGE CODE
13055 004 001		3600

R



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32601

UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDO AS**  
AMENDED BK 9 PG 29 UNIT 4B OR  
3538/0376

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	34,441		34,441	271.86
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	34,441		34,441	38.88
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	34,441		34,441	51.66
SCHL DISCRNRY & CN (S01)	0.7480	34,441		34,441	25.76
SCHL GENERAL	3.6670	34,441		34,441	126.30
SCHOOL VOTED (S01)	1.0000	34,441		34,441	34.44
ST JOHNS RIVER WATER MGT DISTR	0.2287	34,441		34,441	7.88
CHILDREN'S TRUST	0.5000	34,441		34,441	17.22
36 CITY OF GAINESVILLE	5.2974	34,441		34,441	182.45
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$756.45

HW (if possible → INC)

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**PAY ONLINE WITH E-CHECK**

**SCAN TO PAY**

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	UNIT RATE	AMOUNT
360 GAINESVILLE FIRE		97.72
NON-AD VALOREM ASSESSMENTS		\$97.72

PAY ONLY ONE AMOUNT. ⬇️

<b>COMBINED TAXES AND ASSESSMENTS</b>	\$854.17
---------------------------------------	----------

If Paid/Postmarked By Please Pay	Nov 30, 2020	Dec 31, 2020	Jan 31, 2021	Feb 28, 2021	Mar 31, 2021
	820.00	828.54	837.09	845.63	854.17

**JOHN POWER, CFC** REAL ESTATE 2020  
ALACHUA COUNTY TAX COLLECTOR  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 004 001	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT		
IF PAID/POSTMARKED BY	PLEASE PAY	
<input type="checkbox"/> Nov 30, 2020	820.00	
<input type="checkbox"/> Dec 31, 2020	828.54	
<input type="checkbox"/> Jan 31, 2021	837.09	
<input type="checkbox"/> Feb 28, 2021	845.63	
<input type="checkbox"/> Mar 31, 2021	854.17	
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>		



ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
13055 004 002		3600

R

UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDO AS**  
AMENDED BK 9 PG 29 AMENDED BK 31  
PG 40 UNIT 4C OR 4421/1483



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32602

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES/LEVIED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	70,352		70,352	555.32
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	70,352		70,352	79.42
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	70,352		70,352	105.53
SCHL DISCRNRY & CN (S01)	0.7480	70,352		70,352	52.62
SCHL GENERAL	3.6670	70,352		70,352	257.98
SCHOOL VOTED (S01)	1.0000	70,352		70,352	70.35
ST JOHNS RIVER WATER MGT DISTR	0.2287	70,352		70,352	16.09
CHILDREN'S TRUST	0.5000	70,352		70,352	35.18
36 CITY OF GAINESVILLE	5.2974	70,352		70,352	372.68
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$1,545.17

HW (if possible → INC)

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**SCAN TO PAY**

PAY ONLY ONE AMOUNT. ⬇

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	UNIT RATE	AMOUNT
360 GAINESVILLE FIRE		198.09
NON-AD VALOREM ASSESSMENTS		\$198.09

**COMBINED TAXES AND ASSESSMENTS** \$1,743.26

If Paid/Postmarked By Please Pay	Nov 30, 2020	Dec 31, 2020	Jan 31, 2021	Feb 28, 2021	Mar 31, 2021
	1,673.53	1,690.96	1,708.39	1,725.83	1,743.26

**JOHN POWER, CFC** REAL ESTATE 2020  
ALACHUA COUNTY TAX COLLECTOR  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 004 002	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32602

AMOUNT DUE - PAY ONLY ONE AMOUNT		
IF PAID/POSTMARKED BY	PLEASE PAY	
<input type="checkbox"/> Nov 30, 2020	1,673.53	
<input type="checkbox"/> Dec 31, 2020	1,690.96	
<input type="checkbox"/> Jan 31, 2021	1,708.39	
<input type="checkbox"/> Feb 28, 2021	1,725.83	
<input type="checkbox"/> Mar 31, 2021	1,743.26	
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>		

1 13055004002 2020 6

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ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
13055 006 000		3600

R



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32601

UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDO AS**  
AMENDED CONDO BK 3 PG 35 UNIT 6  
AKA PART OF THE COMMON AREA OF  
THE BAIRD CENTER CONDO CB 3 PG  
25 OR 2143/2063 & OR 2318/2856

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LIEVED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	22,648		22,648	178.77
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	22,648		22,648	25.57
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	22,648		22,648	33.97
SCHL DISCRNRY & CN (S01)	0.7480	22,648		22,648	16.94
SCHL GENERAL	3.6670	22,648		22,648	83.05
SCHOOL VOTED (S01)	1.0000	22,648		22,648	22.65
ST JOHNS RIVER WATER MGT DISTR	0.2287	22,648		22,648	5.18
CHILDREN'S TRUST	0.5000	22,648		22,648	11.32
36 CITY OF GAINESVILLE	5.2974	22,648		22,648	119.98
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$497.43

INC

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**PAY ONLINE WITH E-CHECK**

**SCAN TO PAY**

PAY ONLY ONE AMOUNT. (U)

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00	@ 62.26	62.26
360 GAINESVILLE FIRE			42.32
NON-AD VALOREM ASSESSMENTS			\$104.58

**COMBINED TAXES AND ASSESSMENTS** \$602.01

If Paid/Postmarked By Please Pay	Nov 30, 2020	Dec 31, 2020	Jan 31, 2021	Feb 28, 2021	Mar 31, 2021
	577.93	583.95	589.97	595.99	602.01

**JOHN POWER, CFC** REAL ESTATE 2020  
ALACHUA COUNTY TAX COLLECTOR  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 006 000	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT		
IF PAID/POSTMARKED BY		PLEASE PAY
<input type="checkbox"/>	Nov 30, 2020	577.93
<input type="checkbox"/>	Dec 31, 2020	583.95
<input type="checkbox"/>	Jan 31, 2021	589.97
<input type="checkbox"/>	Feb 28, 2021	595.99
<input type="checkbox"/>	Mar 31, 2021	602.01
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>		

1 13055006000 2020 8

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ACCOUNT NUMBER	ESCROW/CD	MILLAGE CODE
13055 007 000		3600

R



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32601

UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDO AS**  
AMENDED CONDO BK 3 PG 35 UNIT 7  
AKA PART OF THE COMMON AREA OF  
THE BAIRD CENTER CONDO CB 3 PG  
25 OR 2143/2063 & OR 2318/2856

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	7.8935	110,594		110,594	872.97
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY GENERAL	1.1289	110,594		110,594	124.85
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP35 PROJECT (S01)	1.5000	110,594		110,594	165.89
SCHL DISCRNRY & CN (S01)	0.7480	110,594		110,594	82.72
SCHL GENERAL	3.6670	110,594		110,594	405.55
SCHOOL VOTED (S01)	1.0000	110,594		110,594	110.59
ST JOHNS RIVER WATER MGT DISTR	0.2287	110,594		110,594	25.29
CHILDREN'S TRUST	0.5000	110,594		110,594	55.30
36 CITY OF GAINESVILLE	5.2974	110,594		110,594	585.86
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$2,429.02

INC

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**PAY ONLINE WITH E-CHECK**

**SCAN TO PAY**

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	UNIT RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00 @ 62.26	62.26
360 GAINESVILLE FIRE		157.51
NON-AD VALOREM ASSESSMENTS		\$219.77

PAY ONLY ONE AMOUNT.

<b>COMBINED TAXES AND ASSESSMENTS</b>	\$2,648.79
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If Paid/Postmarked By Please Pay	Nov 30, 2020 2,542.84	Dec 31, 2020 2,569.33	Jan 31, 2021 2,595.81	Feb 28, 2021 2,622.30	Mar 31, 2021 2,648.79
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**JOHN POWER, CFC**

ALACHUA COUNTY TAX COLLECTOR

REAL ESTATE 2020  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 007 000	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT	
IF PAID/POSTMARKED BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2020	2,542.84
<input type="checkbox"/> Dec 31, 2020	2,569.33
<input type="checkbox"/> Jan 31, 2021	2,595.81
<input type="checkbox"/> Feb 28, 2021	2,622.30
<input type="checkbox"/> Mar 31, 2021	2,648.79
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>	

1 13055007000 2020 7

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ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
13055 008 000		3600

R



**AKIRA WOOD INC**  
619 S MAIN ST  
GAINESVILLE, FL 32601

UNASSIGNED LOCATION RE  
**BAIRD CENTER CONDO AS AMENDED CB**  
3 PG 76 UNIT 8 AKA PART OF  
COMMON AREA OF BAIRD CENTER  
CONDO AMENDED CB 3 PG 35 OR  
3862/0491

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS CNTY GENERAL	7.8935	120,504		120,504	951.20
ALACHUA CNTY LIBRARY DISTRICT LIBRARY GENERAL	1.1289	120,504		120,504	136.04
SCHOOL BOARD OF ALACHUA COUNTY SCHL CAP35 PROJECT (S01)	1.5000	120,504		120,504	180.76
SCHL DISCRNRY & CN (S01)	0.7480	120,504		120,504	90.14
SCHL GENERAL	3.6670	120,504		120,504	441.89
SCHOOL VOTED (S01)	1.0000	120,504		120,504	120.50
ST JOHNS RIVER WATER MGT DISTR	0.2287	120,504		120,504	27.56
CHILDREN'S TRUST	0.5000	120,504		120,504	60.25
36 CITY OF GAINESVILLE	5.2974	120,504		120,504	638.36
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$2,646.70

INC

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**PAY ONLINE WITH E-CHECK**



**SCAN TO PAY**

**PAY ONLY ONE AMOUNT.**

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00	@ 62.26	62.26
360 GAINESVILLE FIRE			470.18
NON-AD VALOREM ASSESSMENTS			\$532.44

**COMBINED TAXES AND ASSESSMENTS** \$3,179.14

If Paid/Postmarked By Please Pay	Nov 30, 2020 3,051.97	Dec 31, 2020 3,083.77	Jan 31, 2021 3,115.56	Feb 28, 2021 3,147.35	Mar 31, 2021 3,179.14
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**JOHN POWER, CFC**

ALACHUA COUNTY TAX COLLECTOR

REAL ESTATE 2020  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 008 000	UNASSIGNED LOCATION RE	

R

AKIRA WOOD INC  
619 S MAIN ST  
GAINESVILLE, FL 32601

AMOUNT DUE - PAY ONLY ONE AMOUNT		
IF PAID/POSTMARKED BY		PLEASE PAY
<input type="checkbox"/>	Nov 30, 2020	3,051.97
<input type="checkbox"/>	Dec 31, 2020	3,083.77
<input type="checkbox"/>	Jan 31, 2021	3,115.56
<input type="checkbox"/>	Feb 28, 2021	3,147.35
<input type="checkbox"/>	Mar 31, 2021	3,179.14
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>		

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RETURN WITH PAYMENT



ACCOUNT NUMBER	ESCROW CD	APPLICABLE VALUES AND EXEMPTIONS BELOW	MILLAGE CODE
13055 000 000			3600

R



**BAIRD CENTER ASSOCIATION INC**

619 S MAIN ST  
GAINESVILLE FL 32601-6778



UNASSIGNED LOCATION RE  
**THE BAIRD CENTER CONDO AS**  
AMENDED CB 3 PG 76 COMMON AREA  
ALSO SEE CB 3 PG 35 & CB 3 PG 25  
(LESS R/W PER OR 2667/483) OR  
2143/2063

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	7.8935	100		100	0.79
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY GENERAL	1.1289	100		100	0.11
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP35 PROJECT (S01)	1.5000	100		100	0.15
SCHL DISCRNRY & CN (S01)	0.7480	100		100	0.07
SCHL GENERAL	3.6670	100		100	0.37
SCHOOL VOTED (S01)	1.0000	100		100	0.10
ST JOHNS RIVER WATER MGT DISTR	0.2287	100		100	0.02
CHILDREN'S TRUST	0.5000	100		100	0.05
36 CITY OF GAINESVILLE	5.2974	100		100	0.53
TOTAL MILLAGE 21.9635 AD VALOREM TAXES					\$2.19

INC

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**PAY ONLINE WITH E-CHECK**



SCAN TO PAY

PAY ONLY ONE AMOUNT. U

**NON-AD VALOREM ASSESSMENTS**

LEVYING AUTHORITY	UNIT RATE	AMOUNT
802 BOCC SOLID WASTE MGMT	1.00 @ 62.26	62.26
NON-AD VALOREM ASSESSMENTS		\$62.26

COMBINED TAXES AND ASSESSMENTS \$64.45

If Paid/Postmarked By Please Pay	Nov 30, 2020	Dec 31, 2020	Jan 31, 2021	Feb 28, 2021	Mar 31, 2021
	61.87	62.52	63.16	63.81	64.45

**JOHN POWER, CFC**

ALACHUA COUNTY TAX COLLECTOR

REAL ESTATE

2020

**NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS**

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 44310, JACKSONVILLE, FL 32231-4310

ACCOUNT NUMBER	SITUS	MESSAGE
13055 000 000	UNASSIGNED LOCATION RE	

R

BAIRD CENTER ASSOCIATION INC  
619 S MAIN ST  
GAINESVILLE FL 32601-6778

AMOUNT DUE - PAY ONLY ONE AMOUNT	
IF PAID/POSTMARKED BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2020	61.87
<input type="checkbox"/> Dec 31, 2020	62.52
<input type="checkbox"/> Jan 31, 2021	63.16
<input type="checkbox"/> Feb 28, 2021	63.81
<input type="checkbox"/> Mar 31, 2021	64.45
PAY ONLINE @ <a href="http://www.AlachuaCollector.com">www.AlachuaCollector.com</a>	

1 13055000000 2020 4

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# SALTER, FEIBER, MURPHY, HUTSON & MENET, P.A.

## ATTORNEYS AT LAW

JAMES G. FEIBER, JR.\*  
DENISE LOWRY HUTSON  
DAVID E. MENET  
MELISSA JAY MURPHY  
JAMES D. SALTER  
KRISTINE J. VAN VORST

\*CERTIFIED CIVIL MEDIATOR

3940 NW 16<sup>TH</sup> BLVD, BLDG. B  
GAINESVILLE, FLORIDA 32605

POST OFFICE BOX 357399  
GAINESVILLE, FLORIDA 32635-7399  
352.376.8201  
FAX 352.376.7996

February 8, 2007

WWW.SALTERLAW.NET

Mr. Glenn Shitama  
Akira Wood, Inc.  
P.O. Box 321  
Gainesville, FL 32602

RE: The Baird Center, a Condominium  
Our File No.: 06-2000.4

Dear Mr. Shitama:

Enclosed please find the following documents on the above referenced matter:

1. Original Second Amendment to Declaration of Condominium of The Baird Center, a Condominium recorded in Official Records Book 3531, Page 1468 of the Public Records of Alachua County, Florida and
2. Original Second Resolution of Amendment To Bylaws, The Baird Center Association, Inc. recorded in Official Records Book 3531, Page 1472 of the Public Records of Alachua County, Florida.

You should keep these documents in a safe place for future reference.

If you should have any questions, please do not hesitate to call.

Sincerely yours,  
SALTER, FEIBER, MURPHY,  
HUTSON & MENET, P.A.



M. Susan Fulford  
Legal Assistant to Ms. Murphy

/msf  
Enclosure

## **The Baird Center Condominium Amendment Procedure Summary**

### **Declaration of Condominium**

The Amendment to the Declaration was created to use the procedure outlined in § 16.3. Therefore neither a members meeting, nor a directors meeting is required to adopt the amendment. The only requirements are that the amendment be signed and acknowledged by all unit owners and that a certificate shall be attached to the amendment.

16.1 **Board of Directors and Unit Owners.** A resolution for the adoption of a proposed amendment may be proposed by the board of directors of the Association or by the Unit Owners.

a. Unit Owners may propose such an amendment by instrument in writing directed to the president or secretary of the board signed by not less than holders of thirty-three percent (33%) of all of the votes of the Association.

b. Amendments may be proposed by the board of directors by action of a majority of the board at any regularly constituted meeting thereof.

Upon an amendment being proposed as herein provided, the president or, in the event of his refusal or failure to act, the board of directors, shall call a meeting of the Unit Owners to be held not sooner than fifteen (15) days nor later than sixty (60) days thereafter for the purpose of considering said amendment. A copy of the proposed amendment shall be included in the notice of the meeting. Amendments must be approved by not less than seventy-five percent (75%) of the votes of the Association.

16.2 **Execution and Recording.** Each amendment shall be attached to or shall contain a certificate certifying that the amendment was duly adopted, and the certificate shall be executed by the president of the Association and attested by the secretary with the formalities of a deed, and said amendment shall be effective upon recordation of the amendment and certificate in the Public Records of Alachua County, Florida.

16.3 **Written Agreement.** An amendment may be adopted without following the procedures outlined in paragraphs A and B above if said amendment is approved by in writing by an agreement signed and acknowledged by all Unit Owners in the manner required for the execution of a deed.

16.4 **Notice to Mortgagees.** Any Mortgagee, upon written request to the Association (such request to state the name and address of such Mortgagee and the Unit number at issue), will be entitled to timely written notice of any proposed amendment to this Declaration affecting a change in the boundaries of any Unit or the exclusive easement rights appertaining thereto, the interest in the Common Elements or Limited Common Elements appertaining to any Unit or the liability for Common Expenses appertaining thereto, the number of votes in the Association appertaining to any Unit or the purposes to which any Unit or the Common Elements are restricted.

### **Bylaws**

The Amendment to the Bylaws must follow the procedure outlined in Article VIII of the Bylaws included below.

#### **VIII. AMENDMENTS**

Amendments to the Bylaws shall be proposed and adopted in the following manner:

1. Notice of the subject matter of a proposed amendment shall be included in the notice of any meeting at which a proposed amendment is considered.
2. An amendment may be proposed by either the board of directors or by the membership of the Association. Except as otherwise provided herein, a resolution adopting a proposed amendment must receive approval of not less than two-thirds (2/3rds) of all the directors, and by not less than a three-fourths (3/4ths) vote of the members of the Association at a duly called meeting of the Association. Directors and members not present at the meeting considering the amendment may express their approval in writing within ten (10) days after such meeting.
3. An amendment when adopted shall become effective only after being recorded in the Public Records of Alachua County, Florida.
4. No bylaw shall be revised or amendment by reference to its title or number only. Proposals to amend existing bylaws shall contain the full text of the bylaws to be amended; new words shall be inserted in the text underlined, and words to be deleted shall be lined through the hyphens. However, if the proposed change is so extensive that this procedure would hinder rather than assist the understanding of the proposed amendment, it is not necessary to use underlining and hyphens as indicators of words added or deleted, but, instead, a notation must be inserted immediately preceding the proposed amendment in substantially the following language "Substantial rewording of Bylaw.... for present text." Nonmaterial errors or omissions in the bylaw amendment process shall not invalidate an otherwise properly promulgated amendment.
5. Any amendment to these Bylaws shall be in accord with the terms and provisions of the Declaration which sets forth certain additional voting and approval requirements with respect to certain types of amendments.



Prepared by:  
Melissa Jay Murphy, Esq.  
Salter, Feiber, Murphy,  
Hutson, & Menet, P.A.  
P.O. Box 357399  
Gainesville, Florida 32635

---

**SECOND AMENDMENT TO DECLARATION OF CONDOMINIUM OF  
THE BAIRD CENTER, A CONDOMINIUM**

THIS AMENDMENT is made and entered into this \_\_\_\_\_ day of July, 2006 by **KKT Rentals, Inc.**, a Florida corporation and **Akira Wood, Inc.**, a Florida corporation, ("UNIT OWNERS").

**WITNESSETH:**

WHEREAS, on December 5, 1997, the UNIT OWNERS, as the fee simple owners of the condominium property, executed the Declaration of Condominium of The Baird Center, A Condominium ("Declaration"), recorded December 8, 1997 in O.R. Book 2143, Page 2069, Public Records of Alachua County Florida;

WHEREAS, on February 17, 2003, the UNIT OWNERS, as the fee simple owners of the condominium property, executed an Amendment to the Declaration of Condominium of The Baird Center, A Condominium ("First Amendment"), recorded February 28, 2003 in O.R. Book 2615, Page 290, Public Records of Alachua County, Florida;

WHEREAS, pursuant to Declaration Article XVI, Amendments, Section 16.3, Written Agreements, the Declaration may be amended by a written agreement signed and acknowledged by all unit owners in the manner required for execution of a deed;

WHEREAS, the undersigned UNIT OWNERS comprise all of the unit owners for the Condominium and desire to further amend the Declaration to divide Unit 1 into two units and divide Unit 4 into two units;

NOW THEREFORE, the UNIT OWNERS hereby agree to amend the Declaration as follows:

- (1) Recitals. The UNIT OWNERS agree the above recitals are true and correct and incorporate same herein by reference.
- (2) Article III, Exhibits, Section 3.1, Exhibit "A". The survey attached to this instrument as Exhibit "A" supplants the survey attached to the First Amendment as Exhibit "A".

Copies of the survey attached to this instrument are also recorded in Condominium Book \_\_\_\_\_, Page \_\_\_\_\_, of the Public Records of Alachua County, Florida.

- (3) Article VI, Appurtenances, Section 6.1, Appurtenant Interests. Said section is amended as follows:

6.1 Appurtenant Interests. Appurtenant to each Unit in the Condominium shall be an undivided ownership interest in the Common Elements, as well as an undivided share of the Common Expenses and Common Surplus as follows:

<u>Unit</u>	<u>% interest in Common Elements and % share of Common Expenses</u>
1	6/40
<u>1A</u>	<u>2/40</u>
<u>1B</u>	<u>4/40</u>
2	15/40
3	6/40
4	3/40
<u>4A</u>	<u>1/40</u>
<u>4B</u>	<u>2/40</u>
5	1/40
6	1/40
7	3/40
8	5/40

- (4) By execution of this instrument, the UNIT OWNERS reaffirm all of the provisions of the Declaration previously recorded and any amendments thereto, and by this reference, said provisions are made a part thereof.



IN WITNESS WHEREOF, the UNIT OWNERS have executed this Amendment on the day and year written above.

Witnesses:

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

KKT RENTALS, INC.  
a Florida corporation

By: Kinnon Thomas  
Kinnon Thomas, President

Unit Numbers: 1B, 4A, 5

AKIRA WOOD, INC.  
a Florida corporation

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

By: Glenn A. Shitama  
Glenn A. Shitama, President

Unit Numbers: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 15 day of December, 2006, by, Kinnon Thomas, President of KKT RENTALS, INC., a Florida corporation, on behalf of said corporation, and by Glenn A. Shitama, President of AKIRA WOOD, INC., a Florida corporation, on behalf of said corporation, who are ☒ personally known to me or ☐ who have produced \_\_\_\_\_ as identification.

(NOTARY SEAL)

Gale C. Clark

Printed Name: \_\_\_\_\_  
Commission No. \_\_\_\_\_



Prepared by:  
Melissa Jay Murphy, Esq.  
Salter, Feiber, Murphy,  
Hutson, & Menet, P.A.  
P.O. Box 357399  
Gainesville, Florida 32635

---

**RESOLUTION OF THE BOARD OF DIRECTORS OF  
THE BAIRD CENTER ASSOCIATION, INC.  
Regarding Second Amendment To Declaration Of Condominium**

We **Kinnon Thomas** and **Celeste A. Shitama**, President and Secretary, respectively, of the Baird Center Association, Inc. ("Association"), do hereby certify that the following is a true and correct copy of the Resolution duly adopted by the Unit Owners of the Association pursuant to § 16.3 of the Declaration of Condominium of The Baird Center Condominium.

BE IT RESOLVED, that the Second Amendment to Declaration of Condominium Of The Baird Center, A Condominium, which Amendment was recorded at O.R. Book \_\_\_\_\_, Page \_\_\_\_\_, Public Records of Alachua County, Florida has been approved in writing by an agreement signed and acknowledged by all Unit Owners in the manner required for the execution of a deed.

WE FURTHER CERTIFY that the above Board of Director's Resolution was duly and regularly enacted at a regular meeting of the Board of Directors called for that purpose and held in accordance with the Bylaws of the Association and the statutes of the State of Florida; that the directors of the Association have full power and authority to bind the Association pursuant thereto; that the Resolution is in full force and effect and has not been altered, modified or rescinded.

In witness whereof, we have affixed our names as President and Secretary, respectively, of this corporation and have affixed the corporate seal of the corporation on \_\_\_\_\_, 2006.

Signed, sealed and delivered  
In our presence as witnesses:

*Gale Clark*  
Print GALE CLARK

*Julie Howard*  
Print JULIE HOWARD

*Gale Clark*  
Print GALE CLARK

*Julie Howard*  
Print JULIE HOWARD

The Baird Center Association, Inc.  
a Florida not for profit corporation

By: *Kinnon Thomas*  
Kinnon Thomas, President

By: *Celeste A. Shitama*  
Celeste A. Shitama, Secretary

{SEAL}



STATE OF FLORIDA  
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 15 day of December, 2006 by **Kinnon Thomas**, President of the Baird Center Association, Inc., a Florida not for profit corporation, on behalf of said corporation and by **Celeste A. Shitama**, Secretary of The Baird Center Association, Inc., a Florida not for profit corporation, on behalf of said corporation they are ☒ personally known to me or ☐ have produced \_\_\_\_\_ as identification.

Gale C. Clark

(NOTARY SEAL)

Printed Name: \_\_\_\_\_  
Commission No. \_\_\_\_\_



Prepared by:  
Melissa Jay Murphy, Esq.  
Salter, Feiber, Murphy,  
Hutson, & Menet, P.A.  
P.O. Box 357399  
Gainesville, Florida 32635

---

**SECOND RESOLUTION OF AMENDMENT TO BYLAWS  
THE BAIRD CENTER ASSOCIATION, INC.  
A Florida not for profit corporation**

THIS RESOLUTION is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2006 by the Board of Directors of The Baird Center Association, Inc. ("Association").

**W I T N E S S E T H:**

WHEREAS, the Declaration of Condominium of The Baird Center, A Condominium ("Declaration") was executed December 5, 1997 and recorded December 8, 1997 in O.R. Book 2143, Page 2069, Public Records of Alachua County Florida;

WHEREAS, the Bylaws of The Baird Center Association, Inc., a Florida not for profit corporation ("Bylaws"), was attached to the Declaration as Exhibit "C";

WHEREAS, the Resolution of Amendment to Bylaws, The Baird Center Association, Inc., a Florida not for profit corporation, was executed on February 17, 2003 and recorded February 28, 2003 at O.R. Book 2615, Page 296, Public Records of Alachua County Florida as an amendment to the Bylaws;

WHEREAS, pursuant to Bylaws Article VIII, Amendments, Section 2, the Board of Directors can propose amendments to the Bylaws. Resolutions adopting any proposed amendment must receive approval of not less than two-thirds (2/3) of all directors, and by not less than a three-fourths (3/4) vote of the members of the Association at a duly called meeting;

WHEREAS, the Unit Owners desire to further amend the Bylaws;

NOW THEREFORE, the undersigned, Kinnon Thomas and Celeste A. Shitama, President and Secretary, respectively, of the Association, do hereby certify as follows:

- (1) Meeting. At a duly called members' meeting held on \_\_\_\_\_, 2006, at which all members were present, all of the members voted to adopt the following Resolution amending the Bylaws. At a duly called meeting of the Board of Directors held on \_\_\_\_\_, 2006, at which all directors were present, all of the directors voted to adopt the following Resolution.
- (2) Resolution. At the above meeting, the Board of Directors proposed amendments to the Bylaws. The following is a true and correct copy of the Resolution adopting the proposed amendments approved by the members and the Board of Directors:



BE IT RESOLVED, that the Bylaws of the Baird Center Association, Inc. a Florida not for profit corporation, are amended as follows:

## II. MEMBERS MEETINGS

5. Each unit shall be entitled to the votes set forth below. Votes for Units owned by more than one person or by a corporation or other entity shall be cast by the voting representative for the Unit as named in a voting certificate signed by all of the Owners of that Unit and filed with the secretary of the Association. Each voting certificate shall be valid until revoked by a subsequent voting certificate.

The votes assigned to each unit are as follows:

<u>Unit</u>	<u>No. Of Votes</u>
4	6
<u>1A</u>	<u>2</u>
<u>1B</u>	<u>4</u>
2	15
3	6
-4	3
<u>4A</u>	<u>1</u>
<u>4B</u>	<u>2</u>
5	1
6	1
7	3
8	5
Total	40

The undersigned further certify that the meetings of the members and the Board of Directors were called for the purpose of voting on the Resolution and said meetings were held in accordance with the Bylaws of the Association and the statutes of the State of Florida; that the directors of the Association have full power and authority to bind the Association pursuant thereto; that the Resolution is in full force and effect and has not been altered, modified or rescinded.

IN WITNESS WHEREOF, we have affixed our names as President and Secretary, respectively, of this corporation and have affixed the corporate seal of the corporation on the date first written.

Witnesses:

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

The Baird Center Association, Inc.  
a Florida not for profit corporation

By: Kinnon Thomas  
Kinnon Thomas, President

By: Celeste A. Shitama  
Celeste A. Shitama, Secretary

{SEAL}

STATE OF FLORIDA  
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 15 day of December, 2006, by, Kinnon Thomas, President of The Baird Center Association Inc., a Florida not for profit corporation, on behalf of said corporation, and by Celeste A. Shitama, Secretary of The Baird Center Association, Inc., a Florida not for profit corporation, on behalf of said corporation, who are ☐ personally known to me or ☐ who have produced \_\_\_\_\_ as identification.

Gale C. Clark  
Printed Name: \_\_\_\_\_  
Commission No. \_\_\_\_\_

(NOTARY SEAL)







## Parcel Summary

Parcel ID 13055-000-000  
Prop ID 86740  
Location Address 619 S MAIN ST  
GAINESVILLE, FL 32601  
Neighborhood/Area DWNTWN MAIN & UNIVERSITY (145405.50)  
Subdivision  
Brief Legal Description\* THE BAIRD CENTER CONDO AS AMENDED CB 3 PG 76 COMMON AREA ALSO SEE CB 3 PG 35 & CB 3 PG 25 (LESS R/W PER OR 2667/483) OR 2143/2063  
(Note: \*The Description above is not to be used on legal documents.)  
Property Use Code MISC. RESIDENCE (00700)  
Sec/Twp/Rng 05-10-20  
Tax District GAINESVILLE (District 1010)  
Millage Rate 21.9635  
Acreage 2.150  
Homestead N

\*See attached agreement  
& tax bills.

[View Map](#)

## Owner Information

BAIRD CENTER ASSOCIATION INC  
619 S MAIN ST  
GAINESVILLE, FL 32601-6778

- owned by Akira Wood Inc /  
Glenn Shitama

## Valuation

	2020 Certified Values	2019 Certified Values	2018 Certified Values	2017 Certified Values	2016 Certified Values
Improvement Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$100	\$100	\$100	\$100	\$100
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$100	\$100	\$100	\$100	\$100
Assessed Value	\$100	\$100	\$100	\$100	\$100
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$100	\$100	\$100	\$100	\$100
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

## TRIM Notice

2020 TRIM Notice (PDF)

## Land Information

Land Use	Land Use Desc	Acres	Square Feet	Eff. Frontage	Depth	Zoning
0900	COMMON AREA	0.00	1	0	0	

## Building Information

Type	SOH MISC	Heat	
Total Area	613	HC&V	
Heated Area		HVAC	
Exterior Walls		Bathrooms	
Interior Walls		Bedrooms	
Roofing		Total Rooms	
Roof Type		Stories	1.0
Frame		Actual Year Built	0
Floor Cover		Effective Year Built	2000

## Sub Area

Type	Description	Sq. Footage	Year	Quality	Imprv Use	Imprv Use Descr	Value
1680	PAVING 1	1	2000		R1	RES	\$1
2021	SHED 1	612	1935		R2	RES	\$734

## Sales

Sale Date	Sale Price	Instrument	Book	Page	Qualified	Vacant/Improved	Grantor	Grantee	Link to Official Records
4/24/2003	\$100	QD	2652	566	U- UNQUALIFIED	Improved	UNIVERSITY OF FLORIDA INC CLEA	BAIRD CENTER ASSOCIATION INC	<a href="#">Link (Clerk)</a>
12/5/1997	\$630,000	MS	2143	2063	U- UNQUALIFIED	Improved	AKIRA & ASSOCIATES LTD	UNIVERSITY OF FLORIDA INC CLEA	<a href="#">Link (Clerk)</a>
9/1/1981	\$354,400	WD	1375	804	Q- QUALIFIED	Improved	UNIVERSITY OF FLORIDA FOUNDATI	AKIRA & ASSOCIATES LTD	<a href="#">Link (Clerk)</a>

Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

## Permits

Permit Number	Type	Primary	Active	Issue Date	Value
19-02812	MECHANICAL	Yes	No	5/1/2019	\$0
02 01909	COMM BUILDING PERMIT	Yes	No	4/18/2002	\$2,000
02-00978	COMM BUILDING PERMIT	Yes	No	3/5/2002	\$86,000
02-00983	COMM REMODEL PERMIT	Yes	No	3/4/2002	\$8,000
02-00983	COMM REMODEL PERMIT	Yes	No	3/4/2002	\$8,000
2002906	DEMOLITION PERMIT	Yes	No	2/25/2002	\$0

Our permitting information is pulled from the Alachua County Permitting Offices. Permitting information shown here is all the Property Appraiser has on file for this property. Any detailed questions about permits should be directed to the Permitting Offices.

## Map



No data available for the following modules: Extra Features, Sketches, Photos.

This web application and the data herein is prepared for the inventory of real property found within Alachua County and is compiled from recorded deeds, plats, and other public records and data. Users of this web application and the data herein are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information. Alachua County Property Appraiser's Office assumes no legal responsibility for the information contained herein.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Last Data Upload: 3/17/2021, 5:19:57 AM

Version 2.3.112

Developed by  
 **Schneider**  
 GEOSPATIAL





Akira Wood, Inc.  
619 South Main Street  
Gainesville, Florida 32601  
Telephone: 352 375 0691  
Facsimile: 352 375 6688

**BID FORM**  
FOR  
FAÇADE CONSTRUCTION  
FOR  
AKIRA WOOD, INC.  
BAIRD CENTER AT DEPOT & MAIN  
619 SOUTH MAIN STREET  
GAINESVILLE, FLORIDA 32601  
17 MARCH 2021  
12 APRIL 2021

Name of Bidder: AKIRA WOOD, LLC

Contact Name and Phone: HOCH SHITANA 352.258.1771  
352-375-0691

The undersigned bidder hereby acknowledges receipt of bid documents including site plan, detailed drawings, narrative, photos and other specifications dated 3/4/21. In addition bidder acknowledges that bidder has visited the site and examined the site conditions.

The stipulated sum including all materials, labor, taxes, insurances, permits and fees is:

\$ 325,000<sup>00</sup>

ADDITIVE ALTERNATE #1: \$ 46,100<sup>00</sup>

ADDITIVE ALTERNATE #2: \$ 19,800<sup>00</sup>

DEDUCTIVE ALTERNATE #3: \$ 595,000<sup>00</sup>

Payment and Performance Bond is not required.

Akira Wood Total \$295,900.00

Bidder hereby acknowledges receipt of the following Revision (please fill in date if applicable):

Revision 1: 3/16/21

Revision 2: 4/12/21

Signature: [Signature]

Name and Title: HOCH SHITANA, PRINCIPAL/CEO

Date: 4/15/21



Akira Wood, Inc.  
619 South Main Street  
Gainesville, Florida 32601  
Telephone: 352 375 0691  
Facsimile: 352 375 6688

**BID FORM**  
FOR  
FAÇADE CONSTRUCTION  
FOR  
AKIRA WOOD, INC.  
BAIRD CENTER AT DEPOT & MAIN  
619 SOUTH MAIN STREET  
GAINESVILLE, FLORIDA 32601  
17 MARCH 2021  
12 APRIL 2021

Name of Bidder: JOYNER CONSTRUCTION PARTNERS, LLC  
Contact Name and Phone: RICHARD WAGNER (0) 352-332-8171

The undersigned bidder hereby acknowledges receipt of bid documents including site plan, detailed drawings, narrative, photos and other specifications dated 3/4/21. In addition bidder acknowledges that bidder has visited the site and examined the site conditions.

The stipulated sum including all materials, labor, taxes, insurances, permits and fees is:

\$ 359,856<sup>00</sup>

ADDITIVE ALTERNATE #1: \$ 52,230<sup>00</sup>

ADDITIVE ALTERNATE #2: \$ 24,200<sup>00</sup>

DEDUCTIVE ALTERNATE #3: \$ 119,000<sup>00</sup>

Payment and Performance Bond is not required.

Joyner Construction total \$317,286.00

Bidder hereby acknowledges receipt of the following Revision (please fill in date if applicable):

Revision 1: 3/16/21

Revision 2: 4/12/21

Signature: 

Name and Title: RICHARD E. WAGNER, MANAGING PARTNER

Date: 4-15-21





Akira Wood, Inc.  
619 South Main Street  
Gainesville, Florida 32601  
Telephone: 352 375 0691  
Facsimile: 352 375 6688

**BID FORM**  
FOR  
FAÇADE CONSTRUCTION  
FOR  
AKIRA WOOD, INC.  
BAIRD CENTER AT DEPOT & MAIN  
619 SOUTH MAIN STREET  
GAINESVILLE, FLORIDA 32601  
17 MARCH 2021  
12 APRIL 2021

Name of Bidder: Green Building Corp. LLC

Contact Name and Phone: Chris Filler (352) 871-7707

The undersigned bidder hereby acknowledges receipt of bid documents including site plan, detailed drawings, narrative, photos and other specifications dated 3/4/21. In addition bidder acknowledges that bidder has visited the site and examined the site conditions.

The stipulated sum including all materials, labor, taxes, insurances, permits and fees is:

\$ 378,459.61

ADDITIVE ALTERNATE #1: \$ 59,520.21

ADDITIVE ALTERNATE #2: \$ 25,223.14

DEDUCTIVE ALTERNATE #3: \$ 113,978.21

Payment and Performance Bond is not required.

Green Building Total \$349,224.75

Bidder hereby acknowledges receipt of the following Revision (please fill in date if applicable):

Revision 1: 3/16/21

Revision 2: 4/12/21

Signature: 

Name and Title: Chris Filler, President

Date: 04/14/21

## BID NARRATIVE AND SPECIFICATIONS

FOR

GCRA BUILDING IMPROVEMENT CONSTRUCTION

FOR

AKIRA WOOD, INC.

BAIRD CENTER AT DEPOT &amp; MAIN

619 SOUTH MAIN STREET

GAINESVILLE, FLORIDA 32601

4 MARCH 2021

Revision 1 dated 16 March 2021

Revision 2 dated 12 April 2021

### GENERAL CONDITIONS

- Bidder must examine and familiarize self with all site conditions
- Provide permit from City of Gainesville
- Provide a Project Manager and Superintendent for the project
- Provide Certificate of Insurance with a minimum General Liability of \$1,000,000 per occurrence and \$2,000,000 aggregate
- Provide COI for Workers Compensation insurance for all trades
- Provide all sales and use taxes on materials

### SITE WORK

- All work in this project occurs at the facades facing South Main Street and Depot Avenue
- The following is included:
- Landscaping of Depot Avenue entrance
  - Landscaping of Main Street fence line between the two entrances
  - Provide an allowance of \$3,000 for all landscaping not including tree work.
  - Remove three trees along Main Street.
  - Prune limbs on remaining trees to raise canopy
  - Prune tree east of Depot Avenue entrance
- Provide and install signs at all entrances at Main Street and Depot Avenue and provide electrical power to signs and walls requiring signs. Please see signage descriptive below.
- Clean and paint existing concrete and stucco walls facing Main Street. Prepare for signage. Use premium exterior acrylic paint and primer
- Clean and paint existing brick walls of historic Baird Hardware Warehouse facing South Main and Depot.
- Repair or replace all windows facing Main and Depot. Re-glaze windows as necessary. Caulk all openings with silicone acrylic caulk.
- Remove and replace all existing storefront doors facing Main and Depot. See sheet A-1 for drawing and specifications.
  - Door slabs to be purchased from EF San Juan.



- Door slabs to be finished and glazed by Akira Wood, LLC
- Door jambs, panels and trim to be furnished and finished by Akira Wood, LLC.
- All material shall be select grade Old Growth Sinker Cypress
- Removal and Installation of all elements of opening by this contractor.
- All hardware by this contractor
- Remove and replace existing wood decking at Main and Depot facades with grooved Goncalo Alves (Tigerwood) decking. See decking specifications below.
- Repair existing structure where required with Pressure Treated #2 SYP.
- Provide new Tigerwood fascia trim at existing wood decking.
- Remove and replace five (5) sets of existing wooden stairs and railings with Ipe structure and Tigerwood decking and trim. See decking specs.
- Provide new 6" gutter and chained downspouts at eaves of roofline facing Main and Depot.

## **SIGNAGE**

### **Historic Baird Hardware Main Street Entrance**

- Entry wall shall be lit from above. Power shall be provided at each side by electrician.
- Flanking walls to the North and South will have additional address numbers in 8" raised (1/2") bronzed (powder coated) aluminum.
- Depot & Main logo will be placed above "Baird Hardware Co. Est 1890" and be minimum 12" raised (1/2") bronzed (powder coated) aluminum.
- Akira Wood logo shall be 8" raised (1/2") bronzed (powder coated) aluminum
- Above each curved section of wall shall be digital rolling marquee facing to southwest and northwest. Please carry an allowance of \$2,000 for each.
- Above each buttress at these walls shall be a two sided 30" round light box sign mounted to the structure with additional steel powder coated post with one 20A 120V circuit each side of wall.

### **Main Street South Entrance**

- One each two sided Depot & Main logo sign facing south and north on north side of entry gate. Sign to have steel posts and frame. Power to be provided from southwest corner of main building. Local procurement required.

### **Southwest Corner facing Depot Avenue Roundabout**

- Single sided Depot & Main logo at top of two wrought iron stanchions 6-7' apart with tenant signs below. Sign stanchions will be on 14" sonotube on 24"x24"x10" concrete footings. Total sign height will be 18'. Each sign will be illuminated individually. Power to come from new service at south fence line. This will require a 100A single phase MCP.

**Depot Avenue Entrance**

- Two each one sided Depot & Main logo signs on either side of entry. One shall face southwest and the other southeast. Signs will be on 2 ½" square steel powder coated tubing for posts and frame on concrete footing.
- Signs will be illuminated. Power will come from above 100A panel.

**DECKING SPECIFICATIONS**

- The new deck shall match the existing courtyard deck.
  - Remove and dispose of old PT decking.
  - Use old decking to shore up structure where necessary.
  - Use new PT structural elements where required
- All decking shall be select 5/4x6 Goncalo Alves (Tigerwood) S4S/E4E (surfaced 4 sides/eased 4 edges) milled to 1" x 5 ½" and grooved for Ipe Clip Extreme 4 concealed fasteners with #7 x 2 ¼" 304 stainless steel screws. Screws shall be exposed only where they cannot be reasonably concealed.
- Decking shall be prefinished with Watco Teak Oil on all sides.
- All cut ends and notches shall be finished with Ipe Clip end grain sealer prior to installation.

**ELECTRICAL REQUIREMENTS**

- Provide electrical power to all signs above.
  - All exterior boxes to be weather proof.
  - Run all power in conduit either EMT or PVC.
  - All exposed runs shall be level and plumb.
  - Add one quad GFCI convenience outlet at all sign locations.
- Provide one each 100A 120/208V panel at Depot Avenue fence line.
- All other power to be provided from existing panels



**REVISION 1 DATED 3/16/21**

**THE FOLLOWING WORK IS TO BE INCLUDED AS ADDITIVE ALTERNATE #1 OF THE PROPOSAL**

**Humble Wood Fire Entry Doors at North and West Wall of Historic Building (visible from Main Street)**

- Remove and replace existing storefront at North entrance to warehouse (Humble Wood Fire Unit 1B North) visible from Main Street.
  - Remove brick infill and provide new #1 Dense SYP bucks at new opening.
  - Door slabs to be purchased from EF San Juan OR Akira Wood LLC
  - Door slabs to be finished and glazed by Akira Wood, LLC
  - Door jambs, panels and trim to be furnished and finished by Akira Wood, LLC.
  - All material shall be select grade Old Growth Sinker Cypress
  - Removal and Installation of all elements of opening by this contractor
  - All hardware by this contractor
- Remove existing sliding door at West entry and replace with Door Type 1 storefront per elevation A/A1
  - Comply with above notes

**Humble Wood Fire Entry at North Wall of Historic Building (visible from Main Street)**

- Clean and strip existing paint from brick wall
- Apply two coats of masonry sealer to exposed brick
- Two sided Neon Humble Wood Fire sign approximately 5' wide x 3' tall facing east and west above awning. Allow \$5,785 inclusive of shipping and exclusive of sales tax from Top Line Sign Co. Power to be provided from inside Humble tenant space. All installation by this contractor.
- Provide and install awning above storefront at North entrance to warehouse (Humble) visible from Main Street. Awning shall be equal to 96" x 30" Copper suspension Awning by classiccopper.com.

**THE FOLLOWING WORK IS TO BE INCLUDED AS ADDITIVE ALTERNATE #2 OF THE PROPOSAL**

**Bingo Deli Entry Doors at West Wall of Historic Building (visible from Main Street)**

- Remove and replace existing storefront at West entrance to Unit 1A (Bingo Deli) visible from Main Street.
  - Remove brick infill and provide new #1 Dense SYP bucks at new opening.
  - Door slabs to be purchased from EF San Juan OR Akira Wood LLC
  - Door slabs to be finished and glazed by Akira Wood, LLC
  - Door jambs, panels and trim to be furnished and finished by Akira Wood, LLC.
  - All material shall be select grade Old Growth Sinker Cypress
  - Removal and Installation of all elements of opening by this contractor
  - All hardware by this contractor

**Bingo Deli Main Street**

- Single sided neon Bingo Deli sign approximately 3'x 3' facing west and mounted to the west wall of main building outside of Bingo storefront. Allow \$4,650 inclusive of shipping and exclusive of sales tax from Top Line Sign Co. Power to be provided from inside Bingo tenant space. All installation by this contractor
- 

**REVISION 2 DATED 4/12/21****THE FOLLOWING WORK IS TO BE OFFERED AS A DEDUCTIVE ALTERNATE #3 OF THE PROPOSAL.****All decking work on the West and South Facades shall be deleted from the Base Bid**

- Remove and replace existing wood decking at Main and Depot facades with grooved Goncalo Alves (Tigerwood) decking. See decking specifications below.
- Repair existing structure where required with Pressure Treated #2 SYP.
- Provide new Tigerwood fascia trim at existing wood decking.
- Remove and replace five (5) sets of existing wooden stairs and railings with Ipe structure and Tigerwood decking and trim. See decking specs.

**DECKING SPECIFICATIONS**

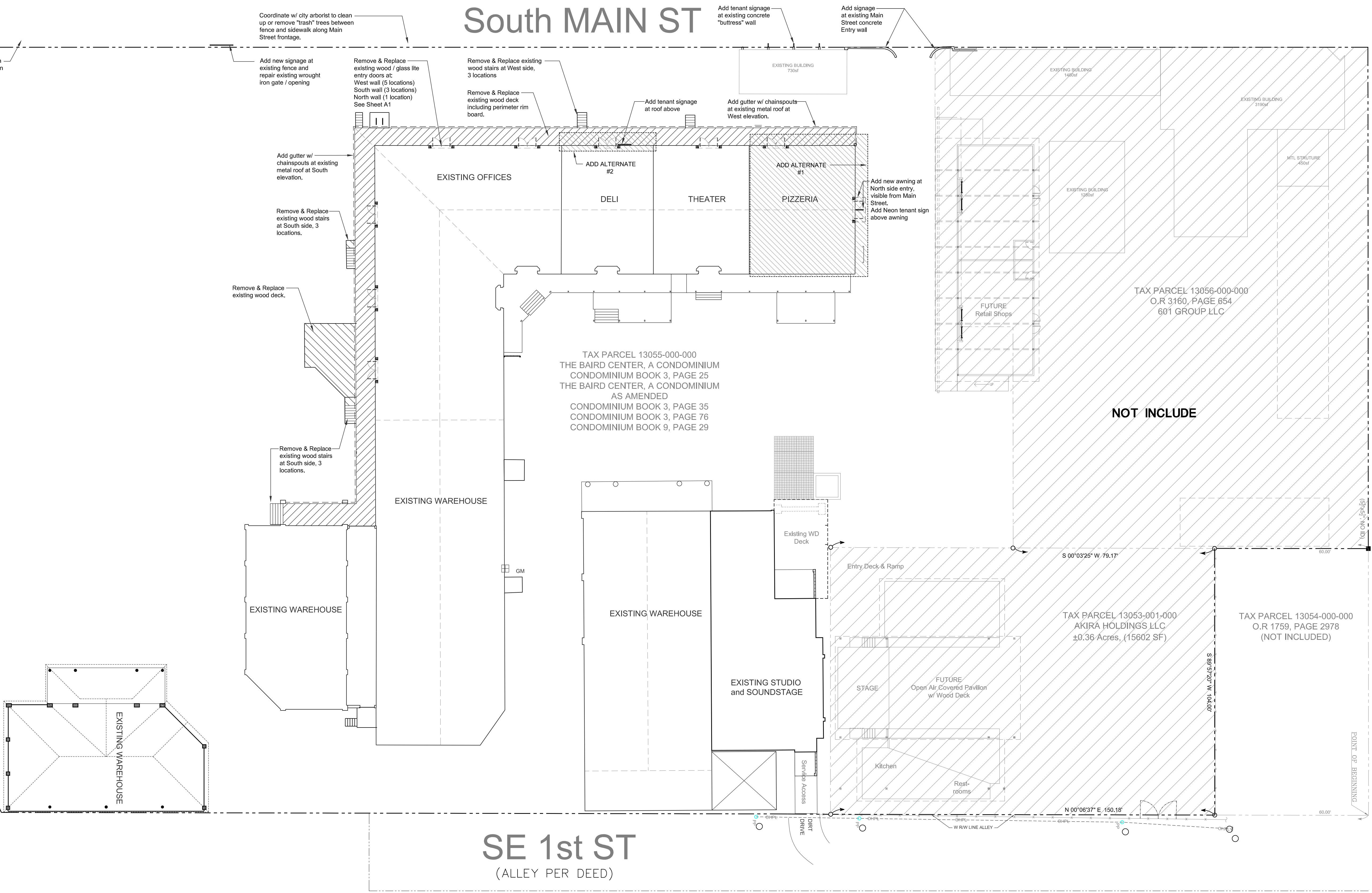
- The new deck shall match the existing courtyard deck.
    - Remove and dispose of old PT decking.
    - Use old decking to shore up structure where necessary.
    - Use new PT structural elements where required
  - All decking shall be select 5/4x6 Goncalo Alves (Tigerwood) S4S/E4E (surfaced 4 sides/eased 4 edges) milled to 1" x 5 1/2" and grooved for Ipe Clip Extreme 4 concealed fasteners with #7 x 2 1/4" 304 stainless steel screws. Screws shall be exposed only where they cannot be reasonably concealed.
  - Decking shall be prefinished with Watco Teak Oil on all sides.
  - All cut ends and notches shall be finished with Ipe Clip end grain sealer prior to installation.
-

South MAIN ST

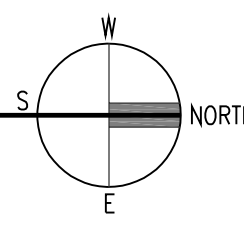
Depot AVE

SE 6th AVE

SE 1st ST  
(ALLEY PER DEED)



**A SITE** SITE PLAN  
SCALE: 1" = 20'



明Akira

Akira Wood, LLC  
619 SOUTH MAIN STREET - GAINESVILLE, FL 32601  
TELEPHONE: 352.375.0691 FACSIMILE: 352.375.6688

REVISIONS

1	-
2	-
3	-
4	-
5	-
6	-
7	-

Submittal Number  
----

DEPOT & MAIN  
HISTORIC BAIRD CENTER  
619 SOUTH MAIN STREET  
GAINESVILLE, FL 32601

SHEET TITLE  
SITE PLAN  
.  
.  
.

Project Number  
65660

Date Completed  
03/04/21

Drawn By  
SDS

Checked By  
SDS

SITE  
OF  
12



REVISIONS

1	-
2	-
3	-
4	-
5	-
6	-
7	-

Submittal Number

DEPOT & MAIN  
HISTORIC BAIRD CENTER  
619 SOUTH MAIN STREET  
GAINESVILLE, FL 32601

SHEET TITLE

EXTERIOR DOOR  
ELEVATIONS  
and  
SECTIONS

Project Number

65660

Date Completed

03/04/21

Drawn By

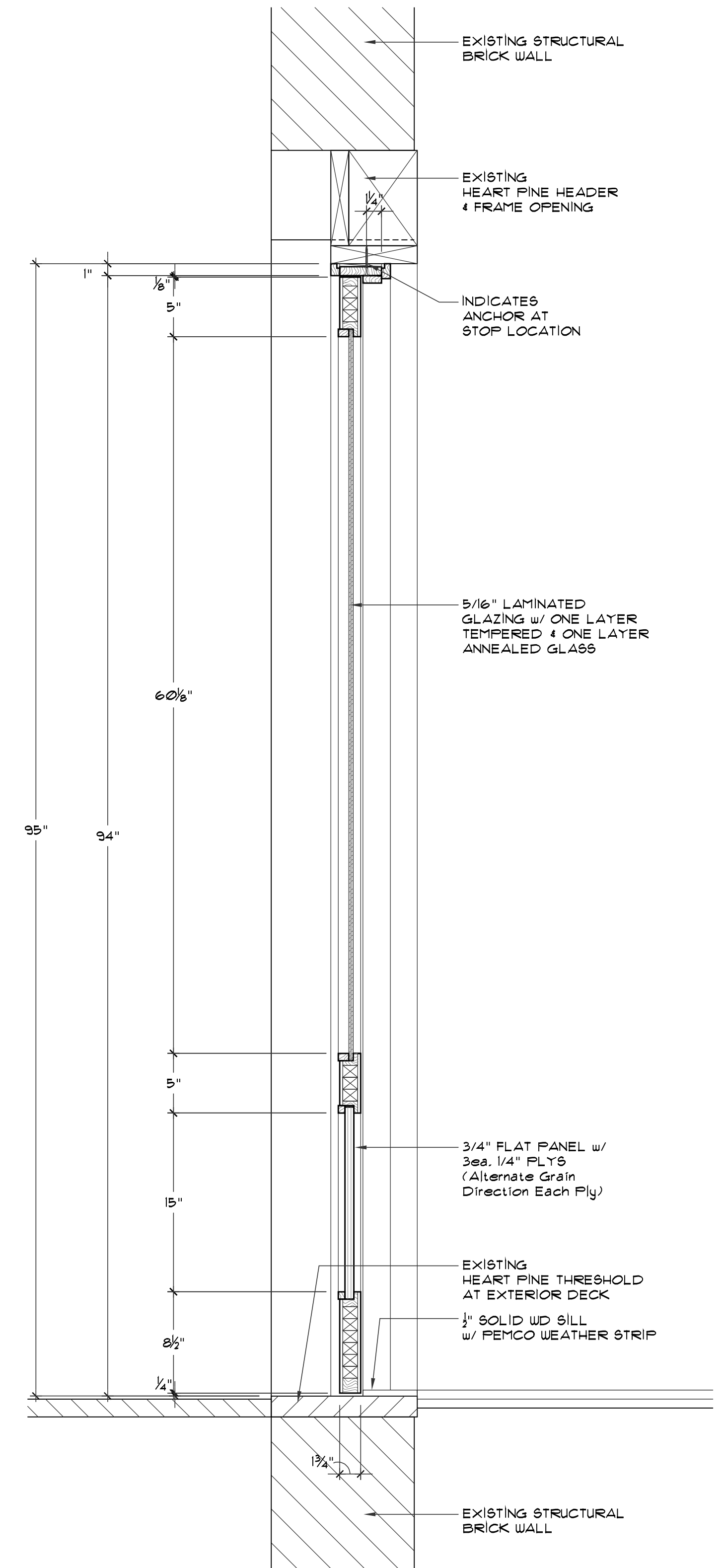
SDS

Checked By

SDS

A1

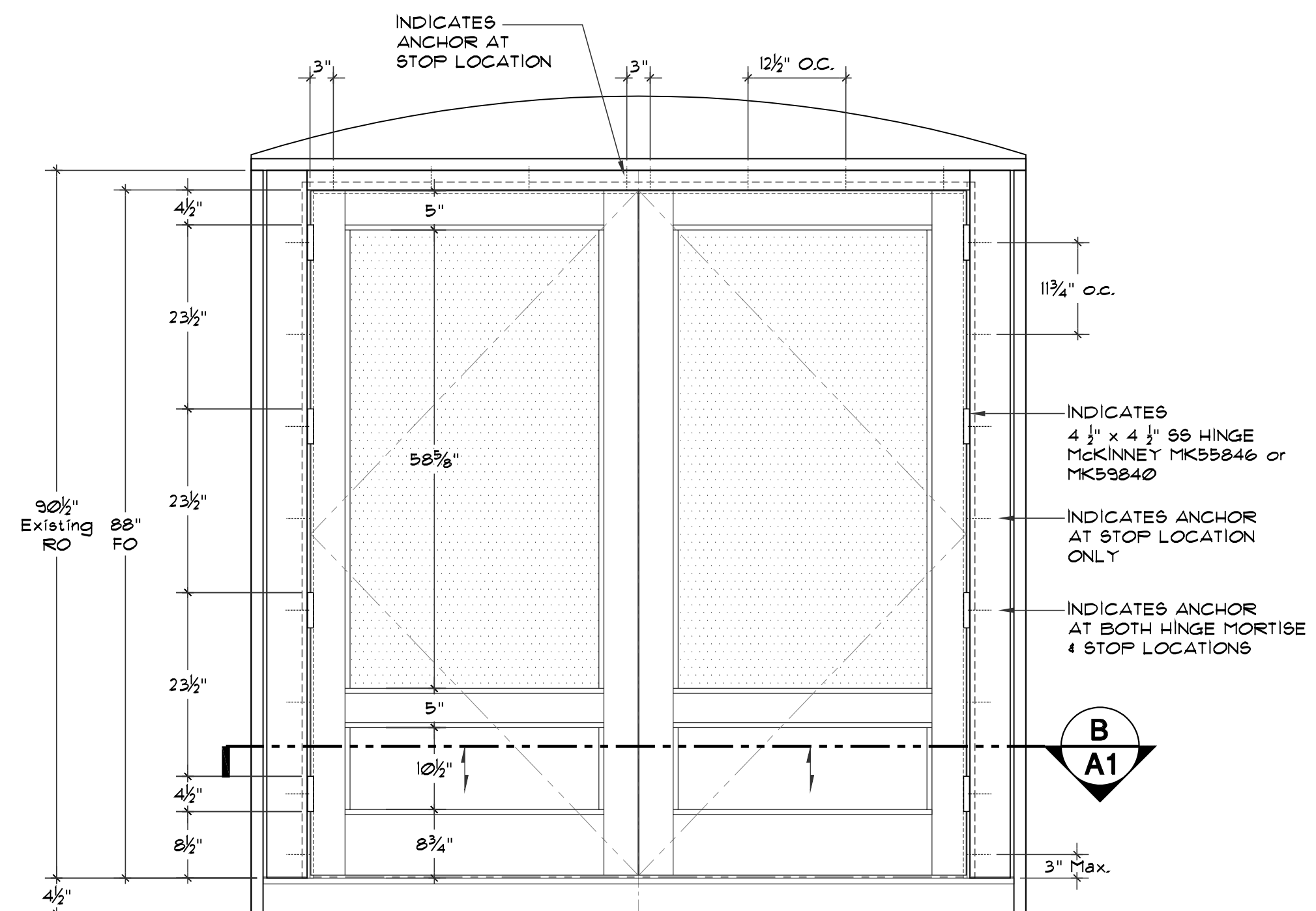
OF



**C** SECTION at 7-10 Stile and Rail DOORS

SCALE: 1 1/2\" = 12\"

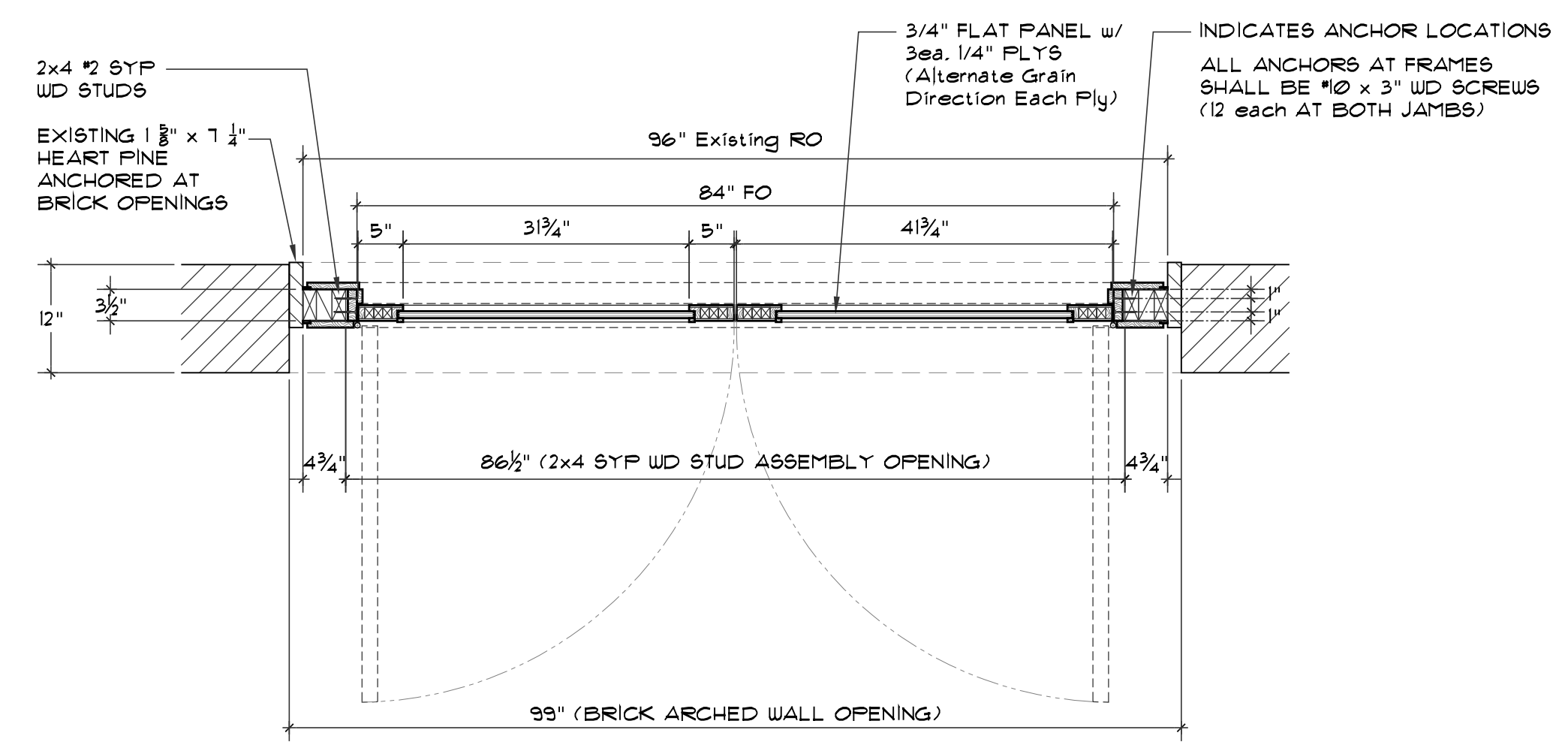
REF: -



**B** ELEVATION at 3-6 x 7-4 PAIR

SCALE: 3/4\" = 12\"

6 PAIRS REQUIRED

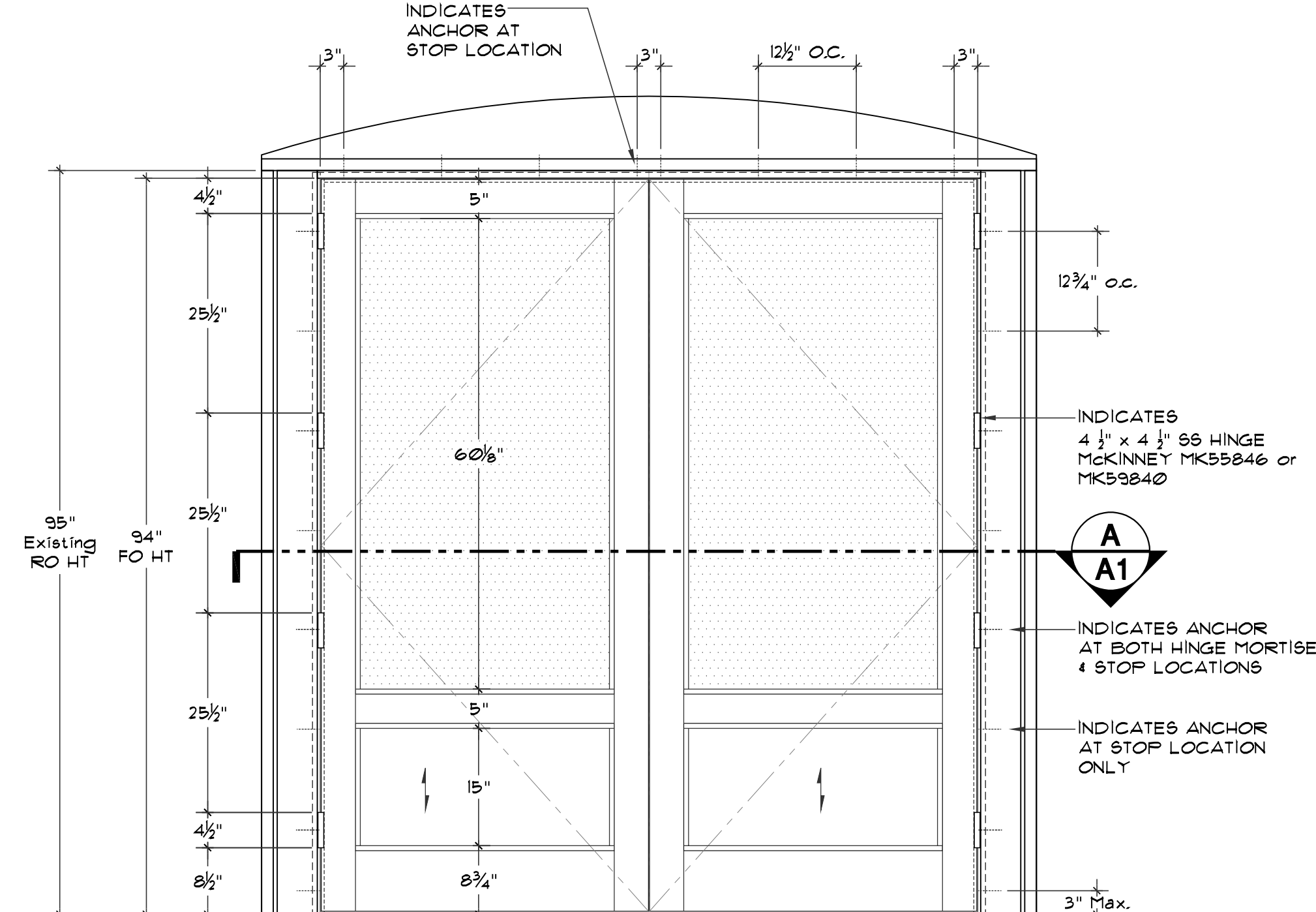


**B** PLAN SECTION at FLUSH WD PANELS

SCALE: 3/4\" = 12\"

3-6 x 7-4 PAIR

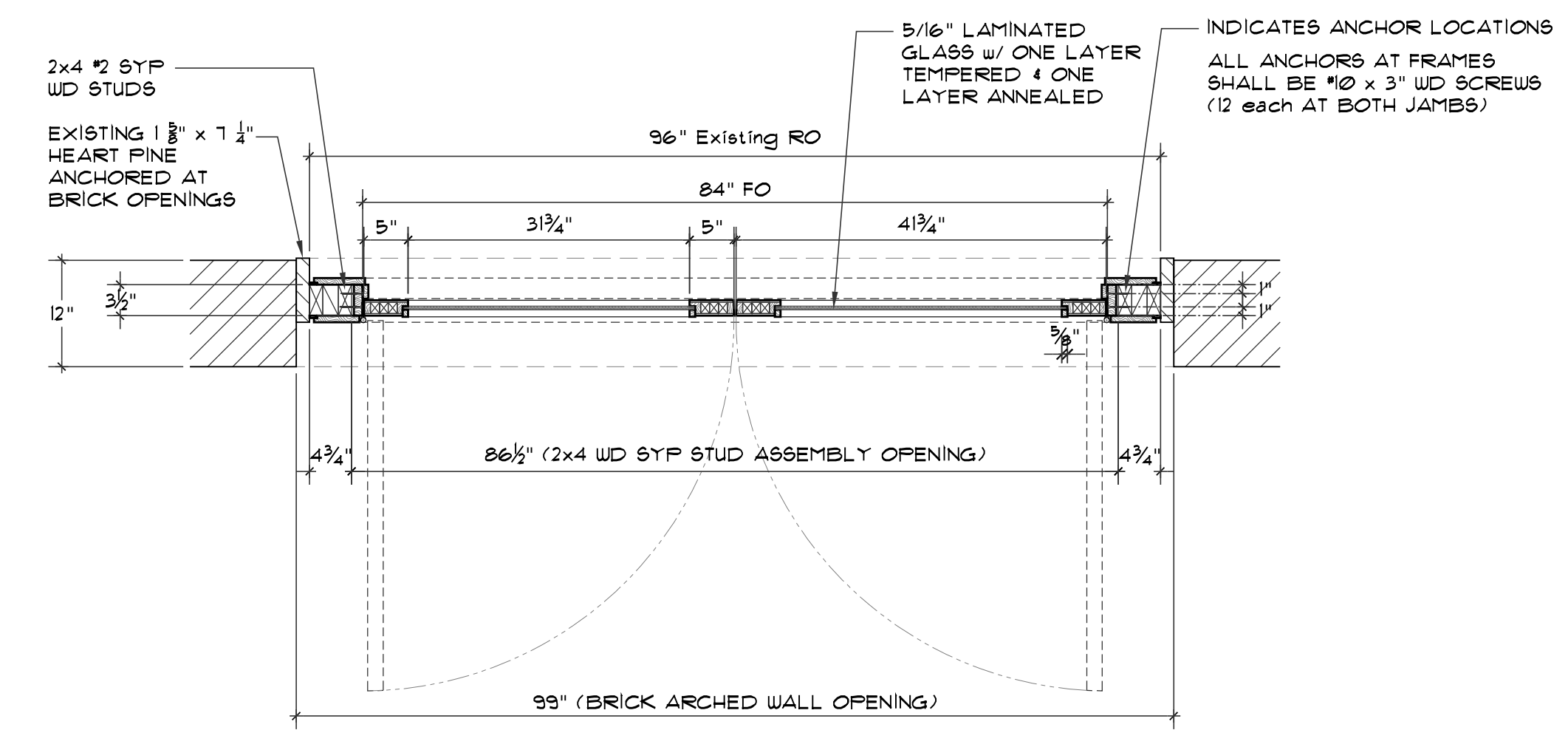
6 PAIRS REQUIRED



**A** ELEVATION at 3-6 x 7-10 PAIR

SCALE: 3/4\" = 12\"

3 PAIRS REQUIRED



**A** PLAN SECTION at GLASS LITE PANELS

SCALE: 3/4\" = 12\"

3-6 x 7-10 PAIR

3 PAIRS REQUIRED



Ron DeSantis, Governor

Halsey Beshears, Secretary



**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD**

THE BUILDING CONTRACTOR HEREIN IS CERTIFIED UNDER THE  
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

**SHITAMA, GLENN ALBERT**

AKIRA WOOD, LLC  
619 S MAIN ST  
GAINESVILLE FL 32601

**LICENSE NUMBER: CBC1264432**

**EXPIRATION DATE: AUGUST 31, 2022**

Always verify licenses online at [MyFloridaLicense.com](http://MyFloridaLicense.com)



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# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
02/16/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> FEDERATED MUTUAL INSURANCE COMPANY HOME OFFICE: P.O. BOX 328 OWATONNA, MN 55060		<b>CONTACT NAME:</b> CLIENT CONTACT CENTER <b>PHONE (A/C, No, Ext):</b> 888-333-4949 <b>E-MAIL ADDRESS:</b> CLIENTCONTACTCENTER@FEDINS.COM <b>FAX (A/C, No):</b> 507-446-4664	
		<b>INSURER(S) AFFORDING COVERAGE</b>	
		<b>INSURER A:</b> FEDERATED MUTUAL INSURANCE COMPANY	
		<b>INSURER B:</b>	
		<b>INSURER C:</b>	
		<b>INSURER D:</b>	
		<b>INSURER E:</b>	
		<b>INSURER F:</b>	

**INSURED**  
AKIRA WOOD INC, AKIRA WOOD LLC  
619 S MAIN ST STE A  
GAINESVILLE, FL 32601-6700

363-718-8

**COVERAGES****CERTIFICATE NUMBER: 85****REVISION NUMBER: 0**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR	N	N	6072626	05/08/2020	05/08/2021	EACH OCCURRENCE \$1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000						
	MED EXP (Any one person) EXCLUDED						
	PERSONAL & ADV INJURY \$1,000,000						
GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				GENERAL AGGREGATE \$2,000,000			
OTHER:				PRODUCTS - COMP/OP AGG \$2,000,000			
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY	N	N	6072626	05/08/2020	05/08/2021	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000
	BODILY INJURY (Per person)						
	BODILY INJURY (Per accident)						
	PROPERTY DAMAGE (Per accident)						
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE	N	N	6072627	05/08/2020	05/08/2021	EACH OCCURRENCE \$5,000,000
	DED <input type="checkbox"/> RETENTION						AGGREGATE \$5,000,000
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	N	1807284	07/01/2020	05/08/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER
	E.L. EACH ACCIDENT \$1,000,000						
	E.L. DISEASE - EA EMPLOYEE \$1,000,000						
	E.L. DISEASE - POLICY LIMIT \$1,000,000						

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**CERTIFICATE HOLDER**363-718-8  
CITY OF GAINESVILLE BUILDING DEPARTMENT  
PO BOX 490  
GAINESVILLE, FL 32627-0490

85 0

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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# SALTER, FEIBER, MURPHY, HUTSON & MENET, P.A.

---

## ATTORNEYS AT LAW

JAMES G. FEIBER, JR.\*  
DENISE LOWRY HUTSON  
DAVID E. MENET  
MELISSA JAY MURPHY  
JAMES D. SALTER  
KRISTINE J. VAN VORST

\*CERTIFIED CIVIL MEDIATOR

3940 NW 16<sup>TH</sup> BLVD, BLDG. B  
GAINESVILLE, FLORIDA 32605

POST OFFICE BOX 357399  
GAINESVILLE, FLORIDA 32635-7399  
352.376.8201  
FAX 352.376.7996

February 8, 2007

WWW.SALTERLAW.NET

Mr. Glenn Shitama  
Akira Wood, Inc.  
P.O. Box 321  
Gainesville, FL 32602

RE: The Baird Center, a Condominium  
Our File No.: 06-2000.4

Dear Mr. Shitama:

Enclosed please find the following documents on the above referenced matter:

1. Original Second Amendment to Declaration of Condominium of The Baird Center, a Condominium recorded in Official Records Book 3531, Page 1468 of the Public Records of Alachua County, Florida and
2. Original Second Resolution of Amendment To Bylaws, The Baird Center Association, Inc. recorded in Official Records Book 3531, Page 1472 of the Public Records of Alachua County, Florida.

You should keep these documents in a safe place for future reference.

If you should have any questions, please do not hesitate to call.

Sincerely yours,  
SALTER, FEIBER, MURPHY,  
HUTSON & MENET, P.A.



M. Susan Fulford  
Legal Assistant to Ms. Murphy

/msf  
Enclosure

## **The Baird Center Condominium Amendment Procedure Summary**

### **Declaration of Condominium**

The Amendment to the Declaration was created to use the procedure outlined in § 16.3. Therefore neither a members meeting, nor a directors meeting is required to adopt the amendment. The only requirements are that the amendment be signed and acknowledged by all unit owners and that a certificate shall be attached to the amendment.

16.1 **Board of Directors and Unit Owners.** A resolution for the adoption of a proposed amendment may be proposed by the board of directors of the Association or by the Unit Owners.

a. Unit Owners may propose such an amendment by instrument in writing directed to the president or secretary of the board signed by not less than holders of thirty-three percent (33%) of all of the votes of the Association.

b. Amendments may be proposed by the board of directors by action of a majority of the board at any regularly constituted meeting thereof.

Upon an amendment being proposed as herein provided, the president or, in the event of his refusal or failure to act, the board of directors, shall call a meeting of the Unit Owners to be held not sooner than fifteen (15) days nor later than sixty (60) days thereafter for the purpose of considering said amendment. A copy of the proposed amendment shall be included in the notice of the meeting. Amendments must be approved by not less than seventy-five percent (75%) of the votes of the Association.

16.2 **Execution and Recording.** Each amendment shall be attached to or shall contain a certificate certifying that the amendment was duly adopted, and the certificate shall be executed by the president of the Association and attested by the secretary with the formalities of a deed, and said amendment shall be effective upon recordation of the amendment and certificate in the Public Records of Alachua County, Florida.

16.3 **Written Agreement.** An amendment may be adopted without following the procedures outlined in paragraphs A and B above if said amendment is approved by in writing by an agreement signed and acknowledged by all Unit Owners in the manner required for the execution of a deed.

16.4 **Notice to Mortgagees.** Any Mortgagee, upon written request to the Association (such request to state the name and address of such Mortgagee and the Unit number at issue), will be entitled to timely written notice of any proposed amendment to this Declaration affecting a change in the boundaries of any Unit or the exclusive easement rights appertaining thereto, the interest in the Common Elements or Limited Common Elements appertaining to any Unit or the liability for Common Expenses appertaining thereto, the number of votes in the Association appertaining to any Unit or the purposes to which any Unit or the Common Elements are restricted.

### **Bylaws**

The Amendment to the Bylaws must follow the procedure outlined in Article VIII of the Bylaws included below.

#### **VIII. AMENDMENTS**

Amendments to the Bylaws shall be proposed and adopted in the following manner:

1. Notice of the subject matter of a proposed amendment shall be included in the notice of any meeting at which a proposed amendment is considered.
2. An amendment may be proposed by either the board of directors or by the membership of the Association. Except as otherwise provided herein, a resolution adopting a proposed amendment must receive approval of not less than two-thirds (2/3rds) of all the directors, and by not less than a three-fourths (3/4ths) vote of the members of the Association at a duly called meeting of the Association. Directors and members not present at the meeting considering the amendment may express their approval in writing within ten (10) days after such meeting.
3. An amendment when adopted shall become effective only after being recorded in the Public Records of Alachua County, Florida.
4. No bylaw shall be revised or amendment by reference to its title or number only. Proposals to amend existing bylaws shall contain the full text of the bylaws to be amended; new words shall be inserted in the text underlined, and words to be deleted shall be lined through the hyphens. However, if the proposed change is so extensive that this procedure would hinder rather than assist the understanding of the proposed amendment, it is not necessary to use underlining and hyphens as indicators of words added or deleted, but, instead, a notation must be inserted immediately preceding the proposed amendment in substantially the following language "Substantial rewording of Bylaw. See Bylaw.... for present text." Nonmaterial errors or omissions in the bylaw amendment process shall not invalidate an otherwise properly promulgated amendment.
5. Any amendment to these Bylaws shall be in accord with the terms and provisions of the Declaration which sets forth certain additional voting and approval requirements with respect to certain types of amendments.

Prepared by:  
Melissa Jay Murphy, Esq.  
Salter, Feiber, Murphy,  
Hutson, & Menet, P.A.  
P.O. Box 357399  
Gainesville, Florida 32635

---

**SECOND AMENDMENT TO DECLARATION OF CONDOMINIUM OF  
THE BAIRD CENTER, A CONDOMINIUM**

THIS AMENDMENT is made and entered into this \_\_\_\_\_ day of July, 2006 by **KKT Rentals, Inc.**, a Florida corporation and **Akira Wood, Inc.**, a Florida corporation, ("UNIT OWNERS").

**WITNESSETH:**

WHEREAS, on December 5, 1997, the UNIT OWNERS, as the fee simple owners of the condominium property, executed the Declaration of Condominium of The Baird Center, A Condominium ("Declaration"), recorded December 8, 1997 in O.R. Book 2143, Page 2069, Public Records of Alachua County Florida;

WHEREAS, on February 17, 2003, the UNIT OWNERS, as the fee simple owners of the condominium property, executed an Amendment to the Declaration of Condominium of The Baird Center, A Condominium ("First Amendment"), recorded February 28, 2003 in O.R. Book 2615, Page 290, Public Records of Alachua County, Florida;

WHEREAS, pursuant to Declaration Article XVI, Amendments, Section 16.3, Written Agreements, the Declaration may be amended by a written agreement signed and acknowledged by all unit owners in the manner required for execution of a deed;

WHEREAS, the undersigned UNIT OWNERS comprise all of the unit owners for the Condominium and desire to further amend the Declaration to divide Unit 1 into two units and divide Unit 4 into two units;

NOW THEREFORE, the UNIT OWNERS hereby agree to amend the Declaration as follows:

- (1) Recitals. The UNIT OWNERS agree the above recitals are true and correct and incorporate same herein by reference.
- (2) Article III, Exhibits, Section 3.1, Exhibit "A". The survey attached to this instrument as Exhibit "A" supplants the survey attached to the First Amendment as Exhibit "A".

Copies of the survey attached to this instrument are also recorded in Condominium Book \_\_\_\_\_, Page \_\_\_\_\_, of the Public Records of Alachua County, Florida.

- (3) Article VI, Appurtenances, Section 6.1, Appurtenant Interests. Said section is amended as follows:



6.1 Appurtenant Interests. Appurtenant to each Unit in the Condominium shall be an undivided ownership interest in the Common Elements, as well as an undivided share of the Common Expenses and Common Surplus as follows:

<u>Unit</u>	<u>% interest in Common Elements and % share of Common Expenses</u>
1	6/40
<u>1A</u>	<u>2/40</u>
<u>1B</u>	<u>4/40</u>
2	15/40
3	6/40
4	3/40
<u>4A</u>	<u>1/40</u>
<u>4B</u>	<u>2/40</u>
5	1/40
6	1/40
7	3/40
8	5/40

- (4) By execution of this instrument, the UNIT OWNERS reaffirm all of the provisions of the Declaration previously recorded and any amendments thereto, and by this reference, said provisions are made a part thereof.

IN WITNESS WHEREOF, the UNIT OWNERS have executed this Amendment on the day and year written above.

Witnesses:

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

KKT RENTALS, INC.  
a Florida corporation

By: Kinnon Thomas  
Kinnon Thomas, President

Unit Numbers: 1B, 4A, 5

AKIRA WOOD, INC.  
a Florida corporation

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

By: Glenn A. Shitama  
Glenn A. Shitama, President

Unit Numbers: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 15 day of December, 2006, by, Kinnon Thomas, President of KKT RENTALS, INC., a Florida corporation, on behalf of said corporation, and by Glenn A. Shitama, President of AKIRA WOOD, INC., a Florida corporation, on behalf of said corporation, who are ☒ personally known to me or ☐ who have produced \_\_\_\_\_ as identification.

Gale C. Clark

(NOTARY SEAL)

Printed Name: \_\_\_\_\_  
Commission No. \_\_\_\_\_



Prepared by:  
Melissa Jay Murphy, Esq.  
Salter, Feiber, Murphy,  
Hutson, & Menet, P.A.  
P.O. Box 357399  
Gainesville, Florida 32635

---

**RESOLUTION OF THE BOARD OF DIRECTORS OF  
THE BAIRD CENTER ASSOCIATION, INC.  
Regarding Second Amendment To Declaration Of Condominium**

We **Kinnon Thomas** and **Celeste A. Shitama**, President and Secretary, respectively, of the Baird Center Association, Inc. ("Association"), do hereby certify that the following is a true and correct copy of the Resolution duly adopted by the Unit Owners of the Association pursuant to § 16.3 of the Declaration of Condominium of The Baird Center Condominium.

BE IT RESOLVED, that the Second Amendment to Declaration of Condominium Of The Baird Center, A Condominium, which Amendment was recorded at O.R. Book \_\_\_\_\_, Page \_\_\_\_\_, Public Records of Alachua County, Florida has been approved in writing by an agreement signed and acknowledged by all Unit Owners in the manner required for the execution of a deed.

WE FURTHER CERTIFY that the above Board of Director's Resolution was duly and regularly enacted at a regular meeting of the Board of Directors called for that purpose and held in accordance with the Bylaws of the Association and the statutes of the State of Florida; that the directors of the Association have full power and authority to bind the Association pursuant thereto; that the Resolution is in full force and effect and has not been altered, modified or rescinded.

In witness whereof, we have affixed our names as President and Secretary, respectively, of this corporation and have affixed the corporate seal of the corporation on \_\_\_\_\_, 2006.

Signed, sealed and delivered  
In our presence as witnesses:

*Gale Clark*  
Print GALE CLARK

*Julie Howard*  
Print JULIE HOWARD

*Gale Clark*  
Print GALE CLARK

*Julie Howard*  
Print JULIE HOWARD

The Baird Center Association, Inc.  
a Florida not for profit corporation

By: *Kinnon Thomas*  
Kinnon Thomas, President

By: *Celeste A. Shitama*  
Celeste A. Shitama, Secretary

{SEAL}



STATE OF FLORIDA  
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 15 day of December, 2006 by **Kinnon Thomas**, President of the Baird Center Association, Inc., a Florida not for profit corporation, on behalf of said corporation and by **Celeste A. Shitama**, Secretary of The Baird Center Association, Inc., a Florida not for profit corporation, on behalf of said corporation they are ☒ personally known to me or ☐ have produced \_\_\_\_\_ as identification.

Gale C. Clark

(NOTARY SEAL)

Printed Name: \_\_\_\_\_

Commission No. \_\_\_\_\_



Prepared by:  
Melissa Jay Murphy, Esq.  
Salter, Feiber, Murphy,  
Hutson, & Menet, P.A.  
P.O. Box 357399  
Gainesville, Florida 32635

---

**SECOND RESOLUTION OF AMENDMENT TO BYLAWS  
THE BAIRD CENTER ASSOCIATION, INC.  
A Florida not for profit corporation**

THIS RESOLUTION is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2006 by the Board of Directors of The Baird Center Association, Inc. ("Association").

**WITNESSETH:**

WHEREAS, the Declaration of Condominium of The Baird Center, A Condominium ("Declaration") was executed December 5, 1997 and recorded December 8, 1997 in O.R. Book 2143, Page 2069, Public Records of Alachua County Florida;

WHEREAS, the Bylaws of The Baird Center Association, Inc., a Florida not for profit corporation ("Bylaws"), was attached to the Declaration as Exhibit "C";

WHEREAS, the Resolution of Amendment to Bylaws, The Baird Center Association, Inc., a Florida not for profit corporation, was executed on February 17, 2003 and recorded February 28, 2003 at O.R. Book 2615, Page 296, Public Records of Alachua County Florida as an amendment to the Bylaws;

WHEREAS, pursuant to Bylaws Article VIII, Amendments, Section 2, the Board of Directors can propose amendments to the Bylaws. Resolutions adopting any proposed amendment must receive approval of not less than two-thirds (2/3) of all directors, and by not less than a three-fourths (3/4) vote of the members of the Association at a duly called meeting;

WHEREAS, the Unit Owners desire to further amend the Bylaws;

NOW THEREFORE, the undersigned, Kinnon Thomas and Celeste A. Shitama, President and Secretary, respectively, of the Association, do hereby certify as follows:

- (1) Meeting. At a duly called members' meeting held on \_\_\_\_\_, 2006, at which all members were present, all of the members voted to adopt the following Resolution amending the Bylaws. At a duly called meeting of the Board of Directors held on \_\_\_\_\_, 2006, at which all directors were present, all of the directors voted to adopt the following Resolution.
- (2) Resolution. At the above meeting, the Board of Directors proposed amendments to the Bylaws. The following is a true and correct copy of the Resolution adopting the proposed amendments approved by the members and the Board of Directors:

BE IT RESOLVED, that the Bylaws of the Baird Center Association, Inc. a Florida not for profit corporation, are amended as follows:

## II. MEMBERS MEETINGS

5. Each unit shall be entitled to the votes set forth below. Votes for Units owned by more than one person or by a corporation or other entity shall be cast by the voting representative for the Unit as named in a voting certificate signed by all of the Owners of that Unit and filed with the secretary of the Association. Each voting certificate shall be valid until revoked by a subsequent voting certificate.

The votes assigned to each unit are as follows:

<u>Unit</u>	<u>No. Of Votes</u>
1	6
<u>1A</u>	<u>2</u>
<u>1B</u>	<u>4</u>
2	15
3	6
4	3
<u>4A</u>	<u>1</u>
<u>4B</u>	<u>2</u>
5	1
6	1
7	3
8	5
Total	40

The undersigned further certify that the meetings of the members and the Board of Directors were called for the purpose of voting on the Resolution and said meetings were held in accordance with the Bylaws of the Association and the statutes of the State of Florida; that the directors of the Association have full power and authority to bind the Association pursuant thereto; that the Resolution is in full force and effect and has not been altered, modified or rescinded.



IN WITNESS WHEREOF, we have affixed our names as President and Secretary, respectively, of this corporation and have affixed the corporate seal of the corporation on the date first written.

Witnesses:

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

Gale Clark  
Print Name GALE CLARK

Julie Howard  
Print Name JULIE HOWARD

The Baird Center Association, Inc.  
a Florida not for profit corporation

By: Kinnon Thomas  
Kinnon Thomas, President

By: Celeste A. Shitama  
Celeste A. Shitama, Secretary

{SEAL}

STATE OF FLORIDA  
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 15 day of December, 2006, by, Kinnon Thomas, President of The Baird Center Association Inc., a Florida not for profit corporation, on behalf of said corporation, and by Celeste A. Shitama, Secretary of The Baird Center Association, Inc., a Florida not for profit corporation, on behalf of said corporation, who are ☐ personally known to me or ☐ who have produced \_\_\_\_\_ as identification.

(NOTARY SEAL)

Gale C. Clark  
Printed Name: \_\_\_\_\_  
Commission No. \_\_\_\_\_

