

**#11904 INTERLOCAL AGREEMENT BETWEEN CITY OF GAINESVILLE AND
ALACHUA COUNTY REGARDING MULTIUSE TRAIL IMPROVEMENTS
AT SWEETWATER PRESERVE**

This AGREEMENT is entered into this _____ day of _____, 2021 by and between the City of Gainesville, a Florida municipal corporation (“City”), and Alachua County, a charter county and a political subdivision of the State of Florida, by and through its Board of County Commissioners (hereinafter referred to as the “County”).

WITNESSETH:

WHEREAS, Chapter 163, Florida Statutes, authorizes public agencies, including cities and counties, to enter into agreements to jointly exercise the power, privilege, or authority they share in common and which each might exercise separately; and

WHEREAS, the City and County wish to coordinate the construction of recreational facilities of the City and County in order to provide more fully for the recreational needs of the citizens of the City and County at the least expense; and

WHEREAS, the County desires to make improvements to its Sweetwater Preserve Trailhead at 309 SE 16th Avenue, shown in Exhibit A, for use and benefit of the general public, while retaining control of these facilities; and

WHEREAS, the City is willing and able to reimburse the County for immediate City multiuse trail improvements at the main entrance to Sweetwater Preserve under the County’s contract with BBI Construction Management, Inc.

NOW THEREFORE, in consideration of the mutual benefits, and the covenants and agreement herein contained, the parties agree as follows:

1. **Term.** This Agreement shall take effect upon execution and shall remain in effect unless terminated in accordance with paragraph 5, below.
2. **City’s Responsibilities.** The City shall reimburse the County for the multiuse trail improvements consisting of a raised speed table crosswalk and a ten (10) foot wide sidewalk, which cross the main entrance to Sweetwater Preserve, according to Exhibit A, attached hereto and incorporated, in an amount not to exceed \$18,244.08.
3. **County’s Responsibility.** The County shall conduct procurement and oversee construction of the multiuse trail improvements described in Section 2 and as shown on Exhibit A through completion as part of the County’s Sweetwater Preserve LID Parking Area Project.

4. **Liability.** The Parties shall each be responsible for any and all risks of personal injury and property damage attributable to the acts or omissions of their own officers, employees, servants and agents. Nothing in this Agreement shall be interpreted as a waiver of either party's sovereign immunity under law. Neither Party agrees to indemnify the other.

5. **Default and Termination.** The failure of either party to comply with any provision of this Agreement shall place such party in default. Prior to terminating this agreement, the non-defaulting party shall notify the defaulting party in writing, making specific reference to the provision which gave rise to the default. The defaulting party shall then be entitled to a period of 15 calendar days in which to cure the default. In the event the default is not cured within the 15 calendar day period, this agreement may be terminated.

6. **Notices.** Except as otherwise provided herein, any notice of default or termination, from either party to the other party shall be in writing and sent by certified mail, return receipt requested or personally delivered with signed proof of delivery. The City's and County's representatives are:

City: Elizabeth D. Waite, P.E.
Director of Wild Spaces & Public Places
Parks, Recreation & Cultural Affairs Dept.
PO Box 490, Station 24
Gainesville, FL 32627

County: Evan Shane Williams, PhD, P.E.
Stormwater Engineer
Environmental Protection Department
408 W. University Ave Suite 106
Gainesville, FL 32601

7. **Amendments.** This Agreement may be amended by mutual written agreement of the parties and may be changed only by such written amendment.

8. **Laws and Regulations.** The parties will comply with all laws, ordinances, regulations, and building code requirements applicable to the work required by this agreement. The parties are presumed to be familiar with all state and local laws, ordinances, code rules and regulations that may in any way affect the work outlined in this agreement. If either party is not familiar with state and local laws, ordinances, code rules and regulations, the party remains liable for any violation and all subsequent damages or fines.

9. **Assignment.** The parties shall not assign, convey, pledge, sublet, or otherwise dispose of, any interest in this agreement and shall not transfer any interest in same, whether by assignment or notation, without the prior written consent of the other party.

10. **Third Party Beneficiaries.** This Agreement does not create any relationship with, or any rights in favor of, any third party.

11. **Severability.** If any provision of this Agreement is declared void by a court of law, all other provisions will remain in full force and effect.

12. **Non Waiver.** The failure of either party to exercise any right in this Agreement will not waive such right in the event of any further default or non-compliance.

13. **Captions and Section Headings.** Captions and section headings used herein are for convenience only and shall not be used in construing this Agreement.

14. **Construction.** This Agreement shall not be construed more strictly against one party than against the other merely by virtue of the fact that it may have been prepared by one of the parties. It is recognized that both parties have substantially contributed to the preparation of this Agreement.

15. **Governing Law and Venue.** This Agreement is governed in accordance with the laws of the State of Florida. Venue is in Alachua County.

16. **Attachments.** All exhibits attached to this Agreement are incorporated into and made part of this agreement by reference.

17. **Entire Agreement.** This Agreement constitutes the entire agreement and supersedes all prior written or oral agreements, understandings, or representations.

18. **Recording of Agreement.** The City, upon execution of this Agreement by all parties, shall record this Interlocal Agreement in the public records of Alachua County, Florida.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed for the uses and purposes expressed herein, on the day and year first above written.

ATTEST:

ALACHUA COUNTY, FLORIDA

J.K. "Jess" Irby, Esq., Clerk

Ken Cornell, Chair

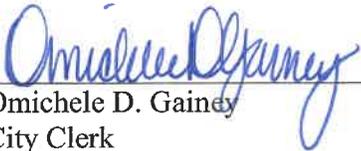
Date: _____

APPROVED AS TO FORM:

Alachua County Attorney's Office

ATTEST:

CITY OF GAINESVILLE



Omichele D. Gainey
City Clerk



Lauren Poe, Mayor

Date: 7/2/21

APPROVED AS TO FORM AND LEGALITY:

David C. Schwartz
David C. Schwartz (Aug 30, 2021 09:51 EDT)

City Attorney

wood

4
 1000 N. GULF BLDG. #1000
 SUITE 1000
 TAMPA, FL 33602
 TEL: 813.241.1000
 FAX: 813.241.1001
 WWW.WOODGROUP.COM

**SWEETWATER PRESERVE
 LID PARKING AREA
 PROJECT**



DATE	DESCRIPTION

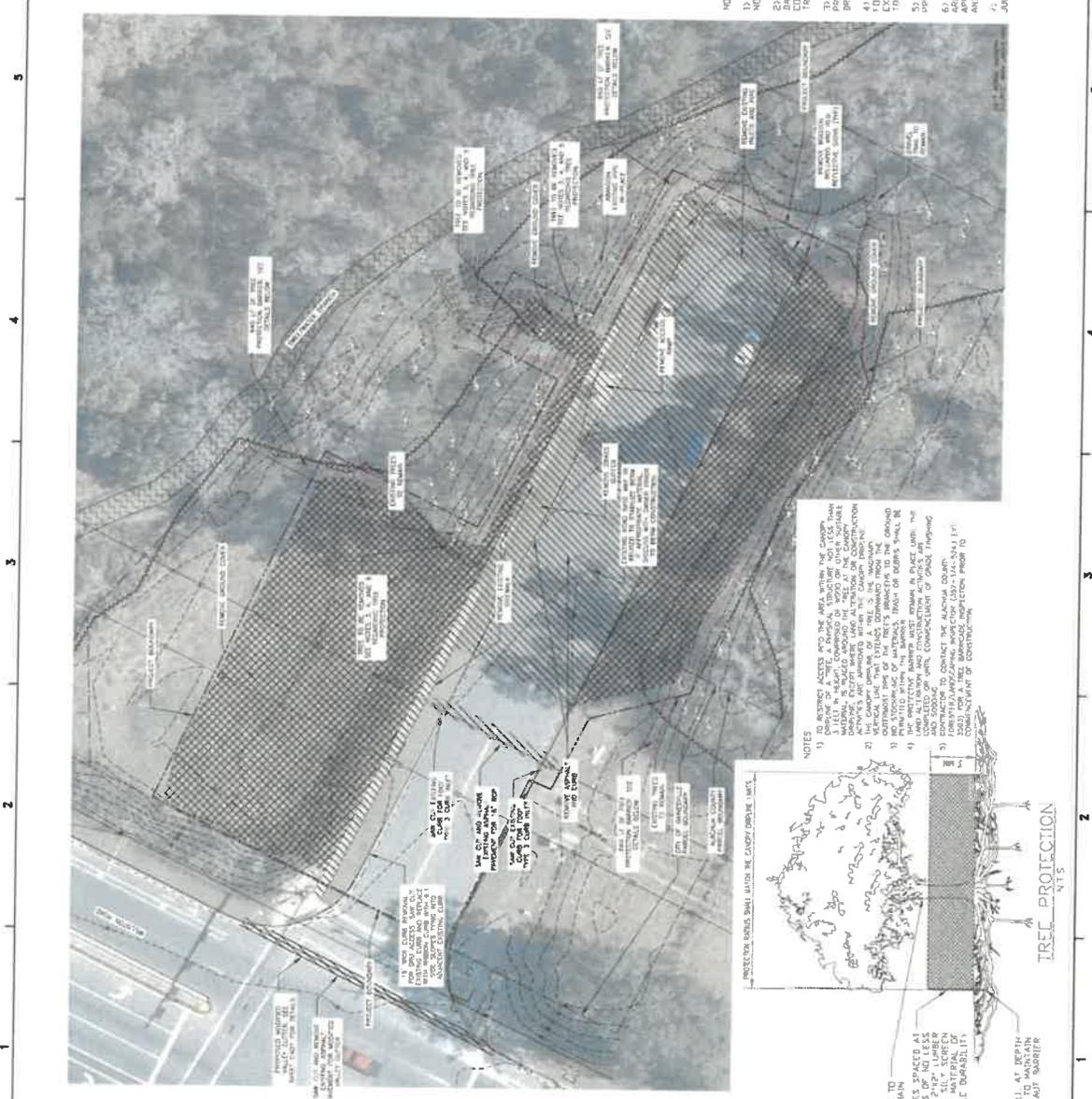
DATE	DESCRIPTION

**DEMOLITION
 PLAN**

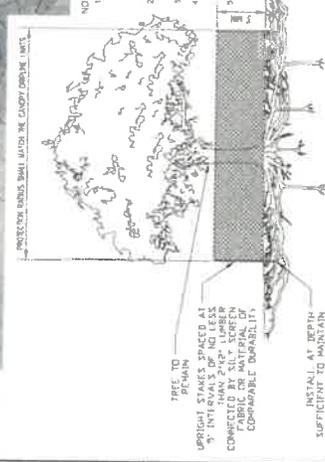
V	C202
---	------

LEGEND

- PROJECT AREA
- PARCEL BOUNDARY
- TREE LINE
- EXISTING FENCE
- ONE/HEAD UTILITIES
- REINFORCED CONCRETE RIFE
- EXISTING CONTOURS
- EXISTING SITE FEATURE
- SWEETWATER BRANCH
- ASPHALT, PAVEMENT, AND CURB REMOVAL
- GROUND COVER REMOVAL
- WETLAND BOUNDARY
- TREE PROTECTION BARRIER



- NOTES**
- 1) ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITIES AND ACCESS ROADS. THE CONTRACTOR SHALL KEEP ACCESS ROADS FREE OF SOIL TRACKING AND DEBRIS.
 - 3) BE SIGNARIES CAN BE FIELD THROUGHOUT THE PROJECT AREA SEE SIGNED AND SEALED SURVEY DRAWINGS FOR DETAILS.
 - 4) CONTRACTOR TO CONTACT ALACHUA COUNTY ENGINEERING DEPARTMENT FOR INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - 5) TREES AND NATIVE VEGETATION WILL BE PRESERVED INSIDE THE TREE PROTECTION BARRIER.
 - 6) TREE REMOVAL MAY BE NECESSARY IN SPW AREAS; HOWEVER CONTRACTOR SHALL RECEIVE APPROVAL FROM THE ALACHUA COUNTY LAND CONSERVATION AND MANAGEMENT TRIP TO REMOVING ANY TREES.
 - 7) SEE LAND BOUNDARY SURVEY: A-10434-A COUNTY, JULY 2019.



- NOTES**
- 1) CONSTRUCTION ACTIVITIES AND THE AREA WITHIN THE CANOPY SHALL BE LIMITED TO A MAXIMUM OF 50% OF THE CANOPY AREA. ALL OTHERS SHALL BE PROHIBITED. EXCEPT WHERE SHOWN OTHERWISE ON CONSTRUCTION DRAWINGS.
 - 2) THE CANOPY AREA OF A TREE IS THE HORIZONTAL OUTLINE OF THE TREE'S BRANCHES TO THE GROUND.
 - 3) THE PROTECTIVE BARRIER SHALL BE INSTALLED TO THE GROUND AND SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE BARRIER. THE CONTRACTOR SHALL CONTACT THE ALACHUA COUNTY ENGINEERING DEPARTMENT FOR INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

wood

WOOD CONSULTANTS
1000 N. GULF BLVD., SUITE 100
TALLAHASSEE, FL 32301
TEL: 904.244.1100
WWW.WOODCONSULTANTS.COM

DATE: 07/20/2015
PROJECT: SWEETWATER PRESERVE LID PARKING AREA
DRAWN BY: J. B. WOOD
CHECKED BY: J. B. WOOD
SCALE: AS SHOWN

SWEETWATER PRESERVE LID PARKING AREA PROJECT



DATE: 07/20/2015

Table with 2 columns: Description, Date. Includes entries for 'SWEETWATER PRESERVE LID PARKING AREA PROJECT' and 'SWEETWATER PRESERVE LID PARKING AREA PROJECT'.

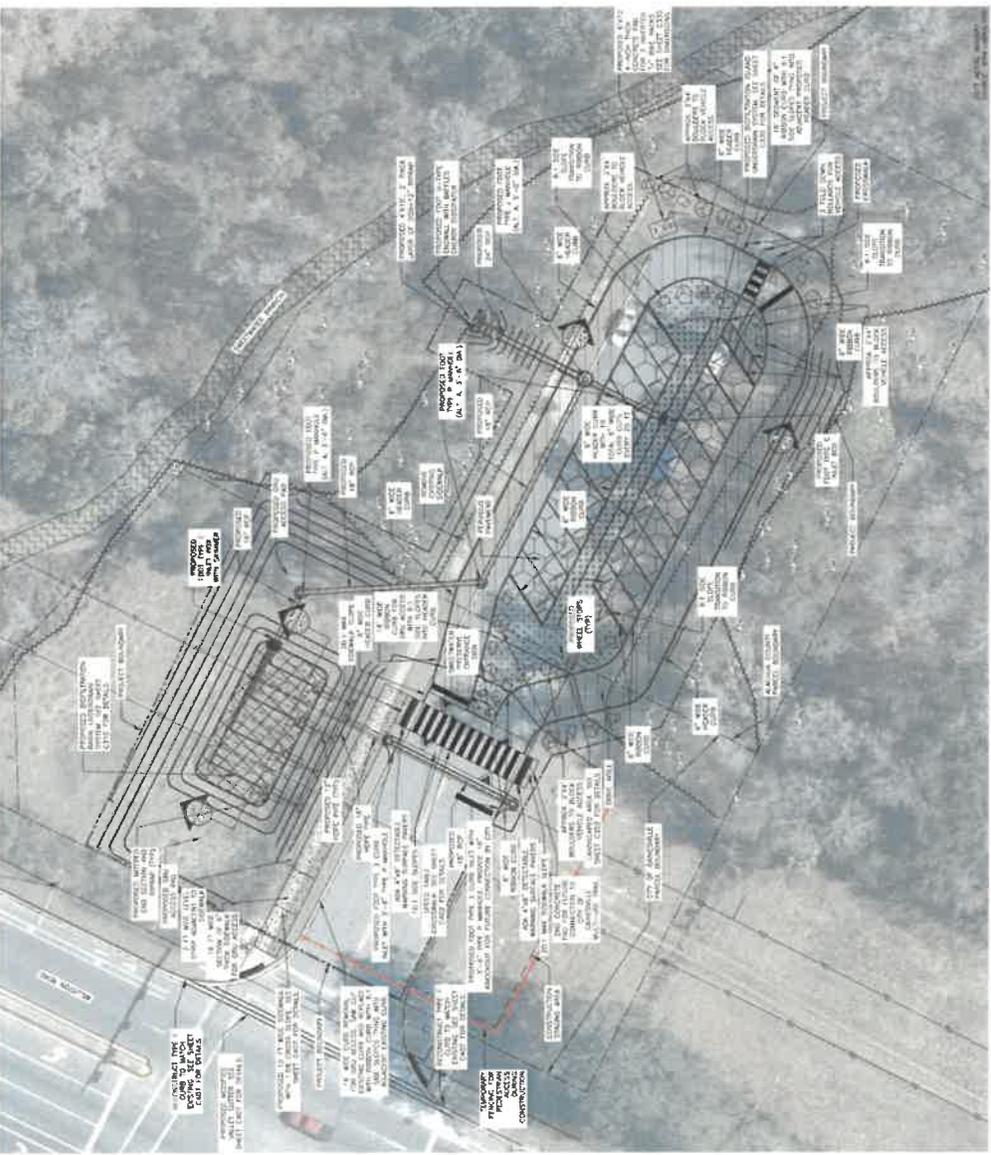
Table with 2 columns: Description, Date. Includes entries for 'SWEETWATER PRESERVE LID PARKING AREA PROJECT' and 'SWEETWATER PRESERVE LID PARKING AREA PROJECT'.

PROPOSED SITE PLAN

C204

LEGEND

- PROJECT AREA
- PARCEL BOUNDARY
- TREE LINE
- EXISTING FENCE
- OVERHEAD UTILITIES
- PROPOSED DRAINAGE PIPE
- PROPOSED CONTOURS
- SWEETWATER BRANCH
- WETLAND BOUNDARY
- CITY TRAIL
- BIOFILTRATION RASH
- BIOPERMEABLE PAVEMENT
- BIOFILTRATION ISLAND
- GREEN SPACE
- PERVIOUS PAVEMENT
- URINAL ASILE
- BOULDER LOCATION
- TEMPORARY FENCE



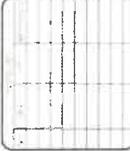
- NOTES:
- ELEVATIONS SHOWN HEREIN ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STAGING AREAS AND ACCESS ROADS, THE STAGING AND DEBRIS.
 - PROPOSED PARKING AREAS SHALL BE CONSTRUCTED TO PROJECT AREA SEE SIGNED AND SEALED SURVEY DRAWINGS FOR DETAILS.
 - CONTRACTOR TO CONTACT ALACHUA COUNTY FORESTER/LANDSCAPING INSPECTOR (352-374-5843) FOR APPROVAL OF CONSTRUCTION.
 - PROTECT AND MAINTAIN VEGETATION TO BE PRESERVED INSIDE THE TREE PROTECTION BARRICADE.
 - TREE REMOVAL MAY BE NECESSARY IN SOME AREAS. HOWEVER CONTRACTOR SHALL RECEIVE APPROVAL FROM THE OFFICE OF LAND CONSERVATION AND MANAGEMENT PRIOR TO REMOVING ANY TREES.
 - WETLAND BOUNDARY SOURCE: ALACHUA COUNTY, JULY 2015.
 - NO TRAFFIC EQUIPMENT, BARRIS, ETC. ON PERVIOUS PAVING" AFTER INSTALLATION TO AVOID CLOGGING.

wood.

WOOD GROUP, INC. 10000
SUNSHINE BLVD. SUITE 100
DUNEDIN, FL 33515
TEL: 813.255.1000
WWW.WOODGROUP.COM

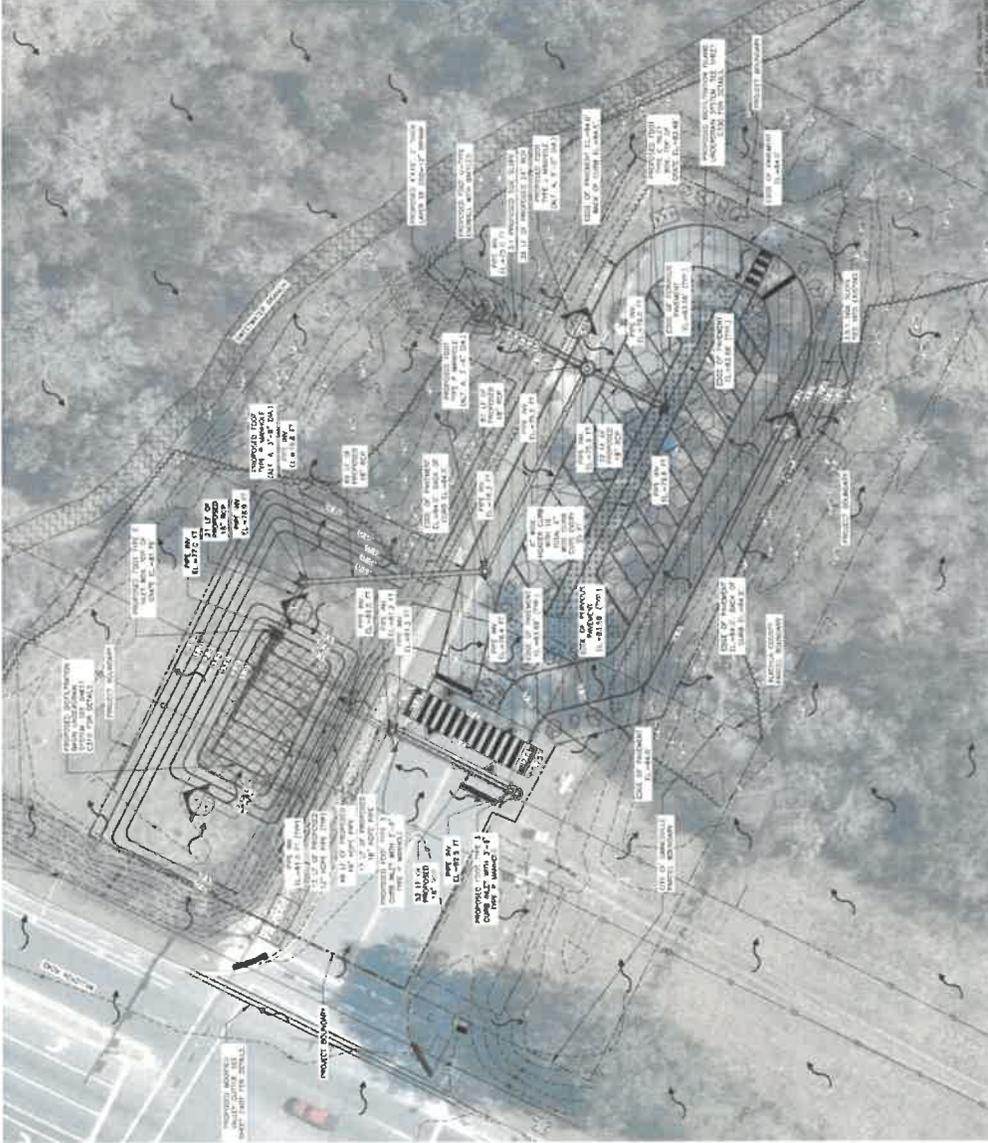
PROJECT AREA
PARCEL BOUNDARY
TREC LINE
EXISTING FENCE
OVERHEAD UTILITIES
PROPOSED DRAINAGE PIPE
EXISTING CONTOURS
PROPOSED CONTOURS
SWEETWATER BRANCH
WETLAND BOUNDARY
CITY TRAIL
BIOFILTRATION BASIN
RIPRAP
BIOFILTRATION ISLAND
GREEN SPACE
PERVIOUS PAVEMENT
PROPOSED DRAINAGE DIRECTION
DRIVE ASYL
BOULDER LOCATION

SWEETWATER PRESERVE LID PARKING AREA PROJECT

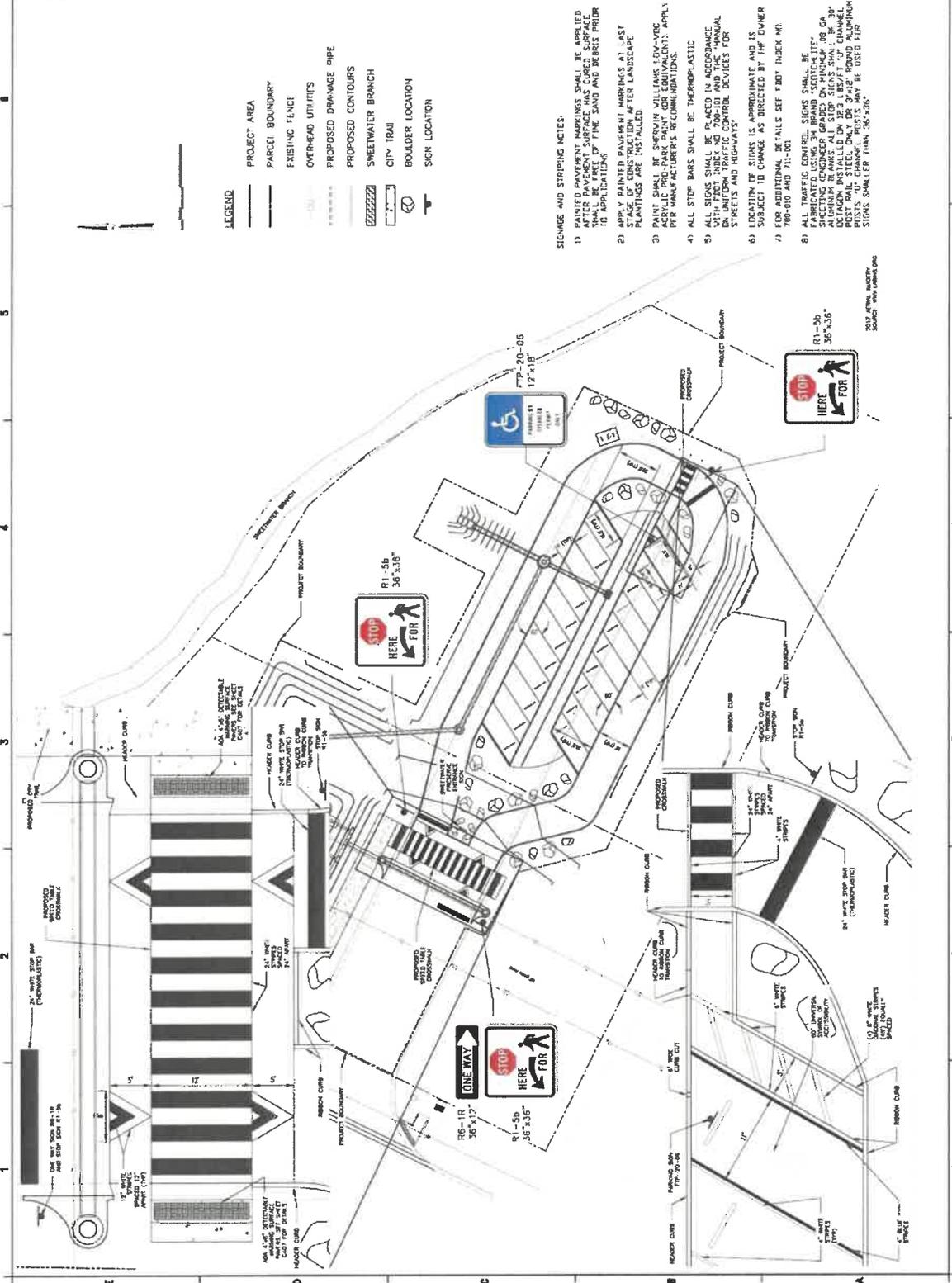


GRADING & DRAINAGE PLAN

C205

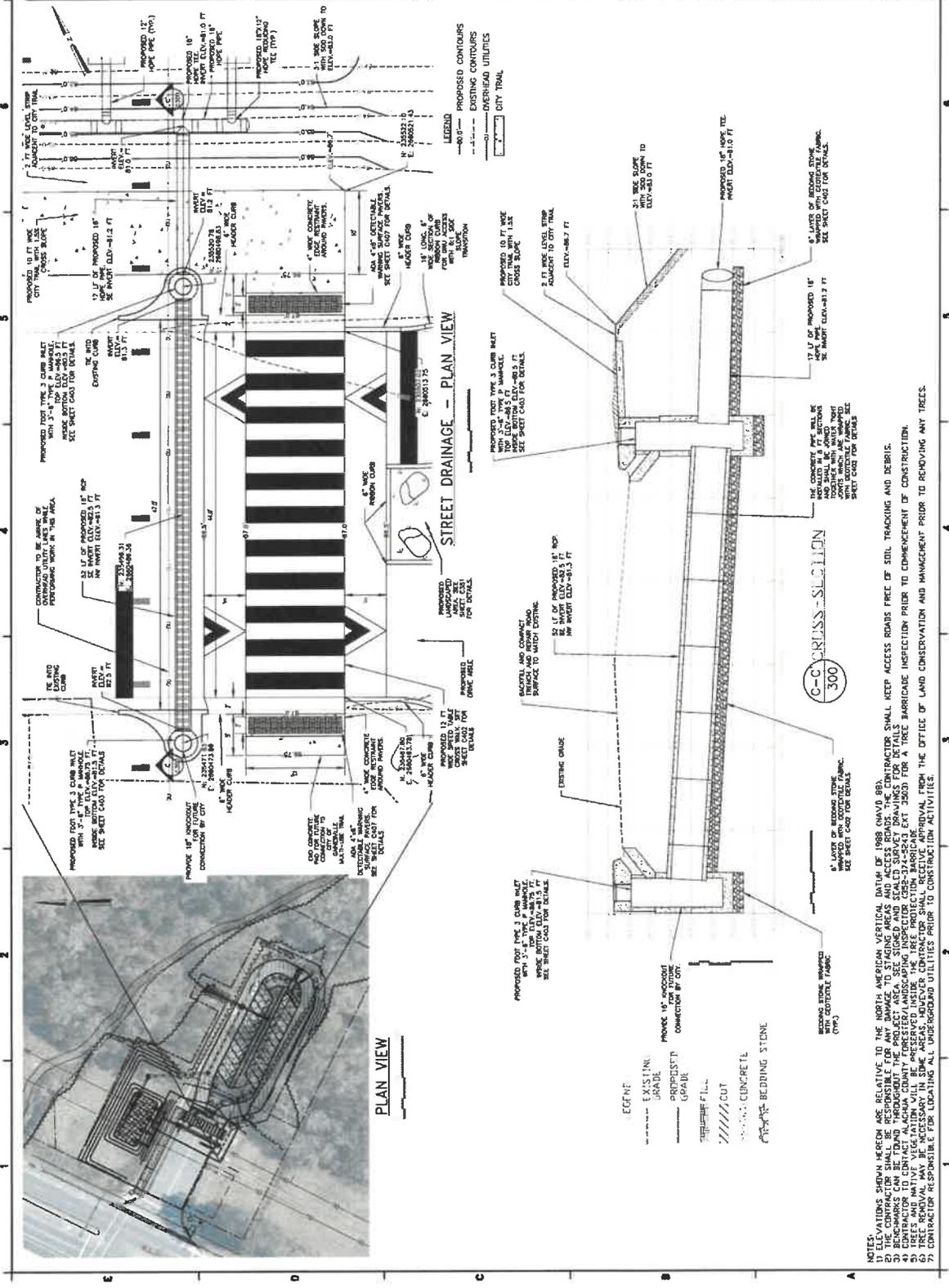


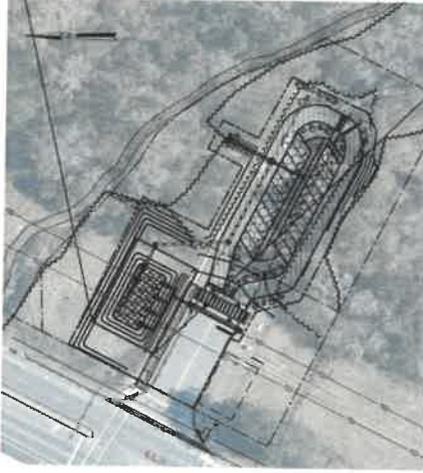
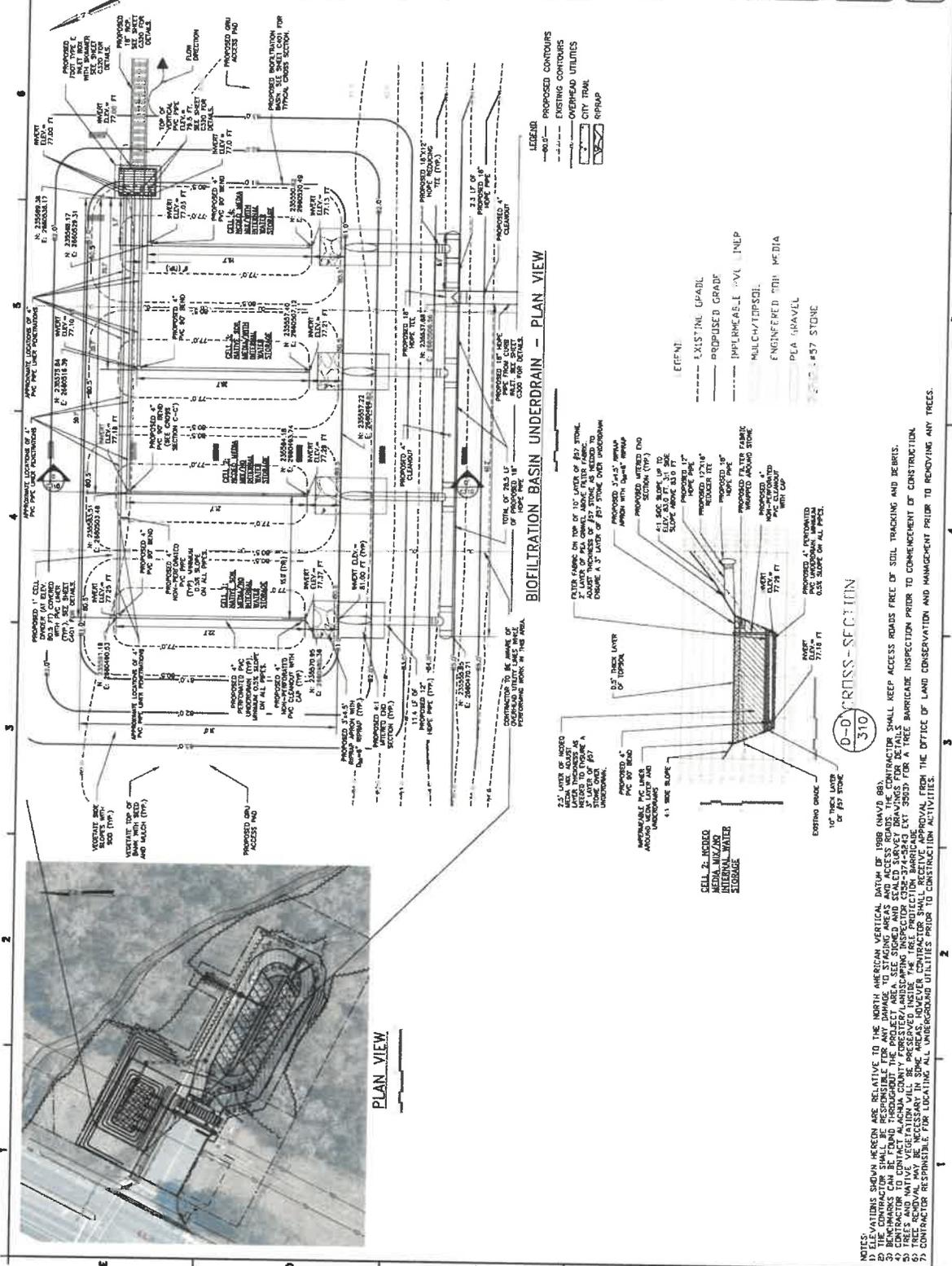
- NOTES**
- ELEVATIONS SHOWN HEREIN ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STAGING AREAS AND ACCESS ROADS. THE CONTRACTOR SHALL MAINTAIN SAFE ACCESS ROADS FREE OF SOIL TRACKING AND DEBRIS.
 - REMARKS CAN BE FOUND THROUGHOUT THE PROJECT AREA. SEE SIGNED AND SEALED SURVEY DRAWINGS FOR DETAILS.
 - CONTRACTOR TO CONTACT ALACHUA COUNTY FORESTER/LANDSCAPING INSPECTOR (352-374-3543) FOR PERMITS AND INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - TREES AND NATIVE VEGETATION SHALL BE PRESERVED INSIDE THE "TREE PROTECTION BARRICADE AREAS. TREE REMOVAL MAY BE NECESSARY IN SOME AREAS. HOWEVER CONTRACTOR SHALL RECEIVE APPROVAL FROM THE OFFICE OF LAND CONSERVATION AND WILDLIFE PRIOR TO REMOVING ANY TREES.
 - WETLAND BOUNDARY SOURCE: ALACHUA COUNTY (JULY 2013)
 - DO NOT REMOVE ANY TREES, ROCKS, ETC. IN PREVIOUS PAVED/PAVED-IN AREAS UNLESS SOILOS CLONING.



- LEGEND**
- PROJECT AREA
 - PARCEL BOUNDARY
 - EXISTING FENCE
 - OVERHEAD UTILITIES
 - PROPOSED DRAINAGE PIPE
 - PROPOSED CONTOURS
 - SWEETWATER BRANCH
 - CITY TRAIL
 - BOULDER LOCATION
 - SIGN LOCATION

- SIGNAGE AND STRIPING NOTES:**
- 1) PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS
 - 2) APPLY PAINTED PAVEMENT MARKINGS AT LEAST 72 HOURS PRIOR TO LANDSCAPE PLANTINGS ARE INSTALLED
 - 3) PAINT SHALL BE SUPERPAVEMENT TYPE 150-MPG ACRYLIC PRE-PARK PAINT OR EQUIVALENT. APPLY PER MANUFACTURER'S RECOMMENDATIONS.
 - 4) ALL STOP BARS SHALL BE THERMOPLASTIC
 - 5) ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH TYPICAL INDEX NO. 700-100 AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"
 - 6) LOCATION OF SIGNS IS APPROXIMATE AND IS SUBJECT TO CHANGE AS DIRECTED BY THE OWNER
 - 7) FOR ADDITIONAL DETAILS SEE FIDY INDEX NO. 700-000 AND 711-001
 - 8) ALL TRAFFIC CONTROL SIGNS SHALL BE SELECTING CONSUMER GRADES ON HUNTERDUG OR CALIFORNIA BRANDS. ALL STOP SIGNS SHALL BE 30" POST WALL STEEL ONLY OR 30" X 42" ROAD ALUMINUM POSTS 40" CHANNEL POSTS MAY BE USED FOR SIGNS SMALLER THAN 36" X 36"

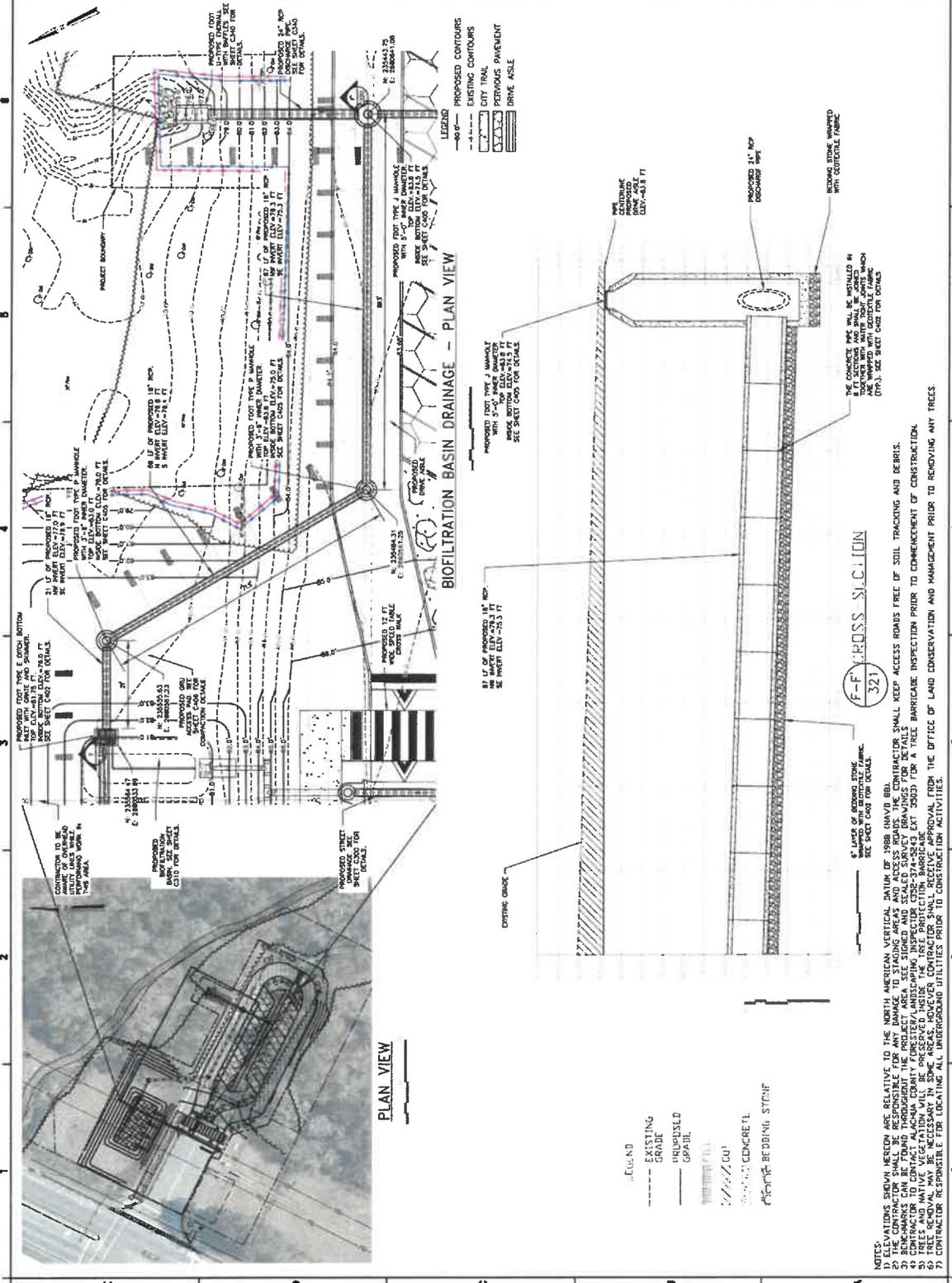




PLAN VIEW

D-D CROSS-SECTION

- NOTES:
- 1) ELEVATIONS SHOWN HEREIN ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - 2) CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STAGING AREAS AND ACCESS ROADS FREE OF SOIL TRACKING AND DEBRIS.
 - 3) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - 4) CONTRACTOR TO CONTACT ALABAMA COUNTY FORESTER/ANNUATING INSPECTOR FOR TREE PROTECTION BARRICADE SET-UP FOR A TREE PROTECTION BARRICADE.
 - 5) TREE REMOVAL MAY BE NECESSARY FOR THE PROTECTION OF UTILITIES. CONTRACTOR SHALL OBTAIN PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - 6) CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
 - 7) CONTRACTOR RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.



1 2 3 4 5

PLAN VIEW

BIOFILTRATION BASIN DRAINAGE - PLAN VIEW

F-F CROSS SECTION

LEGEND

NOTES:

- 1) ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STAGING AREAS AND ACCESS ROADS. THE CONTRACTOR SHALL KEEP ACCESS ROADS FREE OF SOIL TRACKING AND DEBRIS.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 4) CONTRACTOR TO CONTACT ALACHUA COUNTY FORESTER/INSPECTOR (352-374-2843 EXT. 3903) FOR A TREE PROTECTION BARRICADE.
- 5) TREES AND NATIVE VEGETATION WILL BE PRESERVED INSIDE THE TREE PROTECTION BARRICADE.
- 6) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO CONSTRUCTION.
- 7) CONTRACTOR RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.

CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO CONSTRUCTION.

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

PROPOSED 12" RCP DRAINAGE PIPE WITH 2" RCP ACCESS ROAD SEE SHEET C320 FOR DETAILS

wood.

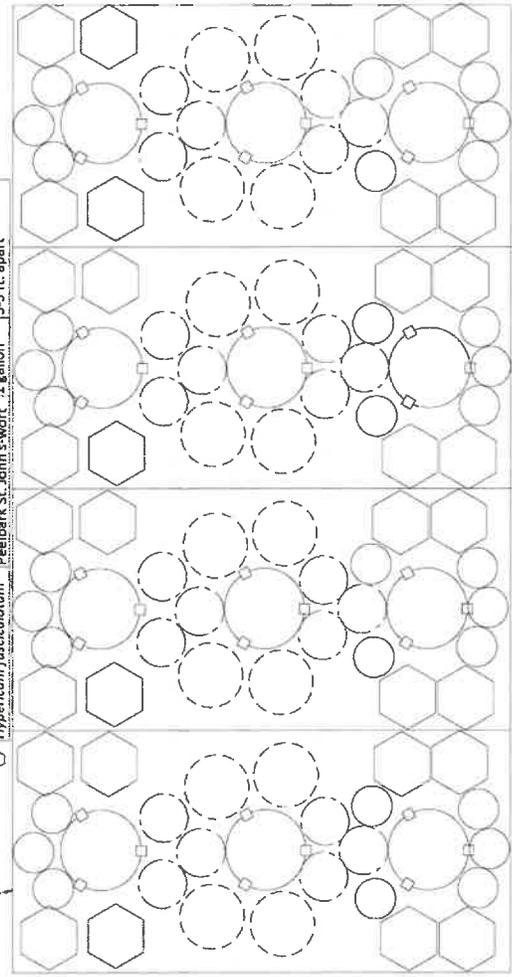


Scientific Name	Common Name	Plant Size	Optimal Planting Density
<i>Spartina Bakeri</i>	Sand Cordgrass	1 gallon	3-4 ft. apart
<i>Itea virginica</i>	Virginia Sweetshrub	3 gallon	3-3.5 ft. apart
<i>Asclepias incarnata</i>	Swamp Milkweed	1 gallon	2-3 ft. apart
<i>Tripsacum dactyloides</i>	Fakahatchee Grass	1 gallon	3-5 ft. apart
<i>Conoclinium coelestinum</i>	Blue Mistflower	1 gallon	2-3 ft. apart
<i>Hypericum fasciculatum</i>	Peelbark St. John's wort	1 gallon	3-5 ft. apart

BIOFILTRATION BASIN
CELLS. SEE SHEET C310
FOR DETAILS.



NOTE:
EACH CELL MUST BE
DESIGNED TO BE AS
POSSIBLE FOR CONTINUITY IN
RESEARCH APPLICATIONS



**SWEETWATER
PRESERVE
LID PARKING AREA
PROJECT**



DATE	10/1/2010
PROJECT	SWEETWATER PRESERVE LID PARKING AREA PROJECT
CLIENT	WOOD GROUP
DESIGNER	WOOD GROUP
SCALE	AS SHOWN

PROJECT NO.	1000000000
DATE	10/1/2010
PROJECT	SWEETWATER PRESERVE LID PARKING AREA PROJECT
CLIENT	WOOD GROUP
DESIGNER	WOOD GROUP
SCALE	AS SHOWN

**BIOFILTRATION BASIN
PLANTING PLAN**

C350

wood.

11100 Woodloch Forest Dr.
 Suite 100
 Charlotte, NC 28227
 Phone: 704.542.1111
 Fax: 704.542.1112
 www.woodgroup.com

11100 Woodloch Forest Dr.
 Suite 100
 Charlotte, NC 28227
 Phone: 704.542.1111
 Fax: 704.542.1112
 www.woodgroup.com

**SWEETWATER PRESERVE
 LID PARKING AREA
 PROJECT**



DATE: 10/18/2017
SCALE: 1" = 10'
PROJECT: SWEETWATER PRESERVE LID PARKING AREA PROJECT
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: 10/18/2017

PROJECT NO: 17-0000
DATE: 10/18/2017
SCALE: 1" = 10'
PROJECT: SWEETWATER PRESERVE LID PARKING AREA PROJECT
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: 10/18/2017

**BIOFILTRATION ISLAND
 PLANTING PLAN**

C351

Scientific Name	Common Name	Plant Size	Spacing
<i>Helianthus angustifolius</i>	Swamp Sunflower	1 gallon	2-3 ft. apart
<i>Heliotropium angiospermum</i>	Scorpion-tail	1 gallon	2-4 ft. apart
<i>Asclepias tuberosa</i>	Butterfly Weed	1 gallon	1-2 ft. apart
<i>Muhlenbergia capillaris</i>	Muhly Grass	1 gallon	2-3 ft. apart

[Dotted pattern]	Scorpion-tail
[Cross-hatch pattern]	Butterfly Weed and Swamp Sunflower
[Diagonal lines]	Muhly Grass
[Blank]	Landscaped Area



SEE PLAN OF ISLAND SET SHEET 2.370 FOR DETAILS



wood.

WOODS AND WATERS
 1000 WOODS DRIVE
 SUITE 100
 WOODBRIDGE, VA 22191
 (703) 595-1000
 WWW.WOODSANDWATERS.COM

DATE: 10/15/17
 DRAWN BY: P. J.
 CHECKED BY: M. J.
 PROJECT NO: W-17-002

**SWEETWATER
 PRESERVE
 LID PARKING AREA
 PROJECT**



DATE: 10/15/17

NO.	DATE	DESCRIPTION

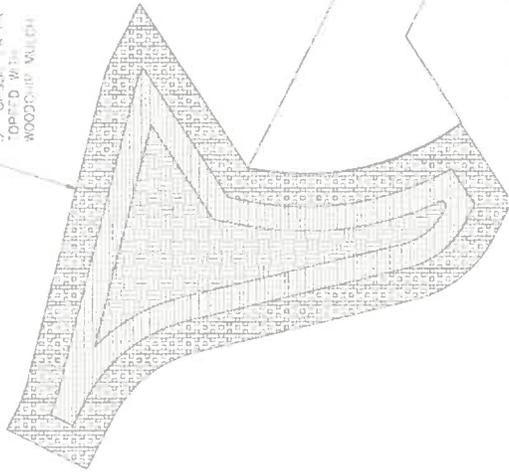
DATE: 10/15/17	SCALE: 1" = 10'-0"
DRAWN BY: P. J.	CHECKED BY: M. J.

SHEET TITLE:
**LANDSCAPED AREA
 PLANTING PLAN**

PROJECT NUMBER:
C352

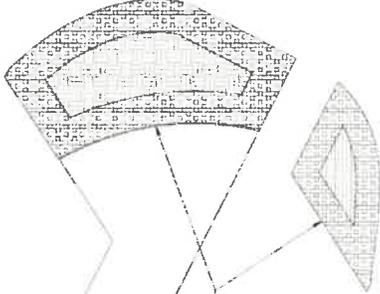


3" LIMESTONE BOULDER
 WOODCHIP MULCH



Limestone Boulder
Blue Porterweed and Firebush
Fringetree and Saw Palmetto
Biofiltration Island

3" LIMESTONE BOULDER
 WOODCHIP MULCH



Scientific Name	Common Name	Plant Size	Spacing
<i>Hamelia patens</i>	Firebush	1 gallon	2-3 ft. apart
<i>Zamia integrifolia</i>	Coontie	1 gallon	1-2 ft. apart
<i>Stachytarpheta jamaicensis</i>	Blue Porterweed	1 gallon	3-4 ft. apart
<i>Chionanthus virginicus</i>	Fringetree	3 gallon	10-12 ft. apart
<i>Serenoa Repens</i>	Saw Palmetto	3 gallon	3-5 ft

wood.

424 SW 40TH TERRACE
 NEWBERY, FL 32669
 TEL: (904) 332-3278
 AUTHORIZED LICENSE
 NUMBER: 5387

SEAL: A. K. P. S.
 LICENSE NO. 100000000
 PROJECT NO. 100000000

PROJECT:
**SWEETWATER
 PRESERVE
 LID PARKING AREA
 PROJECT**

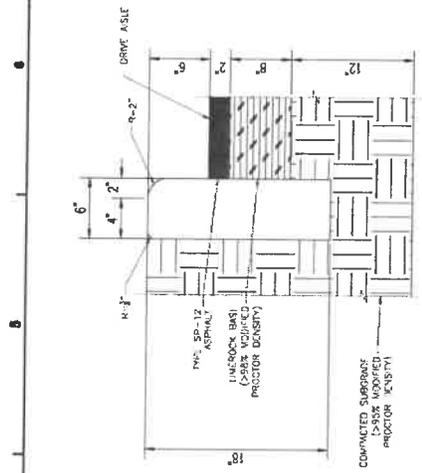


WOOD PROJECT NO.
 005-18-0312

DATE: 10/11/11
 DRAWN BY: JLD
 CHECKED BY: JLD
 PROJECTED BY: JLD
 DATE: 10/11/11

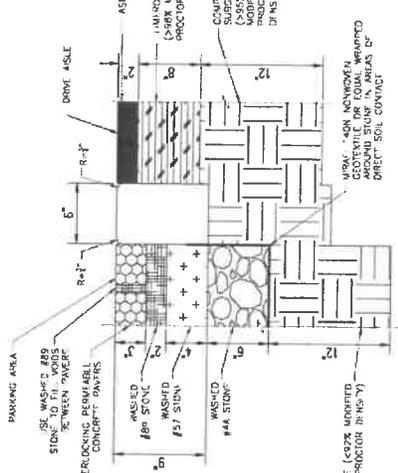
SHEET TITLE:
TYPICAL DETAILS III

SHEET NUMBER: 10 OF 27
 C403
 DATE: 10/11/11



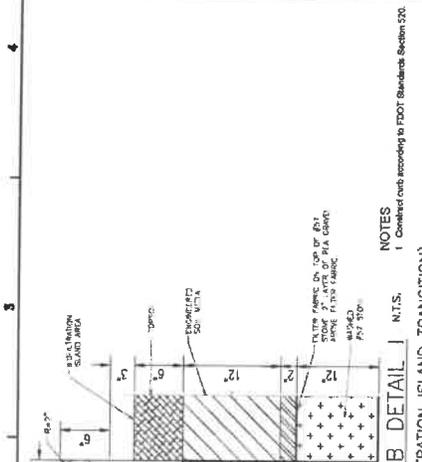
HEADER CURB DETAIL II
 (OUTER EDGE OF DRIVE AISLE)
 N.T.S.

NOTES
 1. Construct curb according to FDOT Standard Section 520



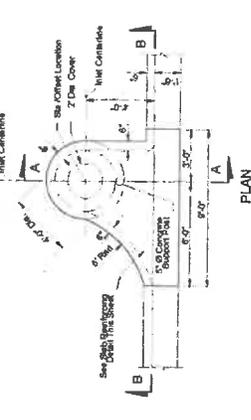
RIBBON CURB DETAIL
 (PERVIOUS PARKING TO DRIVE AISLE TRANSITION)
 N.T.S.

NOTES
 1. Construct curb according to FDOT Standard Section 520



HEADER CURB DETAIL I
 (PERVIOUS PARKING TO BIOFILTRATION ISLAND TRANSITION)
 N.T.S.

NOTES
 1. Construct curb according to FDOT Standard Section 520



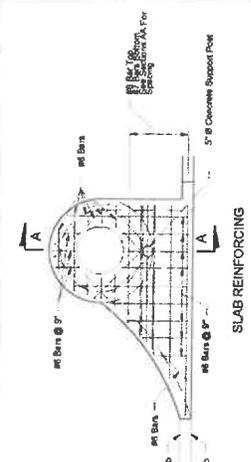
REINFORCING SECTION
 3" DIA. STRUCTURE BOTTOM (SECTION AA)
 N.T.S.



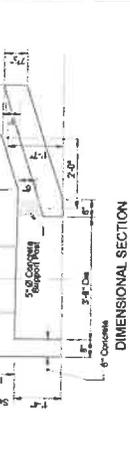
REINFORCING SECTION
 3" DIA. STRUCTURE BOTTOM (SECTION AA)
 N.T.S.



REINFORCING SECTION
 3" DIA. STRUCTURE BOTTOM (SECTION AA)
 N.T.S.



SLAB REINFORCING
 N.T.S.



SLAB REINFORCING
 N.T.S.



SLAB REINFORCING
 N.T.S.

- GENERAL NOTES**
- The finished grade and slope of the pad base is in conformance with the finished curb slope and grade of the proposed sidewalk and border.
 - As shown, inlet top shall have 1/2" maximum slope towards sidewalk.
 - For pervious curb the rear wall and apron may be placed as a concrete curb with a 1/2" maximum slope towards sidewalk.
 - CONSTRUCTION JOINTS shall be in accordance with Item No. 201 (OPTIONAL).
 - Only round concrete support curb will be acceptable.
 - For structure bottom see Item No. 200.

wood.

404 SW 140TH CIRCUMFERENCE
 MIAMI, FL 33186
 TELEPHONE: 305.444.1100
 FAX: 305.444.1101
 WWW.WOODGROUP.COM
 AUTHORIZED LICENSE
 NUMBER: 33587

STATE: FL
 PROJECT: SWEETWATER
 PARKING AREA
 LID PARKING AREA
 PROJECT



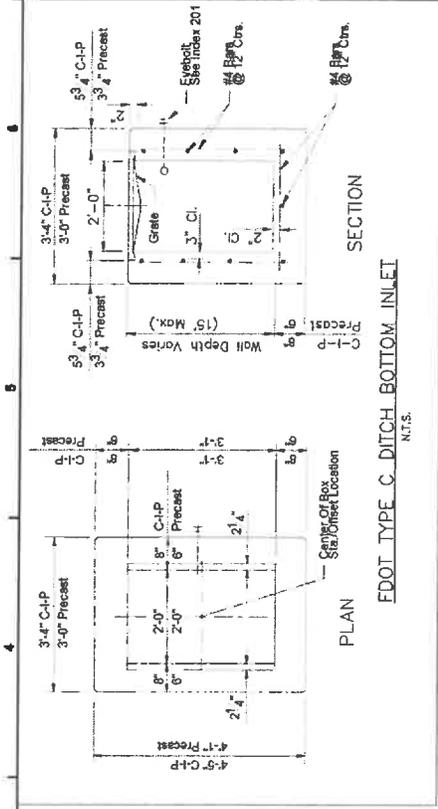
WOOD PROJECT No.: 093-18-032

DATE	BY	APP'D

CHECKED BY: JLD
 DATE: 07/27/09
 APPROVED BY: SJA
 DATE: 07/27/09

SHEET TITLE
 TYPICAL DETAILS IV

SCALE: AS SHOWN
 C404
 SHEET NO. 28 OF 19



DIMENSIONS AND QUANTITIES FOR BAFFLES

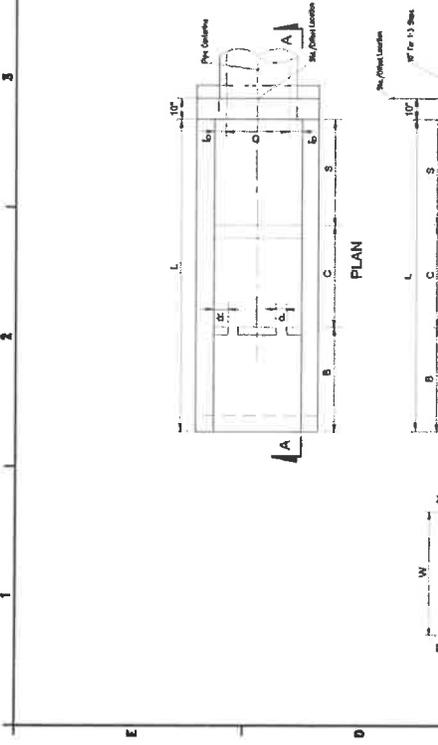
Pipe Size D	X Baffle P	Y Baffle W	Height H	Length L	Bar M	Bar N	Class I Reinfr. Concrete Cu. Yd.	Class II Reinfr. Steel Lbs
24"	5"	5"	6"	4'-8 1/2"	3"	#4	0.10	12

DIMENSIONS AND QUANTITIES FOR ONE U-ENDWALL

Rate Of Slope	Pipe Size D	Area (Sq. Ft.)	L	H	W	Baffle Location (When Required)	Class I Reinfr. Concrete Cu. Yd.	Class II Reinfr. Steel Lbs.
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	B	C
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	2'-5"
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	1.94
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	77

ENDWALLS WITH BAFFLES FOR 1:3 SLOPES

- GENERAL NOTES
- All reinforcing bars shall be 60ksi yield strength steel.
 - All rebar shall be lap spliced in accordance with Section 05050 of the Standard Specifications.
 - Class I Reinfr. Concrete shall be in accordance with Section 05020 of the Standard Specifications.
 - Class II Reinfr. Steel shall be in accordance with Section 05020 of the Standard Specifications.
 - Concrete shall be Class I except ASTM C493 (6000 psi) concrete may be substituted for the reinforcement.



DIMENSIONAL DETAILS

DIMENSIONS AND QUANTITIES FOR ONE U-ENDWALL

Rate Of Slope	Pipe Size D	Area (Sq. Ft.)	L	H	W	Baffle Location (When Required)	Class I Reinfr. Concrete Cu. Yd.	Class II Reinfr. Steel Lbs.
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	B	C
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	2'-5"
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	1.94
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	77

ENDWALLS WITH BAFFLES FOR 1:3 SLOPES

- GENERAL NOTES
- All reinforcing bars shall be 60ksi yield strength steel.
 - All rebar shall be lap spliced in accordance with Section 05050 of the Standard Specifications.
 - Class I Reinfr. Concrete shall be in accordance with Section 05020 of the Standard Specifications.
 - Class II Reinfr. Steel shall be in accordance with Section 05020 of the Standard Specifications.
 - Concrete shall be Class I except ASTM C493 (6000 psi) concrete may be substituted for the reinforcement.



DIMENSIONAL DETAILS

DIMENSIONS AND QUANTITIES FOR ONE U-ENDWALL

Rate Of Slope	Pipe Size D	Area (Sq. Ft.)	L	H	W	Baffle Location (When Required)	Class I Reinfr. Concrete Cu. Yd.	Class II Reinfr. Steel Lbs.
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	B	C
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	2'-5"
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	1.94
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	77

ENDWALLS WITH BAFFLES FOR 1:3 SLOPES

- GENERAL NOTES
- All reinforcing bars shall be 60ksi yield strength steel.
 - All rebar shall be lap spliced in accordance with Section 05050 of the Standard Specifications.
 - Class I Reinfr. Concrete shall be in accordance with Section 05020 of the Standard Specifications.
 - Class II Reinfr. Steel shall be in accordance with Section 05020 of the Standard Specifications.
 - Concrete shall be Class I except ASTM C493 (6000 psi) concrete may be substituted for the reinforcement.



DIMENSIONAL DETAILS

DIMENSIONS AND QUANTITIES FOR ONE U-ENDWALL

Rate Of Slope	Pipe Size D	Area (Sq. Ft.)	L	H	W	Baffle Location (When Required)	Class I Reinfr. Concrete Cu. Yd.	Class II Reinfr. Steel Lbs.
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	B	C
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	2'-5"
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	1.94
1:3	24"	3.14	7'-6"	2'-5"	2'-4"	S	2'-5"	77

ENDWALLS WITH BAFFLES FOR 1:3 SLOPES

- GENERAL NOTES
- All reinforcing bars shall be 60ksi yield strength steel.
 - All rebar shall be lap spliced in accordance with Section 05050 of the Standard Specifications.
 - Class I Reinfr. Concrete shall be in accordance with Section 05020 of the Standard Specifications.
 - Class II Reinfr. Steel shall be in accordance with Section 05020 of the Standard Specifications.
 - Concrete shall be Class I except ASTM C493 (6000 psi) concrete may be substituted for the reinforcement.

wood.

WOOD PRODUCTS GROUP
 1000 WOODBURY AVENUE
 WOODBRIDGE, NJ 07095
 TEL: 732-339-3300
 FAX: 732-339-3301
 WWW.WOODPRODUCTS.COM

**SWEETWATER
 PRESERVE
 LID PARKING AREA
 PROJECT**

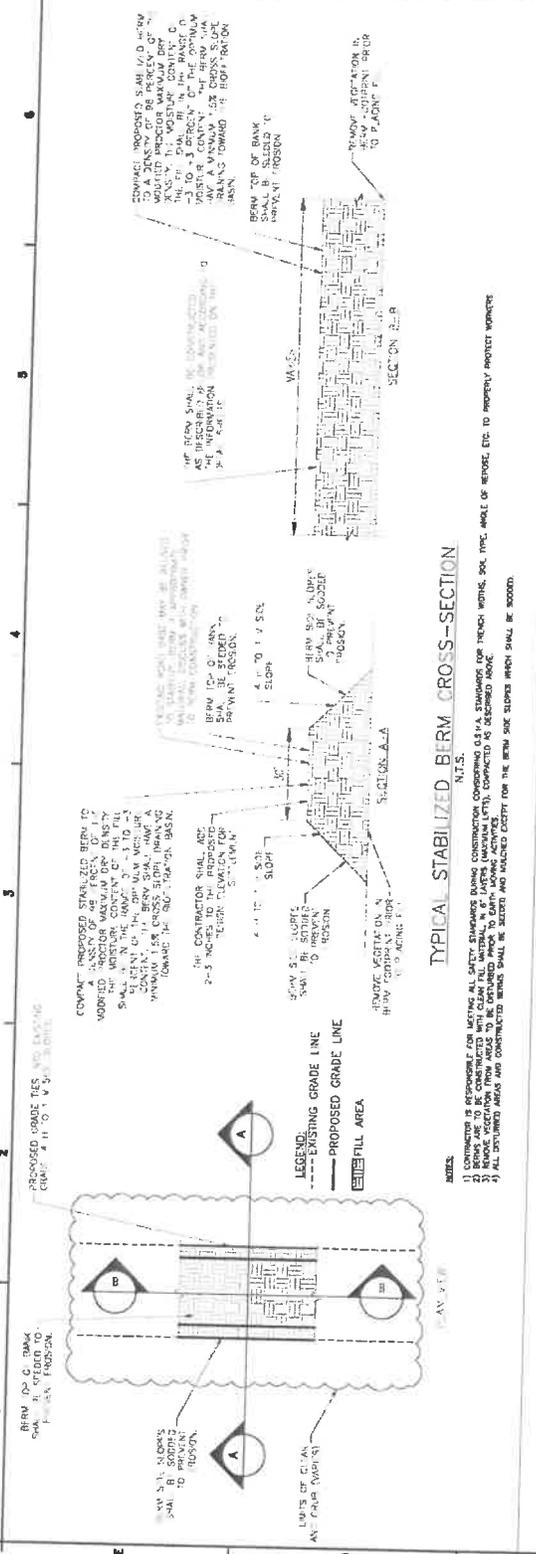


DATE	DESCRIPTION
12/15/11	ISSUED FOR PERMIT
01/10/12	REVISED PER COMMENTS
02/01/12	REVISED PER COMMENTS
03/01/12	REVISED PER COMMENTS
04/01/12	REVISED PER COMMENTS
05/01/12	REVISED PER COMMENTS
06/01/12	REVISED PER COMMENTS
07/01/12	REVISED PER COMMENTS
08/01/12	REVISED PER COMMENTS
09/01/12	REVISED PER COMMENTS
10/01/12	REVISED PER COMMENTS
11/01/12	REVISED PER COMMENTS
12/01/12	REVISED PER COMMENTS

PROJECT NO.	11-00000000
DATE	01/10/12
SCALE	AS SHOWN
DRAWN BY	W. J. BROWN
CHECKED BY	W. J. BROWN
APPROVED BY	W. J. BROWN

TYPICAL DETAILS VI

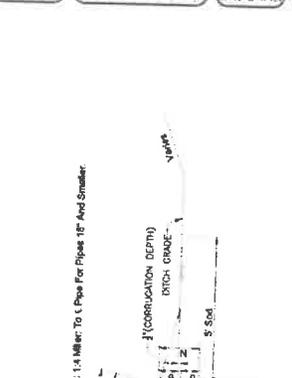
C406



TYPICAL STABILIZED BERM CROSS-SECTION
 N.T.S.

DIMENSIONS										
	D	X	A	B	C	E	F	G	M	N
1:4 Slope	15"	2'-0"	2'-5"	3'-0 1/2"	3'-5 1/2"	3'-0"	7'-0"	1'-2 1/2"	4'-3 1/2"	1'-0 1/4"

NOTES:
 1) CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SAFETY DIMENSIONS BEING CONSTRUCTION DIMENSIONS. DIMENSIONS FOR TRENCH WIDTHS, SOIL TYPE, AMOUNT OF REMOVAL, ETC. TO PROPERLY PROTECT WORKERS.
 2) BERM SHALL BE CONSTRUCTED WITH CLEAN FILL MATERIAL, 1/2" MAXIMUM SIZE, COMPACTED TO DESIRED DENSITY.
 3) ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED AS SHOWN.
 4) ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED AS SHOWN.



TYPICAL MITERED END SECTION
 N.T.S.

GENERAL NOTES
 1. Class NS concrete cast-in-place reinforced slabs are required for all sizes of cross drain pipes. Construct slabs 3" thick.
 2. Select lengths of pipe that avoid excessive connections in the assembly of the mitered end section.

wood.

WOOD GROUP, INC.
10000 WOODBURN AVENUE
DENVER, CO 80231
(303) 750-1000
WWW.WOODGROUP.COM

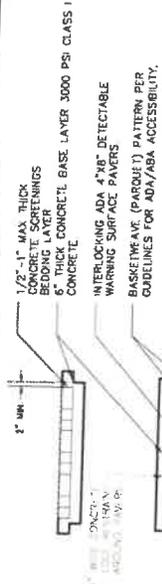
**SWEETWATER
PRESERVE
LID PARKING AREA
PROJECT**



DATE: 10/11/17	PROJECT: SWEETWATER PRESERVE LID PARKING AREA
SCALE: AS SHOWN	DESIGNER: WOOD GROUP, INC.
PROJECT NO: 17-001	DRAWN BY: [Redacted]

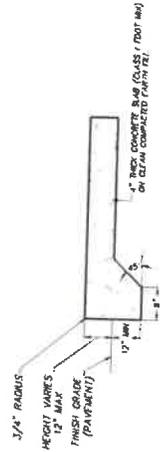
TYPICAL DETAILS VII

C407

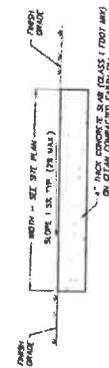


- 4"x8" ADA DETECTABLE WARNING PAVERS**
N.T.S.
- 1/2" MIN. THICK CONCRETE SCREEDING BEDDING LAYER
5" THICK CONCRETE BASE LAYER 3000 PSI CLASS 1 CONCRETE
INTERLOCKING ADA 4"x8" DETECTABLE WARNING SURFACE PAVERS
BASKETWEAVE (PARQUET) PATTERN PER GUIDELINES FOR ADA/ABA ACCESSIBILITY.
CONCRETE EDGE RESTRAINT FOR WARNING AREA. MAXIMUM GAP BETWEEN PAVERS AND EDGE IS 1/8". USE 1/4" R ALONG CONCRETE EDGES.
MODIFY FRAMINGWORK OR PROVIDE FORMED GROUT IN TYPICAL DETAIL C407 TO ENSURE STRAIGHT EDGE RESTRAINT FOR PAVERS.
- DETECTABLE WARNING NOTES:**
- DETECTABLE WARNING SURFACE SHALL CONTRAST OF 70% OF ADJACENT SIDEWALK.
 - WARNING SURFACE PAVERS HAVING A MINIMUM OF 14 INCHES (1.17 M) RADIUS ROUNDED TOP DOME WITH A BASE DIAMETER MINIMUM TO 65 PERCENT OF THE BASE DIAMETER MAXIMUM OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 0.2 INCHES (5.08 MM) MAXIMUM AND 2 INCHES (50.8 MM) MEASURED BETWEEN THE MOST PROTRUDING AND A BASE-TO-BASE SPACING OF 0.64 INCH (16.51 MM) MINIMUM. CLASS SX, TYPE 1 AND BRICK PAVERS ARE TO BE THINNING AMERICA'S RED HOLLANDSTONE CONCRETE PAVERS OR APPROVED EQUIVALENT.
 - ALL PAVERS SHALL BE SPREAD AND SET TO PROVIDE A FINISH GRADE THAT WOULD INTERFERE WITH THE APPEARANCE OR PROPER PLACEMENT OF THE CURB AND GUTTER. THE STRENGTH OR LONGEVITY OF THE FINAL STRUCTURE. ANY UNITS THAT ARE STRUCTURALLY DAMAGED DURING THE CONSTRUCTION SHALL BE IMMEDIATELY REMOVED AND REPLACED. THE PAVERS ARE TO BE LAID IN A TWO BY TWO BASKETWEAVE PATTERN. JOINTS SHALL BE CONSTRUCTED PER FINISH GRADE OF THE SURFACE AND HAVE GAPS BETWEEN 1/8" AND 1/8". CUT PAVERS (MASONRY SAW ON-T) SHALL BE NO SMALLER THAN ONE-THIRD OF A WHOLE PAVES.

4"x8" ADA DETECTABLE WARNING PAVERS
N.T.S.



THICKENED EDGE

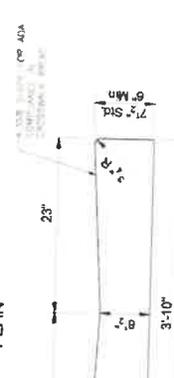


STANDARD EDGE

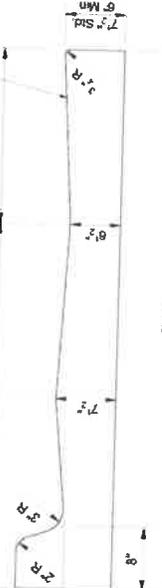
- NOTES:**
- CONSTRUCT CONCRETE SIDEWALK PER FOOT DETAIL NO. 310 (02/2001).
 - CONSTRUCT 4" THICK CONCRETE WITH SURFACE TO FINISH GRADE PAVERS AND MORE CALLED FOR IN THE PLAN.
 - ALL CURBS AND PARALLEL JOINTS SHALL BE CONSTRUCTED PER FOOT DETAIL NO. 310 (02/2001).
 - PARALLEL JOINTS WITH INTERLOCKING JOINT SHALL BE CONSTRUCTED ACCORDING TO ALL NOTES OBJECTS AND PER DETAIL AT CONSTRUCTION JOINTS.

CONCRETE SIDEWALK
N.T.S.

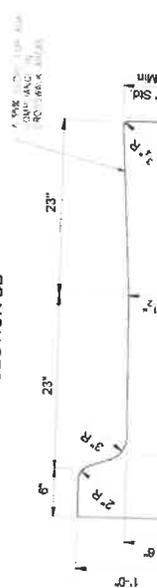
Match Existing Type F Curb



SECTION AA



SECTION BB



SECTION CC

MODIFIED VALLEY GUTTER

MODIFIED VALLEY GUTTER AND STANDARD TYPE F CURB
N.T.S.

CONCRETE CURB AND GUTTER

- NOTES:**
- Construct curb and gutter according to FOOT Standard Section 300



TYPE F