

ADDENDUM NO. 2

Date: June 4, 2021

Bid Date: June 16, 2021, at 3:00 P.M. (Local Time)

Bid Name Loblolly Woods Park Boardwalk Reconstruction

Bid No.: WSPP-210047-DM

NOTE: This Addendum has been issued only to the holders of record of the specifications and to the attendees of the mandatory pre-bid conference held on May 26, 2021.

The original Specifications remain in full force and effect except as revised by the following changes which shall take precedence over anything to the contrary:

The following are answers/clarifications to questions received:

1. Question: Page 4 of the bid manual talks about the treatment of the pressure treated material. No one treats .31CA-C or is allowed to treat any lumber size smaller than 2 by 8 in CCA. There is a .23 MCA "salt water splash" that is available through Great Southern Lumber, which would be equal to a .60 CCA. Would this be acceptable? If you would happen to know of a treater who is treating .31 CA-C, would you please provide their contact information?

Answer: Outdoor Living Products (5901 Beggs Rd, Orlando, FL 32810, Phone (407) 293-1811 * FAX 407-295-1342) supplies .31CA-C treated lumber. Two Rivers Lumber Company, LLC (970 Industrial Park Dr., Demopolis, AL 36732, Phone (334) 654-8077) ran a special order batch of 2x6 .60 CCA treated lumber for a general contractor who worked on a boardwalk project for the City in 2019.

No, .23 MCA *is not* an acceptable "equal" product.

2. Question: Can you clarify line 6 on page 9? Are you intending on buying directly from us or through a supplier? Please refer to attachment

Answer: The City will execute an owner direct purchase for the composite WearDeck™ material. The Bidder *shall* include the price of the WearDeck™ material in their bid, but the Bidder *shall not* include tax for this purchase. After execution of the agreement (with the low responsive, responsible bidder), the City will execute a deductive change order with the Bidder for the WearDeck™ material cost. The WearDeck™ material is the only owner direct purchase that is anticipated on this project.

The City will purchase the WearDeck™ material directly from WearDeck *after* executing a deductive change order with the low responsive, responsible bidder. It is the bidder's responsibility to determine the material quantity needed to complete this project and include the price of the WearDeck™ material (no tax) in their bid.

Please refer to the Florida Department of Revenue Tax Information Publication on [Owner-Direct Purchase Programs Public Works Contracts](#) for more information:

https://floridarevenue.com/taxes/tips/documents/TIP-116833_TIP%2013A01-01%20Owner-Direct%20Purchase%20Programs%2C%20Public%20Works%20Contracts%20-%20%20TIP%20FINAL.pdf

ACKNOWLEDGMENT: Each Bidder shall acknowledge receipt of this Addendum No. 2 by his or her signature below, **and a copy of this Addendum to be returned with proposal.**

CERTIFICATION BY PROPOSER

The undersigned acknowledges receipt of this Addendum No. 2 and the Proposal submitted is in accordance with information, instructions, and stipulations set forth herein.

BIDDER: _____

BY: _____

DATE: _____

CITY OF _____ FINANCIAL SERVICES GAINESVILLE PROCEDURES MANUAL

41-423 Prohibition of lobbying in procurement matters

Except as expressly set forth in Resolution 060732, Section 10, during the Blackout period as defined herein no person may lobby, on behalf of a competing party in a particular procurement process, City Officials or employees except the purchasing division, the purchasing designated staff contact. Violation of this provision shall result in disqualification of the party on whose behalf the lobbying occurred.

Blackout period means the period between the issue date which allows for immediate submittals to the City of Gainesville Purchasing Department for an invitation for bid or the request for proposal, or qualifications, or information, or the invitation to negotiate, as applicable, and the time the City Officials and Employee awards the contract.

Lobbying means when any natural person for compensation, seeks to influence the governmental decision making, to encourage the passage, defeat, or modification of any proposal, recommendation or decision by City Officials and Employees, except as authorized by procurement documents.

Loblolly Woods Park Boardwalk Reconstruction

Category:	Parks and Landscaping, Roads	Project ID #:	1005945579
Street Address:	3315 NW 5th Ave Gainesville FL 32607	Staff Estimate Value	\$200,000.00
County:	Alachua	Stage:	BIDDING - Biddate Set
Bid Date:	6/16/2021 , 03:00PM		
Architect:			
Documents Available:	Plans, Specs available in Insight	Plans available from City of Gainesville - Purchasing Division	
Last Update:	5/24/2021	Causseaux & Ellington Inc was added as Civil Engineer	

Project Description

Scope

Site work and paving for a mixed-use development in Gainesville, Florida. Completed plans call for site work for a playground / park / athletic field; for paving for a sidewalk / parking lot; and sidewalk / parking lot. Furnish all labor, equipment, material, subcontracts, and supervision required to complete the Scope of Work generally described as Loblolly Woods Park Boardwalk Reconstruction. All work shall be in accordance with the Bid Documents. The Work shall be complete as described herein for the City of Gainesville Loblolly Woods Park Boardwalk Reconstruction. The City reserves the following rights: to waive clarifications and exceptions in awarding the bid/proposal in the best interest of the City; to accept or reject any or all bids/proposals; to waive any or all irregularities; and to award the contract to the most responsible and responsive Bidder/Offeror whose bid/proposal is determined by the City to be in its best interest. It is the policy of the City of Gainesville that small and service-disabled businesses as defined in the Small and Service-Disabled Veteran Business Program, have the maximum practical opportunity to participate in the contracting opportunities provided by the City. Notification is hereby given that small and service-disabled businesses are strongly encouraged to submit a bid in response to any procurement opportunity let by the City. Prime contractors are strongly encouraged to utilize small and service-disabled business subcontractors and material suppliers. This project consists of the reconstruction of approximately 1,400 LF of boardwalk located in Loblolly Woods Park. The scope of work includes removing and replacing all of the decking, sideboards, top handrail and 2"x 6" joists. Limited post, concrete footing and beam replacement is also included in the project's scope of work and is described in detail in the bid manual.

Notes

Development include(s): Paving, Site Work Mandatory Pre-Bid Meeting: 05/26/2021 10:30AM Mandatory Pre-Bid Conference at 2698 NW 12th Ave. (GRU Maintenance Access at the end of NW 12th Ave. Enter off of NW 16th Ave.) Bid Date: 06/16/2021 03:00PM City of Gainesville - Procurement Division, All responses must be uploaded, in pdf format. Late submissions will not accept. Modifications to the response must be uploaded before the Due Date/Time as well. Letters of withdrawal received after the Bid/Proposal Due Date or after contract award, whichever is applicable, are late and will not be considered.

Details

[Division 3]: Concrete Formwork, Concrete Reinforcement, Structural Concrete. [Division 10]: Interior Signs.

Personal Notes

User	Note	Update Date	Private?
Paul Phillips	WearDeck 2x6 decking and handrail	5/27/2021	False

Design Team

Company Role	Company Name	Contact Name	Contact Status	Address	Phone	Email	Fax
Owner	City of Gainesville - Purchasing Division	Darius McPhall	Active	200 E. University Ave. Rm. 339, Gainesville, FL 32601	(352) 334-5021	McPhalldt@cityofgainesville.org	(352) 334-3163
Civil Engineer	Causseaux & Ellington Inc	Elizabeth Waite	Active	6011 NW 1st Pl. , Gainesville, FL 32607	(352) 331-1976		(352) 331-2476

Bidders

Company Name	Contact Name	Contact Status	Added Date	Address	Phone	Email	Bidding Role	Bid Rank	Bid Value	Fax Number
Industrial Maintenance Services			5/18/2021	1920 20th Avenue North, Escanaba, MI 49829	(906) 789-9021		Prospective Bidder - General Contractor			(906) 789-9129
Charles Perry Partners Inc. (CPPI)			5/18/2021	8200 NW 15th Place, Gainesville, FL 32606	(352) 333-9292	bids@cpipi.com	Prospective Bidder - General Contractor			(352) 333-9293
Scorpio Corp.			5/18/2021	3911 West Newberry Road, Gainesville, FL 32607	(352) 363-6070	bids@scorpio.com	Prospective Bidder - General Contractor			(352) 363-6071
AKEA, Inc			5/18/2021	3603 NW 98th St. Suite B, Gainesville, FL 32606	(352) 474-6124	info@akeainc.com	Prospective Bidder - General Contractor			(352) 553-4437
Baker Design Build			5/18/2021	219 N. Newnan Street, 2nd Floor, Jacksonville, FL 32202	(904) 356-8520	info@bdbjbx.com	Prospective Bidder - General Contractor			(904) 559-2678
Shore Builders, Inc.			5/18/2021	2622 NW 43rd St. Ste. A1, Gainesville, FL 32606	(352) 339-3322		Prospective Bidder - General Contractor			
One Day Came, Inc.			5/18/2021	500 N. Westshore Blvd Suite 640, Tampa, FL 33609	(813) 280-9338		Prospective Bidder - General Contractor			
Astra Group, Inc.			5/18/2021	4324 N. 56th Street, 56 Commerce Park, Building 562, Tampa, FL 33610	(813) 279-8250	info@astragroupinc.com	Prospective Bidder - General Contractor			
Kay Construction Inc			5/18/2021	5708 SW47th PL, Gainesville, FL 32608	(352) 318-7791		Withdrawn - General Contractor			
Sterling Builders Group			5/18/2021	1722 NW 80th Blvd, Suite 70, Gainesville, FL 32606	(352) 234-3201		Prospective Bidder - General Contractor			

Project Events

Event	Date	Details
End Date	12/13/2021	
Start Date	7/16/2021	Actual Start Date
Bid Date	6/16/2021 , 03:00PM	City of Gainesville - Procurement Division, All responses must be uploaded, in pdf format. Late submissions will not accept. Modifications to the response must be uploaded before the Due Date/Time as well. Letters of withdrawal received after the Bid/Proposal Due Date or after contract award, whichever is applicable, are late and will not be considered.
Pre-Bid Meeting	5/26/2021 , 10:30AM	Mandatory: Mandatory Pre-Bid Conference at 2698 NW 12th Ave. (GRU Maintenance Access at the end of NW 12th Ave. Enter off of NW 16th Ave.)
Site Walkthrough		Mandatory: Bidders shall conduct the required Site visit during normal working hours, and shall not disturb any ongoing operations at the Site.

Additional Details

<u>Listed On:</u>	5/17/2021	<u>Floor Area:</u>	
<u>Contract Type:</u>		<u>Work Type:</u>	Alteration
<u>Stage Comments 1:</u>		<u>Floors Below Grade:</u>	
<u>Stage Comments 2:</u>		<u>Owner Type:</u>	City
<u>Bid Date:</u>	6/16/2021	<u>Mandatory Pre Bid Conference:</u>	5/26/2021
<u>Invitation #:</u>	WSPP-210047-DM-0-2021/DM, WSPP-210047-DM	<u>Start Date:</u>	7/16/2021
<u>Structures:</u>	3	<u>Completion Date:</u>	12/13/2021
<u>Single Trade Project:</u>		<u>Site Area:</u>	
<u>Floors Above Grade:</u>		<u>LEED-Registered Project:</u>	
<u>Parent Project ID:</u>		<u>Units:</u>	
<u>Parking Spaces:</u>			

Planholders

Company Name	Contact Name	Contact Status	Address	Phone	Email	Fax
Caulfield & Wheeler			7900 Glades Road Ste 100A, Boca Raton, FL 33433	(561) 392-1991	info@cwiasoc.com	(561) 750-1452
John C. Hipp Construction Equipment Company			14610 NW 129th Terracw , Alachua, FL 32615	(386) 462-2047	hippave@hotmail.com	(386) 462-4141
Shoreline Foundation Inc			2781 S.W. 56th Avenue , Pembroke Park, FL 33023	(954) 985-0460		(954) 985-0462
Underwater Engineering Services Inc			3306 Enterprise Road , Fort Pierce, FL 34982	(772) 337-3116	rwalcheski@uesi.com	(772) 337-0294
C Slagter Construction, Inc.			P.O. Box 1154 , Palm City, FL 34991	(407) 394-9415	cslagter@slagter.net	(616) 350-9694
Hydra Engineering and Construction LLC			36 Jasper Thomas Road , Crawfordville, FL 32327	(850) 926-2593	admin@hydraec.com	(850) 926-9257
Coleman Construction Inc			25501 NW 8th Ln , Newberry, FL 32669	(352) 472-4550		(352) 472-4590
XGD Systems			415 Flagler Ave. Unit 302,, Stuart, FL 34994	(772) 286-3419	proposals@xgd.systems	(772) 286-2855
Peak Power Services			7819 Professional Pl , Tampa, FL 33637	(813) 248-5200	info@peakpowerservices.com	(813) 248-5224
Cornerstone Barricades Inc			3201 SW 42nd Street Suite 5, Gainesville, FL 32608	(352) 373-8001	info@cornerstonebarricades.com	(352) 377-8976
D&S Steel, Inc.			19450 SW 5th Pl , Dunnellon, FL 34431	(352) 489-8791	janp.dssteel@gmail.com	
Timber Restoration Services			10476 Sunnyside Road SE PO Box 50, Jefferson, OR 97352	(503) 385-8379		
Elevated Design and Construction			2441 NW 43rd Street Suite 5B, Gainesville, FL 32606	(352) 872-5994		
MD Jackson Marine Construction			109 Valley View Dr , San Mateo, FL 32187	(386) 336-1302	mdjacksonmarine@yahoo.com	
Wagners CFT			5004 East Fowler Avenue Suite C-355, Tampa, FL 33617	(813) 777-4440	info@wagnerscft.com	(813) 777-4440
Superior ROW Services LLC			14141 5th Street , Dade City, FL 33525	(317) 429-3348		
Blackham Contracting Group, LLC			2233 N.W. 41 St Street Suite 300-C, Gainesville, FL 32606	(850) 524-3432		(850) 524-3432
Manhattan Road & Bridge			3401 Old metro parkway , Fort Myers, FL 33916	(239) 707-6993		

Contracts

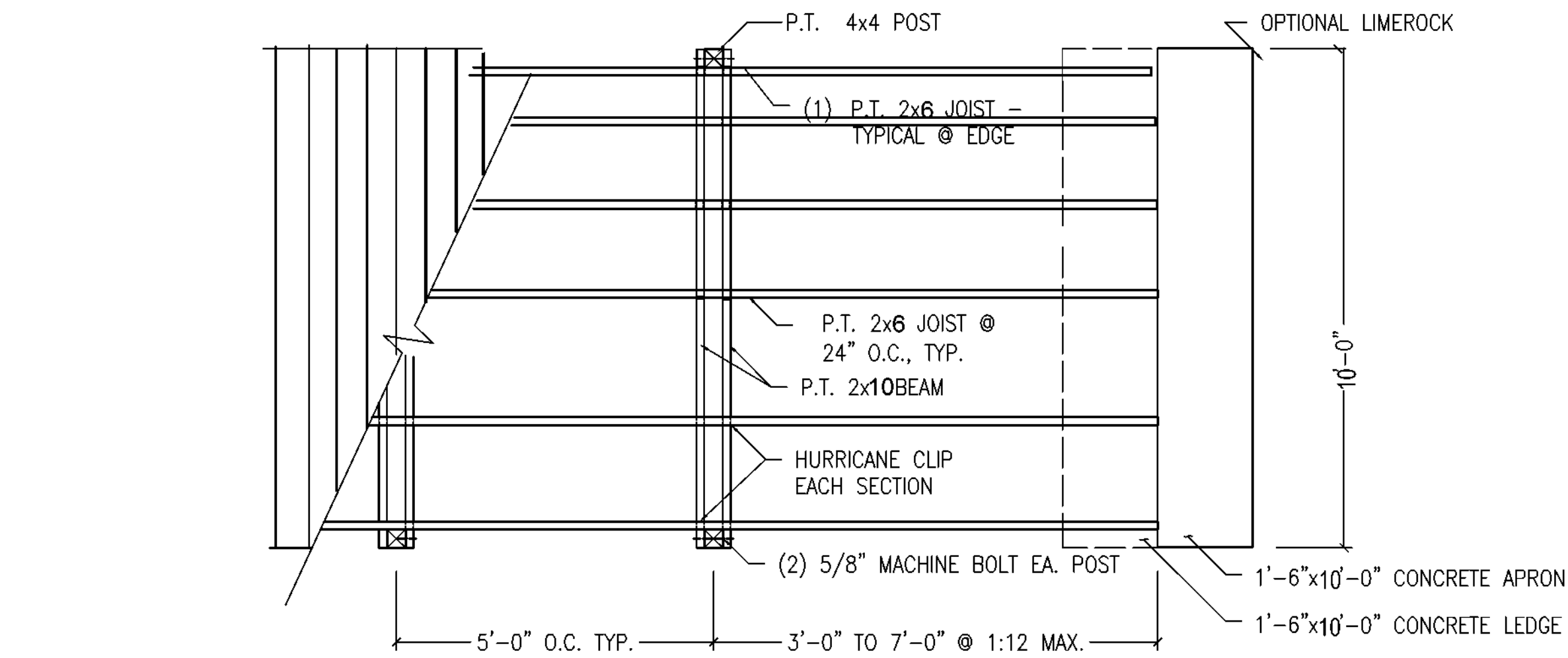
Classification	Conditions	Bonding	Bid Date	Bids To	Bid Type
General Contractor		Perf:100.00%,Pay:10 0.00%	6/16/2021	Owner	Open Bidding

History

User	Viewed	First Viewed Date	Currently Tracked?	Date Tracked
Paul Phillips	True	5/21/2021	True	5/27/2021

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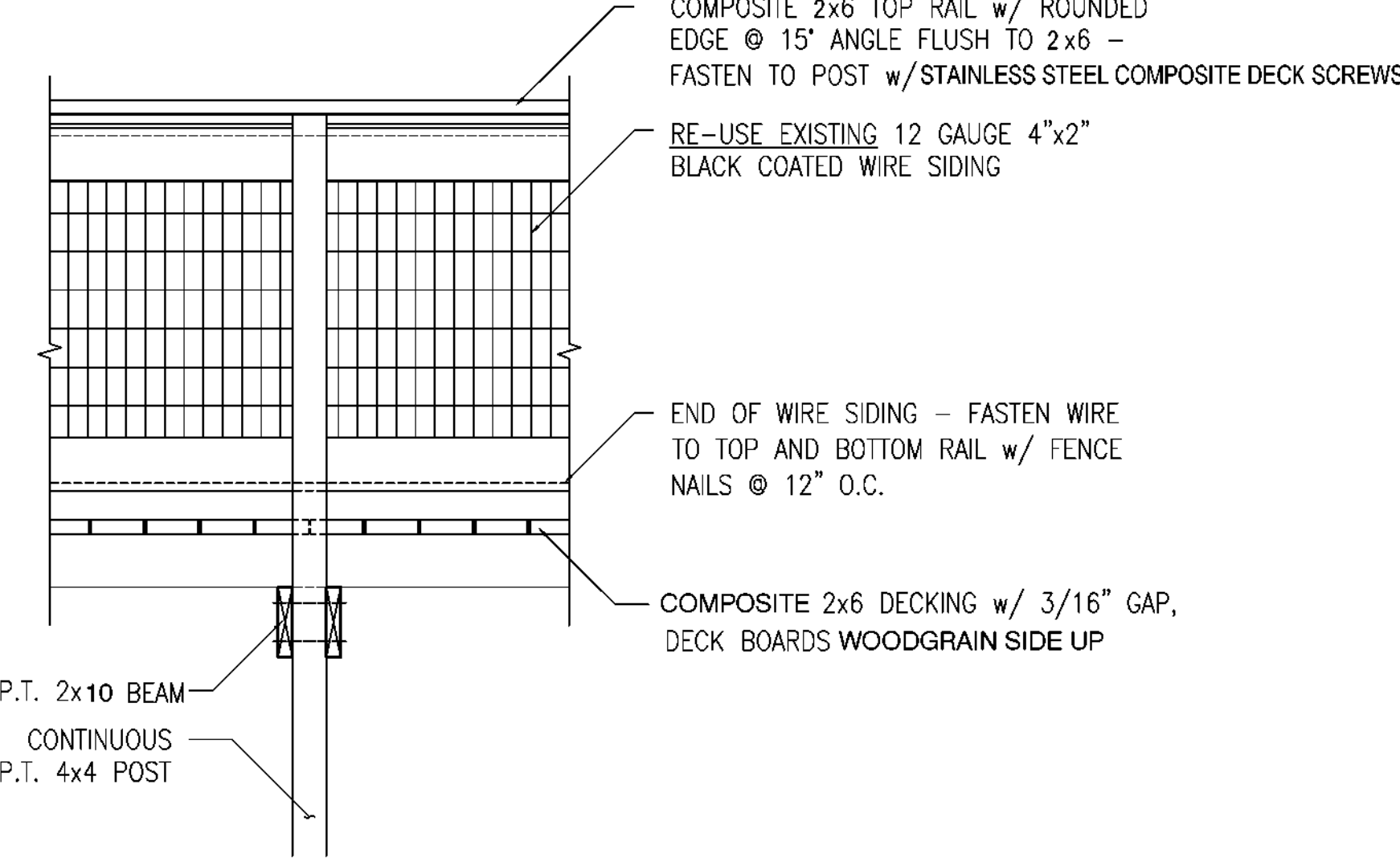
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DECK PLAN

SCALE: 1-1/2" = 1'-0"

D1

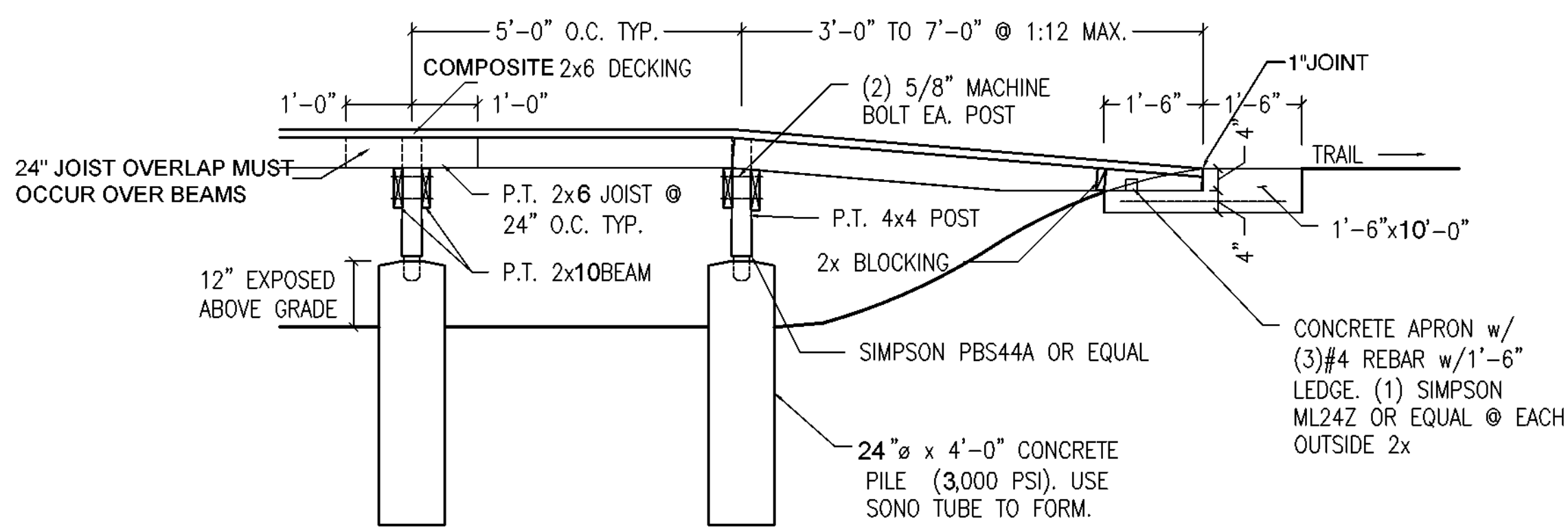


PARTIAL SECTION

SCALE: 3/4" = 1'-0"

R1

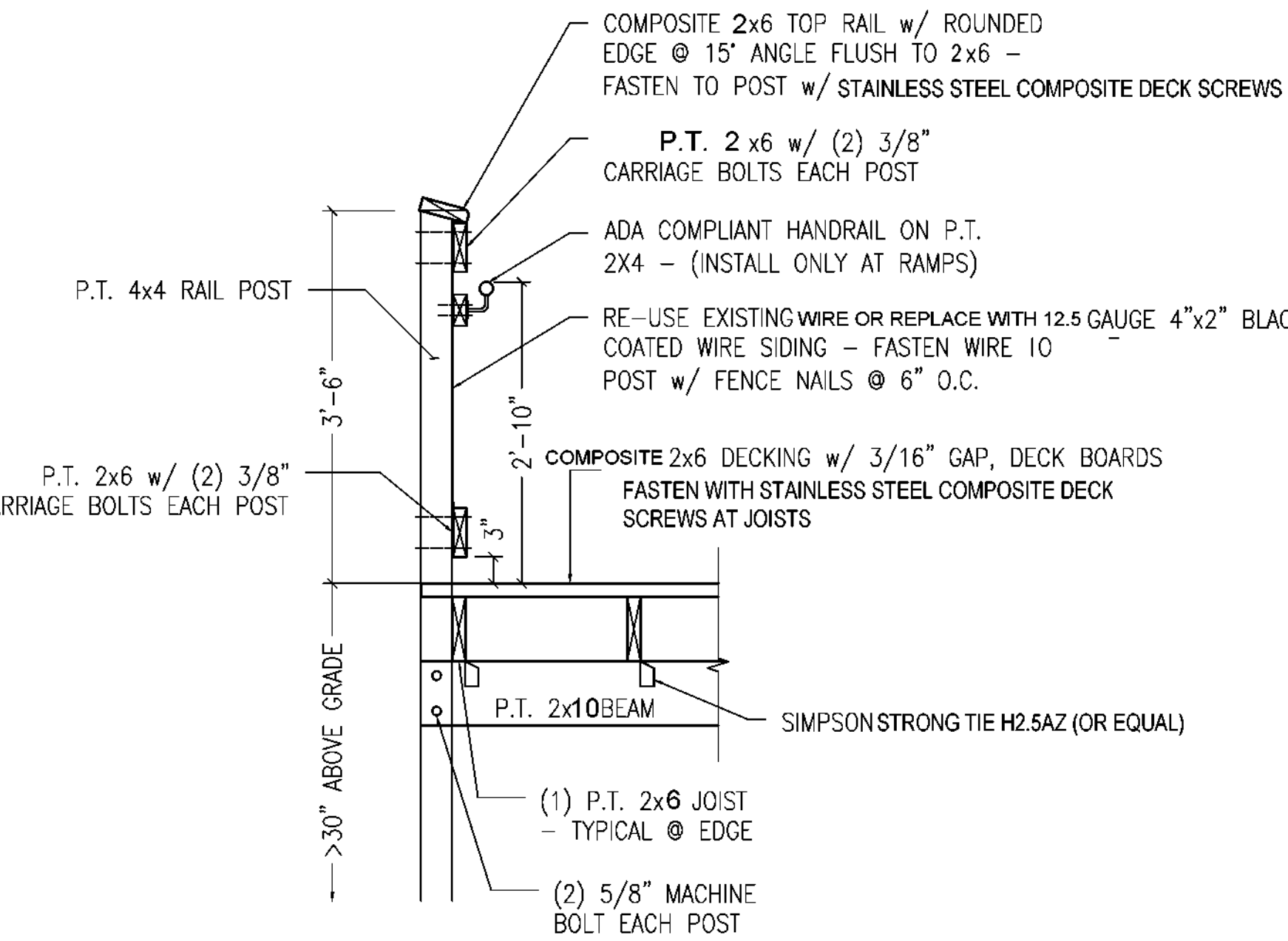
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DECK SECTION

SCALE: 1-1/2" = 1'-0"

D2

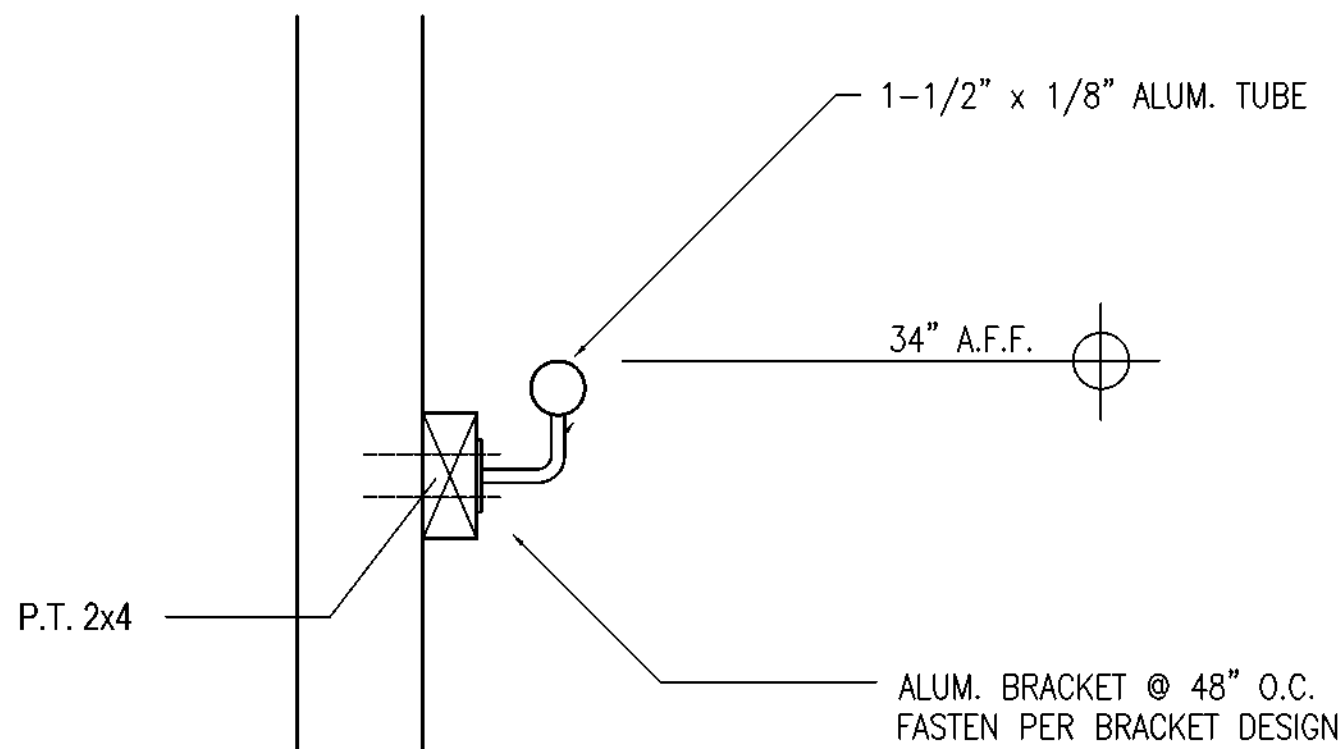


PARTIAL SECTION

SCALE: 3/4" = 1'-0"

R2

D

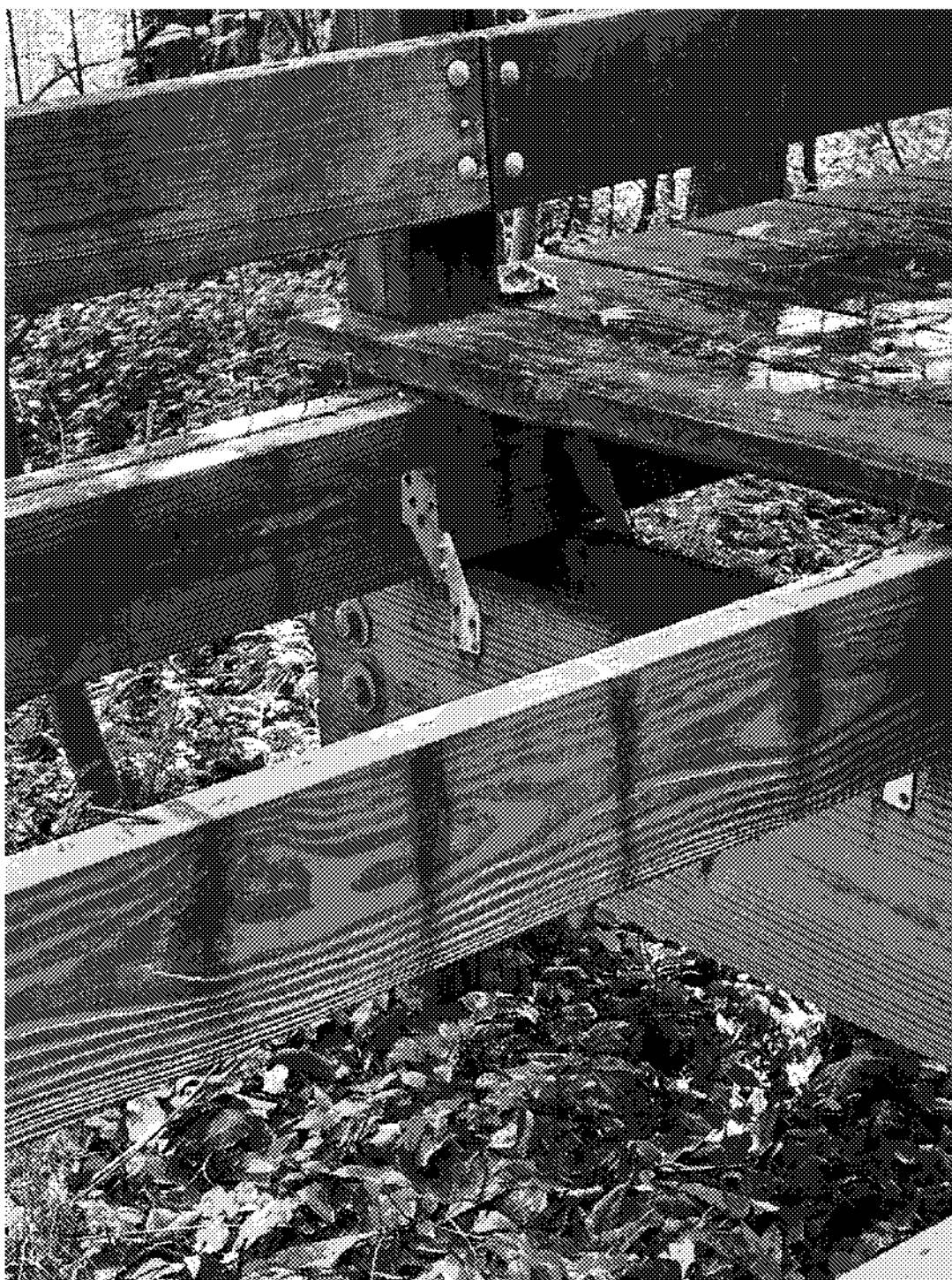


HANDRAIL DETAIL

SCALE: N.T.S.

H1

NOTES: ONE HURRICANE CLIP SHALL BE INSTALLED AT EVERY INTERSECTION BETWEEN JOISTS AND BEAMS



- ZONING AND LAND USE:**
THE PROJECT SITE LAND USE AND ZONING DESIGNATION IS "COM", CONSERVATION, PASSIVE PUBLIC PARKS AND RECREATIONAL FACILITIES ARE A PERMITTED USE.
- FLOOD CONTROL DISTRICT:**
THE PROJECT SITE LIES WITHIN THE 10-YEAR, AND 100-YEAR FLOOD PLAIN. HIKING PATHS ARE PERMITTED USES WITHIN THE FLOOD CHANNEL AND FLOOD PLAIN DISTRICTS.
- SURFACE WATER DISTRICT:**
PUBLIC NATURE PATHS CONSTRUCTED OF COMPACTED EARTH THAT WILL NOT RESULT IN SIGNIFICANT HARM TO NATURAL FEATURES IS A SPECIFIED EXEMPTION (SECTION 30-304).
- STORMWATER MANAGEMENT:**
WATER QUALITY OF STORMWATER RUNOFF FROM THE PROPOSED IMPROVEMENTS WILL BE PROVIDED BY OVERLAND FLOW ACROSS GRASSSED AND NATURAL VEGETATED FOREST AREAS PRIOR TO DISCHARGE INTO A CREEK OR OTHER WATER BODY. WATER QUANTITY TREATMENT WILL BE PROVIDED WITHIN THE NATURAL FLOOD PLAN SYSTEM. THE PROPOSED IMPROVEMENTS WILL HAVE NO MEASURABLE EFFECT ON THE RUNOFF VOLUME OR CONVEYANCE CAPACITY OF THE EXISTING FLOOD PLAN SYSTEM.
- UTILITIES:**
THE PROPOSED DEVELOPMENT IMPROVEMENTS DO NOT REQUIRE WATER, WASTEWATER, GAS OR ELECTRIC FACILITIES. EXISTING PUBLIC UTILITY EASEMENTS ARE UTILIZED AS ROUTES FOR A PORTION OF THE PATHS TO PROVIDE DUAL USE AND TO MINIMIZE THE IMPACT ON THE NATURAL FEATURES.
- TREE PROTECTION:**
THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING TREES FROM DAMAGE WITHIN THE CONSTRUCTION LIMITS THAT ARE NOT DESIGNATED TO BE REMOVED. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING CONSTRUCTION TO AVOID CONTACT WITH THE TREES TO BE PRESERVED, INCLUDING ABOVE GRADE AND BELOW GRADE DISTURBANCE.
TRAIL SYSTEM: THE CONTRACTOR SHALL AVOID DISTURBANCE OF ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION AND SHALL MINIMIZE DISTURBANCE WITHIN THE LIMITS OF CONSTRUCTION TO ONLY THAT WHICH IS NECESSARY TO CONSTRUCT THE BOARDWALK. TREES SHALL BE PRESERVED WITHOUT HARMFUL DAMAGE. CONTRACTOR MEANS AND METHODS WILL DETERMINE WHETHER OR NOT TREE BARRICADES ARE NEEDED.
ALL ROOTS OF TREES TO BE PRESERVED THAT MAY BE EXPOSED DURING THE BOARDWALK CONSTRUCTION SHALL BE CUT CLEANLY (NOT TORN OR BROKEN) AND COVERED WITH SOILS (NOT LEFT OPEN OR EXPOSED). THE CONTRACTOR SHALL CONSULT WITH THE CITY PROJECT MANAGER AS NECESSARY DURING THE COURSE OF CONSTRUCTION REGARDING ACTIONS NECESSARY TO MINIMIZE DAMAGE TO TREES TO BE PRESERVED.
- EROSION AND SEDIMENTATION CONTROL:**
EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ADDITIONAL EROSION CONTROL MAY BE REQUIRED DURING CONSTRUCTION TO CONTROL SITE SPECIFIC AREAS OF EROSION WITHIN THE CONSTRUCTION LIMITS TO PREVENT AGAINST THE DISCHARGE OF SEDIMENTS BEYOND THE DESIGNATED CONSTRUCTION LIMITS. APPROPRIATE EROSION CONTROL MEASURES SHALL BE UTILIZED TO CONTROL AREAS OF EROSION AT EACH OCCURRENCE. TEMPORARY SEED AND/OR MULCH SHALL BE UTILIZED TO PROTECT SOILS FROM LONG DURATION OF EXPOSURE. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENT PROTECTION AT THE END OF EACH WORKING DAY.
- CONSTRUCTION PHASING PLAN**
SEQUENCE OF CONSTRUCTION
1) EROSION PROTECTION AND TREE PROTECTION. CONTRACTOR MEANS AND METHODS WILL DETERMINE SWPP AND TREE PROTECTION REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH THE CITY'S PUBLIC WORKS DEPARTMENT AND ARBORIST.
2) BOARDWALK CONSTRUCTION
3) CLEAN-UP AND VEGETATIVE STABILIZATION
4) EROSION PROTECTION AND TREE PROTECTION REMOVAL.
- SPECIAL CONDITIONS**
CONSTRUCTION MAY BE IMPEDED DURING WET CONDITIONS. THE CONTRACTOR WILL NOT BE ALLOWED TO WORK WITHIN THE WETLAND AREA, DURING PERIODS WHEN THE CONSTRUCTION AREA IS FLOODED.
- JOB CONDITIONS**
1) TRAFFIC: ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND ADJACENT FACILITIES OCCUPIED OR IN USE. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER FACILITIES OCCUPIED OR IN USE WITHOUT PERMISSION FROM THE CITY'S PUBLIC WORKS DEPARTMENT.
2) PROTECTION OF EXISTING IMPROVEMENTS: PROVIDE PROTECTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED TO REMAIN IN PLACE.
A) PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNER'S PROPERTY.
B) RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO THE CITY'S PROJECT MANAGER.
3) PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE, AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING AND BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
A) REPAIR OR REPLACE TREES AND VEGETATION INDICATED TO REMAIN WHICH ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO OWNER. EMPLOY LICENSED ARBORIST TO REPAIR DAMAGES TO TREES AND SHRUBS.
B) REPLACE TREES WHICH CANNOT BE REPAIRED AND RESTORED TO FULL GROWTH STATUS, AS DETERMINED BY CITY OF GAINESVILLE ARBORIST.
- EXECUTION**
SITE CLEARING: CAREFULLY AND CLEANLY CUT ROOTS AND BRANCHES OF TREES INDICATED TO BE LEFT STANDING, WHERE SUCH ROOTS AND BRANCHES OBSTRUCT NEW CONSTRUCTION.
- PRODUCTS**
1) All decking, and top handrail shall be replaced with 2"x6" WearDeck (composite, HDPE reinforced with fiberglass in Weatherwood color). Decking boards shall end flush with the inside edge of structural posts and installed with the woodgrain side up. Fastener on the outer edge of new decking shall not be installed directly under the lower side rail to aid in replacement of damaged boards in the future.
2) All new sideboards (top and bottom) and approximately 150' of 2"x4" boards (mainly where the metal handrail is attached) shall be ground contact, dense select structural .31CA - C treated Southern Yellow Pine.
3) All new joist, beam and post lumber shall be ground contact, dense select structural .60 CCA-C or .31CA - C treated Southern Yellow Pine.
4) CHROMIATED COPPER ARSENATE (CCA) TREATED LUMBER IS PERMITTED PER CITY BUILDING DEPARTMENT.
5) ROUGH HARDWARE:

A) GENERAL: ROUGH HARDWARE INCLUDES NAILS, SCREWS, BOLTS, WASHERS, ANCHORS, STEEL PLATES AND ANGLES, ETC. REQUIRED FOR THE FASTENING OF WOODWORK OR FOR THE SECURING OF BLOCKING, FURRING OR ROUGH WOODWORK TO MASONRY, CONCRETE OR METAL.
B) ALL ROUGH HARDWARE (EXCEPT SCREWS) SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION. ELECTRO GALVANIZING WILL NOT BE ACCEPTED.
C) NAILS: EXCEPT WHERE NOTED DIFFERENTLY ON THE DRAWINGS, FASTEN FRAMING WITH COMMON NAILS, IN ACCORD WITH SCHEDULE OF NAILING LOCATED IN THE CURRENT EDITION OF THE FLORIDA BUILDING CODE. RING SHANK OR SPIRAL NAILS SHALL BE USED FOR ATTACHMENT OF DECKING. PER FBC SECTION 2006.3, NAILS MUST BE "HOT DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER." ELECTRO GALVANIZED NAILS ARE SPECIFICALLY NOT ACCEPTABLE.
D) For pressure treated lumber use Grip-Rite/Prime Guard Exterior Screws, 3"x#9 T-25 (or equal) in Tan or Green to match treated wood color. Color to be reviewed/approved by the City's Project Manager prior to the start of construction.
E) For composite boards use Stainless Steel Composite Deck Screws countersunk so the head is flush with the surface of the board. Use one of the brands recommended by the WearDeck Manufacturer: Starborn, Simpson Strong-Tie, Deckmate, TrapEase by Fasten Master, Tiger Claw, etc. Per WearDeck, when face fastening a 2" board, use at a minimum, a #10 x 2 1/4".

CONSTRUCTION NOTES:

- BOARDWALK RAMPS TO BE SLOPED LESS THAN 1:12.
- ALL PIECES TO BE PRE-DRILLED AND BOLTED THRU, EXCEPT WHERE SHOWN OTHERWISE.
- NO BOLT HOLE TO BE MORE THAN 2" FROM END OF WOOD MEMBER.
- BOLTS TO BE PLACED ON CENTERLINE OF WOOD MEMBERS OR 1-1/2" FROM EDGE AS APPLICABLE.
- USE (2) WASHERS AND NUT AT EACH THRU BOLT. USE (1) WASHER AT EACH CARRIAGE BOLT.
- DECK BOARDS TO BE CAREFULLY SELECTED AND PLACED TO A TOLERANCE OF NOT MORE THAN "1/8" VARIATION IN LEVEL SURFACE AT ADJACENT BOARD EDGES.
- ALL DECKING TO BE INSTALLED WITH A 3/16" GAP BETWEEN BOARDS.
- BEVEL ALL EXPOSED EDGES AND REMOVE SNAG HAZARDS ON TOP RAILS.
- THE CONTRACTOR MUST FIELD VERIFY ALL FASTENER TYPES AND SIZES BEFORE COMMENCING CONSTRUCTION ACTIVITIES.
- O.C. DENOTES "ON CENTER"

		CONSULTANT	ARCHITECT/ENGINEER OF RECORD	Drawing Title	Phase	Project Title	Project Number
				ARCHITECTURAL DETAILS		Loblolly Woods Boardwalk Reconstruction	XXX-XXX-XXX
						Location	Building Number
						GAINESVILLE, FLORIDA	
						Issue Date	Drawing Number
						4/26/2021	A101
						Checked	
						Drawn	
Revisions:	Date:						

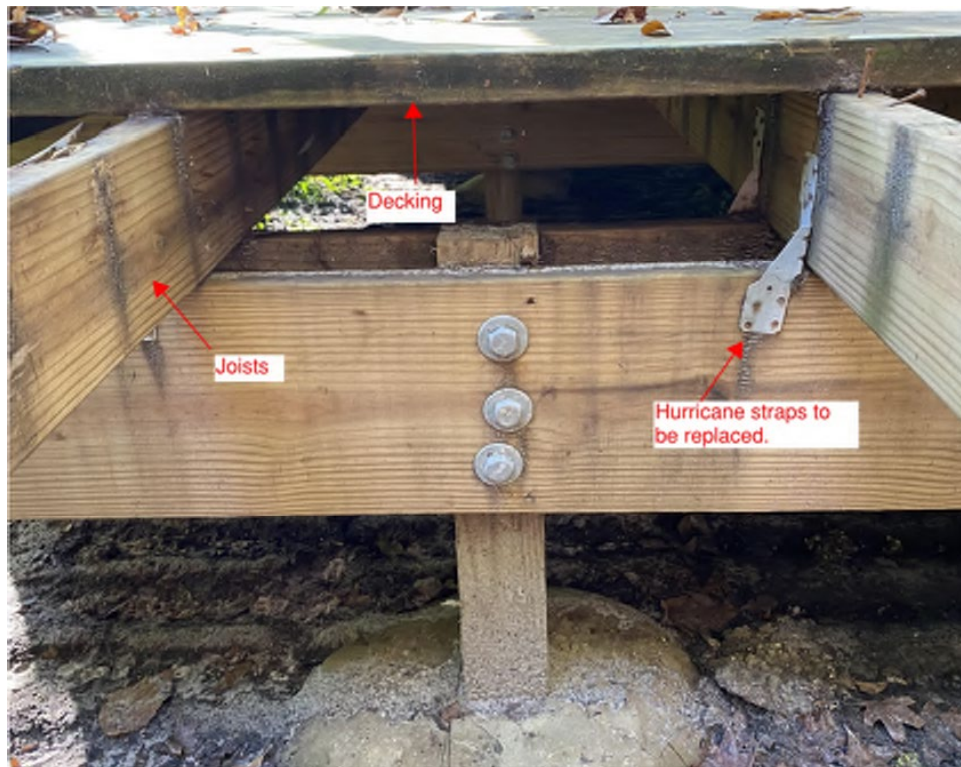


Figure C.

5. All decking, and top handrail shall be replaced with 2"x6" WearDeck™ (composite, HDPE reinforced with fiberglass in Weatherwood color). Decking boards shall end flush with the inside edge of structural posts and installed with the woodgrain side up. Fastener on the outer edge of new decking shall not be installed directly under the lower side rail to aid in replacement of damaged boards in the future.
6. All new sideboards (top and bottom) and approximately 190' of 2"x 4" boards (mainly where the metal handrail is attached) shall be ground contact, dense select structural .31CA-C treated Southern Yellow Pine.
7. All new joist, beam and post lumber shall be ground contact, dense select structural .60 CCA-C or .31CA-C treated Southern Yellow Pine.
8. The Bidder shall review the condition of the existing beams and posts with the City's Project Manager (or designee) to determine if replacement is necessary. This task may occur daily or on an as-needed basis.
9. Fasteners:
 - a. For pressure treated lumber the Bidder shall utilize Grip-Rite/Prime Guard Exterior Screws, 3"x#9 T-25 (or equal) in Tan or Green to match treated wood color. Color to be reviewed/approved by the City's Project Manager prior to the start of construction.

- b. For composite deck boards the bidder shall use Stainless Steel Composite Deck Screws countersunk so the head is flush with the surface of the board. The bidder shall use one of the brands recommended by the WearDeck™ Manufacturer: Starborn, Simpson Strong-Tie, Deckmate, TrapEase by Fasten Master, Tiger Claw, etc. Per WearDeck™, when face fastening a 2" board, use at a minimum, a #10 x 2 ¾.

See the WearDeck™ Product Information and Installation Guide for additional detail:

https://40804d5a-0b95-458f-9e0d-287f0b9f4d1d.filesusr.com/ugd/1269d6_dc38e763e20f42e6a742e0559a11c741.pdf

- c. Nails (with the exception of the wire fence nails) will not be permitted.
10. Hurricane straps/clips shall be replaced on those components being removed. Hurricane clips shall be Simpson Strong Tie H2.5AZ (or equal) and fastened with screws or nails as per product specifications and current Florida building codes. One hurricane clip shall be installed at every intersection between joists and beams.
 11. Existing carriage bolts and through bolts may be reused if they are deemed to be in acceptable condition (not rusted or otherwise deteriorated) by the City's Project Manager or designee.
 12. Existing black coated wire may be reused if it can be salvaged without damage. If the Bidder prefers to replace the black coated wire they must use 12.5 gauge HDG 2"X 4" welded wire core, primed, then coated wire.
 13. The existing metal handrail at the ramps shall be cleaned and reused.
 14. PPG ProLuxe Cetol SRD Wood Finish (Transparent Matte, SIK240) (or equal) shall be applied to all of the lumber that is to remain, including but not limited to the posts and beams. Surface preparation shall *only* include pressure washing. Application shall be per the manufacturer's guidelines.
 15. Outlast Q8 Log Oil (Clear) (or equal) shall be applied to the end cuts of the new pressure treated lumber, including but not limited to the new posts, joists, beams, and sideboards. Surface preparation and application shall be per the manufacturer's guidelines.
 16. City Nature Operations Staff will trim tree limbs and vegetation directly above the boardwalk prior to the start of the boardwalk reconstruction.
 17. The 3/4" PVC line running along the boardwalk shall remain. Any damage to the piping shall be repaired immediately.
 18. Any damage to the road, trail, gates, etc. shall be repaired promptly by the Bidder. All expenses in restoring the area to the original condition will be the responsibility of the Bidder.
 19. Any and all safety measures required for the completion of this project shall be the responsibility of the Bidder. This includes, but is not limited to, maintenance of traffic (MOT), signage, barricades, temporary fencing, etc.
 - a. If the Bidder chooses to use NW 8th Avenue or NW 16th Avenue for site access and if

6. The City will execute an owner direct purchase for the composite WearDeck™ material. The Bidder *shall* include the price of the WearDeck™ material in their bid, but the Bidder *shall not* include tax for this purchase. After execution of the agreement (with the low responsive, responsible bidder), the City will execute a deductive change order with the Bidder for the WearDeck™ material cost. The WearDeck™ material is the only owner direct purchase that is anticipated on this project.